

TY OF SAN RAFAEL REGULATIONS	APPLICABLE CODES	PROJECT TE		PROJECT		SHEET INDEX	
016 CALIFORNIA FIRE CODE: The design and construction of all site alterations shall comply with the 2019 California Fire Cod	e (CFC) current NEPA All work shall conform to the 2019 editions of the California Building Code	DESIGNER:	Millard Arterberry	OWNER	Pacific Private Money Fund I, LLC Et Al	ID Name	acifi
2016 CALIFORNIA FIRE CODE: The design and construction of all site alterations shall comply with the 2019 California Fire Code Standards, and alll applicable City of San Rafael Ordinances and Amendments.	(CBC) : 2019 California Residential Code, 2019 California Plumbing and		Arterberry Design		c/o Mark Hanf, Manager	G-000 COVER SHEET	
IRE SPRINKLERS: Deferred submittals for the following fire protection systems shall be submitted to the Fire Prevention Bureau	Mechanical Codes, 2019 California Green Code, 2019 California Energy I for approval and Code and 2019 Electrical Code, complete with all applicable State of	-	495 Gate 5 Rd. Sausalito, CA 94965		1555 Grant Ave. Novato, CA 94945	C1 GRADING & DRAINAGE PLAN	N
ermitting prior to installation of the systems: Fire Sprinkler Plans (Deferred Submittal To The Fire Prevention Bureau)	California amendments, codes and regulations for each edition including		(415) 944-5480		Novalo, OA 34343	C2 UTILITY PLAN	
re Sprinkler Plans (Deferred Submittal To The Fire Prevention Bureau)	State of California Title 24, and San Rafael Municipal Code, and City of Sausalito Security Ordinance, and City of San Rafael Fire Ordinance.		millard@arterberry-design.com	A.P.N.	012-043-11 & 12	L1 PLANTING PLAN	<u>Š</u>
ROSION CONTROL: An erosion and sediment control plan shall be required prior to issuance of a grading or building permit. Er	rosion controls to be	CIVIL / LANDSCAPE:	Gary Balcerak			T1 TREE PLAN	
nstalled prior to work on the site, and maintained year round.			Balcerak Design Landscape Architecture & Urban Forestry	ZONING	R-10 + Hillside Overlay	VMP1 VEGETATION MANAGEMENT PLAN	
			608 Beaver Street	CONSTRUCTION	V-B	V00 SURVEY	
			Santa Rosa, CA 95404	CONSTRUCTION	V-D	AS100 SITE PLAN	4 3
			(707) 573-8234 Balcerak@sonic.net			AS101 SITE SECTION	6
						AS102 STORY POLE PLAN	
						2AD-100 DEMOLITION FIRST FLOOR PLAN	<u> </u>
						AD101 DEMOLITION SECOND FLOOR PLAN	— – – –
						AD102 DEMOLITION BASEMENT PLAN	
BREVIATIONS	SCOPE OF WORK					AD103 EXISTING ELEVATIONS	
						AD104 EXISTING ELEVATIONS	
ç	Sebastopol Lot Line Adjustment Between Two Lots:					1A-100 BASEMENT FLOOR PLAN	
A.B.ANCHOR BOLTF.A.FIRE ALARM(N)NEWA.C.T.ACOUSTICAL CEILING TILEF.D.FLOOR DRAINN.I.C.NOT IN CONTRACT	A.P.N.#'s 012-043-11 & 012-043-12					1A-101 FIRST FLOOR PLAN	
A.F.F. ABOVE FINISHED FLOOR F.D.C. FIRE DEPARTMENT CONNECTION NO. NUMBER	New Residence at Marquard Ave. Frontage Lot					1A-102 SECOND FLOOR PLAN	
AGGR.AGGREGATEFDN.FOUNDATIONNOM.NOMINALAL.ALUMINUMF.E.FIRE EXTINGUISHERN.T.S.NOT TO SCALE	Remodel Residence at 52 Fremont Rd					1A-103 ROOF PLAN	
ALT. ALTERNATE F.E.C. FIRE EXTINGUISHER CABINET APPROX. APPROXIMATE F.F. FINISH FLOOR O.C. ON CENTER						1A-200 EXTERIOR ELEVATIONS	
ARCH. ARCHITECTURAL F.H.C. FIRE HOSE CABINET O.D. OUTSIDE DIAMETER FIN. FINISH O.H. OVERHEAD BD. BOARD F.L. FLOW LINE OPG. OPENING	Lower Floor Plan of Existing 52 Fremont Residence to Become an ADU.					1A-201 EXTERIOR ELEVATIONS	
BLDG. BUILDING FLR. FLOOR OPNG. OPENING						1A-300 BUILDING SECTIONS	RIPTION SUBMISSION
BLK.BLOCKF.O.S.FACE OF STUDOPP.OPPOSITEBLKG.BLOCKINGF.O.C.FACE OF CONCRETEOPP.OPPOSITE						2AD-200 DEMOLITION MAIN RESIDENCE (UPPER FLOOR)	
BM.BEAMFRMG.FRAMINGP.L.PROPERTY LINEB.W.BOTTOM OF WALLF.S.FULL SIZEP/LPLATE						2AD-201 DEMOLITION MAIN RESIDENCE (LOWER FLOOR)	
BOT.BOTTOMFT.FOOT OR FEETPLAS.PLASTERBTWN.BETWEENFTG.FOOTINGPLWD.PLYWOOD						2AD-202 EXISTING EXTERIOR ELEVATIONS	
B.U.R. BUILT UP ROOF FURR. FURRING PR. PAIR PTD. PAINTED						2AD-203 EXISTING EXTERIOR ELEVATIONS	
C.J. CONTROL JOINT GA. GAUGE C/L CENTERLINE GALV. GALVANIZED R. RISER						2A-000 RENDERINGS	SSUES DESCF PLANNING S
CLG. CEILING G.C. GENERAL CONTRACTOR R.D. RUN CLKG. CAULKING GL. GLASS REFR. REFRIGERATOR				-		2A-100 BASEMENT FLOOR PLAN - 54 FREMONT RD	SS
CLR. CLEAR GPF. GALLONS PER FLUSH REINF. REINFORCED C.M.U. CONCRETE MASONRY UNIT GPM. GALLONS PER MINUTE RM. ROOM	VICINITY MAP					2A-101 FIRST FLOOR PLAN - 54 FREMONT RD	
COL.COLUMNGR.GRADER.O.ROUGH OPENINGCONC.CONCRETEGYP.GYPSUMRTG.RETAINING	35 Center E. MRd	pect		-		2A-102 ROOF PLAN - 54 FREMONT RD	
CONN. CONNECTION G.W.B. GYPSUM BOARD	orbes Ave	Rend	Coleman 😋			2A-200 PROPOSED EXTERIOR ELEVATIONS	<u></u> <u>-</u> <u>-</u> <u>-</u>
CONSTR. CONSTRUCTION S.C. SOLID CORE CONT. CONTINUOUS H.B. HOSE BIBB SCHEDULE OT CERANIO THE H.O. HOME ODE	to a contraction of the contract	Boyd Memorial Park	PROJECT			2A-201 PROPOSED EXTERIOR ELEVATIONS	DAT 7/02/-
C.T. CERAMIC TILE H.C. HOLLOW CORE SECT. SECTION H/C HANDICAPPED S.F. SQUARE FEET	Scenic A	Maple St	LOCATION				
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New Residence, Residence Remodel with New ADU & Lot Line Adjustment For:

A.P.N 012-043-11 &12



terberry

495 Gate 5 Rd, Studio Sausalito, CA 94965 Phone: 415 944-5480

DIVISION 1 - GENERAL REQUIREMENTS

GENERAL NOTES

- 1. RULES & REGULATIONS: All work shall conform to the 2016 editions of the California Building Code (CBC): 2016 California Residential Code, 2016 California Plumbing and Mechanical Codes, 2016 California Green Building Standards Code, 2016 California Energy Code and 2016 Electrical Code, complete with all applicable State of California amendments, codes and regulations for each edition including State of California Title 24, and San Rafael Municipal Code.
- 2. CONTRACTOR Shall be responsible for construction in conformance with the approved plans, specifications, and all code requirements under which the plans and specifications were approved.
- 3. ARCHITECTURAL DRAWINGS AND SPECIFICATIONS: In the case of an inconsistency between Architectural Drawings, Specifications and Calculations or within either document, the inconsistency shall be reported to the Architect prior to the Contractor commencing work. The better quality or greater quantity of Work shall be provided in accordance with the Architect's interpretation.
- 4. ENGINEERING DRAWINGS AND SPECIFICATIONS: In the case of an inconsistency between Architectural Drawings, Specifications and Calculations and Engineering/Consultant Drawings, Specifications and Calculations, between different Engineering/Consultant Documents, or within any document, the inconsistency shall be reported to the Architect prior to the Contractor commencing work. The better quality or greater quantity of Work shall be provided in accordance with the Architect/Engineer/Consultant's interpretation.
- 5. MEASUREMENTS: Do not scale drawings. Contractor shall verify all dimensions shown on the drawings, any discrepancy shall be reported to the Architect prior to commencement of related work.

6. Protect annular spaces around pipes, electric cables, conduits at exterior walls against the passage of rodents. (4.406.1)

DEMOLITION NOTES

- 1. Contractor shall carefully check the stability of all elements of the building before doing any work on or demolition to the existing structure. The contractor shall brace or strengthen any portions of the structure that may be weakened by demolition or construction activities. The contractor shall be solely responsible for jobsite safety and preservation of existing construction not slated for demolition.
- 2. All demolition and removal work shall conform to all applicable codes and regulations. The Contractor shall bear sole responsibility for identifying, testing and disposing of any hazardous materials encountered in the demolition process in accordance with all applicable codes, ordinances and regulations.
- 3. Contractor shall verify with owner or architect any item to be salvaged and reused. Damage to any such item will be the sole responsibility of the contractor.
- 4. Removal of wall finishes, floor finishes, and ceiling finishes shall include all material down to framing, exterior sheathing or subfloor.

DUST MITIGATION PLAN

- 1. The Contractor shall submit a satisfactory construction dust mitigation plan to the City. This plan shall specify the methods of control that will be utilized, demonstrate the availability of needed equipment and personnel, and identify a responsible individual who can modify construction activities should complaints be received by the City.
- 2. The construction dust mitigation plan shall, at a minimum, include the following: A. HIGH WINDS: Suspension of earthmoving or other dust-producing activities during periods of high winds when dust control measures are unable to avoid visible dust plumes. B. DUST PLUMES: Provide equipment and staffing for watering of all portions of the site subject to vehicle or equipment travel or disturbance. An appropriate dust palliative or suppressant, added to water before application would vary according to the moisture level of the soils on the site, but should

be frequent enough to avoid visible dust plumes. C. STOCKPILES: Water or cover stockpiles of debris, soil, sand or other materials that can be blown by the wind.

D. SWEEP STREETS DAILY: of all mud and debris carried out from the site onto the adjacent road, since this material can be pulverized and later resuspended by vehicle traffic. E. ALL MATERIALS TRANSPORTED BY TRCK shall be covered or wetted down prior to exiting the

F. FINAL GRADES shall be treated with an appropriate dust suppressant, covered or seeded as early as practical.

CONSTRUCTION MANAGEMENT PLAN

- 1. JOB SIGN: A sign shall be placed at the jobsite to notify the residence of the prime contractor and major subcontractor and related phone numbers.
- 2. CONSTRUCTION MANAGEMENT COORDINATOR: The name and phone number of a Construction Management Coordinator shall be posted at the site and shall be available to respond to complaints and questions from area residents.
- 3. HOURS OF OPERATION: Work at the site shall be limited to the hours of 8:00 AM to 4:30 PM, Mondays through Fridays, and 9:00 AM through 4:00 PM on Saturdays. No work shall be permitted on Sundays and Holidays without prior approval from the Community Development Agency.
- 4. CONSTRUCTION VEHICLES: All material deliveries and removal from the construction site shall follow a route, both to and from the site, agreed upon by the Community Development Agency and the Construction Management Coordinator. It is the Contractors responsibility to see that these locations and routes are adhered to.
- 5. TRAFFIC MANAGEMENT: vehicular traffic shall not be delayed for more than 5 minutes for more than four consecutive days. Access for emergency vehicles shall be maintained at all times (minimum 12-0 in width). Traffic management measures shall include the following: A. Traffic control measures such as flag persons, signage, etc. shall be utilized to ensure that vehicular traffic and pedestrian movement will continue to occur safely during construction periods. B. In the event of additional construction is occurring on the street it is the responsibility of both/all Contractors to coordinate all construction activities to avoid conflict in deliveries and/or construction activities. Coordination shall be made with the notification of the Public Works Department.
- 6. A minimum of 65% of the construction waste shall be diverted to recycling or salvage per Calgreen 4.106.3
- 7. Cover duct openings and other related air distribution component openings during construction (4.504.1)

RAILING NOTES

- 1. STAIRWAY HANDRAILS: Shall be mounted 34"-38" above the tread nosing and shall return to the wall or terminate into newel posts (CBC 1012.1). Handrail assemblies shall be able to resist a single concentrated load of 200 pounds (0.89 N), applied in any direction at any point along the top, and have attachment devices and supporting structure to transfer this loading to appropriate structural elements of the building. (CBC 1607.7.1.1).
- 2. GUARDRAILS shall be a minimum of 42" above walking surface and be in complete accordance with CBC 1013.2. Guardrail assemblies shall be able to resist a single concentrated load of 200 pounds (0.89 N), applied in any direction at any point along the top, and have attachment devices and supporting structure to transfer this loading to appropriate structural elements of the building. (CBC 1607.7.1.1).
- 3. PICKET SPACING: Open guards shall have balusters or ornamental patterns such that a 4 inch diameter sphere cannot pass through any opening. (CBC 1013.3)

STAIR NOTES

1. RISE AND RUN: The minimum tread dimension shall be 10 inches. The maximum riser shall be 7.75 inches with a maximum variation of 3/8 inch. (CBC 1009.3 1009.3.2)

GENERAL EXISTING CONDITION NOTES

prior to commencement of related work.

TREE PROTECTION NOTES

- any protected tree.

1. On all property:

Heritage Trees B.

C. Dedicated Trees

- 4. No undesirable tree is a protected tree

8. DEFINITION OF AN UNDESIRABLE TREE: One of the following.

- 2. Monterey Pine (*Pinus Radiata*)
- - 4. Coast Redwood (Sequoia Semervirens) 5. Blackwood Acacia (*Acacia Melanoxylon*)
 - 6. Bailey Acacia (Acacia Baileyana)

EXISTING CONDITIONS: It is the contractors responsibility to verify all applicable existing conditions, including but not limited to water damage, termite damage, dry-rot, of any other framing or structural issues that may vary from those shown on the drawings, and report any discrepancies to the Architect

1. CONDITIONS OF APPROVAL FOR PROTECTING TREES DURING CONSTRUCTION: Adequate protection shall be provided during the construction period for any protected which are to remain standing. Measures deemed necessary by the reviewing agency in consideration of the size, species, condition & location of the protected trees to remain, may include any of the following:

2. PROTECTED PERIMETER: Before the start of clearing, excavation, construction or other work on the site, any "protected tree" deemed endangered by the work shall be securely fenced off at the "protected perimeter", which shall be either the outer limits of the branches of such protected tree (drip line) or such greater limits as may be established by the reviewing agency. Such fences shall remain in place for the duration of such work. All protected trees to be removed shall be clearly marked. A plan shall be established for the removal and disposal of logs, brush, earth and other debris which will avoid injury to

3. ENCROACHING ON THE PROTECTED PERIMETER: Where the proposed development or other site work will encroach upon the protected perimeter of any protected tree, special measures shall be taken to allow the roots to breathe and obtain water and nutrients. Any excavating, cutting, filling or compaction of the existing ground surface within the protected perimeter shall be minimized. No asphalt or other paving material shall be added. No change in the existing ground level shall occur within 4 feet of the base of any protected tree at any time. No burning or use of equipment with an open flame shall occur near or within the protected perimeter.

4. NO STORAGE OR DUMPING of oil, gas chemicals or other substances that may be harmful to trees shall occur within the protected perimeter of any protected tree, or any other location on site where the substances may enter the protected perimeter. No heavy construction equipment or construction materials shall be operated or stored within the protected perimeter. Wires shall not be attached to any protected tree, except as needed to support the tree. No sign, other than the tag showing the botanical classification, shall be attached to any protected tree.

5. BUILDUP OF DUST: Periodically during construction, the leaves of the protected trees shall be sprayed thoroughly with water to prevent buildup of dust of other pollution that would inhibit inspiration.

6. IF ANY DAMAGE TO PROTECTED TREE SHOULD OCCUR during or as a result of work on the site, the contractor, builder or owner shall promptly notify the city of such damage. If such protected tree cannot be preserved in a healthy state, the reviewing agency shall require the replacement of any protected tree removed with another tree or trees on the same site deemed adequate to compensate for the loss of the tree that is removed.

7. DEFINITION OF A PROTECTED TREE: Protect those trees listed below.

Coastal Live Oak (Quercus Agrifolia) measuring 12" C.B.H. or larger

2. On private underddeveloped property, a tree measuring 12" C.B.H. or larger 3. All trees and shrubs on city owned property

1. Blue Gum Eucalyptus (*Eucalyptus Globulus*)

3. Monterey Cypress (*Cupressus Macrocarpa*)

7. Green Wattle (*Acacia Aecurrens*)

DIVISION 3 - CONCRETE

DIVISION 4 - MASONRY

DIVISION 5 - METALS

DIVISION 6 - WOOD, PLASTICS & COMPOSITES

FRAMING NOTES

- 1. TREATED LUMBER: All wood, including posts, within 6 inches of the ground shall be pressure treated or foundation-grade redwood.
- 2. PRESSURE TREATED : Any area framed with pressure treated material, the connection hardware must be hot-dipped zinc-coated. Fasteners in preservative treated wood must be approved silicon bronze, or copper, stainless steel or hot-dipped zinc-coated steel. This includes the foundation plates
- 3. CUT OR NOTCHED WOOD: Any cut or notched wood shall be sealed with epoxy sealer.
- 4. SOLES AND PLATES: Where plumbing, heating or other pipes are placed in or partially placed in a partition, necessitating the cutting of soles or plates, a metal tie not less than 16 gauge galvanized an 1 1/2" wide shall be fastened to each plate across and to each side of the opening with not less than 16d nails. FIRE BLOCKING: Provide fire blocking at ceilings, floors, furred down ceilings, showers, soffits, and at concealed draft openings not to exceed 10' maximum. CBC 708

DIVISION 7 - THERMAL & MOISTURE PROTECTION

INSULATION NOTES

1. INSULATION: Provide minimum R-13 insulation in all new walls and R-30 insulation in all new roofs.

FLASHING NOTES

1. METAL FLASHING shall be copper or galvanized steel, unless otherwise noted.

MOISTURE PROTECTION NOTES

- 1. VAPOR BARRIER shall be roll-on urethane membrane per Division7 (or approved equal).
- 2. TUB/SHOWER ENCLOSURE: Provide cement, fiber-cement or glass mat gypsum backers (nonabsorbent surface) for tile base in showers & tubs per CBC 2509.2, to a height of 72" minimum above the drain inlet. CBC 807.1 and 2512 (Not required where integral fiberglass units extending 72" abov drain inlet are clearly specified on the plans).
- 3. Install capillary break and vapor retarder at slab on grade foundations. (4.505.2)
- 4. Check moisture content of building materials used in wall and floor framing before enclosure. (4.505.3)

	 DIVISION 8 - OPENINGS EGRESS NOTES 1. EGRESS WINDOW: Every sleeping room shall be provided with an emergency egress window or door per CBC 1026 : a. minimum net clear opening height of 24 inches. b. minimum net clear opening width of 20 inches. c. minimum net clear operable area of 5.7 sq. ft. d. maximum finished sill height of 44 inches. 5. GLASS NOTES 1. GLASS: All glass shall conform with human impact and safety requirements as per CBC. 2406 DIVISION 9 - FINISHES 			tarbarry		KESIDENTIAL DESIGN	ь Е,	Millard@Arterberry-Design.com
	 GENERAL FINISH NOTES 1. TYPE "X" GYPSUM: Type "X" gypsum board is to be used at all walls and soffits of enclosed usable space under stairs. 2. PAINTING: Provide 1 coat primer and 2 finish coats of paint at all interior and exterior surfaces. 3. STUCCO: Provide 26-gauge (min) galvanized weep screed at the foundation plate line at all stucco walls. 						~%∢	Phone: 415 944-5480
	 A minimum of 80% of the floor area receiving resilient flooring shall comply with (Calgreen 4.504.4) Adhesives, sealants and caulks shall be compliant with VOC and other toxic compound limits. (Calgree 4.504.2.1) Paints, stains and other coatings shall be compliant with VOC limits. (Calgreen 4.504.2.2) Aerosol paints and coatings shall be compliant with product weighted MIR limits for ROC and other toxic compounds. (Calgreen 4.504.2.3) Verification of compliance shall be provided. Carpet and carpet systems shall be compliant with VOC limits. (Calgreen 4.504.3) Particleboard, medium density fiberboard (MDF) and hardwood plywood used in interior finish systems are aball semicirient at and are an analysis. 							
	shall comply with low formaldehyde emission standards. (Calgreen 4.504.5) DIVISION 10 - SPECIALTIES NOT USER DIVISION 11 - EQUIPMENT NOT USER			Ū 	anf Managar	alli, iviai lagei nt Ave.	94945	
	DIVISION 12 - FURNISHINGSNOT USERDIVISION 13 - SPECIAL CONSTRUCTIONNOT USERDIVISION 14 - CONVEYING EQUIPMENTNOT USER		(Uwner Dooifio Duivoto Mano	Et Al c/o Mark H	LL M WU WALK II 1555 Grai	Novato, CA	
NOT USED	DIVISION 21 - FIRE SUPPRESSION NOT USER DIVISION 22 - PLUMBING			1 & 12	-	it	35 12	
NOT USED NOT USED ardware silicon tion plates.	 PLUMBING NOTES FIXTURE LOCATIONS: Confirm location of all fixtures and outlets with Architect. PLUMBING VENTS: All new plumbing vents shall terminate not less than 3'-0" from any property line. vents must also terminate at least 4' below, 1' above, and 4' horizontally from any door or operable window or air inlet. RELIEF VALVE: Provide water heater pressure/temperature relief valve with drain to outside of building or other approved location. CPC 608 No part of drain may be installed where it would be subject to freezing. CPC 608.5 SHOWER VALVES: Provide shower and tub-shower combinations with individual control valves of the pressure balance or the thermostatic mixing valve type. CPC 420.0 BACKFLOW PREVENTION: Provide a non-removable backflow prevention device on all exterior hose bibbs and lawn sprinkler/irrigation systems. CPC 603.4 METAL WATER PIPING and other interior metal piping shall be bonded to the service equipment 			A.P.N 012-043-17		52/54 Fremont S	San Rafael CA 9496	
vanized and less than six howers,	 enclosure pursuant to CEC 250-80 (a) & (b). The points of attachments to the bonding jumper shall be accessible. 7. SEISMIC ANCHORAGE: Provide seismic anchorage for new and/or existing water heater tanks with straps within the upper and lower one-third of unit, with lower strap at least 4" above controls. CPC 510.5 		UN	SUBMISSION	SUBMISSION	SUBMISSION	SUBMISSION	
New roofs.	 8. NEW FIXTURE FLOW RATES per Calgreen 4.303.1: a. water closets: 1.28 gal./flush b. shower heads: 2.0 gal./min. c. lavatory faucets: 1.2 gal./min. d. kitchen faucets: 1.8 gal./min. 	SSUES		PI ANNING SUBN	PLANNING SUBN		PLANNING SUBN	
(non-	 DIVISION 23 - HVAC VENTILATION NOTES 1. BATHROOM EXHAUST FANS shall be connected directly to outside and be capable of 5 air changes per hour. (CBC 1203.3) TERMINATION of all environmental air ducts shall be a minimum of 3'-0" from any opening into the building. Exhaust air vent to have back draft damper. 		MARK UAIE	2/04/19			2/24/2020	
um above 72" above	 PLUMBING VENTS: All new plumbing vents shall terminate not less than 3'-0" from any property line. vents must also terminate at least 4' below, 1' above, and 4' horizontally from any door or operable window or air inlet. DUCTING NOTES 	PRC		 T #:				1805

1. Duct systems to be sized and designed, and equipment selected per Calgreen 4.507.2. HVAC system installers must be trained and certified and special inspectors employed by the enforcing agency must be qualified per Calgreen 4.507.2.

CAD FILOE: Fremont Road - Main - 01-20-2020.p

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GENERAL NOTES

G-001

MNA

MNA

DRAWN BY:

CHECKED BY:

- 3. VENT STRIP at roof-edge venting shall be Cor-a-vent RS-400, or equal.
- 4. INSECT SCREEN: All insect screen at eave vents shall be corrosion resistant metal mesh with mesh openings 1/4" in dimension, unless otherwise noted.

DIVISION 26 - ELECTRICAL

ELECTRICAL NOTES

- system conforming to CEC 250-81.
- source.

- circuit. CEC 210-52(d).

- 2. Pulse-start metal halide.
- 3. High pressure sodium

- decorative lighting

- with Joint Appendix 8.

- CEC 406.11

- **EXCAVATION NOTES**
- plans, etc.

GRADING NOTES

- architect prior to start of work.
- than 45 degrees.
- CBC1804.3 and CGBC 4.106.3.

DIVISION 32 - EXTERIOR IMPROVEMENTS

- SITE DRAINAGE NOTES

DIVISION 32 - EXTERIOR IMPROVEMENTS (continued)

1. GROUNDING ELECTRODE SYSTEM: Electrician shall provide and locate the grounding electrode

2. SMOKE DETECTORS: Contractor shall verify the existence of or install smoke detectors and carbon monoxide detectors in accordance with state law, notes below, and drawings. Alarms shall receive their primary power from the building wiring and shall be equipped with a battery backup. Alarms in existing areas where access to the area of the ceiling is not possible may be powered by a D/C battery

3. KITCHEN CIRCUIT: Provide at least two separate 20 amp circuits for small appliances in kitchen, pantry, dining room and similar areas, with no other outlets on the circuits. CEC 210-11 (c)(1), 210-52

4. LAUNDRY CIRCUIT: Provide a dedicated 30-amp circuit serving dryer in addition to one separate 20-amp circuit serving other laundry appliances. CEC 220-4(c)

5. BATH OUTLETS: Provide at least one 20 amp circuit for bathroom outlets with no other outlets on the

6. CLOTHES CLOSET LAMPS. Light fixture clearances shall conform to CEC 410-8.

7. LUMINAIRE EFFICACY - All installed luminaires shall be high-efficacy. CEnerC 150.0(k)1.A

8. The following table defines high efficacy lighting CEnerC Table 150.0-A.

HIGH EFFICIENCY LIGHT SOURCES

Light sources other than those installed in ceiling recessed downlight luminaires, are classified as high efficacy and are not required to comply with Reference Joint Appendix JA8. 1. Pin-based linear or compact fluorescent light sources using electronic ballasts

4. GU-24 sockets containing light sources other than LEDs

5. Luminaires with hardwired high frequency generator and induction lamp Inseparable SSL luminaires that are installed outdoors

7. Inseparable SSL luminaires containing colored light sources that are installed to provide

Light sources shall be certified to the Commission as High Efficacy Light Sources in accordance with Reference Joint Appendix JA8 and marked as meeting JA8.

8. All light sources in ceiling recessed downlight luminaires. Note that ceiling recessed downlight luminaires shall not have screw bases regardless of lamp type as described in Section 150.0(k)1C. 9. GU-24 sockets containing LED light sources

10. Any light source not otherwise listed in the table and certified to the Commission as complying

9. BATHROOMS, GARAGE, LAUNDRY & UTILITY ROOM LIGHTING - At least one luminaire in each of these spaces shall be controlled by a vacancy sensor CEnerC 150.0(k)2.J.

10. RECESSED LIGHTING FIXTURES shall be rated as air-tight (AT) and, when installed in an insulated ceiling, shall have an approved zero clearance insulation cover (IC). (2013 CA Title 24 Section 150)

11. LIGHT FIXTURES in tub or shower enclosures or other wet/damp locations shall be labeled "suitable for damp locations". CEC 410-4(a)

12. OUTLETS: In every habitable room an electrical outlet shall be installed so that no point along the floor line in a wall space is more than six feet measured horizontally, from any outlet in that space, including any wall space two feet or more in width, the wall space occupied by fixed panels in exterior walls, and fixed room dividers. NEC Article 210-52.

13. NEW OUTLETS (including receptacles, switches, lighting, and hard-wired smoke detectors) in bedrooms, hallways, living rooms, dining rooms, kitchens, and similar areas must be on circuits protected with a combination arc-fault breaker. (2013 CEC 210.12)

14. RECEPTACLES installed in the following locations must be GFCI protected: exterior, garage, bathrooms, and above the kitchen countertop. (2013 CEC 210.12).

15. LOAD CALCLATIONS: Contractor to submit electrical load calculations for the sizing of the electrical panels to the building department for approval prior to installation.

16. SMOKE DETECTORS: Smoke detectors shall be powered by building wiring with battery back-up. Provide smoke detectors in the following areas (as applicable): - at each story and basement. - within each bedroom and centrally located in the corridor or area giving access to each sleeping area. - in each room where non-bedroom ceiling heights exceed the hall ceiling height by more than 2'.

17. CARBON MONOXIDE alarms are to be installed outside each bedroom per CRC 315.2

18. ALL 125 volt, 15- and 20- ampere receptacle outlets shall be listed tamper resistant receptacles per

DIVISION 31 - EARTHWORK

1. Refer to architectural and structural drawings for exact dimensions: details of foundation systems: floor

2. Utilities shown are diagrammatic and show only delivery to building, internal site utilities are not depicted. All work shall conform to respective utility company's specifications. Provide sleeve through walls as required to accommodate underground utilities.

1. Contractor shall verify existing contours and general site conditions and report any discrepancies to

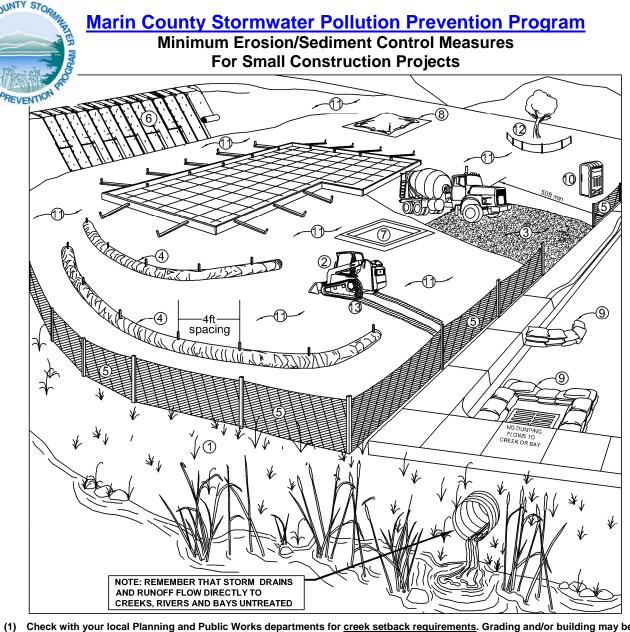
2. Grading shall be performed as recommended by the geotechnical investigation.

3. Unless noted otherwise, all retaining walls shall have a waterproof membrane on the backside: back fill with crushed rock and place a minimum 4" diameter perforated pipe at bottom. Provide positive drainage to safe discharge away from building. Provide cleanouts at dead ends and at turns greater

4. Provide sleeves through walls as necessary to accommodate all underground utilities.

5. Provide slope of 5% (or 2% for impervious surfaces) within 10 feet of dwelling's foundations per

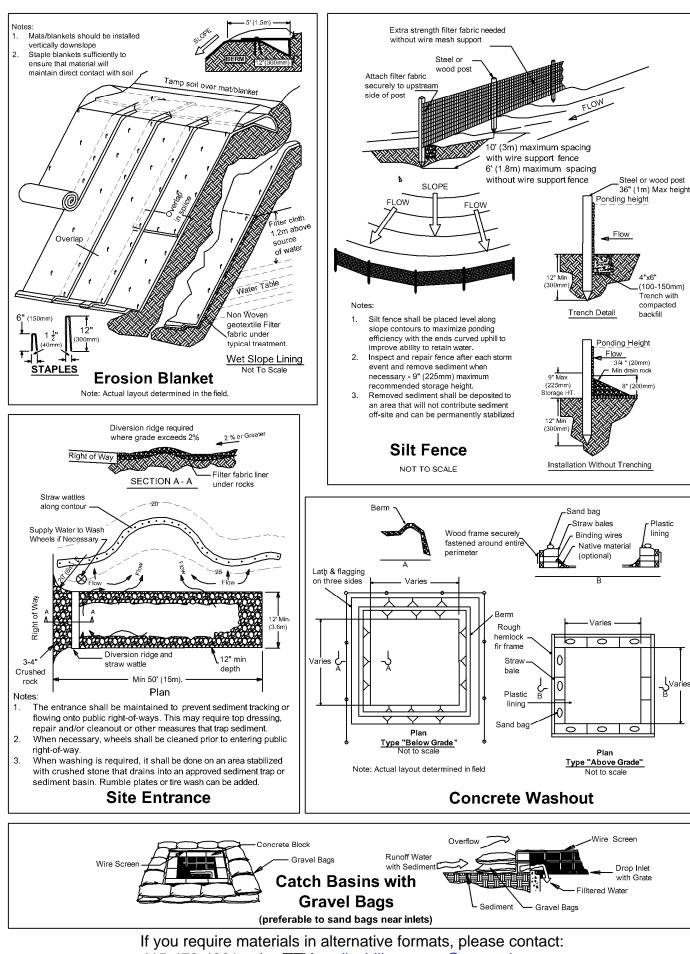
1. DRAIN PIPE: Provide a 4 inch perforated pipe (holes down) Behind every retaining wall and perimeter footing set in drain rock. Provide clean-outs at dead ends and at turns greater than 45 degrees.



limited within creekside buffers

- (2) During grading phase, track-walk up and down slopes (not parallel to them). (3) *Stabilize site entrance and temporary driveway – use 3-4" crushed rock for a minimum of 50' (or as far as possible) to prevent
- tracking soil offsite. This can be used in conjunction with a tire wash or rumble plates (4) *Use straw wattles along contours of short slopes or slopes 3:1 or flatter, keyed into ground at least 3" deep (typically 25' apart). (5) *Install silt fence along contours as secondary measure to keep sediment onsite and to minimize vehicle and foot traffic beyond
- limits of site disturbance. Silt fencing must be keyed in. (6) *Install erosion control blankets (or equivalent) on any disturbed site with 3:1 slopes or steeper, keyed into the ground at least 3". (7) *Construct a concrete washout site adjacent to stabilized entrance. Clean as needed and remove at end of project. (8) Cover all stockpiles and landscape material and burm properly with straw wattles or sand bags. Keep behind silt fence, away
- from water bodies. Hazardous materials must be kept in closed containers that are covered and utilize secondary containment not directly on soil. (9) *Use pea-gravel bags, (or similar product) around <u>drain inlets</u> located both onsite and in gutter as a <u>last line of defense.</u> (10) Place port-a-potty near stabilized site entrance, behind the curb and away from gutters, storm drain inlets, and water bodies.
- (11) Cover all exposed soil with straw mulch and tackifier (or equivalent) (12) Existing vegetation should be preserved as much as possible. Areas of disturbed soil/vegetation should be revegetated as soon as practica (13) Prevent equipment fluid leaks onto ground by placing drip pans or plastic tarps under equipment.

Note: Schedule construction activities to reduce erosion potential. Sediment and erosion control shall be continually maintained throughout the rainy season (October 15th – April 15th) and must remain effective through the construction and landscape phases. Inspect and maintain Best Management Practices (BMPs) before and after rain events. *See reverse for detail drawings. Visit www.mcstoppp.org for more information on construction site management.



415-473-4381 voice/TTY or disabilityaccess@co.marin.ca.us

DIVISION 32 - EXTERIOR IMPROVEMENTS (continued)

A Guide to Straw Wattle Installation

Proper installation of the straw wattle is essential in order to insure the success of the product. Straw wattles are designed for low surface flows, not to exceed 1 cfs for small areas. While they work well on stream banks, they should not be placed in the path of high water flow. On slopes, wattles should be installed on contour with a <u>slight</u> downward angle at the end of the row in order to prevent ponding at the mid-section. No overall slope preparation is needed prior to installation; however, straw wattles should <u>always</u> be installed in shallow trenches according to the guidelines given below. Running lengths of wattles should be abutted firmly to ensure no leakage at the abutments. Guidelines regarding vertical spacing are given below. The wattles should be pinned securely to the ground according to instructions in order to insure their stability and the success of the installation.

SPACING - DOWNSLOPE

Vertical spacing for slope installations should be determined by site conditions: slope gradient and soil type are the main factors.

- A good rule-of-thumb is:
- 1:1 slopes = 10 feet apart • 2:1 slopes = 20 feet apart
- 3:1 slopes = 30 feet apart
- 4:1 slopes = 40 feet apart, etc.
- However, adjustments may have to be made for the soil type: • For soft, loamy soils - adjust the rows closer together. For hard, rocky soils - adjust the rows further apart. •

TRENCHING

Use a hand tool such as a maddox or pick to score the ground. Using a shovel, dig the trench to the needed depth. Soil from excavating the trenches can be placed on the uphill, or flow side, of the trench to be used during installation.

- For soft, loamy soils: dig a 3-5 inch trench. • For hard, rocky soils: dig a 2-3 inch trench.
- **INSTALLING**

Lay the first straw wattle snugly in the trench. **No daylight should be seen under the wattle.** Pack soil from trenching against the wattle on the uphill side. When installing running lengths of straw wattles, you must butt the second wattle tightly against the first wattle. DO NOT overlap the ends on top of each other. Overlapping behind each other has been done with some success. Stake the straw wattles at each end and four foot on center. For example:

- 25 foot wattle uses 6 stakes
- 20 foot wattle uses 5 stakes •
- 12 foot wattle uses 4 stakes

Stakes should be driven through the middle of the wattle, leaving 2-3 inches of the stake protruding above the wattle. A heavy sediment load will tend to pick the wattle up and could pull it off the stakes if they are driven down too low. It may be necessary to make a hole in the wattle with the pick end of your maddox in order to get the stake through the straw. When straw wattles are used for flat ground applications, drive the stakes straight down; when installing wattles on slopes, drive the stakes perpendicular to the slope.

Drive the first end stake of the second wattle at an angle toward the first wattle in order to help abut them tightly together. If you have difficulty driving the stake into extremely hard or rocky slopes, a pilot bar may be needed to begin the stake hole.

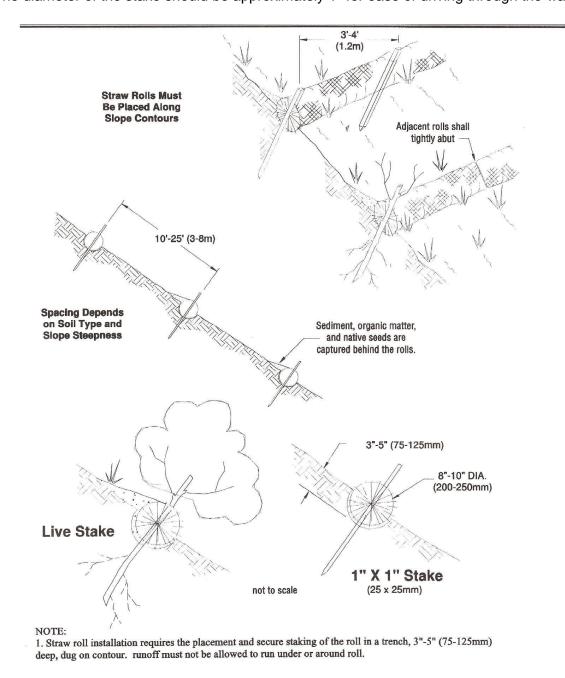
FLAT GROUND APPLICATIONS

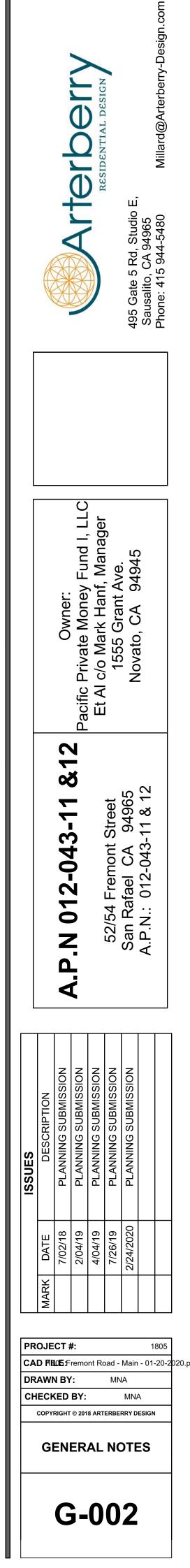
For installations along sidewalks or behind curbs it may not be necessary to stake the wattles, however, trenches must still be dug. If you have not yet back-filled behind the sidewalk or curb, lay the wattle snuggly against it first, then backfill behind the wattle. Your trench is done! For installations around storm drains and inlets, trenches and staking will be needed.

Fit wattle in trench snugly up against the sidewalk or curb. Around storm drains or inlets, the wattle should be back 1–11/2 ft. and should direct water flow toward the angle of drainage. If all drainage angles into the inlet, snake the wattle all the way around the inlet, using more than one wattle if needed.

STAKING

We recommend using wood stakes or willow cuttings, rather than metal pins, to secure the straw wattles. Wood stakes will eventually bio-degrade, and willow cuttings will grow and provide extra stabilization. Be sure to use a stake that is long enough to protrude several inches above the wattle: 18" is a good length for hard, rocky soil. For soft, loamy soil use a 24" stake for greater security. The diameter of the stake should be approximately 1" for ease of driving through the wattle.





ABBREVIATIONS

AB ARCH	AGGREGATE BASE ARCHITECT (URAL)	HORZ
BD	BOARD	INV
BLDG BLK	BUILDING BLOCK	JT
BOT BS	BOTTOM BACK OF SIDEWALK	LF
BTWN BSL BW	BETWEEN BUILDING SETBACK LINE BOTTOM OF WALL	MMWD ME MAX MIN
CL CLR	CENTERLINE CLEAR (ANCE)	
CO	CLEANOUT CONCRETE	NTS
CONST	CONSTRUCTION	OC
CONT CY	CONTINUOUS OR CONTINUE CUBIC YARD	PERF PL
DL DI DIM	DRAINLINE DROP INLET DIMENSION	PT PUE PVC
DS D/W DWG	DOWNSPOUT DRIVEWAY DRAWING	RC RPBP
EL EQ ESMT EX, EXIST EG EXT	ELEVATION EQUAL EASEMENT EXISTING EXISTING GRADE EXTERIOR	S SCH SF SHT SQ SS SSCO
FF	FINISHED FLOOR	STD
FG FL FND FT	FINISHED GRADE FLOW LINE FOUNDATION FOOT	TC TEL TG TW
HDR HT	HEADER HEIGHT	TYP
HP	HIGH POINT	UON
		VERT

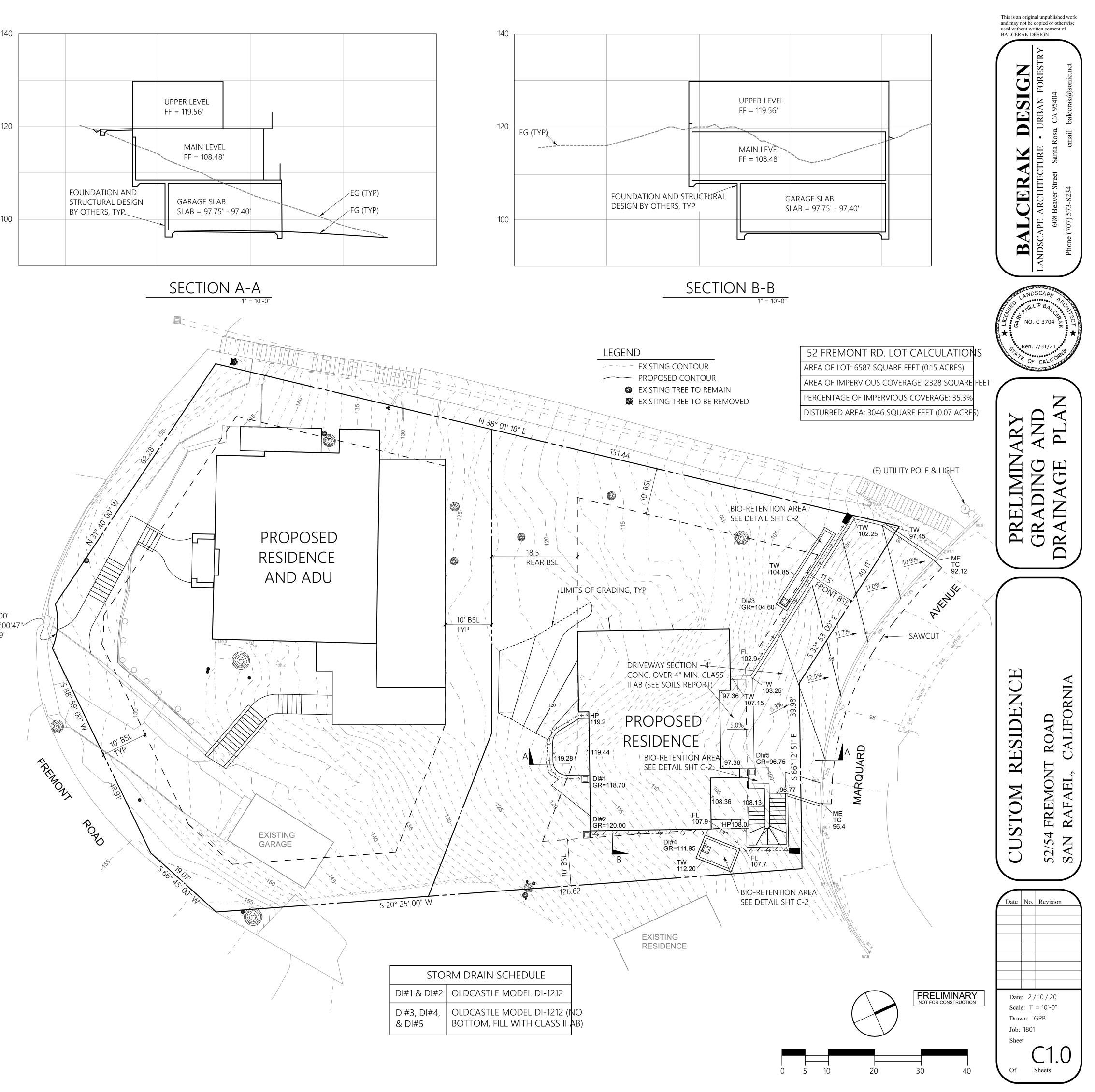
5	
HORIZONTAL	
PIPE INVERT	
JOINT TRENCH	
LINEAR FOOT	
MARIN MUNICIPAL WATER DISTRICT MATCH EXISTING MAXIMUM MINIMUM	120
NOT TO SCALE	
ON CENTER (S)	
PERFORATE (D) PROPERTY LINE POINT PUBLIC UTILITY EASEMENT POLYVINYL CHLORIDE	
RELATIVE COMPACTION REDUCED PRESSURE BACKFLOW PREVENTER	
SLOPE SCHEDULE SQUARE FEET SHEET SQUARE SANITARY SEWER SANITARY SEWER CLEANOUT STANDARD	100
TOP OF CURB TELEPHONE TOP OF GRATE TOP OF WALL TYPICAL	
UNLESS OTHERWISE NOTED	
VERTICAL	

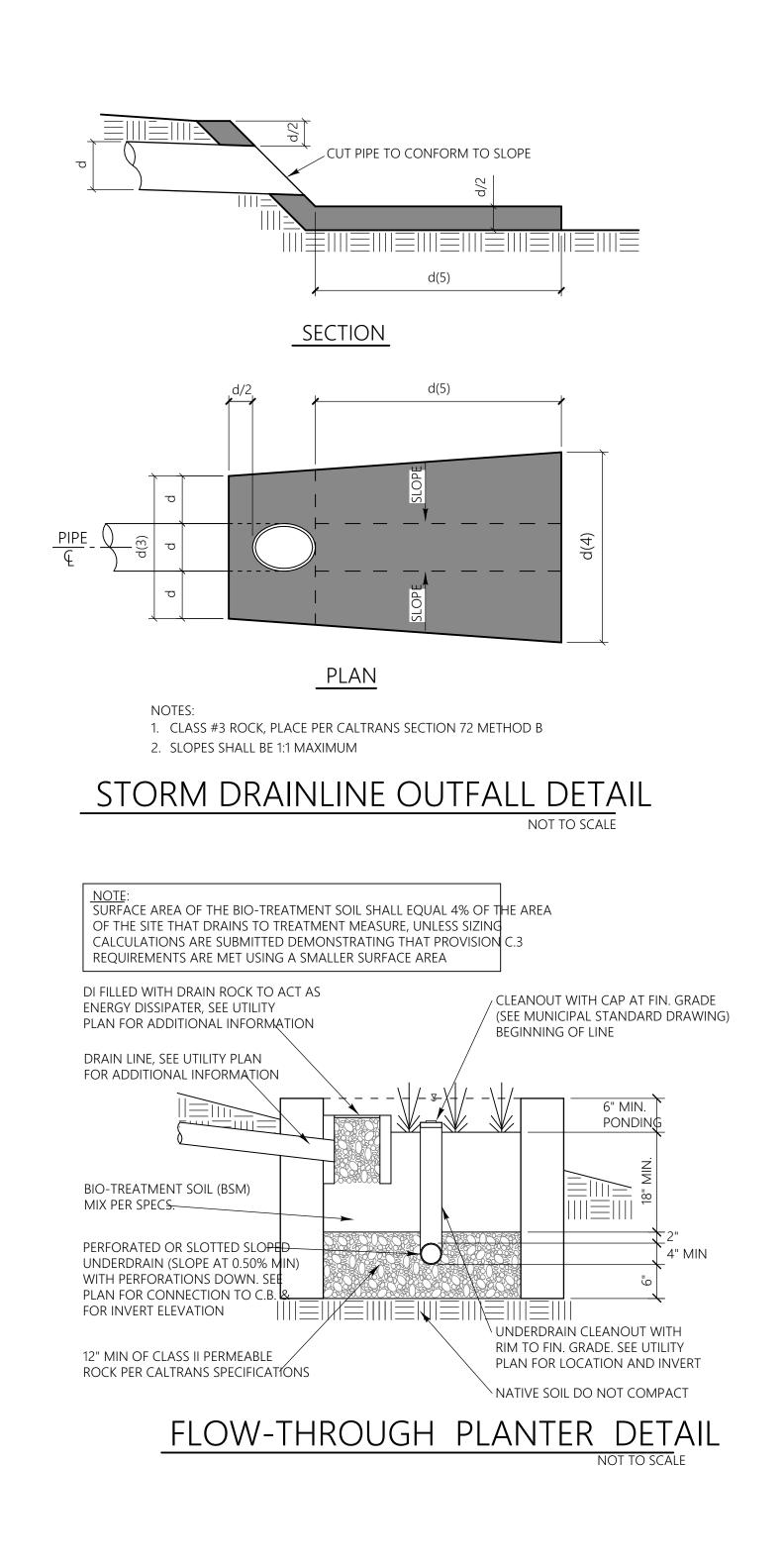
R= 15.00' D= 37°00'47" L= 9.69'

GRADING NOTES:

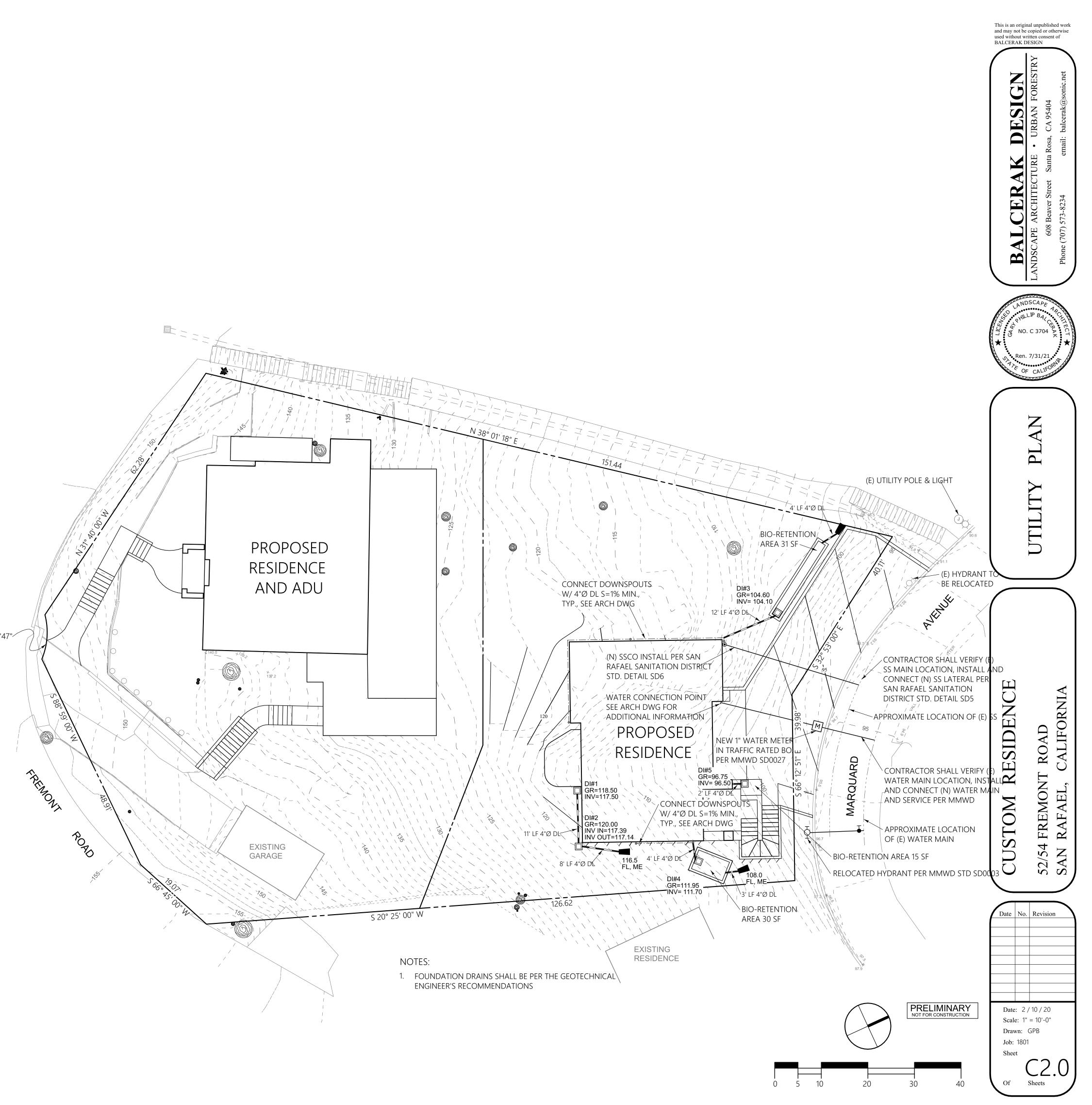
- 1. ALL DOWNSPOUTS SHALL BE CONNECTED TO A 4"Ø DRAIN LINE, WITH A MINIMUM SLOPE OF 1% AND DISCHARGED INTO BIO-RETENTION AREA.
- 2. STORM DRAIN PIPE SHALL BE RCP, PVC, OR HDPE (MEETING CALTRANS SECTION 64 SPECIFICATIONS)
- 3. CONTRACTOR SHALL VERIFY ALL QUANTITIES PRIOR TO BID.
- 4. REFER TO ANY GEOTECHNICAL RECOMMENDATIONS THAT MAY BE A PART OF THIS PROJECT.
- 5. ALL DISTURBED AREAS SHALL BE SEEDED WITH EROSION CONTROL SEED MIX, SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION. VEGETATED SWALES SHALL USE THE SAME SEED MIX AND APPLICATION RATES.
- 6. QUANTITIES SHOWN ARE ESTIMATES ONLY. SITE CONDITIONS, RECOMMENDATIONS OF THE SOILS ENGINEER, MEANS AND METHODS, ETC. CAN RESULT IN SUBSTANTIALLY DIFFERENT VALUES. CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACTUAL VOLUME. EXCESS MATERIAL TO BE HAULED OFF TO AN APPROVED SITE.

- 7. PROVIDE POSITIVE DRAINAGE TO PREVENT PONDING OF WATER AT UNDER FLOOR AREA. USE 3" Ø SCH. 80 PVC DRAIN LINE THROUGH FOUNDATION FOOTING AT LOWEST CORNER WITH 1% MIN. SLOPE DISCHARGING INTO APPROPRIATE AREA. THESE DRAINS ARE SEPARATE FROM ANY FOUNDATION DRAINS.
- 8. SLOPE PAVING 2% MIN. AWAY FROM BUILDING.
- 9. PRIOR TO CONSTRUCTION VERIFY FOUNDATION SECTIONS WITH STRUCTURAL ENGINEERING PLANS.
- 10. THE CONTRACTOR SHALL VERIFY THE NUMBER AND LOCATION OF STEPS AND LANDINGS IN THE FIELD PRIOR TO CONSTRUCTION.
- 11. ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY REQUIRES AN EXCAVATION/ENCROACHMENT PERMIT.
- 12. THE PROPERTY OWNER SHALL MAINTAIN THE DRAINAGE SYSTEM SUCH THAT DRAINAGE SYSTEM SHALL NOT ADVERSELY IMPACT THE NEIGHBORING PROPERTIES OR ANY NATURAL WATER COURSE.





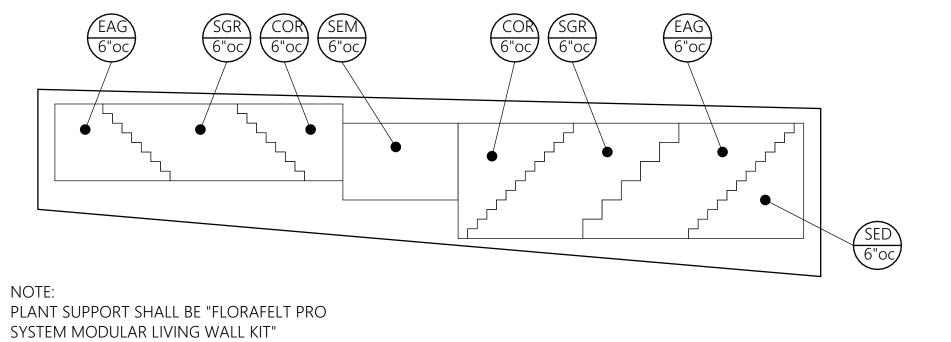
R= 15.00' D= 37°00'47" L= 9.69'



		PLAN	TING LEGEN	1D	
KEY	SIZE	BOTANICAL NAME	COMMON NAME	REMARKS	WATER US
		TREES			
TCA	#15	TORREYA CALIFORNICA	CALIFORNIA NUTMEG		LOW
		SHRUBS			
CAL	#5	CALYCANTHUS OCCIDENTALIS	SPICE BUSH		MEDIUM
GSH	#5	GAULTHERIA SHALLON	SALAL		MEDIUM
RSS	#5	RUBUS SPECTABILIS	SALMONBERRY		MEDIUM
SYA	#5	SYMPHORICARPOS ALBUS VAR. LAEVIGATUS	SNOWBERRY		LOW
VOV	#5	VACCINIUM OVATUM	EVERGREEN HUCKLEBERRY		MEDIUM
		PERENNIALS			
COR	4" POT	COTYLEDON ORBICULATA	PIG'S EAR	6" O.C. TRI. SPACING	LOW
EAG	4" POT	ECHEVERIA AGAVOIDES	NO COMMON NAME	6" O.C. TRI. SPACING	LOW
HMI	#1	HEUCHERA MICRANTHA	CORAL BELLS		MEDIUM
PMU	#5	POLYSTICHUM MUNITUM	SWORD FERN		MEDIUM
SED	4" POT	SEDUM ADOLPHII	GOLDEN SEDIUM	6" O.C. TRI. SPACING	LOW
SGR	4" POT	SEDUM GRISEBACHII	STONE CROP	6" O.C. TRI. SPACING	LOW
SEM	4" POT	SEMPERVIVUM TECTORUM	COMMON HOUSELEEK	6" O.C. TRI. SPACING	LOW
WFI	#5	WOODWARDIA FIMBRIATA	GIANT CHAIN FERN		MEDIUM
		VINES			
LCI	#5	LONICERA CILIOSA	WESTERN TRUMPET HONEYSUCKLE		MEDIUM
		GROUNDCOVERS			
СРА	#1	CAREX PANSA	CALIFORNICA MEADOW SEDGE	9" O.C. TRI. SPACING	MEDIUM
JEF	#1	JUNCUS EFFUSUS	SOFT RUSH	2' O.C. TRI. SPACING	MEDIUM
OOR	6" POT	OXALIS OREGANA	REDWOOD SORREL	PER PLAN	MEDIUM

NOTE:

ALL PROPOSED PLANTINGS SHALL BE FIRE RESISTANT AND IRRIGATED. NO PLANTS PROHIBITED BY THE SAN RAFAEL FIRE PROTECTION BUREAU STANDARD 100, THE MARIN MUNICIPAL WATER DISTRICT, OR THE CALIFORNIA INVASIVE PLANT COUNCIL SHALL BE USED. THE CONTROLLER FOR THE IRRIGATION SYSTEM SHALL BE HIGH-EFFICIENCY AND USE EVAPOTRANSPIRATION DATA.



WALL ELEVATION A 1" = 5'-0"

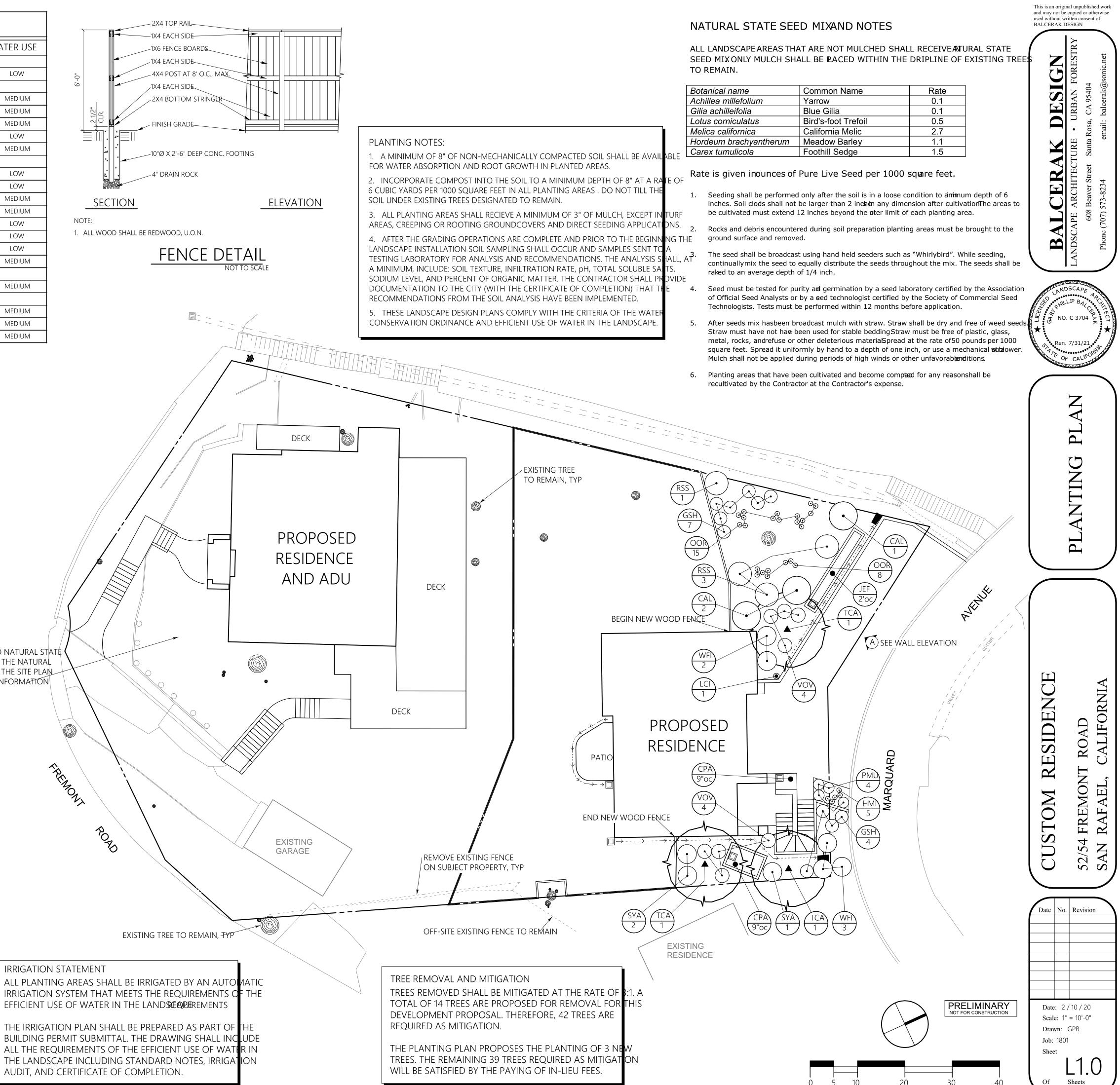
AREA OF LOT TO BE REVERTED TO NATURAL STATE TO BE PLANTED AS INDICATED IN THE NATURAL STATE SEED MIX AND NOTES, SEE THE SITE PLAN (SHEET AS100) FOR ADDITIONAL INFORMATION

Maximum Applied Water Allowance

Enter Zip Code 94901 37.33 Residential? Yes

Project Name Address: Meter Number Location/Shee Date:	52 Frem r: New Me	eter	afael								
Meter Number	r: New Me et No. Approx.	eter	afael								
Location/Shee	et No. Approx.										
		34' from easterly									
Date:	2/19/20										
		Maximum Appl	lied Water Allowa	nce (MAWA)							
Landscaped Ai	rea:	1,858	8 sqft								
Special Landso	caped Area:	0	sqft								
MAWA =		32	CCF								
		Estimated	Total Water Use (ETWU)							
Low water use	plant	1,399	9 sqft								
Moderate water use plant		459	sqft								
High water use	plant	0	sqft								
Efficiency Factor		0.75									
% of Total Landscape Irrigated with Drip		Irrigation Eff	pr								
	0-33% 34-66%		0.75 0.80								
	67-100%		0.85								
ETWU =		29	CCF								
		Ν	later Use Table								
ETWU	Gallons:	21,692	CCF's:	29	AF:	0.07					
eline Period	Jan/Feb	Mar/Apr	May/Jun	Jul/Aug	Sep/Oct	Nov/Dec					
eline CCF's	0	3	8 allons: 1 AF = 43	10	7	1					

For more information please contact 415-945-1497 or see our website at www.marinwater.org



Botanical name	Common Name	Rate
Achillea millefolium	Yarrow	0.1
Gilia achilleifolia	Blue Gilia	0.1
Lotus corniculatus	Bird's-foot Trefoil	0.5
Melica californica	California Melic	2.7
Hordeum brachyantherum	Meadow Barley	1.1
Carex tumulicola	Foothill Sedge	1.5

Tree	Species	Diameter	Vigor	Structure	Status	Notes
5	Coast Redwood (Sequoia semperviren)s	37.3"	Good	Fair	Remove	Has ± 3' high by 2 wide fire scar on downslope side of tree. Cavity extends ± 1 to 2' inside, woundwood noted at edges of cavi Tagged a #90.
6	Coast Redwood (Sequoia semperviren)s	17.0"	Good	Fair	Remove	This tree has ametalhook in the upper trunk with a bar through it and connects to tree #7 which also has a hook for the batt prears to have been an old swing.
7	Coast Redwood (Sequoia semperviren)s	18.8"	Good	Fair	Remove	Cavity noted on upslope side $2h_{3}$ bh and 10 wide, ± 6 " deep.
8	Coast Redwood (Sequoia semperviren)s	23.2"	Good	Good	Remove	Many suckers at base, common for the speci No overt defects notedagged as #91.
9	Coast Redwood (Sequoia semperviren)s	19.5"	Good	Good	Remove	Many suckers at base, common for the spec No overt defects noted.
10	Coast Redwood (Sequoia sempervirei)s	19.8"	Good	Good	Remove	Many suckers at base, common for the spec No overt defectsoted.Tree has been used as a pole to attach old electrical wiring.
11	Coast Redwood (Sequoia sempervirei)s	35.3"	Good	Good	Remove	Trunk bifurcates at 7' off steep grade. Many suckersat base common for the species ad a third trunk on the up slopsed that was removed at ± 2.5 ff grade no decay evident Old fire scar on downslope side of trunk, no decay evident.
13	Cherry Plum (Prunus cerasifera)	8.2"	Fair	Poor	Remove	Cal-IPC has identified this tree as a species of limited concern, and therefore removal is recommended.
14	Cherry Plum (Prunus cerasifera)	10.7" at 14" off grade	Fair	Poor	Remove	Cal-IPC has identified this tree as a species o limited concern, and therefore removal is recommended.
15	Cherry Plum (Prunus cerasifera)	5.2"	Good	Good	Remove	Cal-IPC has identified this tree as a species of limited concern, and therefore removal is recommended.
16	Cherry Plum (Prunus cerasifera)	5.6"	Fair	Fair	Remove	Cal-IPC has identified this tree as a species of limited concern, and therefore removal is recommended.
17	Coast Redwood (Sequoia semperviren)s	9.5"	Fair/Poor	Good	Remove	Suppressed by Tree #18Many suckersat base common for the species. No overt defects noted.
18	Coast Redwood (Sequoia semperviren)s	26.3"	Good	Good	Remove	No overt defects note Many suckers at base, common for the species.
19	California Bay (Umbellularia californica)	4.2"; 7.3"; 3.2"	Fair	Poor	Remove	Tree once had many more trunks most have been removedDecay on downslope side of t trunk. Thinly foliated largest trunk is growing towards proposed residendenis tree had bee covered with Ivy, but is has been killed off.

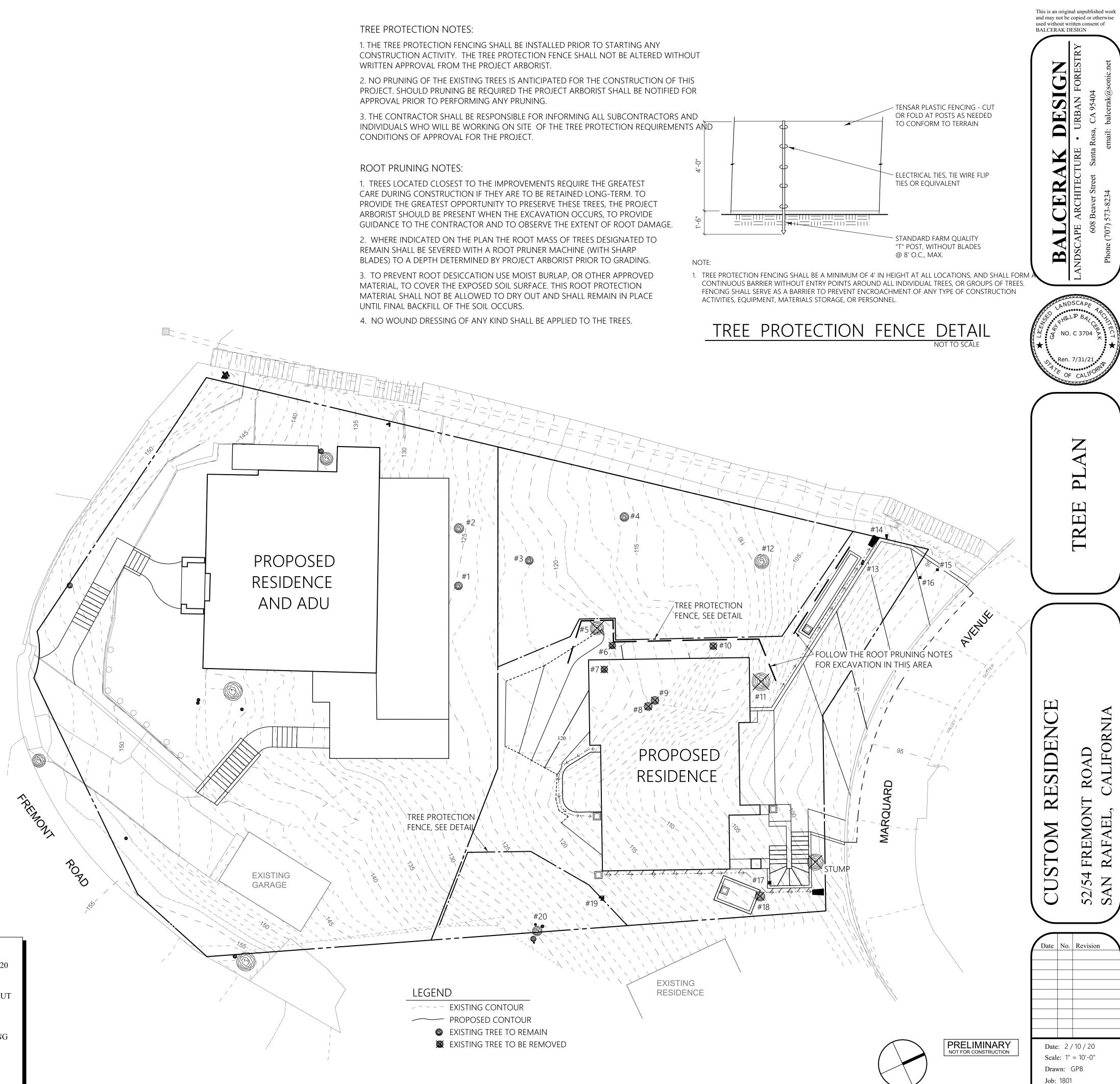
NOTES:

1. SEE ARBORIST'S REPORT PREPARED BY BALCERAK DESIGN, REVISED FEBRUARY 17, 2020 FOR ADDITIONAL INFORMATION.

2. NO EXISTING TREE, DESIGNATED TO REMAIN, SHALL BE TRIMMED OR PRUNED WITHOUT PRIOR APPROVAL BY THE PROJECT ARBORIST.

3. NOTIFY PROJECT ARBORIST IN ANY CASE WHERE CONTRACTOR FEELS GRADING OR OTHER CONSTRUCTION CALLED FOR BY CONTRACT DOCUMENTS MAY DAMAGE EXISTING TREES THAT ARE SCHEDULED TO REMAIN.

4. FINAL LOCATION OF TREE PROTECTION FENCING SHALL BE DETERMINED BY FIELD STAKING OF THE IMPROVEMENTS, AND ADJUSTING FENCE TO PROVIDE MAXIMUM PROTECTION. FINAL LOCATION AND EXTENT OF FENCING SHALL BE APPROVED BY THE PROJECT ARBORIST. FENCING SHALL REMAIN INTACT AND SHALL ONLY BE ALTERED WITH THE APPROVAL OF THE PROJECT ARBORIST.



Sheet

Of

T1.C

Sheets

		PLAN	TING LEGEN	٧D	
KEY	SIZE	BOTANICAL NAME	COMMON NAME	REMARKS	WATER US
		TREES			
TCA	#15	TORREYA CALIFORNICA	CALIFORNIA NUTMEG		LOW
		SHRUBS			
CAL	#5	CALYCANTHUS OCCIDENTALIS	SPICE BUSH		MEDIUM
GSH	#5	GAULTHERIA SHALLON	SALAL		MEDIUM
RSS	#5	RUBUS SPECTABILIS	SALMONBERRY		MEDIUM
SYA	#5	SYMPHORICARPOS ALBUS VAR. LAEVIGATUS	SNOWBERRY		LOW
VOV	#5	VACCINIUM OVATUM	EVERGREEN HUCKLEBERRY		MEDIUM
		PERENNIALS			
COR	4" POT	COTYLEDON ORBICULATA	PIG'S EAR	6" O.C. TRI. SPACING	LOW
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HMI	#1	HEUCHERA MICRANTHA	CORAL BELLS		MEDIUM
PMU	#5	POLYSTICHUM MUNITUM	SWORD FERN		MEDIUM
SED	4" POT	SEDUM ADOLPHII	GOLDEN SEDIUM	6" O.C. TRI. SPACING	LOW
SGR	4" POT	SEDUM GRISEBACHII	STONE CROP	6" O.C. TRI. SPACING	LOW
SEM	4" POT	SEMPERVIVUM TECTORUM	COMMON HOUSELEEK	6" O.C. TRI. SPACING	LOW
WFI	#5	WOODWARDIA FIMBRIATA	GIANT CHAIN FERN		MEDIUM
		VINES			
LCI	#5	LONICERA CILIOSA	WESTERN TRUMPET HONEYSUCKLE		MEDIUM
		GROUNDCOVERS			
CPA	#1	CAREX PANSA	CALIFORNICA MEADOW SEDGE	9" O.C. TRI. SPACING	MEDIUM
JEF	#1	JUNCUS EFFUSUS	SOFT RUSH	2' O.C. TRI. SPACING	MEDIUM
OOR	6" POT	OXALIS OREGANA	REDWOOD SORREL	PER PLAN	MEDIUM

NOTE:

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NATURAL STATE SEED MIXAND NOTES

ALL LANDSCAPE AREAS THAT ARE NOT MULCHED SHALL RECEIVE AN URAL STATE SEED MIXONLY MULCH SHALL BE PLACED WITHIN THE DRIPLINE OF EXISTING TREES TO REMAIN.

Botanical name	Common Name	Rate
Achillea millefolium	Yarrow	0.1
Gilia achilleifolia	Blue Gilia	0.1
Lotus corniculatus	Bird's-foot Trefoil	0.5
Melica californica	California Melic	2.7
Hordeum brachyantherum	Meadow Barley	1.1
Carex tumulicola	Foothill Sedge	1.5

Rate is given inounces of Pure Live Seed per 1000 square feet.

VEGETATION MANAGEMENT PLAN NARRATIVE

THIS SITE IS REMNANT OF A REDWOOD (SEQUOIA SEMPERVIRENS) FOREST, WITH CALIFORNIA BAY (UMBELLULARIA CALIFORNICA) AS AN ASSOCIATE. DUE TO THE SHADED THE UNDERSTORY CONSISTS OF GRASSES AND FORBS. THE SUBJECT PROPERTY HAS A NORTHEAST ASPECT SLOPE. IT APPEARS THAT THERE IS AMPLE SOIL MOISTURE AVAILABLE YEAR ROUND.

BECAUSE OF THE STAND OF TREES AND THE ASPECT ALL OF THE TREES HAVE NATURALLY LIMBED-UP THEIR CROWN, MOST TREES DO NOT EXHIBIT PERMANENT SCAFFOLD BRANCHES UNTIL ± 25' ABOVE NATURAL GRADE. SOME OF THE TREES EXPOSED TO MORE HAVE BRANCHES LOWER, BUT ARE STILL ± 10' ABOVE NATURAL GRADE.

THE LANDSCAPE DESIGN IS CONSISTENT WITH THE MARIN MUNICIPAL WATER DISTRICT REQUIREMENTS, AND THE CITY OF SAN RAFAEL, FOR LANDSCAPE DESIGN. TO PROVIDE A MORE TRADITIONAL SUBURBAN FRONT YARD ORNAMENTAL PLANTS INCLUDING TREES, SHRUBS, PERENNIALS, AND GROUNDCOVERS HAVE BEEN USED. NO LANDSCAPING IN THE REAR YARD IS PROPOSED AT THIS TIME, HOWEVER ALL FUTURE LANDSCAPING SHALL BE CONSISTENT WITH THE REQUIREMENTS OF THIS PLAN AND APPLICABLE FIRE STANDARDS.

LONG TERM MAINTENANCE SCHEDULES AND GOALS

ALL TREE LIMBS OVER 2" DIAMETER SHALL BE REMOVED 15'-20' ABOVE THE GROUND SURFACE.

ANY PORTION OF A TREE THAT IS WITHIN 10' OF A STOVEPIPE OR CHIMNEY SHALL BE REMOVED. NO DEAD OR DYING LIMBS SHALL BE ALLOWED TO OVERHANG ANY BUILDING. TREES THAT OVERHANG ROADWAYS SHALL BE PRUNED TO ASSURE A MINIMUM VERTICAL CLEARANCE OF 15'-0".

ALL COMBUSTIBLE DEBRIS, INCLUDING LEAVES, SHALL BE REMOVED FROM THE ROOF AND GUTTERS NO LESS THAN ONCE EVERY SIX MONTHS.

ALL WEEDS AND GRASSES SHALL BE MOWED REGULARLY; IN NO INSTANCE SHALL THEIR HEIGHT EXCEED 12".

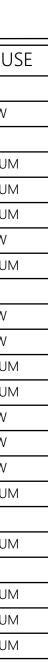
ALL DEAD AND DYING VEGETATION WITHIN THE DEFENSIBLE SPACE ZONE SHALL BE REMOVED NO LESS THAN EVERY SIX MONTHS.

ALL MOTORIZED MAINTENANCE EQUIPMENT, INCLUDING SAWS AND MOWERS, SHALL BE EQUIPPED WITH SPARK ARRESTORS. EXERCISE CARE AND CHECK FOR ROCKS PRIOR TO MOWING TO PREVENT MOWER BLADES FROM SPARKING.

REFERENCES

KENT, D., 2005. FIRESCAPING: CREATING FIRE-RESISTANT LANDSCAPES, GARDENS, AND PROPERTIES IN CALIFORNIA'S DIVERSE ENVIRONMENTS. BERKELEY CA. WILDERNESS PRESS.

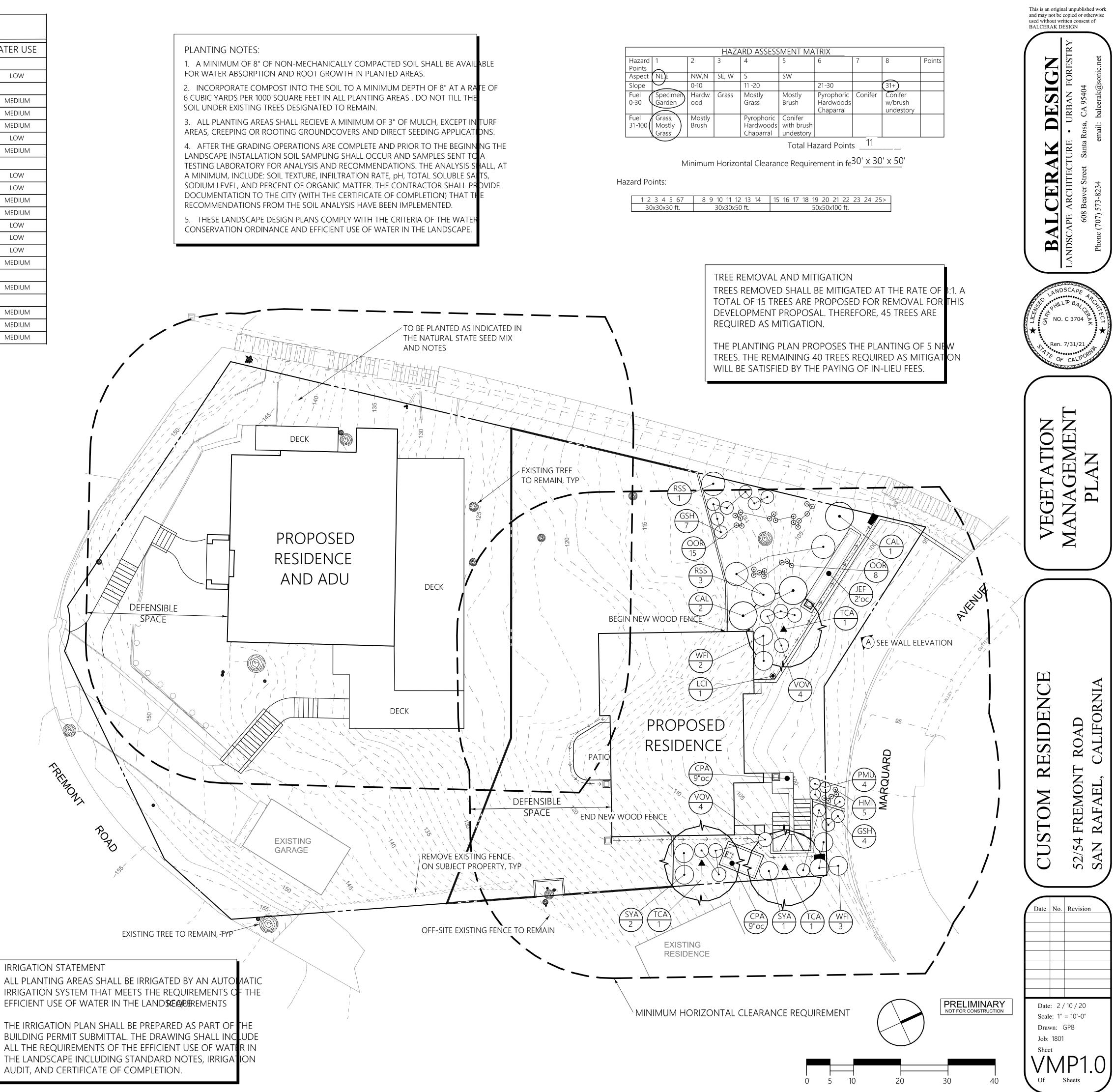
EAST BAY MUNICIPAL UTILITY DISTRICT, 2003. FIRESCAPE: LANDSCAPING TO REDUCE FIRE HAZARD. OAKLAND CA, ADMINISTRATION DEPARTMENT EBMUD.



6 CUBIC YARDS PER 1000 SQUARE FEET IN ALL PLANTING AREAS . DO NOT TILL TH

3. ALL PLANTING AREAS SHALL RECIEVE A MINIMUM OF 3" OF MULCH, EXCEPT IN TURF AREAS, CREEPING OR ROOTING GROUNDCOVERS AND DIRECT SEEDING APPLICATIONS.

5. THESE LANDSCAPE DESIGN PLANS COMPLY WITH THE CRITERIA OF THE WATER



GRAPHIC SCALE

(IN FEET) 1 inch = 1**t**t.

LEGEND

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TBM=TEMPORARY BENCHMARK
WOOD FENCE
WIRE FENCE
CONCRETE
GRAVEL
WOOD STEP, RAILROAD TIE
CONCRETE WALL
ROCK WALL
BRICK WALL
CONCRETE PILLAR
STEPPING STONES
DRAIN INLET
SANITARY SEWER MANHOLE
SANITARY SEWER CLEANOUT
FIRE HYDRANT
WATER VALVE
HOSE BIB
WATER METER
GAS METER
UNKNOWN UTILITY (MANHOLE)
CHIMNEY VENT, VERTICAL
JOINT UTILITY POLE
GUY WIRE

+ 100.00	SPOT ELEVATION
— он —	OVERHEAD POWER & TE
	TREE SYMBOL & DRIP LI
UNK	UNKNOWN SPECIES
BUCK	BUCKEYE
L.O.	LIVE OAK
RWD	REDWOOD
FF	FINISHED FLOOR
тс	TOP OF CURB
FL	FLOWLINE
TW	TOP OF WALL
вон	BUILDING OVERHANG
NG	NATURAL GROUND
GB	GRADE BREAK
то	TOE OF BANK
ТВ	TOP OF BANK
EP	EDGE PAVING
RTW	WOOD RETAINIG WALL
WDBRDR	WOOD BORDER
ПМ	MAILBOX
$\dot{\mathbf{x}}$	STREET LIGHT
RD ()	ROOF DRAIN
\bigcirc	BOLLARD
	SIGN
0	VERTICAL PIPE, SIZE AS NOTED

TW EL=156.0' 12"CMP	154.0 ★ 153.4 ★ 153.8 154.0	Б R=15.00' D=37°00'47'' L=9.69'
	C8 153.8	S88° 59' 00
\ HEADWALL	154.0 153.6	. 7.91'

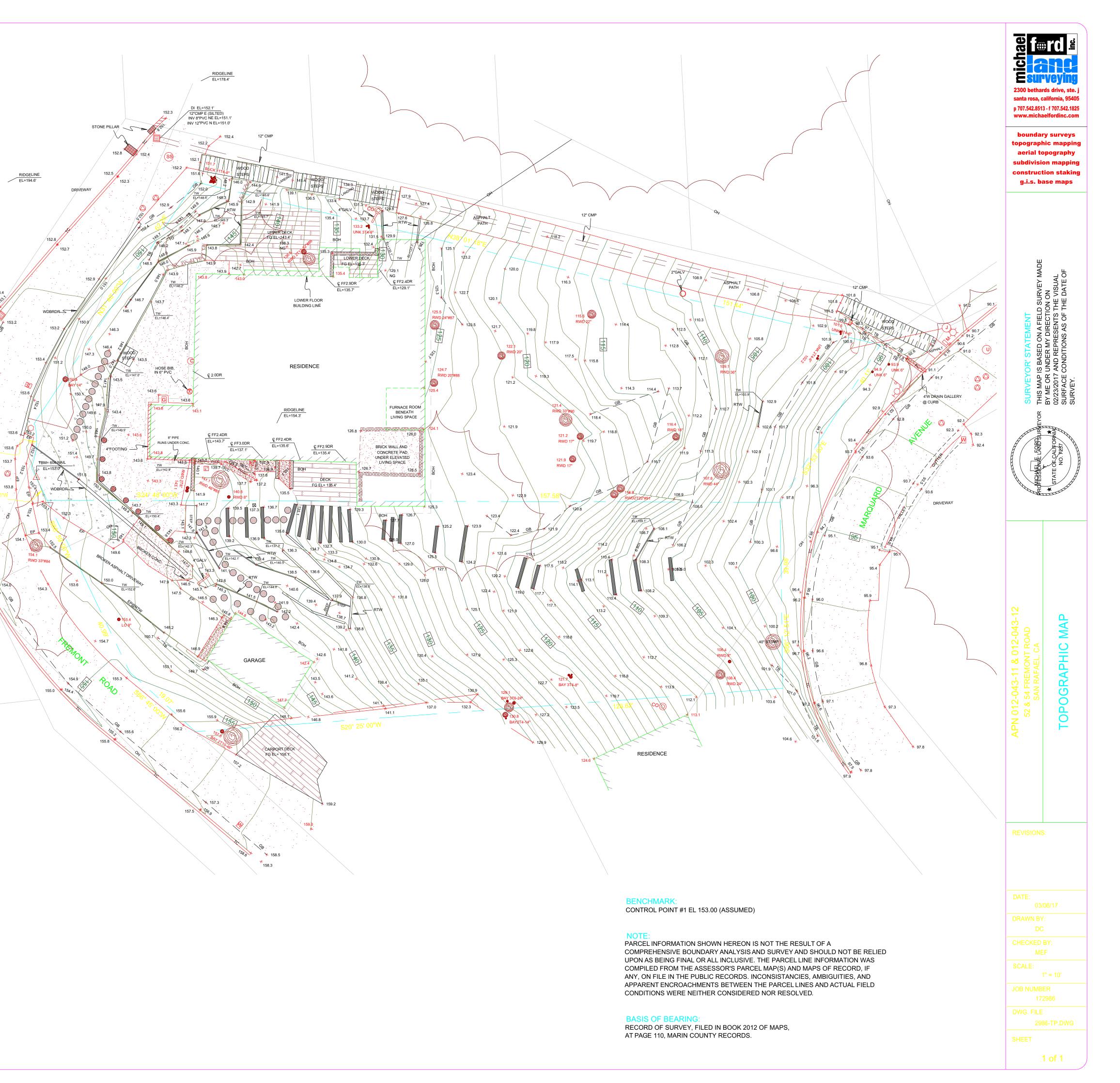
DI EL=153.2' 12"CMP NW EL=151.9'

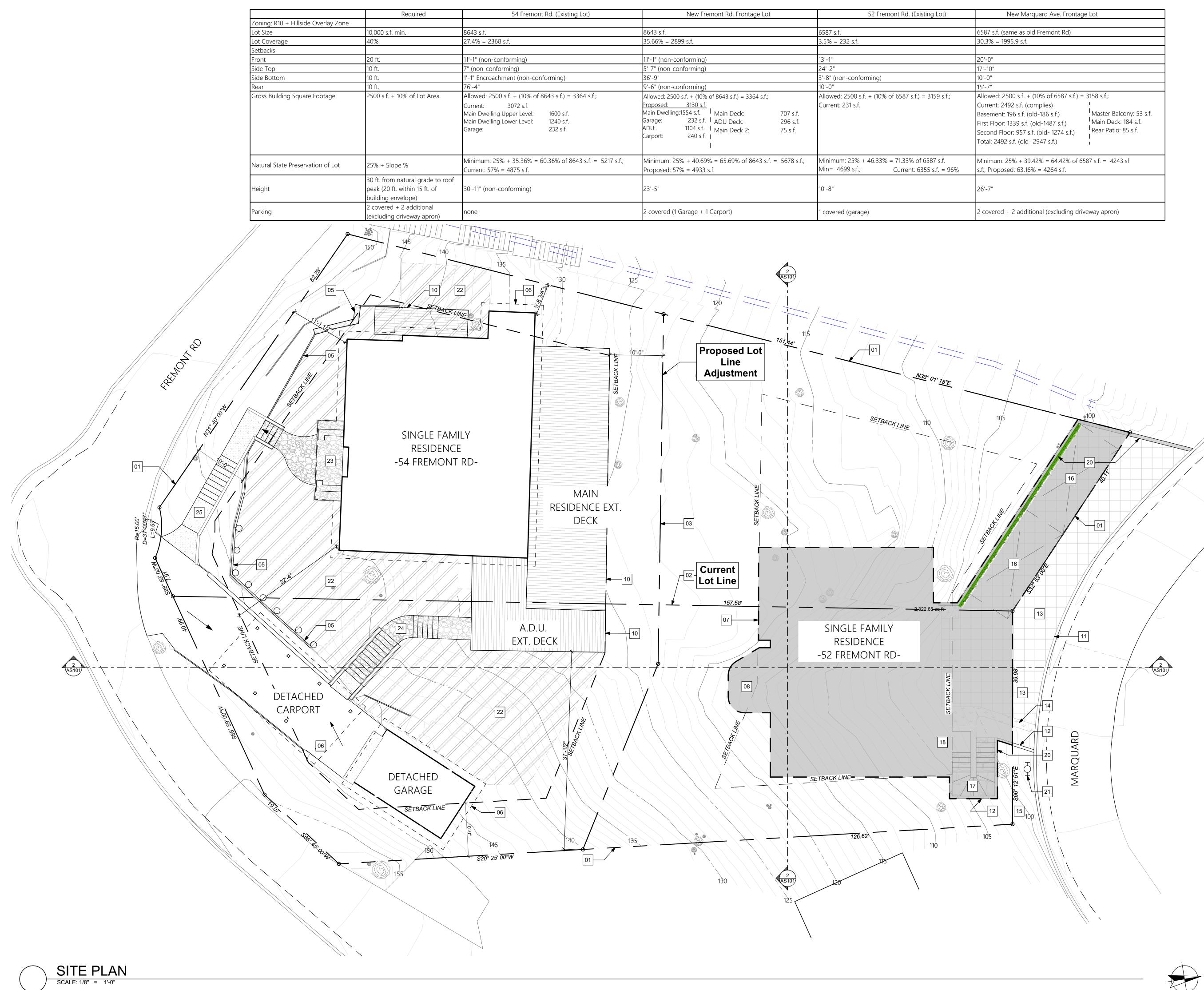
153.3

FELEPHONE

SIZE AS NOTED

ELECTRIC METER

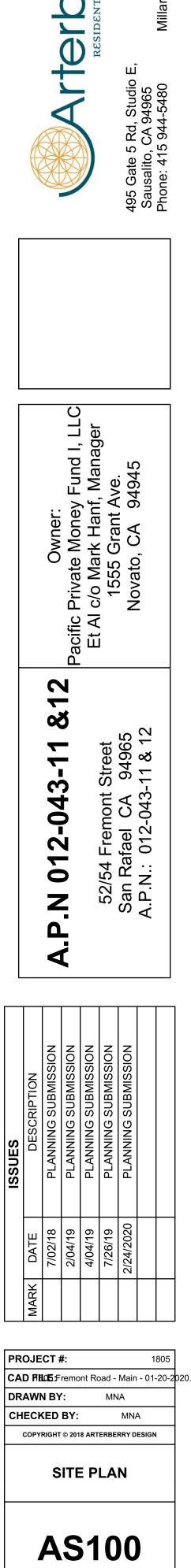


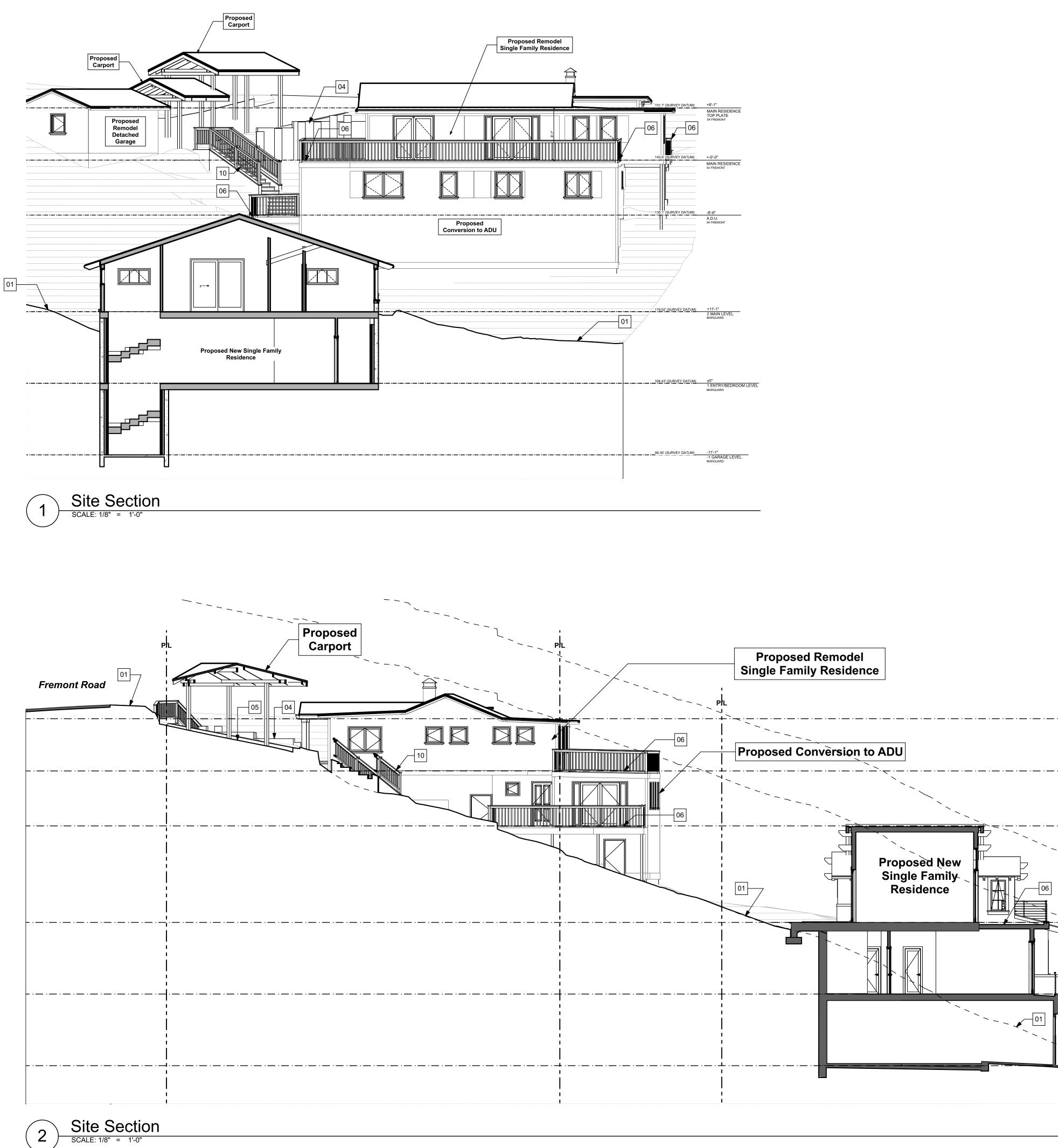


4 Fremont Rd. (Existing Lot)	New Fremont Rd. Frontage Lot	52 Fremont Rd. (Existing Lot)	New Marquard Ave
	8643 s.f.	6587 s.f.	6587 s.f. (same as old Fremon
	35.66% = 2899 s.f.	3.5% = 232 s.f.	30.3% = 1995.9 s.f.
ning)	11'-1" (non-conforming)	13'-1"	20'-0"
g)	5'-7" (non-conforming)	24'-2"	17'-10"
: (non-conforming)	36'-9"	3'-8" (non-conforming)	10'-0"
	9'-6" (non-conforming)	10'-0"	15'-7"
+ (10% of 8643 s.f.) = 3364 s.f.; 72 s.f. er Level: 1600 s.f. er Level: 1240 s.f. 232 s.f.	Allowed: 2500 s.f. + (10% of 8643 s.f.) = 3364 s.f.; Proposed: 3130 s.f. Main Dwelling:1554 s.f. I Main Deck: 707 s.f. Garage: 232 s.f. I ADU Deck: 296 s.f. ADU: 1104 s.f. I Main Deck 2: 75 s.f. Carport: 240 s.f. I I	Allowed: 2500 s.f. + (10% of 6587 s.f.) = 3159 s.f.; Current: 231 s.f.	Allowed: 2500 s.f. + (10% of 6 Current: 2492 s.f. (complies) Basement: 196 s.f. (old-186 s.f. First Floor: 1339 s.f. (old-1487 Second Floor: 957 s.f. (old- 12 Total: 2492 s.f. (old- 2947 s.f.)
85.36% = 60.36% of 8643 s.f. = 5217 s.f.; 75 s.f.	Minimum: 25% + 40.69% = 65.69% of 8643 s.f. = 5678 s.f.; Proposed: 57% = 4933 s.f.	Minimum: 25% + 46.33% = 71.33% of 6587 s.f. Min= 4699 s.f.; Current: 6355 s.f. = 96%	Minimum: 25% + 39.42% = 64 s.f.; Proposed: 63.16% = 4264
rming)	23'-5"	10'-8"	26'-7"
	2 covered (1 Garage + 1 Carport)	1 covered (garage)	2 covered + 2 additional (exc

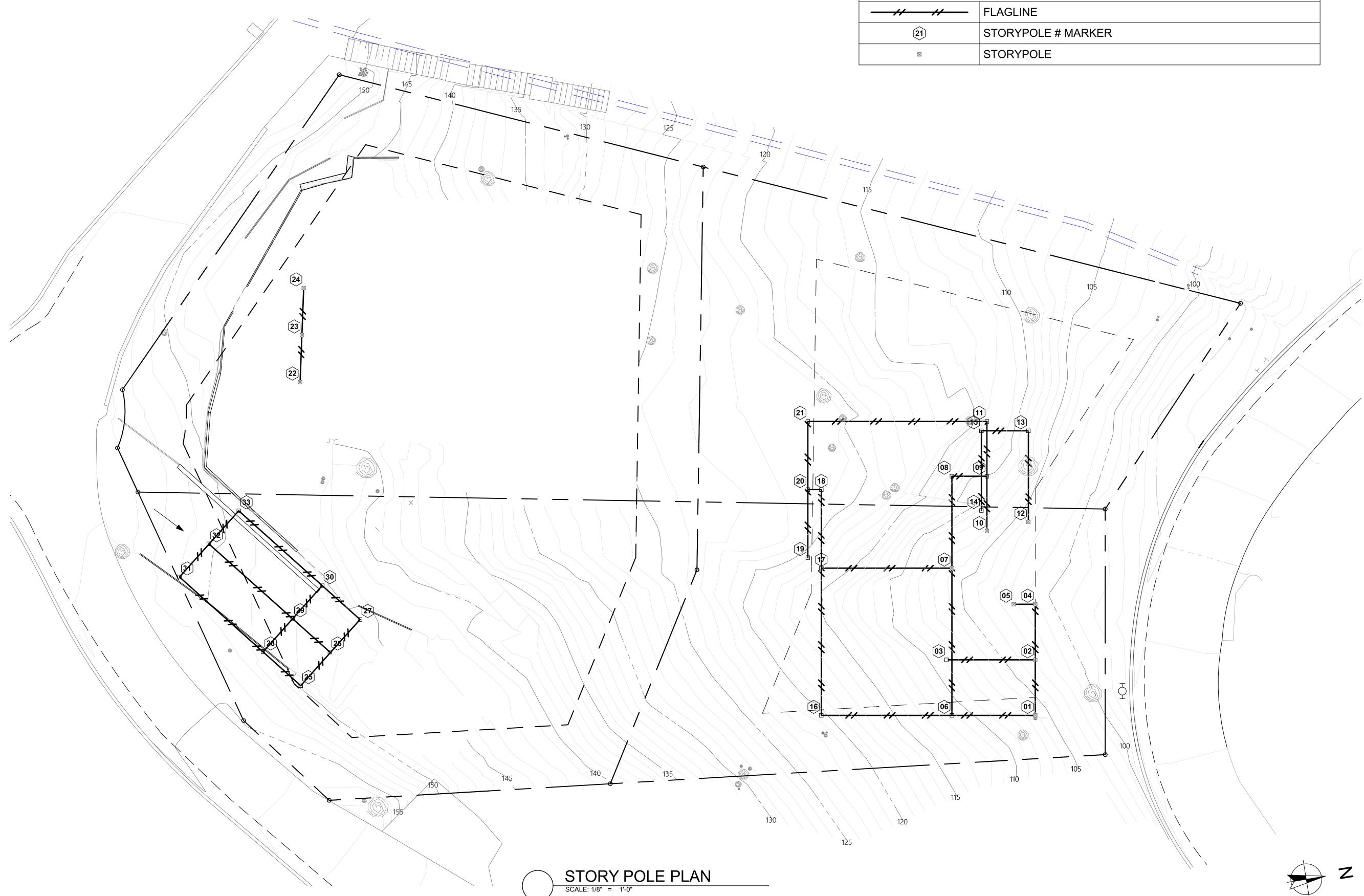
SITE PLAN GENERA	AL NOTES					
REFER TO "EXCAVA SHT. G-002, FOR CI EXCAVATION REQU						
	IG NOTES", DIVISION 31, RADING REQUIREMENTS.					
DIVISION 1, SHT. G	ROTECTION NOTES", -001, FOR MARIN COUNTY PROTECTION MEASURES.					
	ON CONTROL NOTES", -001, FOR MANDATORY L MEASURES.					2
	IITIGATION PLAN", DIVISION CITY OF SAUSALITO DUST REMENTS.				E	
PLAN", DIVISION 1, SAUSALITO CONST	RUCTION MANAGEMENT SHT. G-001, FOR CITY OF RUCTION MANAGEMENT					
MEASURES.	S LECEND	╉	K		Ø	
		┫				
+90'-3" BW	BOTTOM OF WALL SPOT ELEVATION PER SURVEY DATUM					
+94'-0" TW	TOP OF WALL SPOT ELEVATION PER SURVEY DATUM					
DWG. # A-300 LAYOUT #	SITE SECTION CALLOUT					
100	TOPOGRAPHIC LINES @ 2'-0" INTERVAL					
	PROPERTY LINE) _ (
◄ 11	KEY NOTE CALLOUT - SEE "SITE PLAN KEYNOTES" BELOW				und I.	
	LOCATION OF DOWNSPOUT			; •	Ц >С	. 4 . 4
	CONNECTION TO SUBSURFACE STORM DRAINAGE SYSTEM - SEE DRAINAGE PLANS			Owner	Monev	
SITE PLAN KEY NO	TES				Private M	
					Г	
01 - (E) PROPERTY LIN	NE TO REMAIN				cific	2 < 7
02 - (E) PROPERTY LIN	NE TO BE VACATED				Б Д	
03 - PROPOSED PROF				C		
	STONES TO REMAIN TYP.			ò	5	
05 - (E) RET'G WALLS				~		
06 - LINE OF ROOF O						
07 - PERIMETER LINE FAMILY RESIDENC	OF PROPOSED SINGLE CE			A D N 012-012		
08 - PROPOSED SLAB	ON GRADE PATIO					
09 - PROPOSED DECK	SUPPORT POST					
10 - LINE OF PROPOS	ED DECK ABOVE					
11 - EDGE OF DRIVEW	ΙΑΥ			Ζ		
12 - PROPOSED RET'O	G WALL					
13 - STAMPED CONC.	DRIVEWAY			<		
14 - PLANTING STRIP						
15 - BIORETENTION B						
16 - 10' X 20' GUEST P 17 - ENTRY STAIRS	ARKING SPACE			ION	ION	NO
18 - ENTRY PORCH			ION	SUBMISSION	SUBMISSION	SUBMISSION
19 - LINE OF TRELLIS	ABOVE TYP.		RIPT	SUB	SUB	
20 - LIVING WALL "FLC		SSUES	DESCRIPTION	PLANNING	PLANNING	PLANNING
21 - RELOCALED HYD	RANT	ISS				□
REVERTED TO NA	NT FRONTAGE LOT TO BE ATURAL STATE - SHOWN WITH LE LINE. SEE LANDSCAPE		DATE	/18	/19	/04/19
PLAN, SHEET L1. 23 - PORCH			LAD	7/02/18	2/04/19	4/04
24 - WALKWAY / STAIR	RS TO A.D.U.		MARK			
25 - WALKWAY / STAIR	RS TO RESIDENCE		2	<u> </u>	<u> </u>	
		PR	OJE	СТ	# :	
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				S	ITE	E F

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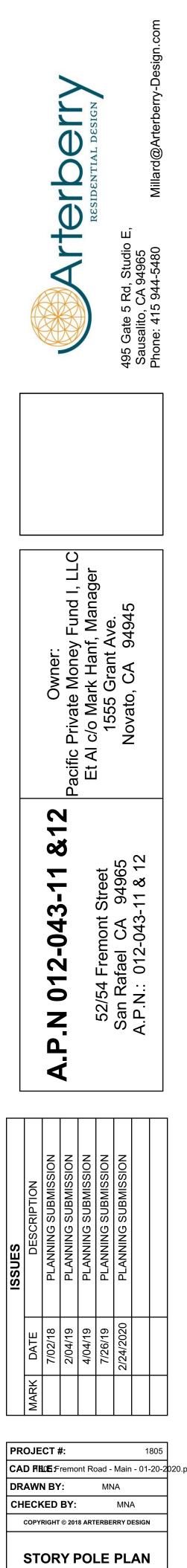


SITE SECTION KEY NOT	ES	SECTION GENERAL NOTES						com	
01 - NATURAL GRADE LINE 02 - 20 FT. "STEPBACK" HE		 SEE TITLE 24 ENERGY REQUIF SHT. E-000, FOR INSULATION F AND GENERAL NOTES 	REMENTS, REQUIREMENTS		-			Millard@Arterberry-Design.com	
02 - 20 FT. "STEPBACK" HE 03 - 30 FT. MAX. HEIGHT LI		SEE EXTERIOR ELEVATIONS F			2	GN		oerry-Γ	
	3 WALL	 WALL FINISH REFER TO "GENERAL NOTES", FURTHER INFORMATION 	, SHT. G-001, FOR			L DESIGN		<u>ø</u> Arterŀ	
05 - DRIVEWAY 06 - (N) DECK		FURTHER INFORMATION.		Ð	Õ	ENTIA		lillard€	
07 - (N) ON GRADE CONCR			ALLOUT - SEE		5	RESID		Σ	
08 - (N) PORCH 09 - (N) LIVING WALL FLOR	AFELT		N KEY NOTES"	l,	ť		Studio E,	0 0 0 0 0 0	
10 - (N) SITE STAIRS/WALK		1 DWG. #		K	4		, by d	CA 94965 944-5480	
			T # I CALLOUT				495 Gate 5 F	Sausalito, ບ Phone: 415 9	
					P.N 01Z-043-11 &1Z Pacific Private Money Fund I, LLC	52/54 Fremont Street	San Rafael CA 94965 I Dovato, CA 94945 Novato, CA 94945	N.: UIZ-U43-II & I	
→	151.7' (SURVEY DA	TUM) +8'-1" MAIN RESIDENCE TOP PLATE 54 FREMONT			V				
	143.6' <u>(SURVEY DA</u>	MAIN RESIDENCE				\top	TT	\top]
ο ^τ σ		54 FREMONT			SION	SION	SION		
	135.1' (SURVEY DA	A.D.U.		DESCRIPTION	PLANNING SUBMISSION	PLANNING SUBMISSION PLANNING SUBMISSION	SUBMISSION		
		54 FREMONT	S	DESCR	S DNIN NING S	NING S NING S	NING S		
02 P/L			ISSUES		PLAN	PLANNING PLANNING	PLANNING		
				'					
	119.52' (SURVEY DA	ATUM) +11'-1" 2 MAIN LEVEL MARQUARD		DATE	2/04/19	4/04/19 7/26/19	2/24/2020		
					2/0	4/(2/2		
· · · · · · · · · · · · · · · · · · ·				MARK					
	108.43' (SURVEY D	ATUM) ±0" 1 ENTRY/BEDROOM MARQUARD		ROJEC	Г <i>#</i> :			1805	7
			CA	AD Fillof	Fremon		- Main - (INA		-
7				HECKE	D BY:		MNA		
		A		COPYRIG	HT © 2018	ARTERB	ERRY DESI	IGN	
	98.35' (SURVEY D/ Marquard Ave	-1 GARAGE LEVEL	· −						
				SI	TE S	ЕСТ	ION		
		-1 GARAGE LEVEL			TE S				-

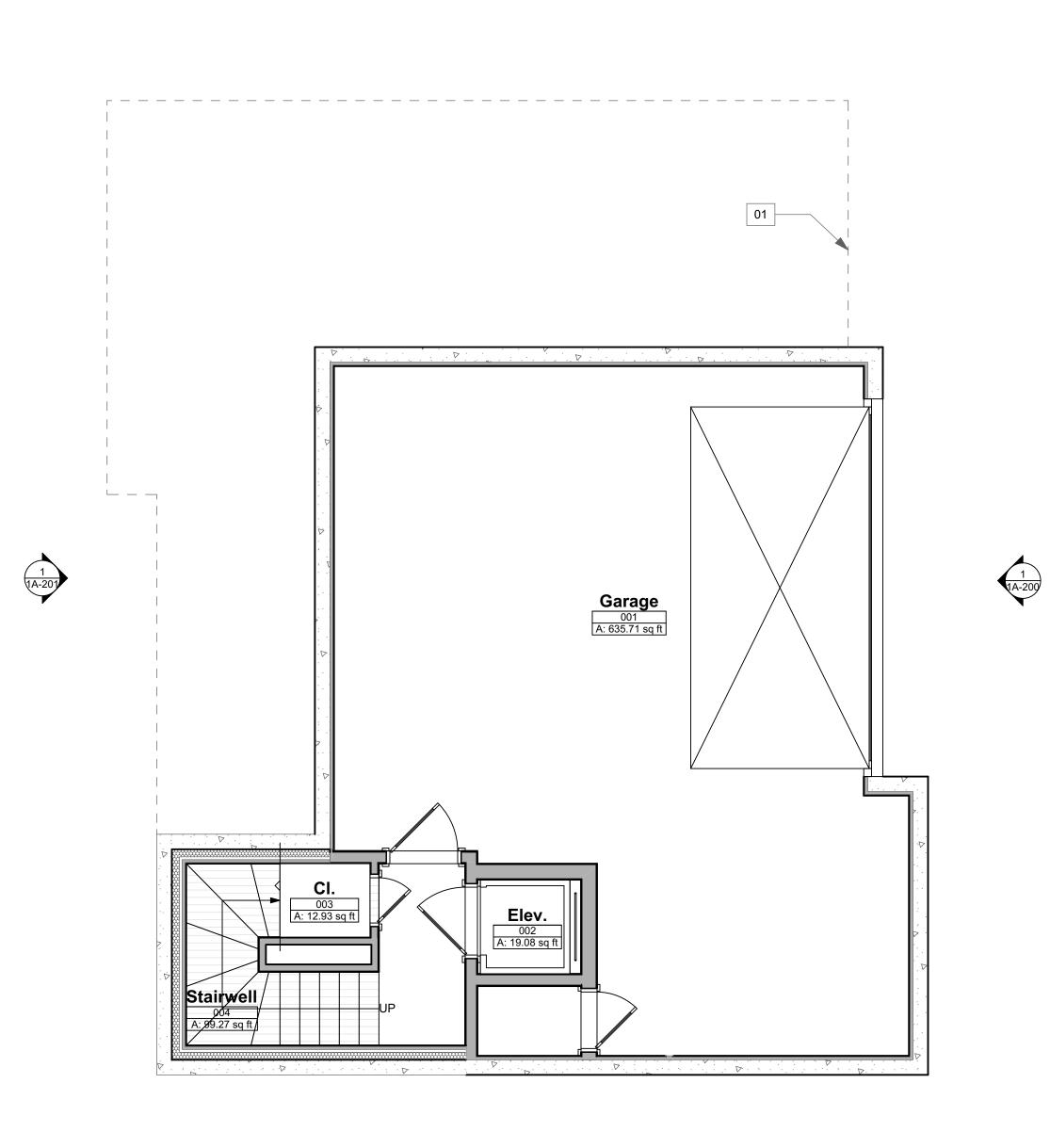


LEGEND	
——————————————————————————————————————	FLAGLINE
21	STORYPOLE # MARKER
	STORYPOLE

STORY	POLES	HEIGHTS
Pole # 01	16	'-4 1/2"
Pole # 02	22	'-8 1/2"
Pole # 03	16	'-6"
Pole # 04	21	'-5 3/4"
Pole # 05		'-5 3/4"
Pole # 06	16	'-7 1/4"
Pole # 07	29	'-8 3/4"
Pole # 08	18	'-6 1/4"
Pole # 09	20	'-9"
Pole # 10	21	'-4 1/2"
Pole # 11	15	'-7 1/4"
Pole # 12	16	'-6 1/4"
Pole # 13	11'	-6 1/4"
Pole # 14	12	'-7"
Pole # 15	9'-	7"
Pole # 16	7'-	7 1/4"
Pole # 17	18	'-8 3/4"
Pole # 18	10	'-5 3/4"
Pole # 19	8'-	7 1/4"
Pole # 20	10	'-5 3/4"
Pole # 21	6'-	7 1/4"
Pole # 22	9'-:	3 3/4"
Pole # 23	11'	'-4"
Pole # 24	9'-:	3 3/4"
Pole # 25		11 1/2"
Pole # 26	I	-1"
Pole # 27		6 1/2"
Pole # 28		11 1/2"
Pole # 29	14	'-1/2"
Pole # 30	10	'-11 1/2"
Pole # 31	7'-	0"
Pole # 32		'-11"
Pole # 33		9 3/4"
L		



AS102



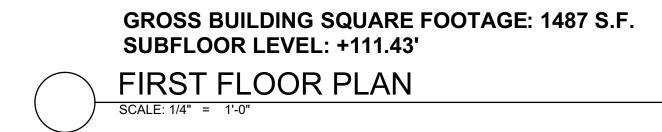
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GROSS BUILDING SQUARE FOOTAGE: 186 S.F. SUBFLOOR LEVEL: +98.35' BASEMENT FLOOR PLAN SCALE: 1/4" = 1'-0"

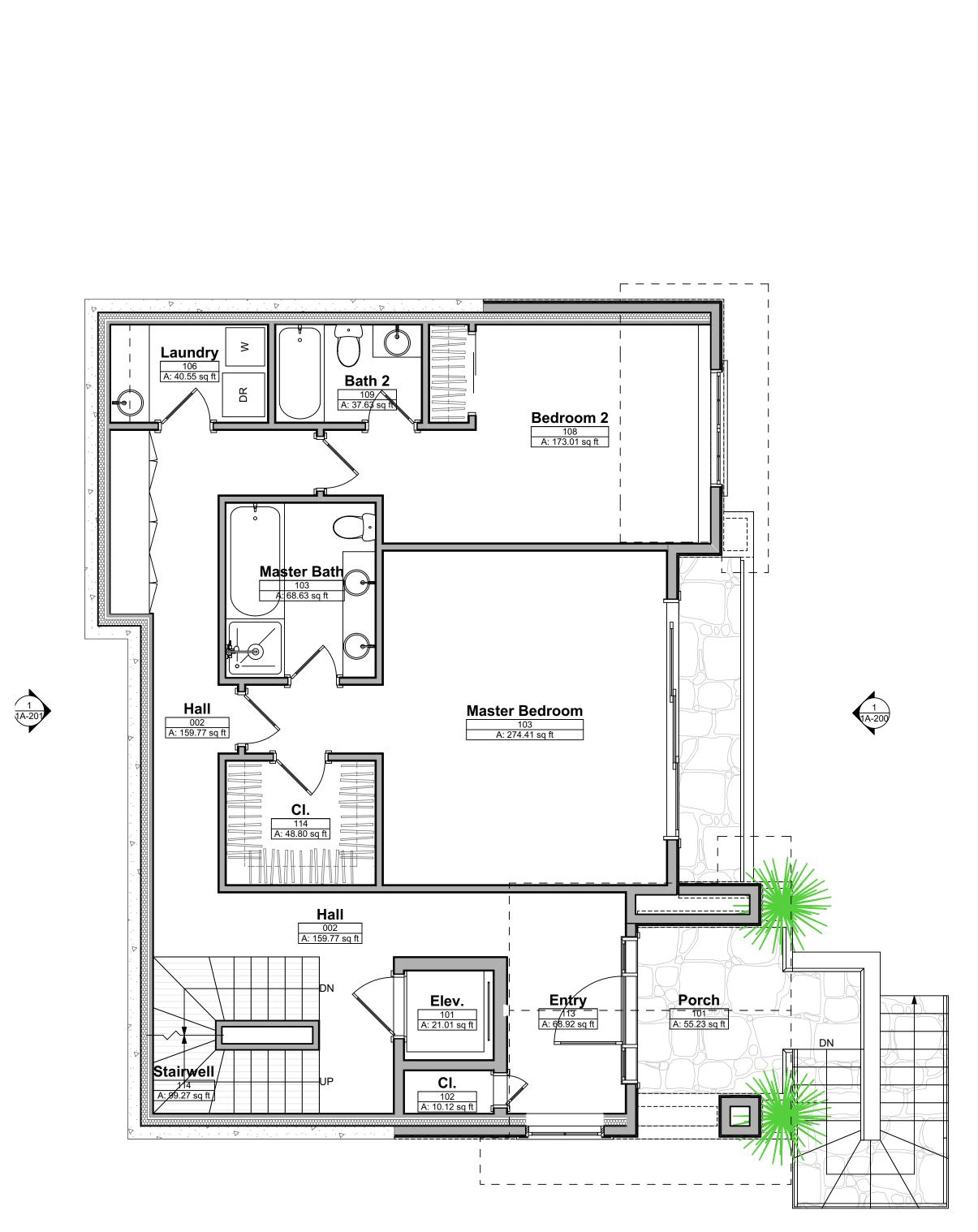


								n.com	
 REFER TO "GENERAL NOTES", SHT. G-001 & SHT. G-002, FOR FURTHER INFORMATION. 	DENTIAL DESIGN Millard@Arterberry-Design.com						-Desig		
(E) EXTERIOR			2	NOISIG	NDIO		_	rberry	
CONCRETE/BRICK WALL) 10	AL DC		- - (@Arte	
(E) INTERIOR WOOD FRAMED WALL		Ð	Ļ					Allard	
(N) 2X4 WOOD FRAMED WALL - SEE STRUCTURAL PLANS			D		TICON		-	<	
W02			t			udio E)65 100	480	
		K				Rd, St	CA 946	944-5	
SHT. A-600						495 Gate 5 Rd, Studio	Sausalito, CA 94965	e: 415	
		K				495 0	Saus	Phon	
NEW DOOR CALLOUT - SEE WINDOW SCHEDULE, SHT. A-600	Г								
 KEY NOTE CALLOUT - SEE "FLOOR PLAN KEY NOTES" BELOW 									
DWG. # ELEVATION A-200 LAYOUT # CALLOUT			C)					
DWG. # SECTION			Owner: Pacific Private Monev Fund LTLC	Et Al c/o Mark Hanf Manager	2000				
A-300 LAYOUT #			, Fiin	F Mai	Д И Р.	,	<u>}</u>		
			Owner: P Money	E Han	rant				
		Ċ	ate D	Mark	ה הימואו היומוייו	Novato, CA 94945			
FLOOR PLAN KEY NOTES			Driv		о С С С				
01- LINE OF LEVEL ABOVE			Pacific	Et A	Ì				
		(-					
		Ċ	-11 &12			10	12		
					52/54 Fremont Street	9496	_ مې		
			40		ont S	EA CA)43-1		
					-remo	ael (012-C		
			01		2/54 F	San Rafael CA	 Z		
			A.P.N 012-043		22	Sai	₹ A		
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	JES	DES		ANNING	ANNING	ANNING			
	ISSUES		- - -	ЪГ 	۲ ۲	Ъ			
		DATE	2/04/19	1/04/19	7/26/19	2/24/2020			
		MARK				2/			
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		JECT		ont R	oad -	Main		805 20-20	020.p
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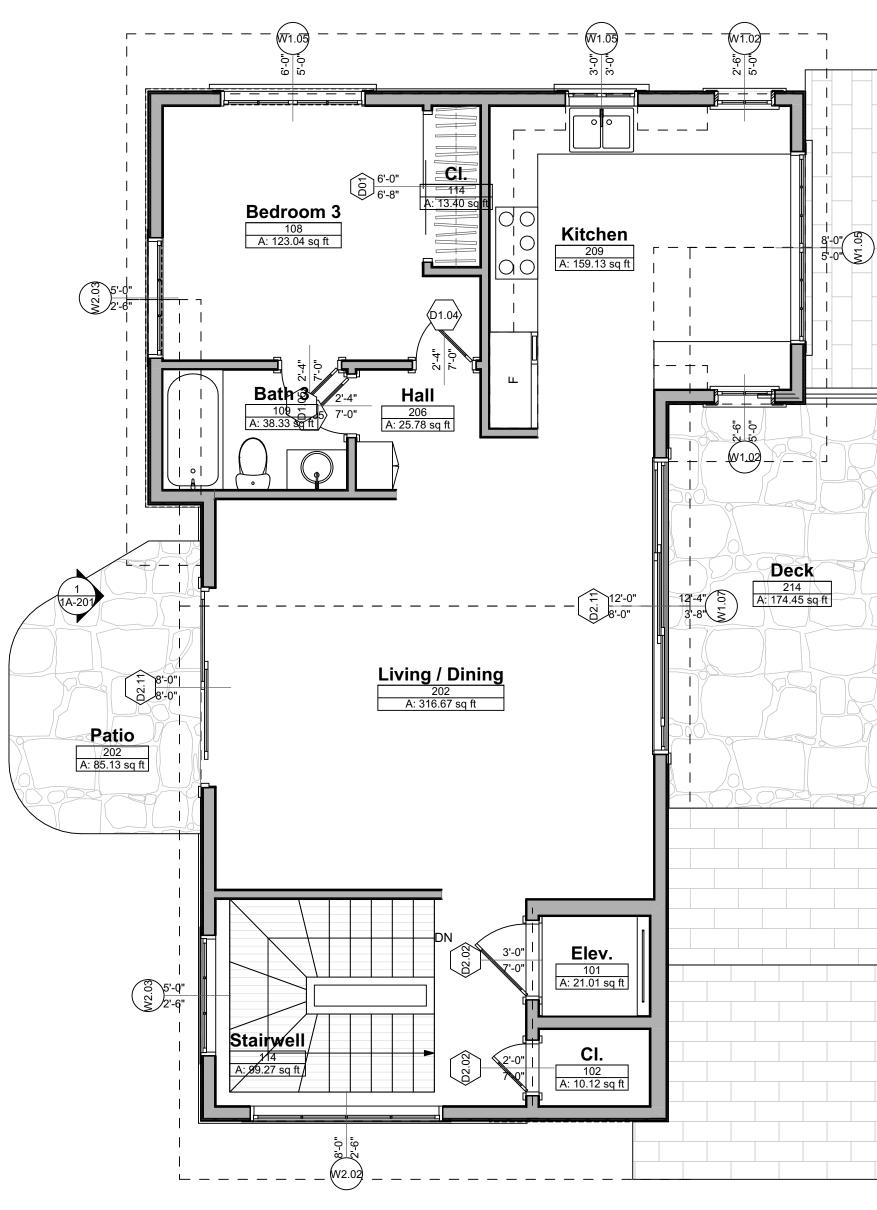




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 FLOOR PLAN GENERAL NOT REFER TO "GENERAL NOT SHT. G-002, FOR FURTHER 	TES", SHT.		┨							Millard@Arterberry-Design.com)
FLOOR PLAN SYMBOLS I	LEGEND					2	Nt			J-rry-L	•
(E) EXTR CONCR	ERIOR ETE/BRICH	K WALL			2		DESIGN			Arterb	
(E) INTE WALL	RIOR WO	OD FRAMED				Č	I VI			illard@)
	WOOD FR RUCTURAI	AMED WALL - L PLANS				Ľ	BE:SID6		ш́		
	INDOW CA NDOW SCI 600			K		I			5 Ro	Sausalito, CA 94965 Phone: 415 944-5480	
	DOR CALLO W SCHEDU								49	<u>, ч</u>	
	TE CALLO										
	/g. # Yout #	ELEVATION CALLOUT				C) E]
	/G. # YOUT #	SECTION CALLOUT			Owner:	acific Private Monev Fund I, L	Et Al c/o Mark Hanf, Manager	1555 Grant Ave	Novato. CA 94945		
					Δ P N N12-043-11 &12	5				A.P.N.: 012-043-11 & 12	
			ISSUES	DESCRIPTION	PLANNING SUBMISSION	PLANNING SUBMISSION	PLANNING SUBMISSION	PLANNING SUBMISSION	PLANNING SUBMISSION		
				DATE	7/02/18	2/04/19	4/04/19	7/26/19	2/24/2020		
				MARK							
			CA DR CH	AWN	05:Fi NBY	remo : BY:		MN			_
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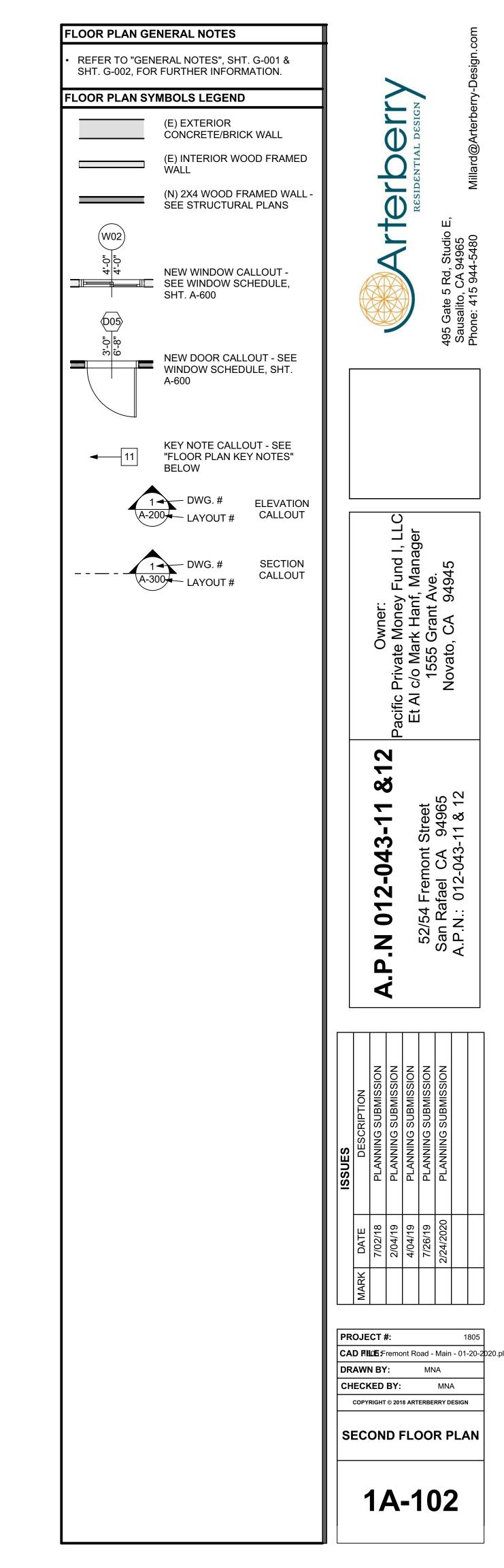


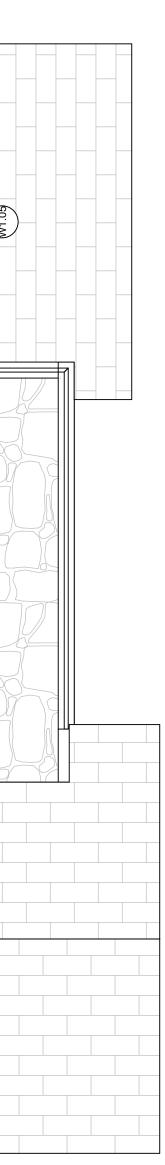
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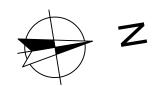


GROSS BUILDING SQUARE FOOTAGE: 1274 S.F. SUBFLOOR LEVEL: +122.52'

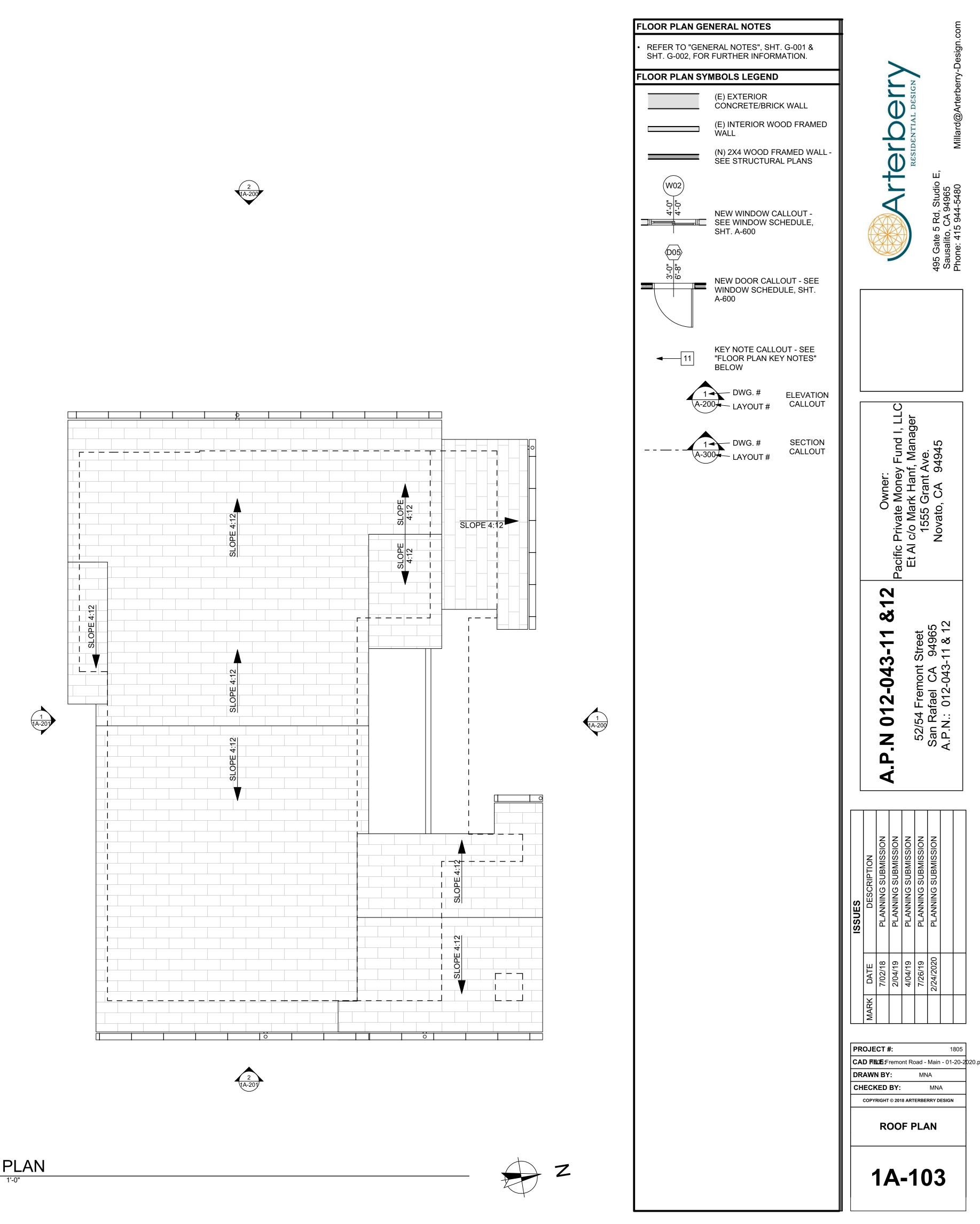


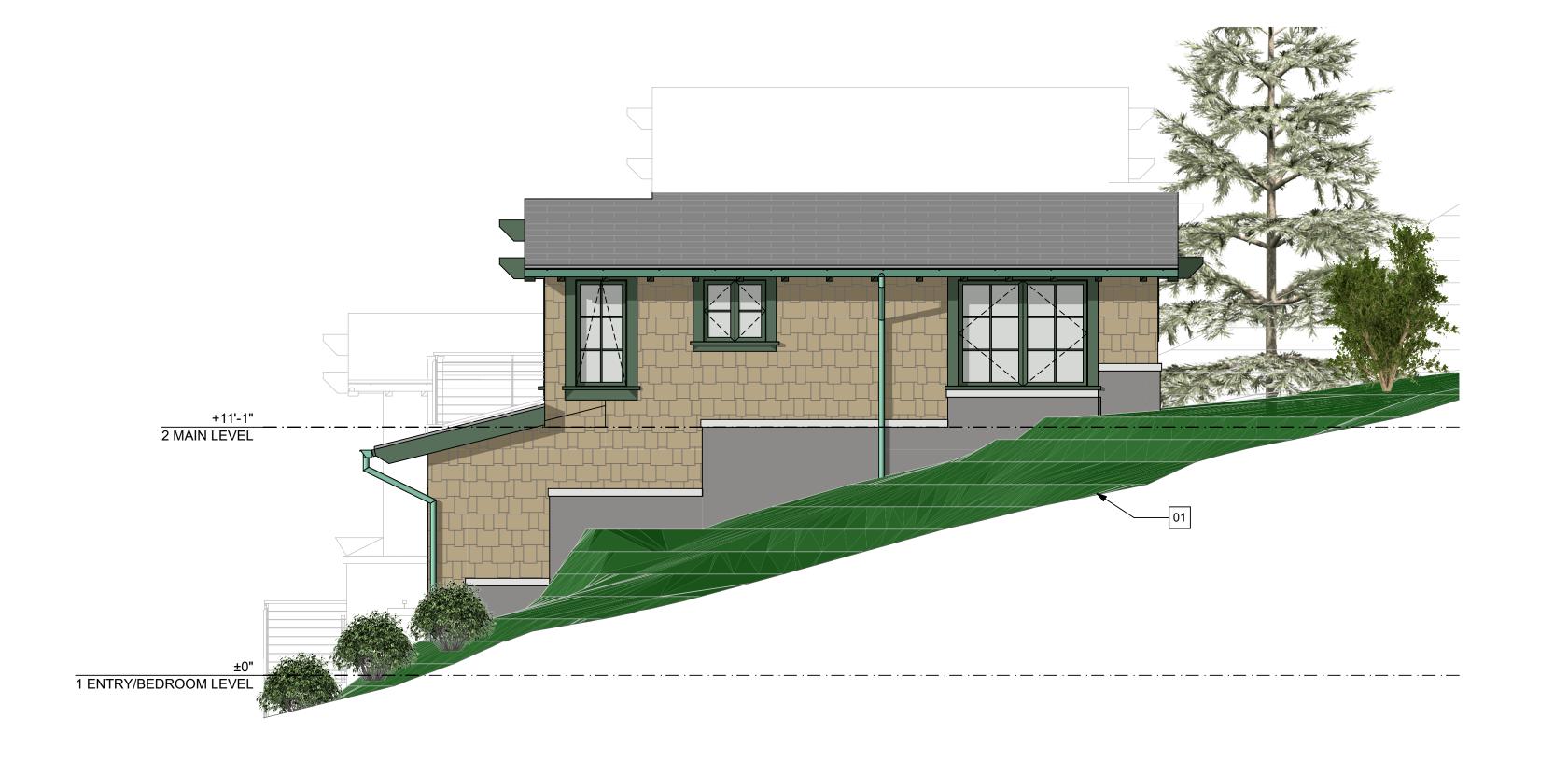


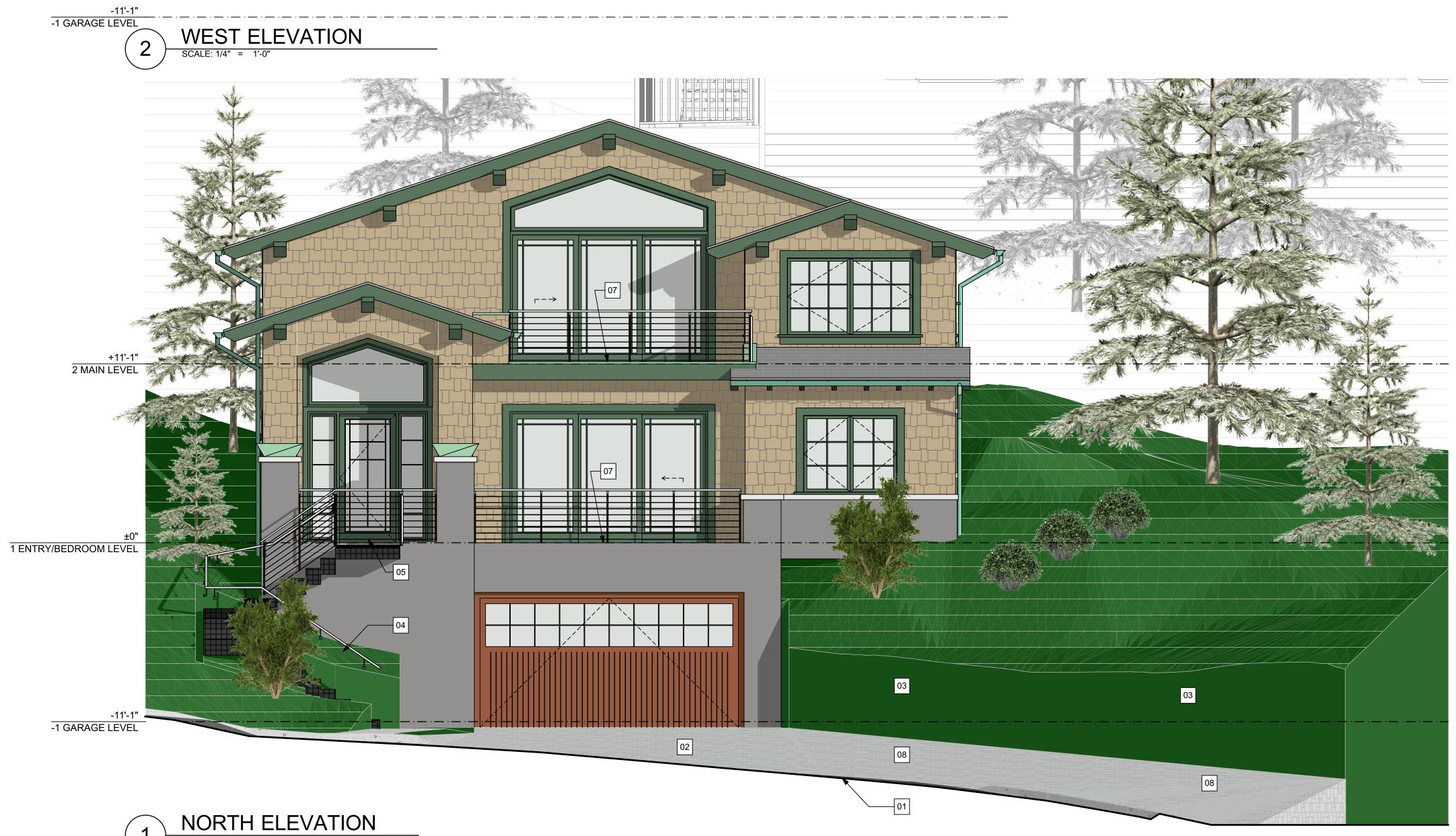




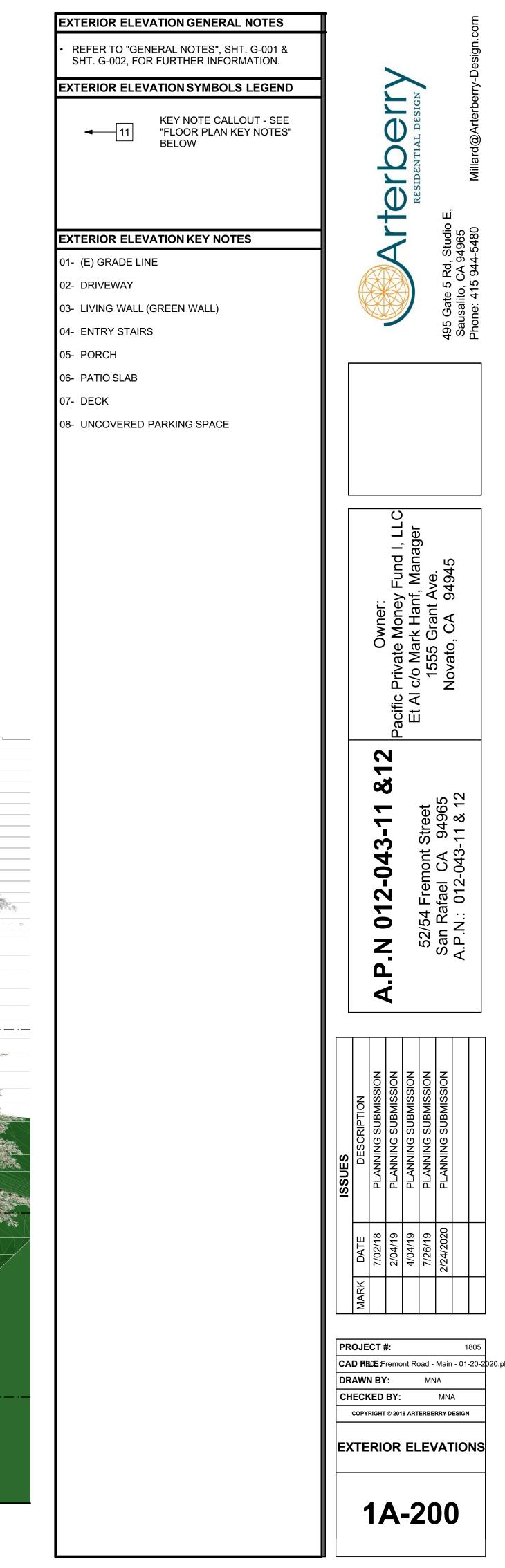










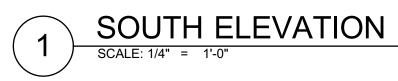




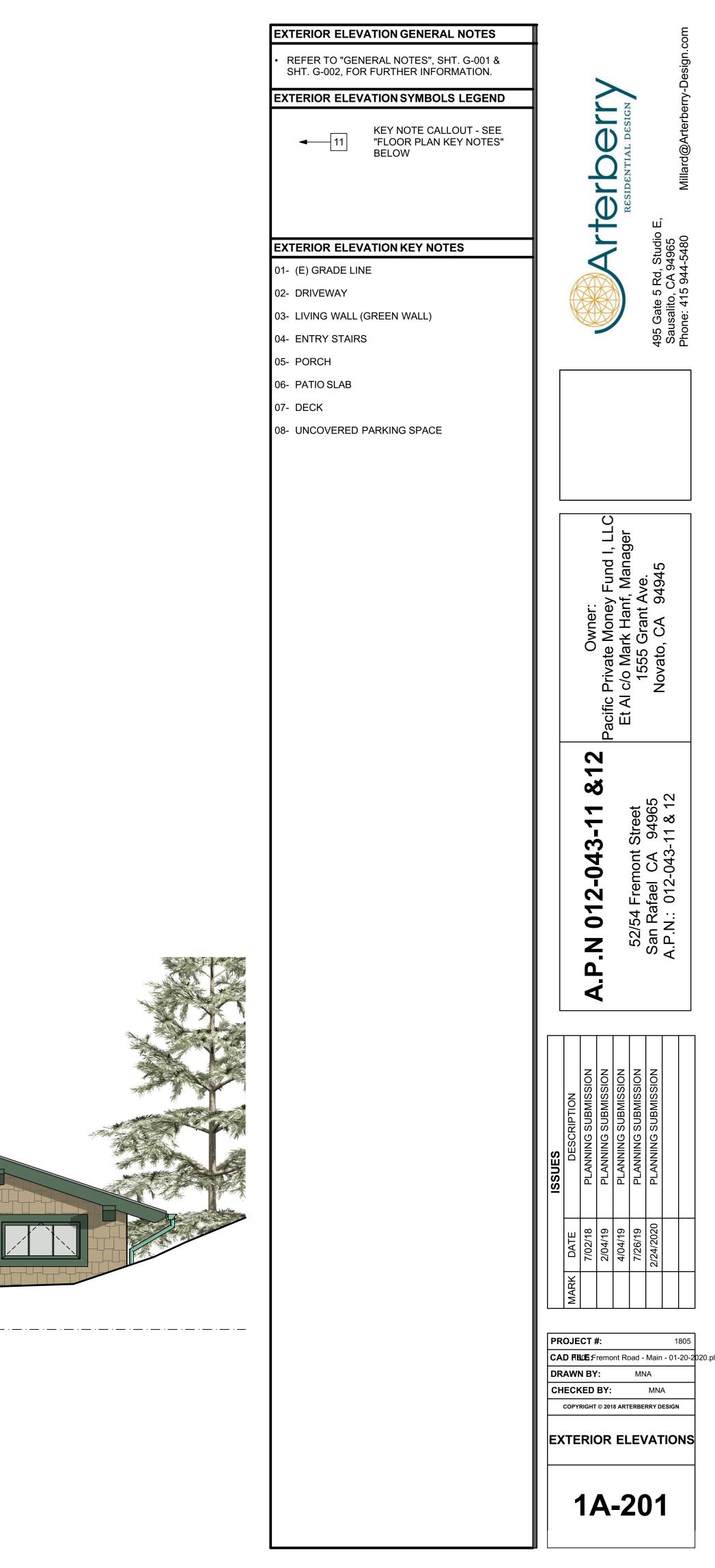
1 ENTRY/BEDROOM LEVEL

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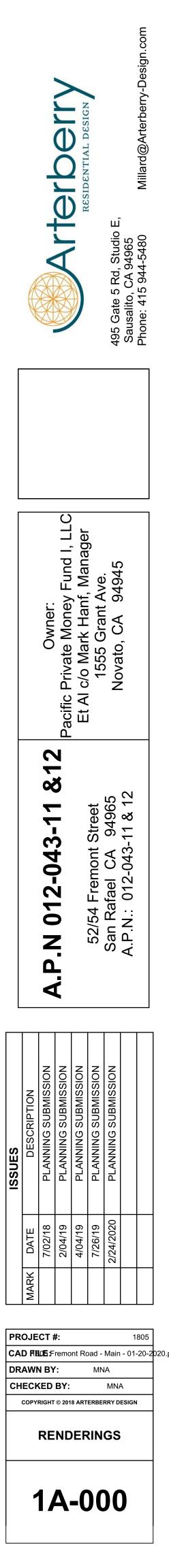


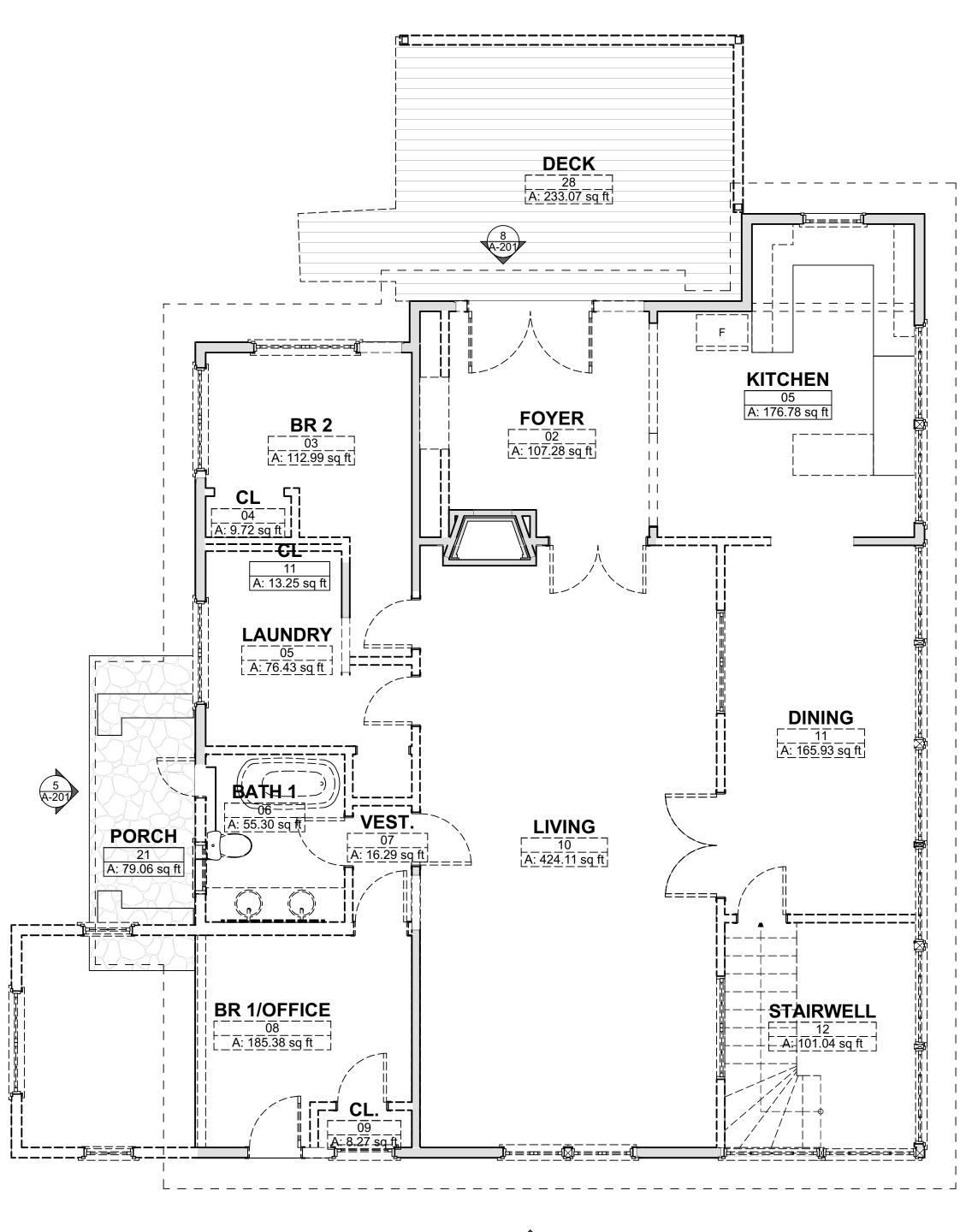






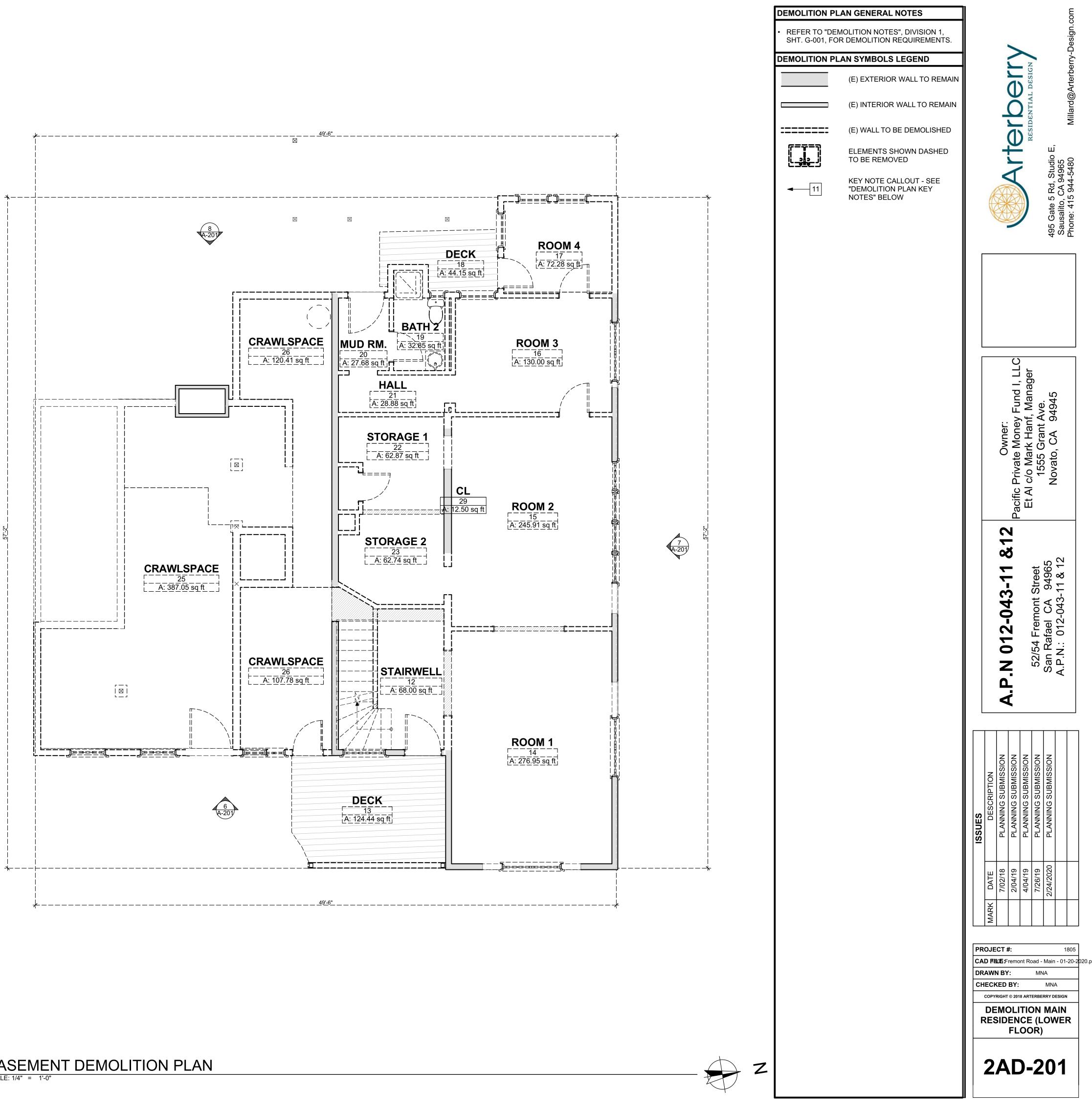


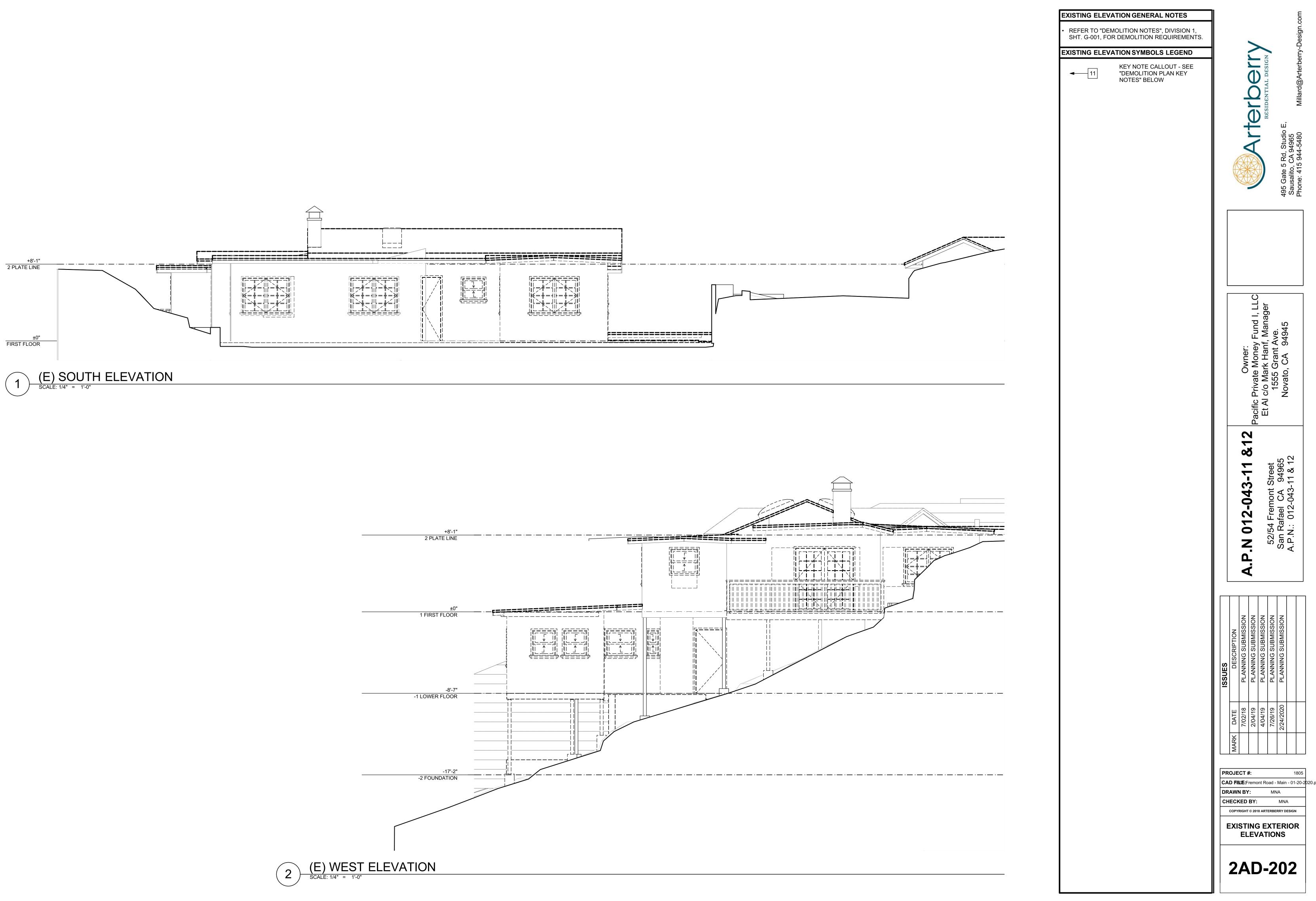


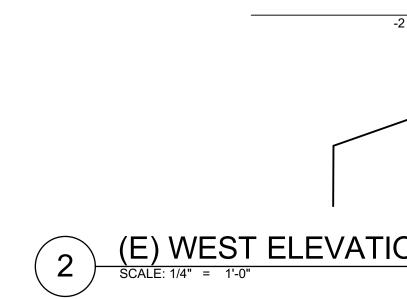


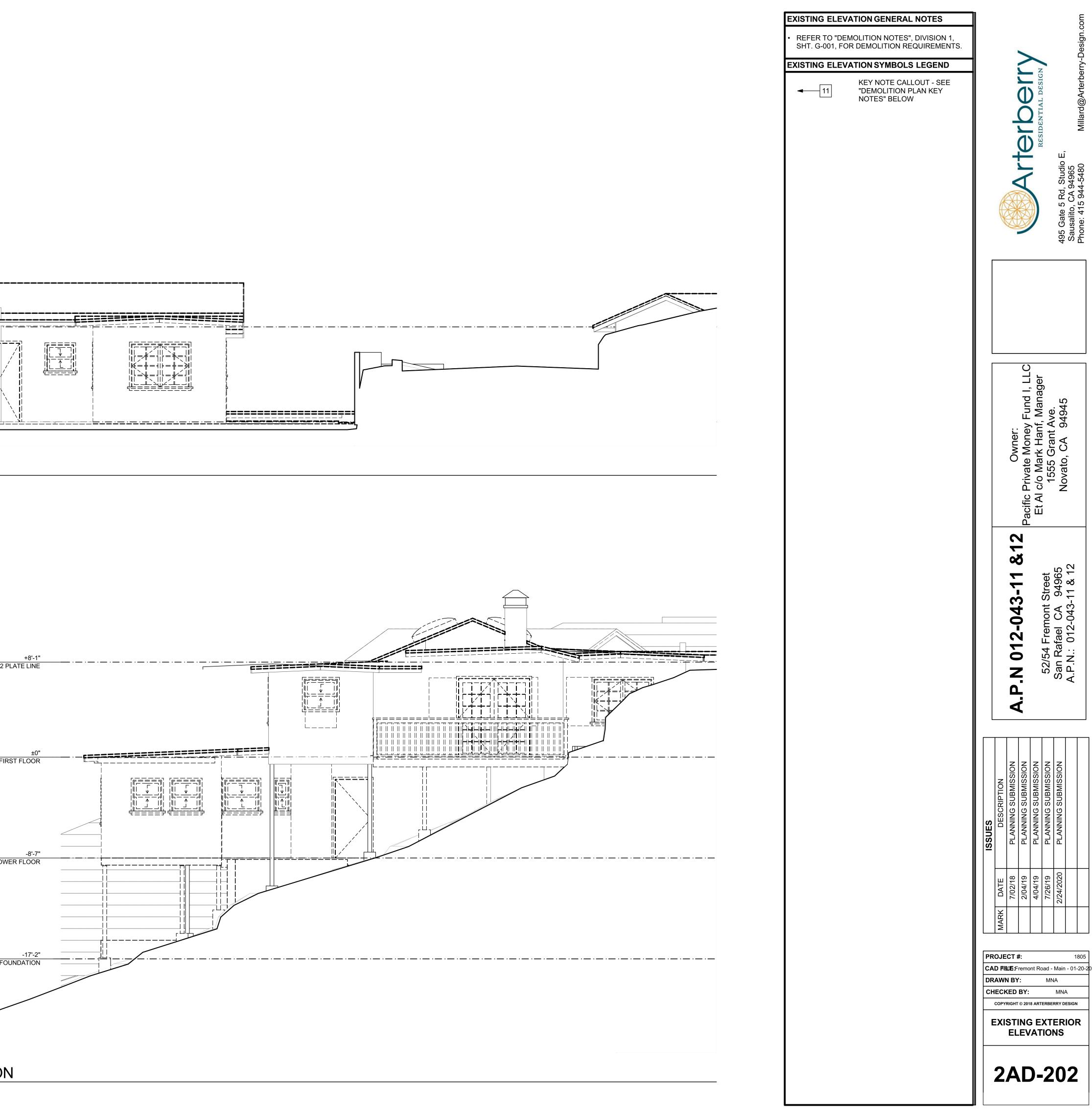


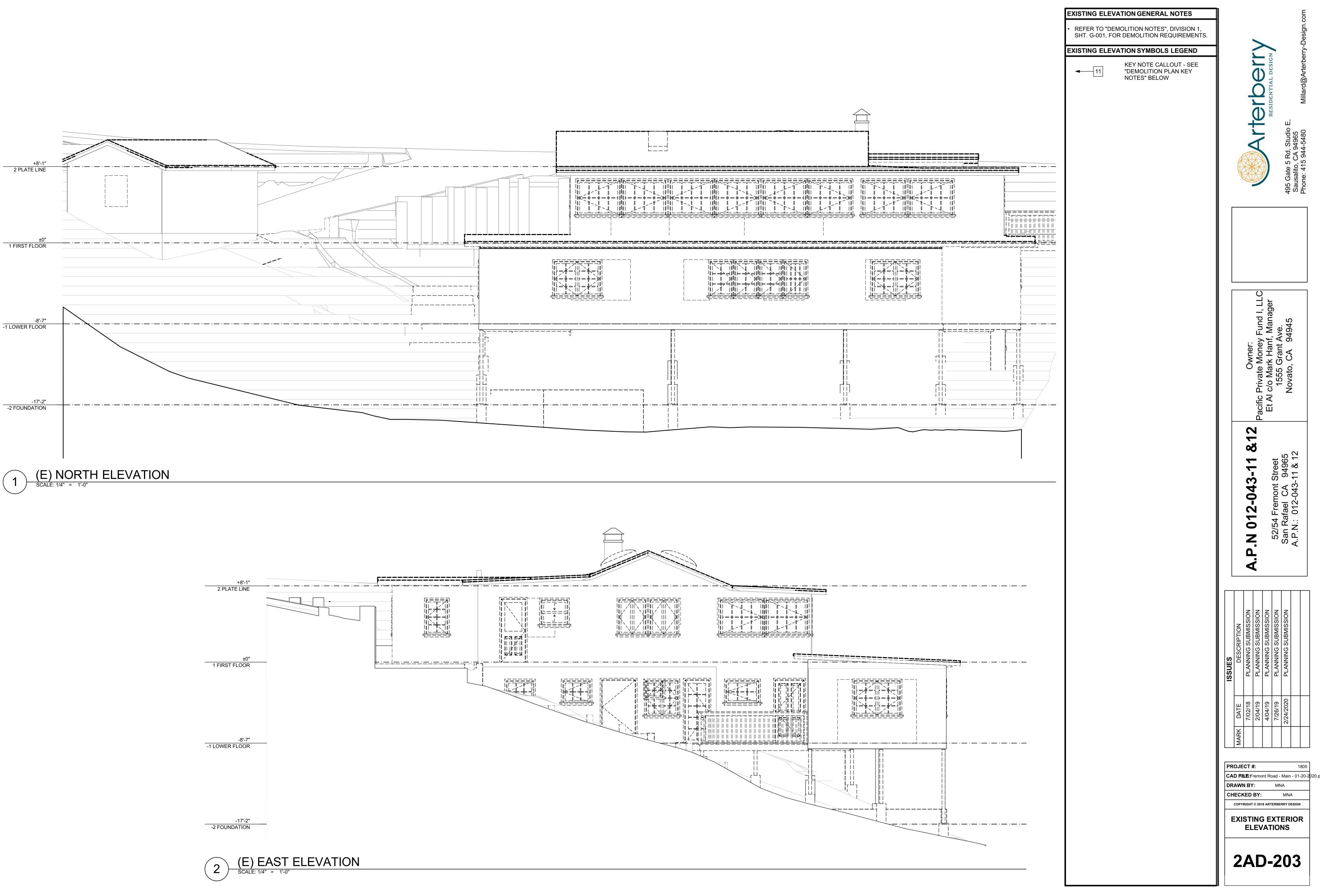
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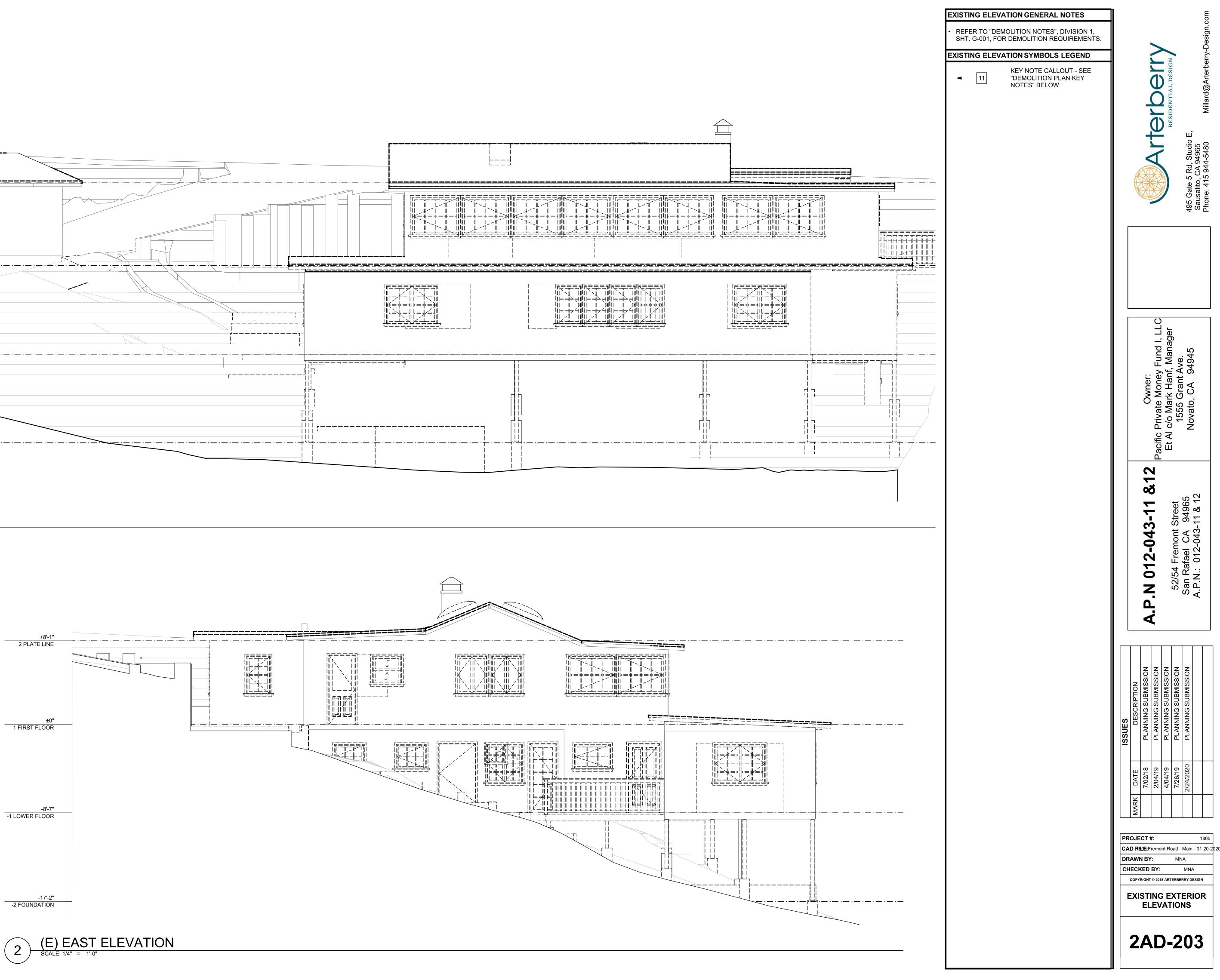


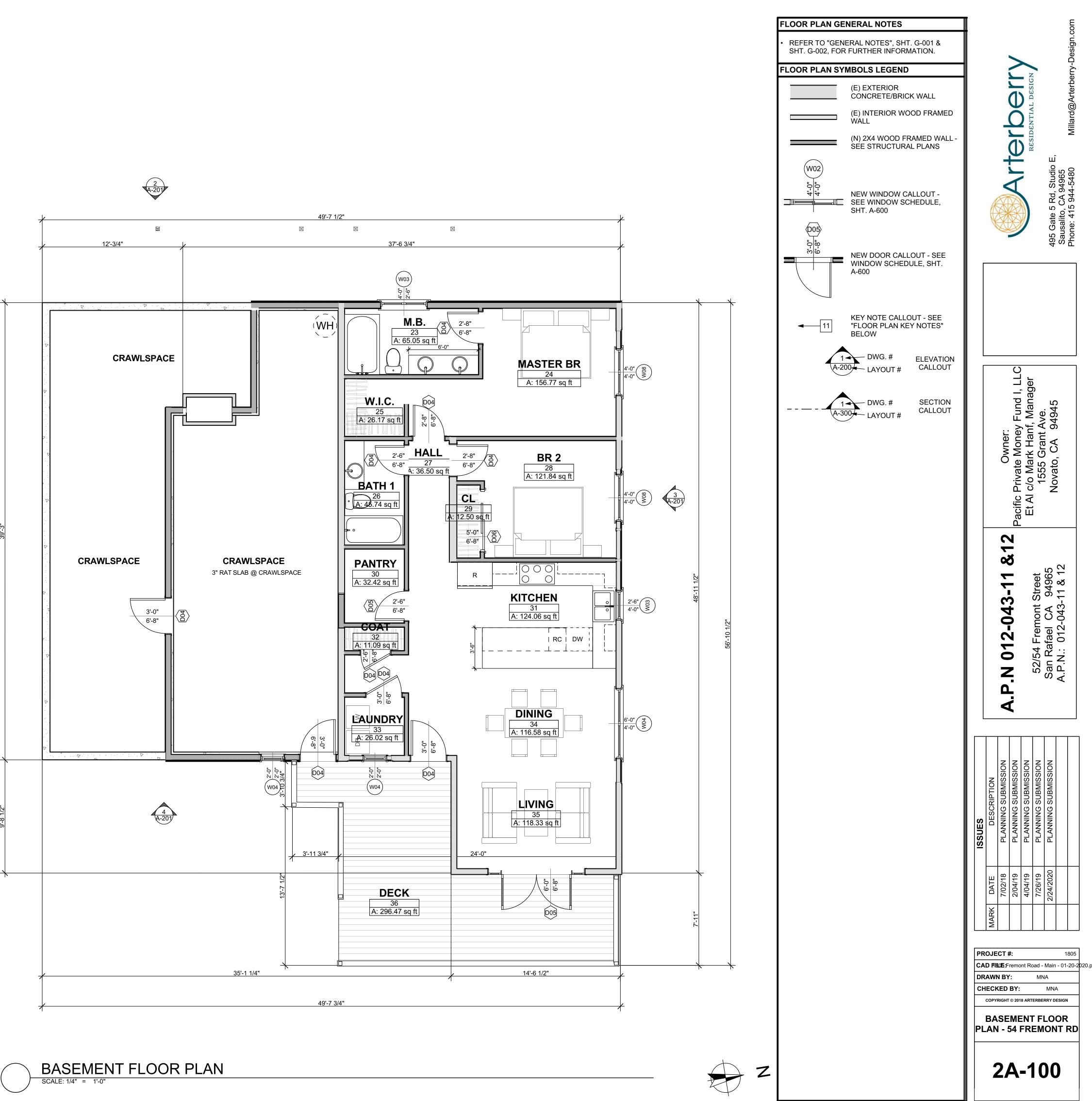


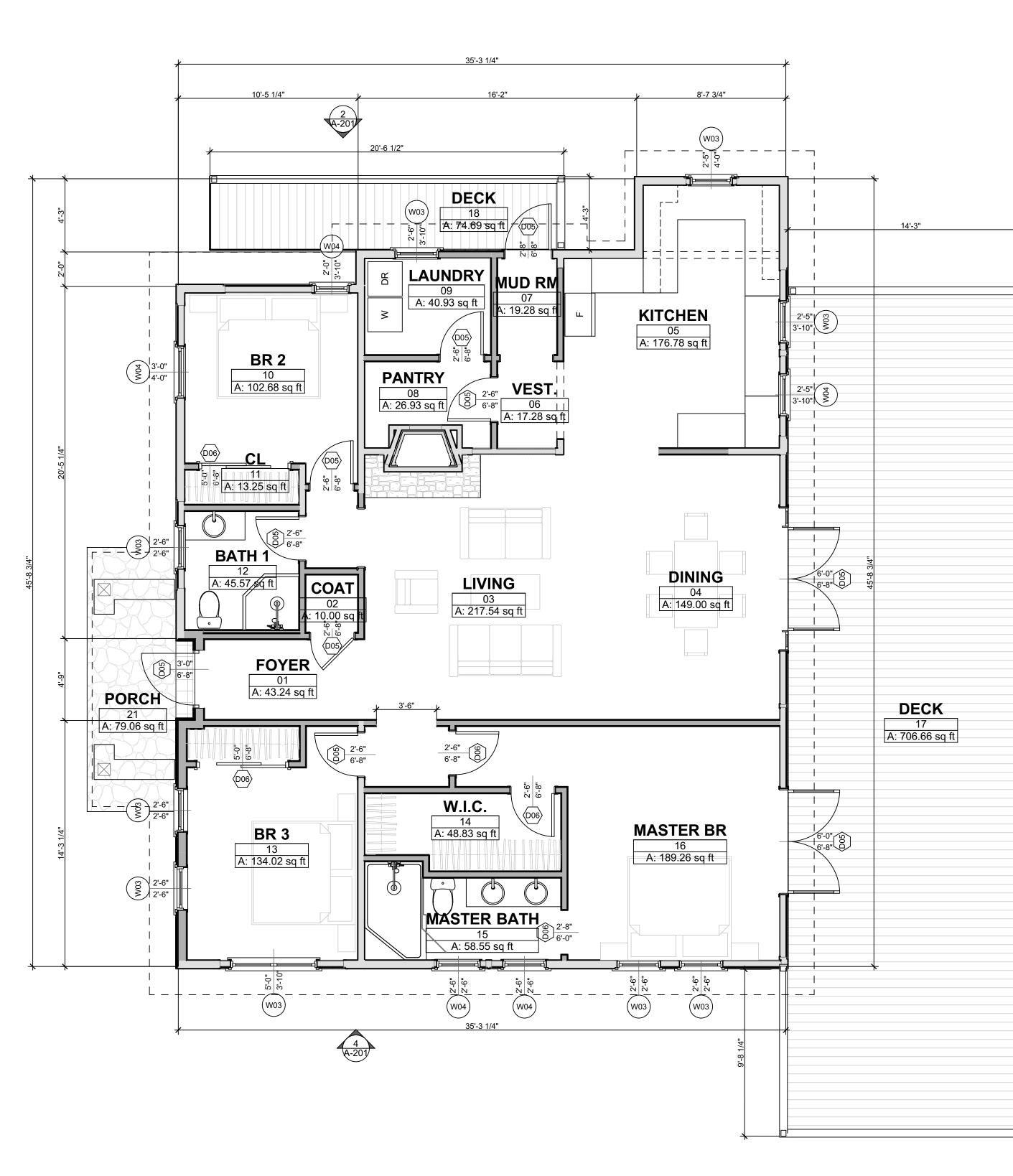










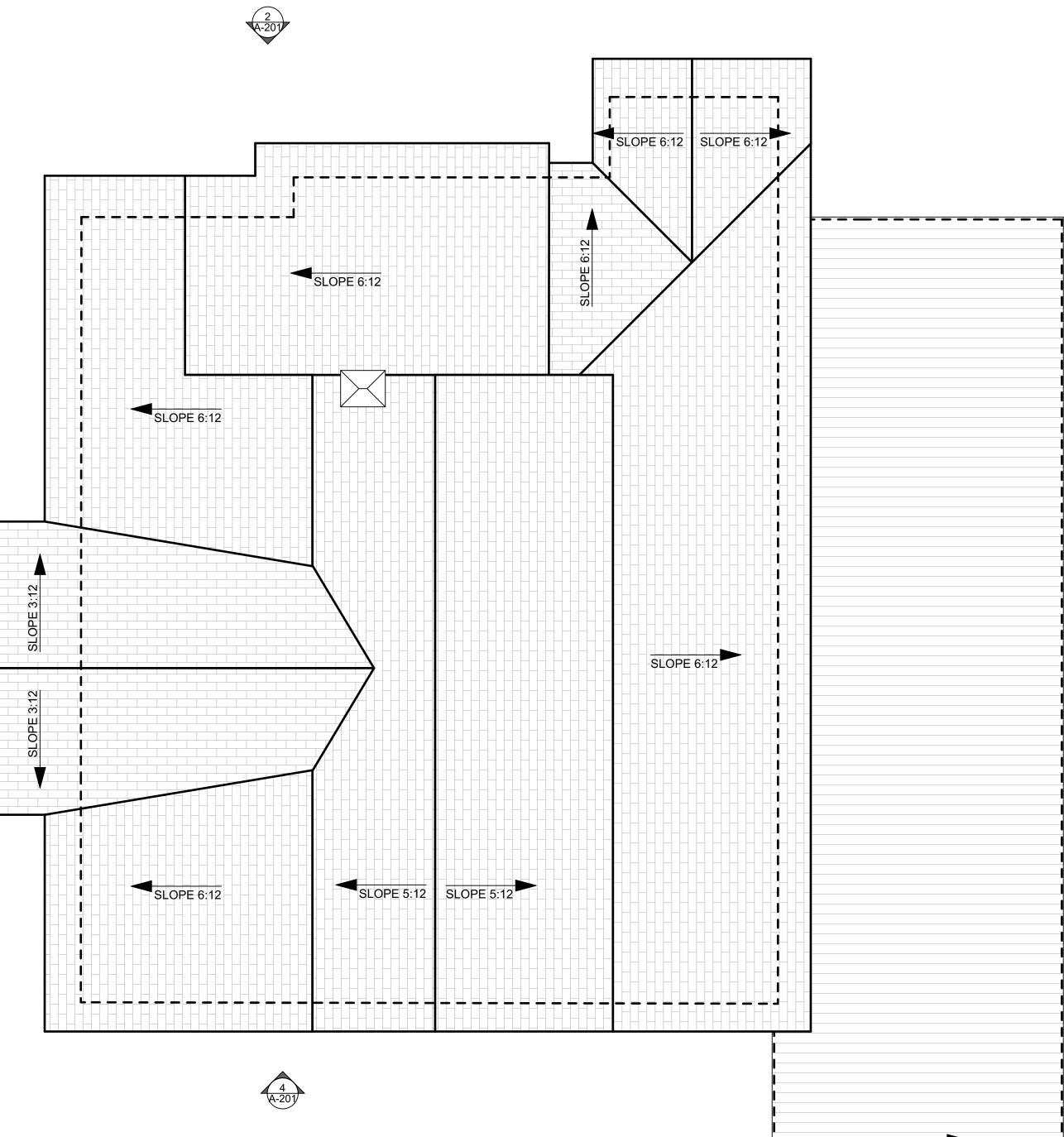






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			 REFER TO "GE SHT. G-002, FO
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			MATION. CK WALL OOD FRAMED RAMED WALL - AL PLANS CALLOUT - CHEDULE, LOUT - SEE
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ont Road - MI : 18 ARTERBE DOR P NONT		Et Al c/o Mark Hanf, Manager	RESIDENTIAL DESIGN
11 Main - 01- VA MNA ERRY DESIGN LAN - RD	San Rafael CA 94965 A.P.N.: 012-043-11 & 12	Novato, CA 94945	495 Gate 5 Rd, Studio E, Sausalito, CA 94965
			Phone: 415 944-5480 Millard@Arterberry-Design.com

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SLOPE 2%

ROOF PLAN SCALE: 1/4" = 1'-0"

FLOOR PLAN GENERAL NOTES", SHT. G-001 & SHT. G-002, FOR FURTHER INFORMATION. FLOOR PLAN SYMBOLS LEGEND (E) EXTERIOR CONCRETE/BRICK WALL (E) INTERIOR WOOD FRAM WALL (N) 2X4 WOOD FRAMED WASEE STRUCTURAL PLANS (W02) 5) 5 5) 5 5) 5 6) 5 (E) INTERIOR WOOD FRAMED WASEE STRUCTURAL PLANS (N) 2X4 WINDOW CALLOUT - SEE WINDOW SCHEDULE, SHT. A-600	-	RESIDENTIAL DESIGN	Ű	Sausalito, CA 94965 Phone: 415 944-5480 Millard@Arterberry-Design.com	
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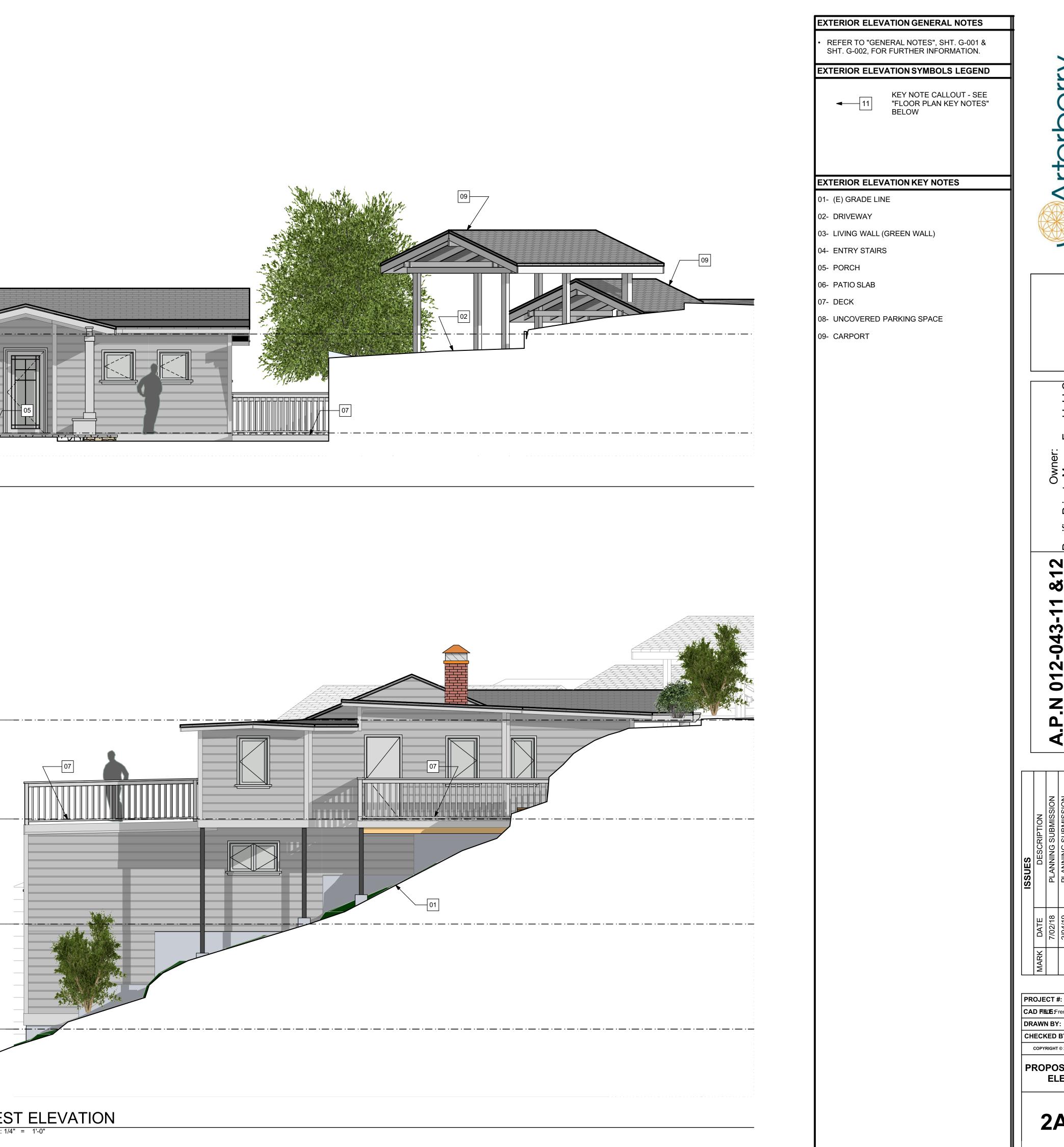


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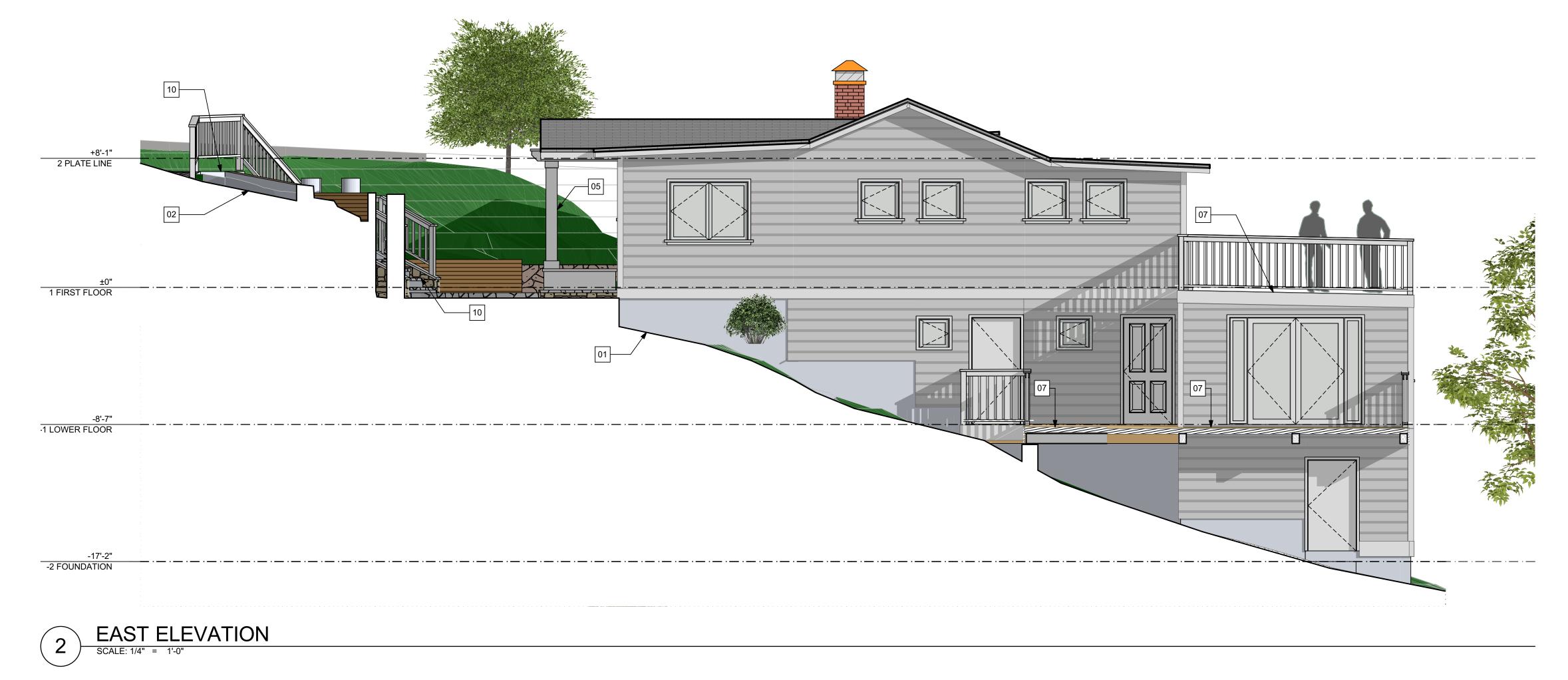
52/54 Fremont Street San Rafael CA 94965 A.P.N.: 012-043-11 & 12

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495 Gate 5 Rd, Studio E Sausalito, CA 94965 Phone: 415 944-5480





NORTH ELEVATION SCALE: 1/4" = 1'-0"

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EXTERIOR ELEVATION KEY NOTES

EXTERIOR ELEVATION GENERAL NOTES

REFER TO "GENERAL NOTES", SHT. G-001 & SHT. G-002, FOR FURTHER INFORMATION.

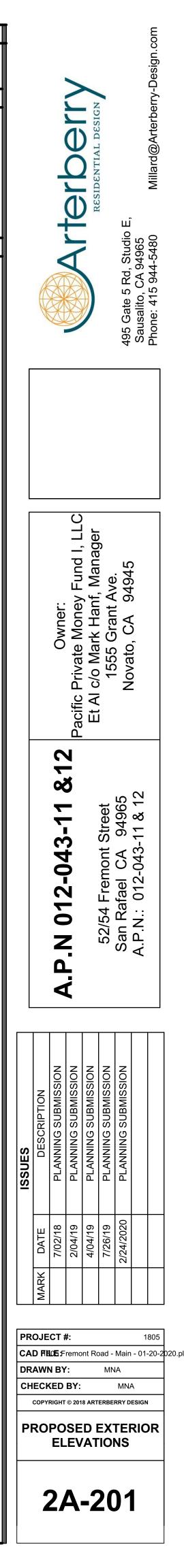
EXTERIOR ELEVATION SYMBOLS LEGEND

KEY NOTE CALLOUT - SEE "FLOOR PLAN KEY NOTES" BELOW

01- (E) GRADE LINE

◄____11

- 02- DRIVEWAY
- 03- LIVING WALL (GREEN WALL)
- 04- ENTRY STAIRS
- 05- PORCH
- 06- PATIO SLAB
- 07- DECK
- 08- UNCOVERED PARKING SPACE
- 09- CARPORT
- 10- SITE WALKWAY/STAIRWAY
- 11- (E) GARAGE TO BE REMODELED



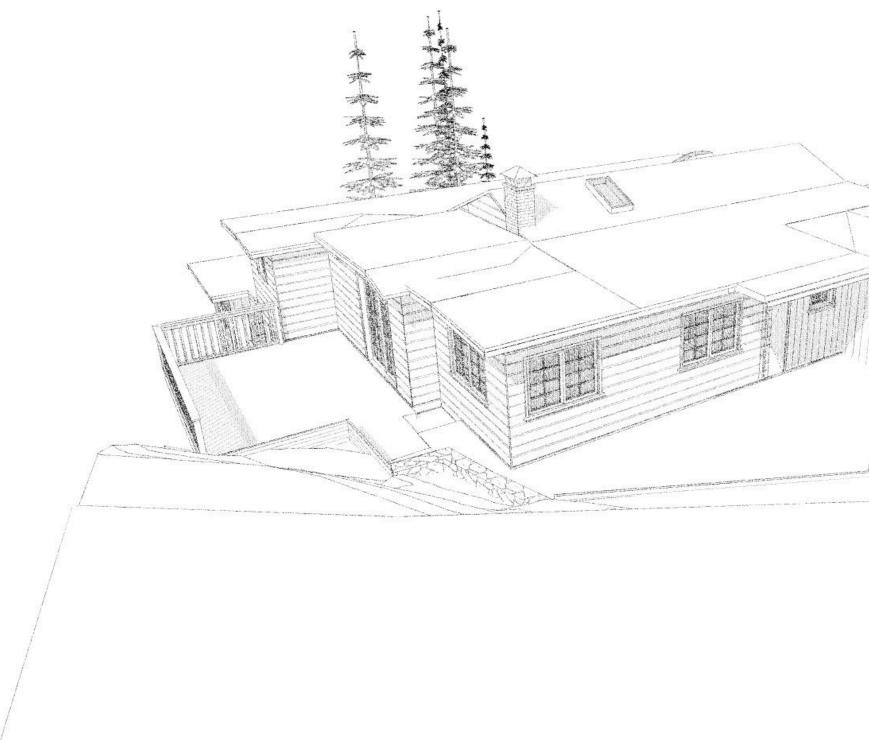


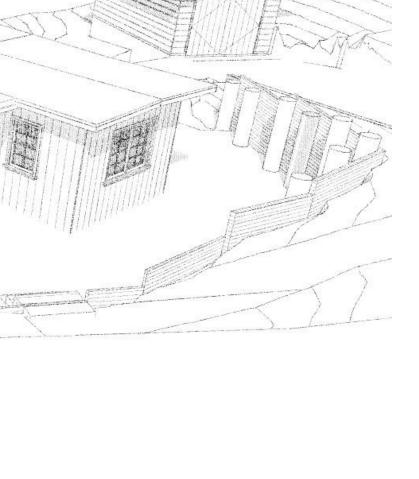


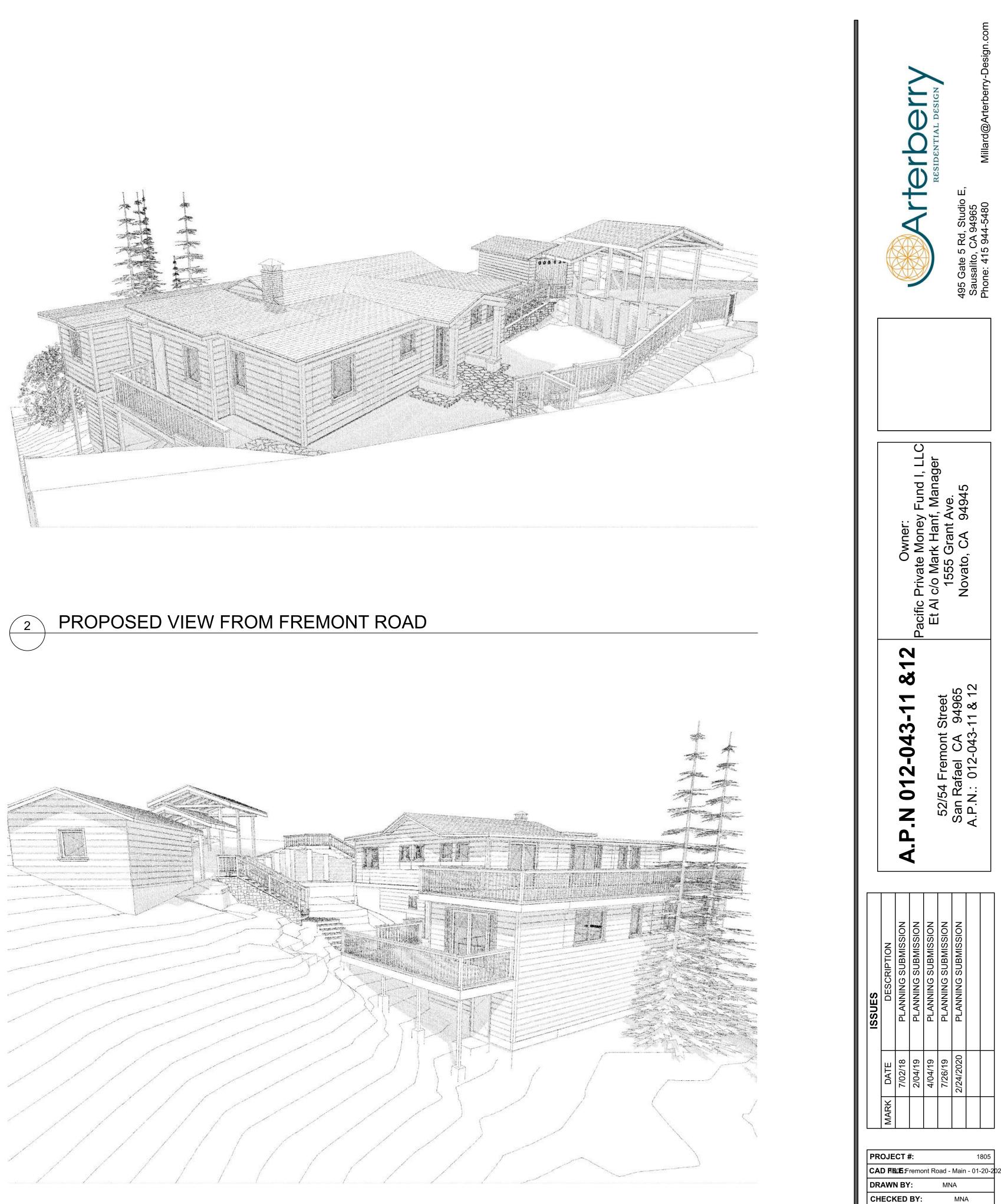


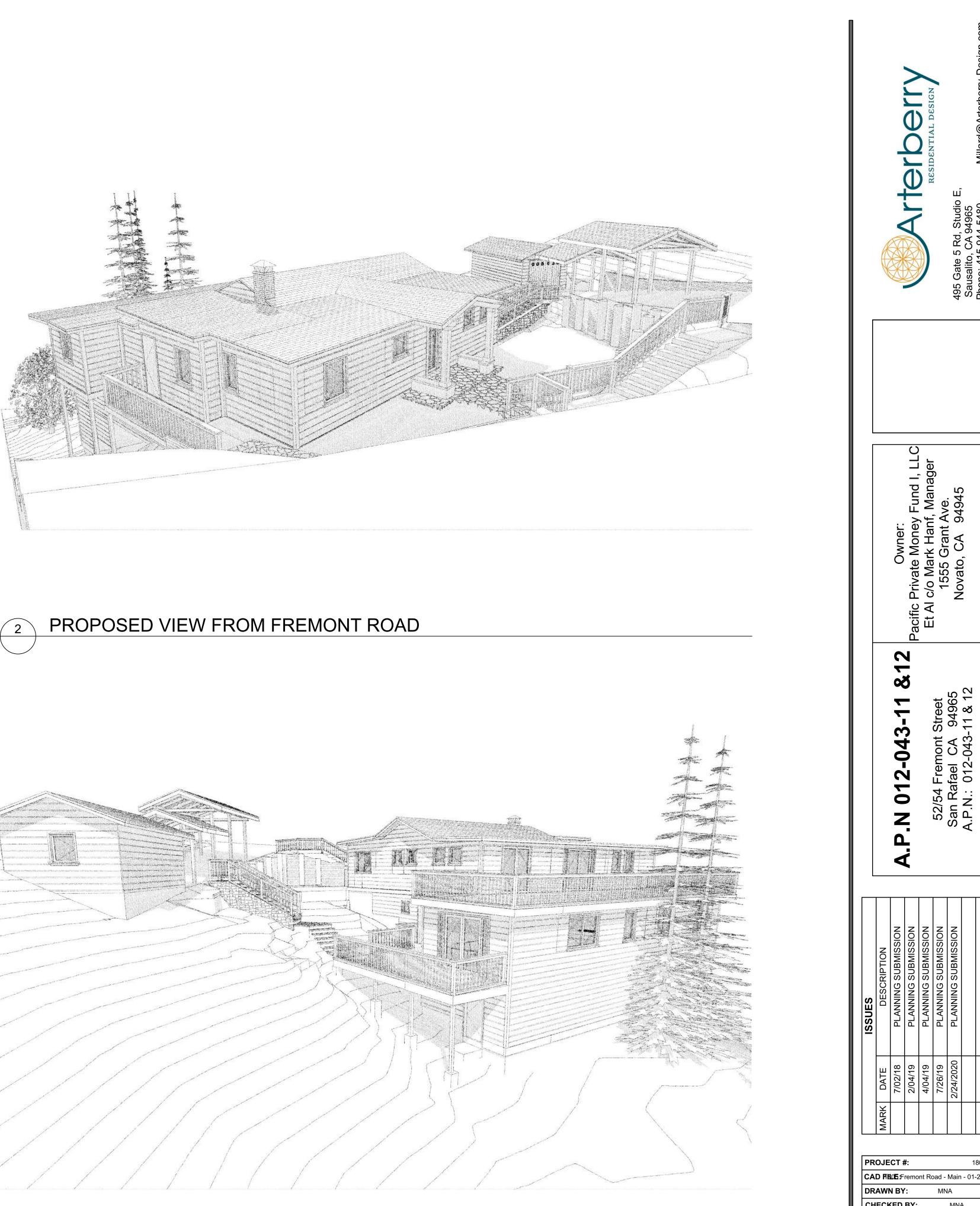


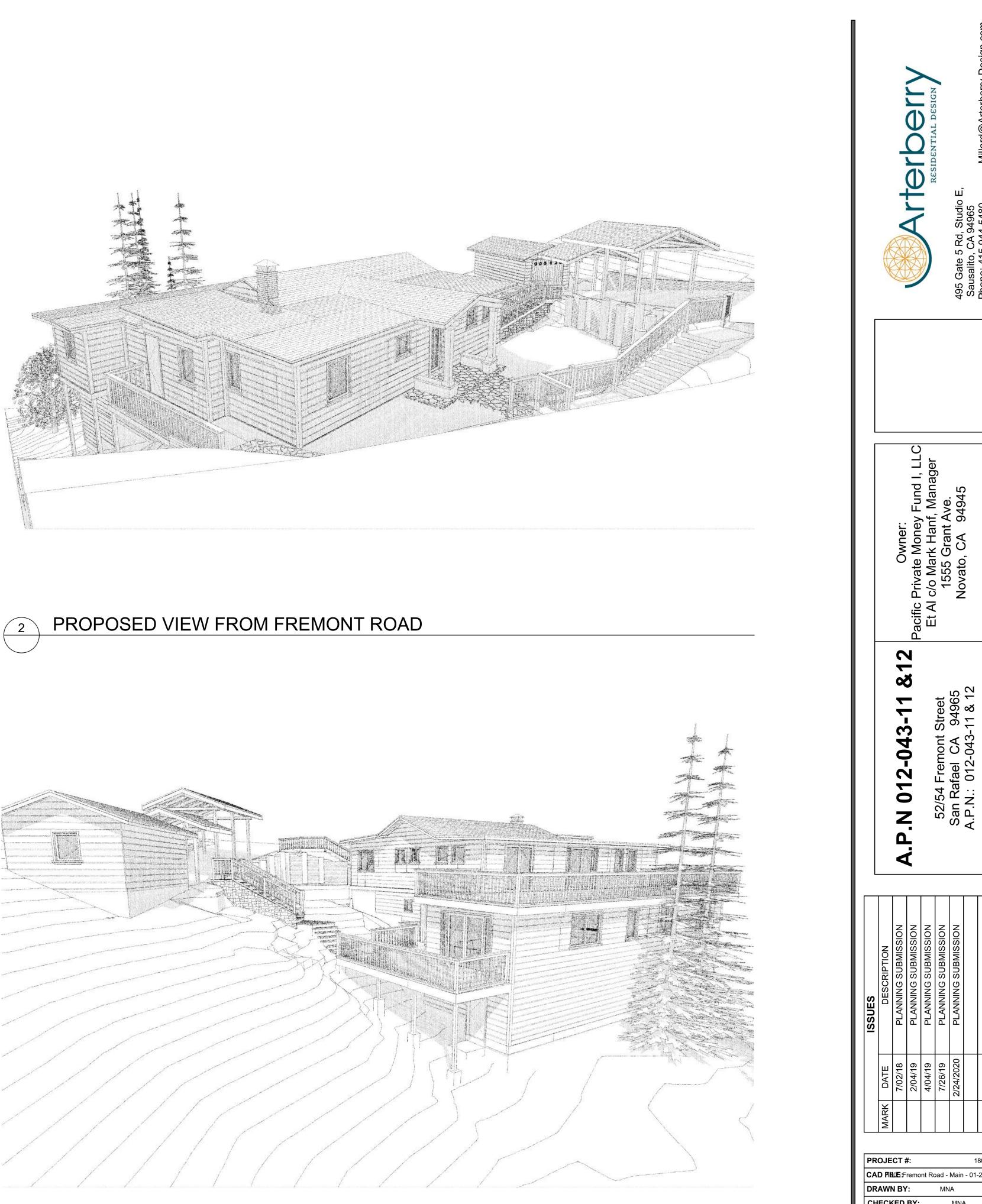
















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RENDERINGS