


New Residence,
Residence Remodel with
New ADU & Lot Line
Adjustment For:

A.P.N 012-043-11 &12



CITY OF SAN RAFAEL REGULATIONS			APPLICABLE CODES			PROJECT TEAM			PROJECT DATA			SHEET INDEX																																																																							
<div>1. 2016 CALIFORNIA FIRE CODE: The design and construction of all site alterations shall comply with the 2019 California Fire Code (CFC), current NFPA Standards, and all applicable City of San Rafael Ordinances and Amendments.</div> <div>2. FIRE SPRINKLERS: Deferred submittals for the following fire protection systems shall be submitted to the Fire Prevention Bureau for approval and permitting prior to installation of the systems: Fire Sprinkler Plans (Deferred Submittal To The Fire Prevention Bureau)</div> <div>3. EROSION CONTROL: An erosion and sediment control plan shall be required prior to issuance of a grading or building permit. Erosion controls to be installed prior to work on the site, and maintained year round.</div>						<div>All work shall conform to the 2019 editions of the California Building Code (CBC) : 2019 California Residential Code, 2019 California Plumbing and Mechanical Codes, 2019 California Green Code, 2019 California Energy Code and 2019 Electrical Code, complete with all applicable State of California amendments, codes and regulations for each edition including State of California Title 24, and San Rafael Municipal Code, and City of Sausalito Security Ordinance, and City of San Rafael Fire Ordinance.</div>			<div>DESIGNER: Millard Arterberry Arterberry Design 495 Gate 5 Rd. Sausalito, CA 94965 (415) 944-5480 millard@arterberry-design.com</div> <div>CIVIL / LANDSCAPE: Gary Balcerak Balcerak Design Landscape Architecture & Urban Forestry 608 Beaver Street Santa Rosa, CA 95404 (707) 573-8234 Balcerak@sonic.net</div>			<div>OWNER Pacific Private Money Fund I, LLC Et Al c/o Mark Hanf, Manager 1555 Grant Ave. Novato, CA 94945</div> <div>A.P.N. 012-043-11 & 12</div> <div>ZONING R-10 + Hillside Overlay</div> <div>CONSTRUCTION TYPE V-B</div>			<table><tr><th>ID</th><th>Name</th></tr><tr><td>G-000</td><td>COVER SHEET</td></tr><tr><td>C1</td><td>GRADING & DRAINAGE PLAN</td></tr><tr><td>C2</td><td>UTILITY PLAN</td></tr><tr><td>L1</td><td>PLANTING PLAN</td></tr><tr><td>T1</td><td>TREE PLAN</td></tr><tr><td>VMP1</td><td>VEGETATION MANAGEMENT PLAN</td></tr><tr><td>V00</td><td>SURVEY</td></tr><tr><td>AS100</td><td>SITE PLAN</td></tr><tr><td>AS101</td><td>SITE SECTION</td></tr><tr><td>AS102</td><td>STORY POLE PLAN</td></tr><tr><td>2AD-100</td><td>DEMOLITION FIRST FLOOR PLAN</td></tr><tr><td>AD101</td><td>DEMOLITION SECOND FLOOR PLAN</td></tr><tr><td>AD102</td><td>DEMOLITION BASEMENT PLAN</td></tr><tr><td>AD103</td><td>EXISTING ELEVATIONS</td></tr><tr><td>AD104</td><td>EXISTING ELEVATIONS</td></tr><tr><td>1A-100</td><td>BASEMENT FLOOR PLAN</td></tr><tr><td>1A-101</td><td>FIRST FLOOR PLAN</td></tr><tr><td>1A-102</td><td>SECOND FLOOR PLAN</td></tr><tr><td>1A-103</td><td>ROOF PLAN</td></tr><tr><td>1A-200</td><td>EXTERIOR ELEVATIONS</td></tr><tr><td>1A-201</td><td>EXTERIOR ELEVATIONS</td></tr><tr><td>1A-300</td><td>BUILDING SECTIONS</td></tr><tr><td>2AD-200</td><td>DEMOLITION MAIN RESIDENCE (UPPER FLOOR)</td></tr><tr><td>2AD-201</td><td>DEMOLITION MAIN RESIDENCE (LOWER FLOOR)</td></tr><tr><td>2AD-202</td><td>EXISTING EXTERIOR ELEVATIONS</td></tr><tr><td>2AD-203</td><td>EXISTING EXTERIOR ELEVATIONS</td></tr><tr><td>2A-000</td><td>RENDERINGS</td></tr><tr><td>2A-100</td><td>BASEMENT FLOOR PLAN - 54 FREMONT RD</td></tr><tr><td>2A-101</td><td>FIRST FLOOR PLAN - 54 FREMONT RD</td></tr><tr><td>2A-102</td><td>ROOF PLAN - 54 FREMONT RD</td></tr><tr><td>2A-200</td><td>PROPOSED EXTERIOR ELEVATIONS</td></tr><tr><td>2A-201</td><td>PROPOSED EXTERIOR ELEVATIONS</td></tr></table>			ID	Name	G-000	COVER SHEET	C1	GRADING & DRAINAGE PLAN	C2	UTILITY PLAN	L1	PLANTING PLAN	T1	TREE PLAN	VMP1	VEGETATION MANAGEMENT PLAN	V00	SURVEY	AS100	SITE PLAN	AS101	SITE SECTION	AS102	STORY POLE PLAN	2AD-100	DEMOLITION FIRST FLOOR PLAN	AD101	DEMOLITION SECOND FLOOR PLAN	AD102	DEMOLITION BASEMENT PLAN	AD103	EXISTING ELEVATIONS	AD104	EXISTING ELEVATIONS	1A-100	BASEMENT FLOOR PLAN	1A-101	FIRST FLOOR PLAN	1A-102	SECOND FLOOR PLAN	1A-103	ROOF PLAN	1A-200	EXTERIOR ELEVATIONS	1A-201	EXTERIOR ELEVATIONS	1A-300	BUILDING SECTIONS	2AD-200	DEMOLITION MAIN RESIDENCE (UPPER FLOOR)	2AD-201	DEMOLITION MAIN RESIDENCE (LOWER FLOOR)	2AD-202	EXISTING EXTERIOR ELEVATIONS	2AD-203	EXISTING EXTERIOR ELEVATIONS	2A-000	RENDERINGS	2A-100	BASEMENT FLOOR PLAN - 54 FREMONT RD	2A-101	FIRST FLOOR PLAN - 54 FREMONT RD	2A-102	ROOF PLAN - 54 FREMONT RD	2A-200	PROPOSED EXTERIOR ELEVATIONS	2A-201	PROPOSED EXTERIOR ELEVATIONS
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<div><div>Sebastopol</div><div><div><div><div><div>A.B.</div><div>ANCHOR BOLT</div></div><div><div>A.C.T.</div><div>ACOUSTICAL CEILING TILE</div></div><div><div>A.F.F.</div><div>ABOVE FINISHED FLOOR</div></div><div><div>AGGR.</div><div>AGGREGATE</div></div><div><div>AL.</div><div>ALUMINUM</div></div><div><div>ALT.</div><div>ALTERNATE</div></div><div><div>APPROX.</div><div>APPROXIMATE</div></div><div><div>ARCH.</div><div>ARCHITECTURAL</div></div><div><div>BD.</div><div>BOARD</div></div><div><div>BLDG.</div><div>BUILDING</div></div><div><div>BLK.</div><div>BLOCK</div></div><div><div>BLKG.</div><div>BLOCKING</div></div><div><div>BM.</div><div>BEAM</div></div><div><div>B.W.</div><div>BOTTOM OF WALL</div></div><div><div>BOT.</div><div>BOTTOM</div></div><div><div>BTWN.</div><div>BETWEEN</div></div><div><div>B.U.R.</div><div>BUILT UP ROOF</div></div><div><div>C.J.</div><div>CONTROL JOINT</div></div><div><div>C.L.</div><div>CENTERLINE</div></div><div><div>CLG.</div><div>CEILING</div></div><div><div>CLKG.</div><div>CAULKING</div></div><div><div>CLR.</div><div>CLEAR</div></div><div><div>C.M.U.</div><div>CONCRETE MASONRY UNIT</div></div><div><div>COL.</div><div>COLUMN</div></div><div><div>CONC.</div><div>CONCRETE</div></div><div><div>CONN.</div><div>CONNECTION</div></div><div><div>CONSTR.</div><div>CONSTRUCTION</div></div><div><div>CONT.</div><div>CONTINUOUS</div></div><div><div>C.T.</div><div>CERAMIC TILE</div></div><div><div>DEG.</div><div>DEGREE</div></div><div><div>D.F.</div><div>DETAIL</div></div><div><div>D.F.</div><div>DRINKING FOUNTAIN</div></div><div><div>DIAG.</div><div>DIAGONAL</div></div><div><div>DIA.</div><div>DIAMETER</div></div><div><div>DN.</div><div>DOWN</div></div><div><div>D.S.</div><div>DOWNSPOUT</div></div><div><div>DWG.</div><div>DRAWING</div></div><div><div>(E)</div><div>EXISTING</div></div><div><div>EA.</div><div>EACH</div></div><div><div>E.J.</div><div>EXPANSION JOINT</div></div><div><div>ELEV.</div><div>ELEVATION</div></div><div><div>ELEC.</div><div>ELECTRICAL</div></div><div><div>EMER.</div><div>EMERGENCY</div></div><div><div>ENCL.</div><div>ENCLOSURE</div></div><div><div>EQ.</div><div>EQUAL</div></div><div><div>EQUIP.</div><div>EQUIPMENT</div></div><div><div>E.W.</div><div>EACH WAY</div></div><div><div>EXT.</div><div>EXTERIOR</div></div></div><div><div><div>F.A.</div><div>FIRE ALARM</div></div><div><div>F.D.</div><div>FLOOR DRAIN</div></div><div><div>F.D.C.</div><div>FIRE DEPARTMENT CONNECTION</div></div><div><div>FDN.</div><div>FOUNDATION</div></div><div><div>F.E.</div><div>FIRE EXTINGUISHER</div></div><div><div>F.E.C.</div><div>FIRE EXTINGUISHER CABINET</div></div><div><div>F.F.</div><div>FINISH FLOOR</div></div><div><div>F.H.C.</div><div>FIRE HOSE CABINET</div></div><div><div>FIN.</div><div>FINISH</div></div><div><div>F.L.</div><div>FLOW LINE</div></div><div><div>FLR.</div><div>FLOOR</div></div><div><div>F.O.S.</div><div>FACE OF STUD</div></div><div><div>F.O.C.</div><div>FACE OF CONCRETE</div></div><div><div>FRMG.</div><div>FRAMING</div></div><div><div>F.S.</div><div>FULL SIZE</div></div><div><div>FT.</div><div>FOOT OR FEET</div></div><div><div>FTG.</div><div>FOOTING</div></div><div><div>FURR.</div><div>FURRING</div></div><div><div>GA.</div><div>GAUSE</div></div><div><div>GALV.</div><div>GALVANIZED</div></div><div><div>G.C.</div><div>GENERAL CONTRACTOR</div></div><div><div>GL.</div><div>GLASS</div></div><div><div>GPF.</div><div>GALLONS PER FLUSH</div></div><div><div>GPM.</div><div>GALLONS PER MINUTE</div></div><div><div>GR.</div><div>GRADE</div></div><div><div>GYP.</div><div>GYPSUM</div></div><div><div>G.W.B.</div><div>GYPSUM BOARD</div></div><div><div>H.B.</div><div>HOSE BIBB</div></div><div><div>H.C.</div><div>HOLLOW CORE</div></div><div><div>HIC</div><div>HANDICAPPED</div></div><div><div>HOWD.</div><div>HARDWOOD</div></div><div><div>H.M.</div><div>HOLLOW METAL</div></div><div><div>HR.</div><div>HOUR</div></div><div><div>HT.</div><div>HEIGHT</div></div><div><div>HVAC</div><div>HEATING, VENTILATION, AND AIR CONDITIONING</div></div><div><div>I.D.</div><div>INSIDE DIAMETER</div></div><div><div>INSUL.</div><div>INSULATION</div></div><div><div>INT.</div><div>INTERIOR</div></div><div><div>JST.</div><div>JOIST</div></div><div><div>LAB.</div><div>LABORATORY</div></div><div><div>LAM.</div><div>LAMINATE</div></div><div><div>LAV.</div><div>LAVATORY</div></div><div><div>LT.</div><div>LIGHT</div></div><div><div>MAX.</div><div>MAXIMUM</div></div><div><div>MECH.</div><div>MECHANICAL</div></div><div><div>MEMB.</div><div>MEMBRANE</div></div><div><div>MFR.</div><div>MANUFACTURER</div></div><div><div>MIN.</div><div>MINIMUM</div></div><div><div>MISC.</div><div>MISCELLANEOUS</div></div><div><div>M.O.</div><div>MASONRY OPENING</div></div><div><div>MTL.</div><div>METAL</div></div><div><div>MUL.</div><div>MULLION</div></div></div><div><div><div>(N)</div><div>NEW</div></div><div><div>N.I.C.</div><div>NOT IN CONTRACT</div></div><div><div>NO.</div><div>NUMBER</div></div><div><div>NOM.</div><div>NOMINAL</div></div><div><div>N.T.S.</div><div>NOT TO SCALE</div></div><div><div>O.C.</div><div>ON CENTER</div></div><div><div>O.D.</div><div>OUTSIDE DIAMETER</div></div><div><div>O.H.</div><div>OVERHEAD</div></div><div><div>OPG.</div><div>OPENING</div></div><div><div>OPNG.</div><div>OPENING</div></div><div><div>OPP.</div><div>OPPOSITE</div></div><div><div>P.L.</div><div>PROPERTY LINE</div></div><div><div>P/L</div><div>PLATE</div></div><div><div>PLAS.</div><div>PLASTER</div></div><div><div>PLWD.</div><div>PLYWOOD</div></div><div><div>PR.</div><div>PAIR</div></div><div><div>PTD.</div><div>PAINTED</div></div><div><div>R.</div><div>RISER</div></div><div><div>R.D.</div><div>RUN</div></div><div><div>REFR.</div><div>REFRIGERATOR</div></div><div><div>REINF.</div><div>REINFORCED</div></div><div><div>RM.</div><div>ROOM</div></div><div><div>R.O.</div><div>ROUGH OPENING</div></div><div><div>RTG.</div><div>RETAINING</div></div><div><div>S.C.</div><div>SOLID CORE</div></div><div><div>SCHED.</div><div>SCHEDULE</div></div><div><div>SECT.</div><div>SECTION</div></div><div><div>S.F.</div><div>SQUARE FEET</div></div><div><div>SHT.</div><div>SHEET</div></div><div><div>SHTG.</div><div>SHEATHING</div></div><div><div>SIM.</div><div>SIMILAR</div></div><div><div>SPEC.</div><div>SPECIFICATION</div></div><div><div>SQ.</div><div>SQUARE</div></div><div><div>S.S.</div><div>STAINLESS STEEL</div></div><div><div>S.S.</div><div>STAGGERED</div></div><div><div>STD.</div><div>STANDARD</div></div><div><div>STL.</div><div>STEEL</div></div><div><div>STRUC.</div><div>STRUCTURAL</div></div><div><div>SUSP.</div><div>SUSPENDED</div></div><div><div>TR.</div><div>TREAD</div></div><div><div>T&B</div><div>TOP AND BOTTOM</div></div><div><div>T&G</div><div>TONGUE AND GROOVE</div></div><div><div>THK.</div><div>THICK</div></div><div><div>T.W.</div><div>TOP OF WALL</div></div><div><div>TYP.</div><div>TYPICAL</div></div><div><div>U.O.N.</div><div>UNLESS OTHERWISE NOTED</div></div><div><div>V.C.T.</div><div>VINYL COMPOSITION TILE</div></div><div><div>VER.</div><div>VERIFY IN FIELD</div></div><div><div>VERT.</div><div>VERTICAL</div></div><div><div>W/</div><div>WITH</div></div><div><div>W.C.</div><div>WATER CLOSET</div></div><div><div>WOD</div><div>WOOD WITHOUT</div></div></div></div></div></div>			<div>Lot Line Adjustment Between Two Lots: A.P.N.#s 012-043-11 & 012-043-12</div> <div>New Residence at Marquard Ave. Frontage Lot</div> <div>Remodel Residence at 52 Fremont Rd</div> <div>Lower Floor Plan of Existing 52 Fremont Residence to Become an ADU.</div>			<div>VICINITY MAP</div> <div></div>			<div>PROJECT LOCATION</div> <div></div>																																																																										



495 Gate 5 Rd. Studio E,
Sausalito, CA 94965
Phone: 415 944-5480

Millard@arterberry-design.com

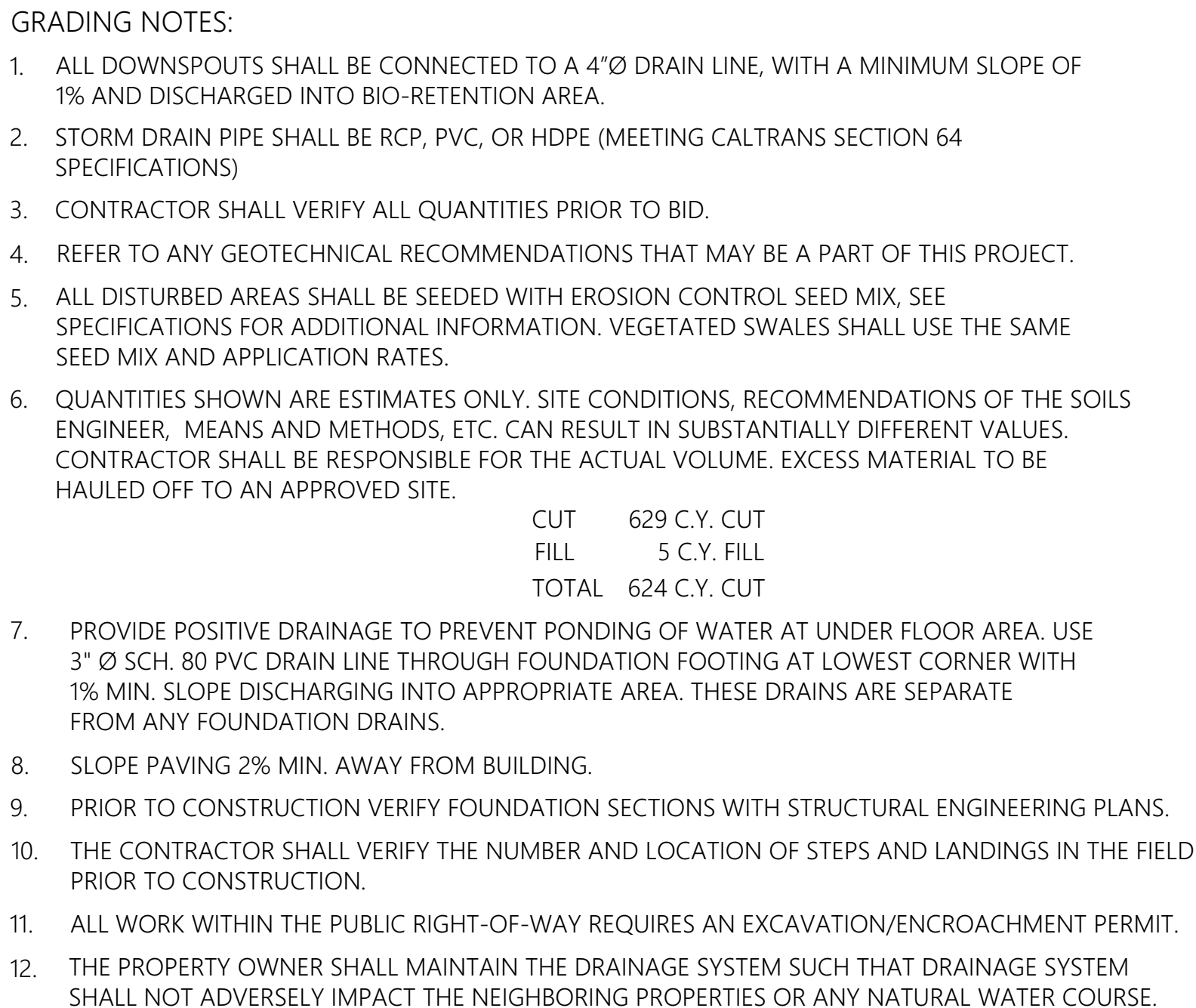
Owner:
Pacific Private Money Fund I, LLC
Et Al c/o Mark Hanf, Manager
1555 Grant Ave.
Novato, CA 94945

A.P.N 012-043-11 &12

52/54 Fremont Street
San Rafael CA 94965
A.P.N.: 012-043-11 & 12

MARK	DATE	ISSUES			
		DESCRIPTION	PLANNING SUBMISSION	PLANNING SUBMISSION	PLANNING SUBMISSION
	7/02/18	PLANNING SUBMISSION			
	2/04/19	PLANNING SUBMISSION			
	4/04/19	PLANNING SUBMISSION			
	7/26/19	PLANNING SUBMISSION			
	2/24/2020	PLANNING SUBMISSION			
PROJECT #: 1805					
CAD FILE: Fremont Road - Main - 01-20-2020.plt					
DRAWN BY: MNA					
CHECKED BY: MNA					
COPYRIGHT © 2018 ARTERBERRY DESIGN					
COVER SHEET					
G-000					

AB	AGGREGATE BASE	HORIZ	HORIZONTAL
ARCH	ARCHITECT (URAL)	INV	PIPE INVERT
BD	BOARD		
BLK	BUILDING	JT	JOINT TRENCH
BLK	BLOCK		
BOOT	BOTTOM	LF	LINEAR FOOT
BS	BACK OF SIDEWALK		
BTWN	BETWEEN	MMWD	MARIN MUNICIPAL WATER DISTRICT
BSL	BUILDING SETBACK LINE	ME	MATCH EXISTING
BW	BOTTOM OF WALL	MAX	MAXIMUM
		MIN	MINIMUM
CL	CENTERLINE		
CLR (ANCE)	CLEARANCE	NTS	NOT TO SCALE
CO	CLEANOUT		
CONC	CONCRETE	OC	ON CENTER (S)
CON	CONSTRUCTION		
CONT	CONTINUOUS OR CONTINUE	PERF	PERFORATE (D)
CY	CUBIC YARD	PL	PROPERTY LINE
		PT	POINT
DL	DRAIN LINE	PUE	PUBLIC UTILITY EASEMENT
DI	DROP INLET	PVC	POLYVINYL CHLORIDE
DIM	DIMENSION		
DS	DOWNSLOPE		
D/W	DRIVEWAY	RC	RELATIVE COMPACTION
DWG	DRAWING	RPBP	REDUCED PRESSURE BACKFLOW PREVENTER
EL	ELEVATION	S	SLOPE
EQL	EQUAL	SCH	SCHEDULE
ESMT	EASEMENT	SF	SQUARE FEET
EX, EXIST	EXISTING	SHT	SHEET
EG	EXISTING GRADE	SQ	SQUARE
EXT	EXTERIOR	SS	SANITARY SEWER
		SSCO	SANITARY SEWER CLEANOUT
		STD	STANDARD
FF	FINISHED FLOOR		
FG	FINISHED GRADE	TC	TOP OF CURB
FL	FLOW LINE	TEL	TELEPHONE
FT	FOUNDATION	TG	TOP OF GRATE
	FOOT	TW	TOP OF WALL
		TYP	TYPICAL
HDR	HEADER		
HT	HEIGHT	UON	UNLESS OTHERWISE NOTED
HP	HIGH POINT		
		VERT	VERTICAL



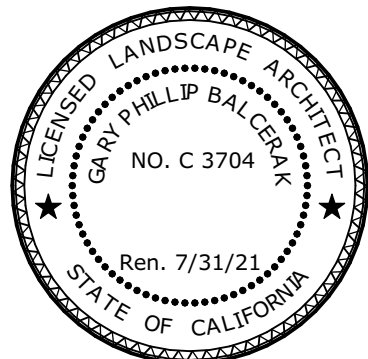
STORM DRAIN SCHEDULE	
DI#1 & DI#2	OLDCASTLE MODEL DI-1212
DI#3, DI#4, & DI#5	OLDCASTLE MODEL DI-1212 (NO BOTTOM, FILL WITH CLASS II AB)

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BALCERAK DESIGN

BALCERAK DESIGN

Santa Rosa, CA 95404

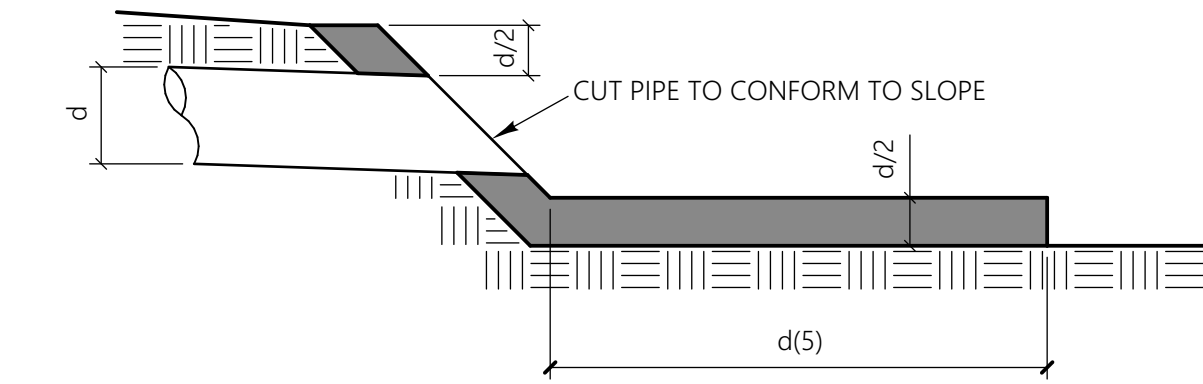
Phone (707) 573-8234
email: balcerak@sonic.net



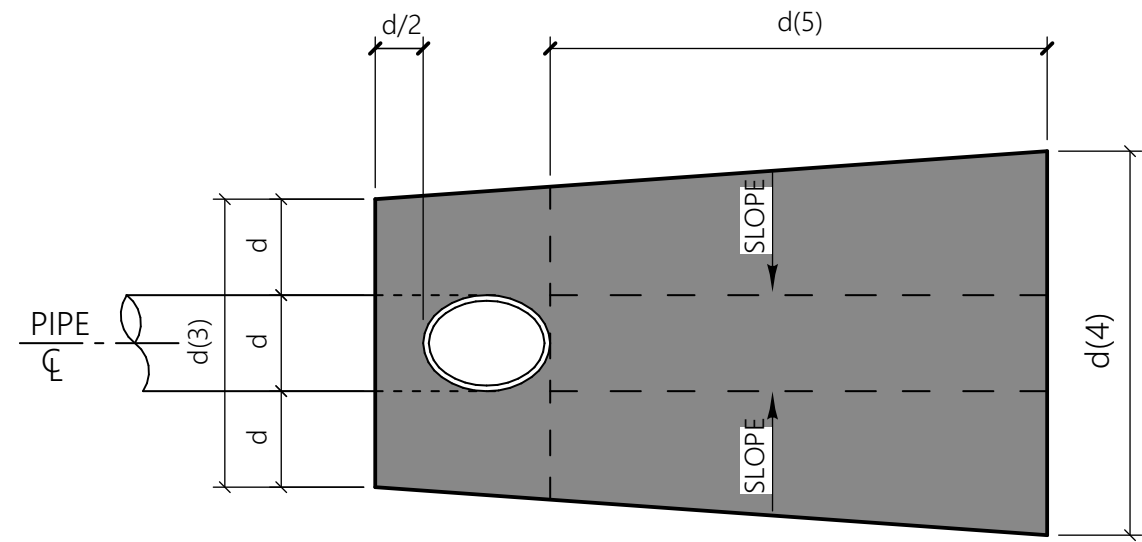
PRELIMINARY GRADING AND DRAINAGE PLAN

CUSTOM RESIDENCE
52/54 FREMONT ROAD
SAN RAFAEL, CALIFORNIA

[illegible]



SECTION



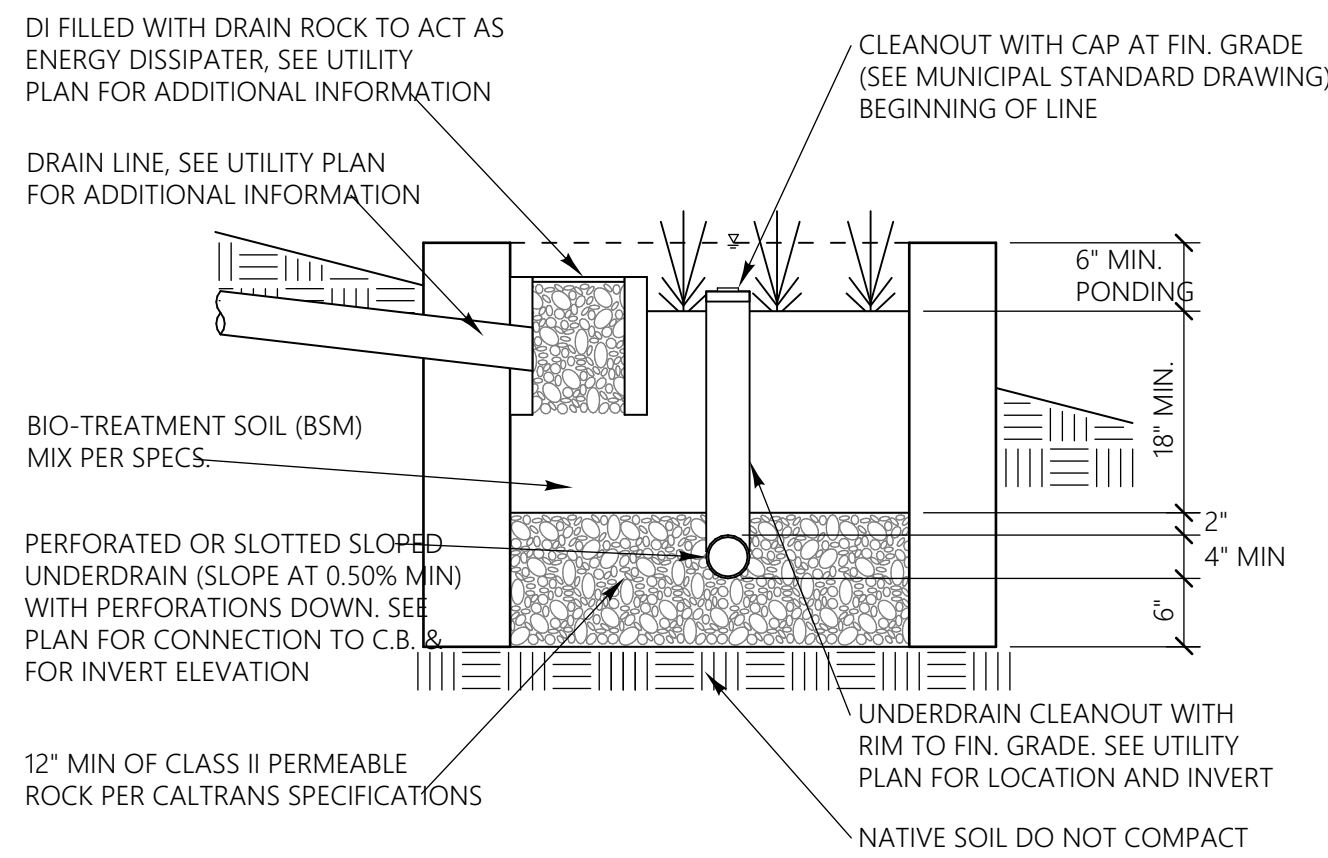
PLAN

- NOTES:
1. CLASS #3 ROCK, PLACE PER CALTRANS SECTION 72 METHOD B
 2. SLOPES SHALL BE 1:1 MAXIMUM

STORM DRAINLINE OUTFALL DETAIL

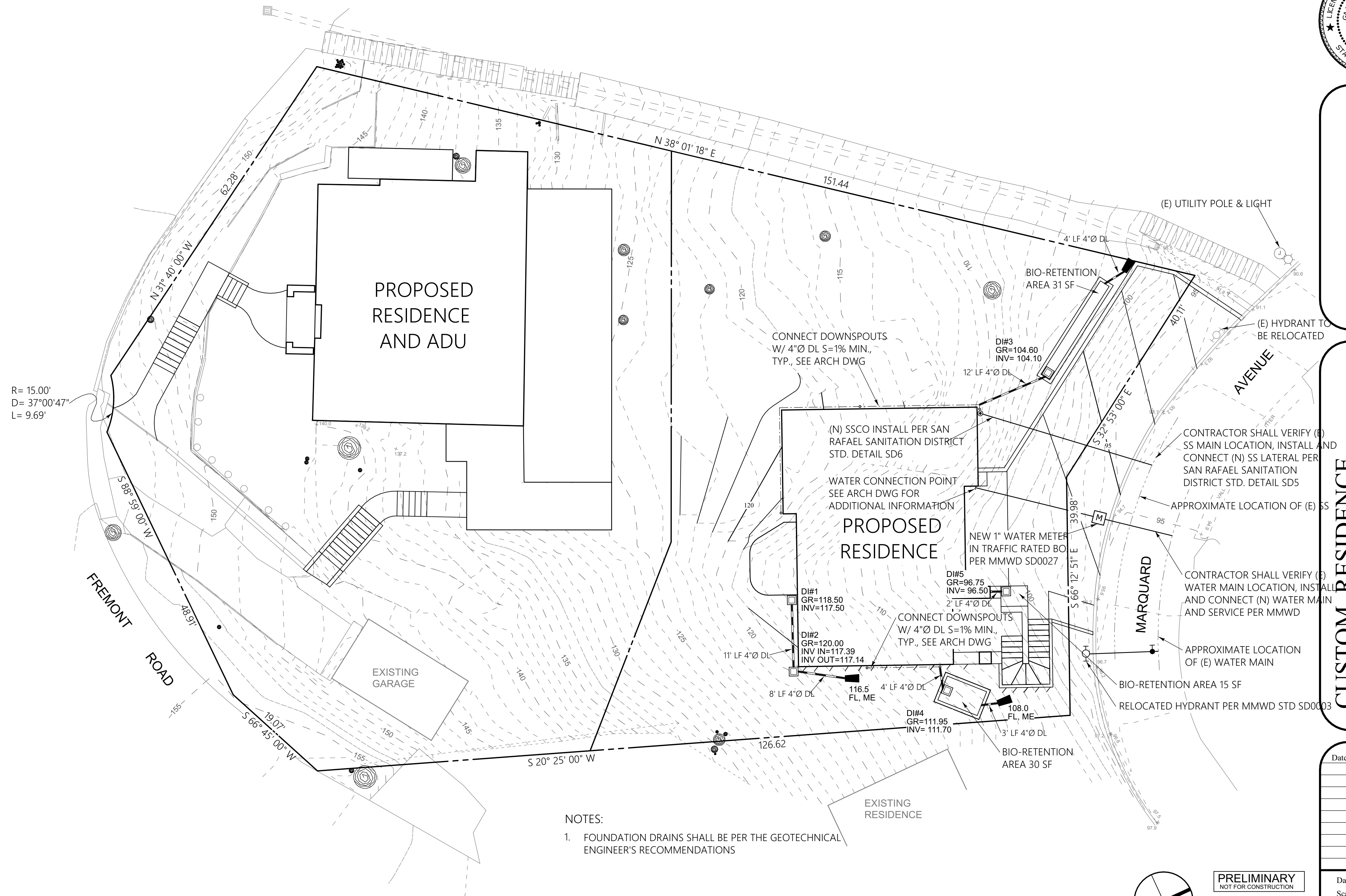
NOT TO SCALE

NOTE:
SURFACE AREA OF THE BIO-TREATMENT SOIL SHALL EQUAL 4% OF THE AREA OF THE SITE THAT DRAINS TO TREATMENT MEASURE, UNLESS SIZING CALCULATIONS ARE SUBMITTED DEMONSTRATING THAT PROVISION C.3 REQUIREMENTS ARE MET USING A SMALLER SURFACE AREA

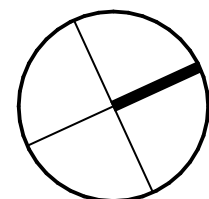


FLOW-THROUGH PLANTER DETAIL

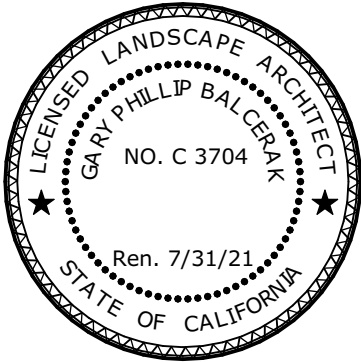
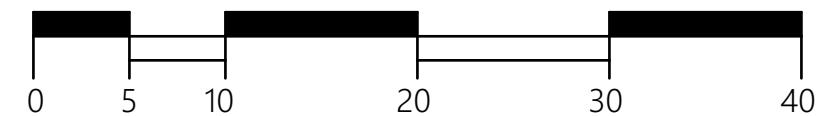
NOT TO SCALE



- NOTES:
1. FOUNDATION DRAINS SHALL BE PER THE GEOTECHNICAL ENGINEER'S RECOMMENDATIONS



PRELIMINARY
NOT FOR CONSTRUCTION



UTILITY PLAN

CUSTOM RESIDENCE

52/54 FREMONT ROAD

SAN RAFAEL, CALIFORNIA

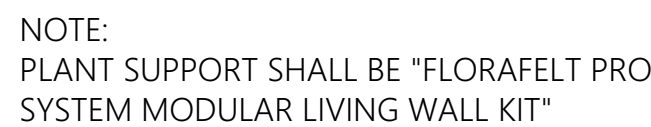
Date	No.	Revision

Date: 2 / 10 / 20
Scale: 1" = 10'-0"
Drawn: GPB
Job: 1801
Sheet

C2.0
Of Sheets

PLANTING LEGEND					
KEY	SIZE	BOTANICAL NAME	COMMON NAME	REMARKS	WATER USE
		TREES			
TCA	#15	TORREYA CALIFORNICA	CALIFORNIA NUTMEG		LOW
		SHRUBS			
CAL	#5	CALYCANTHUS OCCIDENTALIS	SPICE BUSH		MEDIUM
GSH	#5	GAULTHERIA SHALLON	SALAL		MEDIUM
RSS	#5	RUBUS SPECTABILIS	SALMONBERRY		MEDIUM
SYA	#5	SYMPHORICARPOS ALBUS VAR. LAEVIGATUS	SNOWBERRY		LOW
VOV	#5	VACCINIUM OVATUM	EVERGREEN HUCKLEBERRY		MEDIUM
		PERENNIALS			
COR	4" POT	COTYLEDON ORBICULATA	PIG'S EAR	6" O.C. TRI. SPACING	LOW
EAG	4" POT	ECHEVERIA AGAVOIDES	NO COMMON NAME	6" O.C. TRI. SPACING	LOW
HMI	#1	HEUCHERA MICRANTHA	CORAL BELLS		MEDIUM
PMU	#5	POLYSTICHUM MUNITUM	SWORD FERN		MEDIUM
SED	4" POT	SEDUM ADOLPHII	GOLDEN SEDUM	6" O.C. TRI. SPACING	LOW
SGR	4" POT	SEDUM GRISEBACHII	STONE CROP	6" O.C. TRI. SPACING	LOW
SEM	4" POT	SEMPERVIVUM TECTORUM	COMMON HOUSELEEK	6" O.C. TRI. SPACING	LOW
WFI	#5	WOODWARDIA FIMBRIATA	GIANT CHAIN FERN		MEDIUM
		VINES			
LCI	#5	LONICERA CILIOSA	WESTERN TRUMPET HONEYSUCKLE		MEDIUM
		GROUNDCOVERS			
CPA	#1	CAREX PANSA	CALIFORNICA MEADOW SEDGE	9" O.C. TRI. SPACING	MEDIUM
JEF	#1	JUNCUS EFFUSUS	SOFT RUSH	2' O.C. TRI. SPACING	MEDIUM
OOR	6" POT	OXALIS OREGANA	REDWOOD SORREL	PER PLAN	MEDIUM

ALL PROPOSED PLANTINGS SHALL BE FIRE RESISTANT AND IRRIGATED. NO PLANTS PROHIBITED BY THE SAN RAFAEL FIRE PROTECTION BUREAU STANDARD 100, THE MARIN MUNICIPAL WATER DISTRICT, OR THE CALIFORNIA INVASIVE PLANT COUNCIL SHALL BE USED. THE CONTROLLER FOR THE IRRIGATION SYSTEM SHALL BE HIGH-EFFICIENCY AND USE EVAPOTRANSPIRATION DATA.


$$1'' = 5'-0''$$

FREMONT ROAD

Water Use Table						
ETWU	Gallons:	21,692	CCF's:	29	AF:	0.07
Baseline Period	Jan/Feb	Mar/Apr	May/Jun	Jul/Aug	Sep/Oct	Nov/Dec
Baseline CCF's	0	3	8	10	7	1
1 CCF = 748 Gallons; 1 AF = 435.6 CCF's						
For more information please contact 415-945-1497 or see our website at www.marinwater.org						



NOT TO SCALE

1. ALL WOOD SHALL BE REDWOOD, U.O.N.



TREES REMOVED SHALL BE MITIGATED AT THE RATE OF 3:1. A TOTAL OF 14 TREES ARE PROPOSED FOR REMOVAL FOR THIS DEVELOPMENT PROPOSAL. THEREFORE, 42 TREES ARE REQUIRED AS MITIGATION.

THE PLANTING PLAN PROPOSES THE PLANTING OF 3 NEW TREES. THE REMAINING 39 TREES REQUIRED AS MITIGATION WILL BE SATISFIED BY THE PAYING OF IN-LIEU FEES.

Botanical name	Common Name	Rate
<i>Achillea millefolium</i>	Yarrow	0.1
<i>Gilia achilleifolia</i>	Blue Gilia	0.1
<i>Lotus corniculatus</i>	Bird's-foot Trefoil	0.5
<i>Melica californica</i>	California Melic	2.7
<i>Hordeum brachyantherum</i>	Meadow Barley	1.1
<i>Carex tumulicola</i>	Foothill Sedge	1.5

1. Seeding shall be performed only after the soil is in a loose condition to a minimum depth of 6 inches. Soil clods shall not be larger than 2 inches in any dimension after cultivation. The areas to be cultivated must extend 12 inches beyond the outer limit of each planting area.
2. Rocks and debris encountered during soil preparation planting areas must be brought to the ground surface and removed.
3. The seed shall be broadcast using hand held seeders such as "Whirlybird". While seeding, continually mix the seed to equally distribute the seeds throughout the mix. The seeds shall be raked to an average depth of 1/4 inch.
4. Seed must be tested for purity and germination by a seed laboratory certified by the Association of Official Seed Analysts or by a seed technologist certified by the Society of Commercial Seed Technologists. Tests must be performed within 12 months before application.
5. After seeds mix has been broadcast mulch with straw. Straw shall be dry and free of weed seeds. Straw must not have been used for stable bedding. Straw must be free of plastic, glass, metal, rocks, and other deleterious materials. Spread at the rate of 50 pounds per 1000 square feet. Spread it uniformly by hand to a depth of one inch, or use a mechanical spreader. Mulch shall not be applied during periods of high winds or other unfavorable conditions.
6. Planting areas that have been cultivated and become compacted for any reasons shall be recultivated by the Contractor at the Contractor's expense.



52/54 FREMONT ROAD

110

Of Sheets

TREES PROPOSED FOR REMOVAL

Tree	Species	Diameter	Vigor	Structure	Status	Notes
5	Coast Redwood (Sequoia sempervirens)	37.3"	Good	Fair	Remove	Has ± 3' high by 2" wide fire scar on downslope side of tree. Cavity extends ± 1' to 2' inside, woundwood noted at edges of cavity. Tagged as #90.
6	Coast Redwood (Sequoia sempervirens)	17.0"	Good	Fair	Remove	This tree has a metal hook in the upper trunk with a bar through it and connects to tree #7, which also has a hook for the bar. It appears to have been an old swing.
7	Coast Redwood (Sequoia sempervirens)	18.8"	Good	Fair	Remove	Cavity noted on upslope side 2' high and 10" wide, ± 6" deep.
8	Coast Redwood (Sequoia sempervirens)	23.2"	Good	Good	Remove	Many suckers at base, common for the species. No overt defects noted. Tagged as #91.
9	Coast Redwood (Sequoia sempervirens)	19.5"	Good	Good	Remove	Many suckers at base, common for the species. No overt defects noted.
10	Coast Redwood (Sequoia sempervirens)	19.8"	Good	Good	Remove	Many suckers at base, common for the species. No overt defects noted. Tree has been used as a pole to attach old electrical wiring.
11	Coast Redwood (Sequoia sempervirens)	35.3"	Good	Good	Remove	Trunk bifurcates at 7' off steep grade. Many suckers at base common for the species. Had a third trunk on the upslope side that was removed at ± 2.5' off grade. No decay evident. Old fire scar on downslope side of trunk, no decay evident.
13	Cherry Plum (Prunus cerasifera)	8.2"	Fair	Poor	Remove	Cal-IPC has identified this tree as a species of limited concern, and therefore removal is recommended.
14	Cherry Plum (Prunus cerasifera)	10.7" at 14" off grade	Fair	Poor	Remove	Cal-IPC has identified this tree as a species of limited concern, and therefore removal is recommended.
15	Cherry Plum (Prunus cerasifera)	5.2"	Good	Good	Remove	Cal-IPC has identified this tree as a species of limited concern, and therefore removal is recommended.
16	Cherry Plum (Prunus cerasifera)	5.6"	Fair	Fair	Remove	Cal-IPC has identified this tree as a species of limited concern, and therefore removal is recommended.
17	Coast Redwood (Sequoia sempervirens)	9.5"	Fair/Poor	Good	Remove	Suppressed by Tree #18. Many suckers at base, common for the species. No overt defects noted.
18	Coast Redwood (Sequoia sempervirens)	26.3"	Good	Good	Remove	No overt defects noted. Many suckers at base, common for the species.
19	California Bay (Umbellularia californica)	4.2"; 7.3"; 3.2"	Fair	Poor	Remove	Tree once had many more trunks most have been removed. Decay on downslope side of the trunk. Thinly foliated largest trunk is growing towards proposed residence. This tree had been covered with ivy, but is has been killed off.

NOTES:

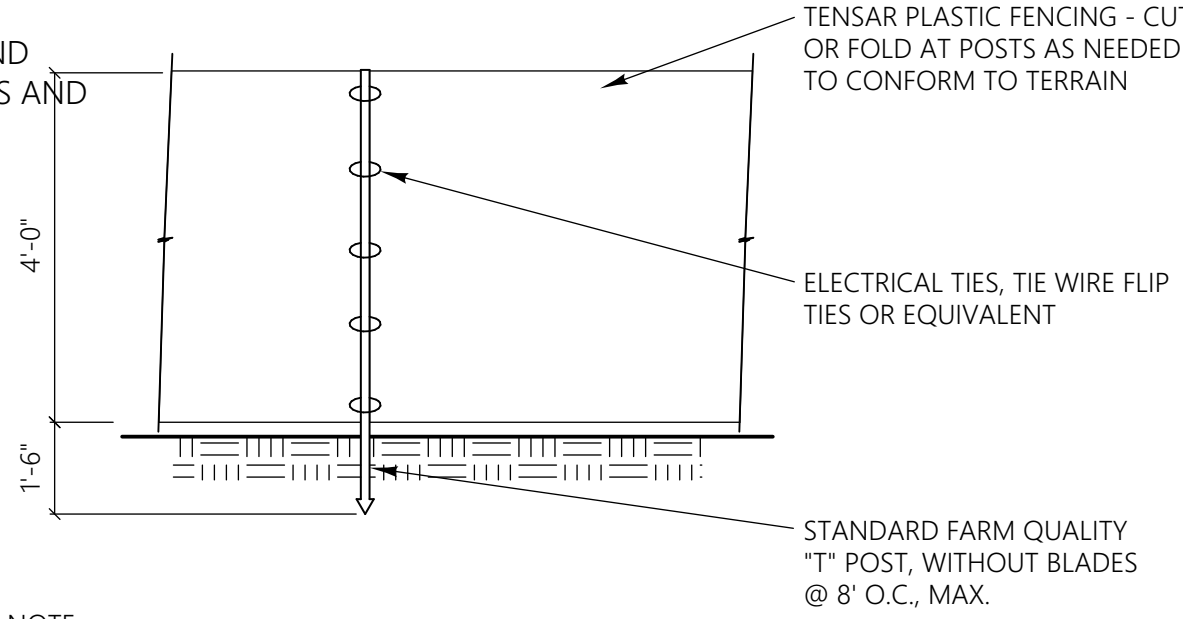
- SEE ARBORIST'S REPORT PREPARED BY BALCERAK DESIGN, REVISED FEBRUARY 17, 2020 FOR ADDITIONAL INFORMATION.
- NO EXISTING TREE, DESIGNATED TO REMAIN, SHALL BE TRIMMED OR PRUNED WITHOUT PRIOR APPROVAL BY THE PROJECT ARBORIST.
- NOTIFY PROJECT ARBORIST IN ANY CASE WHERE CONTRACTOR FEELS GRADING OR OTHER CONSTRUCTION CALLED FOR BY CONTRACT DOCUMENTS MAY DAMAGE EXISTING TREES THAT ARE SCHEDULED TO REMAIN.
- FINAL LOCATION OF TREE PROTECTION FENCING SHALL BE DETERMINED BY FIELD STAKING OF THE IMPROVEMENTS, AND ADJUSTING FENCE TO PROVIDE MAXIMUM PROTECTION. FINAL LOCATION AND EXTENT OF FENCING SHALL BE APPROVED BY THE PROJECT ARBORIST. FENCING SHALL REMAIN INTACT AND SHALL ONLY BE ALTERED WITH THE APPROVAL OF THE PROJECT ARBORIST.

TREE PROTECTION NOTES:

- THE TREE PROTECTION FENCING SHALL BE INSTALLED PRIOR TO STARTING ANY CONSTRUCTION ACTIVITY. THE TREE PROTECTION FENCE SHALL NOT BE ALTERED WITHOUT WRITTEN APPROVAL FROM THE PROJECT ARBORIST.
- NO PRUNING OF THE EXISTING TREES IS ANTICIPATED FOR THE CONSTRUCTION OF THIS PROJECT. SHOULD PRUNING BE REQUIRED THE PROJECT ARBORIST SHALL BE NOTIFIED FOR APPROVAL PRIOR TO PERFORMING ANY PRUNING.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR INFORMING ALL SUBCONTRACTORS AND INDIVIDUALS WHO WILL BE WORKING ON SITE OF THE TREE PROTECTION REQUIREMENTS AND CONDITIONS OF APPROVAL FOR THE PROJECT.

ROOT PRUNING NOTES:

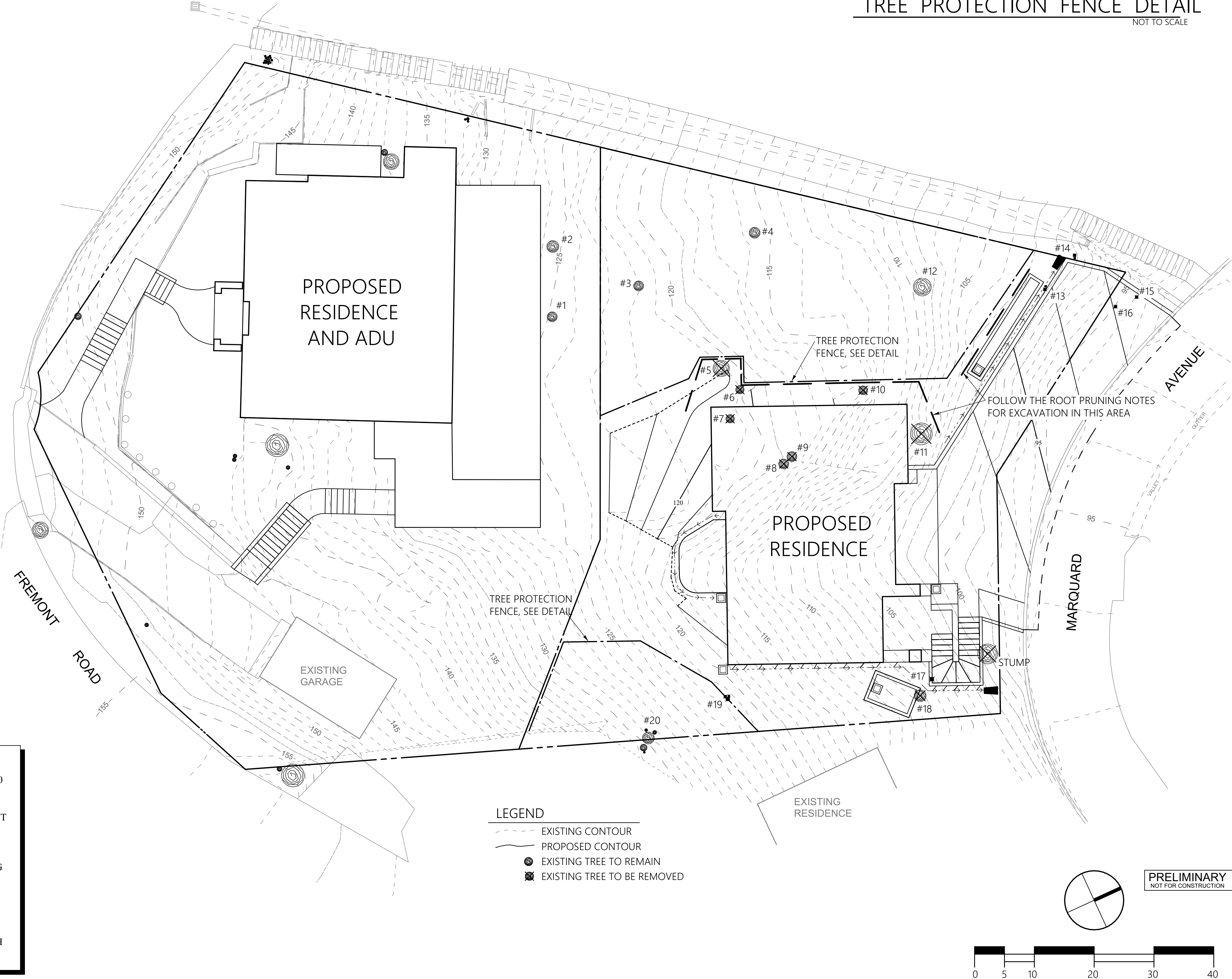
- TREES LOCATED CLOSEST TO THE IMPROVEMENTS REQUIRE THE GREATEST CARE DURING CONSTRUCTION IF THEY ARE TO BE RETAINED LONG-TERM. TO PROVIDE THE GREATEST OPPORTUNITY TO PRESERVE THESE TREES, THE PROJECT ARBORIST SHOULD BE PRESENT WHEN THE EXCAVATION OCCURS, TO PROVIDE GUIDANCE TO THE CONTRACTOR AND TO OBSERVE THE EXTENT OF ROOT DAMAGE.
- WHERE INDICATED ON THE PLAN THE ROOT MASS OF TREES DESIGNATED TO REMAIN SHALL BE SEVERED WITH A ROOT PRUNER MACHINE (WITH SHARP BLADES) TO A DEPTH DETERMINED BY PROJECT ARBORIST PRIOR TO GRADING.
- TO PREVENT ROOT DESICCATION USE MOIST BURLAP, OR OTHER APPROVED MATERIAL, TO COVER THE EXPOSED SOIL SURFACE. THIS ROOT PROTECTION MATERIAL SHALL NOT BE ALLOWED TO DRY OUT AND SHALL REMAIN IN PLACE UNTIL FINAL BACKFILL OF THE SOIL OCCURS.
- NO WOUND DRESSING OF ANY KIND SHALL BE APPLIED TO THE TREES.



NOTE:

- TREE PROTECTION FENCING SHALL BE A MINIMUM OF 4' IN HEIGHT AT ALL LOCATIONS, AND SHALL FORM A CONTINUOUS BARRIER WITHOUT ENTRY POINTS AROUND ALL INDIVIDUAL TREES, OR GROUPS OF TREES. FENCING SHALL SERVE AS A BARRIER TO PREVENT ENCROACHMENT OF ANY TYPE OF CONSTRUCTION ACTIVITIES, EQUIPMENT, MATERIALS STORAGE, OR PERSONNEL.

TREE PROTECTION FENCE DETAIL
NOT TO SCALE



BALCERAK DESIGN

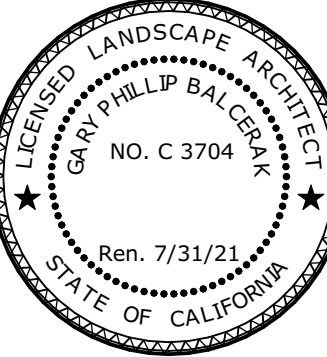
LANDSCAPE ARCHITECTURE • URBAN FORESTRY

608 Beaver Street

Santa Rosa, CA 95404

Phone (707) 573-8234

email: balcerak@sonic.net



TREE PLAN

CUSTOM RESIDENCE

52/54 FREMONT ROAD

SAN RAFAEL, CALIFORNIA

Date	No.	Revision

Date: 2 / 10 / 20

Scale: 1" = 10'-0"

Drawn: GPB

Job: 1801

Sheet

T1.0

Of Sheets

PLANTING LEGEND

KEY	SIZE	BOTANICAL NAME	COMMON NAME	REMARKS	WATER USE
		TREES			
TCA	#15	TORREYA CALIFORNICA	CALIFORNIA NUTMEG		LOW
		SHRUBS			
CAL	#5	CALYCANTHUS OCCIDENTALIS	SPICE BUSH		MEDIUM
GSH	#5	GAULTHERIA SHALLON	SALAL		MEDIUM
RSS	#5	RUBUS SPECTABILIS	SALMONBERRY		MEDIUM
SYA	#5	SYMPHORICARPOS ALBUS VAR. LAEVIGATUS	SNOWBERRY		LOW
VOV	#5	VACCINIUM OVATUM	EVERGREEN HUCKLEBERRY		MEDIUM
		PERENNIALS			
COR	4" POT	COTYLEDON ORBICULATA	PIG'S EAR	6" O.C. TRI. SPACING	LOW
EAG	4" POT	ECHEVERIA AGAVOIDES	NO COMMON NAME	6" O.C. TRI. SPACING	LOW
HMI	#1	HEUCHERA MICRANTHA	CORAL BELLS		MEDIUM
PMU	#5	POLYSTICHUM MUNITUM	SWORD FERN		MEDIUM
SED	4" POT	SEDUM ADOLPHII	GOLDEN SEDUM	6" O.C. TRI. SPACING	LOW
SGR	4" POT	SEDUM GRISEBACHII	STONE CROP	6" O.C. TRI. SPACING	LOW
SEM	4" POT	SEMPERVIVUM TECTORUM	COMMON HOUSELEEK	6" O.C. TRI. SPACING	LOW
WFI	#5	WOODWARDIA FIMBRIATA	GIANT CHAIN FERN		MEDIUM
		VINES			
LCI	#5	LONICERA CLIOSA	WESTERN TRUMPET HONEYSUCKLE		MEDIUM
		GROUNDCOVERS			
CPA	#1	CAREX PANSA	CALIFORNICA MEADOW SEDGE	9" O.C. TRI. SPACING	MEDIUM
JEF	#1	JUNCUS EFFUSUS	SOFT RUSH	2' O.C. TRI. SPACING	MEDIUM
OOR	6" POT	OXALIS OREGANA	REDWOOD SORREL	PER PLAN	MEDIUM

NOTE:
ALL PROPOSED PLANTINGS SHALL BE FIRE RESISTANT AND IRRIGATED. NO PLANTS PROHIBITED BY THE SAN RAFAEL FIRE PROTECTION BUREAU STANDARD 100, THE MARIN MUNICIPAL WATER DISTRICT, OR THE CALIFORNIA INVASIVE PLANT COUNCIL SHALL BE USED. THE CONTROLLER FOR THE IRRIGATION SYSTEM SHALL BE HIGH-EFFICIENCY AND USE EVAPOTRANSPIRATION DATA.

NATURAL STATE SEED MIXAND NOTES

ALL LANDSCAPEAREAS THAT ARE NOT MULCHED SHALL RECEIVE NATURAL STATE SEED MIX ONLY MULCH SHALL BE PLACED WITHIN THE DRIPLINE OF EXISTING TREES TO REMAIN.

Botanical name	Common Name	Rate
<i>Achillea millefolium</i>	Yarrow	0.1
<i>Gilia achilleifolia</i>	Blue Gilia	0.1
<i>Lotus corniculatus</i>	Bird's-foot Trefoil	0.5
<i>Melica californica</i>	California Melic	2.7
<i>Hordeum brachyantherum</i>	Meadow Barley	1.1
<i>Carex tumulicola</i>	Foothill Sedge	1.5

Rate is given inounces of Pure Live Seed per 1000 square feet.

VEGETATION MANAGEMENT PLAN NARRATIVE

THIS SITE IS REMNANT OF A REDWOOD (SEQUOIA SEMPERVIRENS) FOREST, WITH CALIFORNIA BAY (UMBELLULARIA CALIFORNICA) AS AN ASSOCIATE. DUE TO THE SHADED THE UNDERSTORY CONSISTS OF GRASSES AND FORBS. THE SUBJECT PROPERTY HAS A NORTHEAST ASPECT SLOPE. IT APPEARS THAT THERE IS AMPLE SOIL MOISTURE AVAILABLE YEAR ROUND.

BECAUSE OF THE STAND OF TREES AND THE ASPECT ALL OF THE TREES HAVE NATURALLY LIMBED-UP THEIR CROWN, MOST TREES DO NOT EXHIBIT PERMANENT SCAFFOLD BRANCHES UNTIL ± 25' ABOVE NATURAL GRADE. SOME OF THE TREES EXPOSED TO MORE HAVE BRANCHES LOWER, BUT ARE STILL ± 10' ABOVE NATURAL GRADE.

THE LANDSCAPE DESIGN IS CONSISTENT WITH THE MARIN MUNICIPAL WATER DISTRICT REQUIREMENTS, AND THE CITY OF SAN RAFAEL, FOR LANDSCAPE DESIGN. TO PROVIDE A MORE TRADITIONAL SUBURBAN FRONT YARD ORNAMENTAL PLANTS INCLUDING TREES, SHRUBS, PERENNIALS, AND GROUNDCOVERS HAVE BEEN USED. NO LANDSCAPING IN THE REAR YARD IS PROPOSED AT THIS TIME. HOWEVER ALL FUTURE LANDSCAPING SHALL BE CONSISTENT WITH THE REQUIREMENTS OF THIS PLAN AND APPLICABLE FIRE STANDARDS.

LONG TERM MAINTENANCE SCHEDULES AND GOALS

ALL TREE LIMBS OVER 2" DIAMETER SHALL BE REMOVED 15'-20' ABOVE THE GROUND SURFACE.

ANY PORTION OF A TREE THAT IS WITHIN 10' OF A STOVEPIPE OR CHIMNEY SHALL BE REMOVED. NO DEAD OR DYING LIMBS SHALL BE ALLOWED TO OVERHANG ANY BUILDING. TREES THAT OVERHANG ROADWAYS SHALL BE PRUNED TO ASSURE A MINIMUM VERTICAL CLEARANCE OF 15'-0".

ALL COMBUSTIBLE DEBRIS, INCLUDING LEAVES, SHALL BE REMOVED FROM THE ROOF AND GUTTERS NO LESS THAN ONCE EVERY SIX MONTHS.

ALL WEEDS AND GRASSES SHALL BE MOWED REGULARLY; IN NO INSTANCE SHALL THEIR HEIGHT EXCEED 12".

ALL DEAD AND DYING VEGETATION WITHIN THE DEFENSIBLE SPACE ZONE SHALL BE REMOVED NO LESS THAN EVERY SIX MONTHS.

ALL MOTORIZED MAINTENANCE EQUIPMENT, INCLUDING SAWS AND MOWERS, SHALL BE EQUIPPED WITH SPARK ARRESTORS. EXERCISE CARE AND CHECK FOR ROCKS PRIOR TO MOWING TO PREVENT MOWER BLADES FROM SPARKING.

REFERENCES

KENT, D., 2005. *FIRESCAPING: CREATING FIRE-RESISTANT LANDSCAPES, GARDENS, AND PROPERTIES IN CALIFORNIA'S DIVERSE ENVIRONMENTS*. BERKELEY CA, WILDERNESS PRESS.

EAST BAY MUNICIPAL UTILITY DISTRICT. 2003. *FIRESCAPE: LANDSCAPING TO REDUCE FIRE HAZARD*. OAKLAND CA, ADMINISTRATION DEPARTMENT EBMUD.

PLANTING NOTES:

1. A MINIMUM OF 8" OF NON-MECHANICALLY COMPACTED SOIL SHALL BE AVAILABLE FOR WATER ABSORPTION AND ROOT GROWTH IN PLANTED AREAS.
2. INCORPORATE COMPOST INTO THE SOIL TO A MINIMUM DEPTH OF 8" AT A RATE OF 6 CUBIC YARDS PER 1000 SQUARE FEET IN ALL PLANTING AREAS . DO NOT TILL THE SOIL UNDER EXISTING TREES DESIGNATED TO REMAIN.
3. ALL PLANTING AREAS SHALL RECIEVE A MINIMUM OF 3" OF MULCH, EXCEPT INTURF AREAS, CREEPING OR ROOTING GROUNDCOVERS AND DIRECT SEEDING APPLICATIONS.
4. AFTER THE GRADING OPERATIONS ARE COMPLETE AND PRIOR TO THE BEGINNING THE LANDSCAPE INSTALLATION SOIL SAMPLING SHALL OCCUR AND SAMPLES SENT TO A TESTING LABORATORY FOR ANALYSIS AND RECOMMENDATIONS. THE ANALYSIS SHALL, AT A MINIMUM, INCLUDE: SOIL TEXTURE, INFILTRATION RATE, pH, TOTAL SOLUBLE SALTS, SODIUM LEVEL, AND PERCENT OF ORGANIC MATTER. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION TO THE CITY (WITH THE CERTIFICATE OF COMPLETION) THAT THE RECOMMENDATIONS FROM THE SOIL ANALYSIS HAVE BEEN IMPLEMENTED.
5. THESE LANDSCAPE DESIGN PLANS COMPLY WITH THE CRITERIA OF THE WATER CONSERVATION ORDINANCE AND EFFICIENT USE OF WATER IN THE LANDSCAPE.

HAZARD ASSESSMENT MATRIX									
Hazard Points	1	2	3	4	5	6	7	8	Points
Aspect	NEE	NW,N	SE, W	S	SW				
Slope	0-10	11-20	21-30	31+					
Fuel 0-30	Specimen Garden	Hardwood	Grass	Mostly Grass	Mostly Brush	Pyrophoric Hardwoods Chaparral	Conifer	Conifer w/brush undestory	
Fuel 31-100	Grass, Mostly Grass	Mostly Brush		Pyrophoric Hardwoods Chaparral	Conifer with brush undestory				

Total Hazard Points 11

Minimum Horizontal Clearance Requirement in feet 30' x 30' x 50'

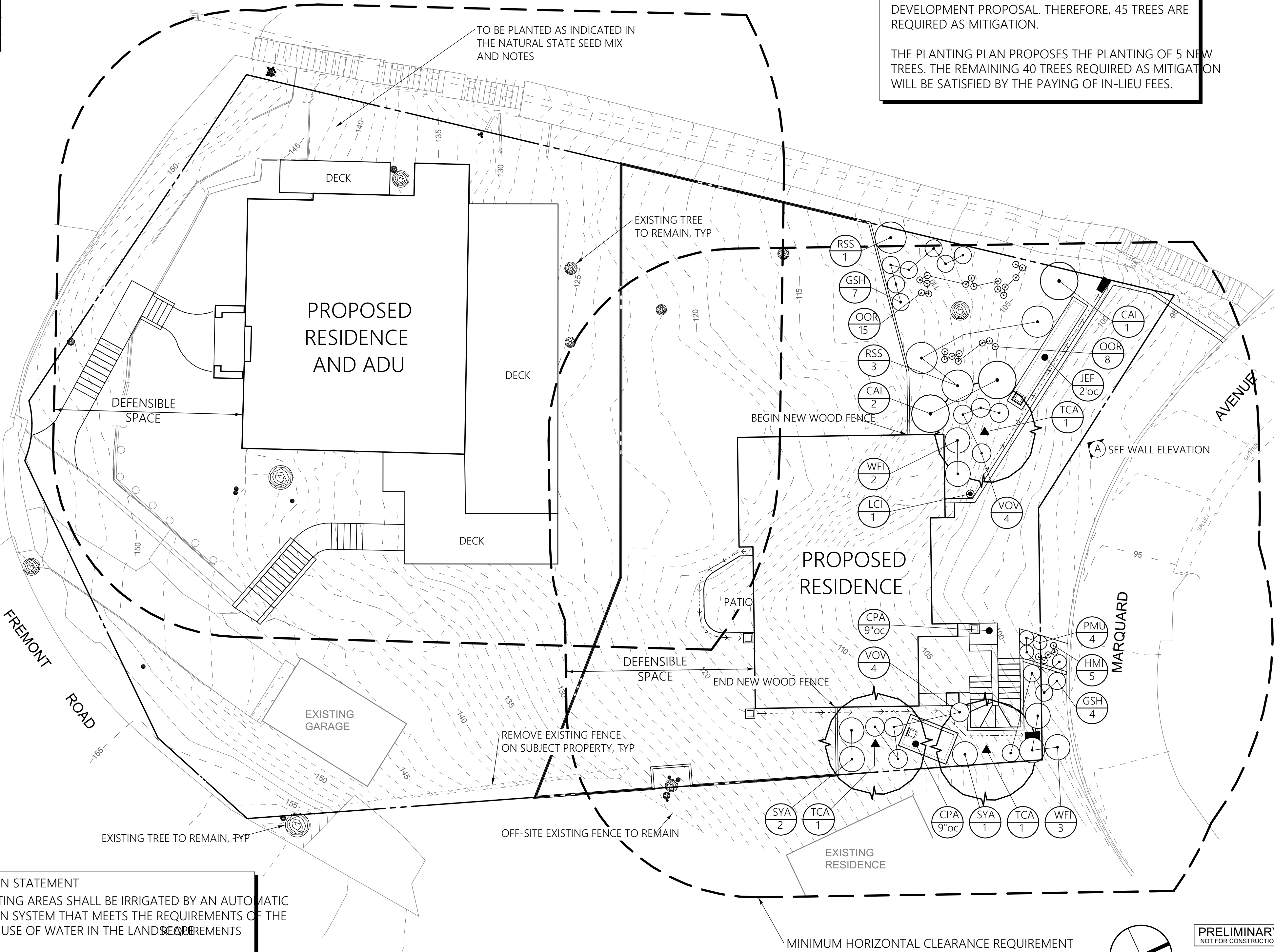
Hazard Points:

1 2 3 4 5 6 7	8 9 10 11 12 13 14	15 16 17 18 19 20 21 22 23 24 25+
30x30x30 ft.	30x30x50 ft.	50x50x100 ft.

TREE REMOVAL AND MITIGATION

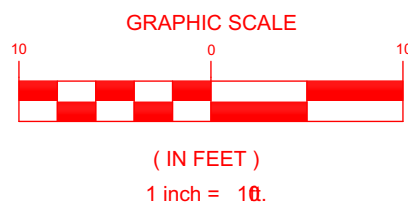
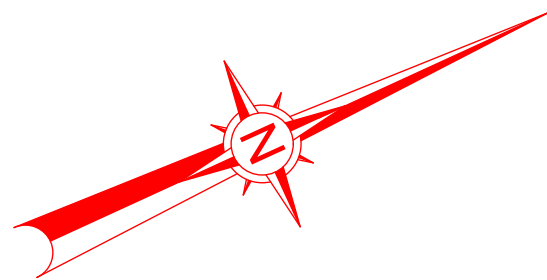
TREES REMOVED SHALL BE MITIGATED AT THE RATE OF 1:1. A TOTAL OF 15 TREES ARE PROPOSED FOR REMOVAL FOR THIS DEVELOPMENT PROPOSAL. THEREFORE, 45 TREES ARE REQUIRED AS MITIGATION.

THE PLANTING PLAN PROPOSES THE PLANTING OF 5 NEW TREES. THE REMAINING 40 TREES REQUIRED AS MITIGATION WILL BE SATISFIED BY THE PAYING OF IN-LIEU FEES.



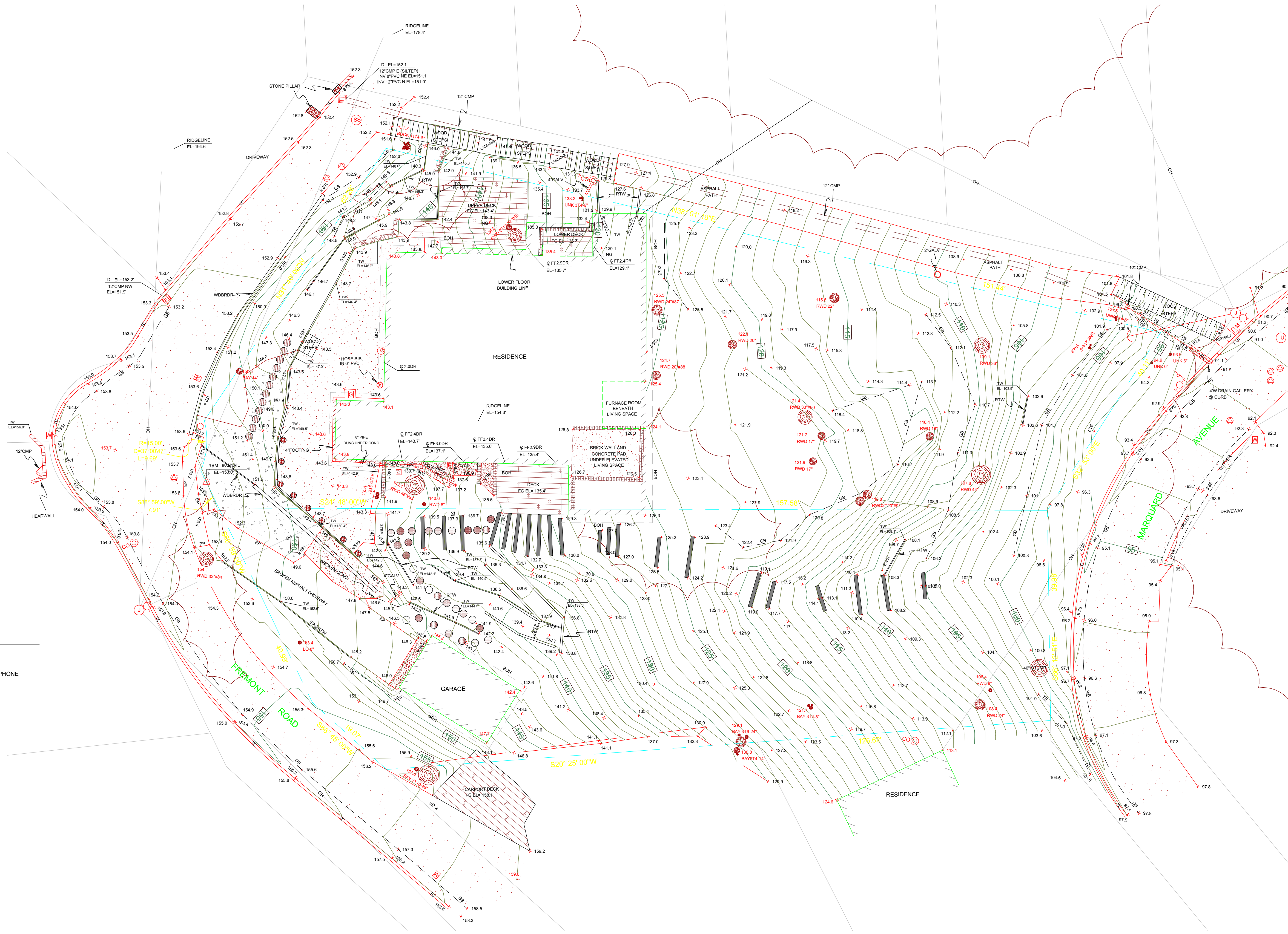
IRRIGATION STATEMENT
ALL PLANTING AREAS SHALL BE IRRIGATED BY AN AUTOMATIC IRRIGATION SYSTEM THAT MEETS THE REQUIREMENTS OF THE EFFICIENT USE OF WATER IN THE LANDSCAPE.

THE IRRIGATION PLAN SHALL BE PREPARED AS PART OF THE BUILDING PERMIT SUBMITTAL. THE DRAWING SHALL INCLUDE ALL THE REQUIREMENTS OF THE EFFICIENT USE OF WATER IN THE LANDSCAPE INCLUDING STANDARD NOTES, IRRIGATION AUDIT, AND CERTIFICATE OF COMPLETION.



LEGEND

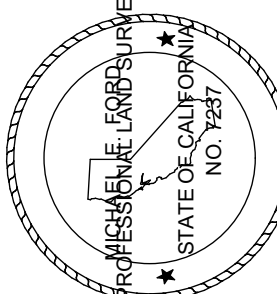
	TBM-TEMPORARY BENCHMARK		SPOT ELEVATION
	WOOD FENCE		OVERHEAD POWER & TELEPHONE
	WIRE FENCE		TREE SYMBOL & DRIP LINE
	CONCRETE		UNK UNKNOWN SPECIES
	GRAVEL		BUCK BUCKEYE
	WOOD STEP, RAILROAD TIE		L.O. LIVE OAK
	CONCRETE WALL		RWD REDWOOD
	ROCK WALL		FF FINISHED FLOOR
	BRICK WALL		TC TOP OF CURB
	CONCRETE PILLAR		FL FLOWLINE
	STEPPING STONES		TW TOP OF WALL
	DRAIN INLET		BOH BUILDING OVERHANG
	SANITARY SEWER MANHOLE		NG NATURAL GROUND
	SANITARY SEWER CLEANOUT		GB GRADE BREAK
	FIRE HYDRANT		TO TOE OF BANK
	WATER VALVE		TB TOP OF BANK
	HOSE BIB		EP EDGE PAVING
	WATER METER		RTW WOOD RETAINING WALL
	GAS METER		WDBDRD WOOD BORDER
	UNKNOWN UTILITY (MANHOLE)		M MAILBOX
	CHIMNEY VENT, VERTICAL		STREET LIGHT
	JOINT UTILITY POLE		RD ROOF DRAIN
	GUY WIRE		B BOLLARD
	ELECTRIC METER		S SIGN
			VP VERTICAL PIPE, SIZE AS NOTED



BENCHMARK:
CONTROL POINT #1 EL 153.00 (ASSUMED)

NOTE:
PARCEL INFORMATION SHOWN HEREON IS NOT THE RESULT OF A COMPREHENSIVE BOUNDARY ANALYSIS AND SURVEY AND SHOULD NOT BE RELIED UPON AS BEING FINAL OR ALL INCLUSIVE. THE PARCEL LINE INFORMATION WAS COMPILED FROM THE ASSESSOR'S PARCEL MAP(S) AND MAPS OF RECORD, IF ANY, ON FILE IN THE PUBLIC RECORDS. INCONSISTENCIES, AMBIGUITIES, AND APPARENT ENCROACHMENTS BETWEEN THE PARCEL LINES AND ACTUAL FIELD CONDITIONS WERE NEITHER CONSIDERED NOR RESOLVED.

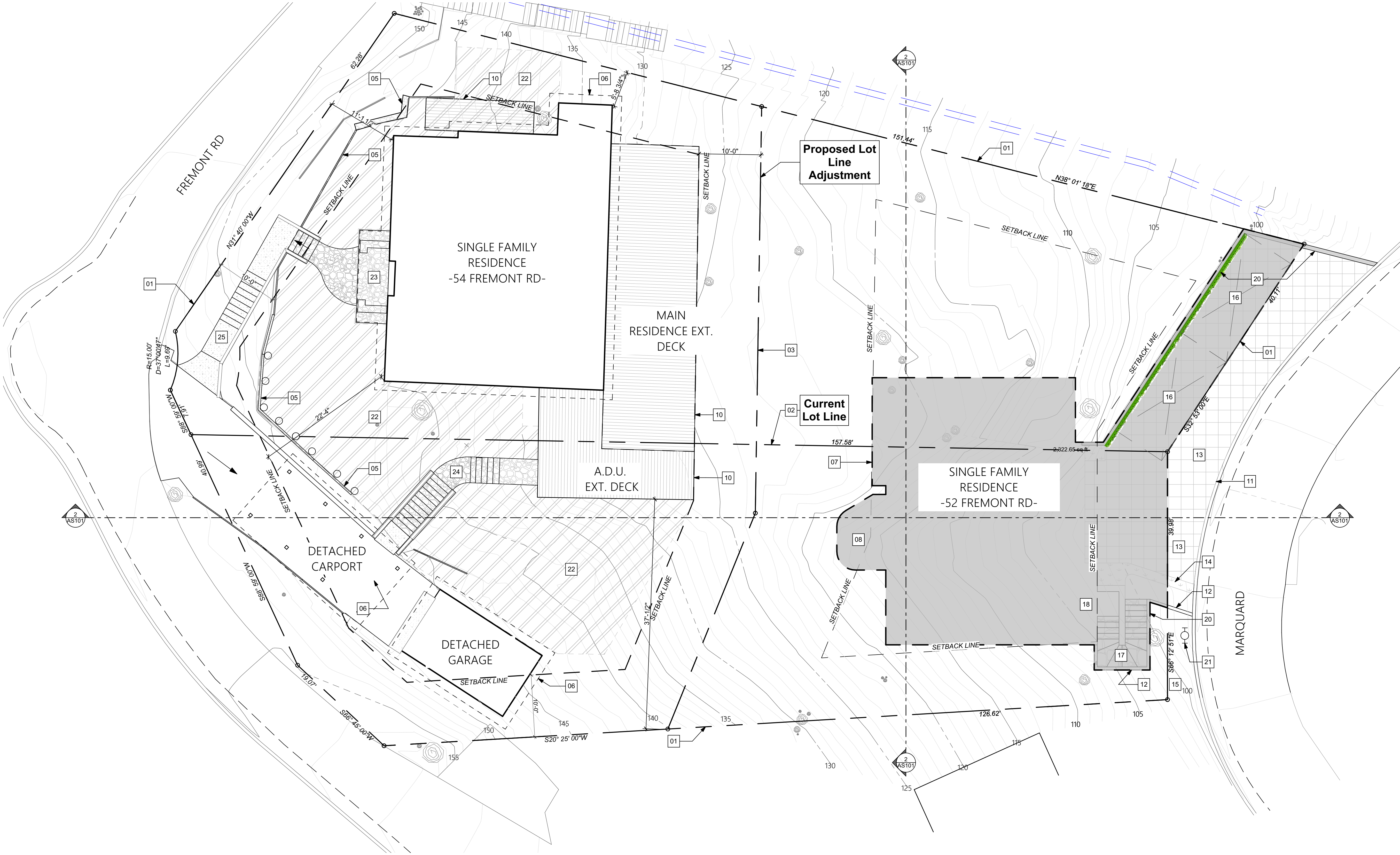
BASIS OF BEARING:
RECORD OF SURVEY, FILED IN BOOK 2012 OF MAPS, AT PAGE 110, MARIN COUNTY RECORDS.



REVISIONS:

DATE:	03/06/17
DRAWN BY:	DC
CHECKED BY:	MEF
SCALE:	1" = 10'
JOB NUMBER	172986
DWG. FILE	2986-TP.DWG
SHEET	1 of 1

Zoning: R10 + Hillside Overlay Zone	Required	54 Fremont Rd. (Existing Lot)	New Fremont Rd. Frontage Lot	52 Fremont Rd. (Existing Lot)	New Marquard Ave. Frontage Lot
Lot Size	10,000 s.f. min.	8643 s.f.	8643 s.f.	6587 s.f.	6587 s.f. (same as old Fremont Rd)
Lot Coverage	40%	27.4% = 2368 s.f.	35.66% = 2899 s.f.	3.5% = 232 s.f.	30.3% = 1995.9 s.f.
Setbacks					
Front	20 ft.	11'-1" (non-conforming)	11'-1" (non-conforming)	13'-1"	20'-0"
Side Top	10 ft.	7" (non-conforming)	5'-7" (non-conforming)	24'-2"	17'-10"
Side Bottom	10 ft.	1'-1" Encroachment (non-conforming)	36'-9"	3'-8" (non-conforming)	10'-0"
Rear	10 ft.	76'-4"	9'-6" (non-conforming)	10'-0"	15'-7"
Gross Building Square Footage	2500 s.f. + 10% of Lot Area	Allowed: 2500 s.f. + (10% of 8643 s.f.) = 3364 s.f.; Current: 3072 s.f. Main Dwelling Upper Level: 1600 s.f. Main Dwelling Lower Level: 1240 s.f. Garage: 232 s.f.	Allowed: 2500 s.f. + (10% of 8643 s.f.) = 3364 s.f.; Proposed: 3130 s.f. Main Dwelling: 1554 s.f. Main Deck: 707 s.f. Garage: 232 s.f. ADU Deck: 296 s.f. ADU: 1104 s.f. Main Deck 2: 75 s.f. Carport: 240 s.f.	Allowed: 2500 s.f. + (10% of 6587 s.f.) = 3159 s.f.; Current: 231 s.f.	Allowed: 2500 s.f. + (10% of 6587 s.f.) = 3158 s.f.; Current: 2492 s.f. (complies) Basement: 196 s.f. (old-186 s.f.) Master Balcony: 53 s.f. First Floor: 1339 s.f. (old-1487 s.f.) Main Deck: 184 s.f. Second Floor: 957 s.f. (old- 1274 s.f.) Rear Patio: 85 s.f. Total: 2492 s.f. (old- 2947 s.f.)
Natural State Preservation of Lot	25% + Slope %	Minimum: 25% + 35.36% = 60.36% of 8643 s.f. = 5217 s.f.; Current: 57% = 4875 s.f.	Minimum: 25% + 40.69% = 65.69% of 8643 s.f. = 5678 s.f.; Proposed: 57% = 4933 s.f.	Minimum: 25% + 46.33% = 71.33% of 6587 s.f. Min= 4699 s.f.; Current: 6355 s.f. = 96%	Minimum: 25% + 39.42% = 64.42% of 6587 s.f. = 4243 sf s.f.; Proposed: 63.16% = 4264 s.f.
Height	30 ft. from natural grade to roof peak (20 ft. within 15 ft. of building envelope)	30'-11" (non-conforming)	23'-5"	10'-8"	26'-7"
Parking	2 covered + 2 additional (excluding driveway apron)	none	2 covered (1 Garage + 1 Carport)	1 covered (garage)	2 covered + 2 additional (excluding driveway apron)



SITE PLAN
SCALE: 1/8" = 1'-0"

- SITE PLAN GENERAL NOTES**
- REFER TO "EXCAVATION NOTES", DIVISION 31, SHT. G-002, FOR CITY OF SAUSALITO EXCAVATION REQUIREMENTS.
 - REFER TO "GRADING NOTES", DIVISION 31, SHT. G-002, FOR GRADING REQUIREMENTS.
 - REFER TO "TREE PROTECTION NOTES", DIVISION 1, SHT. G-001, FOR MARIN COUNTY MANDATORY TREE PROTECTION MEASURES.
 - REFER TO "EROSION CONTROL NOTES", DIVISION 1, SHT. G-001, FOR MANDATORY EROSION CONTROL MEASURES.
 - REFER TO "DUST MITIGATION PLAN", DIVISION 1, SHT. G-001, FOR CITY OF SAUSALITO DUST MITIGATION REQUIREMENTS.
 - REFER TO "CONSTRUCTION MANAGEMENT PLAN", DIVISION 1, SHT. G-001, FOR CITY OF SAUSALITO CONSTRUCTION MANAGEMENT MEASURES.

- SITE PLAN SYMBOLS LEGEND**
- +90'-3" BW
BOTTOM OF WALL SPOT ELEVATION PER SURVEY DATUM
 - +94'-0" TW
TOP OF WALL SPOT ELEVATION PER SURVEY DATUM
 - DWG. #
LAYOUT #
SITE SECTION CALLOUT
 - 100
TOPOGRAPHIC LINES @ 2'-0" INTERVAL
 - PROPERTY LINE
 - KEY NOTE CALLOUT - SEE "SITE PLAN KEYNOTES" BELOW
 - LOCATION OF DOWNSPOUT CONNECTION TO SUBSURFACE STORM DRAINAGE SYSTEM - SEE DRAINAGE PLANS

- SITE PLAN KEY NOTES**
- (E) PROPERTY LINE TO REMAIN
 - (E) PROPERTY LINE TO BE VACATED
 - PROPOSED PROPERTY LINE
 - (E) STEPS / PATHSTONES TO REMAIN TYP.
 - (E) RET'G WALLS TO REMAIN TYP.
 - LINE OF ROOF OVERHANG ABOVE
 - PERIMETER LINE OF PROPOSED SINGLE FAMILY RESIDENCE
 - PROPOSED SLAB ON GRADE PATIO
 - PROPOSED DECK SUPPORT POST
 - LINE OF PROPOSED DECK ABOVE
 - EDGE OF DRIVEWAY
 - PROPOSED RET'G WALL
 - STAMPED CONC. DRIVEWAY
 - PLANTING STRIP
 - BIORETENTION BASIN
 - 10' X 20' GUEST PARKING SPACE
 - ENTRY STAIRS
 - ENTRY PORCH
 - LINE OF TRELLIS ABOVE TYP.
 - LIVING WALL "FLORAFELT" WALL SYSTEM OR SIM. (WALL EMBELLISHMENT)
 - RELOCATED HYDRANT
 - AREA OF FREMONT FRONTAGE LOT TO BE REVERTED TO NATURAL STATE - SHOWN WITH DIAGONAL DOUBLE LINE. SEE LANDSCAPE PLAN, SHEET L1.
 - PORCH
 - WALKWAY / STAIRS TO A.D.U.
 - WALKWAY / STAIRS TO RESIDENCE

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52/54 Fremont Street
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A.P.N.: 012-043-11 & 12

ISSUES	
MARK	DESCRIPTION
	PLANNING SUBMISSION
	PLANNING SUBMISSION
	PLANNING SUBMISSION
	PLANNING SUBMISSION
	PLANNING SUBMISSION

PROJECT #: 1805

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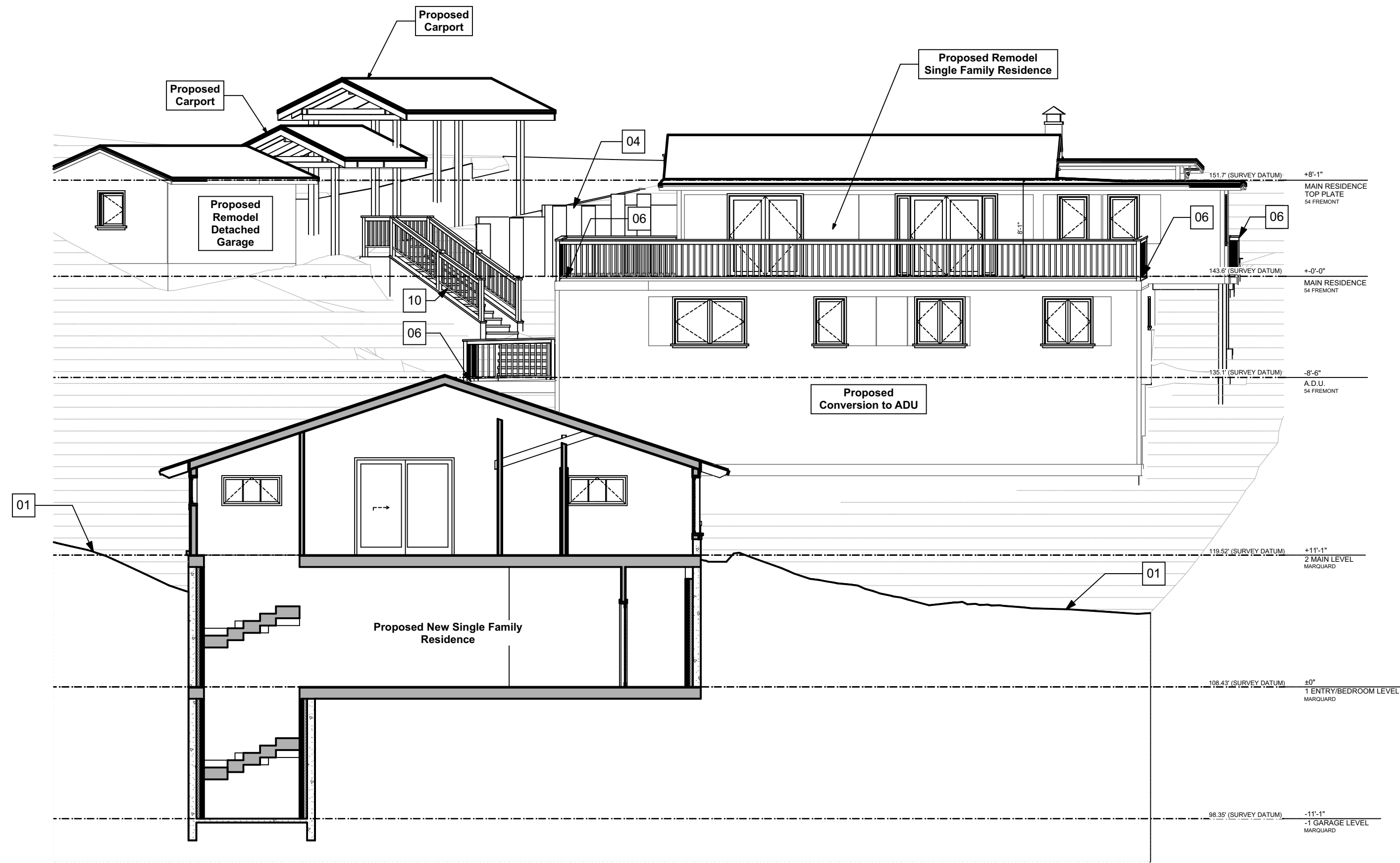
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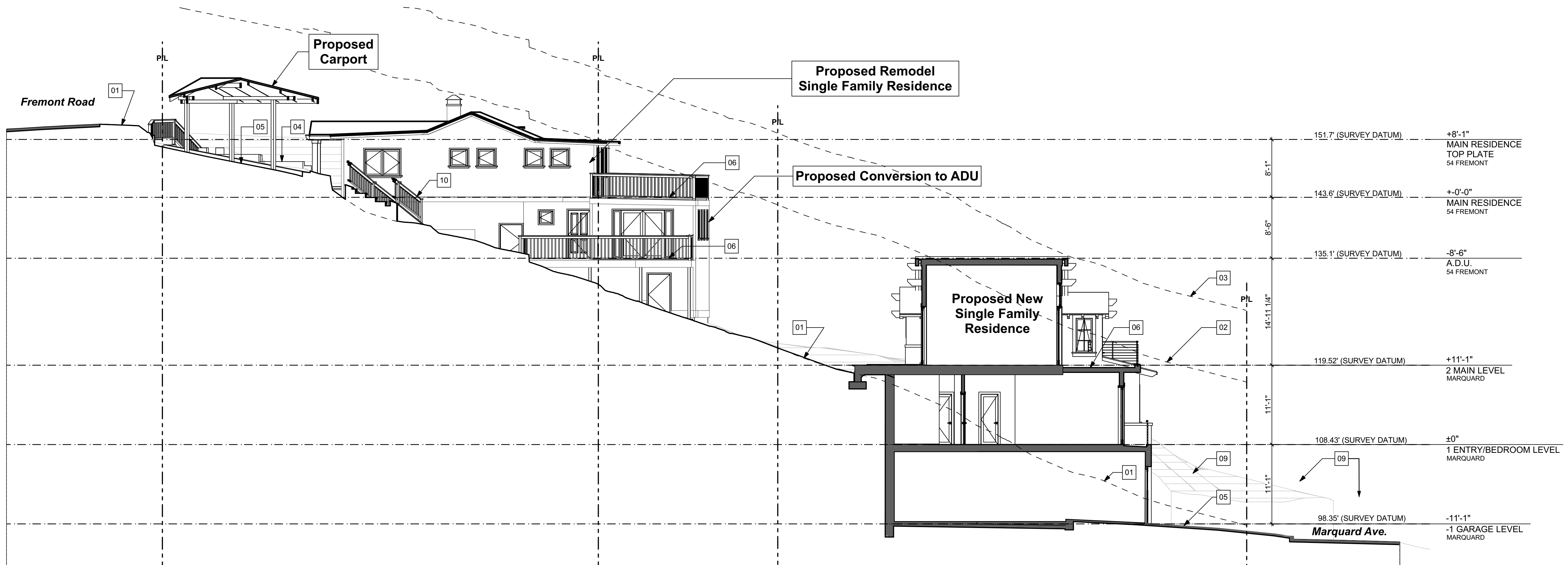
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SITE PLAN

AS100



1 Site Section
SCALE: 1/8" = 1'-0"



2 Site Section
SCALE: 1/8" = 1'-0"

SITE SECTION KEY NOTES	SECTION GENERAL NOTES
01 - NATURAL GRADE LINE 02 - 20 FT. "STEPBACK" HEIGHT LINE 03 - 30 FT. MAX. HEIGHT LINE 04 - CONCRETE RETAINING WALL 05 - DRIVEWAY 06 - (N) DECK 07 - (N) ON GRADE CONCRETE PATIO 08 - (N) PORCH 09 - (N) LIVING WALL FLORAFELT 10 - (N) SITE STAIRS/WALKWAY	<ul style="list-style-type: none">SEE TITLE 24 ENERGY REQUIREMENTS, SHT. E-000, FOR INSULATION REQUIREMENTS AND GENERAL NOTESSEE EXTERIOR ELEVATIONS FOR TYPICAL WALL FINISHREFER TO "GENERAL NOTES", SHT. G-001, FOR FURTHER INFORMATION.
SECTION SYMBOLS LEGEND	
KEY NOTE CALLOUT - SEE "FLOOR PLAN KEY NOTES" BELOW	
<div>11</div> <div>1 A-500</div> <div>DWG. # LAYOUT #</div> <div>DETAIL CALLOUT</div>	

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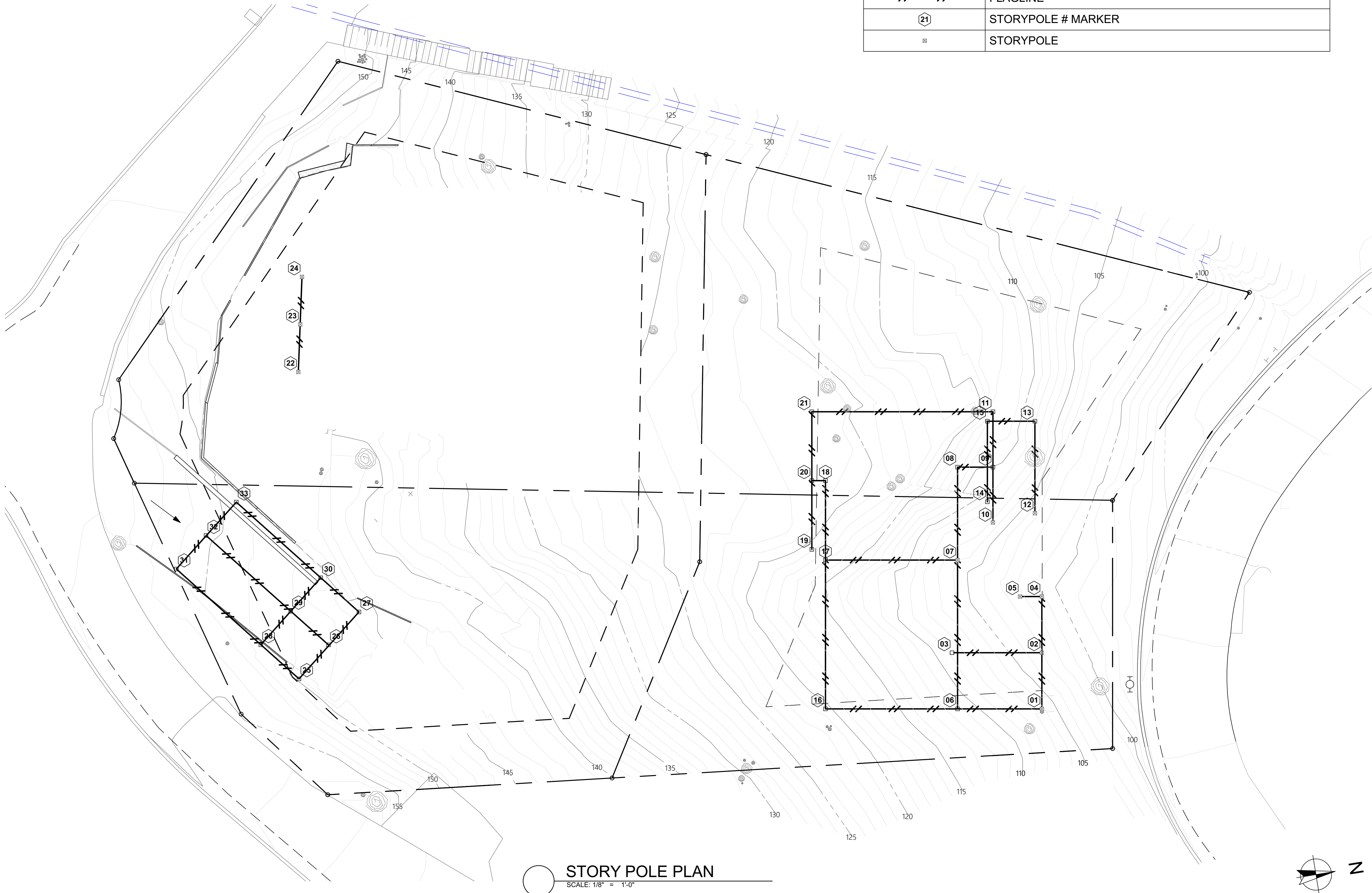
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ISSUES	
MARK	DESCRIPTION
	PLANNING SUBMISSION
	PLANNING SUBMISSION
	PLANNING SUBMISSION
	PLANNING SUBMISSION
	PLANNING SUBMISSION

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SITE SECTION

AS101



LEGEND	
	FLAGLINE
	STORYPOLE # MARKER
	STORYPOLE

STORY POLES HEIGHTS

Pole #	Height
Pole # 01	16'-4 1/2"
Pole # 02	22'-8 1/2"
Pole # 03	16'-6"
Pole # 04	21'-5 3/4"
Pole # 05	20'-5 3/4"
Pole # 06	16'-7 1/4"
Pole # 07	29'-8 3/4"
Pole # 08	18'-6 1/4"
Pole # 09	20'-9"
Pole # 10	21'-4 1/2"
Pole # 11	15'-7 1/4"
Pole # 12	16'-6 1/4"
Pole # 13	11'-6 1/4"
Pole # 14	12'-7"
Pole # 15	9'-7"
Pole # 16	7'-7 1/4"
Pole # 17	18'-8 3/4"
Pole # 18	10'-5 3/4"
Pole # 19	8'-7 1/4"
Pole # 20	10'-5 3/4"
Pole # 21	6'-7 1/4"
Pole # 22	9'-3 3/4"
Pole # 23	11'-4"
Pole # 24	9'-3 3/4"
Pole # 25	4'-11 1/2"
Pole # 26	11'-1"
Pole # 27	8'-6 1/2"
Pole # 28	6'-11 1/2"
Pole # 29	14'-1/2"
Pole # 30	10'-11 1/2"
Pole # 31	7'-0"
Pole # 32	10'-11"
Pole # 33	8'-9 3/4"

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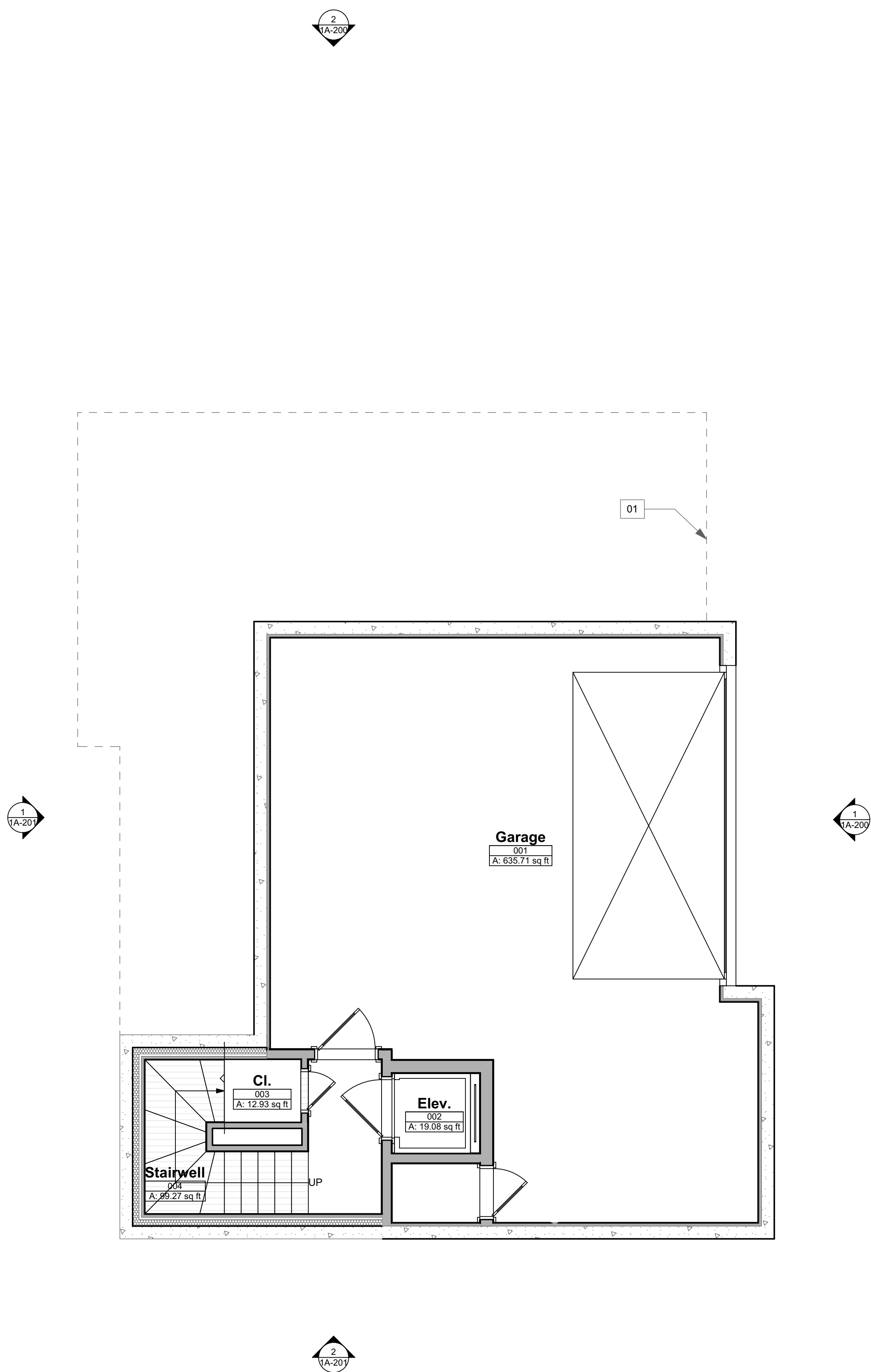
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ISSUES	
MARK	DESCRIPTION
	PLANNING SUBMISSION
	PLANNING SUBMISSION
	PLANNING SUBMISSION
	PLANNING SUBMISSION
	PLANNING SUBMISSION

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STORY POLE PLAN

AS102



GROSS BUILDING SQUARE FOOTAGE: 186 S.F.
SUBFLOOR LEVEL: +98.35'

BASEMENT FLOOR PLAN

SCALE: 1/4" = 1'-0"

FLOOR PLAN GENERAL NOTES

- REFER TO "GENERAL NOTES", SHT. G-001 & SHT. G-002, FOR FURTHER INFORMATION.

FLOOR PLAN SYMBOLS LEGEND

(E) EXTERIOR
CONCRETE/BRICK WALL

(E) INTERIOR WOOD FRAMED
WALL

(N) 2X4 WOOD FRAMED WALL -
SEE STRUCTURAL PLANS

W02

4'-0"

4'-0"

NEW WINDOW CALLOUT -
SEE WINDOW SCHEDULE,
SHT. A-600

D05

3'-0"

6'-0"

NEW DOOR CALLOUT - SEE
WINDOW SCHEDULE, SHT.
A-600

11

←

KEY NOTE CALLOUT - SEE
"FLOOR PLAN KEY NOTES"
BELOW

1

→

1

→

DWG. #

LAYOUT #

ELEVATION
CALLOUT

1

→

1

→

DWG. #

LAYOUT #

SECTION
CALLOUT

FLOOR PLAN KEY NOTES

01- LINE OF LEVEL ABOVE

ISSUES	
MARK	DESCRIPTION
	PLANNING SUBMISSION
	PLANNING SUBMISSION
	PLANNING SUBMISSION
	PLANNING SUBMISSION
	PLANNING SUBMISSION

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BASEMENT FLOOR
PLAN

1A-100

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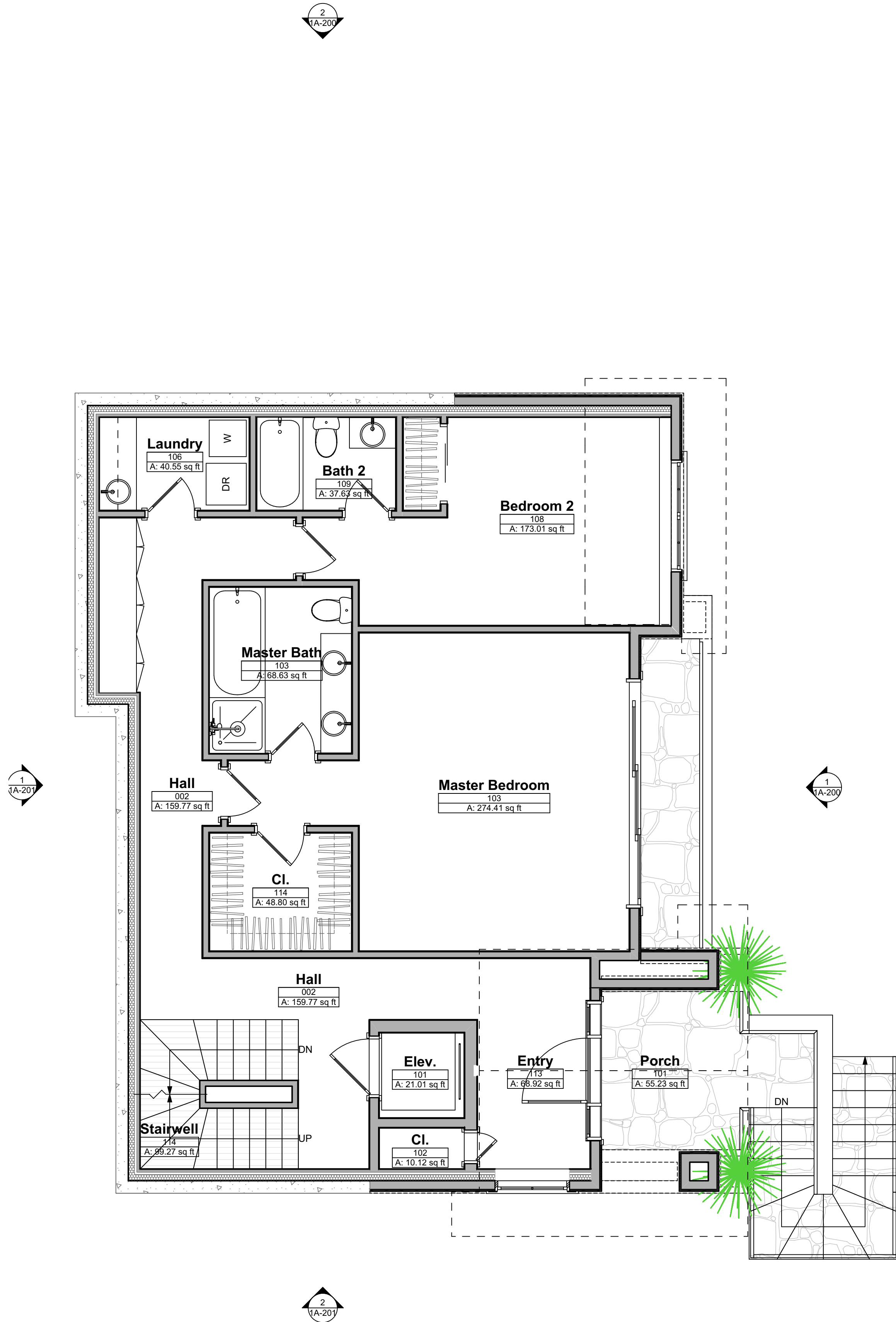
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GROSS BUILDING SQUARE FOOTAGE: 1487 S.F.
SUBFLOOR LEVEL: +111.43'

FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

FLOOR PLAN GENERAL NOTES

- REFER TO "GENERAL NOTES", SHT. G-001 & SHT. G-002, FOR FURTHER INFORMATION.

FLOOR PLAN SYMBOLS LEGEND

(E) EXTERIOR
CONCRETE/BRICK WALL

(E) INTERIOR WOOD FRAMED
WALL

(N) 2X4 WOOD FRAMED WALL -
SEE STRUCTURAL PLANS

W02

4'-0"

4'-0"

NEW WINDOW CALLOUT -
SEE WINDOW SCHEDULE,
SHT. A-600

D05

3'-0"

6'-0"

NEW DOOR CALLOUT - SEE
WINDOW SCHEDULE, SHT.
A-600

11

←

KEY NOTE CALLOUT - SEE
"FLOOR PLAN KEY NOTES"
BELOW

1

→

1

→

DWG. #

LAYOUT #

ELEVATION
CALLOUT

1

→

1

→

DWG. #

LAYOUT #

SECTION
CALLOUT

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A.P.N.: 012-043-11 & 12

ISSUES	
MARK	DESCRIPTION
	PLANNING SUBMISSION
	PLANNING SUBMISSION
	PLANNING SUBMISSION
	PLANNING SUBMISSION
	PLANNING SUBMISSION

PROJECT #:

1805

CAD FILE:

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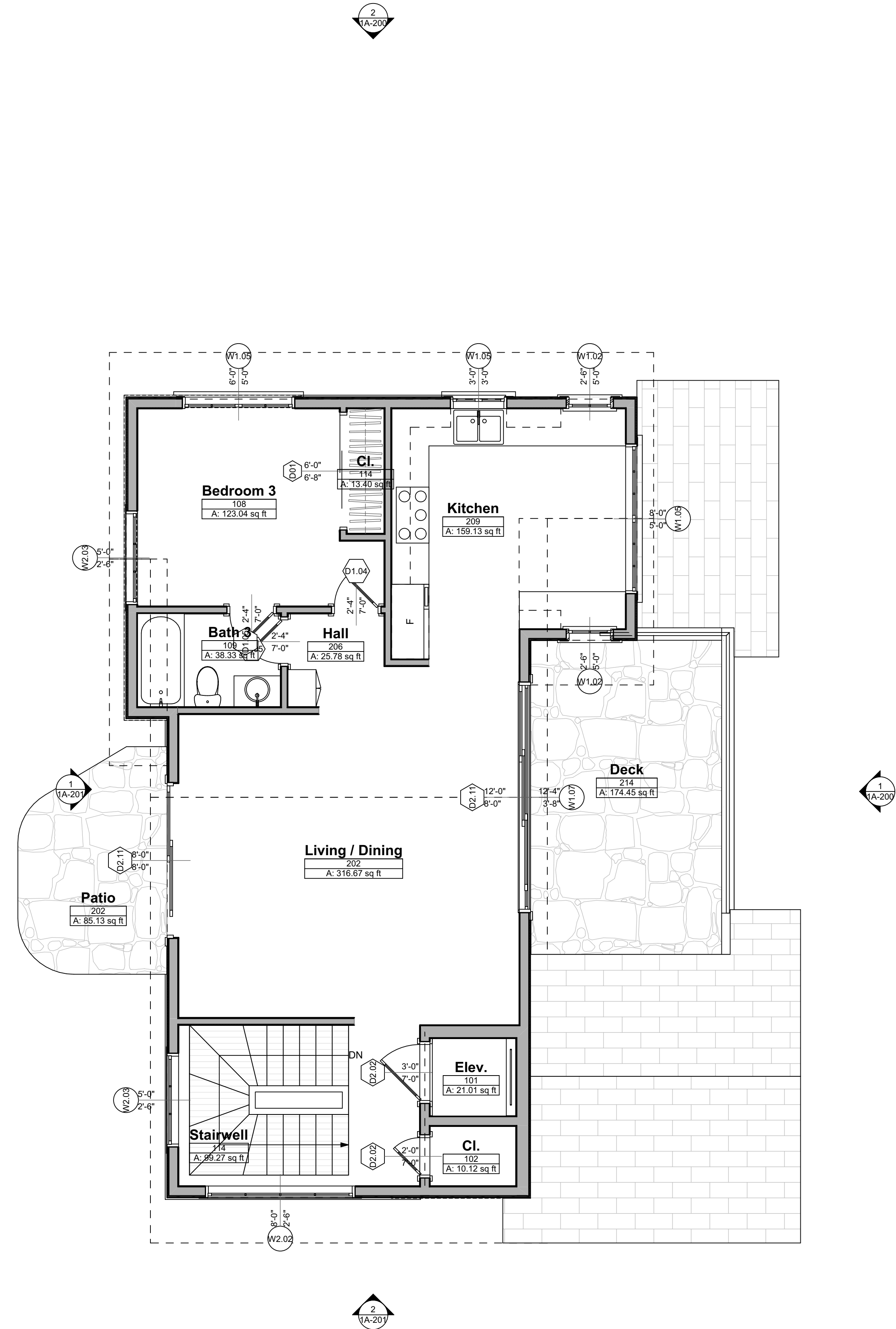
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FIRST FLOOR PLAN

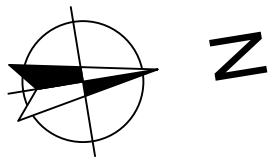
1A-101



GROSS BUILDING SQUARE FOOTAGE: 1274 S.F.
SUBFLOOR LEVEL: +122.52'

SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"



FLOOR PLAN GENERAL NOTES

- REFER TO "GENERAL NOTES", SHT. G-001 & SHT. G-002, FOR FURTHER INFORMATION.

FLOOR PLAN SYMBOLS LEGEND

(E) EXTERIOR CONCRETE/BRICK WALL

(E) INTERIOR WOOD FRAMED WALL

(N) 2X4 WOOD FRAMED WALL - SEE STRUCTURAL PLANS

W02

4'-0"

4'-0"

NEW WINDOW CALLOUT - SEE WINDOW SCHEDULE, SHT. A-600

D05

3'-0"

6'-0"

NEW DOOR CALLOUT - SEE WINDOW SCHEDULE, SHT. A-600

11

←

KEY NOTE CALLOUT - SEE "FLOOR PLAN KEY NOTES" BELOW

1

→

DWG. #

1

←

LAYOUT #

ELEVATION CALLOUT

1

→

DWG. #

1

←

LAYOUT #

SECTION CALLOUT

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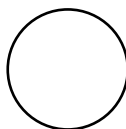
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ISSUES	
MARK	DESCRIPTION
	PLANNING SUBMISSION
	PLANNING SUBMISSION
	PLANNING SUBMISSION
	PLANNING SUBMISSION
	PLANNING SUBMISSION

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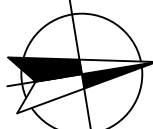
SECOND FLOOR PLAN

1A-102

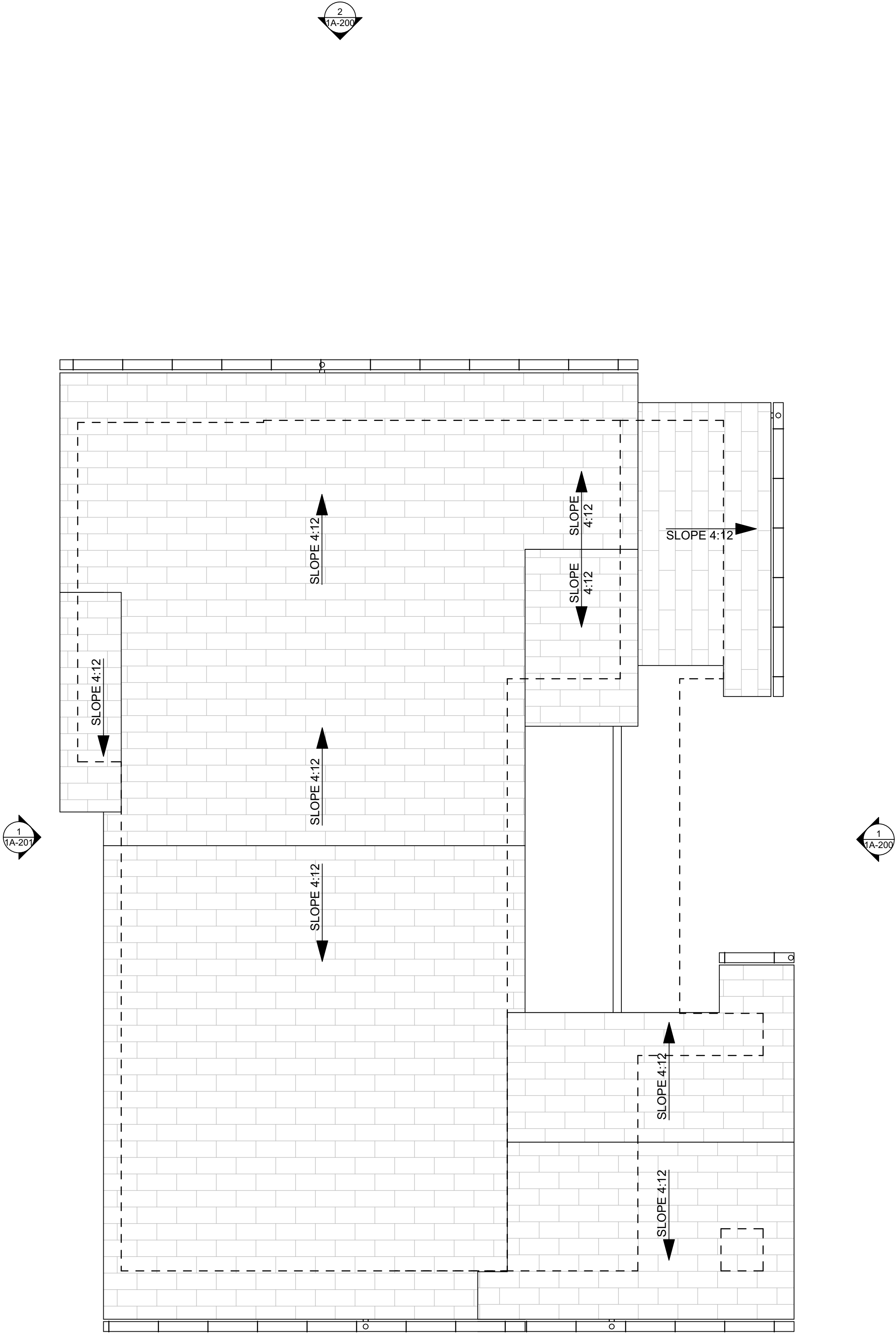


ROOF PLAN

SCALE: 1/4" = 1'-0"



N



FLOOR PLAN GENERAL NOTES

- REFER TO "GENERAL NOTES", SHT. G-001 & SHT. G-002, FOR FURTHER INFORMATION.

FLOOR PLAN SYMBOLS LEGEND

(E) EXTERIOR CONCRETE/BRICK WALL

(E) INTERIOR WOOD FRAMED WALL

(N) 2X4 WOOD FRAMED WALL - SEE STRUCTURAL PLANS

NEW WINDOW CALLOUT - SEE WINDOW SCHEDULE, SHT. A-600

NEW DOOR CALLOUT - SEE WINDOW SCHEDULE, SHT. A-600

KEY NOTE CALLOUT - SEE "FLOOR PLAN KEY NOTES" BELOW

DWG. #
LAYOUT #

ELEVATION
CALLOUT

DWG. #
LAYOUT #

SECTION
CALLOUT

ISSUES		
MARK	DATE	DESCRIPTION
	7/02/18	PLANNING SUBMISSION
	2/04/19	PLANNING SUBMISSION
	4/04/19	PLANNING SUBMISSION
	7/26/19	PLANNING SUBMISSION
	2/24/2020	PLANNING SUBMISSION

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ROOF PLAN

1A-103

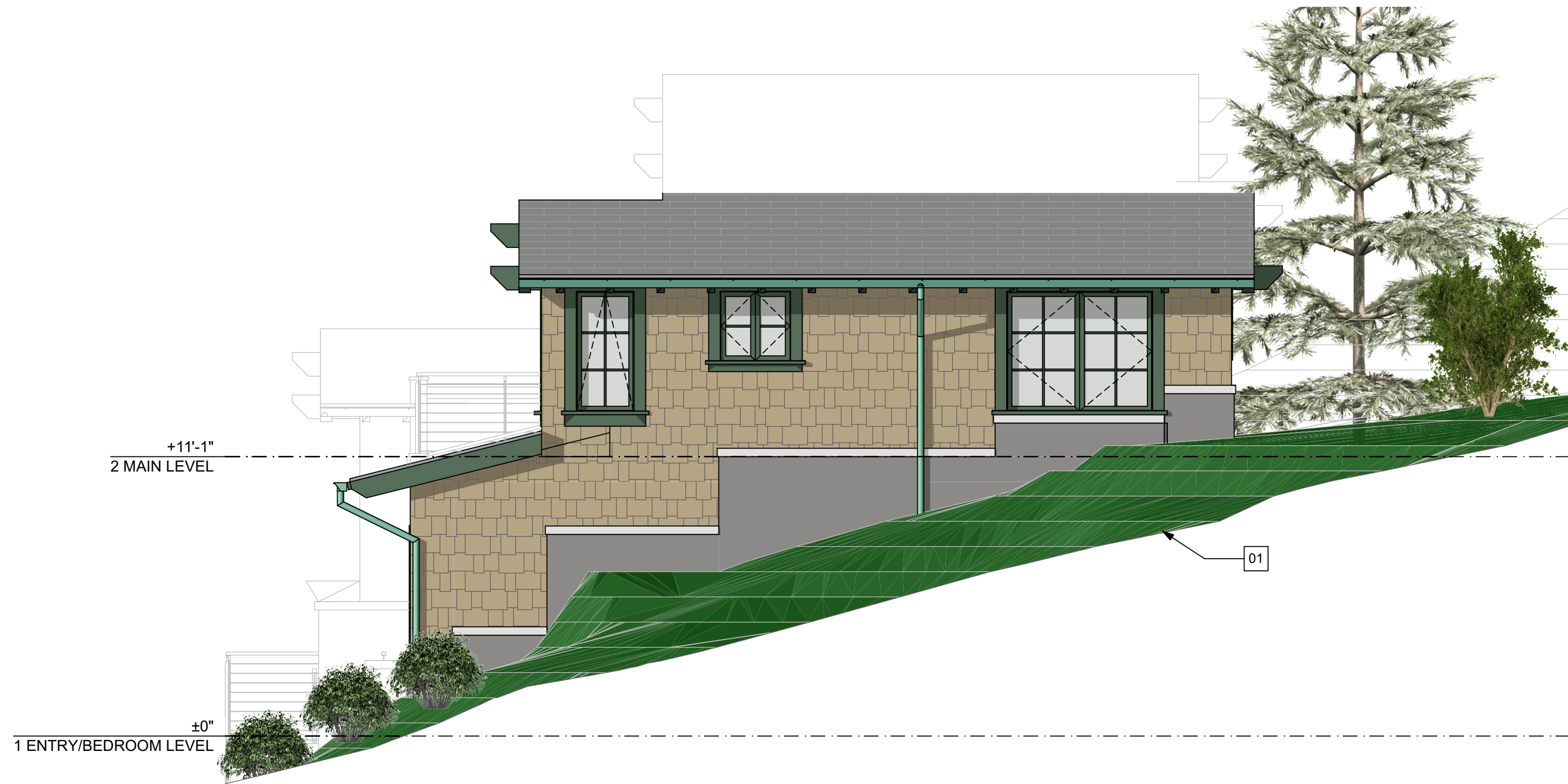


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A.P.N.: 012-043-11 & 12



+11'-1"
2 MAIN LEVEL

±0"
1 ENTRY/BEDROOM LEVEL

-11'-1"
-1 GARAGE LEVEL

2 WEST ELEVATION
SCALE: 1/4" = 1'-0"



+11'-1"
2 MAIN LEVEL

±0"
1 ENTRY/BEDROOM LEVEL

-11'-1"
-1 GARAGE LEVEL

1 NORTH ELEVATION
SCALE: 1/4" = 1'-0"

EXTERIOR ELEVATION GENERAL NOTES

- REFER TO "GENERAL NOTES", SHT. G-001 & SHT. G-002, FOR FURTHER INFORMATION.

EXTERIOR ELEVATION SYMBOLS LEGEND

- ← 11 KEY NOTE CALLOUT - SEE "FLOOR PLAN KEY NOTES" BELOW

EXTERIOR ELEVATION KEY NOTES

- 01- (E) GRADE LINE
- 02- DRIVEWAY
- 03- LIVING WALL (GREEN WALL)
- 04- ENTRY STAIRS
- 05- PORCH
- 06- PATIO SLAB
- 07- DECK
- 08- UNCOVERED PARKING SPACE



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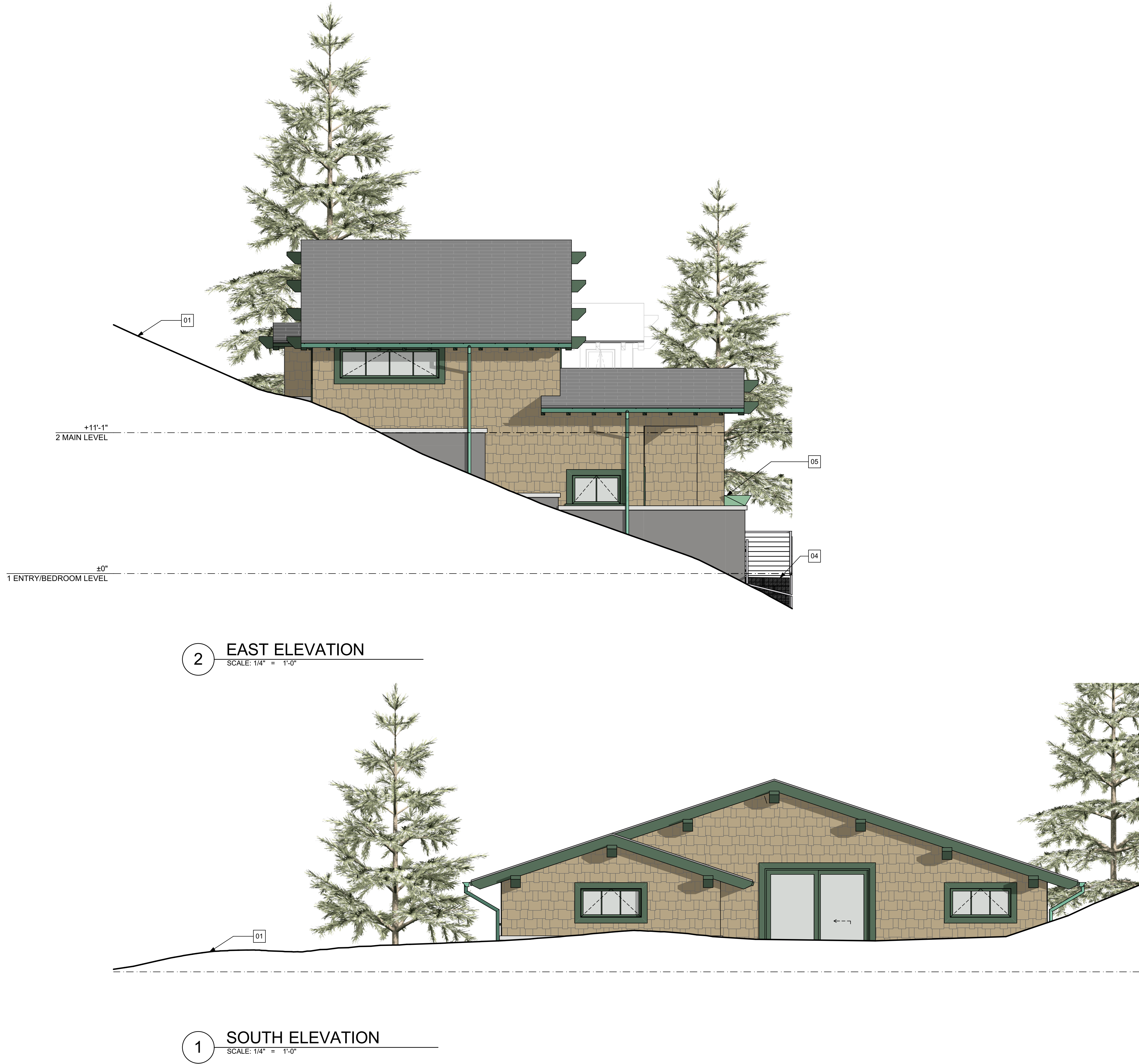
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ISSUES		DESCRIPTION
MARK	DATE	
	7/02/18	PLANNING SUBMISSION
	2/04/19	PLANNING SUBMISSION
	4/04/19	PLANNING SUBMISSION
	7/26/19	PLANNING SUBMISSION
	2/24/2020	PLANNING SUBMISSION

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EXTERIOR ELEVATIONS

1A-200



EXTERIOR ELEVATION GENERAL NOTES

• REFER TO "GENERAL NOTES", SHT. G-001 & SHT. G-002, FOR FURTHER INFORMATION.

EXTERIOR ELEVATION SYMBOLS LEGEND

← 11

KEY NOTE CALLOUT - SEE "FLOOR PLAN KEY NOTES" BELOW

EXTERIOR ELEVATION KEY NOTES

01- (E) GRADE LINE
02- DRIVEWAY
03- LIVING WALL (GREEN WALL)
04- ENTRY STAIRS
05- PORCH
06- PATIO SLAB
07- DECK
08- UNCOVERED PARKING SPACE

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ISSUES	
MARK	DESCRIPTION
	PLANNING SUBMISSION
	PLANNING SUBMISSION
	PLANNING SUBMISSION
	PLANNING SUBMISSION
	PLANNING SUBMISSION

PROJECT #:

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EXTERIOR ELEVATIONS

1A-201



VIEW FROM MARQUARD AVENUE

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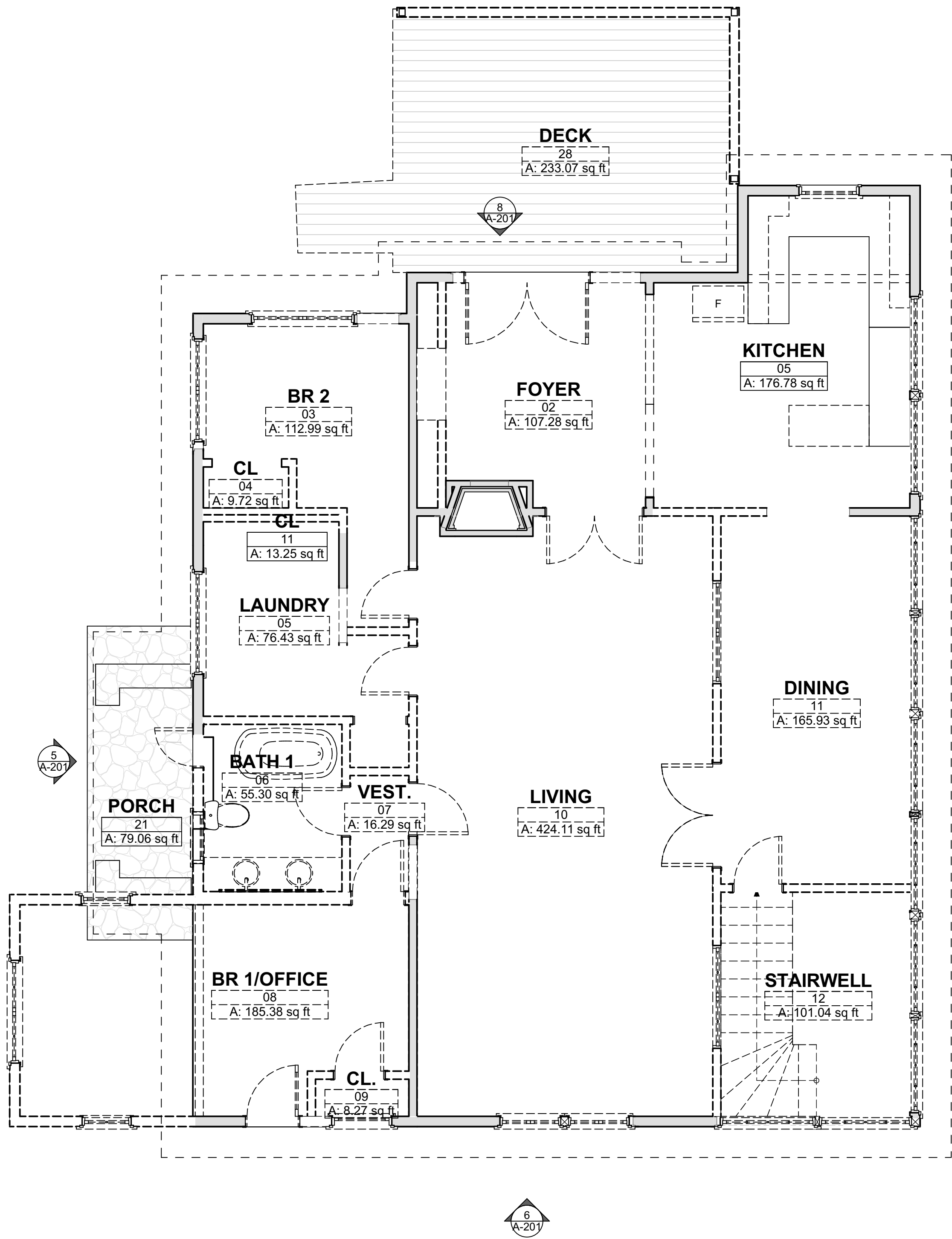
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52/54 Fremont Street
San Rafael CA 94965
A.P.N.: 012-043-11 & 12

ISSUES		
MARK	DATE	DESCRIPTION
	7/02/18	PLANNING SUBMISSION
	2/04/19	PLANNING SUBMISSION
	4/04/19	PLANNING SUBMISSION
	7/26/19	PLANNING SUBMISSION
	2/24/2020	PLANNING SUBMISSION

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RENDERINGS

1A-000



DEMOLITION PLAN GENERAL NOTES

- REFER TO "DEMOLITION NOTES", DIVISION 1, SHT. G-001, FOR DEMOLITION REQUIREMENTS.

DEMOLITION PLAN SYMBOLS LEGEND

(E) EXTERIOR WALL TO REMAIN

(E) INTERIOR WALL TO REMAIN

(E) WALL TO BE DEMOLISHED

ELEMENTS SHOWN DASHED TO BE REMOVED

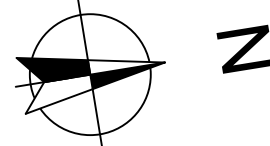
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KEY NOTE CALLOUT - SEE "DEMOLITION PLAN KEY NOTES" BELOW

1

FIRST FLOOR DEMOLITION PLAN

SCALE: 1/4" = 1'-0"



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Millard@Arterberry-Design.com

Owner:

Pacific Private Money Fund I, LLC
Et Al c/o Mark Hanf, Manager
1555 Grant Ave.
Novato, CA 94945

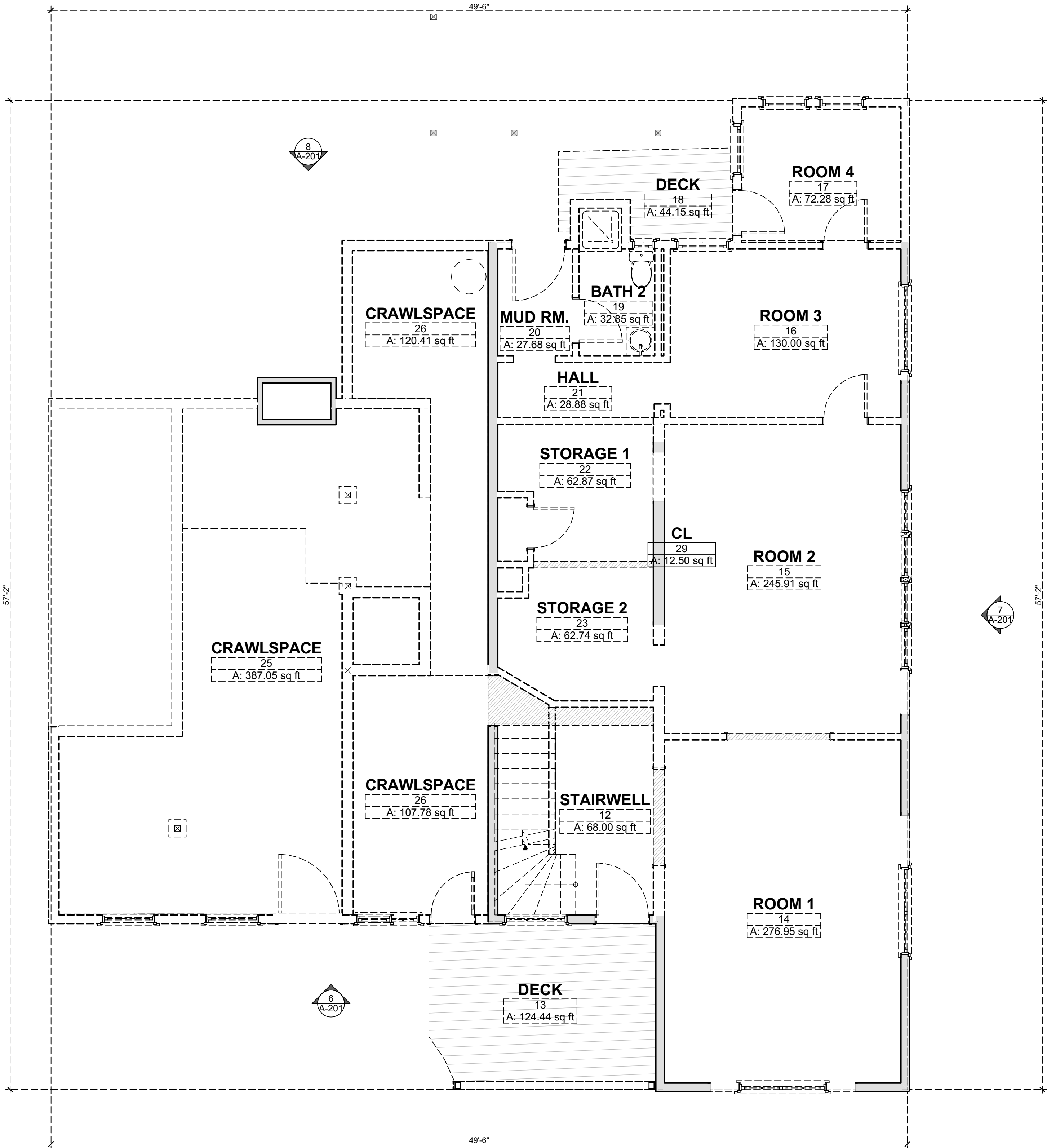
A.P.N 012-043-11 & 12

52/54 Fremont Street
San Rafael CA 94965
A.P.N.: 012-043-11 & 12

ISSUES		DESCRIPTION
MARK	DATE	
	7/02/18	PLANNING SUBMISSION
	2/04/19	PLANNING SUBMISSION
	4/04/19	PLANNING SUBMISSION
	7/26/19	PLANNING SUBMISSION
	2/24/2020	PLANNING SUBMISSION

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DEMOLITION MAIN RESIDENCE (UPPER FLOOR)	

2AD-200



DEMOLITION PLAN GENERAL NOTES

- REFER TO "DEMOLITION NOTES", DIVISION 1, SHT. G-001, FOR DEMOLITION REQUIREMENTS.

DEMOLITION PLAN SYMBOLS LEGEND

- (E) EXTERIOR WALL TO REMAIN
- (E) INTERIOR WALL TO REMAIN
- (E) WALL TO BE DEMOLISHED
- ELEMENTS SHOWN DASHED TO BE REMOVED
- KEY NOTE CALLOUT - SEE "DEMOLITION PLAN KEY NOTES" BELOW

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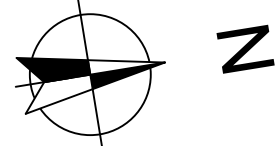
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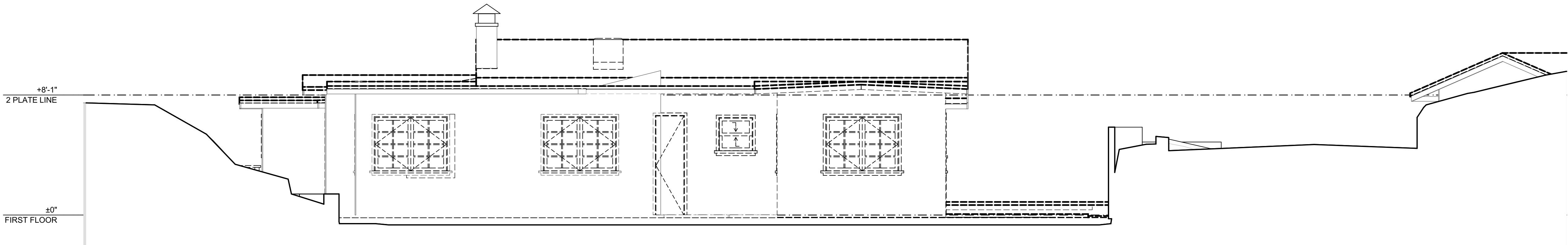
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ISSUES		
MARK	DATE	DESCRIPTION
	7/02/18	PLANNING SUBMISSION
	2/04/19	PLANNING SUBMISSION
	4/04/19	PLANNING SUBMISSION
	7/26/19	PLANNING SUBMISSION
	2/24/2020	PLANNING SUBMISSION

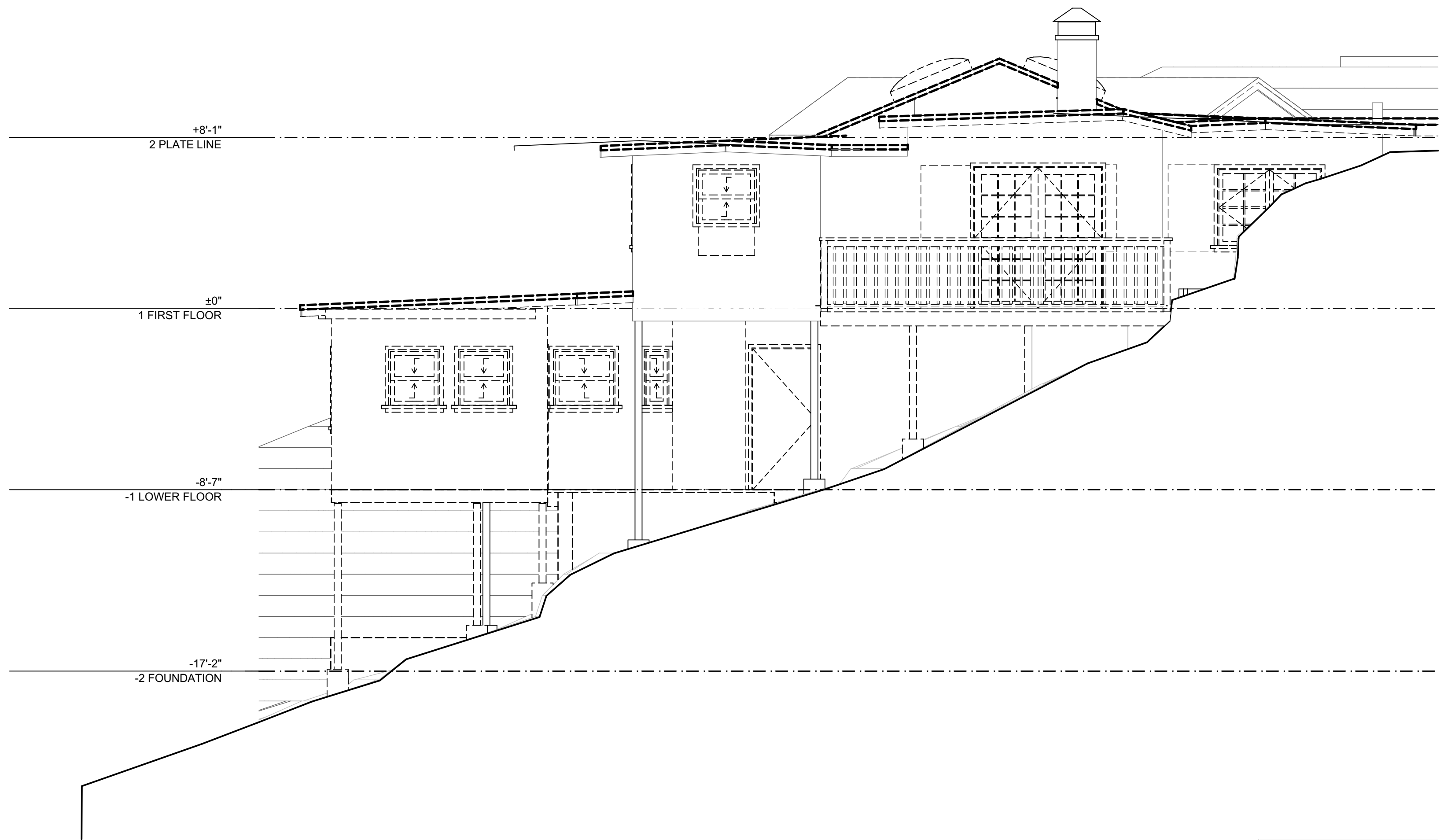
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DEMOLITION MAIN RESIDENCE (LOWER FLOOR)	

2AD-201





1 (E) SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



2 (E) WEST ELEVATION
SCALE: 1/4" = 1'-0"

EXISTING ELEVATION GENERAL NOTES

- REFER TO "DEMOLITION NOTES", DIVISION 1, SHT. G-001, FOR DEMOLITION REQUIREMENTS.

EXISTING ELEVATION SYMBOLS LEGEND

← 11 KEY NOTE CALLOUT - SEE "DEMOLITION PLAN KEY NOTES" BELOW



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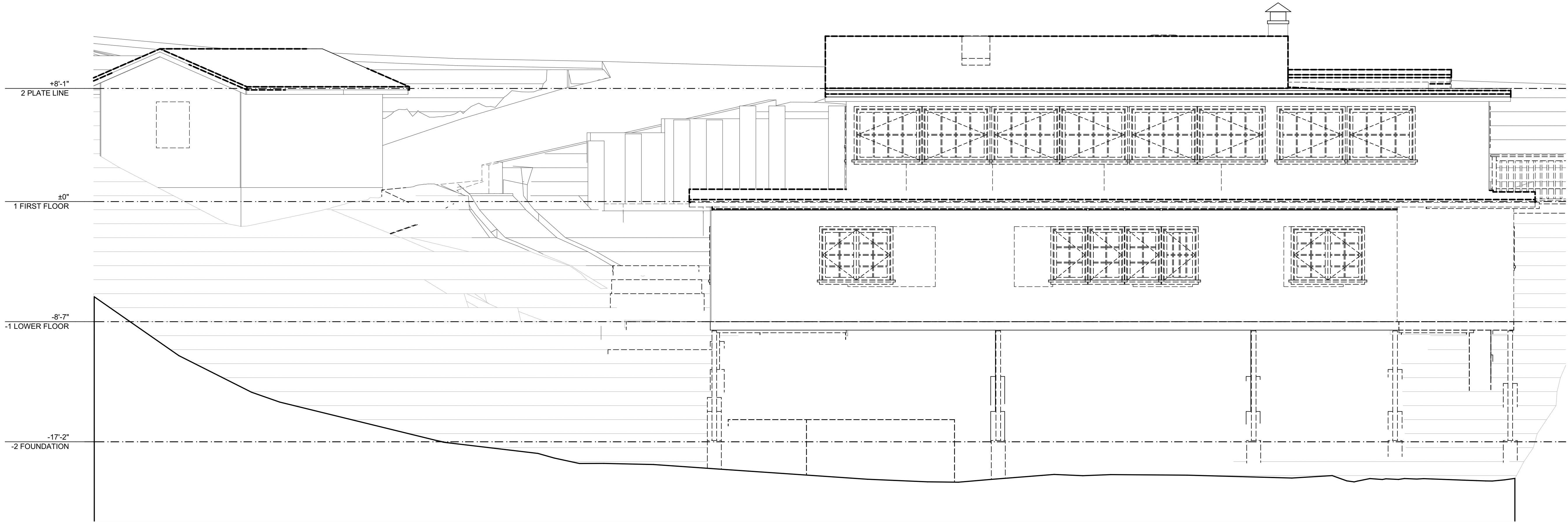
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A.P.N.: 012-043-11 & 12

ISSUES		DESCRIPTION	
MARK	DATE	DESCRIPTION	
	7/02/18	PLANNING SUBMISSION	
	2/04/19	PLANNING SUBMISSION	
	4/04/19	PLANNING SUBMISSION	
	7/26/19	PLANNING SUBMISSION	
	2/24/2020	PLANNING SUBMISSION	

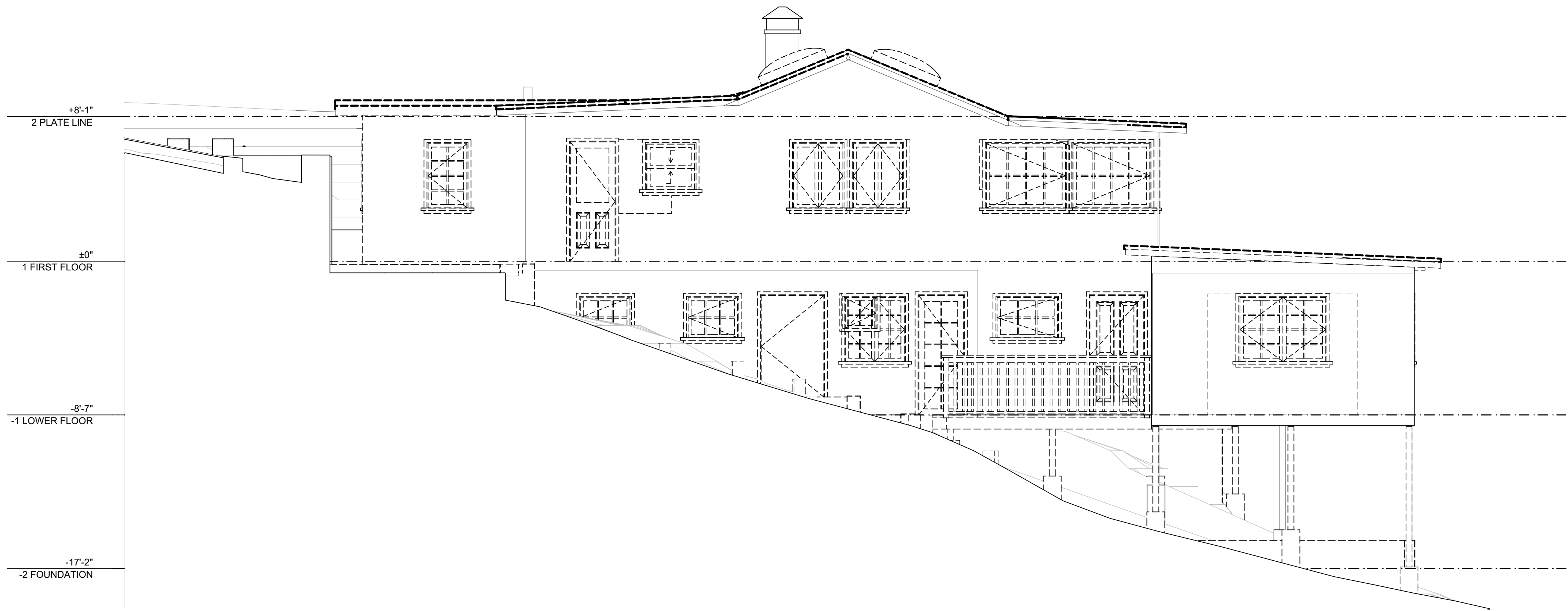
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EXISTING EXTERIOR
ELEVATIONS

2AD-202



1 (E) NORTH ELEVATION
SCALE: 1/4" = 1'-0"



2 (E) EAST ELEVATION
SCALE: 1/4" = 1'-0"

EXISTING ELEVATION GENERAL NOTES

- REFER TO "DEMOLITION NOTES", DIVISION 1, SHT. G-001, FOR DEMOLITION REQUIREMENTS.

EXISTING ELEVATION SYMBOLS LEGEND

← 11 KEY NOTE CALLOUT - SEE "DEMOLITION PLAN KEY NOTES" BELOW



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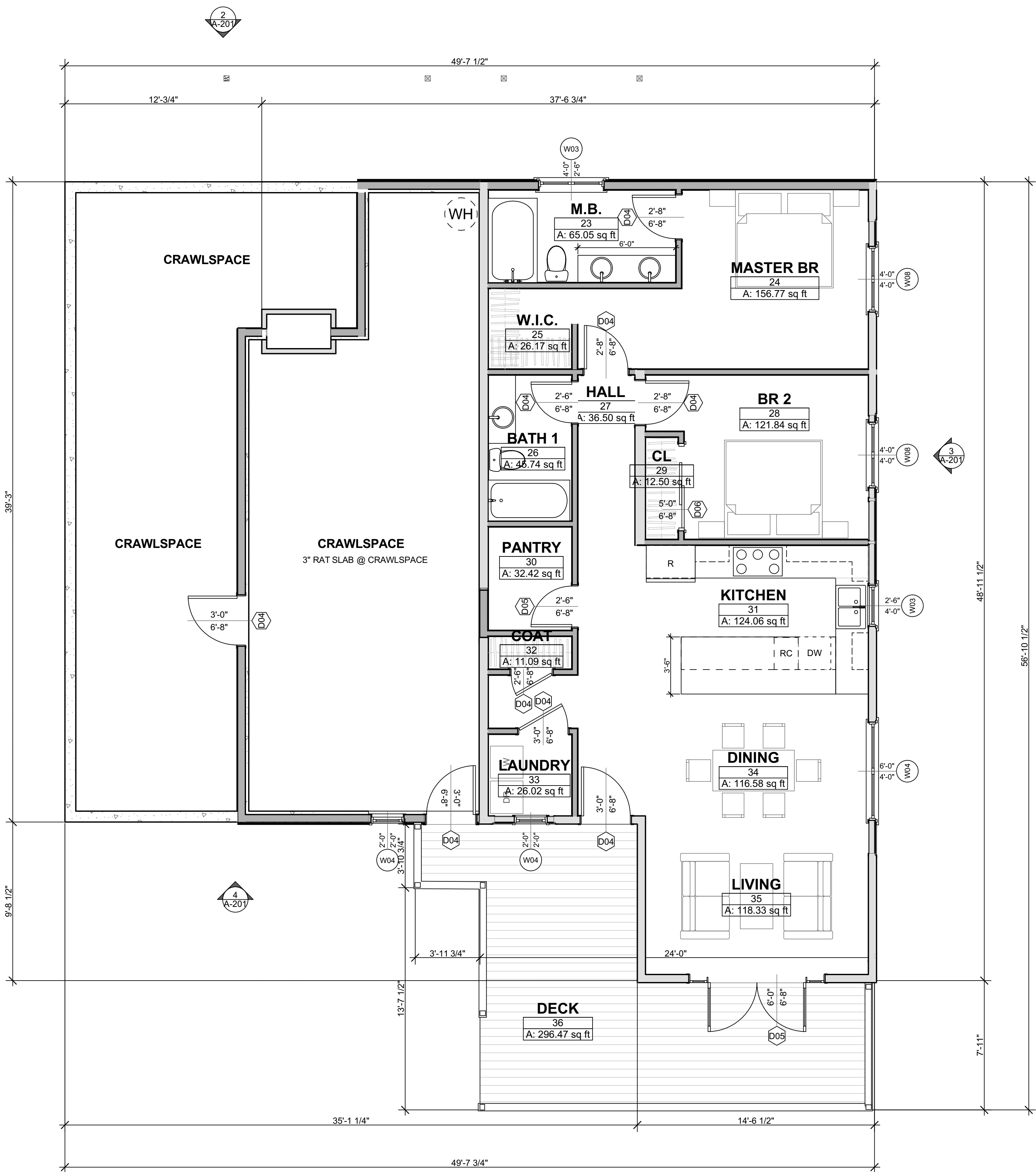
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San Rafael CA 94965
A.P.N.: 012-043-11 & 12

ISSUES		DESCRIPTION	
MARK	DATE	DESCRIPTION	
	7/02/18	PLANNING SUBMISSION	
	2/04/19	PLANNING SUBMISSION	
	4/04/19	PLANNING SUBMISSION	
	7/26/19	PLANNING SUBMISSION	
	2/24/2020	PLANNING SUBMISSION	

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EXISTING EXTERIOR
ELEVATIONS

2AD-203



BASEMENT FLOOR PLAN

SCALE: 1/4" = 1'-0"

FLOOR PLAN GENERAL NOTES

- REFER TO "GENERAL NOTES", SHT. G-001 & SHT. G-002, FOR FURTHER INFORMATION.

FLOOR PLAN SYMBOLS LEGEND

- (E) EXTERIOR CONCRETE/BRICK WALL
- (E) INTERIOR WOOD FRAMED WALL
- (N) 2X4 WOOD FRAMED WALL - SEE STRUCTURAL PLANS
- NEW WINDOW CALLOUT - SEE WINDOW SCHEDULE, SHT. A-600
- NEW DOOR CALLOUT - SEE WINDOW SCHEDULE, SHT. A-600
- KEY NOTE CALLOUT - SEE "FLOOR PLAN KEY NOTES" BELOW
- DWG. # ELEVATION CALLOUT
- LAYOUT #
- DWG. # SECTION CALLOUT
- LAYOUT #

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52/54 Fremont Street
San Rafael CA 94965
A.P.N.: 012-043-11 & 12

ISSUES	
MARK	DESCRIPTION
	PLANNING SUBMISSION
	PLANNING SUBMISSION
	PLANNING SUBMISSION
	PLANNING SUBMISSION
	PLANNING SUBMISSION

PROJECT #:

1805

CAD FILE:

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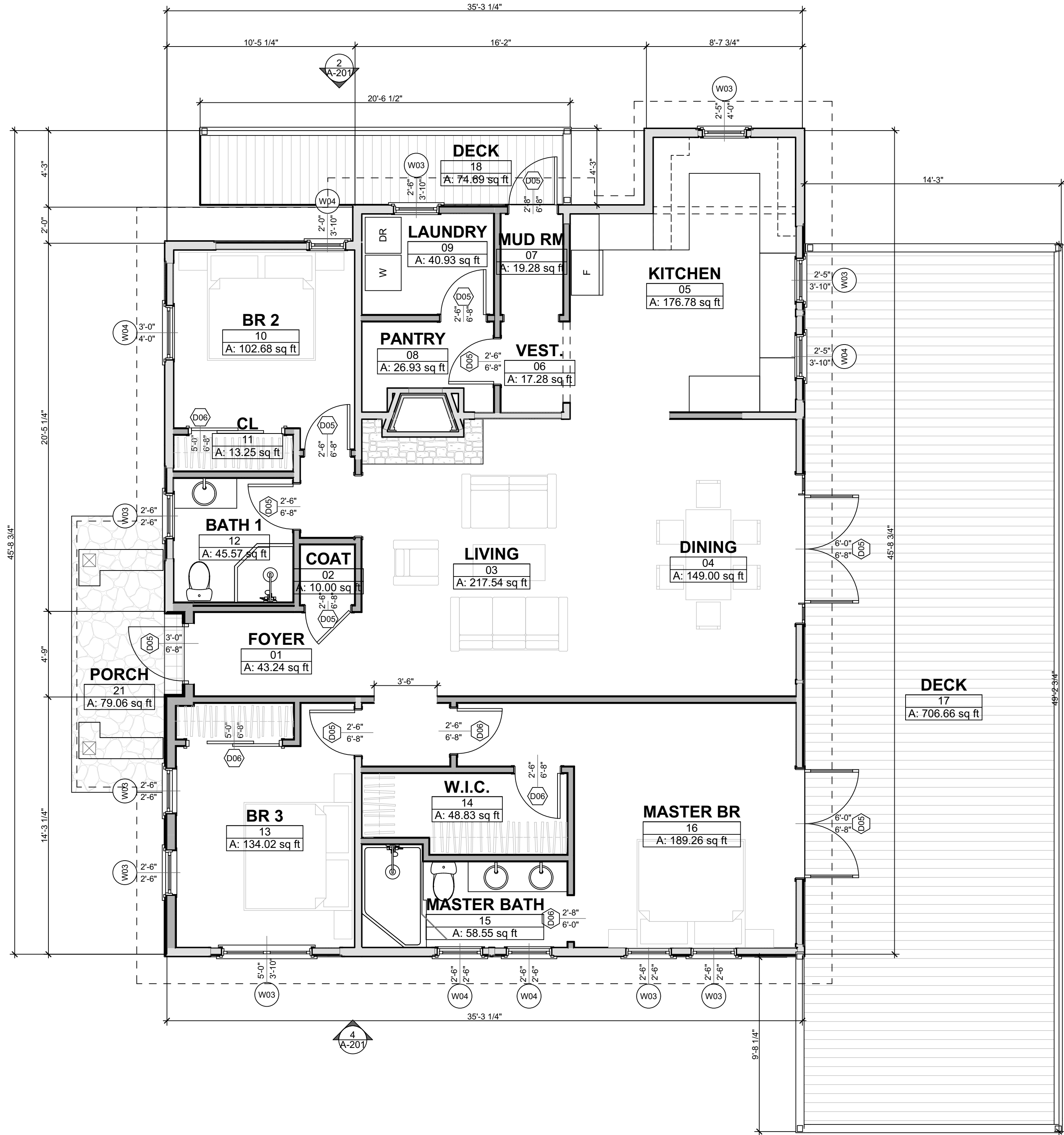
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BASEMENT FLOOR PLAN - 54 FREMONT RD

2A-100



FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

FLOOR PLAN GENERAL NOTES

- REFER TO "GENERAL NOTES", SHT. G-001 & SHT. G-002, FOR FURTHER INFORMATION.

FLOOR PLAN SYMBOLS LEGEND

(E) EXTERIOR CONCRETE/BRICK WALL

(E) INTERIOR WOOD FRAMED WALL

(N) 2X4 WOOD FRAMED WALL - SEE STRUCTURAL PLANS

W02

4'-0"

4'-0"

NEW WINDOW CALLOUT - SEE WINDOW SCHEDULE, SHT. A-600

D05

3'-0"

6'-0"

NEW DOOR CALLOUT - SEE WINDOW SCHEDULE, SHT. A-600

11

←

KEY NOTE CALLOUT - SEE "FLOOR PLAN KEY NOTES" BELOW

1

→

A-200

DWG. # ELEVATION CALLOUT
LAYOUT #

1

→

A-300

DWG. # SECTION CALLOUT
LAYOUT #

ISSUES	
MARK	DESCRIPTION
	PLANNING SUBMISSION
	PLANNING SUBMISSION
	PLANNING SUBMISSION
	PLANNING SUBMISSION
	PLANNING SUBMISSION

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FIRST FLOOR PLAN - 54
FREMONT RD

2A-101

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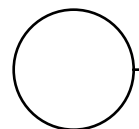
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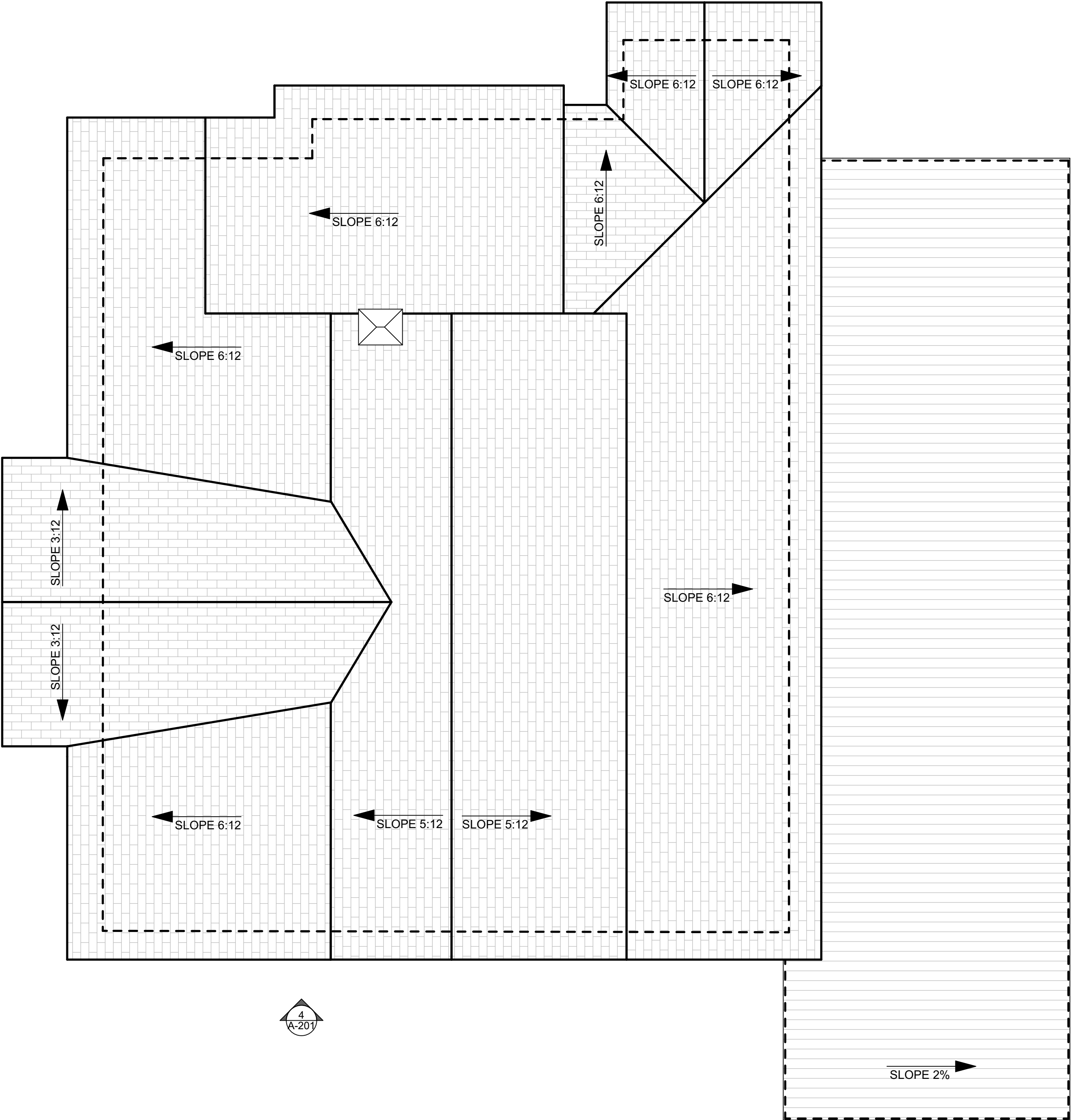
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ROOF PLAN

SCALE: 1/4" = 1'-0"



FLOOR PLAN GENERAL NOTES

- REFER TO "GENERAL NOTES", SHT. G-001 & SHT. G-002, FOR FURTHER INFORMATION.

FLOOR PLAN SYMBOLS LEGEND

(E) EXTERIOR
CONCRETE/BRICK WALL

(E) INTERIOR WOOD FRAMED
WALL

(N) 2X4 WOOD FRAMED WALL -
SEE STRUCTURAL PLANS

NEW WINDOW CALLOUT -
SEE WINDOW SCHEDULE,
SHT. A-600

NEW DOOR CALLOUT - SEE
WINDOW SCHEDULE, SHT.
A-600

KEY NOTE CALLOUT - SEE
"FLOOR PLAN KEY NOTES"
BELOW

DWG. #
LAYOUT #
ELEVATION
CALLOUT

DWG. #
LAYOUT #
SECTION
CALLOUT

ISSUES	
MARK	DESCRIPTION
	PLANNING SUBMISSION
	PLANNING SUBMISSION
	PLANNING SUBMISSION
	PLANNING SUBMISSION
	PLANNING SUBMISSION

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ROOF PLAN - 54
FREMONT RD

2A-102

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52/54 Fremont Street
San Rafael CA 94965
A.P.N.: 012-043-11 & 12



1 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



2 WEST ELEVATION
SCALE: 1/4" = 1'-0"

EXTERIOR ELEVATION GENERAL NOTES

- REFER TO "GENERAL NOTES", SHT. G-001 & SHT. G-002, FOR FURTHER INFORMATION.

EXTERIOR ELEVATION SYMBOLS LEGEND

- ← 11 KEY NOTE CALLOUT - SEE "FLOOR PLAN KEY NOTES" BELOW

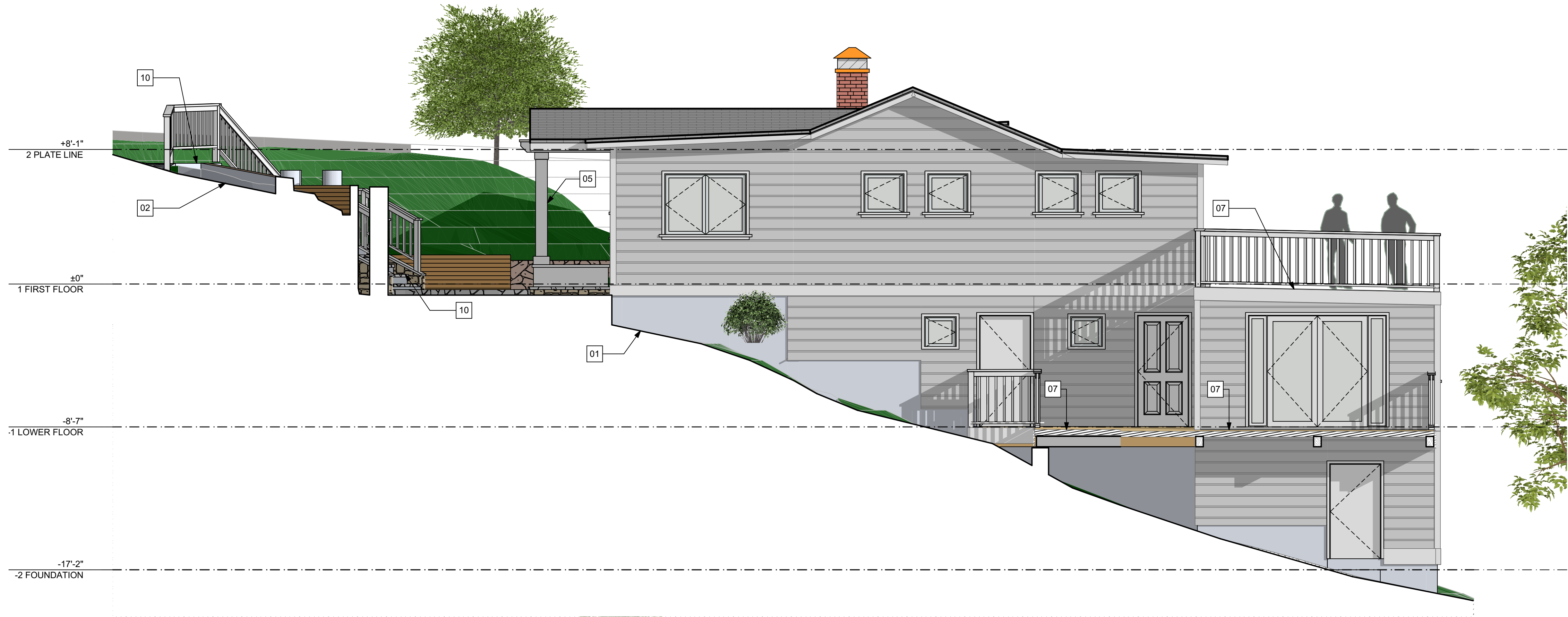
EXTERIOR ELEVATION KEY NOTES

- 01- (E) GRADE LINE
- 02- DRIVEWAY
- 03- LIVING WALL (GREEN WALL)
- 04- ENTRY STAIRS
- 05- PORCH
- 06- PATIO SLAB
- 07- DECK
- 08- UNCOVERED PARKING SPACE
- 09- CARPORT

ISSUES	
MARK	DESCRIPTION
	PLANNING SUBMISSION
	PLANNING SUBMISSION
	PLANNING SUBMISSION
	PLANNING SUBMISSION
	PLANNING SUBMISSION

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PROPOSED EXTERIOR ELEVATIONS




2 EAST ELEVATION
SCALE: 1/4" = 1'-0"



1 NORTH ELEVATION
SCALE: 1/4" = 1'-0"

EXTERIOR ELEVATION GENERAL NOTES	
• REFER TO "GENERAL NOTES", SHT. G-001 & SHT. G-002, FOR FURTHER INFORMATION.	
EXTERIOR ELEVATION SYMBOLS LEGEND	
← 11	KEY NOTE CALLOUT - SEE "FLOOR PLAN KEY NOTES" BELOW
EXTERIOR ELEVATION KEY NOTES	
01- (E) GRADE LINE	
02- DRIVEWAY	
03- LIVING WALL (GREEN WALL)	
04- ENTRY STAIRS	
05- PORCH	
06- PATIO SLAB	
07- DECK	
08- UNCOVERED PARKING SPACE	
09- CARPORT	
10- SITE WALKWAY/STAIRWAY	
11- (E) GARAGE TO BE REMODELED	



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ISSUES	
MARK	DESCRIPTION
	7/02/18 PLANNING SUBMISSION
	2/04/19 PLANNING SUBMISSION
	4/04/19 PLANNING SUBMISSION
	7/26/19 PLANNING SUBMISSION
	2/24/2020 PLANNING SUBMISSION

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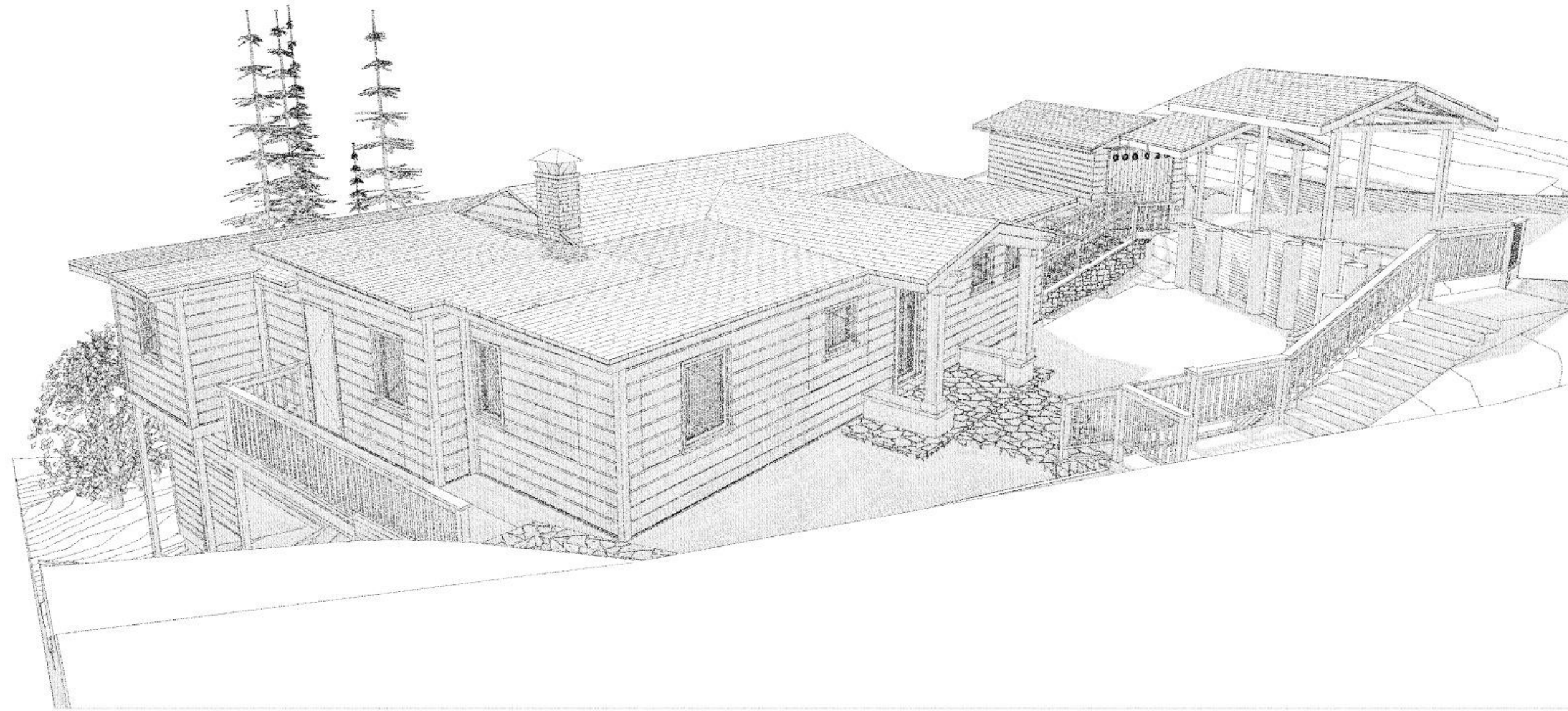
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PROPOSED EXTERIOR ELEVATIONS

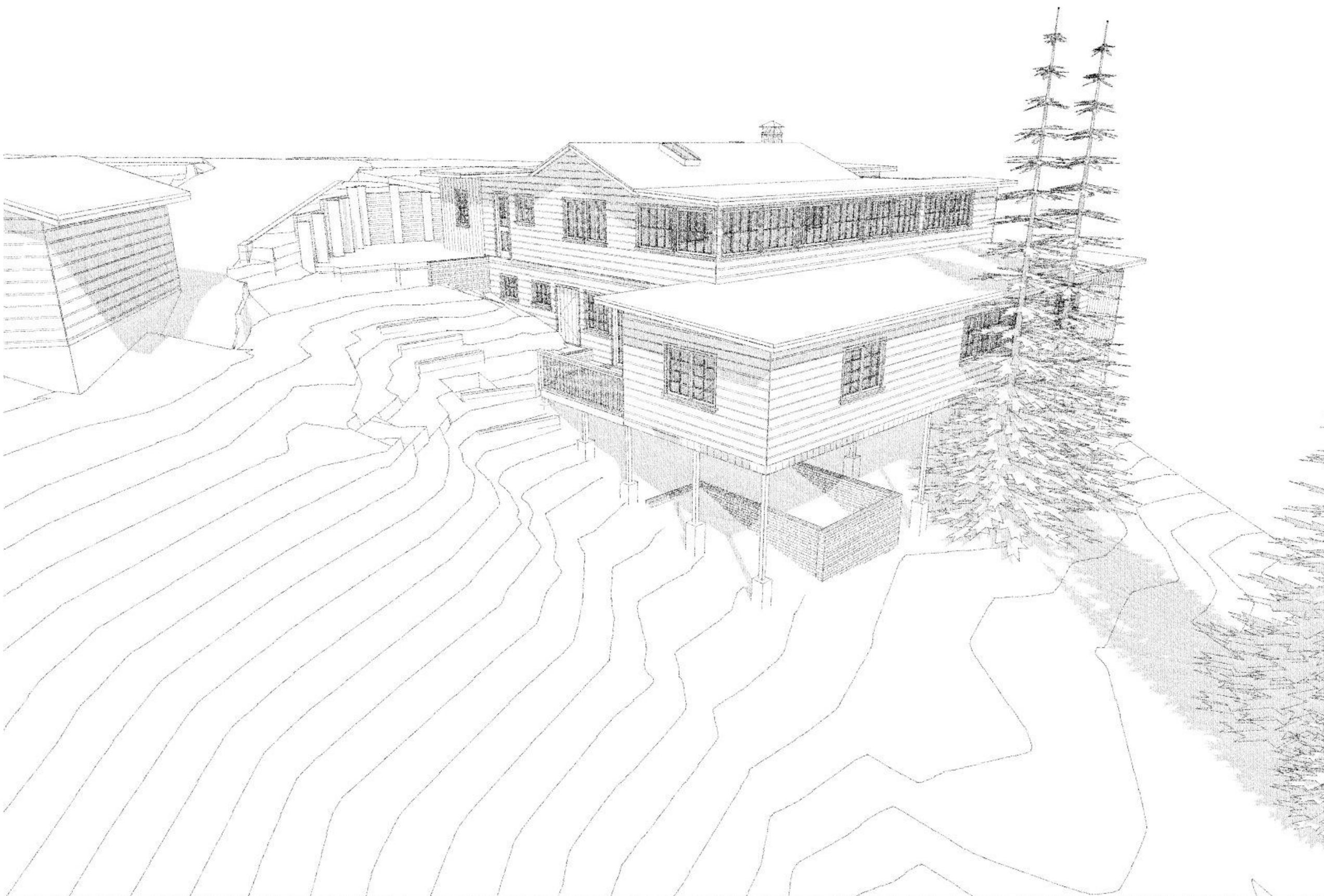
2A-201



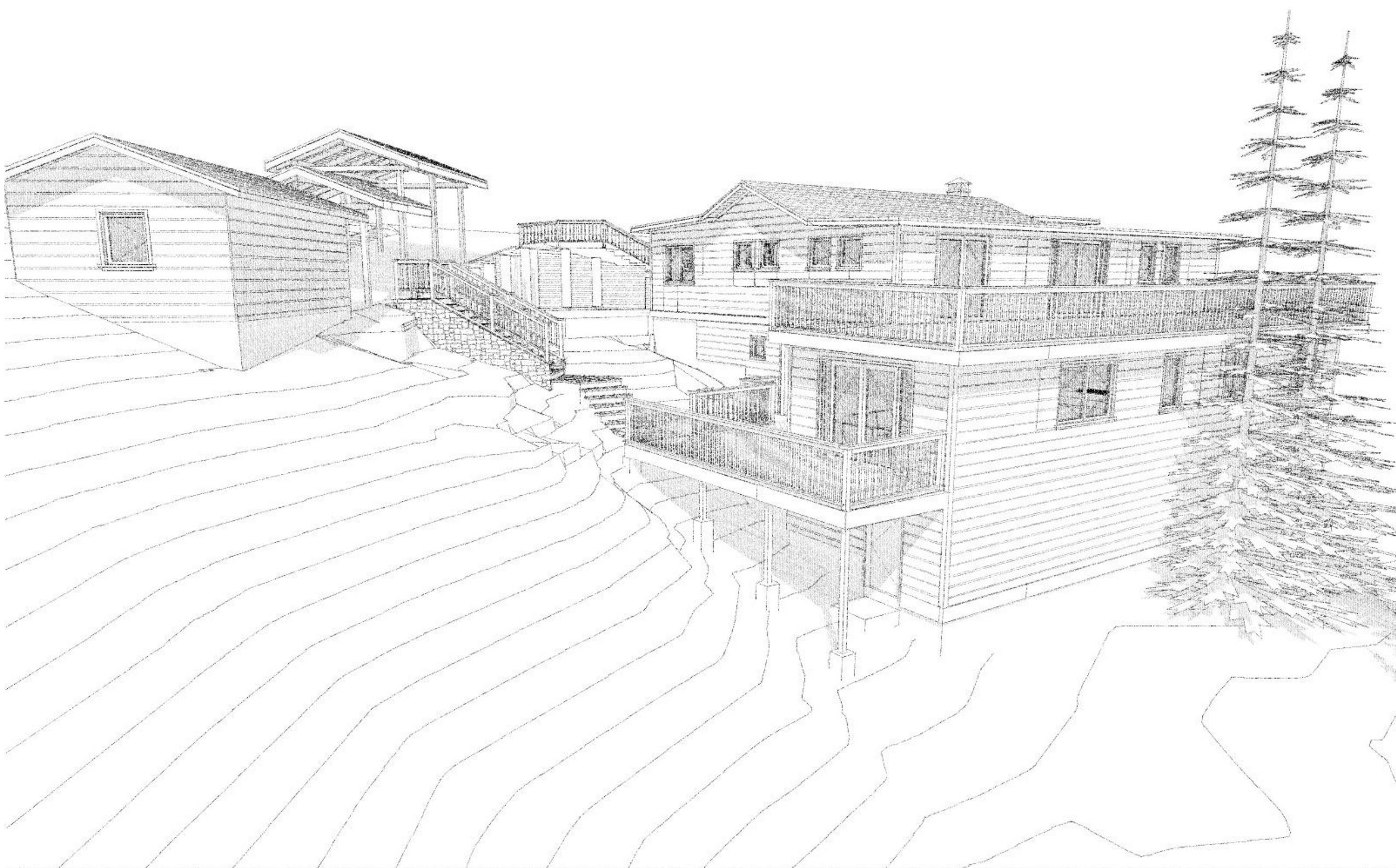
4 EXISTING VIEW FROM FREMONT ROAD



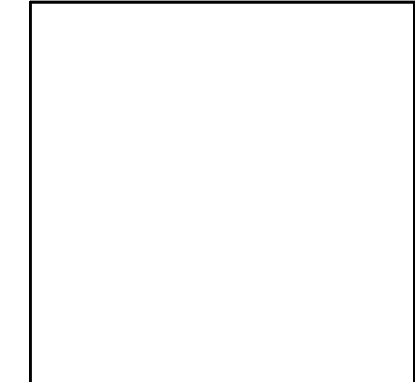
2 PROPOSED VIEW FROM FREMONT ROAD



3 EXISTING VIEW OF 54 FREMONT ROAD



1 PROPOSED VIEW OF 54 FREMONT ROAD



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RENDERINGS

2A-000