

SHEET NO	SHEET NAME
GENERAL	
G000	COVER
G003	FLOOR AREA RATIO DIAGRAMS
G009	3D PERSPECTIVE VIEWS
G010	3D ISOMETRIC VIEWS
G011	3D RENDERINGS
G024	MATERIAL AND COLOR BOARD
CIVIL & LANDSCAPE	
COV	COVER
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C1.0	CIVIL SITE PLAN
C2.0	GRADING & DRAINAGE PLAN
SW	STORMWATER PLAN
EC1.0	EROSION CONTROL PLAN
EC2.0	EROSION CONTROL DETAILS
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L1.02	PRELIMINARY PLANT PALETTE
ARCHITECTURAL	
A100	SITE PLAN (VICINITY)
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A111	ACCESIBLE SITE DETAILS
A211	LEVEL 1 FLOOR PLAN
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A213	LEVEL 5 FLOOR PLAN
A214	ROOF PLAN
A300	STREET ELEVATIONS
A301	EXTERIOR ELEVATIONS
A400	SECTIONS
A800	SIGNAGE FLOOR PLAN & ELEVATIONS
A900	EXTERIOR REFUSE ENCLOSURE
A901	PRELIMINARY STC RECOMMENDATIONS
LIGHTING	
LD000	LIGHTING SCHEDULE
LD001	SITE PLAN LIGHTING DESIGN
LD002	LIGHTING ELEVATIONS
LD003	SITE PLAN LIGHTING DESIGN
LD004	LIGHTING DETAIL
TENTATIVE PARCEL MAP SUBDIVISION	
1	ALTA/NSPS LAND TITLE SURVEY
2	ALTA/NSPS LAND TITLE SURVEY
1	TENTATIVE PARCEL MAP - EXISTING CONFIGURATION
2	TENTATIVE PARCEL MAP - PROPOSED PARCEL CONFIGURATION
3	TENTATIVE PARCEL MAP - PROPOSED LOT IMPROVEMENTS
38 PAGES IN TOTAL	

PROPOSED NEW CONSTRUCTION USE PERMIT

**HILTON DUAL-BRAND HOTEL
HAMPTON INN AND SUITES & HOME 2 SUITES**

1075 FRANCISCO BOULEVARD EAST SAN RAFAEL, CA 94901



SA
STANTON
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1501 MARIPOSA STREET, SUITE 328
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1075 HOTEL

1075 FRANCISCO BLVD E.
SAN RAFAEL, CA

CLIENT MARIN HOSPITALITY, INC. T (415) 279.7080 MARINHOSPITALITY@GMAIL.COM	ARCHITECT STANTON ARCHITECTURE 1501 MARIPOSA STREET SUITE 328 SAN FRANCISCO, CA 94107 MICHAEL STANTON, FAIA, LEED AP T (415) 865.9600 F (415) 865.9608 MSTANTON@STANTONARCHITECTURE.COM	ENVIRONMENTAL CONSULTANT WEST ENVIRONMENTAL 711 GRAND AVE. #220 SAN RAFAEL, CA 94901 PETER KRASHOFF T (415) 480.6770 PETERK@WESTENVIRONMENTAL.COM	LANDSCAPE AND IRRIGATION JETT LANDSCAPE ARCHITECTURE-DESIGN 2 THEATRE SQUARE, SUITE 219 ORINDA, CA 94563 JESSE MARKMAN T (925) 254.5422 JESSEM@JETT.LAND	SURVEY ENGINEER ADOBE ASSOCIATES, INC. 1220 N. DUTTON AVENUE SANTA ROSA, CA 95401 PAUL BROWN T (707) 541.2300 PBROWN@ADOBEINC.COM
HOTEL BRAND HAMPTON INN & SUITES BY HILTON HOME2 SUITES BY HILTON	GEOTECHNICAL ENGINEER GEOTECHNA 2422 PROVIDENCE CT WALNUT CREEK, CA 94596 LUIS MOURA T (510) 913.1007 LUR@GEOTECHNA.COM	EXTERIOR LIGHTING FOX & FOX DESIGN LLC 3020 OLD RANCH PARKWAY, SUITE 300 SEAL BEACH, CA 90740 JOHN M FOX T (562) 769.8488 JOHN@FOXANDFOXDESIGN.COM	CIVIL ENGINEER COFFMANN ENGINEERS 1939 HARRISON STREET, SUITE 320 OAKLAND, CA 94612 RAY BARRO T (510) 251.9578 RAY.BARRO@COFFMAN.COM	ACOUSTIC ENGINEER COFFMANN ENGINEERS 1939 HARRISON STREET, SUITE 320 OAKLAND, CA 94612 CHRISTOPHER BARNOBI T (510) 251.9578 CHRISTOPHER.BARNOBI@COFFMAN.COM

SHEET INDEX
NTS 4

PROJECT CONTACT INFORMATION 2

- PARCEL ADDRESS**
APN: 009-191-02, 03, 04, 09, 10
TRACT: 112202
COUNTY: MARIN
ADDRESS: 1075 FRANCISCO BLVD EAST, SAN RAFAEL, CA, 94901
- ZONING**
GC: COMMERCIAL ZONING DISTRICT
- OCCUPANCY**
PROPOSED USE: HOTEL (R-1), PER TABLE 14.05.020
- TYPE OF CONSTRUCTION:** I-B FOR GROUND LEVEL, III-B FOR LEVEL 2 TO ROOF LEVEL, FULLY SPRINKLERED
- MAX HEIGHT FOR HOTEL:** REQUIRED 4 STORIES AND 54' HEIGHT
PROPOSED 5 STORIES, 54' HEIGHT
BONUS 5 STORIES AND 12' AS PART OF DESIGN REVIEW PERMIT
- FLOOR AREA RATIO:** NONE FOR HOTEL
- MIN LANDSCAPING:** 15%, 15' FRONT SETBACK LANDSCAPED VARIES, 15' MINIMUM
- MIN LOT AREA:** 6,000 SF
- PROPERTY SIZE:** 150,276 SF
- TOTAL ALLOWABLE AREA:** $Aa = [At + (NS \times If)] \times Sa$
120,000 SF = $[48,000 + (16,000 \times 0.75)] \times 2$
- TOTAL BUILDING AREA:** 108,050 SF

PROPOSED USE HOTEL, PER TABLE 14.05.020
REQUIRES CONDITIONAL USE PERMIT
REQUIRES A USE PERMIT APPROVED BY THE PLANNING COMMISSION.
REQUIRES A PUBLIC MEETING
REQUIRES A HEARING BEFORE THE PLANNING COMMISSION.

APPLICABLE CODES

BUILDING
2016 CALIFORNIA BUILDING CODE (CBC)
2016 SAN FRANCISCO BUILDING CODE
2016 SAN FRANCISCO PLANNING CODE
2016 CALIFORNIA ENVIRONMENTAL QUALITY ACT

ELECTRICAL
2016 CALIFORNIA ELECTRICAL CODE (CEC)

MECHANICAL
2016 CALIFORNIA MECHANICAL CODE (CMC)

PLUMBING
2016 CALIFORNIA PLUMBING CODE (CPC)

ACCESSIBILITY
MORE STRINGENT OF CALIFORNIA BUILDING CODE OR APPLICABLE FEDERAL LAW

ENERGY
2016 CALIFORNIA TITLE 24 - CALIFORNIA ENERGY CODE

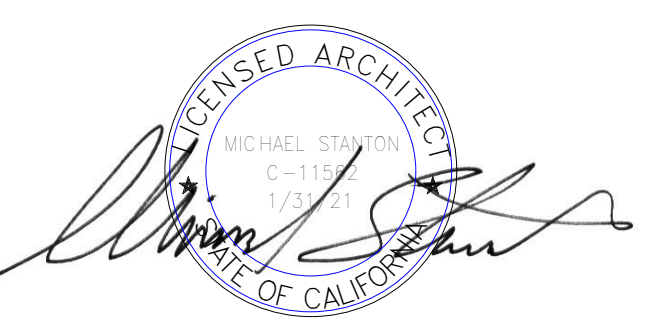
FIRE PREVENTION
2016 CALIFORNIA FIRE CODE (CFC) AND LOCAL ORDINANCE

PROJECT DESCRIPTION
CONSTRUCTION OF A 5-STORY LIMITED-SERVICE DUAL BRAND HOTEL WITH 185 GUEST ROOMS AND A POOL.



CODE INFORMATION
1 1/2" = 1'-0" 3

VICINITY MAP
1" = 400'-0" 1



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DRAWING TITLE
COVER

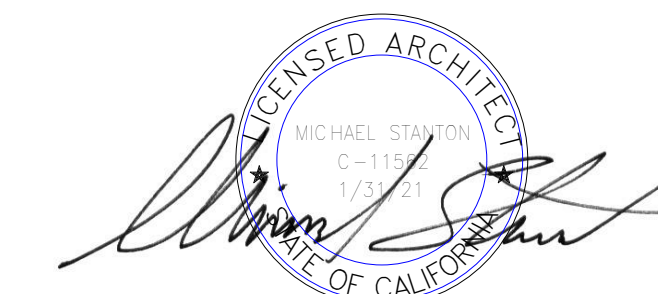
STATUS

JOB NO. 17002
DRAWN BY SA, MW
SHEET NO.

G000

1075 HOTEL

1075 FRANCISCO BLVD E.
SAN RAFAEL, CA



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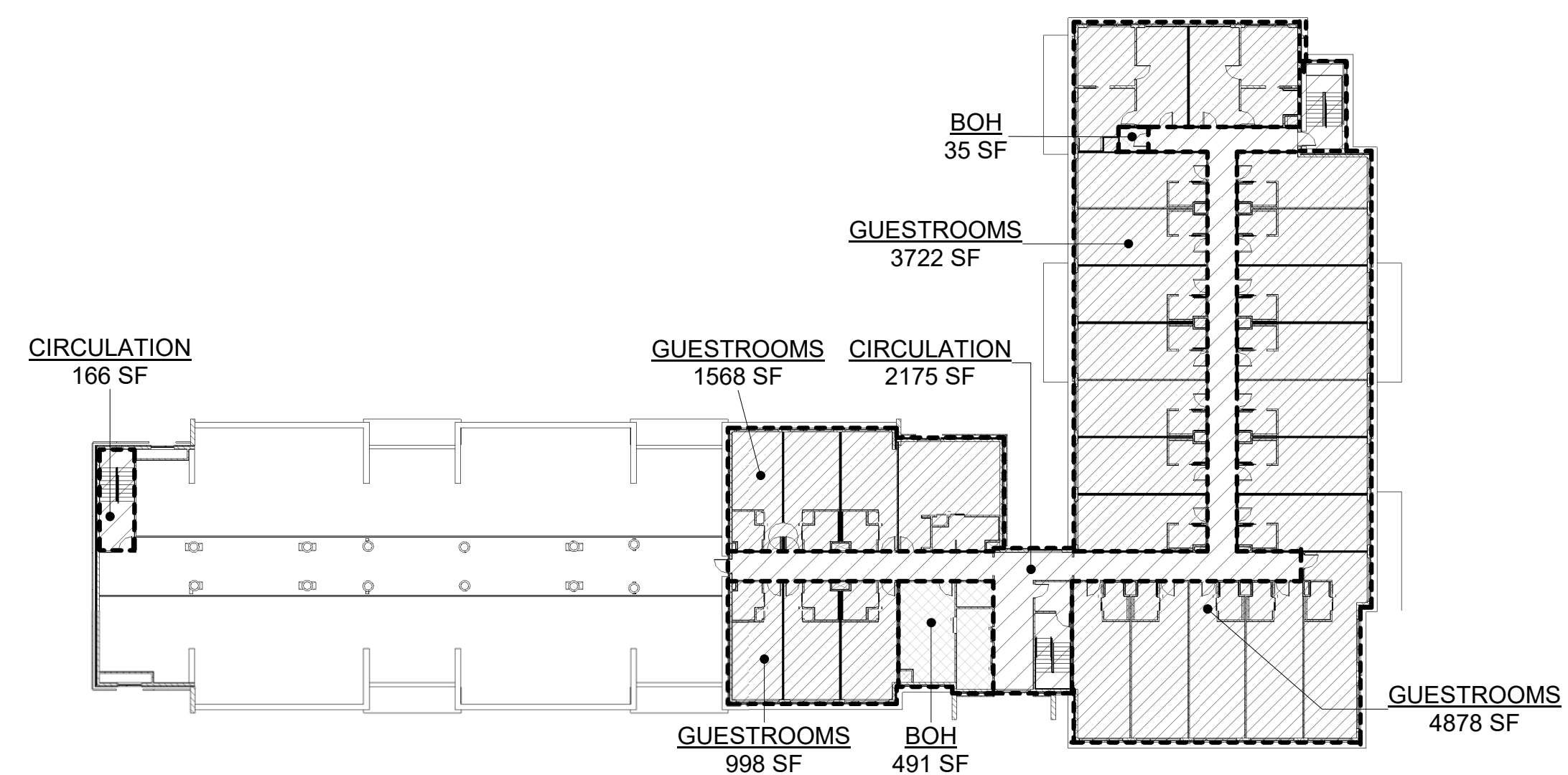
DRAWING TITLE
FLOOR AREA RATIO DIAGRAMS

STATUS

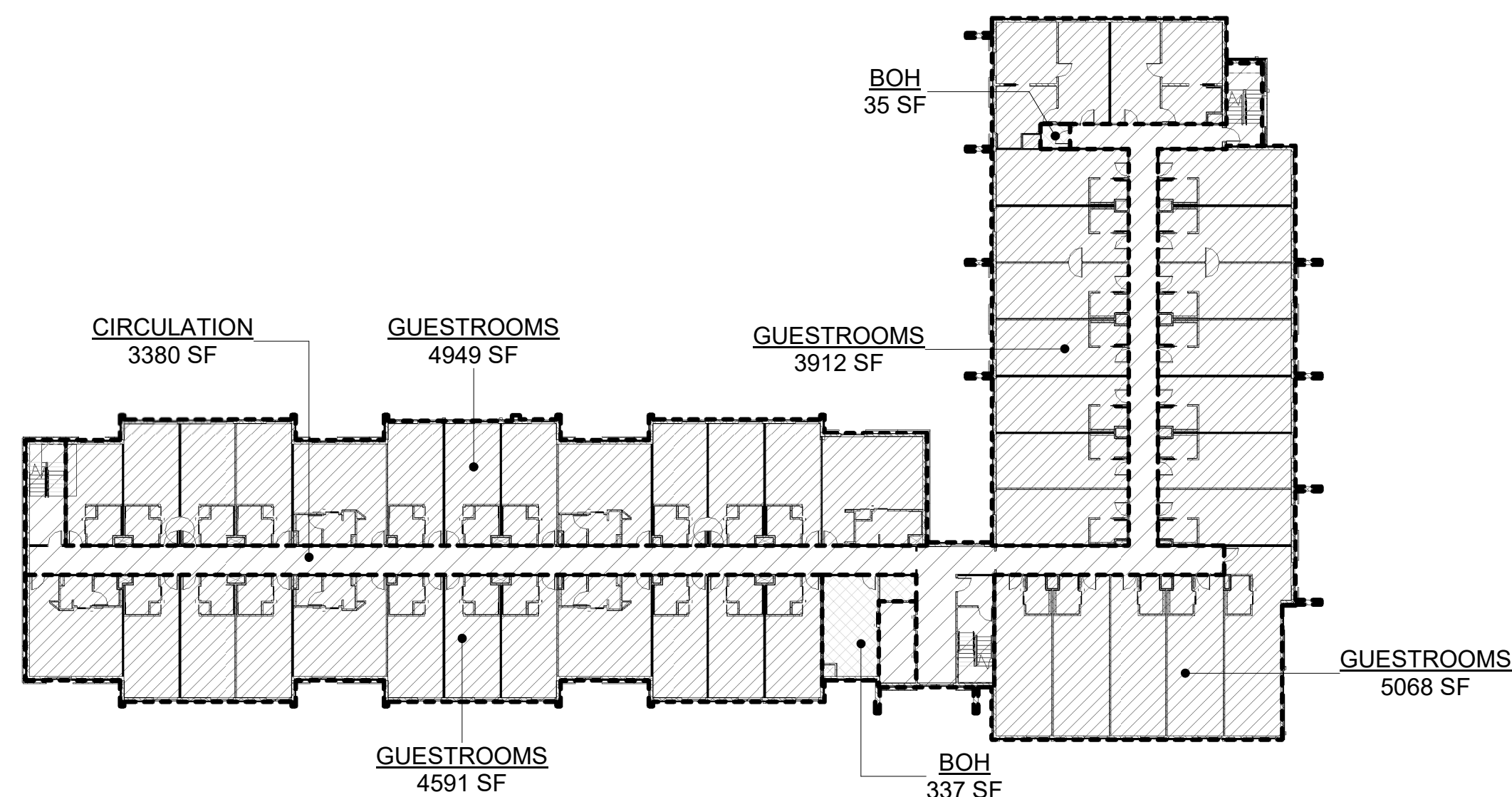
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DRAWN BY SA, MW
SHEET NO.

G003

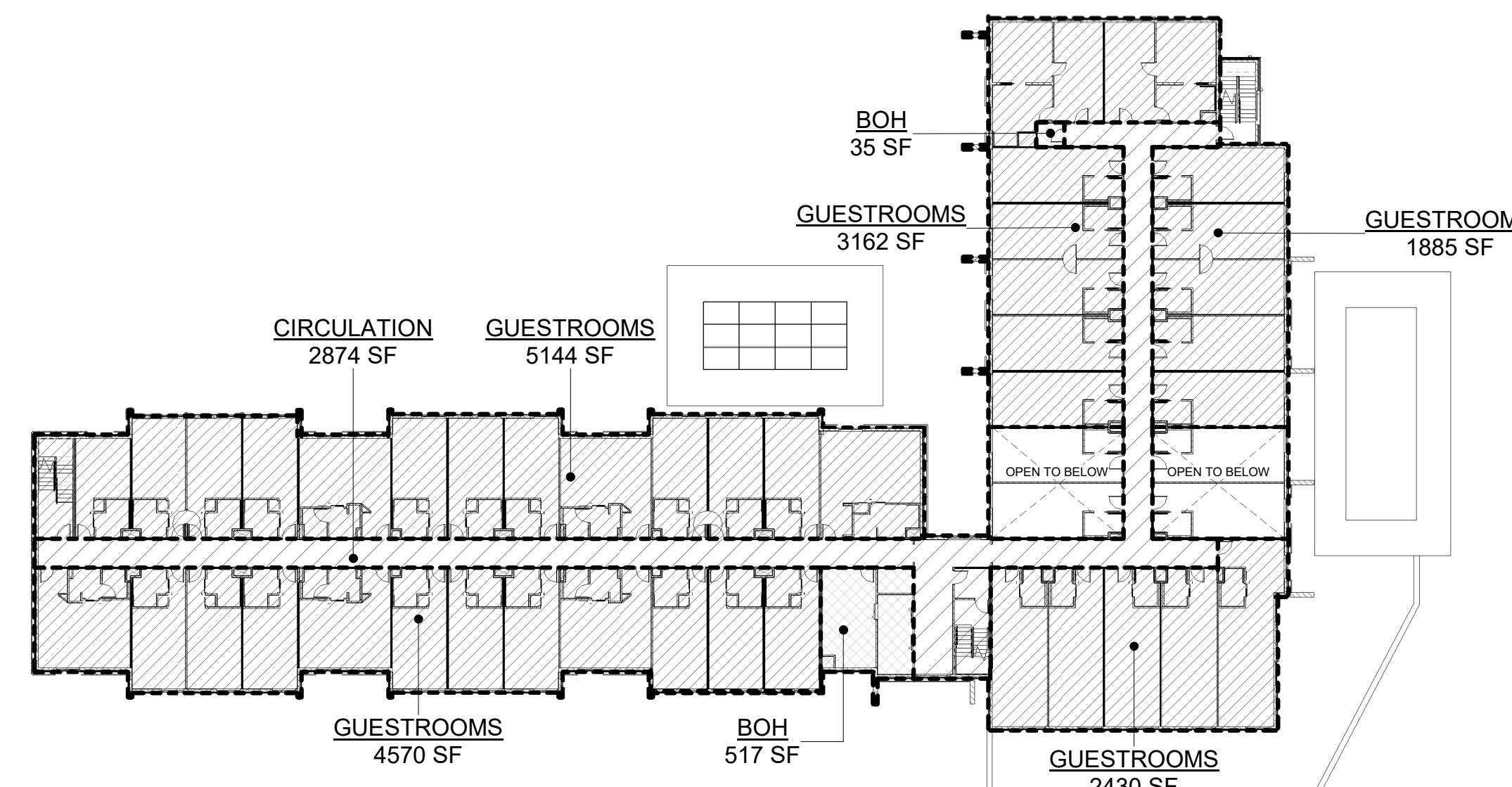
Level	Name	Area	AREA TOTAL	Level	Name	Area	AREA TOTAL
LEVEL 1	BOH	127 SF	127	LEVEL 3	BOH	337 SF	337
LEVEL 1	BOH	1836 SF	1836	LEVEL 3	BOH	35 SF	35
LEVEL 1	BOH	1734 SF	1734	LEVEL 3	CIRCULATION	3380 SF	3380
LEVEL 1	BOH	247 SF	247	LEVEL 3	GUESTROOMS	4949 SF	4949
LEVEL 1	CIRCULATION	1030 SF	1030	LEVEL 3	GUESTROOMS	4591 SF	4591
LEVEL 1	CIRCULATION	696 SF	696	LEVEL 3	GUESTROOMS	5068 SF	5068
LEVEL 1	COMMON SPACE	7016 SF	7016	LEVEL 3	GUESTROOMS	3912 SF	3912
LEVEL 1	COMMON SPACE	2949 SF	2949	LEVEL 4	BOH	337 SF	337
LEVEL 1	COMMON SPACE	2028 SF	2028	LEVEL 4	BOH	35 SF	35
LEVEL 1	GUESTROOMS	3338 SF	3338	LEVEL 4	CIRCULATION	3380 SF	3380
LEVEL 1	GUESTROOMS	3020 SF	3020	LEVEL 4	GUESTROOMS	4949 SF	4949
LEVEL 1	GUESTROOMS	2023 SF	2023	LEVEL 4	GUESTROOMS	4591 SF	4591
LEVEL 1	GUESTROOMS	762 SF	762	LEVEL 4	GUESTROOMS	5068 SF	5068
LEVEL 2	BOH	517 SF	517	LEVEL 4	GUESTROOMS	3912 SF	3912
LEVEL 2	BOH	35 SF	35	LEVEL 5	BOH	491 SF	491
LEVEL 2	CIRCULATION	2874 SF	2874	LEVEL 5	BOH	35 SF	35
LEVEL 2	GUESTROOMS	3162 SF	3162	LEVEL 5	CIRCULATION	2175 SF	2175
LEVEL 2	GUESTROOMS	1885 SF	1885	LEVEL 5	CIRCULATION	166 SF	166
LEVEL 2	GUESTROOMS	4570 SF	4570	LEVEL 5	GUESTROOMS	4878 SF	4878
LEVEL 2	GUESTROOMS	5144 SF	5144	LEVEL 5	GUESTROOMS	3722 SF	3722
LEVEL 2	GUESTROOMS	2430 SF	2430	LEVEL 5	GUESTROOMS	998 SF	998
				LEVEL 5	GUESTROOMS	1568 SF	1568
							106001



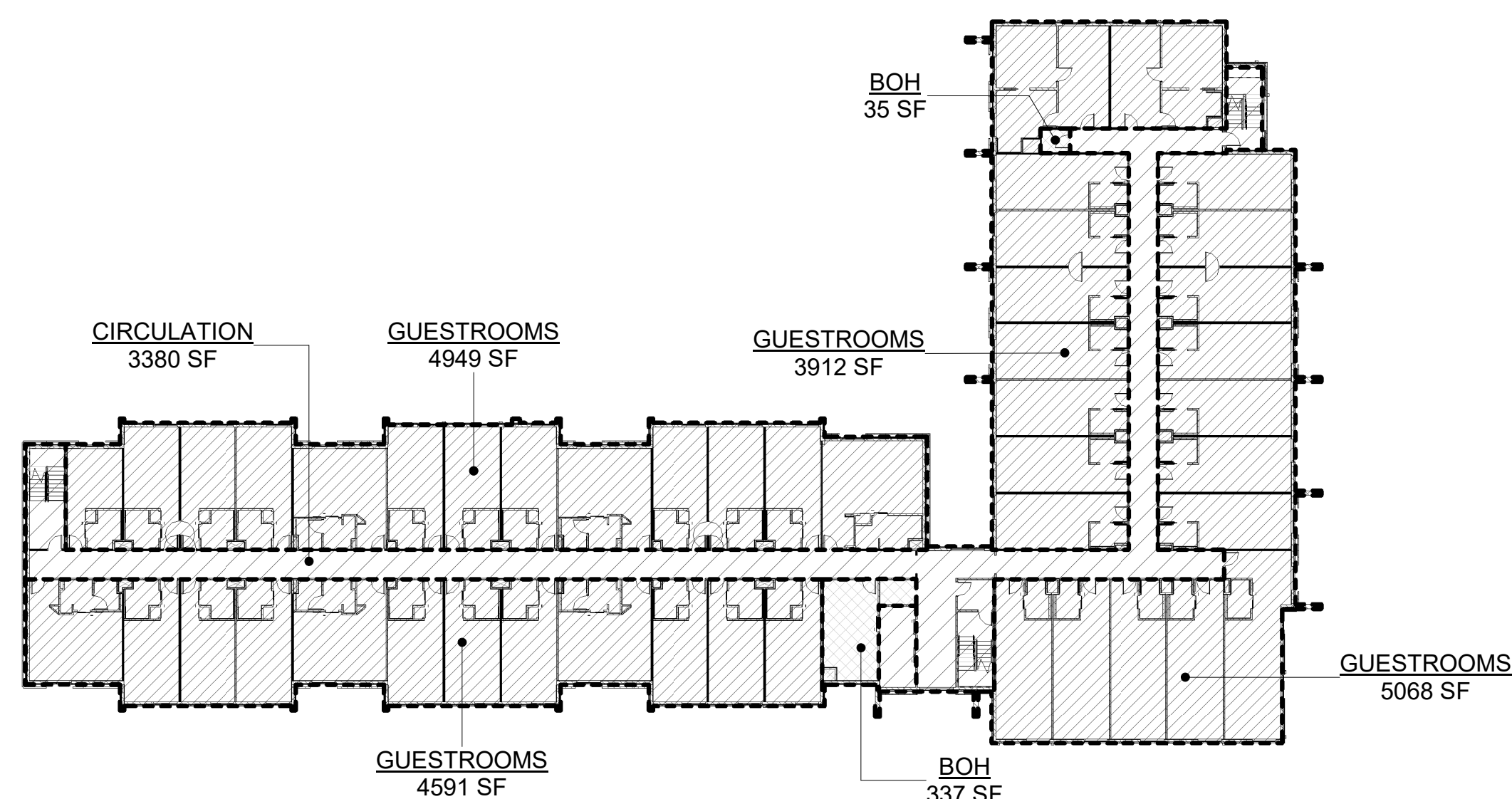
LEVEL 5 GROSS BUILDING AREA
1" = 30'-0" 5



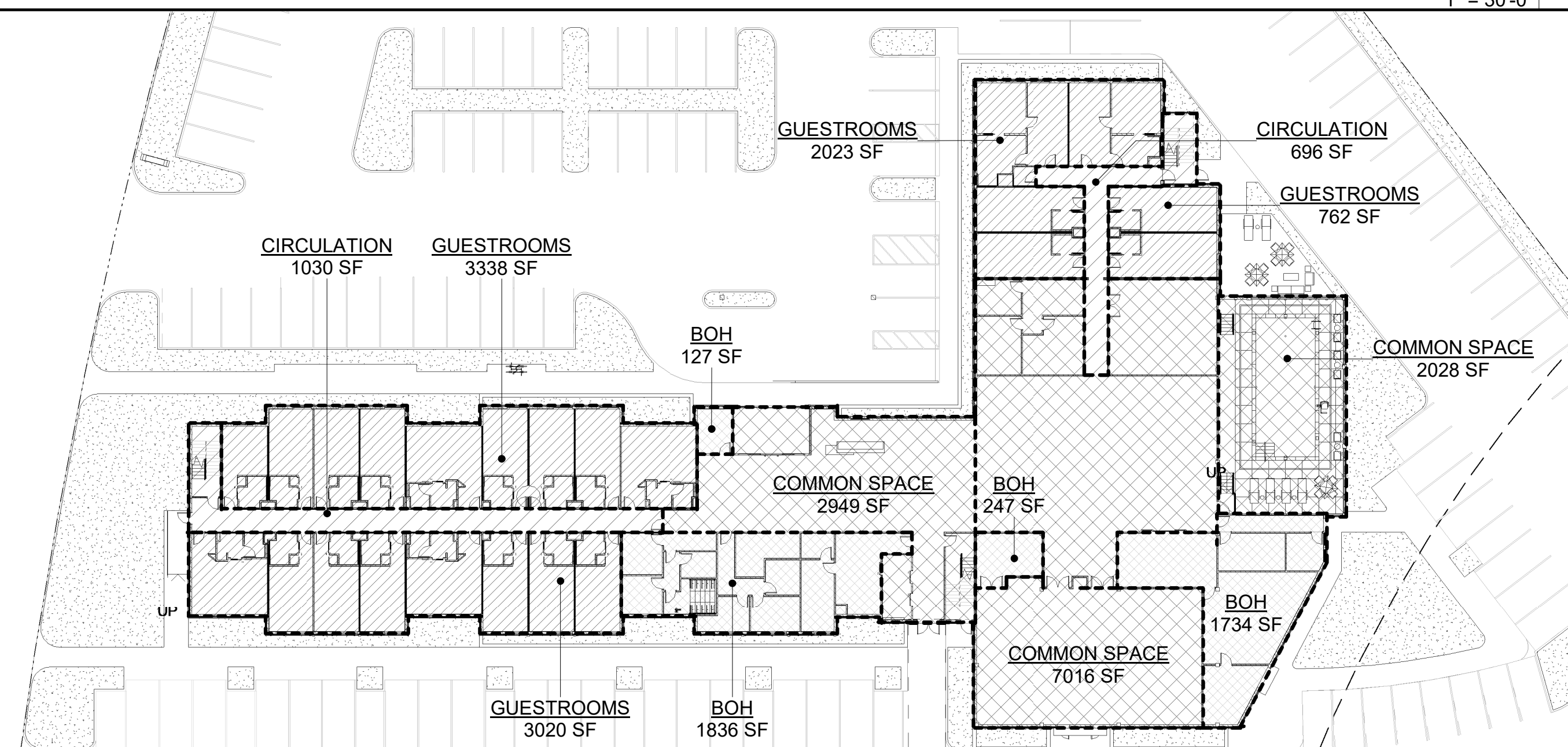
LEVEL 4 GROSS BUILDING AREA
1" = 30'-0" 4



LEVEL 2 GROSS BUILDING AREA
1" = 30'-0" 2



LEVEL 3 GROSS BUILDING AREA
1" = 30'-0" 3



LEVEL 1 GROSS BUILDING AREA
1" = 30'-0" 1



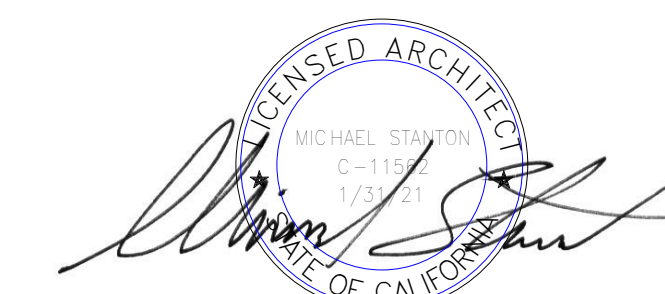
NORTHEAST - REAR VIEW 2

1075 HOTEL

1075 FRANCISCO BLVD E.
 SAN RAFAEL, CA



SOUTHWEST - FRONT VIEW 1



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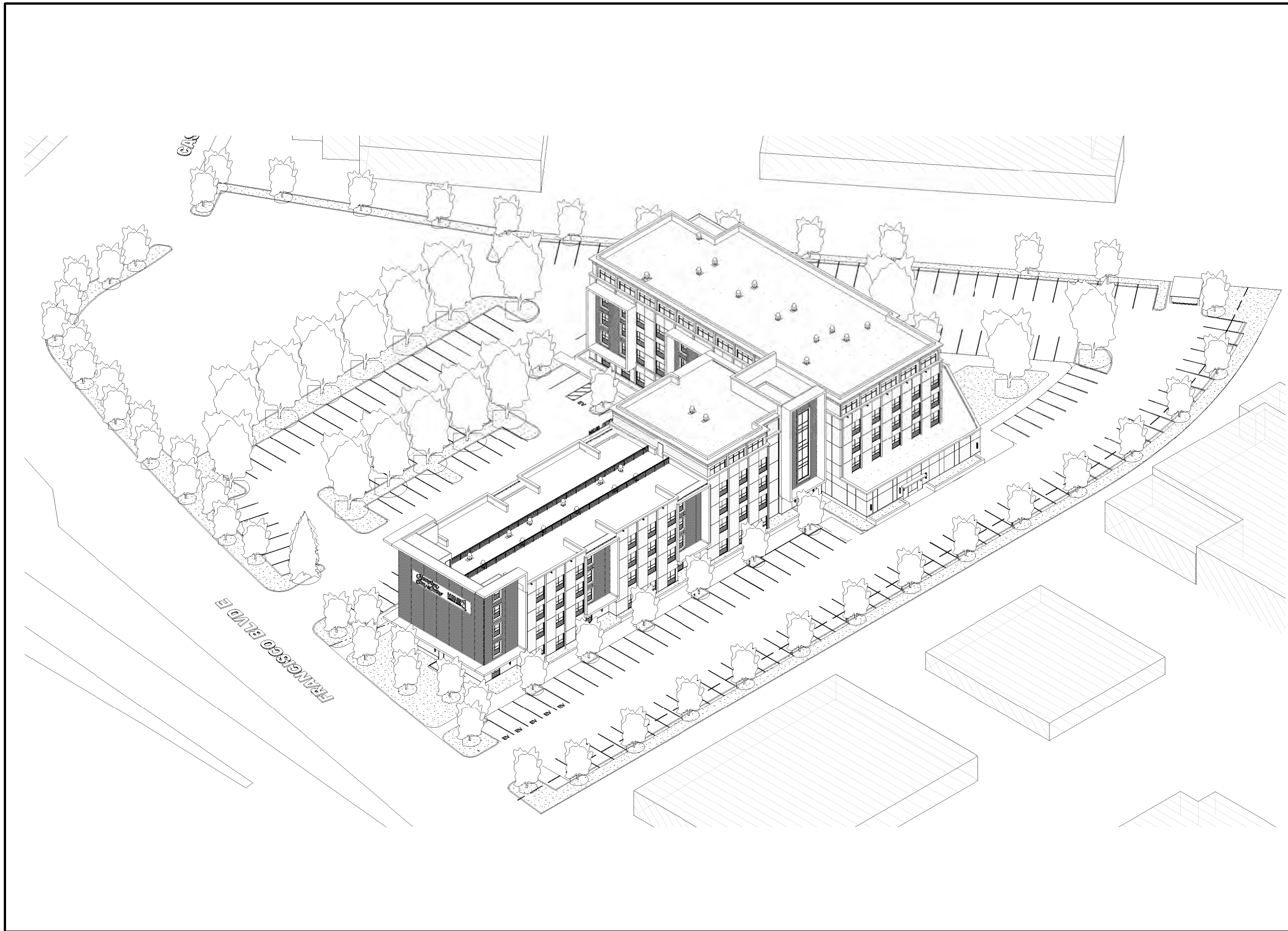
NO.	DATE	ISSUE
05/09/2019		USE PERMIT
08/22/2019		USE PERMIT RESUBMITTAL

DRAWING TITLE
 3D PERSPECTIVE VIEWS

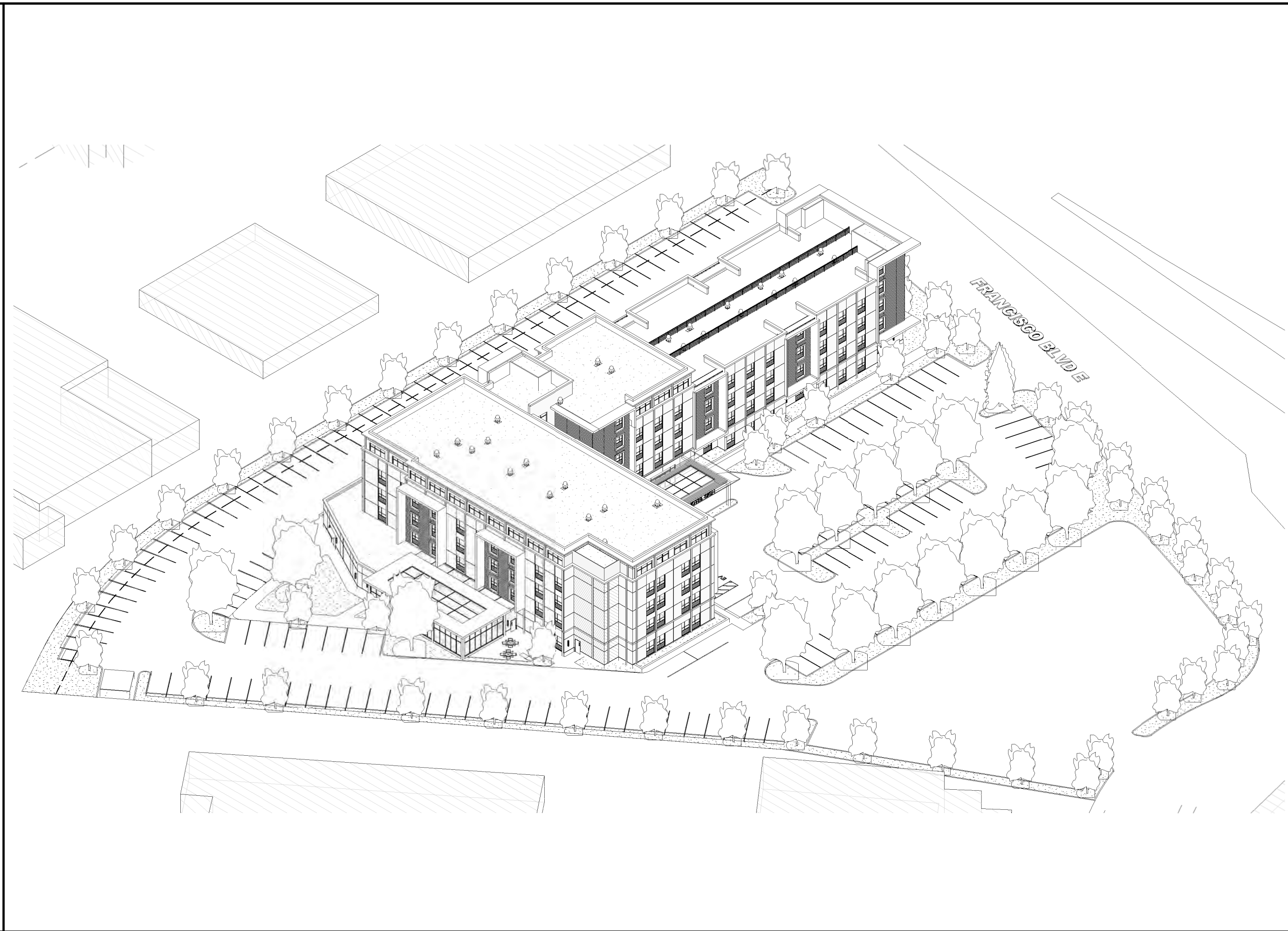
STATUS

JOB NO.	17002
DRAWN BY	SA, MW
SHEET NO.	

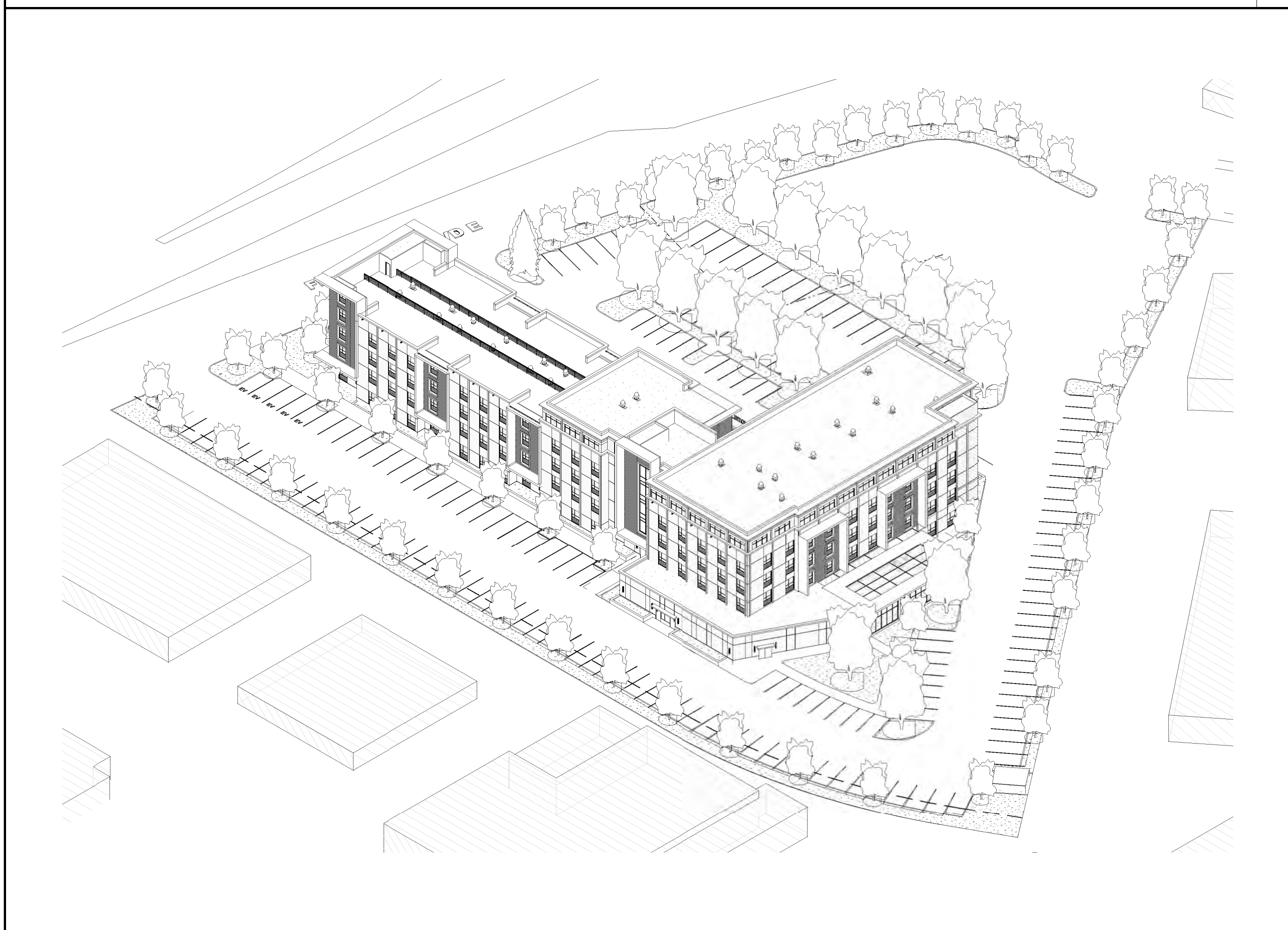
G009



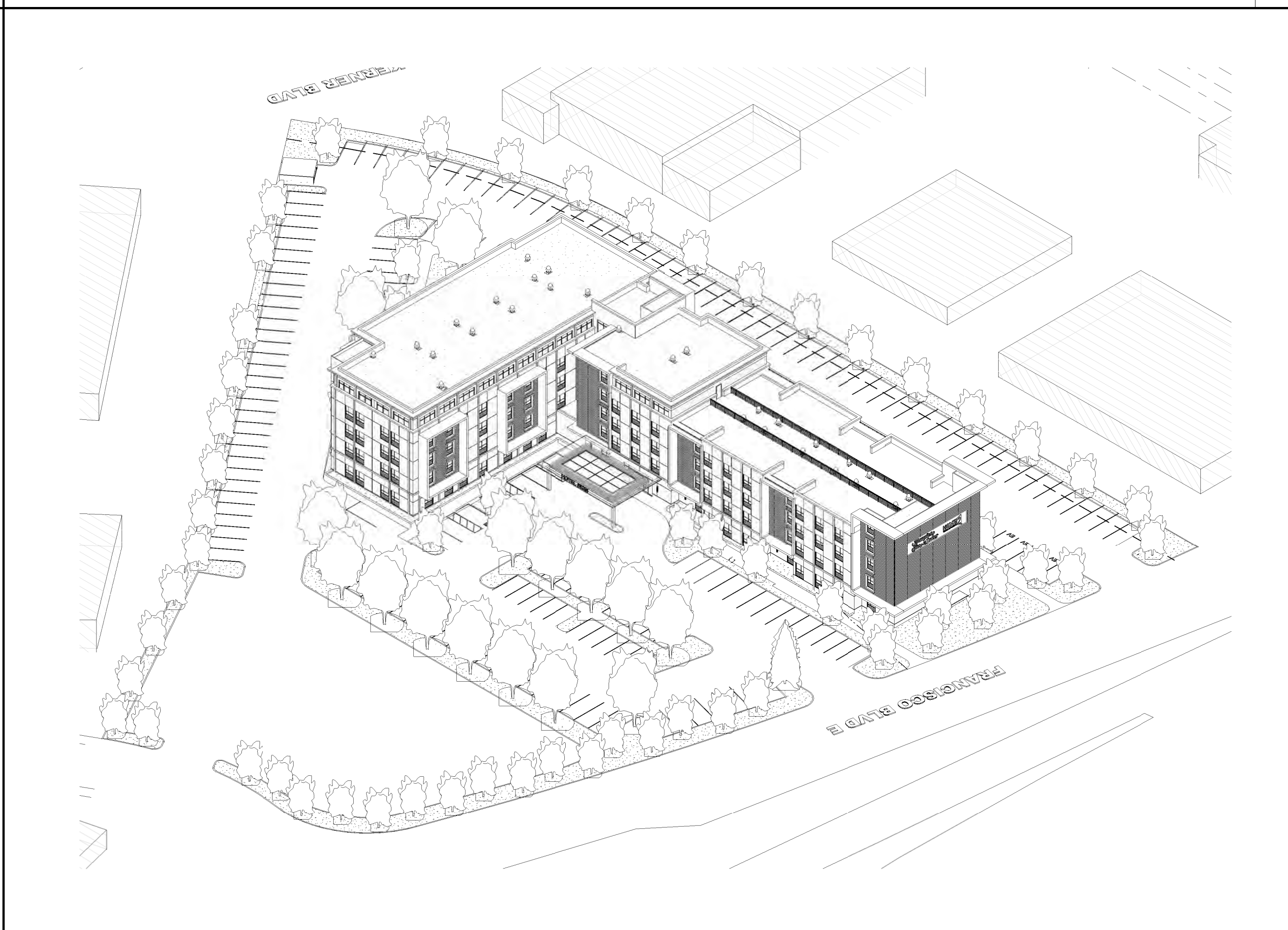
SW ISOMETRIC 4



NE ISOMETRIC 2



SE ISOMETRIC 3



NW ISOMETRIC 1

1075 HOTEL

**1075 FRANCISCO BLVD E.
SAN RAFAEL, CA**



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DRAWING TITLE
3D ISOMETRIC VIEWS

STATUS

JOB NO.	17002
DRAWN BY	SA, MW
SHEET NO.	

G010



NORTHWEST - FRONT VIEW
NTS 4



NORTHEAST - POOL VIEW
NTS 2



PORTE COCHERE & ENTRY
NTS 3

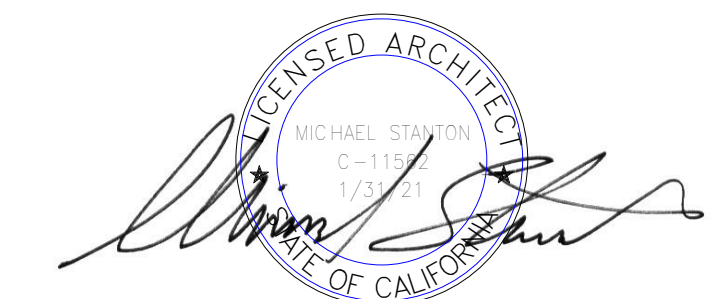


SOUTHWEST - VIEW FROM 1075 FRANCISCO BLVD
NTS 1

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DRAWING TITLE
3D RENDERINGS

STATUS

JOB NO. 17002
DRAWN BY SA, MW
SHEET NO.

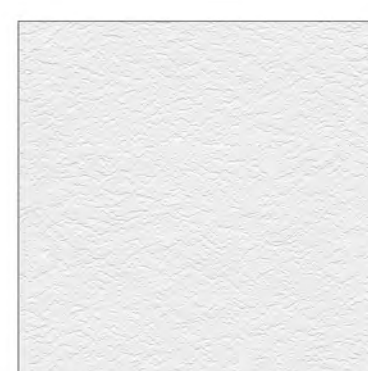
G011



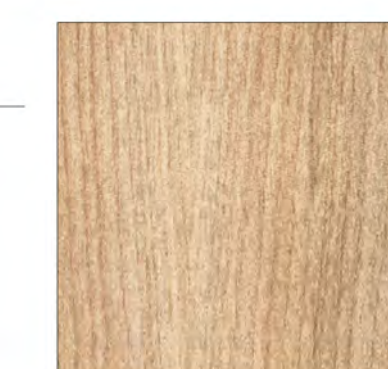
ALUMINUM CLAD
STOREFRONT
WINDOW



WHITE PLASTER
EXTERIOR FINISH



DARK GREY ALUMINUM
METAL PANEL



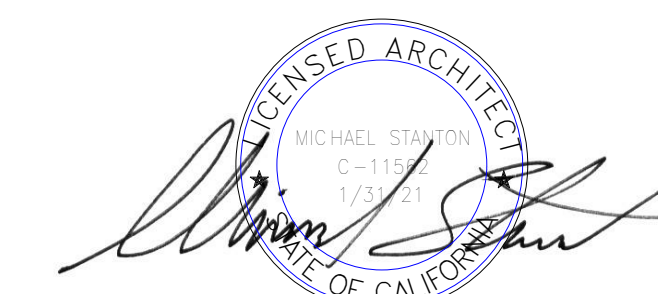
EXTERIOR WOOD PANEL



STONE BRICK BASE WALL

1075 HOTEL

1075 FRANCISCO BLVD E.
SAN RAFAEL, CA



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08/22/2019		USE PERMIT RESUBMITTAL

DRAWING TITLE
MATERIAL AND COLOR BOARD

STATUS

JOB NO. 17002
DRAWN BY SA, MW
SHEET NO.

G024

HILTON HOTEL

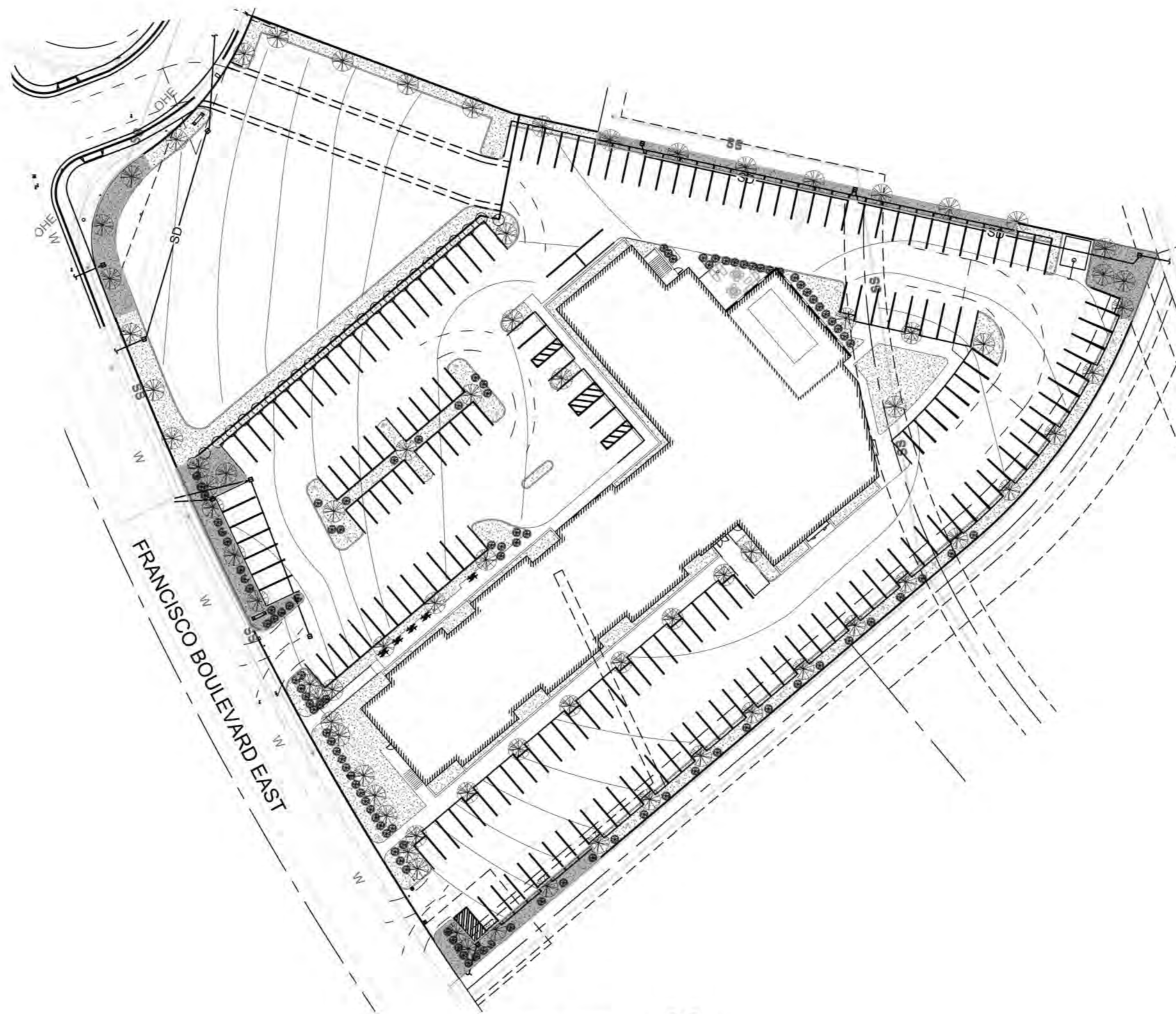
1075 FRANCISCO BOULEVARD EAST

SAN RAFAEL, CA 94901

EXISTING	PROPOSED	DESCRIPTION
---	---	BOUNDARY
---	---	PROPERTY LINE
---	---	RETAINING WALL
---	---	LANDSCAPE RETAINING WALL
---	---	RAINWATER TIGHTLINE
---	---	SUBDRAIN LINE
---	---	TIGHTLINE
---	---	STORM DRAIN LINE
---	---	SANITARY SEWER LINE
---	---	WATER LINE
---	---	GAS LINE
---	---	PRESSURE LINE
---	---	JOINT TRENCH
---	---	SET BACK LINE
---	---	CONCRETE VALLEY GUTTER
---	---	EARTHEN SWALE
CB	CB	CATCH BASIN
JB	JB	JUNCTION BOX
AD	AD	AREA DRAIN
SDMH	SDMH	STORM DRAIN MANHOLE
SSMH	SSMH	SANITARY SEWER MANHOLE
222.57 INV	222.57 INV	SPOT ELEVATION
←	←	FLOW DIRECTION
D	D	DEMOLISH/REMOVE
⊕	⊕	BENCHMARK
---	---	CONTOURS
---	---	TREE TO BE REMOVED

ABBREVIATIONS

AB	AGGREGATE BASE	MAX	MAXIMUM
AC	ASPHALT CONCRETE	MH	MANHOLE
ACC	ACCESSIBLE	MIN	MINIMUM
AD	AREA DRAIN	MON.	MONUMENT
BC	BEGINNING OF CURVE	(N)	NEW
B & D	BEARING & DISTANCE	NO.	NUMBER
BM	BENCHMARK	NTS	NOT TO SCALE
BW/FG	BOTTOM OF WALL/FINISH GRADE	O.C.	ON CENTER
CB	CATCH BASIN	O/	OVER
C & G	CURB AND GUTTER	(PA)	PLANTING AREA
€	CENTER LINE	PE	PEDESTRIAN
CPP	CORRUGATED PLASTIC PIPE (SMOOTH INTERIOR)	PVI	POST INDICATOR VALVE
CO	CLEANOUT	PSS	PUBLIC SERVICES EASEMENT
COTG	CLEANOUT TO GRADE	PL	PROPERTY LINE
CONC	CONCRETE	PP	POWER POLE
CONST	CONSTRUCT or -TION	PUE	PUBLIC UTILITY EASEMENT
CONC COR	CONCRETE CORNER	PVC	POLYVINYL CHLORIDE
CY	CUBIC YARD	R	RADIUS
D	DIAMETER	RCP	REINFORCED CONCRETE PIPE
DI	DROP INLET	RIM	RIM ELEVATION
DIP	DUCTILE IRON PIPE	RW	RAINWATER
EA	EACH	R/W	RIGHT OF WAY
EC	END OF CURVE	S	SLOPE
EG	EXISTING GRADE	S.A.D.	SEE ARCHITECTURAL DRAWINGS
EL	ELEVATIONS	SAN	SANITARY
EP	EDGE OF PAVEMENT	SD	STORM DRAIN
EQ	EQUIPMENT	SDMH	STORM DRAIN MANHOLE
EW	EACH WAY	SHT	SHEET
(E)	EXISTING	S.L.D.	SEE LANDSCAPE DRAWINGS
FG	FACE OF CURB	SPEC	SPECIFICATION
FF	FINISHED FLOOR	SS	SANITARY SEWER
FG	FINISHED GRADE	SSCO	SANITARY SEWER CLEANOUT
FH	FIRE HYDRANT	SSMH	SANITARY SEWER MANHOLE
FL	FLOW LINE	ST	STREET
FS	FINISHED SURFACE	STA	STATION
G	GAS	STD	STANDARD
GA	GAGE OR GAUGE	STRUCT	STRUCTURAL
GB	GRADE BREAK	T	TELEPHONE
HDPE	HIGH DENSITY CORRUGATED POLYETHYLENE PIPE	TC	TOP OF CURB
HORIZ	HORIZONTAL	TEMP	TEMPORARY
HI PT	HIGH POINT	TP	TOP OF PAVEMENT
HST	HUB & TACK	TW/FG	TOP OF WALL/FINISH GRADE
ID	INSIDE DIAMETER	TYP	TYPICAL
INV	INVERT ELEVATION	U.N.O	UNLESS NOTED OTHERWISE
JB	JUNCTION BOX	VC	VERTICAL CURVE
JT	JOINT TRENCH	VCP	VITRIFIED CLAY PIPE
JP	JOINT UTILITY POLE	VERT	VERTICAL
L	LENGTH	W	WITH
LNDD	LANDING	W, WL	WATER LINE
LF	LINEAR FEET	WM	WATER METER
		WWF	WELDED WIRE FABRIC



ESTIMATED EARTHWORK QUANTITIES			
CUBIC YARDS	WITHIN BUILDING FOOTPRINT	OUTSIDE BUILDING FOOTPRINT	TOTAL CUBIC YARDS
CUT	-	-	0
FILL	6,000	17,000	23,000
IMPORT			23,000

NOTE: GRADING QUANTITIES REPRESENT BANK YARDAGE. IT DOES NOT INCLUDE ANY SWELLING OR SHRINKAGE FACTORS AND IS INTENDED TO REPRESENT IN-SITU CONDITIONS. QUANTITIES DO NOT INCLUDE OVER-EXCAVATION, TRENCHING, STRUCTURAL FOUNDATIONS, OR PIERS, OR POOL EXCAVATION (IF ANY). NOTE ADDITIONAL EARTHWORKS SUCH AS KEYWAYS OR BENCHING MAY BE REQUIRED BY THE GEOTECHNICAL ENGINEER IN THE FIELD AT TIME OF CONSTRUCTION. CONTRACTOR TO VERIFY QUANTITIES.

OWNER'S INFORMATION
 OWNER: AMISH PATEL
 ADDRESS: 1075 FRANCISCO BOULEVARD EAST, SAN RAFAEL, CA 94901

- REFERENCES**
- THIS GRADING AND DRAINAGE PLAN IS SUPPLEMENTAL TO:
 1. TOPOGRAPHIC SURVEY BY ADOBE ASSOCIATES, INC. ENTITLED: "ALTA/NSPS LAND TITLE SURVEY" 1220 N. DUTTON AVE. SANTA ROSA, CA 95401 DATED: SEPTEMBER 2018
 - SITE PLAN BY STANTON ARCHITECTURE ENTITLED: "SITE PLAN" 1501 MARIPOSA STREET, SUITE 328 SAN FRANCISCO, CA 94107

THE CONTRACTOR SHALL REFER TO THE ABOVE NOTED SURVEY AND PLAN, AND SHALL VERIFY BOTH EXISTING AND PROPOSED ITEMS ACCORDING TO THEM.

DESIGNER'S STATEMENT
 THIS PLOT PLAN CORRECTLY REPRESENTS A PLOT PLAN MADE BY ME OR UNDER MY DIRECTION.
 I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE ALL PROVISIONS OF APPLICABLE STATE LAWS AND LOCAL ORDINANCES HAVE BEEN COMPLIED WITH.
 I HEREBY FURTHER STATE THAT ALL PROPOSED GRADES, ELEVATIONS, AND CONTOURS DELINEATED UPON THIS PLOT PLAN ARE BASED UPON A SURVEY BY ADOBE ASSOCIATES, INC., DATED SEPTEMBER 2018.

SIGNED: RAYMOND BARRO
 REGISTERED CIVIL ENGINEER NO. C68283 (EXP. 09-30-19)

DISCREPANCIES
 IF THERE ARE ANY DISCREPANCIES BETWEEN DIMENSIONS IN DRAWING AND EXISTING CONDITIONS WHICH WILL AFFECT THE WORK, THE CONTRACTOR SHALL BRING SUCH DISCREPANCIES TO THE ATTENTION OF THE ENGINEER FOR ADJUSTMENT BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER FITTING OF ALL WORK AND FOR THE COORDINATION OF ALL TRADES, SUBCONTRACTORS, AND PERSONS ENGAGED.

BENCHMARK
 2 INCH ALUMINUM CAP IN CONCRETE STAMPED "SONOMA MARIN AREA RAIL TRANSIT PROJECT CONTROL PLS 7935", MONUMENT NUMBER 155 AS SHOWN ON THE "RECORD OF SURVEY" FILED JULY 9, 2010 IN BOOK 2010 OF MAPS AT PAGE 96, MARIN COUNTY RECORDS.
 ELEVATION=3.44 (DATUM OF NAVD 88)

ESTIMATED EARTHWORK QUANTITIES AND AREA OF DISTURBANCE
 EARTHWORK QUANTITIES ARE ESTIMATES ONLY AND ARE NOT ADJUSTED FOR SHRINKAGE, CONSOLIDATION, AND CLEARING LOSS FACTORS. THESE QUANTITIES ARE TO BE USED FOR BIDDING AND PERMIT PURPOSES ONLY. CONTRACTOR SHALL MAKE THEIR OWN SITE VISIT AND QUANTITY TAKE-OFF AND SHALL BID ACCORDINGLY.

NOTES
 1. EROSION CONTROL MEASURES SHALL BE IMPLEMENTED ONCE THE PROJECT HAS COMMENCED AND SHALL BE MAINTAINED UNTIL PROJECT IS COMPLETE.

SHEET INDEX

COVER	COVER SHEET
T	TOPOGRAPHIC SURVEY / ALTA
C1.0	CIVIL SITE PLAN
C2.0	GRADING & DRAINAGE PLAN / UTILITY PLAN
SW	STORMWATER MANAGEMENT PLAN
EC1.0	EROSION AND SEDIMENT CONTROL PLAN
EC2.0	EROSION AND SEDIMENT CONTROL DETAILS



THE EXISTING INFORMATION SHOWN ON THESE PLANS IS PER THE SURVEY COMPLETED BY: ADOBE ASSOCIATES, INC. 1220 N. DUTTON AVE. SANTA ROSA, CA 95401 707.541.2300 DATED: SEPT. 2018. THE CONTRACTOR SHALL VERIFY EXISTING SITE CONDITIONS AND CONTACT THE ENGINEER IF DISCREPANCIES ARE NOTED.

UTILITY STATEMENT
 LOCATION OF EXISTING UNDERGROUND UTILITIES HAVE BEEN TAKEN FROM DRAWINGS AND FIELD LOCATES SUPPLIED BY THE APPROPRIATE UTILITY COMPANIES. UTILITY LOCATIONS SHOWN ON THIS DRAWING ARE APPROXIMATE ONLY. PRIOR TO BEGINNING ANY CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF EACH UTILITY.

REVISIONS			
NO.	DATE	DESCRIPTION	BY

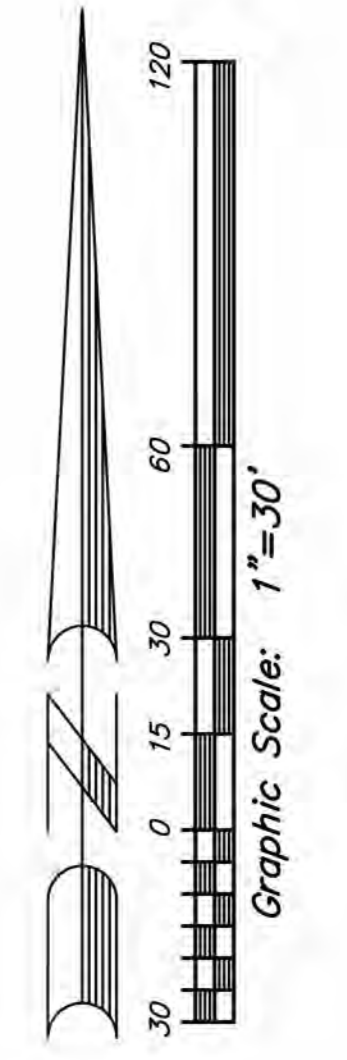
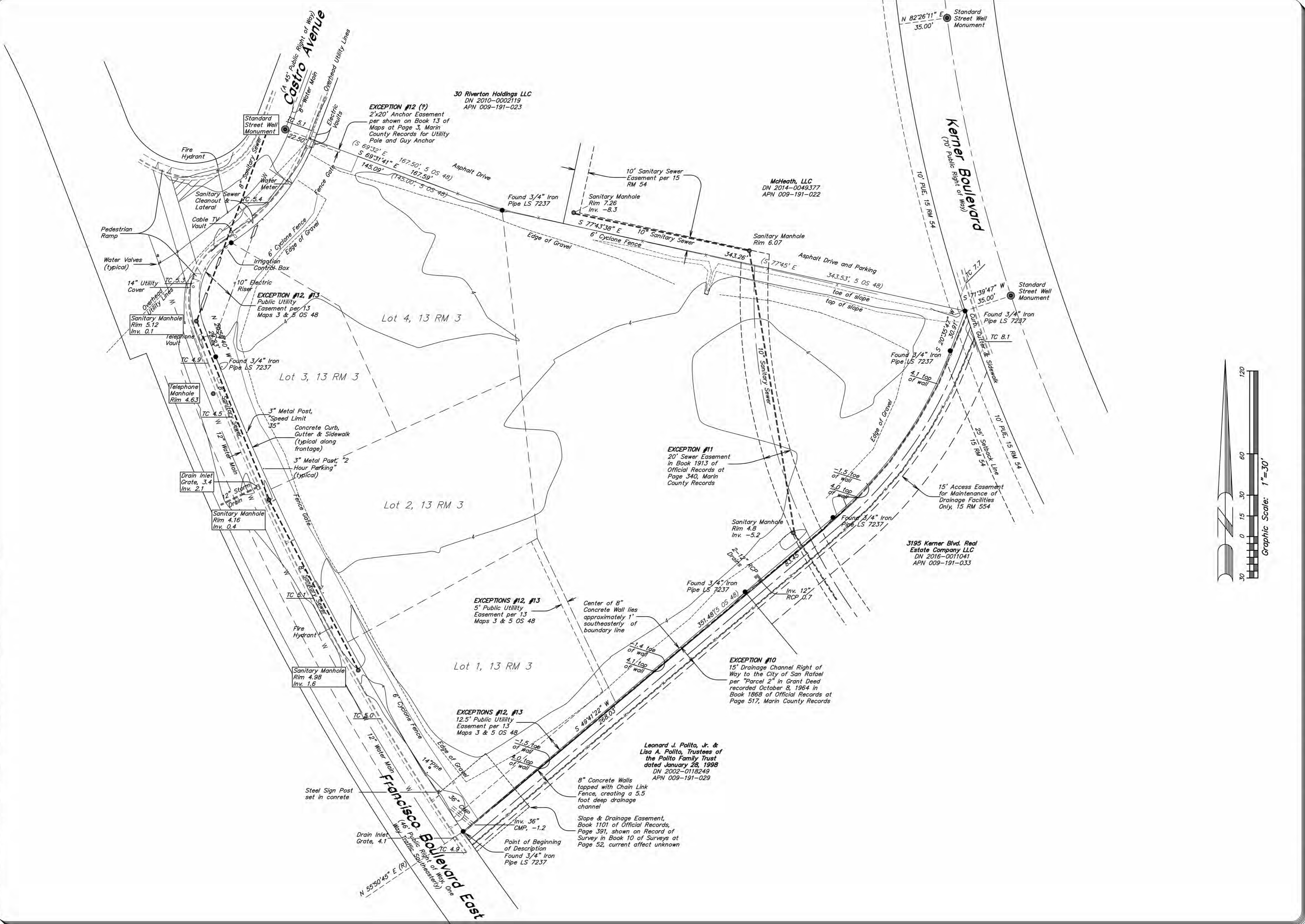
COFFMAN ENGINEERS 1939 Harrison Street Suite 320 Oakland, California 94612 510.251.9578

HILTON HOTEL
 1075 FRANCISCO BOULEVARD EAST
 SAN RAFAEL, CA 94901

DRAWING TITLE: **COVER**

PROJECT NO. 181850	SCALE:	DATE:	REVISION NO.
DESIGNED BY: ALB	CHECKED BY: CB	DRAWING NO. COV	
DRAWN BY: ALB	REVIEWED BY: CB		

File: P:\Box\18\18.dwg 1075 Francisco Blvd East 1075 Francisco Blvd East 1075 Francisco Blvd East 1075 Francisco Blvd East 1075 Francisco Blvd East
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 Time: Aug 08, 2019 - 6:12pm



No.	Date	Description	Approved

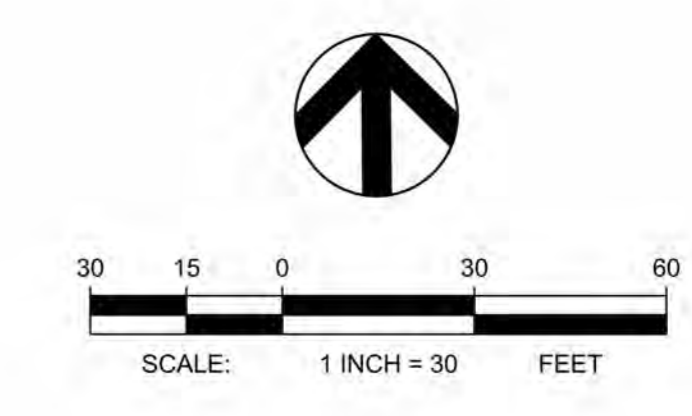
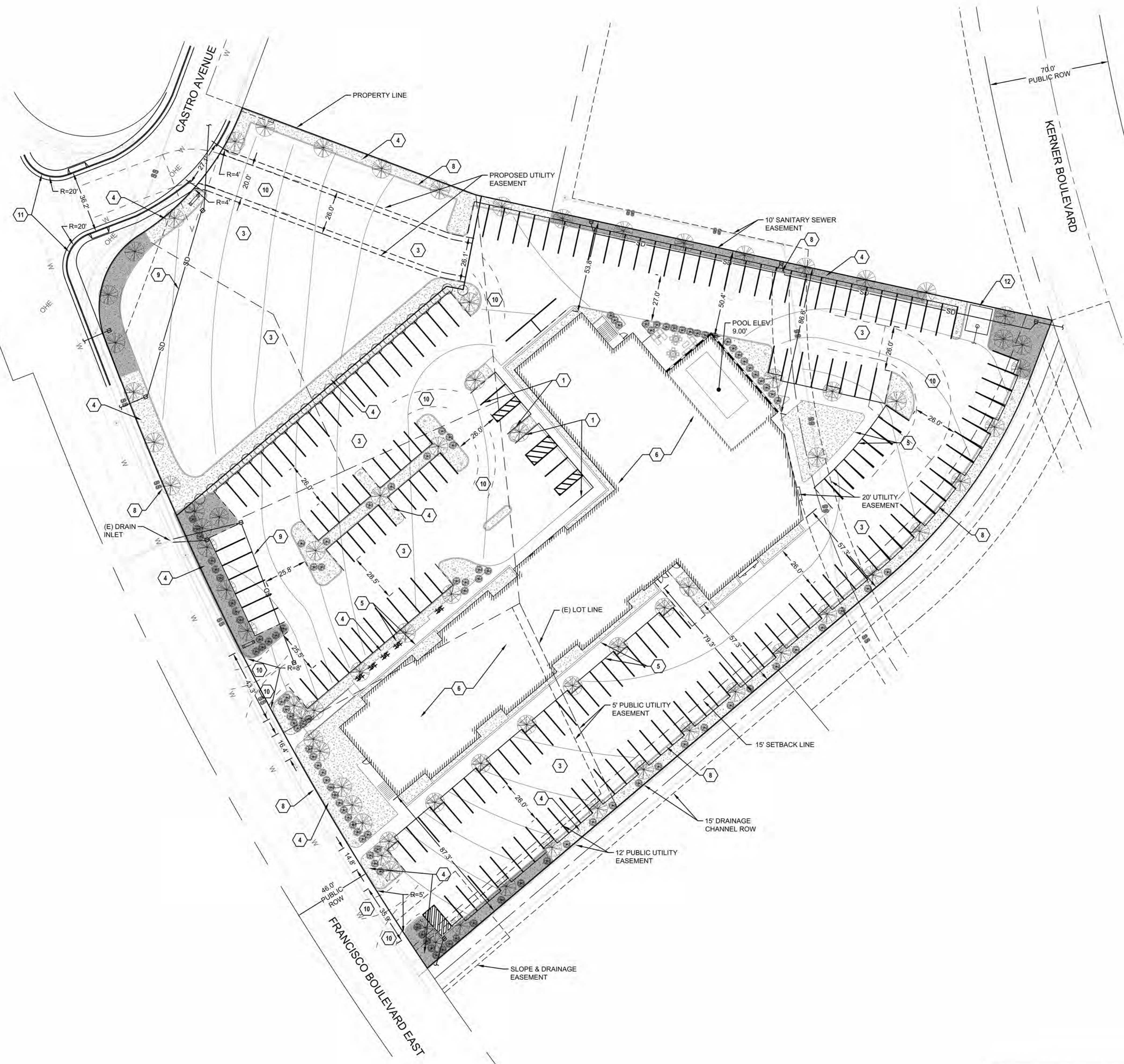
1220
 N. Dutton Ave
 Santa Rosa,
 CA 95401
 707 541 2300
 Fax: 707 541 2301
ALTA
 Associates, Inc.
 Civil Engineering,
 Land Surveying &
 Land Development
 Services



ALTA/NSPS Land Title Survey
 1075 Francisco Boulevard East
 DN 2014-0008872
 APN 009-191-02, 03, 04, 09, 10

Scale: 1" = 30'
 Date: September 2018
 Design by:
 Drawn by:
 Checked by:

Sheet
2
 of 2 sheet
 Job No. 18293



NOTES (1-20)

- 1 (N) ADA ACCESSIBLE PARKING STALLS. 2% MAX. SLOPE IN ALL DIRECTIONS.
- 2 (N) PARKING LOT STRIPING.
- 3 (N) AC PAVED PARKING LOT.
- 4 (N) LANDSCAPE STRIP. USE PLANTERS TO MEET LID REQUIREMENTS. SIZE AT 4% OF IMPERVIOUS. SEE STORMWATER PLAN.
- 5 (N) CONCRETE WALKWAY.
- 6 (N) BUILDING ROOF.
- 7 (N) LOADING ZONE.
- 8 (N) CONCRETE CURB.
- 9 (N) STORM DRAIN.
- 10 MINIMUM FIRE ACCESS WITH MIN. INNER RADIUS R=30' AND OUTER RADIUS R=50' AS SHOWN.
- 11 (N) SIDEWALK.
- 12 (N) TRASH ENCLOSURE. SET FLAT @ 1.5% MIN. INSTALL (N) SSCO WITH LATERAL.

THE EXISTING INFORMATION SHOWN ON THESE PLANS IS PER THE SURVEY COMPLETED BY:
 ADDBE ASSOCIATES, INC.
 1220 N. DUTTON AVE.
 SANTA ROSA, CA 95401
 707.541.2300
DATED: SEPT. 2018.
 THE CONTRACTOR SHALL VERIFY EXISTING SITE CONDITIONS AND CONTACT THE ENGINEER IF DISCREPANCIES ARE NOTED.

UTILITY STATEMENT
 LOCATION OF EXISTING UNDERGROUND UTILITIES HAVE BEEN TAKEN FROM DRAWINGS AND FIELD LOCATES SUPPLIED BY THE APPROPRIATE UTILITY COMPANIES. UTILITY LOCATIONS SHOWN ON THIS DRAWING ARE APPROXIMATE ONLY. PRIOR TO BEGINNING ANY CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF EACH UTILITY.



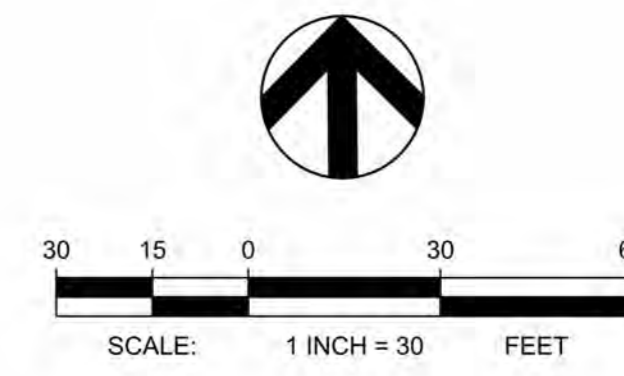
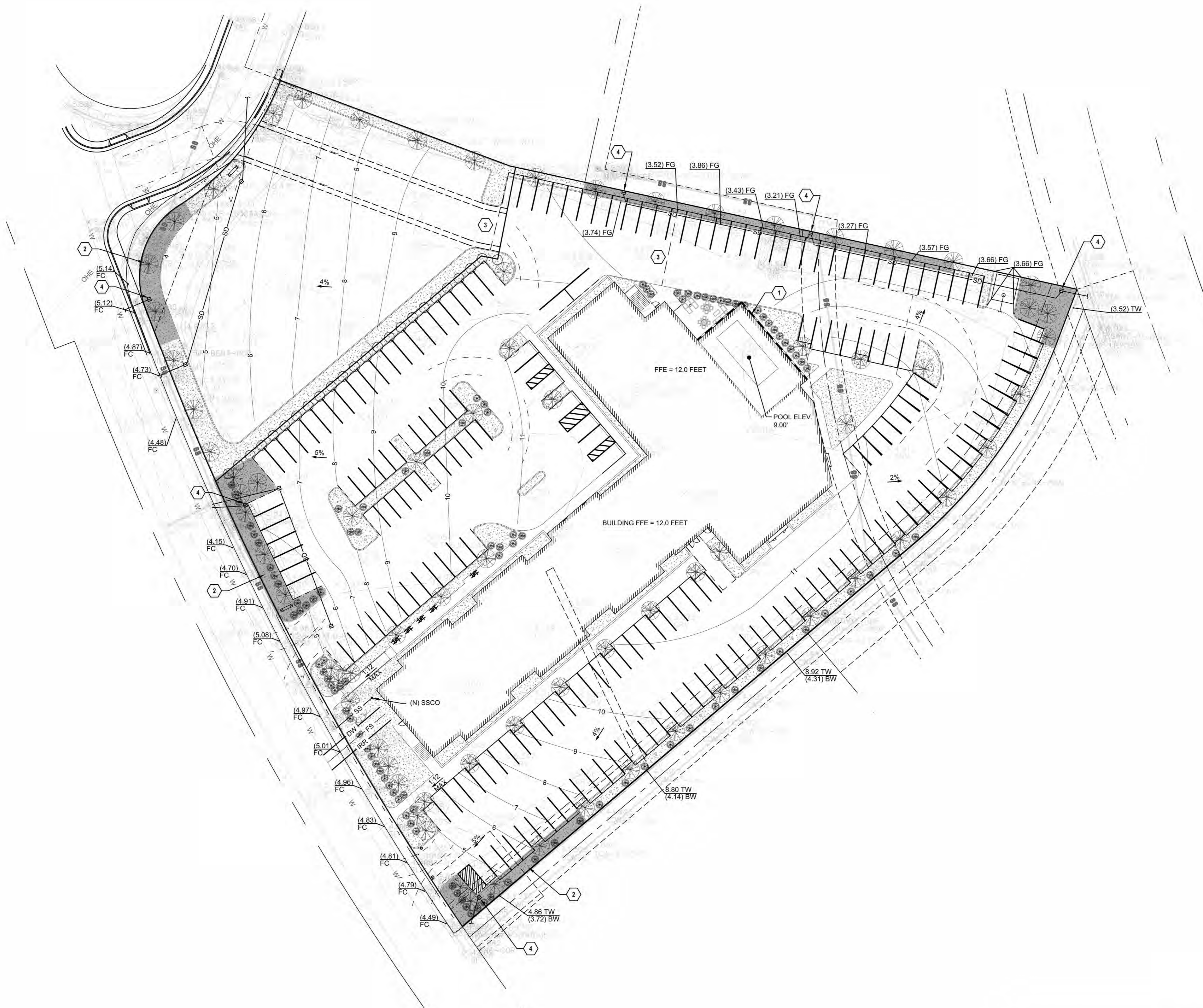
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NO.	DATE	DESCRIPTION	BY

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 Oakland, California 94612 510.251.9578

HILTON HOTEL
 1075 FRANCISCO BOULEVARD EAST
 SAN RAFAEL, CA 94901

DRAWING TITLE
CIVIL SITE PLAN

PROJECT NO. 181850	SCALE:	DATE:	REVISION NO.
DESIGNED BY: ALB	CHECKED BY: CB	DRAWING NO. C1.0	
DRAWN BY: ALB	REVIEWED BY: CB		



- NOTES (1-20)**
- 1 WALL AROUND POOL AREA 3' HEIGHT MAX.
 - 2 (N) LID TREATMENT, BIORETENTION SIZED PER FLOW BASED DESIGN.
 - 3 GRADE BREAK (GB).
 - 4 (N) CATCH BASIN AND STORM OVERFLOW SYSTEM.

THE EXISTING INFORMATION SHOWN ON THESE PLANS IS PER THE SURVEY COMPLETED BY: ADOBE ASSOCIATES, INC. 1220 N. DUTTON AVE. SANTA ROSA, CA 95401 707.541.2300
 DATED: SEPT. 2018.
 THE CONTRACTOR SHALL VERIFY EXISTING SITE CONDITIONS AND CONTACT THE ENGINEER IF DISCREPANCIES ARE NOTED.

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NO.	DATE	DESCRIPTION	BY

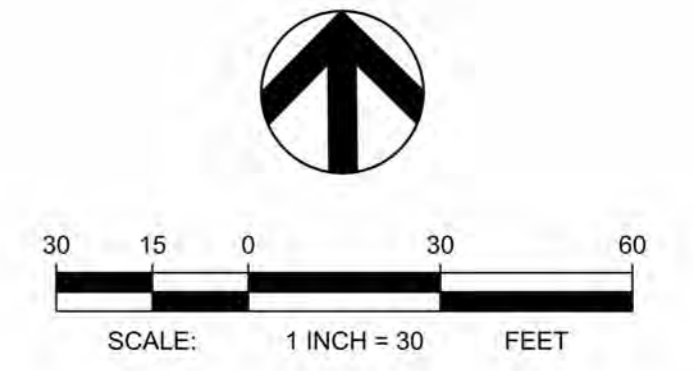
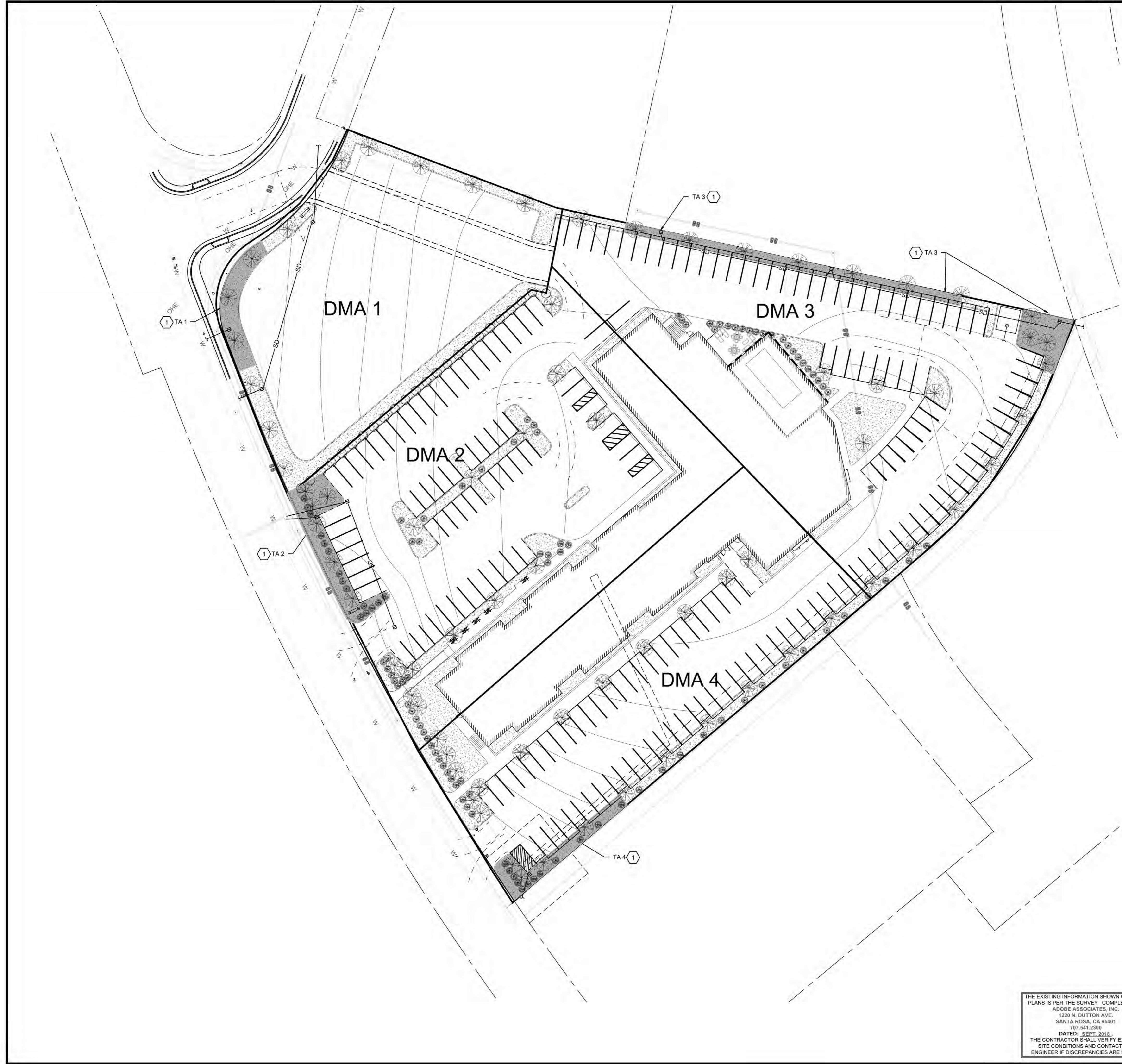
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 SAN RAFAEL, CA 94901

DRAWING TITLE
GRADING & DRAINAGE PLAN

PROJECT NO. 181850	SCALE:	DATE:	REVISION NO.
DESIGNED BY: ALB	CHECKED BY: CB	DRAWN BY: ALB	REVIEWED BY: CB

C2.0



IMPERVIOUS AREA TABLE (IN SQ FEET)				
DRAINAGE MANAGEMENT AREA (DMA)	TYPE	EXISTING	PROPOSED	TREATMENT AREA (TA, 4%) REQ'D
DMA 1	ROOF	0	0	900
	CONCRETE/ASPHALT	0	22,400	
	GRAVEL	21,050	0	
DMA 2	ROOF	0	8,700	1,550
	CONCRETE/ASPHALT	0	29,600	
	GRAVEL	42,250	0	
DMA 3	ROOF	0	9,350	1,425
	CONCRETE/ASPHALT	0	26,100	
	GRAVEL	31,400	0	
DMA 4	ROOF	0	8,810	1,525
	CONCRETE/ASPHALT	0	29,100	
	GRAVEL	27,800	0	
TOTAL IMPERVIOUS		122,500	134,060	5,400

NOTE:
SEE GRADING AND DRAINAGE PLAN FOR NOTES AND DETAIL REFERENCES.

(N) LID BIO-RETENTION TREATMENT AREA (TA) SIZED AT 4% IMPERVIOUS AREA PER FLOW BASED DESIGN CRITERIA.

THE EXISTING INFORMATION SHOWN ON THESE PLANS IS PER THE SURVEY COMPLETED BY:
ADOBE ASSOCIATES, INC.
1220 N. DUTTON AVE.
SANTA ROSA, CA 95401
707.541.2300
DATED: SEPT. 2018.
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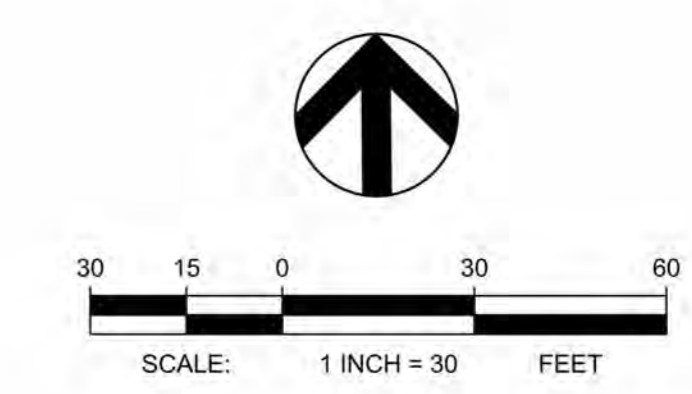
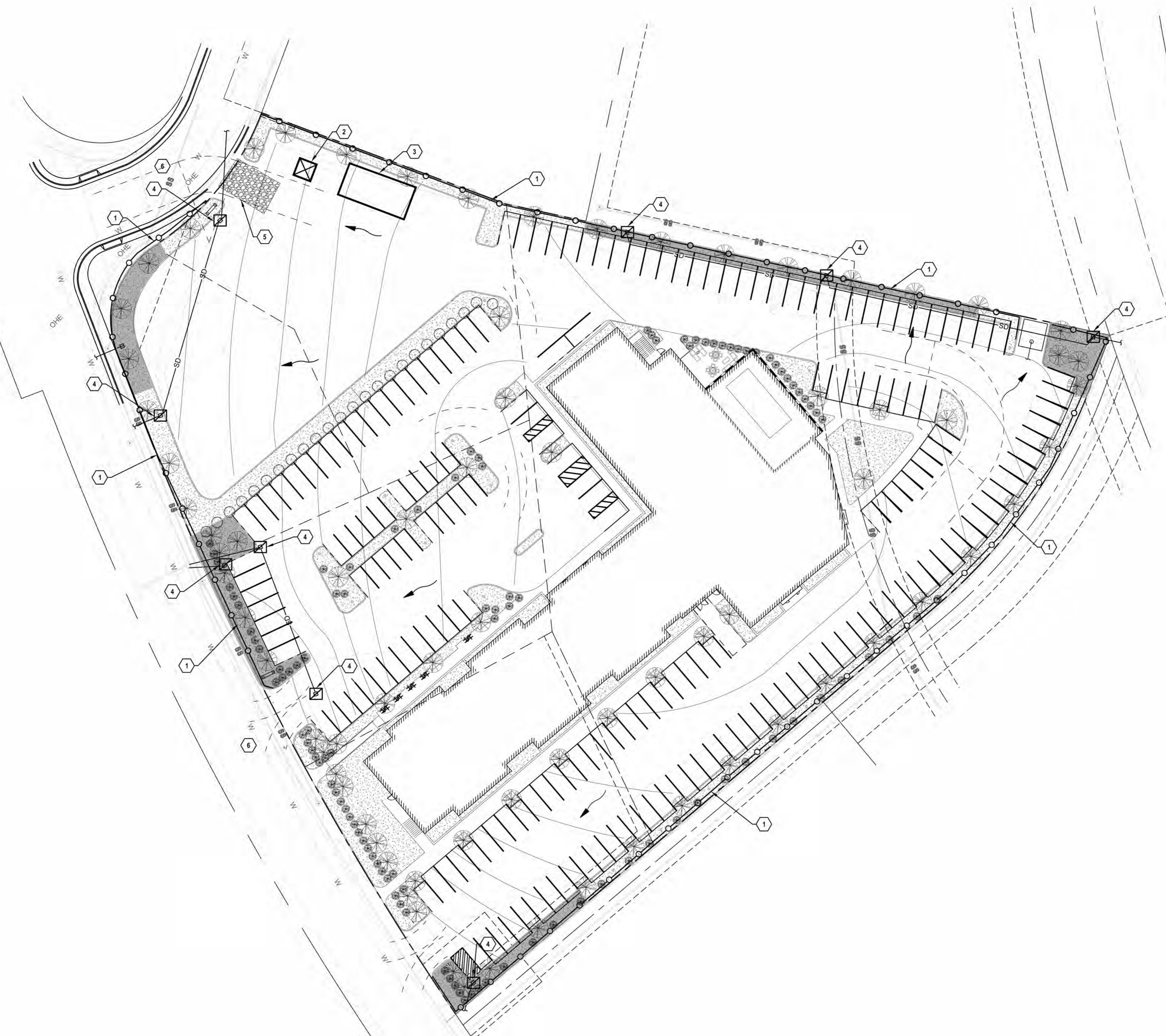
REVISIONS			
NO.	DATE	DESCRIPTION	BY

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Oakland, California 94612
510.251.9578

HILTON HOTEL
1075 FRANCISCO BOULEVARD EAST
SAN RAFAEL, CA 94901

DRAWING TITLE
STORMWATER PLAN

PROJECT NO. 181850	SCALE:	DATE:	REVISION NO.
DESIGNED BY: ALB	CHECKED BY: CB	DRAWING NO. SW	
DRAWN BY: ALB	REVIEWED BY: CB		



- EROSION & SEDIMENT CONTROL MEASURES**
- 1 INSTALL FIBER ROLLS OR EQUAL ALTERNATIVE PER DETAIL B ON SHEET EC2.0.
 - 2 INSTALL TEMPORARY CONCRETE WASHOUT PER DETAIL D ON SHEET EC2.0
 - 3 STAGING AND STORAGE - MATERIAL DELIVERY AND STORAGE. LOCATION TO BE CHOSEN BY CONTRACTOR.
 - 4 INSTALL INLET SEDIMENT CONTROL DEVICE OR EQUIVALENT ALTERNATIVE AROUND EXISTING INLET PER DETAIL C ON SHEET EC2.0.
 - 5 INSTALL CONSTRUCTION ENTRANCE/EXIT PER DETAIL A ON SHEET EC2.0.
 - 6 SWEEP STREETS AS NEEDED (BMP SE-7).

- LEGEND**
- FIBER ROLL/SILT FENCE
 - INLET PROTECTION
 - DRAINAGE PATH
 - STABILIZED CONSTRUCTION ENTRANCE/EXIT

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 ADDBE ASSOCIATES, INC.
 1220 N. DUTTON AVE.
 SANTA ROSA, CA 95401
 707.541.2300
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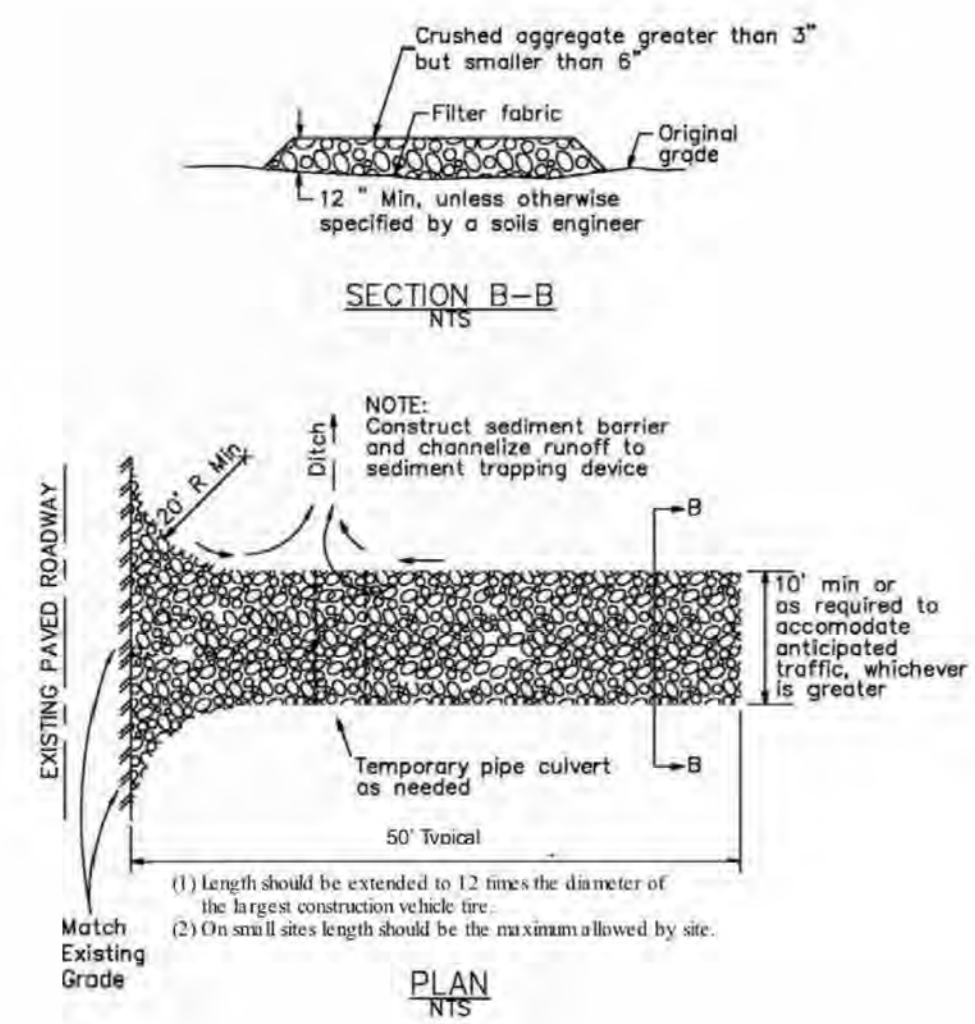
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DRAWING TITLE
EROSION CONTROL PLAN

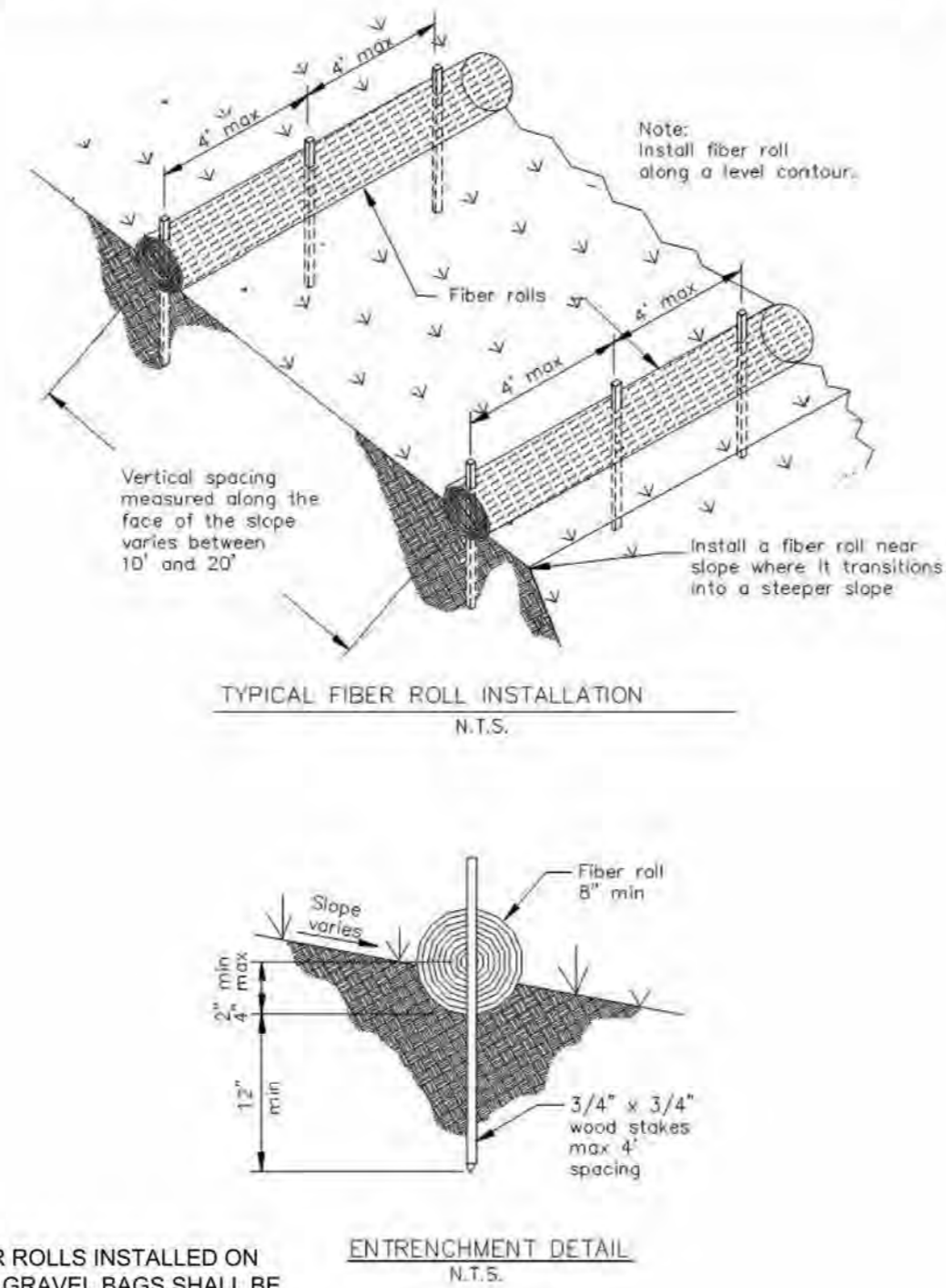
PROJECT NO. 181850	SCALE:	DATE:	REVISION NO.
DESIGNED BY: ALB	CHECKED BY: CB	DRAWING NO. EC1.0	
DRAWN BY: ALB	REVIEWED BY: CB		

Stabilized Construction Entrance/Exit TC-1



A STABILIZED CONSTRUCTION ENTRANCE SCALE: NTS

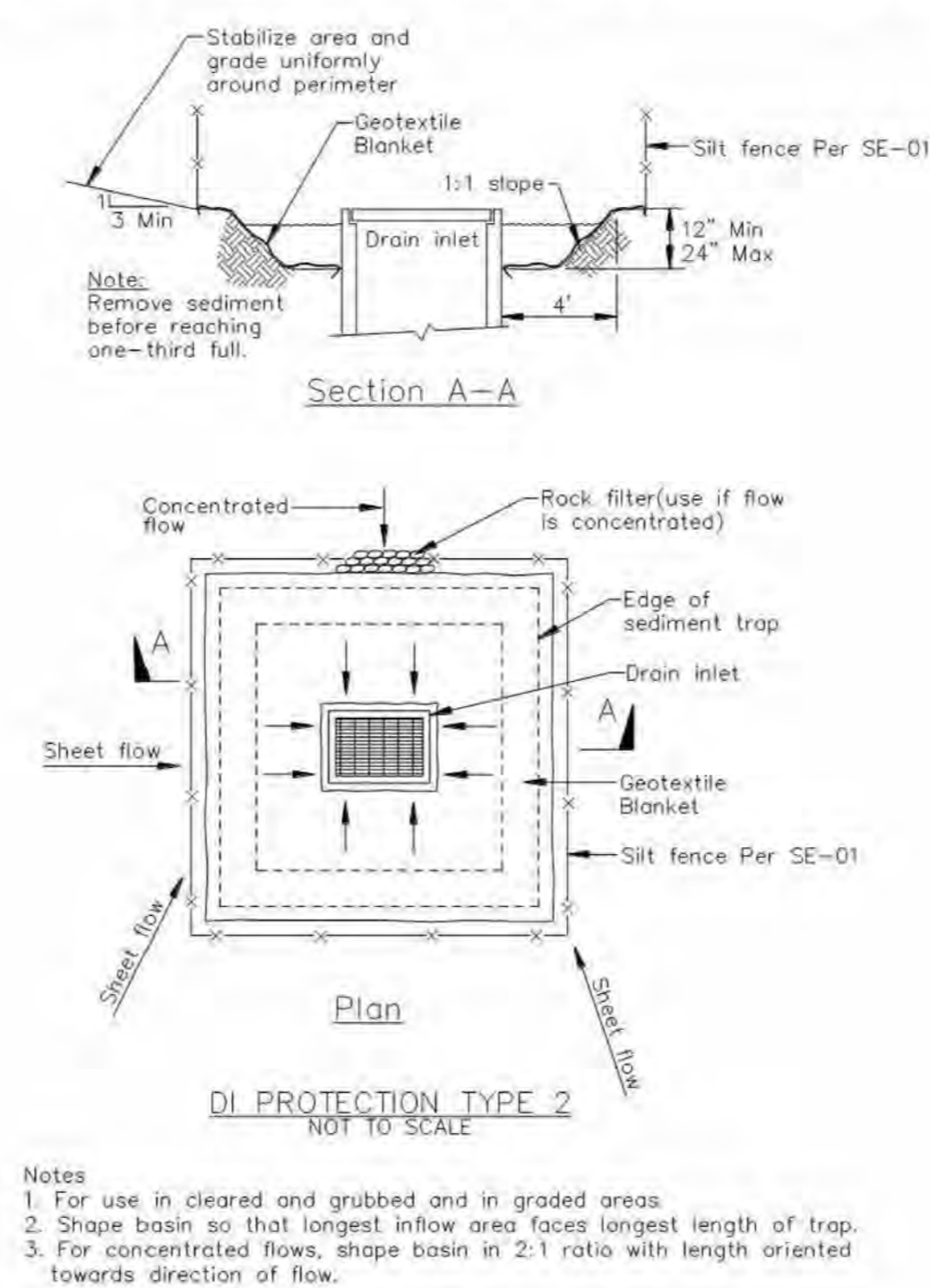
Fiber Rolls SE-5



NOTE: FOR FIBER ROLLS INSTALLED ON ASPHALT, GRAVEL BAGS SHALL BE USED TO SECURE

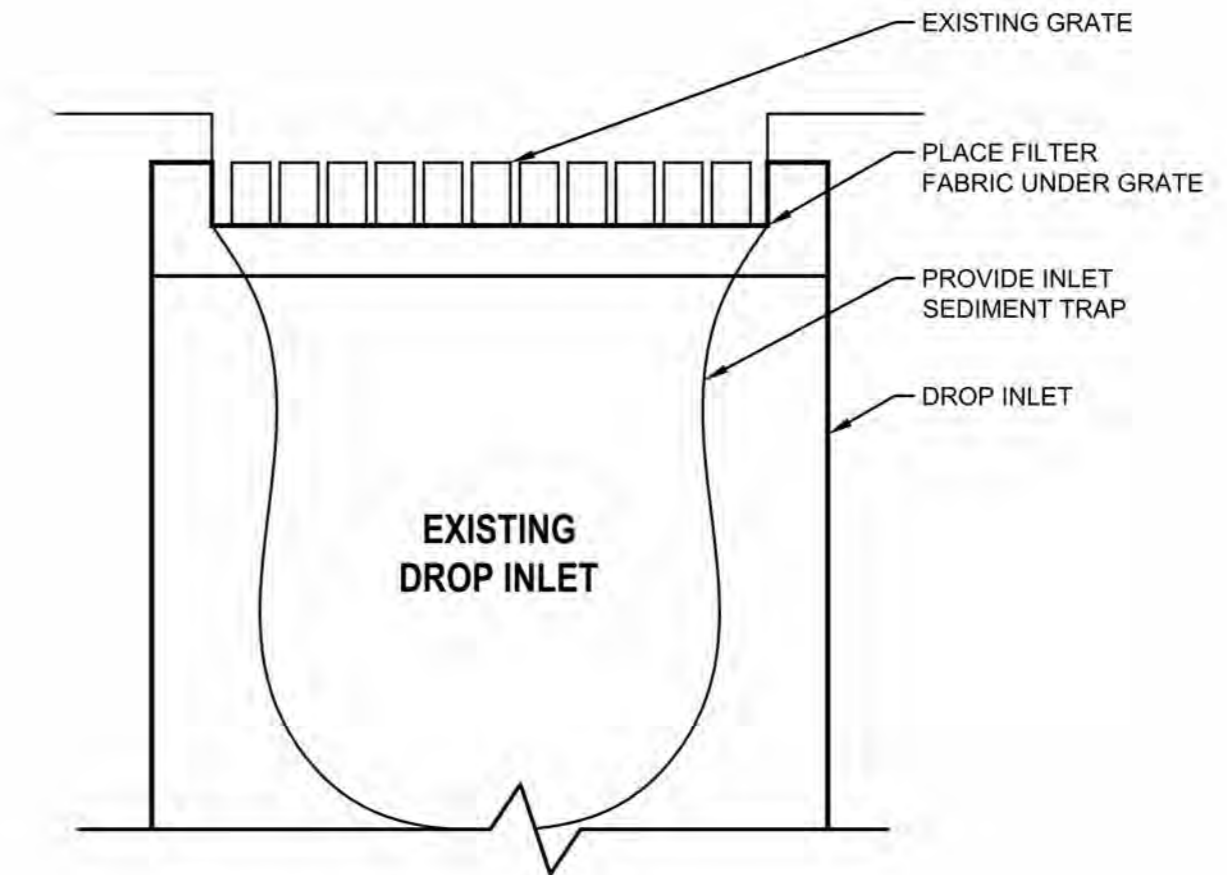
B FIBER ROLL SCALE: NTS

Storm Drain Inlet Protection SE-10



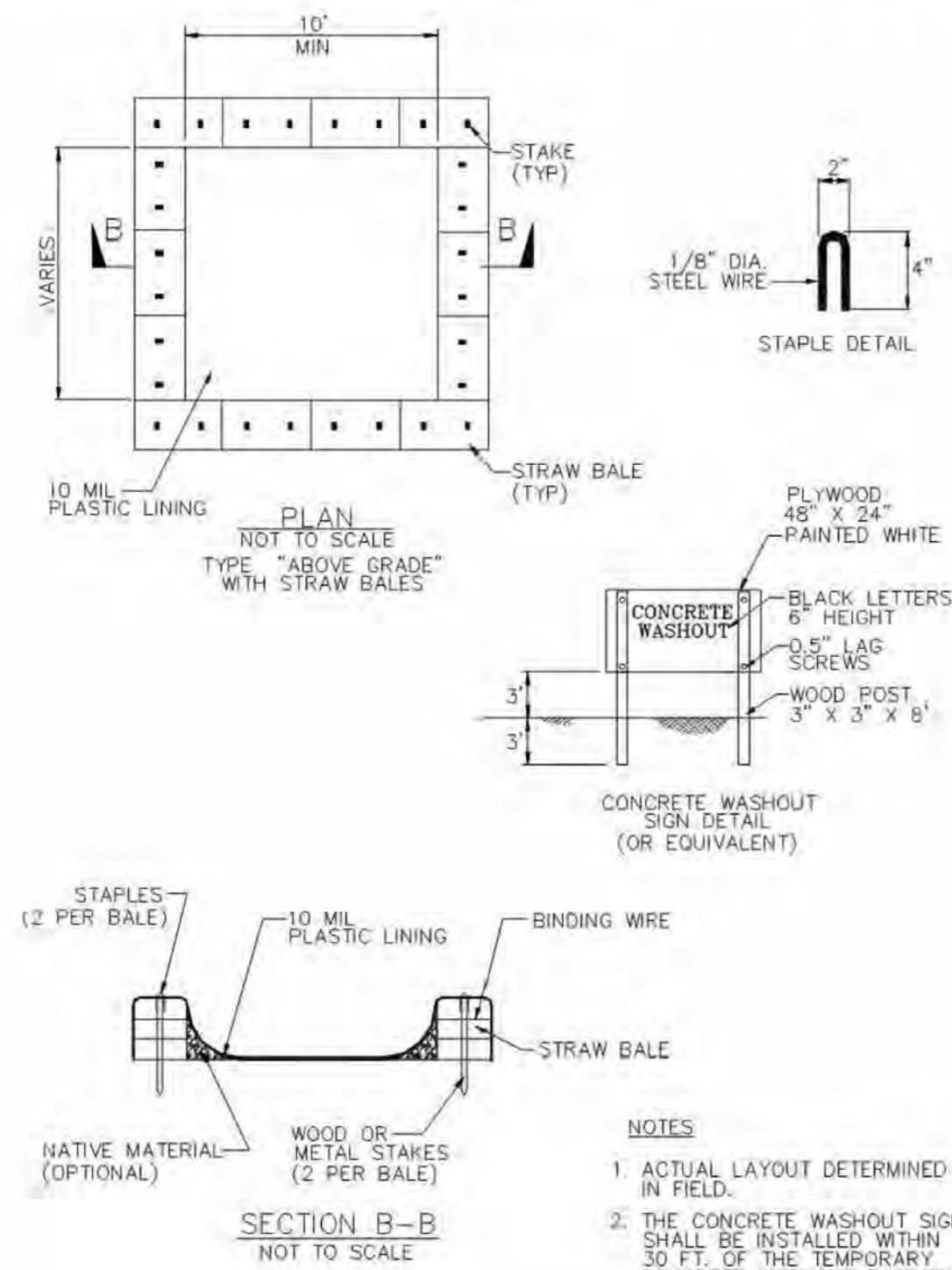
Notes
1. For use in cleared and grubbed and in graded areas.
2. Shape basin so that longest inflow area faces longest length of trap.
3. For concentrated flows, shape basin in 2:1 ratio with length oriented towards direction of flow.

C INLET PROTECTION SCALE: NTS



- NOTES**
1. PLACE FIBER ROLLS AROUND THE INLET CONSISTENT WITH DROP INLET GRAVEL BAG PROTECTION AND CURB INLET GRAVEL BAG PROTECTION DETAILS SHOWN ON THIS SHEET. ROLLS ARE TUBES MADE FROM STRAW BOUND WITH PLASTIC NETTING, APPROX. 8" DIAMETER AND 20 TO 30 FEET LONG.
 2. FIBER ROLL INSTALLATION REQUIRES THE PLACEMENT AND SECURE STAKING OF THE FIBER ROLL IN A TRENCH, 3" - 4" DEEP, DUG ON CONTOUR. MUST NOT BE ALLOWED TO RUN UNDER OR AROUND FIBER ROLL.
 3. THE TOP OF THE STRUCTURE (PONDING HEIGHT) MUST BE WELL BELOW THE GROUND ELEVATION DOWNSLOPE TO PREVENT RUNOFF FROM BY-PASSING THE INLET. EXCAVATION OF A BASIN ADJACENT TO THE DROP INLET OR A TEMPORARY DITCH ON THE DOWNSLOPE OF THE STRUCTURE MAY BE NECESSARY.
 4. TEMPORARY REMOVABLE TRASH RACK, IF SITE CONDITIONS WARRANT, PROVIDE, AND INSTALL TRASH RACK MADE FROM GALVANIZED WELDED WIRE FABRIC WITH OPENING SIZE 2" BY 2" FORMED AND ATTACHED TO THE INLET TOP GRATE WITH STEEL WIRE TIES AND BURRY WELDED WIRE FABRIC 4" MINIMUM BELOW TEMPORARY ROUGH GRADE GROUND ELEVATION.

Concrete Waste Management WM-8



D CONCRETE WASTE MANAGEMENT SCALE: NTS

EROSION AND SEDIMENT CONTROL BMP NOTES

1. THIS PLAN MAY NOT COVER ALL THE SITUATIONS OR PHASES THAT ARISE DURING CONSTRUCTION DUE TO UNANTICIPATED FIELD CONDITIONS. IN GENERAL, THE CONTRACTOR IS RESPONSIBLE FOR KEEPING SEDIMENT STORM RUNOFF FROM LEAVING THE SITE. SEDIMENT ROLLS AND SILT FENCES SHALL BE USED BY THE CONTRACTOR ON AN AS NEEDED BASIS TO INHIBIT SILT FROM LEAVING THE SITE AND ENTERING THE STORM DRAIN SYSTEM. TEMPORARY EROSION CONTROL DEVICES SHOWN ON GRADING PLAN WHICH INTERFERE WITH THE WORK SHALL BE RELOCATED OR MODIFIED WHEN THE INSPECTOR SO DIRECTS AS THE WORK PROGRESSES.
2. EROSION CONTROL FACILITIES SHALL BE MAINTAINED DAILY. THESE FACILITIES SHALL CONTROL AND CONTAIN EROSION-CAUSED SILT DEPOSITS AND PROVIDE FOR THE SAFE DISCHARGE OF SILT FREE STORM WATER INTO EXISTING AND PROPOSED STORM DRAIN FACILITIES. DESIGN OF THESE FACILITIES MUST BE APPROVED AND UPDATED EACH YEAR BY THE ENGINEER (OCTOBER 1 TO APRIL 15).
3. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH CITY STANDARD.
4. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL SUB-CONTRACTOR AND SUPPLIERS ARE AWARE OF ALL STORM WATER QUALITY MEASURES AND IMPLEMENT SUCH MEASURES. FAILURE TO COMPLY WITH THE APPROVED CONSTRUCTION WILL RESULT IN THE ISSUANCE OF CORRECTION NOTICES, CITATIONS, AND / OR A PROJECT STOP ORDER.
5. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT LADEN RUNOFF TO ANY STORM DRAIN SYSTEM. THE SITE IS TO BE MAINTAINED SO AS TO MINIMIZE SEDIMENT RUNOFF TO ANY STORM DRAIN SYSTEM.
6. DURING PERIODS WHEN STORMS ARE FORECAST:
 - A. EXCAVATED SOILS SHOULD NOT BE PLACED IN STREETS OR ON PAVED AREAS.
 - B. ANY EXCAVATED SOILS SHOULD BE REMOVED FROM THE SITE BY THE END OF DAY.
 - C. WHERE STOCKPILING IS NECESSARY, USE A TARPULIN OR SURROUND THE STOCKPILE WITH FIBER ROLLS, GRAVEL SEDIMENT BARRIER, SILT FENCE, OR OTHER RUNOFF CONTROLS.
 - D. USE INLET CONTROLS AS NEEDED (E.G. BLOCK AND GRAVEL SEDIMENT BARRIER) FOR STORM DRAIN ADJACENT TO THE PROJECT SITE OR STOCKPILED SOIL.
7. THOROUGHLY SWEEP ALL PAVED AREAS EXPOSED TO SOIL EXCAVATION AND PLACEMENT.
8. STAND-BY CREWS SHALL BE ALERTED BY THE OWNER OR CONTRACTOR FOR EMERGENCY WORK DURING RAINSTORMS.
9. AFTER OCTOBER 1ST TO APRIL 15TH, ALL EROSION CONTROL MEASURES WILL BE INSPECTED DAILY AND AFTER EACH STORM.
10. BORROW AREAS AND TEMPORARY STOCKPILES SHALL BE PROTECTED WITH APPROPRIATE EROSION CONTROL MEASURES TO THE SATISFACTION OF THE ENGINEER.
11. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING SAFETY OF VEHICLES OPERATING IN ROADWAY ADJACENT TO EROSION CONTROL FACILITY.
12. DUST CONTROL SHOULD BE PRACTICED ON ALL CONSTRUCTION SITES WITH EXPOSED SOILS AS NEEDED. IT IS IMPORTANT IN WINDY OR WIND-PRONE AREAS. DUST CONTROL IS CONSIDERED A TEMPORARY MEASURE AND AS INTERMEDIATE TREATMENT BETWEEN SITE DISTURBANCE AND CONSTRUCTION, PAVING, OR REVEGETATION. REFER TO CASQA BMP HANDBOOK.

EROSION AND SEDIMENT CONTROL BMP MAINTENANCE NOTES

1. USE FIBER ROLL ALONG CONTOURS OF SHORT SLOPES OR SLOPES 3:1 OR FLATTER, KEYED INTO GROUND AT LEAST 3" DEEP (TYPICALLY 25' APART).
2. INSTALL SILT FENCE ALONG CONTOURS AS SECONDARY MEASURE TO KEEP SEDIMENT ONSITE AND TO MINIMIZE

VEHICLE AND FOOT TRAFFIC BEYOND LIMITS OF SITE DISTURBANCE. SILT FENCING MUST BE KEYED IN.

3. CONSTRUCT A CONCRETE WASHOUT SITE ADJACENT TO STABILIZED ENTRANCE. CLEAN AS NEEDED AND REMOVE AT END OF PROJECT.
4. COVER ALL STOCKPILES AND LANDSCAPE MATERIAL AND BERM PROPERLY WITH STRAW WATTLES OR SAND BAGS. KEEP BEHIND SILT FENCE, AWAY FROM WATER BODIES. HAZARDOUS MATERIALS AND REFUSE MUST BE KEPT IN CLOSED CONTAINERS THAT ARE COVERED AND UTILIZE SECONDARY CONTAINMENT, NOT DIRECTLY ON SOIL.
5. USE PEA-GRAVEL BAGS, (OR SIMILAR PRODUCT) AROUND DRAIN INLETS LOCATED BOTH ONSITE AND IN GUTTER AS A LAST LINE OF DEFENSE.
6. PLACE PORT-A-POTTY WITH SECONDARY CONTAINMENT, BEHIND THE CURB AND AWAY FROM GUTTERS, STORM DRAIN INLETS, AND WATER BODIES.
7. COVER ALL EXPOSED SOIL WITH STRAW MULCH AND TACKIFIER (OR EQUIVALENT).
8. EXISTING VEGETATION SHOULD BE PRESERVED AS MUCH AS POSSIBLE. AREAS OF DISTURBED SOIL/VEGETATION SHOULD BE REVEGETATED AS SOON AS PRACTICAL.
9. PREVENT EQUIPMENT FLUID LEAKS ONTO GROUND BY PLACING DRIP PANS OR PLASTIC TARPS UNDER EQUIPMENT. REPAIR EQUIPMENT AS NECESSARY.

ADDITIONAL BMPs DURING CONSTRUCTION

1. LIMIT THE EXTENT OF LAND DISTURBANCE TO THE MINIMUM AMOUNT NECESSARY TO CONSTRUCT THE PROJECT.
2. HYDROSEED DISTURBED AREAS WITH NATIVE PLANTS IMMEDIATELY UPON CONCLUSION OF CONSTRUCTION ACTIVITIES.
3. STAGING AREAS OF CONSTRUCTION EQUIPMENT AND MATERIALS, INCLUDING RECEPTACLES AND TEMPORARY STOCKPILES OF GRADED MATERIALS MUST BE COVERED ON A DAILY BASIS.
4. GOOD CONSTRUCTION MEASURES SUCH AS THE USE OF DRY CLEANUP MEASURES WHENEVER POSSIBLE, COLLECTING AND FILTERING CLEANUP WATER WHEN DRY CLEANUP METHODS ARE NOT FEASIBLE, CLEANING AND REFUELING CONSTRUCTION EQUIPMENT AT DESIGNATED OFF SITE MAINTENANCE AREAS, AND IMMEDIATE CLEANUP OF ANY LEAKS OR SPILLS.

REVISIONS			
NO.	DATE	DESCRIPTION	BY

COFFMAN ENGINEERS 1939 Harrison Street Suite 320
Oakland, California 94612
510.251.9578

HILTON HOTEL
1075 FRANCISCO BOULEVARD EAST
SAN RAFAEL, CA 94901

DRAWING TITLE
EROSION CONTROL DETAILS

PROJECT NO. 181850	SCALE:	DATE:	REVISION NO.
DESIGNED BY: ALB	CHECKED BY: CB	DRAWN BY: ALB	REVIEWED BY: CB

EC2.0



IRRIGATION DESIGN INTENT

1. THESE PLANS SHALL COMPLY WITH THE REQUIREMENT OF THE STATE OF CALIFORNIA'S MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWELO), THE CITY OF SAN RAFAEL, AND MARIN COUNTY WATER DISTRICT.
2. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO PROVIDE THE MINIMUM AMOUNT OF WATER NECESSARY TO SUSTAIN GOOD PLANT HEALTH.
3. THE IRRIGATION SYSTEM IS TO BE A FULLY AUTOMATIC, WEATHER-BASED SYSTEM USING RAIN SENSOR, LOW FLOW DRIP AND BUBBLER DISTRIBUTION, AND ROTORS WITH MATCHED PRECIPITATION RATE NOZZLES DESIGNED FOR HEAD-TO-HEAD COVERAGE.

LANDSCAPE CALCULATIONS

TOTAL LANDSCAPED PLANTING AREA: 20,774 SQ FT
 TOTAL PARKING LOT 2 PLANTING AREA: 4,497 SQ FT
 TOTAL PLANTING AREA: 25,271 SQ FT

PARKING AREA TREE QUANTITY

PROPOSED PARKING AREA TREES (1 TREE PER 4 PARKING SPACES): 57
 PARKING SPACES: 195

PLANT LIST

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	QTY	WTR USE
STREET TREES						
(Green circle)	ARBUS UNEDO 'MARINA'	STRAWBERRY TREE	24" BOX	PER PLAN		L
PARKING LOT & LANDSCAPE TREES						
(Purple circle)	CERCIS CANADENSIS 'FOREST PANSY'	EASTERN REDBUD	24" BOX	PER PLAN		L
(Green circle)	QUERCUS AGRIFOLIA	COAST LIVE OAK	36" BOX	PER PLAN		L
(Green circle)	ULMUS PARVIFOLIA 'DRAKE'	DRAKE ELM	24" BOX	PER PLAN		L
(Purple circle)	ACER X FREEMANII 'JEFFERSRED'	AUTUMN BLAZE MAPLE	24" BOX	PER PLAN		M
SHRUBS & GRASSES						
(Green circle)	ALOE 'JOHNSON'S HYBRID'	ALOE	1 GAL	3'-0" OC		L
(Green circle)	ANIGOZANTHOS 'BUSH RANGER'	DWARF KANGAROO PAW	5 GAL	2'-0" OC		L
(Green circle)	DIETES GRANDIFLORA	FORTNIGHT LILY	1 GAL	3'-0" OC		L
(Green circle)	HEUCHERA MAXIMA	CORAL BELLS	1 GAL	2'-0" OC		M
(Green circle)	LIMONIUM PEREZII	SEA LAVENDER	1 GAL	3'-0" OC		L
(Green circle)	LOROPETALUM CHINENSE	FRINGE FLOWER	5 GAL	4'-0" OC		L
(Green circle)	MIMULUS 'JELLYBEAN RED'	JELLYBEAN RED MONKEYFLOWER	1 GAL	1'-6" OC		L
(Green circle)	MUHLENBERGIA RIGENS	DEER GRASS	5 GAL	3'-6" OC		L
(Green circle)	NANDINA DOMESTICA	HEAVENLY BAMBOO	5 GAL	4'-0" OC		L
(Green circle)	PHORMIUM	FLAX	5 GAL	3'-0" OC		L
(Green circle)	PODOCARPUS M. MAKI	SHRUBBY YEW PINE	15 GAL	3'-0" OC		M
(Green circle)	POLYSTICHUM MUNITUM	SWORD FERN	1 GAL	3'-0" OC		M
(Green circle)	RHAMNUS CALIFORNICA 'MOUND SAN BRUNO'	COFFEEBERRY	15 GAL	6'-0" OC		L
(Green circle)	RIBES SANGUINEUM GLUTINOSUM	PINK-FLOWERING CURRANT	5 GAL	5'-0" OC		L
(Green circle)	SEDUM RUPESTRE 'ANGELINA'	ANGELINA STONECROP	1 GAL	1'-0" OC		L
GROUNDCOVERS						
(Green circle)	ACHILLEA MILLEFOLIUM 'PAPRIKA'	YARROW	1 GAL	3'-0" OC		L
(Green circle)	ARCTOSTAPHYLOS EDMUNSI 'EMERALD CARPET'	MANZANITA	1 GAL	4'-0" OC		L
(Green circle)	CEANOTHUS GRISEUS 'HORIZONTALIS'	CALIFORNIA LILAC	1 GAL	5'-0" OC		L
(Green circle)	LIRIOPE SPITICA	CREeping LILY TURF	1 GAL	1'-6" OC		M
STORMWATER						
(Green circle)	CAREX DIVULSA	BERKELEY SEDGE	1 GAL	2'-0" OC		L
(Green circle)	CHONDROPETALUM TECTORUM	CAPE RUSH	1 GAL	3'-0" OC		L
(Green circle)	IRIS DOUGLASIANA	DOUGLAS IRIS	1 GAL	2'-0" OC		L
(Green circle)	JUNCUS PATENS	CALIFORNIA GRAY RUSH	1 GAL	2'-0" OC		L
(Green circle)	SISYRINCHIUM BELLUM	BLUE-EYED GRASS	1 GAL	3'-0" OC		L

NOTE:

ALL PLANTINGS IN EASEMENT SHALL ONLY BE GROUNDCOVERS, GRASSES, FLOWERS, AND LOW-GROWING PLANTS THAT GROW UNSUPPORTED TO A MAXIMUM OF FOUR (4) FEET IN HEIGHT AT MATURITY.

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LANDSCAPE PLAN

STATUS

JOB NO. 17002

DRAWN BY RV, SE

SHEET NO.

STREET TREES

ARBUTUS UNEDO 'MARINA'



PARKING LOT & LANDSCAPE TREES

CERCIS CANADENSIS 'FOREST PANSY'



QUERCUS AGRIFOLIA



ULMUS PARVIFOLIA 'DRAKE'



ACER X FREEMANII 'JEFFERSRED'



SHRUBS & GRASSES

ALOE 'JOHNSON'S HYBRID'



ANIGOZANTHOS 'BUSH RANGER'



DIETES GRANDIFLORA



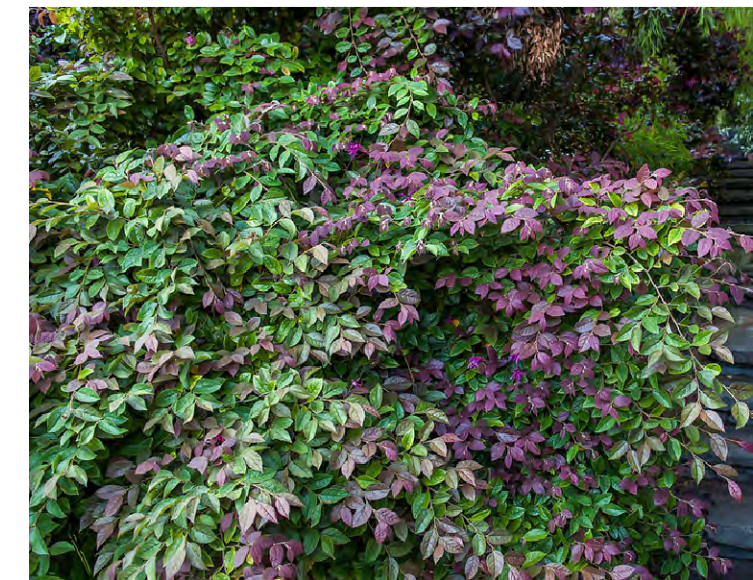
HEUCHERA MAXIMA



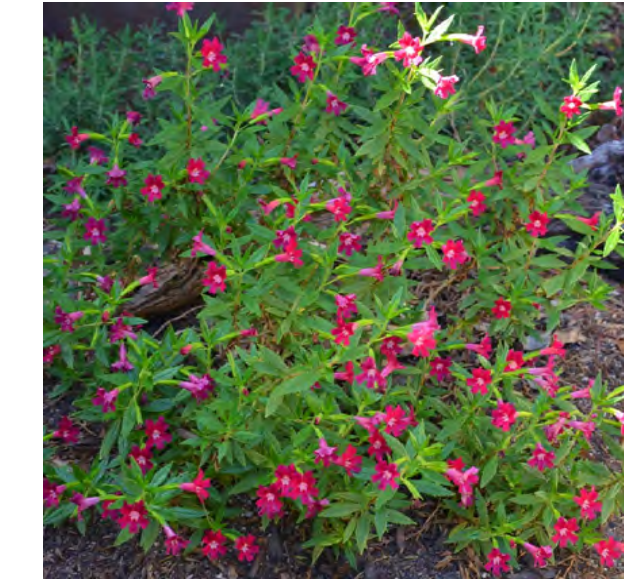
LIMONIUM PEREZII



LOROPETALUM CHINENSE



MIMULUS 'JELLYBEAN RED'



MUHLENBERGIA RIGENS



NANDINA DOMESTICA



PHORMIUM



PODOCARPUS M. MAKI



POLYSTICHUM MUNITUM



RHAMNUS CALIFORNICA 'MOUND SAN BRUNO'



RIBES SANGUINEUM GLUTINOSUM



SEDUM RUPESTRE 'ANGELINA'



GROUNDCOVERS

ACHILLEA MILLEFOLIUM 'PAPRIKA'



ARCTOSTAPHYLOS EDMUNDSONII 'EMERALD CARPET'



CEANOTHUS GRISEUS 'HORIZONTALIS'



LIRIOPE SPITICA



STORMWATER

CAREX DIVULSA



CHONDROPETALUM TECTORUM



IRIS DOUGLASIANA



JUNCUS PATENS



SISYRINCHIUM BELLUM



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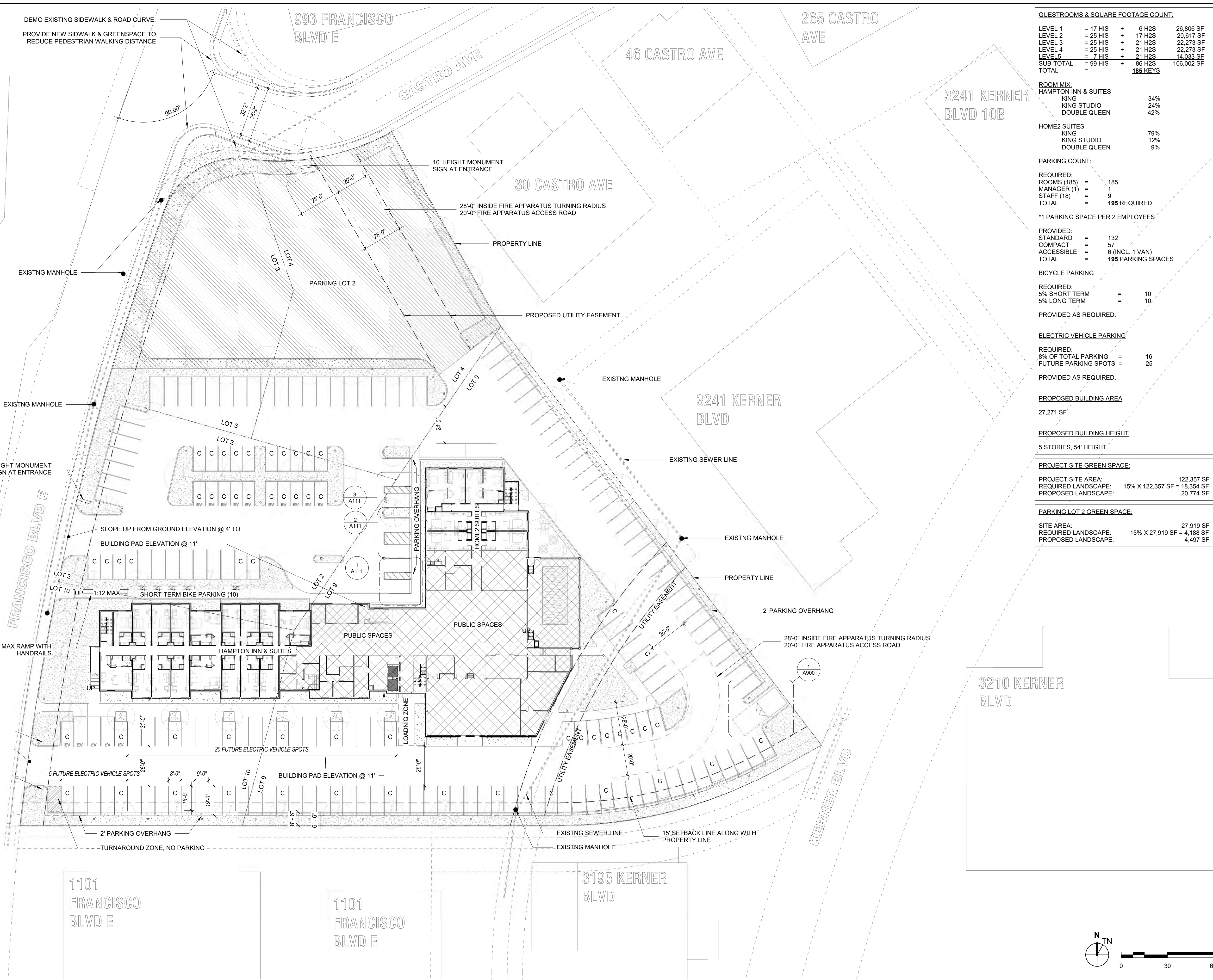
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PRELIMINARY PLANT PALETTE

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L1.02



GUESTROOMS & SQUARE FOOTAGE COUNT:

LEVEL 1	= 17 HIS	+ 6 H2S	26,806 SF
LEVEL 2	= 25 HIS	+ 17 H2S	20,617 SF
LEVEL 3	= 25 HIS	+ 21 H2S	22,273 SF
LEVEL 4	= 25 HIS	+ 21 H2S	22,273 SF
LEVEL 5	= 7 HIS	+ 21 H2S	14,033 SF
SUB-TOTAL	= 99 HIS	+ 86 H2S	106,002 SF
TOTAL			188 KEYS

ROOM MIX:

HAMPTON INN & SUITES	
KING	34%
KING STUDIO	24%
DOUBLE QUEEN	42%
HOME2 SUITES	
KING	79%
KING STUDIO	12%
DOUBLE QUEEN	9%

PARKING COUNT:

REQUIRED:	
ROOMS (185)	= 185
MANAGER (1)	= 1
STAFF (18)	= 9
TOTAL	= 195 REQUIRED

***1 PARKING SPACE PER 2 EMPLOYEES**

PROVIDED:	
STANDARD	= 132
COMPACT	= 57
ACCESSIBLE	= 6 (INCL. 1 VAN)
TOTAL	= 195 PARKING SPACES

BICYCLE PARKING

REQUIRED:	
5% SHORT TERM	= 10
5% LONG TERM	= 10
PROVIDED AS REQUIRED:	

ELECTRIC VEHICLE PARKING

REQUIRED:	
8% OF TOTAL PARKING	= 16
FUTURE PARKING SPOTS	= 25
PROVIDED AS REQUIRED:	

PROPOSED BUILDING AREA
27,271 SF

PROPOSED BUILDING HEIGHT
5 STORIES, 54' HEIGHT

PROJECT SITE GREEN SPACE:

PROJECT SITE AREA:	122,357 SF
REQUIRED LANDSCAPE:	15% X 122,357 SF = 18,354 SF
PROPOSED LANDSCAPE:	20,774 SF

PARKING LOT 2 GREEN SPACE:

SITE AREA:	27,919 SF
REQUIRED LANDSCAPE:	15% X 27,919 SF = 4,188 SF
PROPOSED LANDSCAPE:	4,497 SF

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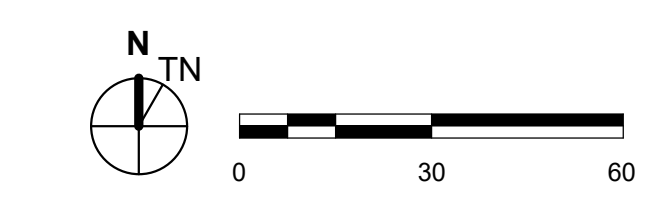
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SITE PLAN (VICINITY)

STATUS

JOB NO.	17002
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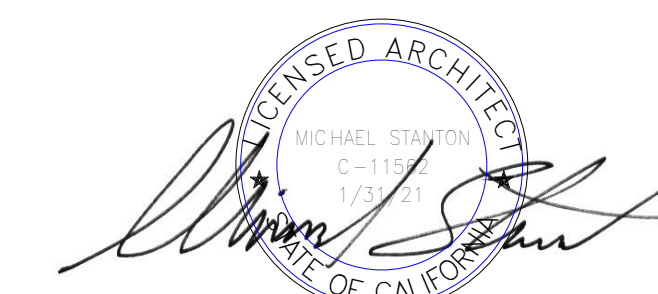
GROUND FLOOR PLAN-ON-SITE
1" = 30'-0" **1**

A100

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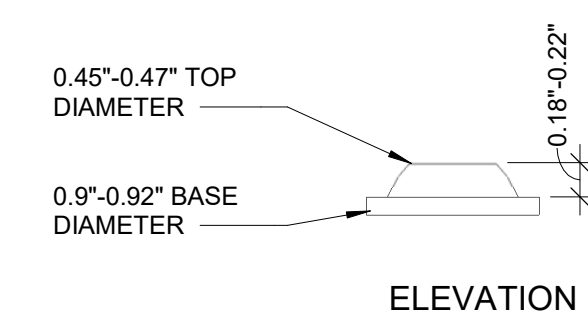
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DRAWING TITLE
SITE DETAILS

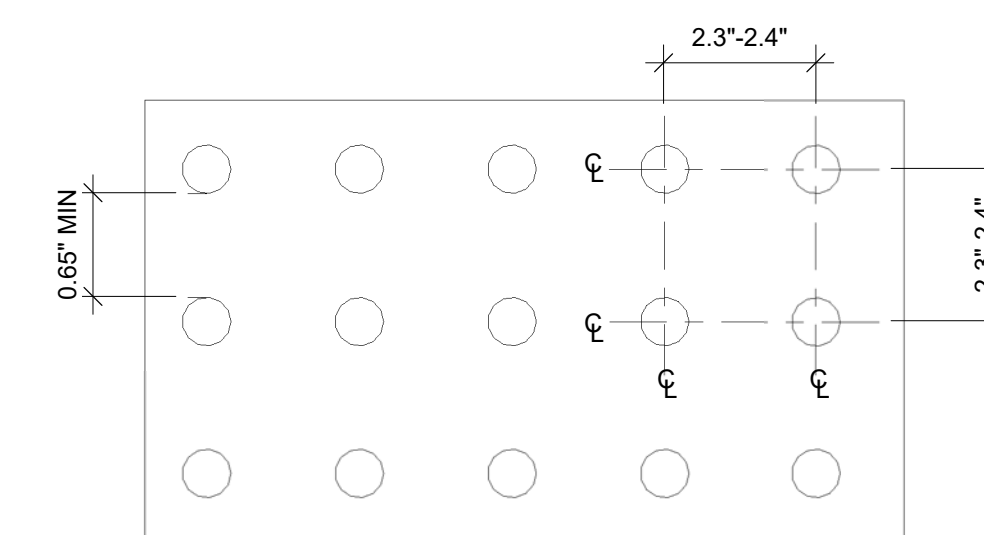
STATUS

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A110

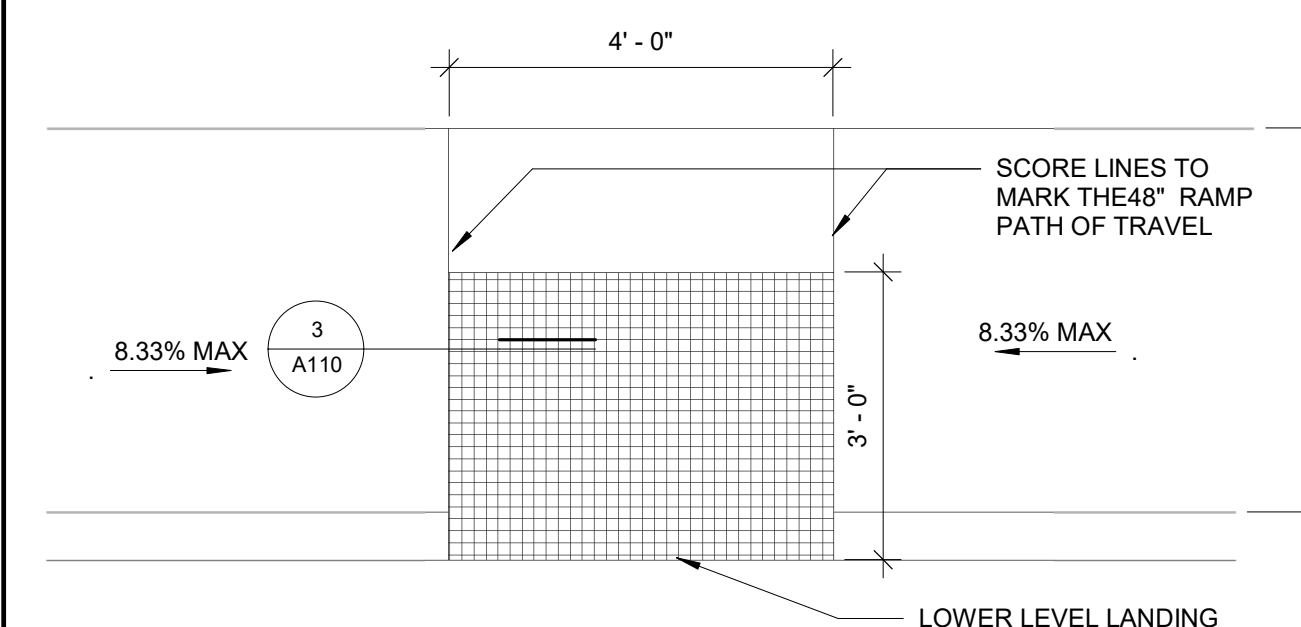


ELEVATION

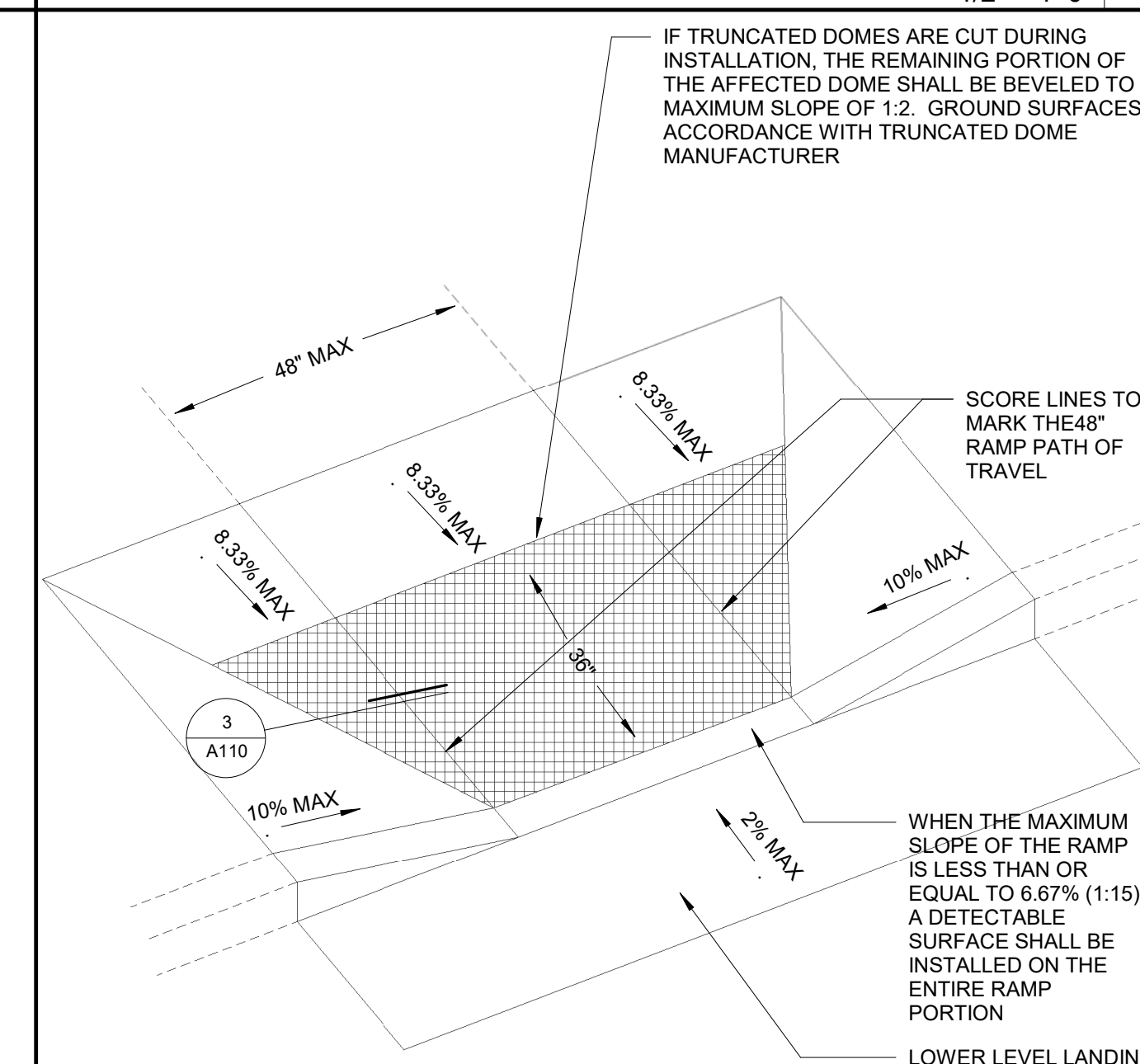


PLAN

DOME SPACING
12" = 1'-0" 3



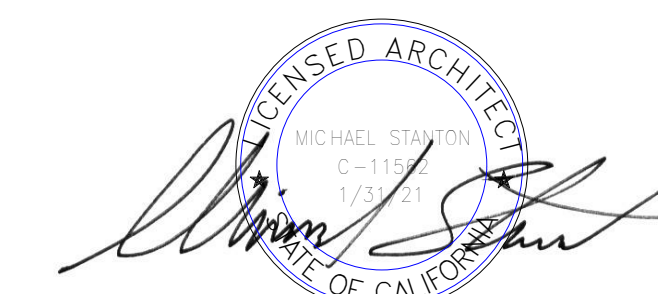
PARALLEL CURB RAMP
1/2" = 1'-0" 2



TYP CURB CUT
1/2" = 1'-0" 1

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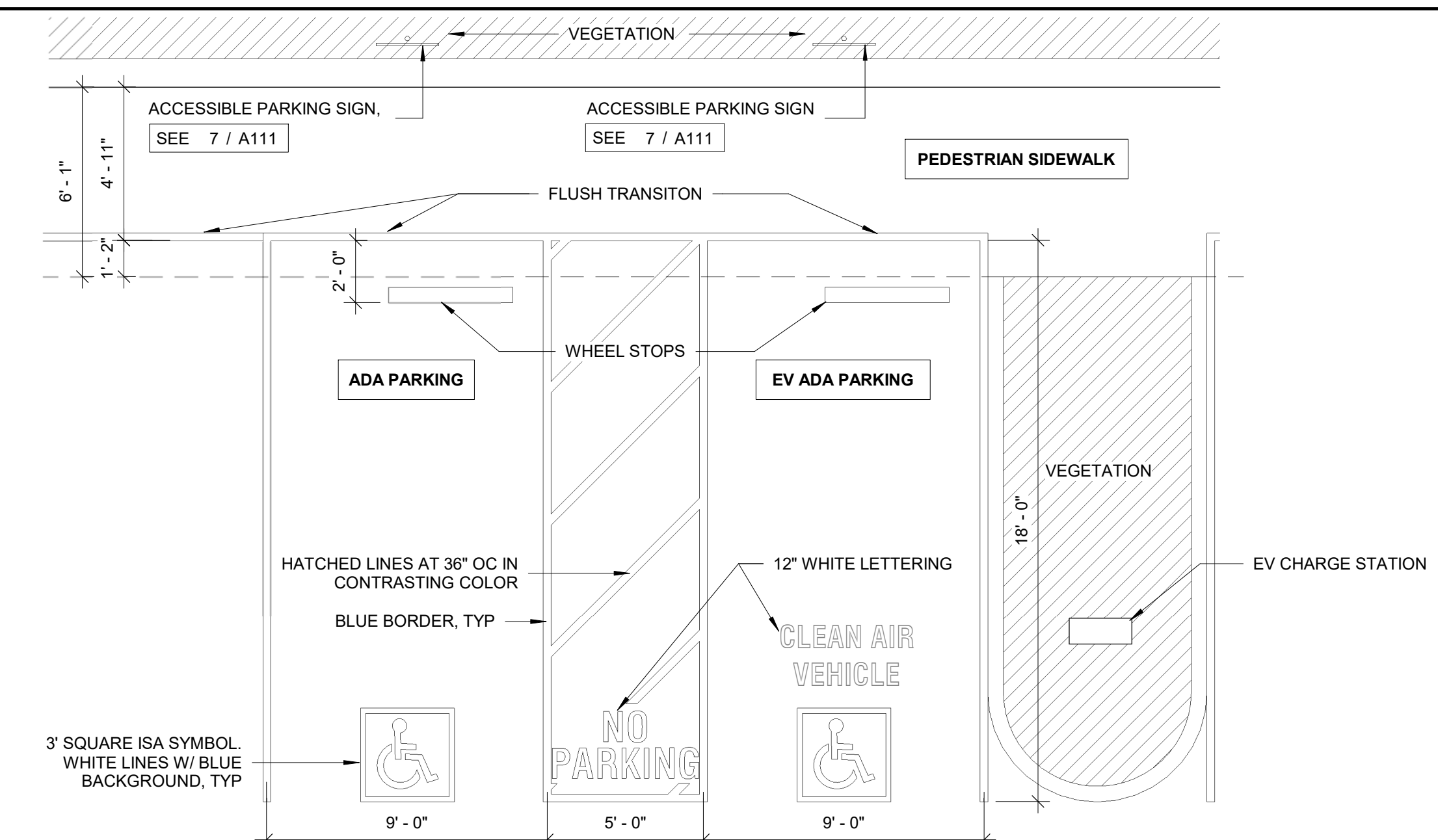
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DRAWING TITLE
ACCESSIBLE SITE DETAILS

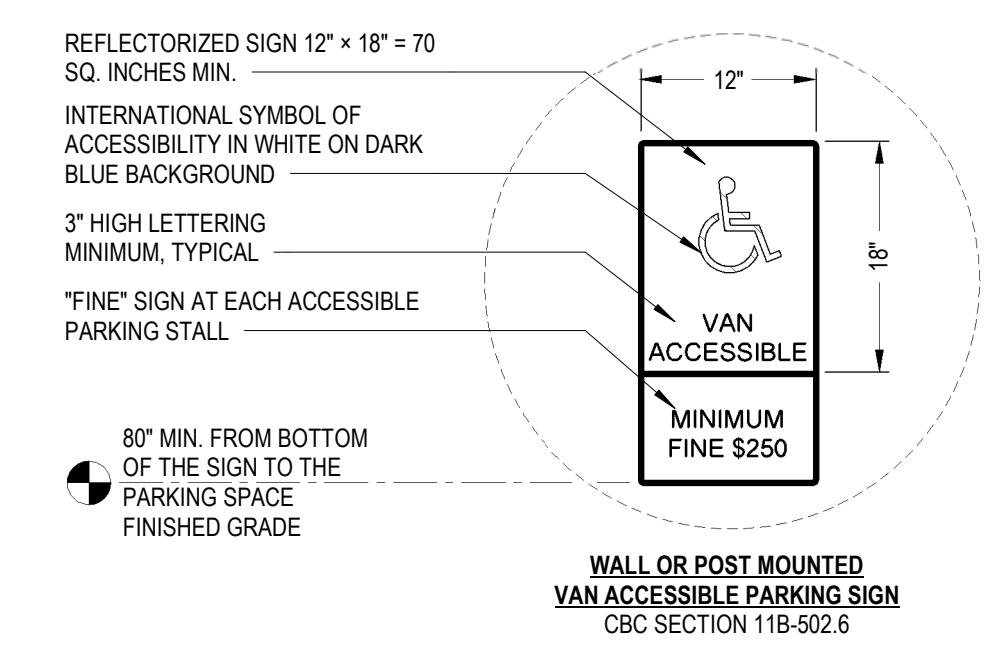
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A111

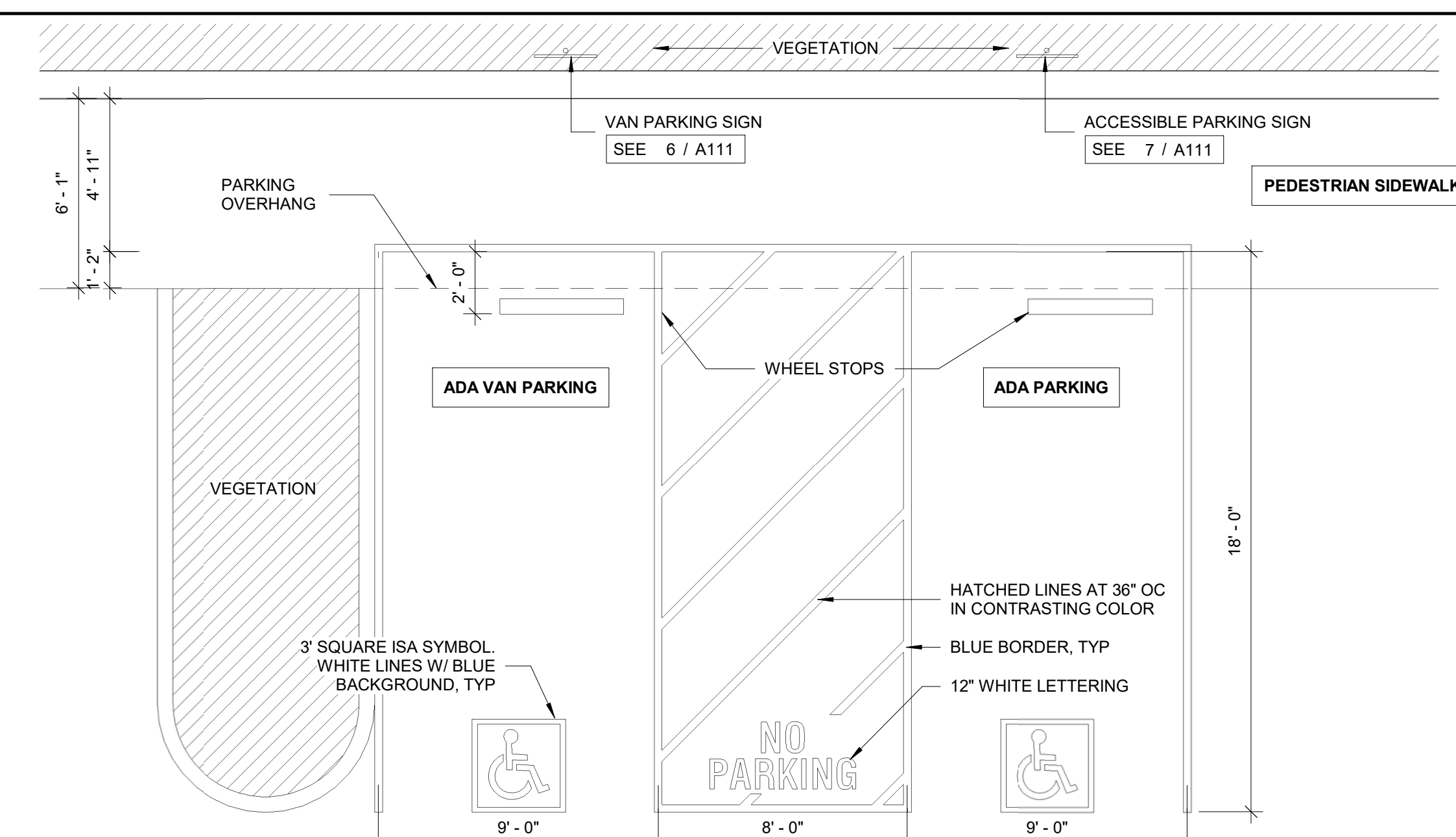


ACCESSIBLE PARKING PLAN 3
 1/4" = 1'-0" 3

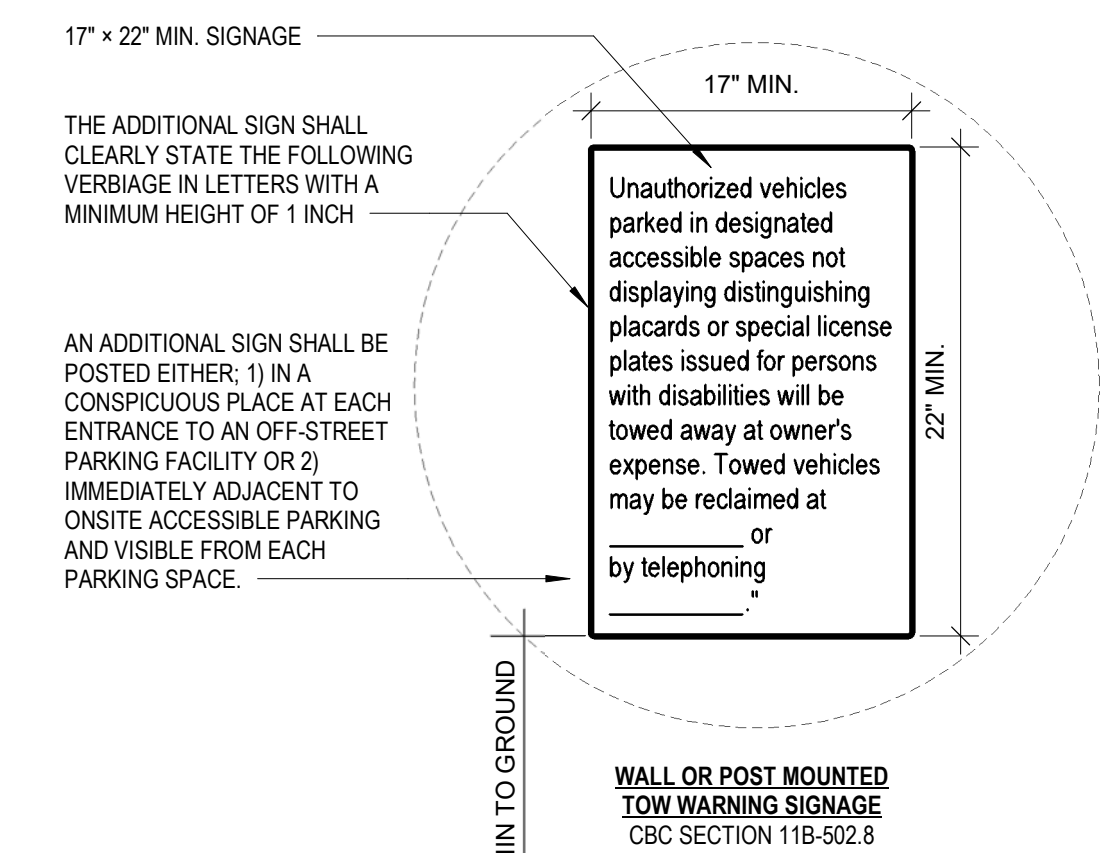


WALL OR POST MOUNTED
 VAN ACCESSIBLE PARKING SIGN
 CBC SECTION 11B-502.6

DT 403 ADA PARKING SIGNAGE
 3/8" = 1'-0" 6

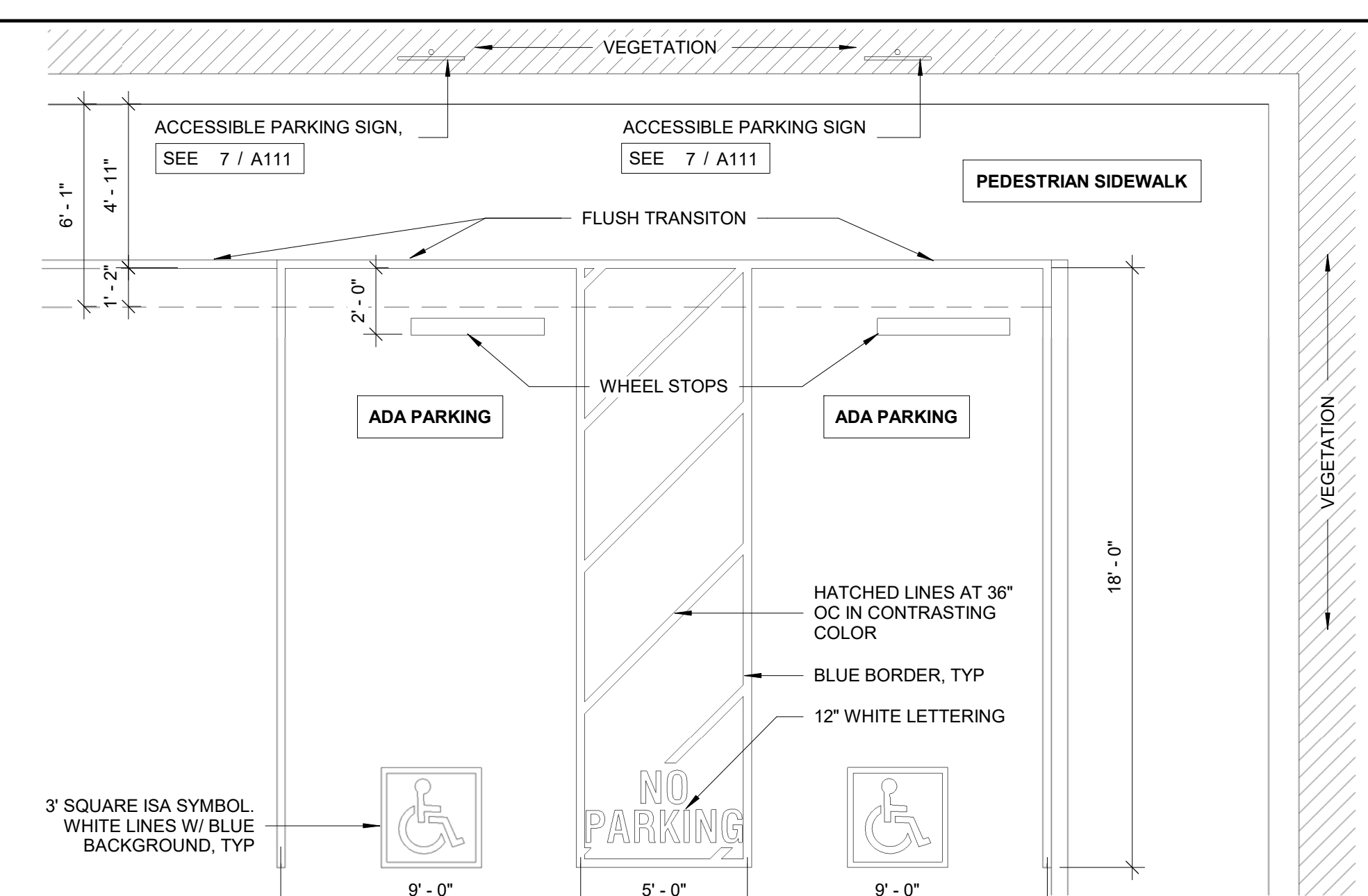


ACCESSIBLE PARKING PLAN 2
 1/4" = 1'-0" 2

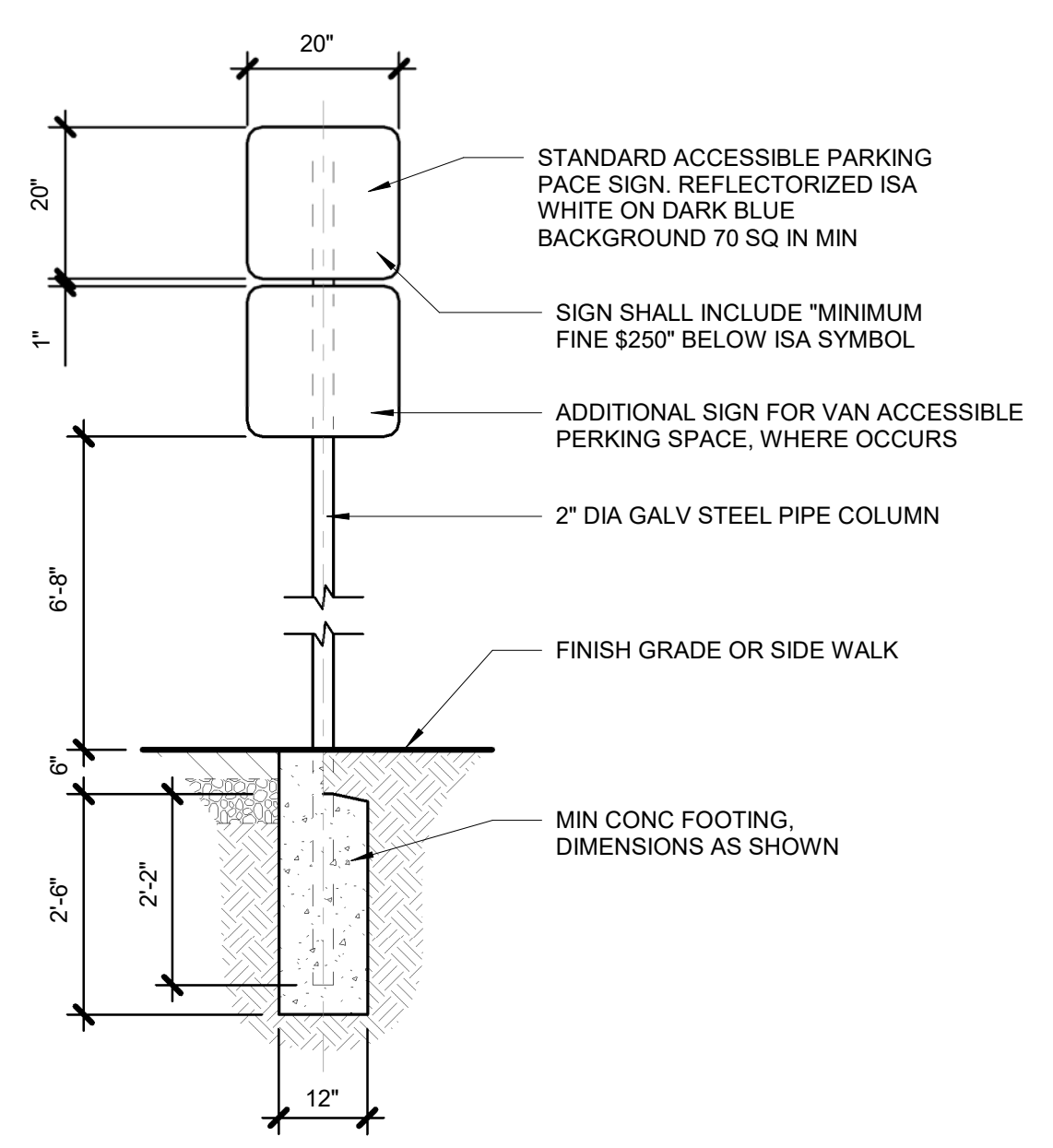


WALL OR POST MOUNTED
 TOW WARNING SIGNAGE
 CBC SECTION 11B-502.6

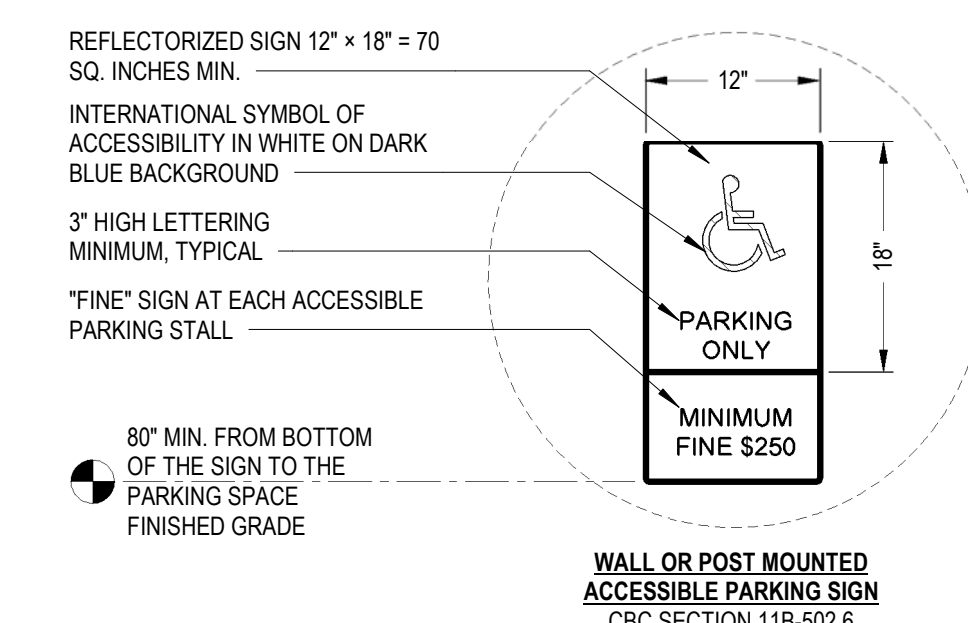
DT 402 ADA PARKING SIGNAGE
 3/8" = 1'-0" 5



ACCESSIBLE PARKING PLAN 1
 1/4" = 1'-0" 1



DT 401 ACCESSIBLE PARKING SIGN MOUNT
 1/2" = 1'-0" 4



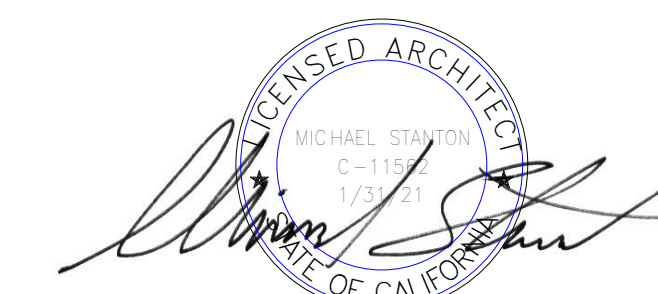
WALL OR POST MOUNTED
 ACCESSIBLE PARKING SIGN
 CBC SECTION 11B-502.6

DT 404 ADA PARKING SIGN
 3/8" = 1'-0" 7

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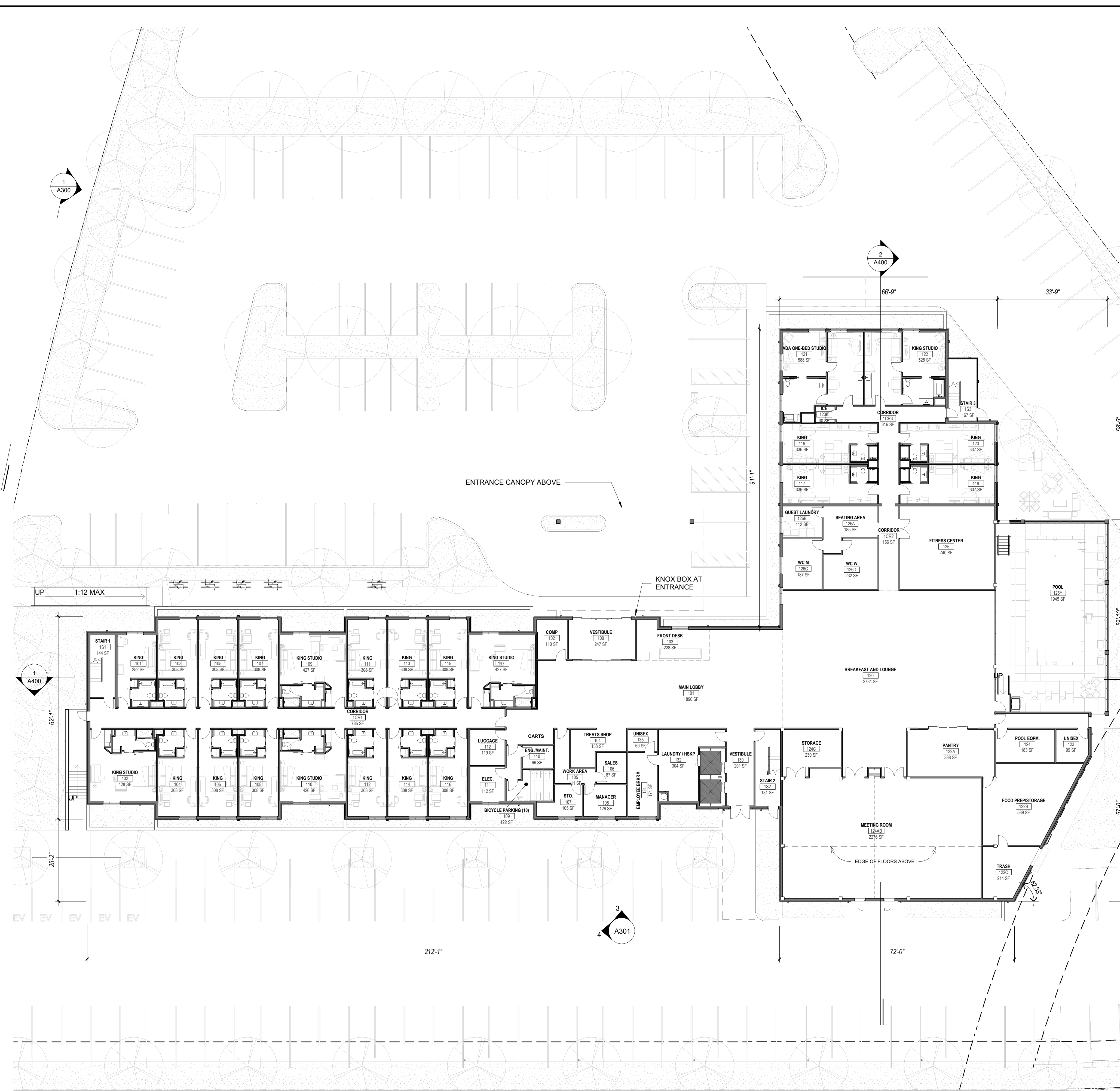
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LEVEL 1 FLOOR PLAN

STATUS

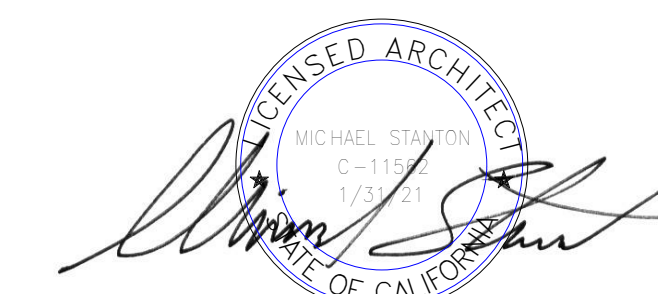
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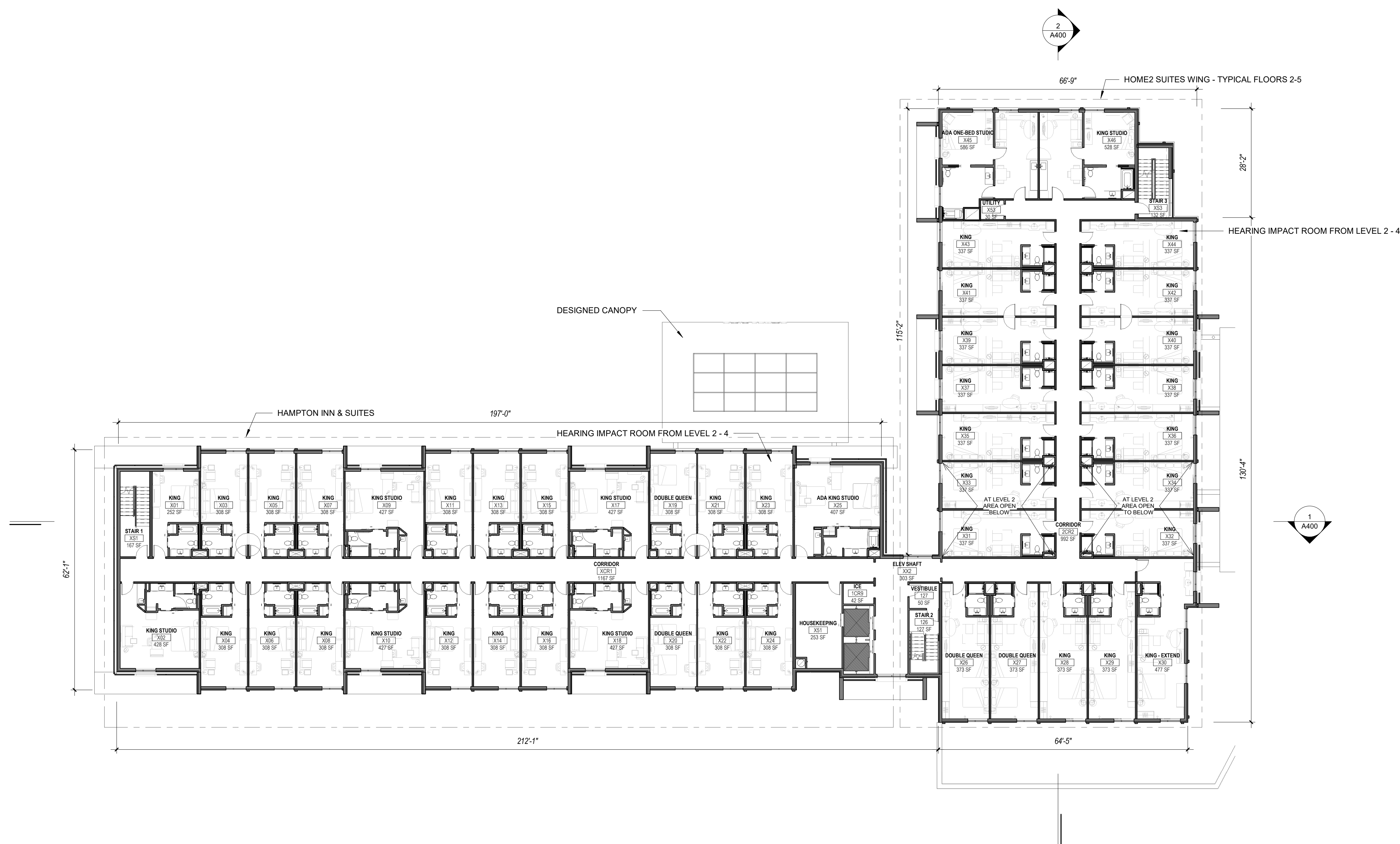
NO.	DATE	ISSUE
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DRAWING TITLE
LEVEL 2-4 TYP FLOOR PLAN

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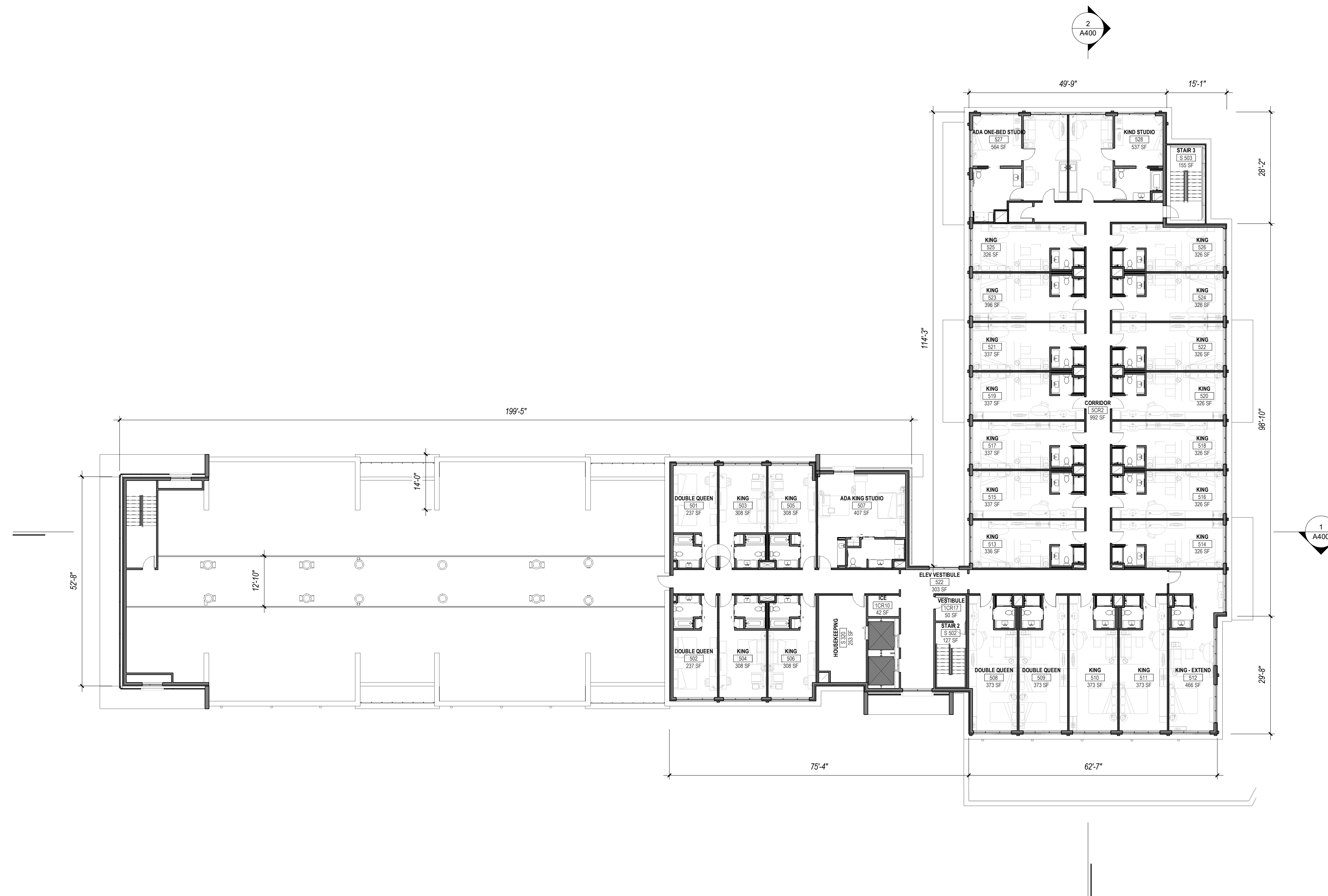
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DRAWING TITLE
LEVEL 5 FLOOR PLAN

STATUS

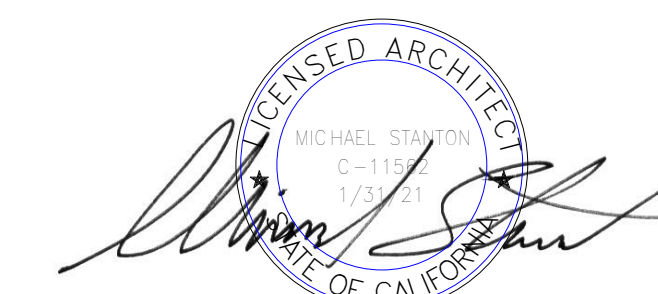
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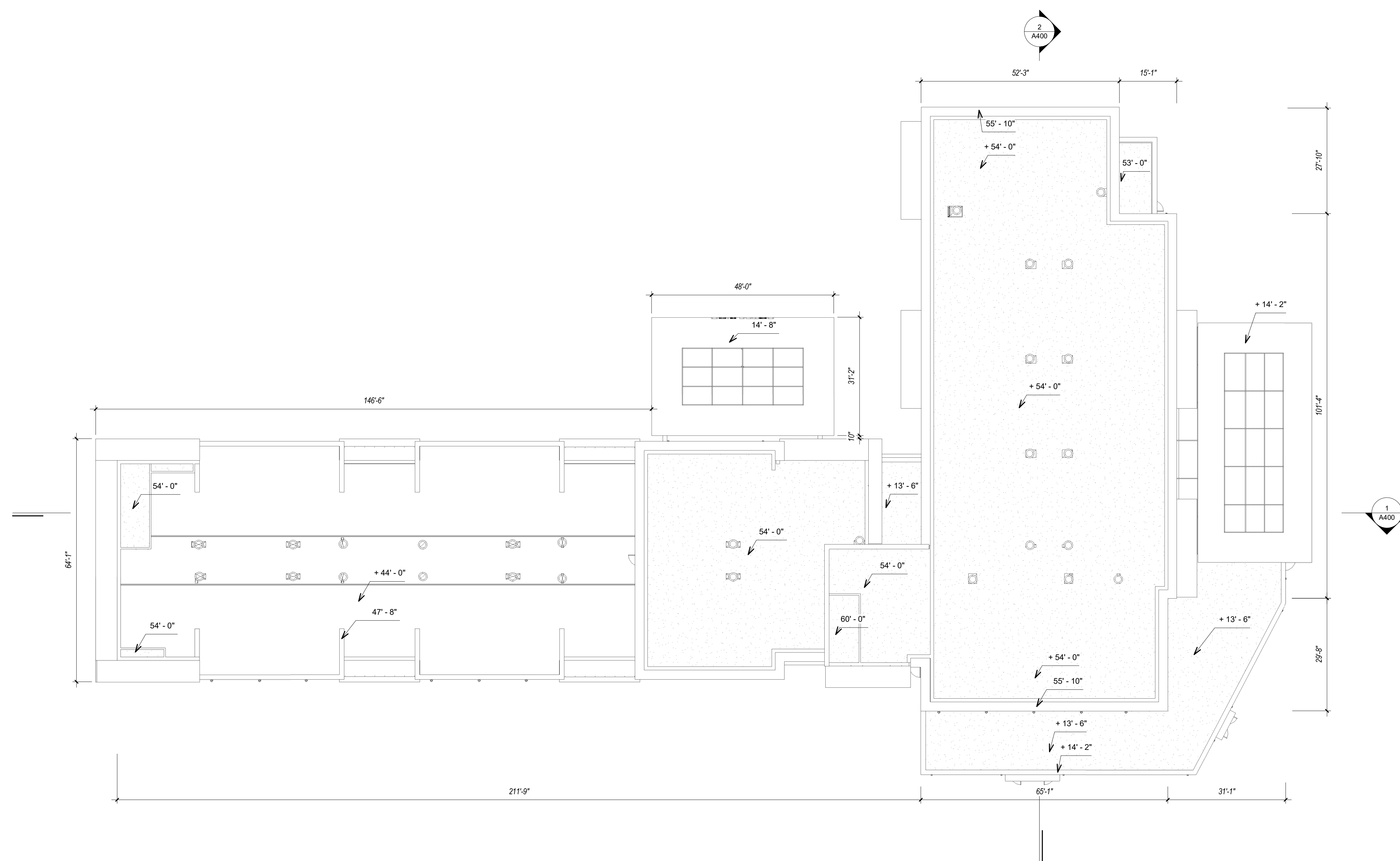
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DRAWING TITLE
ROOF PLAN

STATUS

JOB NO.	17002
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A214



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FRANCISCO BLVD ELEVATION
1/32" = 1'-0" 1



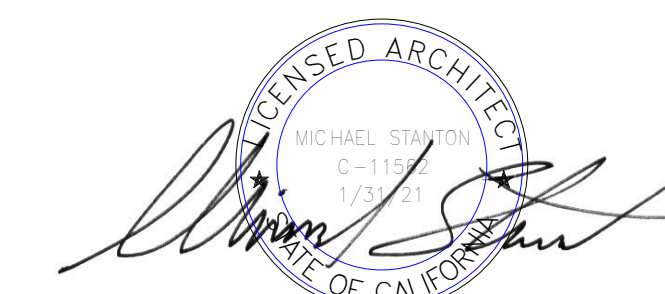
CASTRO STREET ELEVATION
1/32" = 1'-0" 2



KERNER BLVD ELEVATION
1/32" = 1'-0" 3

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DRAWING TITLE
STREET ELEVATIONS

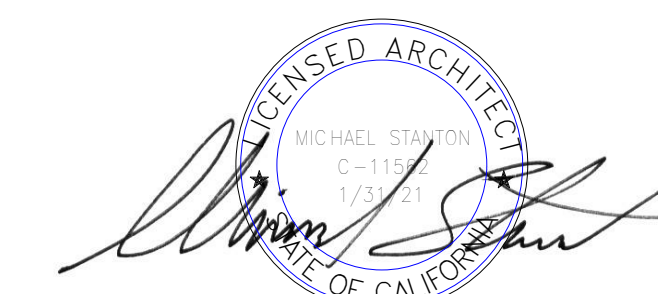
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A300

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DRAWING TITLE
EXTERIOR ELEVATIONS

STATUS

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A301



EAST ELEVATION - HOME 2 SUITES - POOL FACADE
1/16" = 1'-0" 4



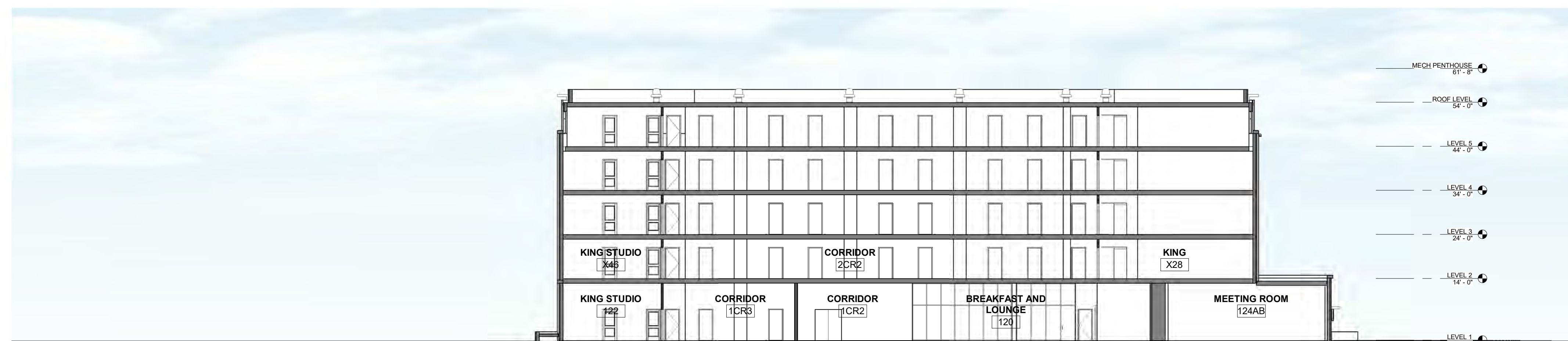
SOUTH ELEVATION - HAMPTON INN - LOBBY FACADE
1/16" = 1'-0" 3



WEST ELEVATION - HOME 2 SUITES FACADE
1/16" = 1'-0" 2



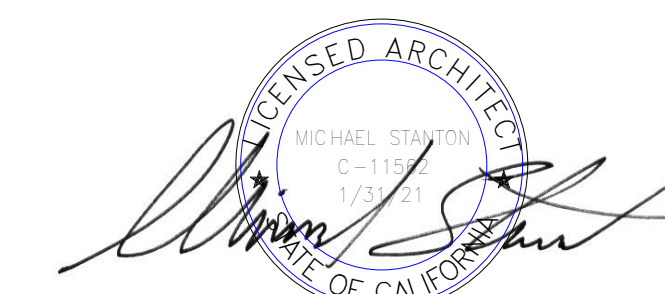
NORTH ELEVATION - HAMPTON INN - LOBBY FACADE
1/16" = 1'-0" 1



SECTION 2
1/16" = 1'-0" 2

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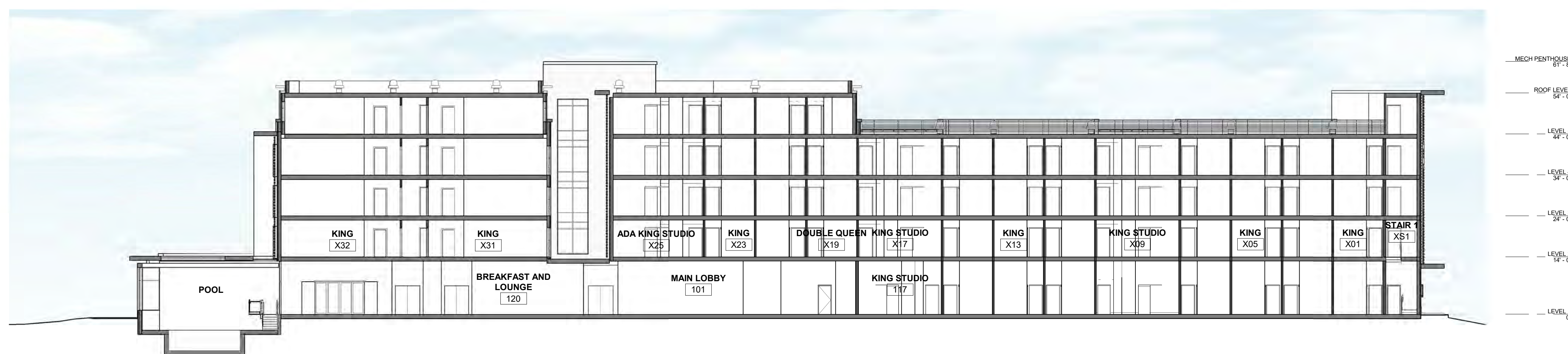
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DRAWING TITLE
SECTIONS

STATUS

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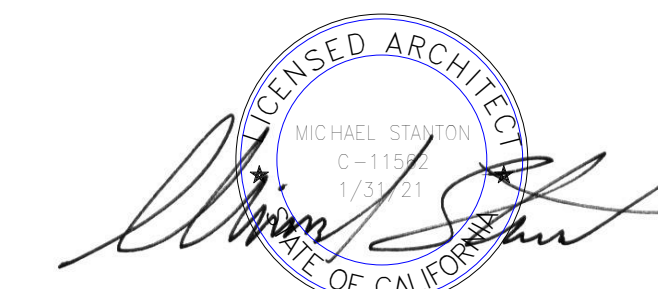
A400



SECTION 1
1/16" = 1'-0" 1

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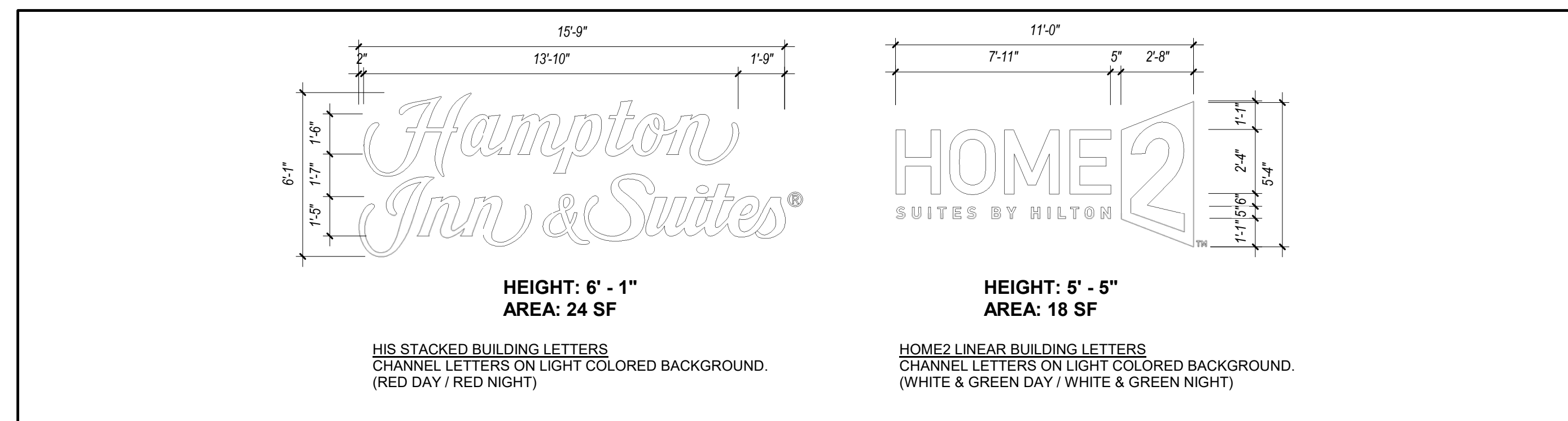
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DRAWING TITLE
SIGNAGE FLOOR PLAN & ELEVATIONS

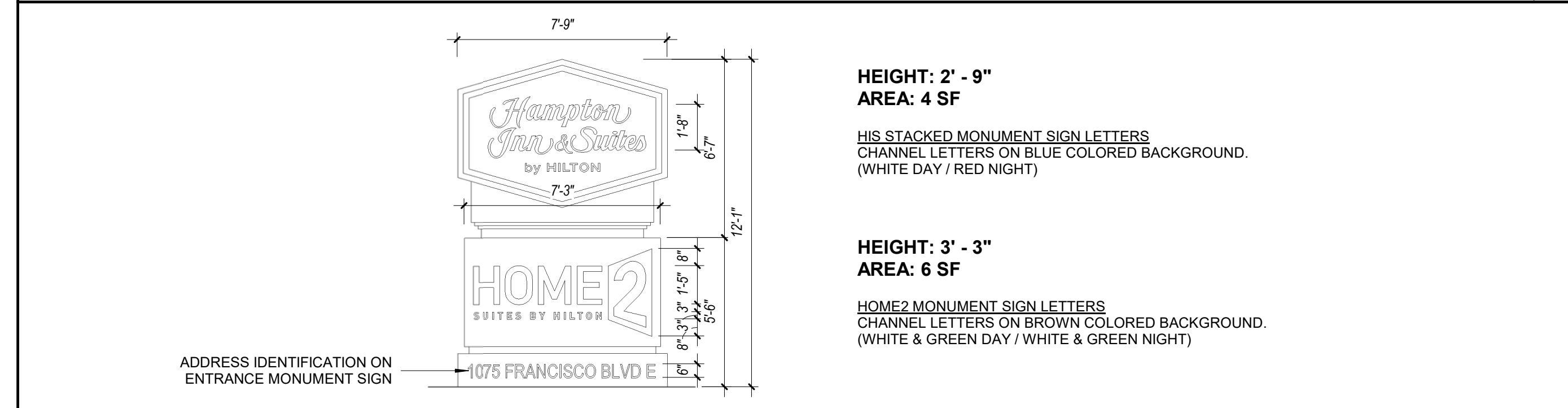
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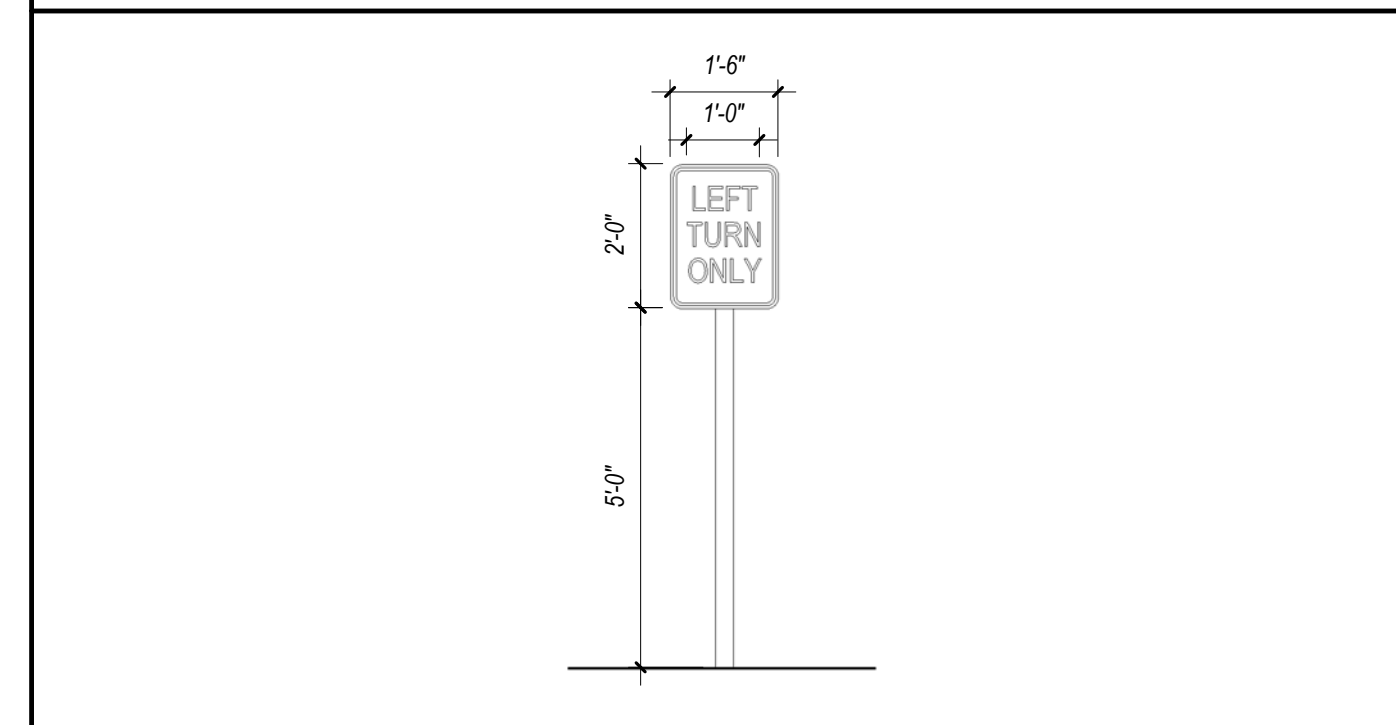
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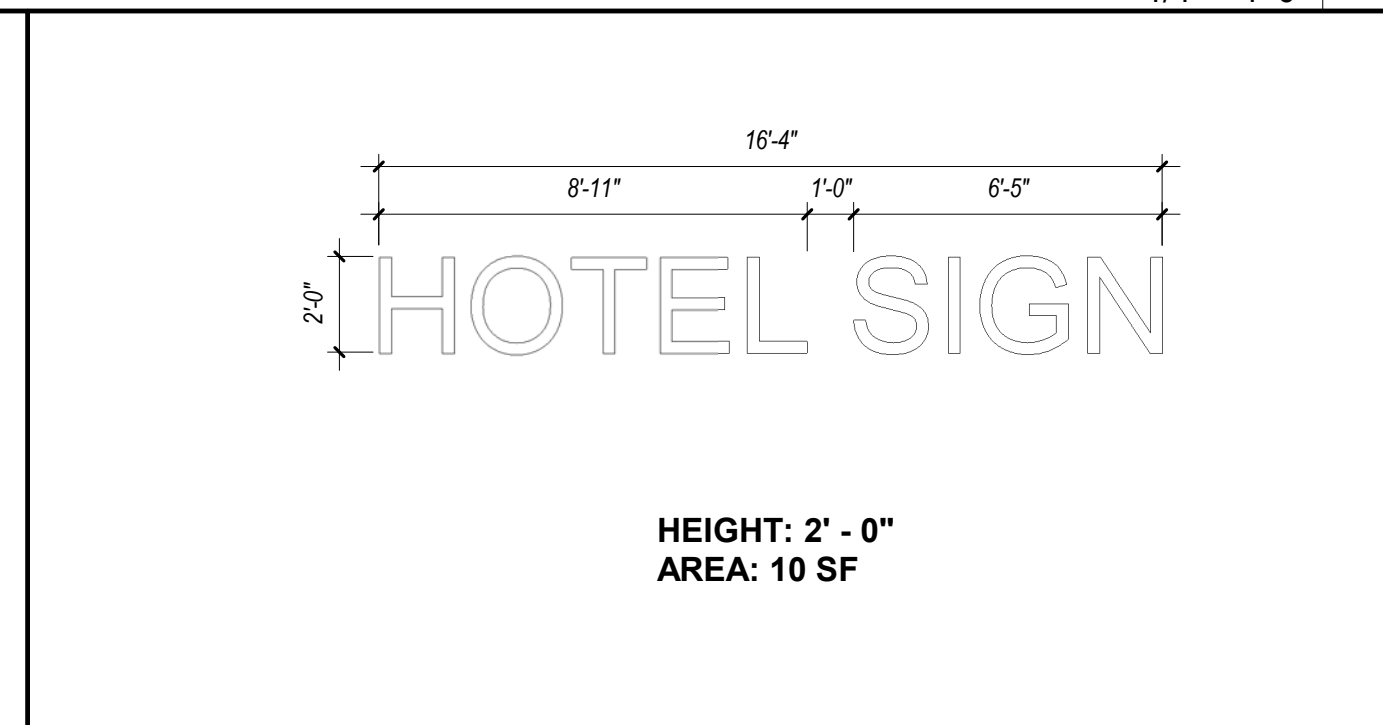
DUAL BRAND SIGN ON WEST ELEVATION
1/4" = 1'-0" 8



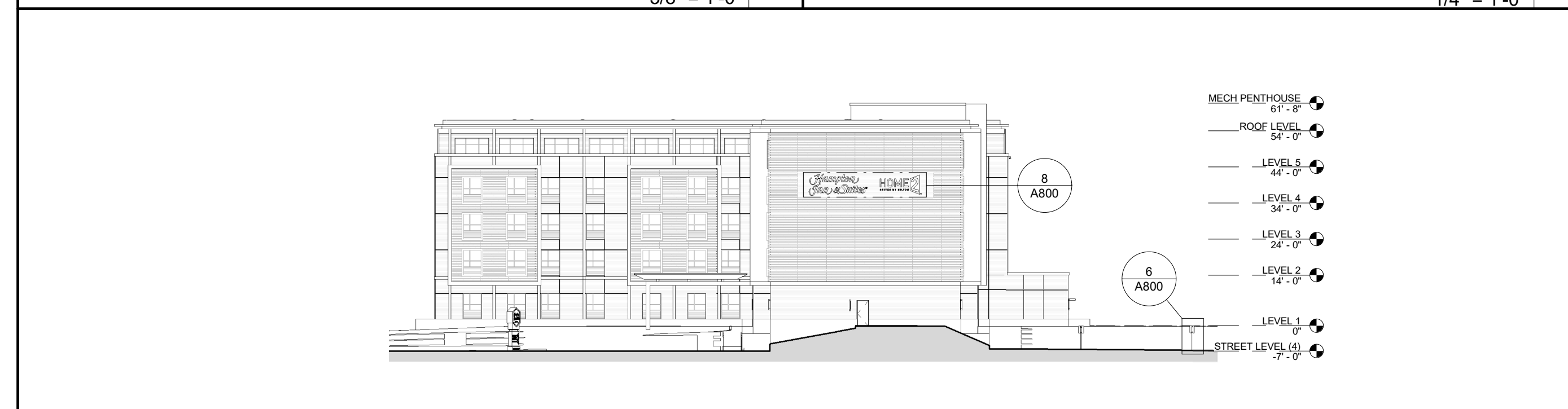
SITE ENTRANCE MONUMENT SIGN ELEVATION
1/4" = 1'-0" 7



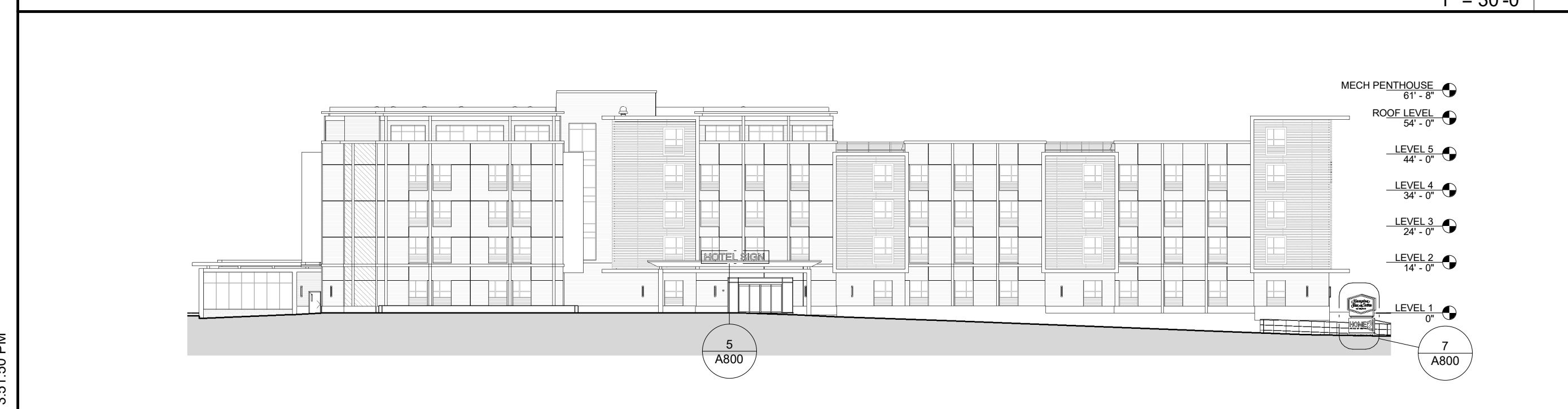
LEFT TURN ONLY SIGN ELEVATION
3/8" = 1'-0" 6



HOTEL ENTRANCE SIGN ELEVATION
1/4" = 1'-0" 5



WEST ELEVATION SIGN LOCATION
1" = 30'-0" 4



NORTH ELEVATION SIGN LOCATION
1" = 30'-0" 3

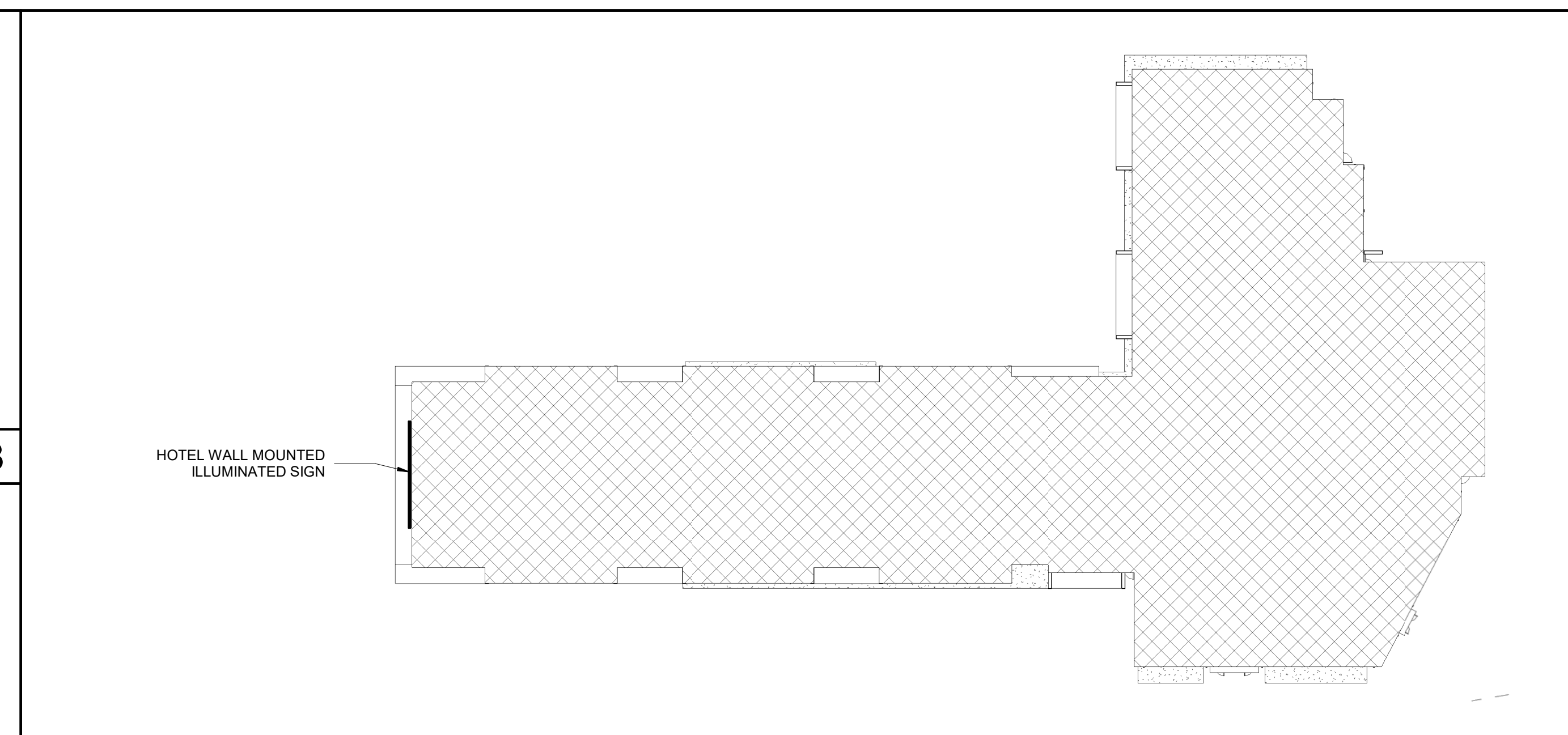


DIAGRAM - LEVEL 4 SIGNAGE LOCATION
1/32" = 1'-0" 2

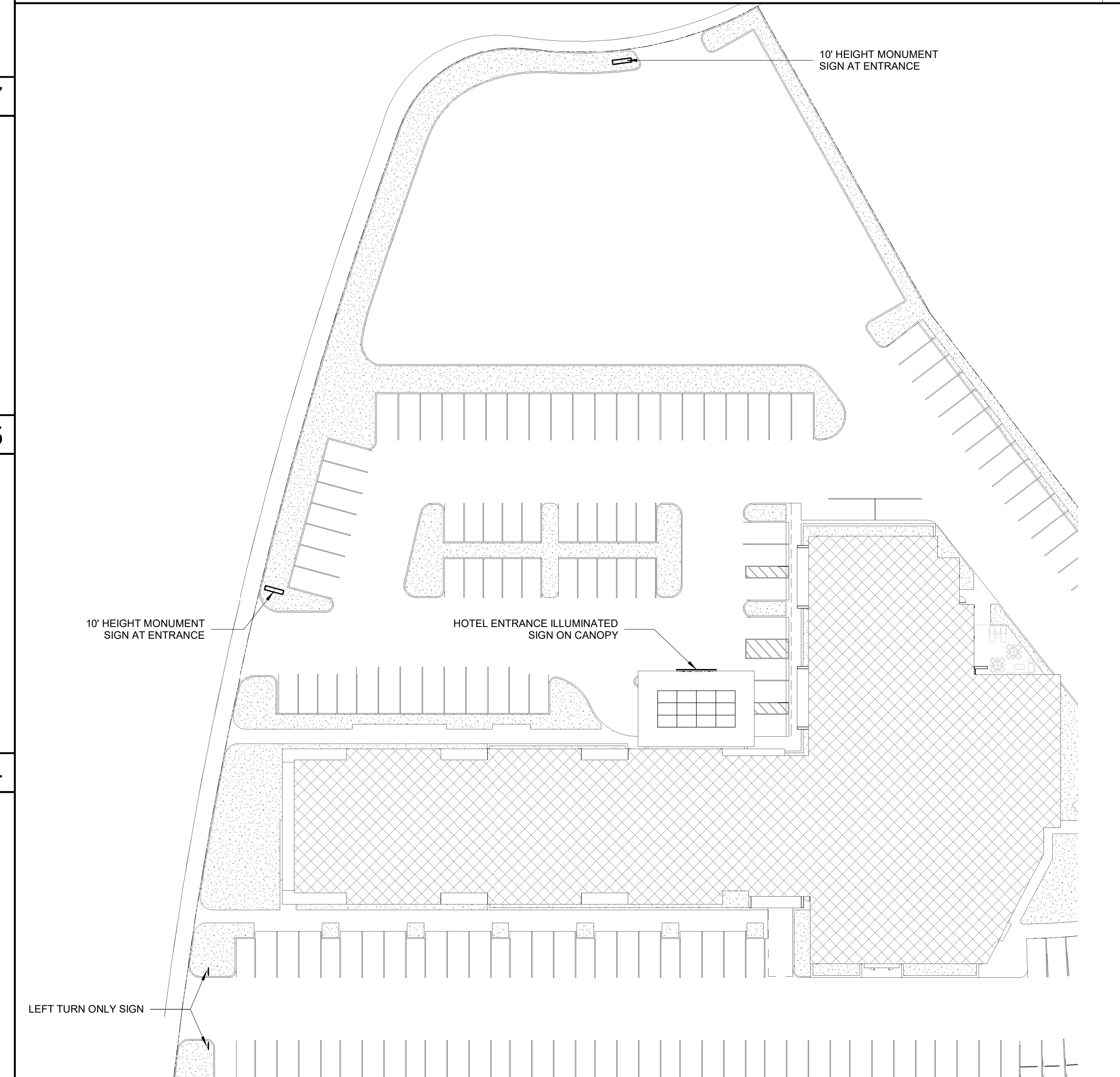
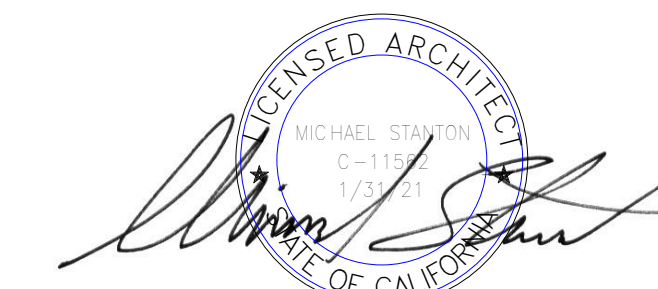


DIAGRAM - GROUND LEVEL SIGNAGE LOCATION
1/32" = 1'-0" 1

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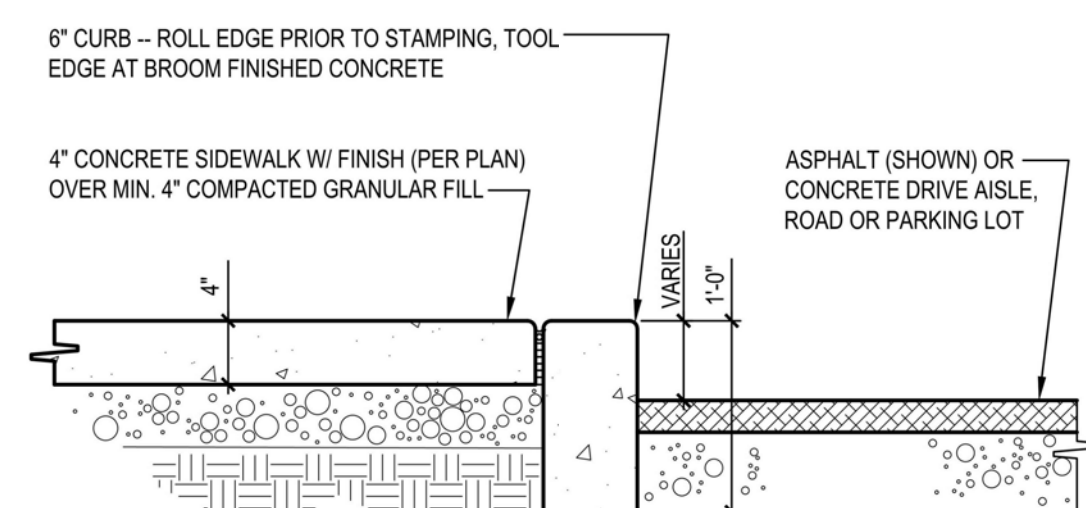
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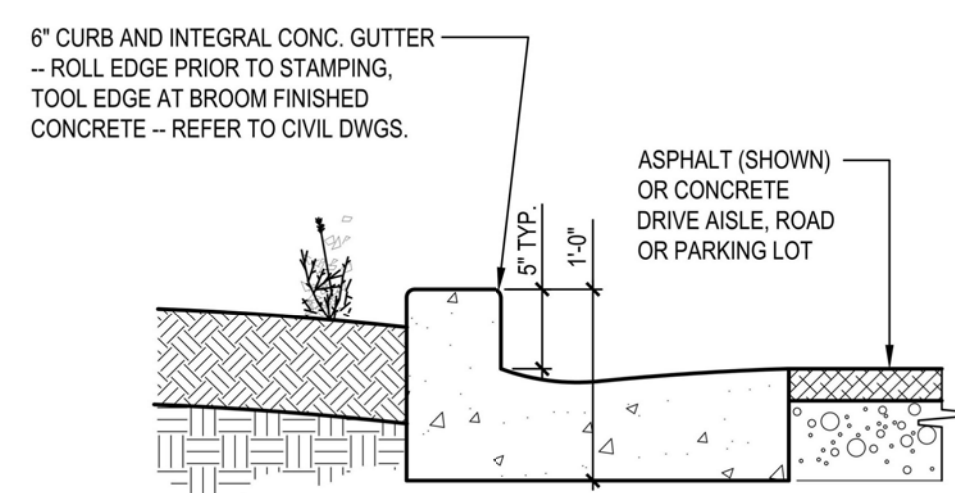
STATUS

JOB NO. 17002
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SHEET NO.

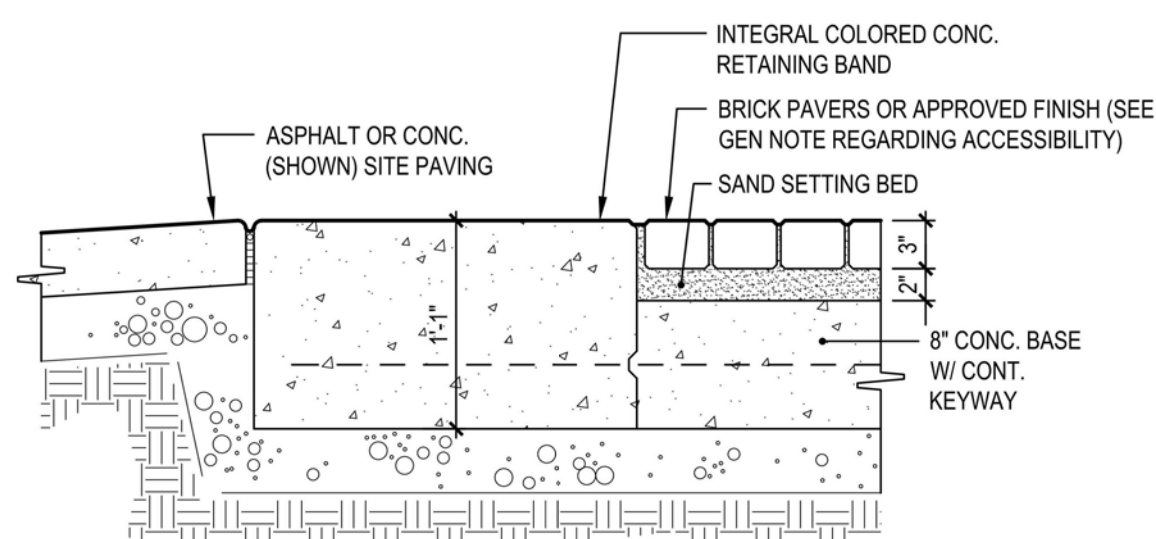
A900



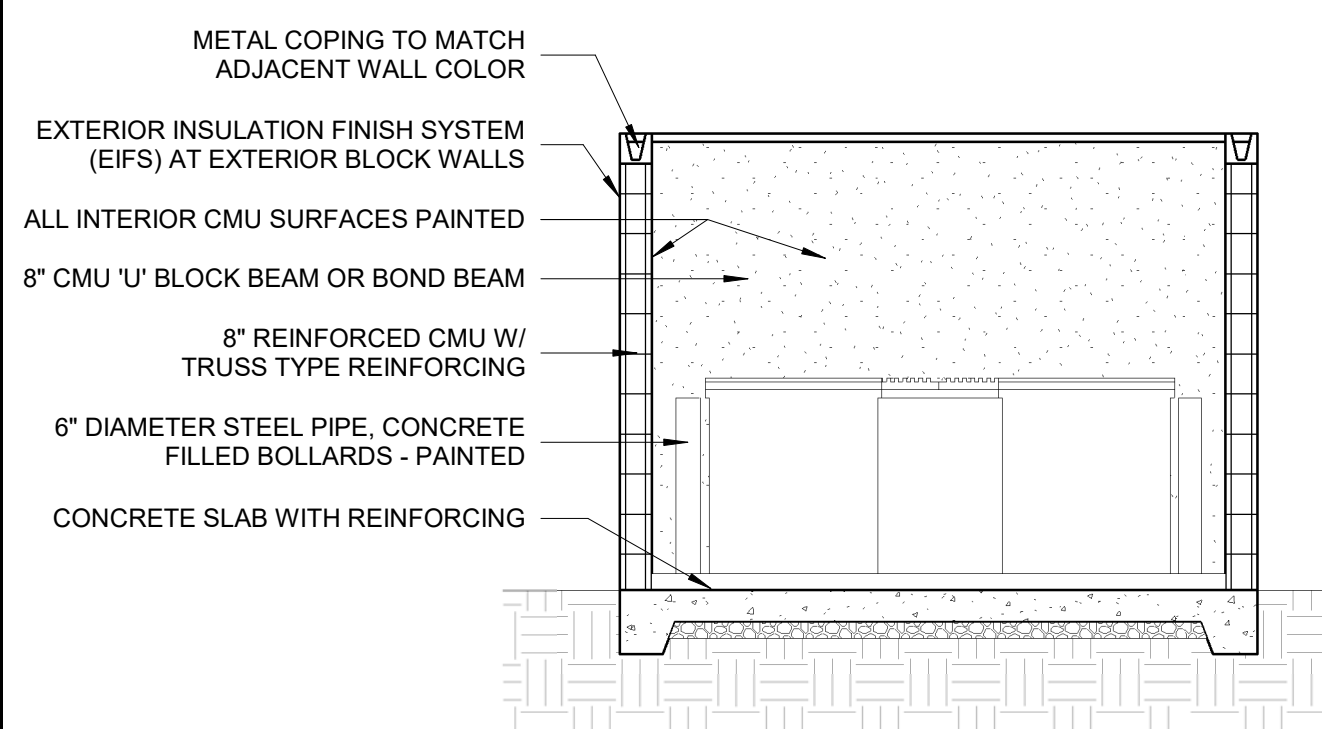
SECTION DETAIL - SIDEWALK TO DRIVE AISLE
1" = 1'-0" 6



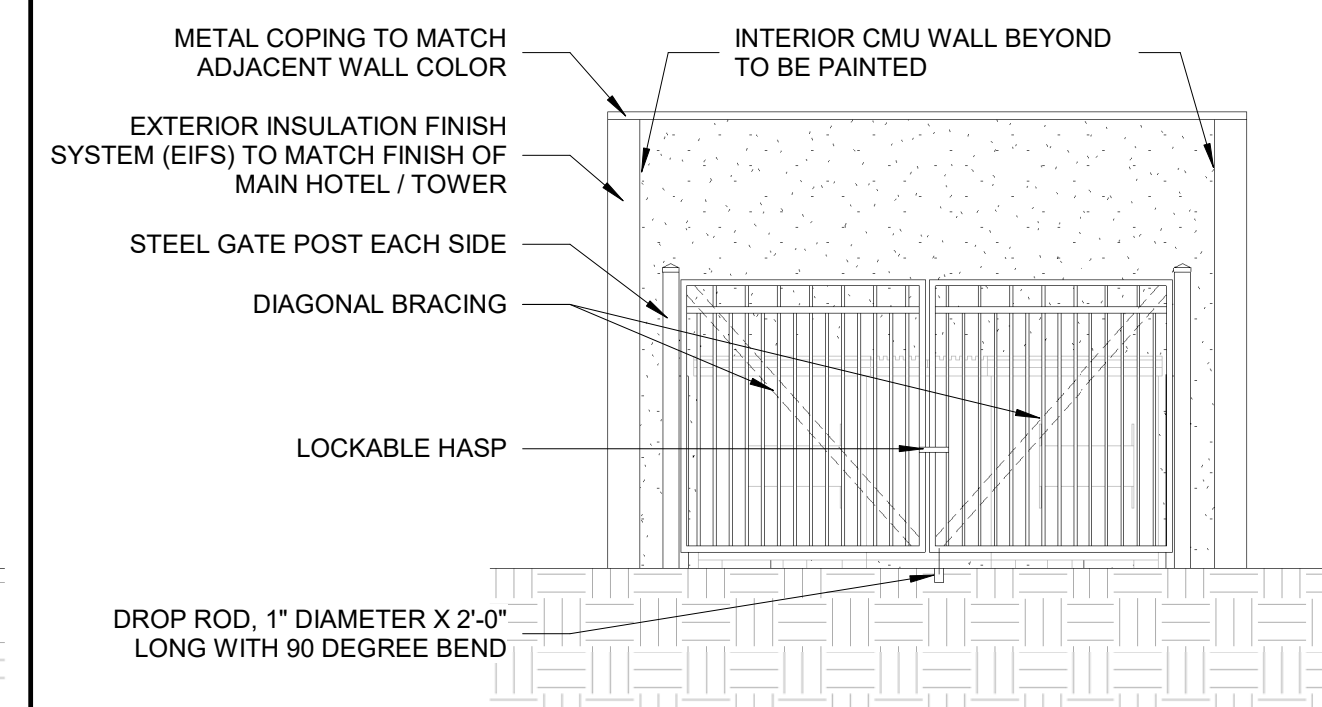
SECTION DETAIL - TYP. CURB TO LANDSCAPE/DRIVE
1" = 1'-0" 5



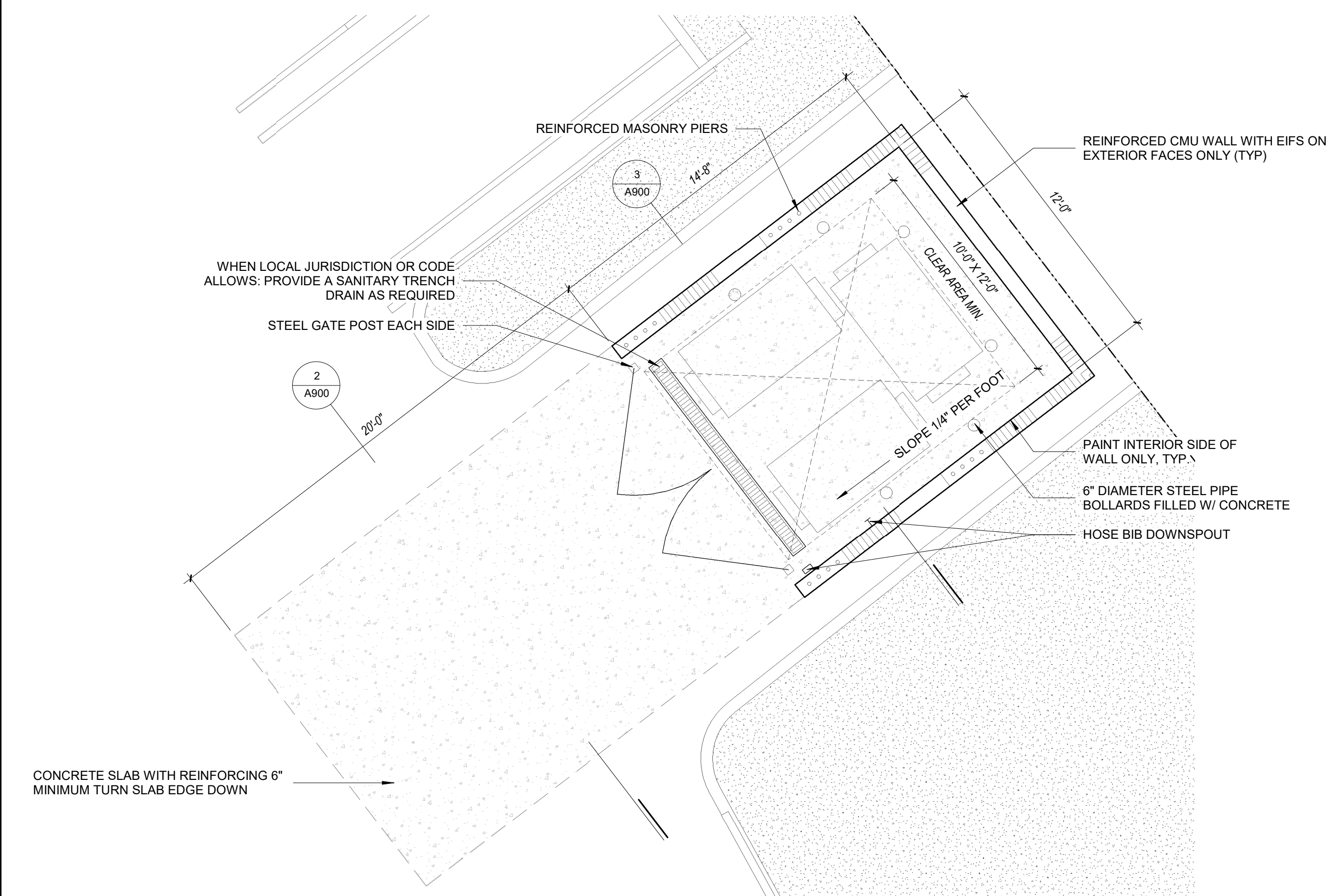
SECTION DETAIL - PORTE COCHERE PAVING
1" = 1'-0" 4



REFUSE ENCLOSURE SECTION
1/4" = 1'-0" 3



REFUSE ENCLOSURE EXTERIOR ELEVATION
1/4" = 1'-0" 2



REFUSE ENCLOSURE FLOOR PLAN
1/4" = 1'-0" 1

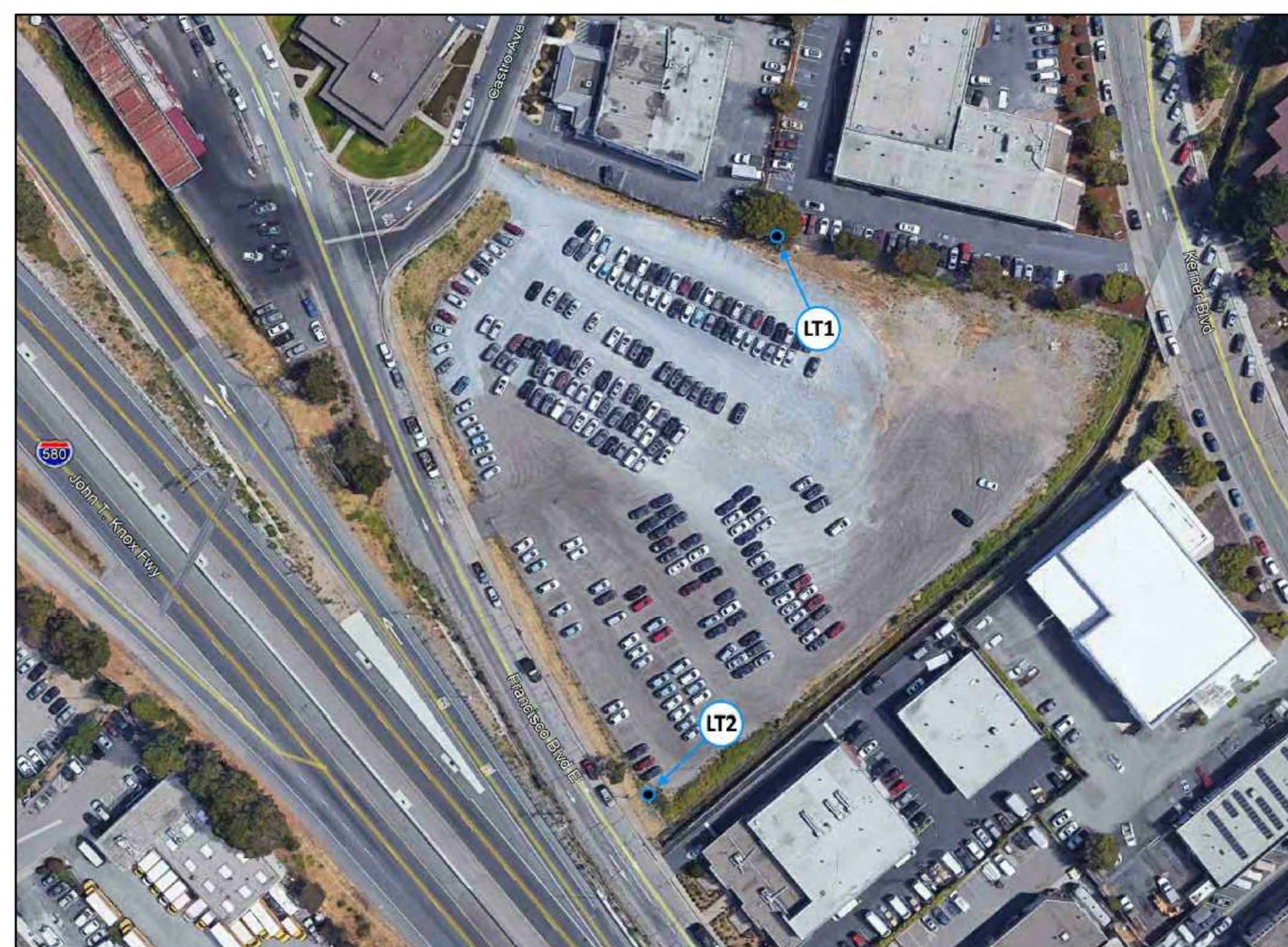


FIGURE 1: SAN RAFAEL HILTON HOTEL LONG-TERM NOISE MEASUREMENT LOCATIONS

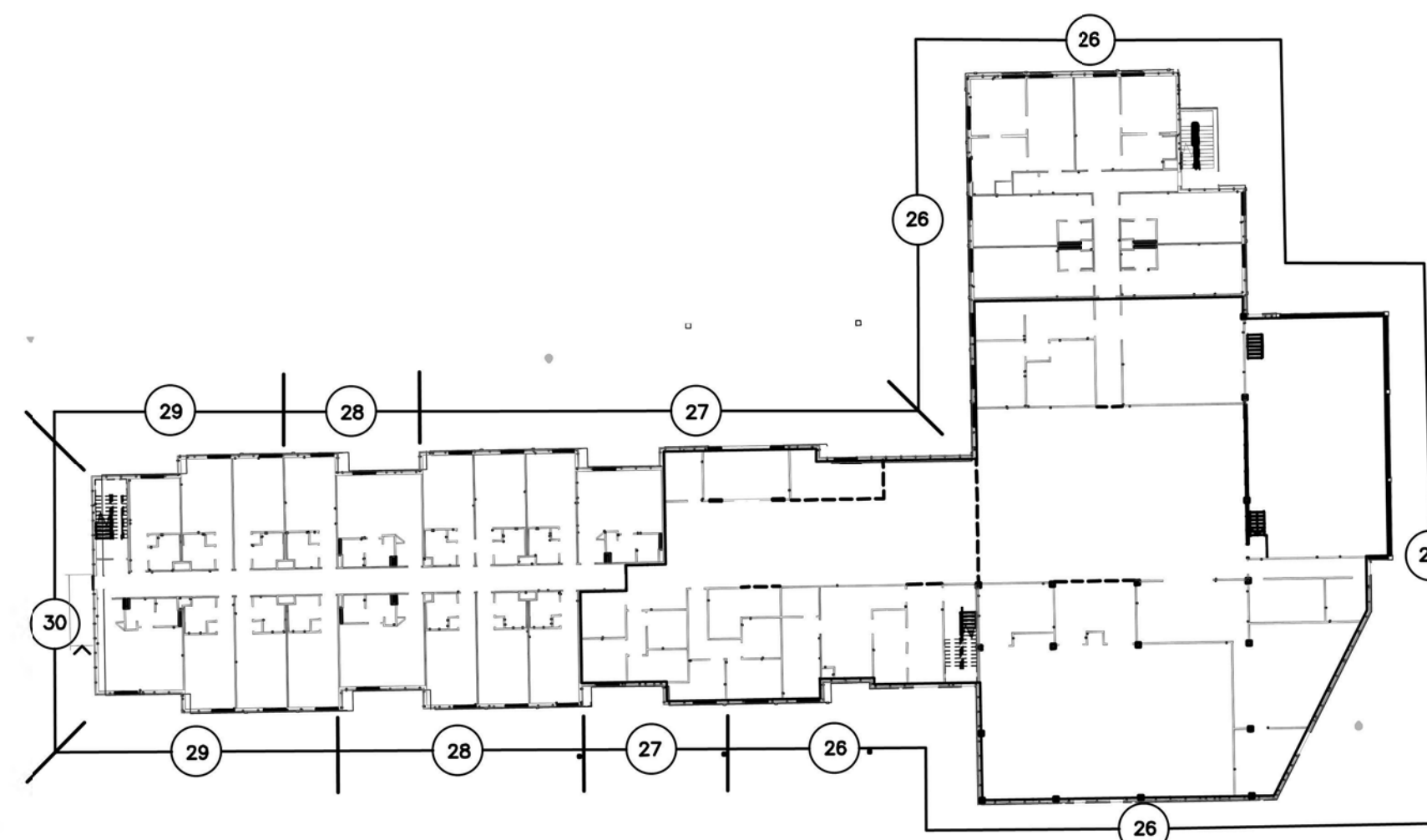


FIGURE 2: HILTON SAN RAFAEL MINIMUM RECOMMENDED OITC RATINGS FOR WINDOWS (GROUND & FLOOR 2)

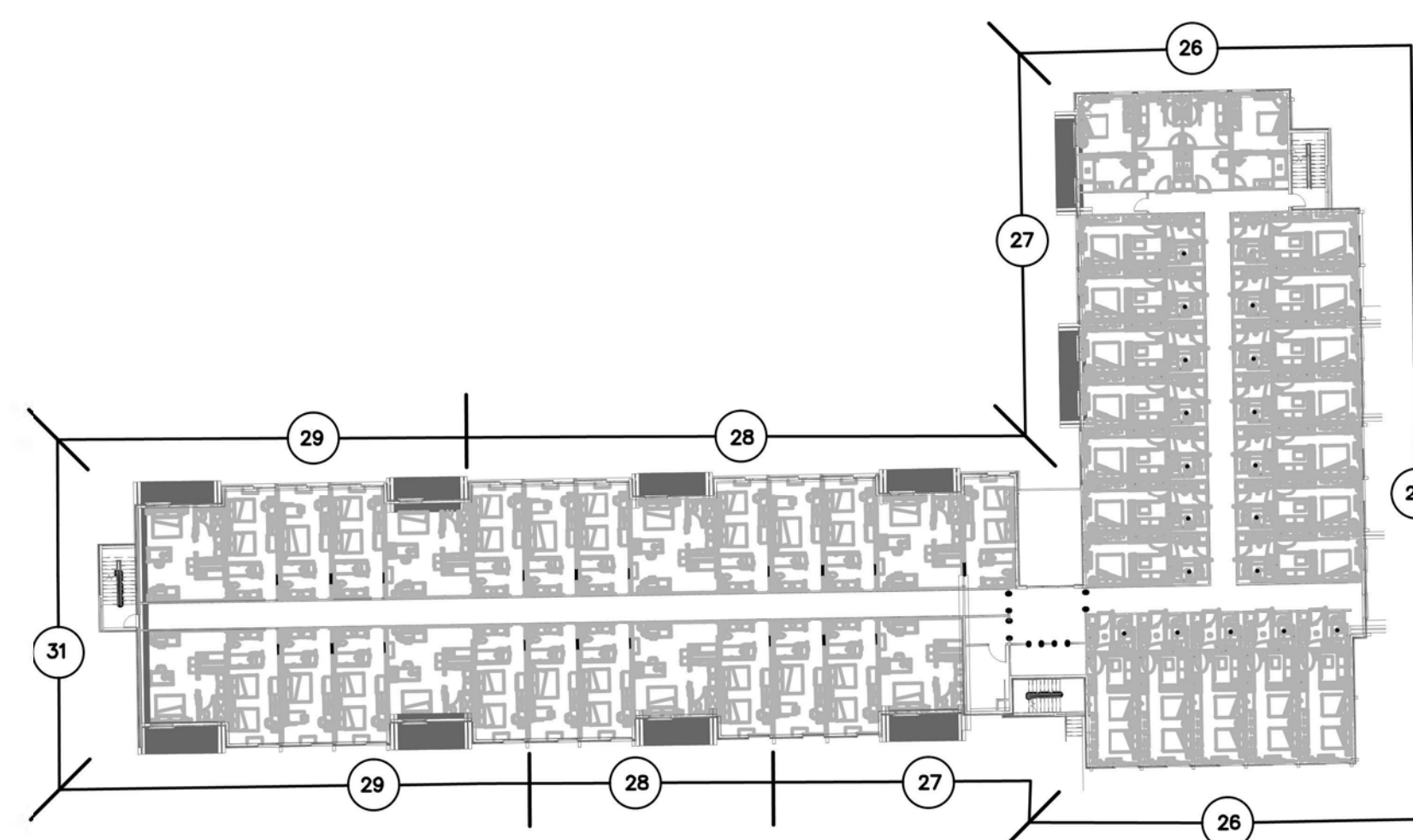


FIGURE 3: HILTON SAN RAFAEL MINIMUM RECOMMENDED OITC RATINGS FOR WINDOWS (FLOORS 3 AND 4)

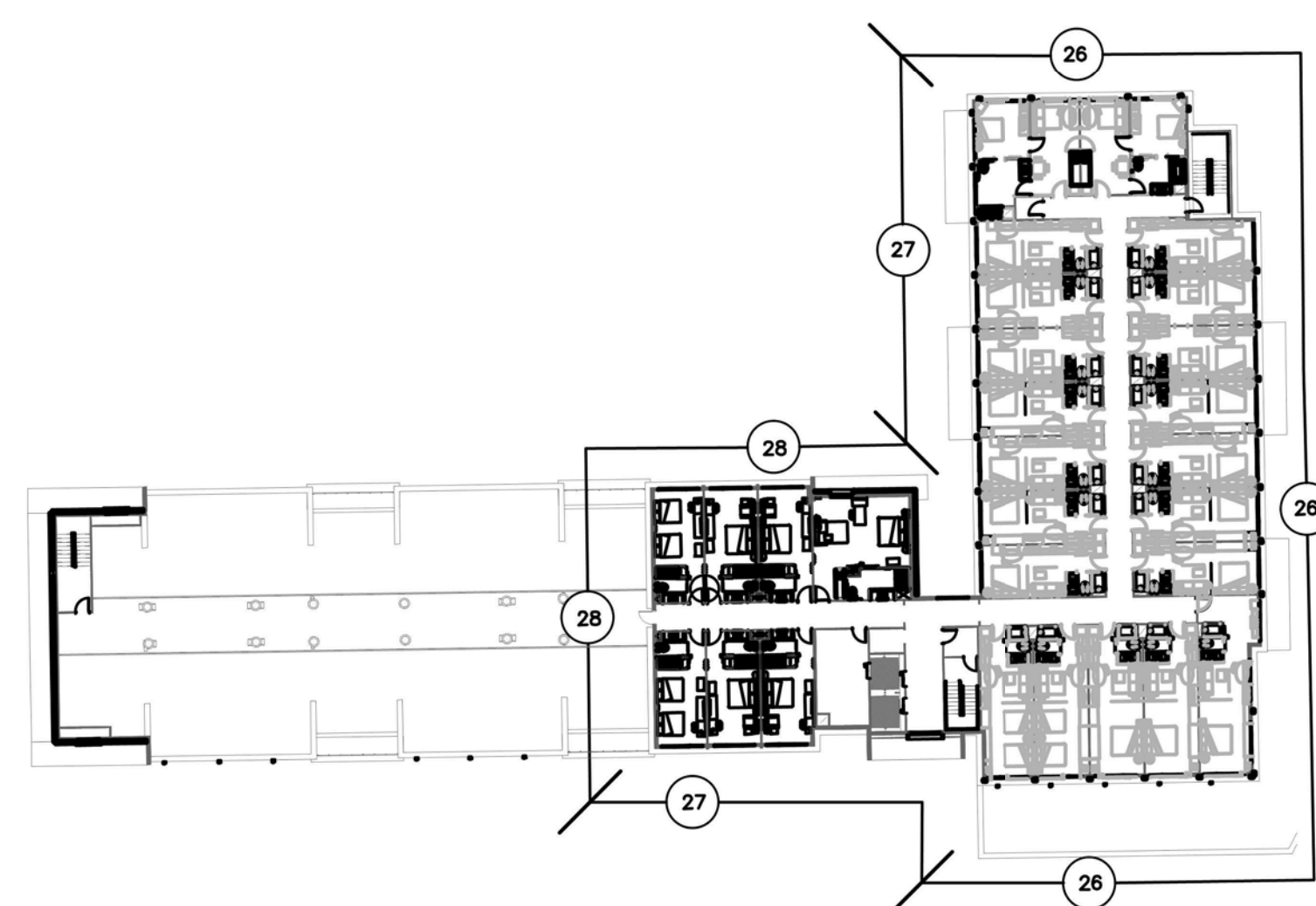


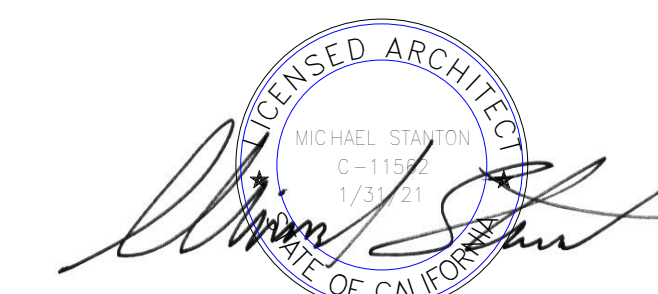
FIGURE 4: HILTON SAN RAFAEL MINIMUM RECOMMENDED OITC RATINGS FOR WINDOWS (FLOOR 5)

REVISIONS			
NO.	DATE	DESCRIPTION	BY

COFFMAN ENGINEERS		1839 Harrison Street, Suite 320 Oakland, California 94612 510.251.9578	
HILTON HOTEL 1075 FRANCISCO BOULEVARD EAST SAN RAFAEL, CA 94901			
DRAWING TITLE PRELIMINARY STC RECOMMENDATIONS			
PROJECT NO. 181850	SCALE:	DATE:	REVISION NO.
DESIGNED BY: ALB	CHECKED BY: CB	DRAWING NO.	
DRAWN BY: ALB	REVIEWED BY: CB		

1075 HOTEL

1075 FRANCISCO BLVD E.
SAN RAFAEL, CA



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NO.	DATE	ISSUE

05/09/2019 USE PERMIT

08/22/2019 USE PERMIT RESUBMITTAL

DRAWING TITLE
PRELIMINARY STC
RECOMMENDATIONS

STATUS

JOB NO.	17002
DRAWN BY	
SHEET NO.	

A901

Hampton -1075 East Francisco Blvd - San Rafael, CA													
LUMINAIRE SCHEDULE													
Type	Source	Name	Location	Performance Notes	Wattage	Lamp	Electrical	DM	Protocol	DFI	CFI	Specification	Image
ARCHITECTURAL FIXTURES													
FL-01	LED	SINGLE HEAD STREETLIGHT	PARKING LOT	Light Linear FT is an elegant minimalist lighting column that is suitable for both modern and classic architecture. This luminaire complies to Dark Sky requirements.	54w							ULI-2129-152w-T4-W40-02-26-XXX	
FL-02	LED	STREETLIGHT	PARKING LOT		64w							EXRL-12-R1-50700-40-XX-XXX-XXX	
FL-03	LED	NOT USED	PARKING LOT										
FL-04	LED	DOUBLE HEAD STREETLIGHT	PARKING LOT		108w							ULI-21321-2x152w-T4-W40-02-26-XXX	
FL-05	LED	WALL WASHER	Facade	IP67 Outdoor bracket mounting linear narrow beam uplight - long throw ASYMMETRIC WALLWASH optic, (left/right feed TBD) standard output, 3ft Section, with Lumentek dimming control. CONTRACTOR to provide complete Shop Drawings with dimensioned layout with all components for a complete and operational linear system including electrical feeds, encaps, terminal blocks, transformers, and code required electrical boxes.	62w	1124 lumens, 4000K, 90CRI	120v, Integral Driver, Triac/ELV dimmer					LUMENPULSE #LOG-120-48-40-WW/LRUF-WAMX-CC-LT	
FL-06	LED	LED UPLIGHT	Facade	Flexible LED tape, remote driver, 97 CRI, 3000K, mounted in angle channel with frosted PMMA lens. CONTRACTOR to provide complete Shop Drawings with dimensioned layout with all components for a complete and operational linear system including electrical feeds, endcaps, terminal blocks, transformers, and code required electrical boxes.	4.2 watt	4.2 watt/ft 24VDC, 3000K, 97CRI	34v, remote 96w ELV dimmer	X				ASCENTI LIGHTING #PV-BLU-40-24-STD, [PROFILE] #FP-AL031-FL	
FL-07	LED	LED ACCENT LIGHTING	Facade	Flexible LED tape, remote driver, 97 CRI, 2700K, mounted in surface channel with frosted PMMA lens integrated into OUTDOOR FURNITURE. Coordinate with ARCHITECT for additional details. Contractor shall submit shop drawing for review.	4.1 watt	4.2 watt/ft 24VDC, 3000K, 97CRI	34v, remote 96w ELV dimmer	X				ASCENTI LIGHTING #PMV-BLU-40-24-STD, [PROFILE] #FP-AL004-FL	
FL-08	LED	WALL SCONCE	Exterior Façade	Large outdoor Sconce with brushed metal finish, 96+ CRI, 4000K White, single color, integral driver, integrated uplight and downlight. ADA compliant. Dimensions: 48" H x 9" W x 4" D	44w	4000K, 96+ CRI, Linear	120v, ELV dimming, integral driver	X				ASCENTI #ACFS-BLU-40-STD-44-85-WH	

GENERAL NOTES

- THE LIGHTING PACKAGE IS PRESENTED THROUGH THE COMBINED MEANS OF LIGHTING LAYOUTS, FIXTURE SCHEDULE, FIXTURE CUTS AND DETAILS. THE ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERTINENT INFORMATION FROM THE CUMULATIVE LIGHTING PACKAGE IN ORDER TO CORRECTLY COORDINATE, ACQUIRE, AND INSTALL EQUIPMENT ON THIS PROJECT. ONLY THE SPECIFIED FIXTURES, LAMPS, AND AUXILIARY EQUIPMENT REQUIRED TO INSTALL THESE FIXTURES SHALL BE USED.
- THE ELECTRICAL CONTRACTOR SHALL ADVISE THE ARCHITECT OF CONDITIONS IN THE FIELD THAT CONFLICT WITH MOUNTING INSTRUCTIONS OR DESIGN INTENT, AND AWAIT CLARIFICATION PRIOR TO PROCEEDING WITH INSTALLATION.
- WHERE SPECIFIC DIMENSIONS ARE NOT SHOWN, FIXTURES SHALL BE LOCATED AS SCALED FROM THE LIGHTING LAYOUTS, AND AS DIRECTED BY THE LIGHTING DESIGNER. WHERE FIXTURES ARE DIMENSIONED OFF FURNITURE LOCATIONS, CONFIRM EXACT LOCATION OF FURNITURE PIECE WITH INTERIOR DESIGNER IN FIELD. WHERE CONFLICTS OCCUR BETWEEN DIMENSIONS, THOSE DIMENSIONS SHOWN ON THE DETAILS SHALL PREVAIL OVER DIMENSIONS SHOWN ON LIGHTING LAYOUTS.
- MOST DECORATIVE LIGHT FIXTURES HAVE NOT YET BEEN SPECIFIED (AS OF THE DATE OF ISSUE OF THIS DRAWING); THUS THE MOUNTING HEIGHTS SHOWN ARE APPROXIMATE, AND WILL REQUIRE SOME ADJUSTMENT BASED ON FIXTURES SELECTED AND FINAL SIZE AND LOCATIONS OF MIRRORS AND OTHER FURNISHINGS THAT MAY CONFLICT WITH THE FIXTURES. THE ELECTRICAL CONTRACTOR SHALL PROVIDE ENOUGH EXTRA CABLE FOR MODEST MOVEMENT OF JUNCTION BOXES AS REQUIRED.
- THE ELECTRICAL CONTRACTOR SHALL HAVE ULTIMATE RESPONSIBILITY FOR PROPERLY MATCHING TRANSFORMER AND BALLAST SIZE TO FIXTURES REQUIRING TRANSFORMERS OR BALLASTS IN SOUND-ISOLATED, ARCHITECT-APPROVED LOCATIONS THAT ARE ACCESSIBLE AND AS CLOSE TO FIXTURE AS POSSIBLE. EVERY EFFORT SHALL BE MADE BY THE ELECTRICAL CONTRACTOR TO PROPERLY CAMOUFLAGE REMOTE TRANSFORMERS AND BALLASTS VIA LOCATION AND COLOR. IN THE CASE OF REMOTE LOW VOLTAGE TRANSFORMERS, PROPER SIZING OF WIRE, DETERMINED BY LENGTH OF RUN AND AMPERAGE REQUIRED, SHOULD BE CALCULATED ON A CASE-BY-CASE BASIS, ALLOWING VOLTAGE DROP OF NO GREATER THAN 5%.
- LIGHTING FIXTURES SHALL BE DELIVERED, STORED, AND HANDLED SUCH THAT THEY ARE PROTECTED FROM PHYSICAL DAMAGE. DO NOT INSTALL DAMAGED FIXTURES OR COMPONENTS; REMOVE DAMAGED UNITS FROM THE SITE AND REPLACE WITH NEW, AT NO ADDITIONAL EXPENSE TO THE OWNER.
- THE ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND PROPERLY COORDINATING THE WORK OF ALL SUBCONTRACTORS REQUIRED ON THE PROJECT. THIS WORK WILL INCLUDE ALL PATCHING, REPAIRING, PAINTING AND CLEANING AS NECESSARY FOR A COMPLETE AND FINISHED JOB AS JUDGED BY THE OWNER AND/OR LIGHTING DESIGNER. THE ELECTRICAL CONTRACTOR SHALL EXERCISE THE UTMOST CAUTION WITH REGARDS TO ART, FURNITURE, MEMORABILIA, FLOORING, AND OTHER FINISHED ELEMENTS WITHIN THE WORK AREA.
- FIXTURE CATALOG NUMBERS DO NOT NECESSARILY DENOTE SPECIFIC MOUNTING ACCESSORIES. THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ALL NECESSARY ACCESSORIES TO SUCCESSFULLY COMPLETE THE INSTALLATION. THE INTENTION OF THIS LIGHTING PACKAGE IS TO PROVIDE A JOB COMPLETE IN EVERY RESPECT. THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR THIS RESULT.
- INSTALL LIGHTING FIXTURES AT LOCATIONS AND HEIGHTS SHOWN, IN ACCORDANCE WITH FIXTURE MANUFACTURERS WRITTEN INSTRUCTIONS, APPLICABLE REQUIREMENTS AND STANDARDS, AND WITH RECOGNIZED INDUSTRY PRACTICES. FASTEN LIGHTING FIXTURES SECURELY TO STRUCTURAL SUPPORTS TO ENSURE THAT INSTALLED FIXTURES ARE PLUMB AND LEVEL, AND THAT VIBRATION AND TRANSFORMER/BALLAST NOISE IS MINIMIZED.
- THE ELECTRICAL CONTRACTOR SHALL COORDINATE LANDSCAPE LIGHT FIXTURE LOCATIONS WITH PLANTING AND HARDSCAPE VIA THE LIGHTING DESIGNER, OR IN OUR ABSENCE, THE ARCHITECT.
- ACTUAL TREE AND PLANTING LOCATIONS MAY VARY IN THE FIELD COMPARED TO LOCATIONS SHOWN ON THE LIGHTING LAYOUTS. THE ELECTRICAL CONTRACTOR SHALL POSITION GROUND MOUNTED FIXTURES A MINIMUM OF 6 INCHES FROM ADJACENT PAVING AND ALIGN FIXTURES AS CLOSE AS POSSIBLE TO THE INTENDED ORIENTATIONS SHOWN ON THE LIGHTING LAYOUTS AND DETAILS.
- THE ELECTRICAL CONTRACTOR SHALL REFER TO OTHER SECTIONS OF THE PROJECT PLANS AND SPECIFICATIONS AS REQUIRED IN ORDER TO UNDERSTAND THE NECESSARY COORDINATION WITH OTHER TRADES, AND TO INSURE THE SATISFACTORY INSTALLATION OF THE LIGHTING EQUIPMENT ACCORDING TO LIGHTING LAYOUTS AND LIGHTING FIXTURE PACKAGE.
- INSTALL RECESSED FIXTURES SUCH THAT NO LIGHT LEAKS BETWEEN TRIM RING AND CEILING OCCUR. USE GASKET IF REQUIRED, TO ACHIEVE THIS RESULT. PAINT ALL RECESSED DOWNLIGHT TRIMS TO MATCH ADJACENT SURFACE, AS DIRECTED BY ARCHITECT AND/OR INTERIOR DESIGNER.
- INSTALL CONTINUOUS ROWS OF LINEAR FLUORESCENT FIXTURES WITHOUT "GAPS". INSTEAD, SPLIT THE DIFFERENCE OF THE REMAINING SURFACE LENGTH, AND LEAVE SPACE AT ENDS OF EACH ROW.

** THESE GENERAL NOTES APPLY TO ALL LIGHTING LAYOUTS.

AMISH PATEL

CALIFORNIA

HOTEL

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SAN RAFAEL, CA

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t 562.799.8488
www.foxandfoxdesign.com

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NO.	DATE	ISSUE
1.	02/26/2019	

DRAWING TITLE
LIGHTING SCHEDULE

STATUS
CAPACITY STUDY

JOB NO.	17002
DRAWN BY	CYC
SHEET NO.	

LD000



2/12/2019 11:16:04 AM



SITE PLAN LIGHTING DESIGN
1" = 30'-0" 1

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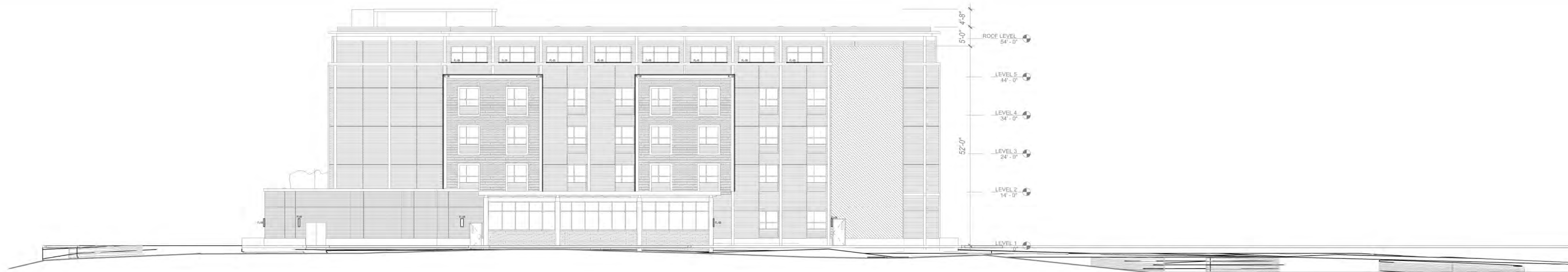
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NO. DATE ISSUE
1. 02/26/2019

DRAWING TITLE
SITE PLAN LIGHTING DESIGN

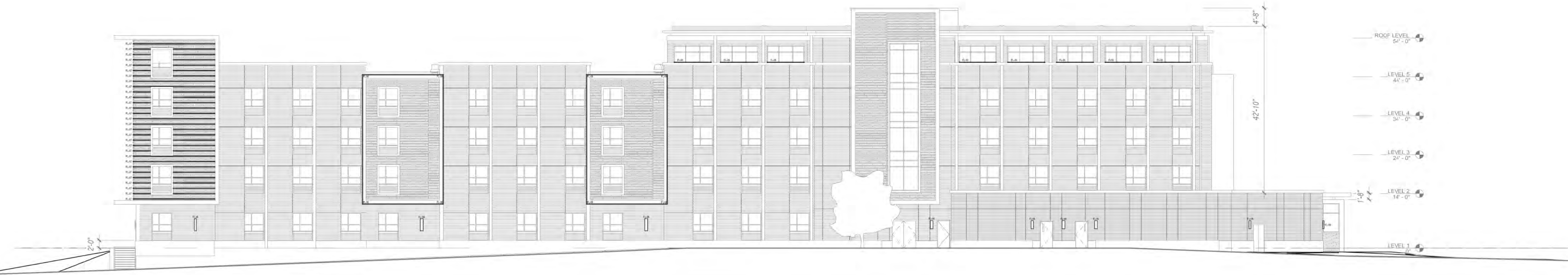
STATUS
CAPACITY STUDY

JOB NO. 17002
DRAWN BY CYC
SHEET NO.

LD001



LIGHTING ELEVATION 4
1/16" = 1'-0"



LIGHTING ELEVATION 3
1/16" = 1'-0"



LIGHTING ELEVATION 2
1/16" = 1'-0"



LIGHTING ELEVATION 2
1/16" = 1'-0"

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JOB NO. 17002
DRAWN BY CYC
SHEET NO.

LD002



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 0 30 60

 SITE PLAN LIGHTING CALCULATION

 1" = 30'-0"

1

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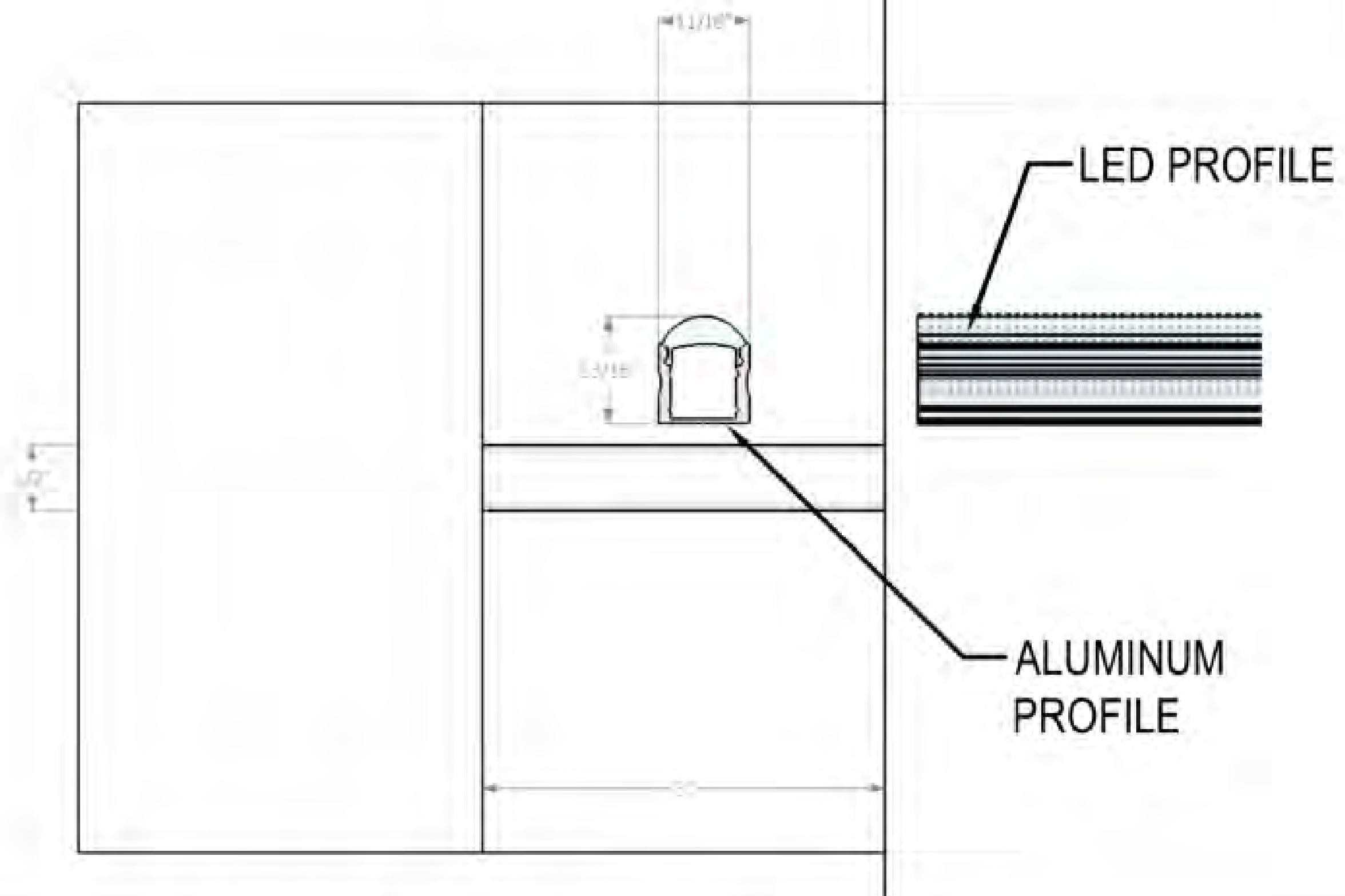
NO.	DATE	ISSUE
1.	02/26/2019	

DRAWING TITLE
SITE PLAN LIGHTING
CALCULATION

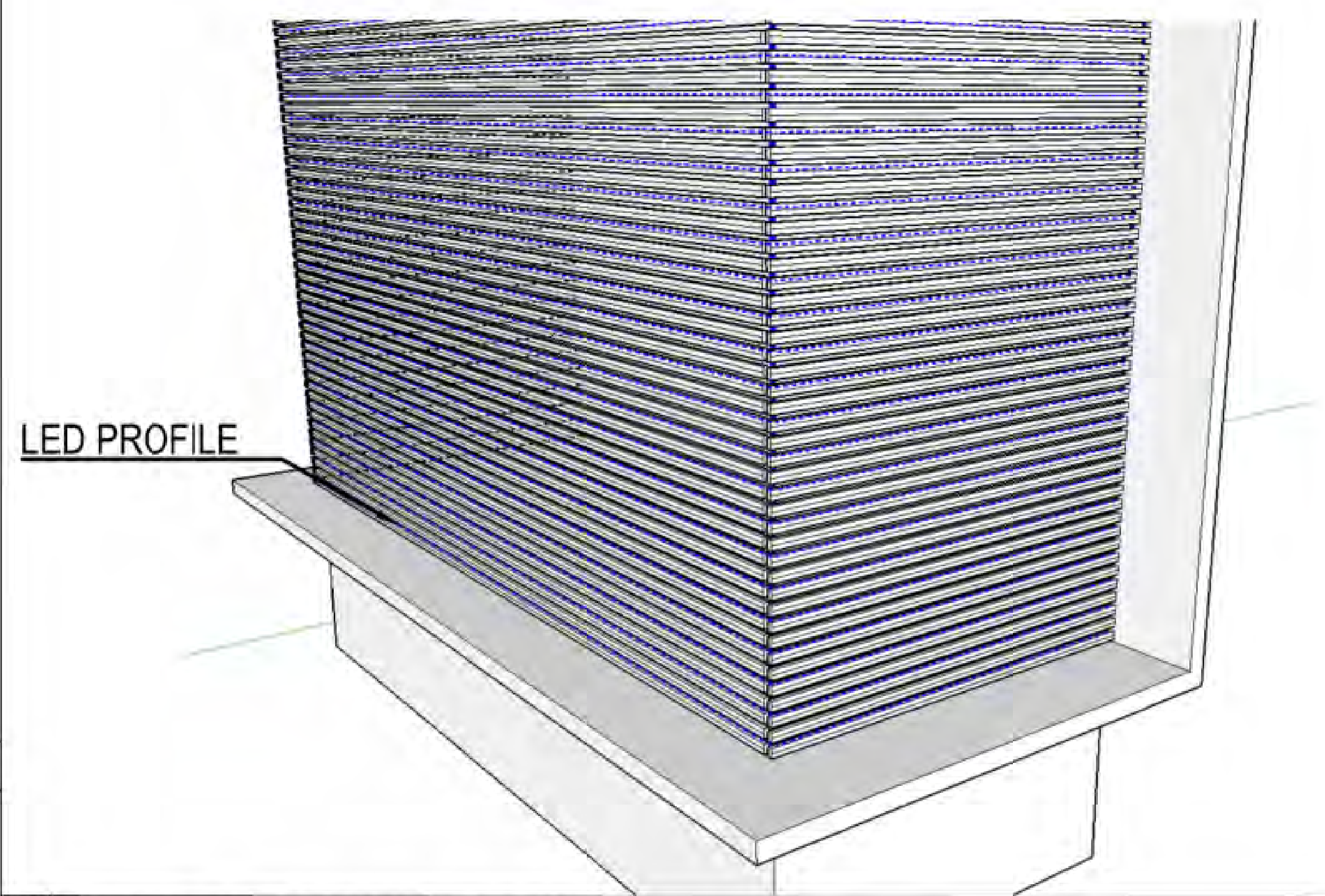
STATUS
CAPACITY STUDY

JOB NO. 17002
 DRAWN BY CYC
 SHEET NO.

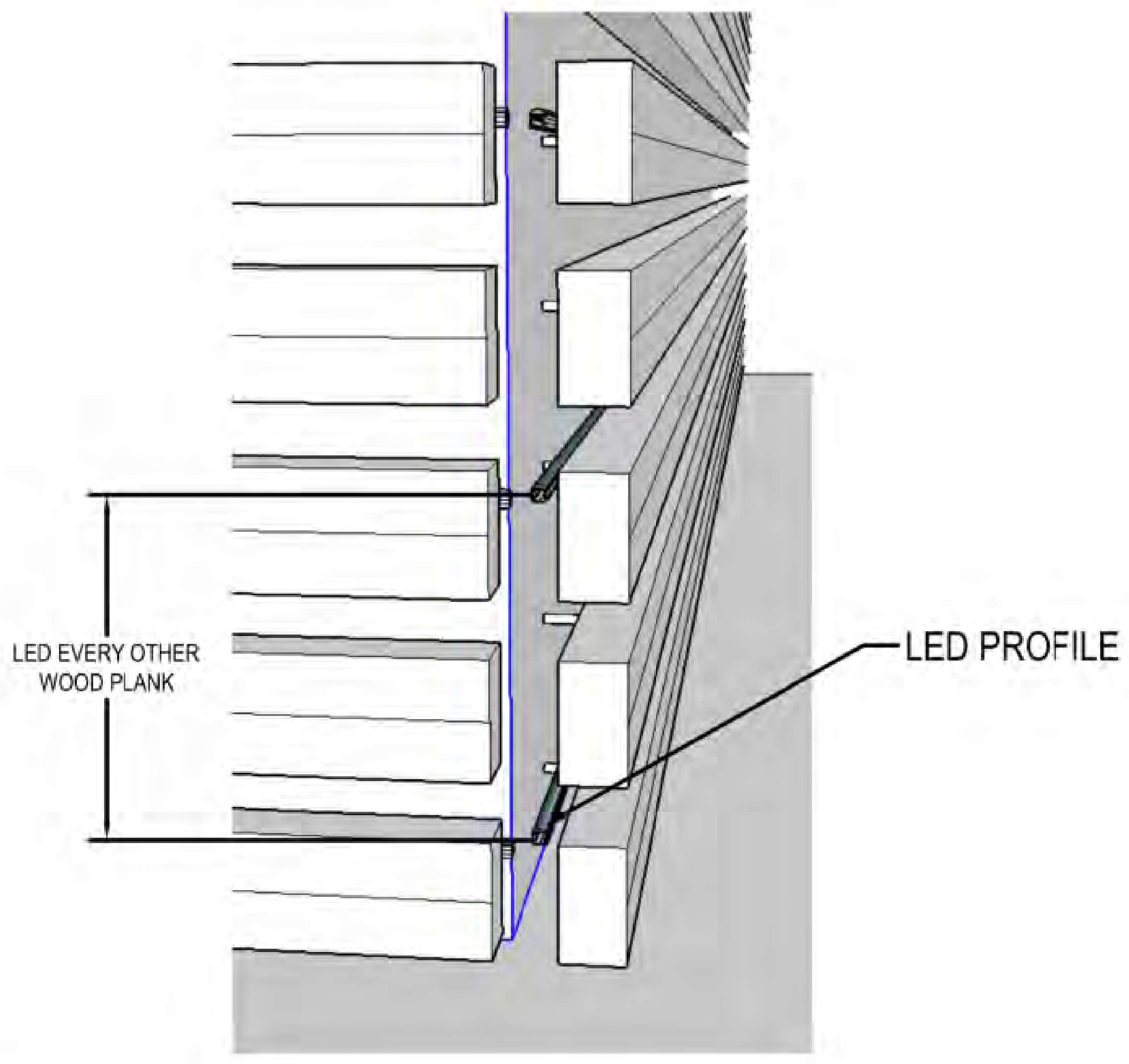
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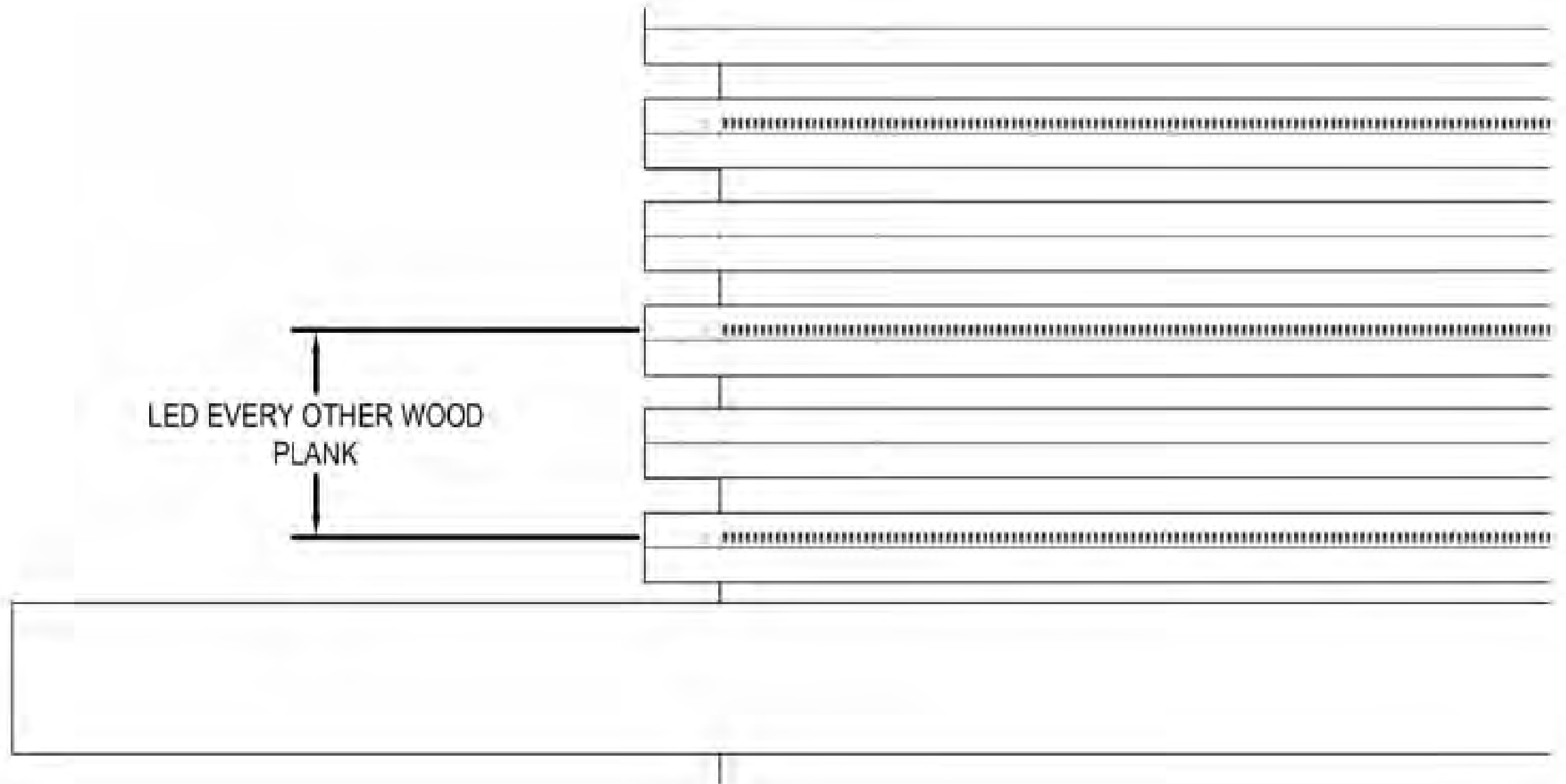
1 PROPOSED MAIN FACADE DETAIL PIXELATED WALL WASH



2 PERSPECTIVE VIEW OF PROPOSED MAIN FACADE



3 PROPOSED PERSPECTIVE DETAIL



4 PROPOSED ELEVATION DETAIL

AMISH PATEL
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DRAWING TITLE
LIGHTING DETAIL

STATUS
CAPACITY STUDY

JOB NO: 17002
DRAWN BY: CYC
SHEET NO:

LD004

2/1/2019 11:16:04 AM

Title Report Exceptions:

from "Preliminary Report" prepared by Old Republic Title Company dated August 1, 2018, Order Number 0224045620-KN

- Taxes and assessments, general and special, for the fiscal year 2018-2019, a lien, but not yet payable.
Not A Survey Matter
- Taxes and assessments, general and special, for the fiscal year 2017-2018, as follows:
 - Assessor's Parcel No : 009-191-02
 - Bill No. : 17-1159571
 - Code No. : 008-006
 - 1st Installment : \$3,805.45 Marked Paid
 - 2nd Installment : \$3,805.45 Marked Paid
 - Land Value : \$586,213.00
 - Not A Survey Matter
- Taxes and assessments, general and special, for the fiscal year 2017-2018, as follows:
 - Assessor's Parcel No : 009-191-03
 - Bill No. : 17-1159572
 - Code No. : 008-006
 - 1st Installment : \$2,916.38 Marked Paid
 - 2nd Installment : \$2,916.38 Marked Paid
 - Land Value : \$433,058.00
 - Not A Survey Matter
- Taxes and assessments, general and special, for the fiscal year 2017-2018, as follows:
 - Assessor's Parcel No : 009-191-04
 - Bill No. : 17-1159573
 - Code No. : 008-006
 - 1st Installment : \$4,646.04 Marked Paid
 - 2nd Installment : \$4,646.04 Marked Paid
 - Land Value : \$723,524.00
 - Not A Survey Matter
- Taxes and assessments, general and special, for the fiscal year 2017-2018, as follows:
 - Assessor's Parcel No : 009-191-09
 - Bill No. : 17-1159575
 - Code No. : 008-006
 - 1st Installment : \$8,192.12 Marked Paid
 - 2nd Installment : \$8,192.12 Marked Paid
 - Land Value : \$1,330,862.00
 - Not A Survey Matter
- Taxes and assessments, general and special, for the fiscal year 2017-2018, as follows:
 - Assessor's Parcel No : 009-191-10
 - Bill No. : 17-1159576
 - Code No. : 008-006
 - 1st Installment : \$3,991.86 Marked Paid
 - 2nd Installment : \$3,991.86 Marked Paid
 - Land Value : \$623,181.00
 - Not A Survey Matter
- The lien of supplemental taxes, if any, assessed pursuant to the provisions of Section 75, et seq., of the Revenue and Taxation Code of the State of California.
Not A Survey Matter
- The herein described property lying within the proposed boundaries of a Community Facilities District, as follows:
 - District No : 2014-1
 - For : CLEAN ENERGY
 - Disclosed By : Assessment Map
 - Recorded : August 28, 2015 in Book 2015 of Assessment Maps, Page 124

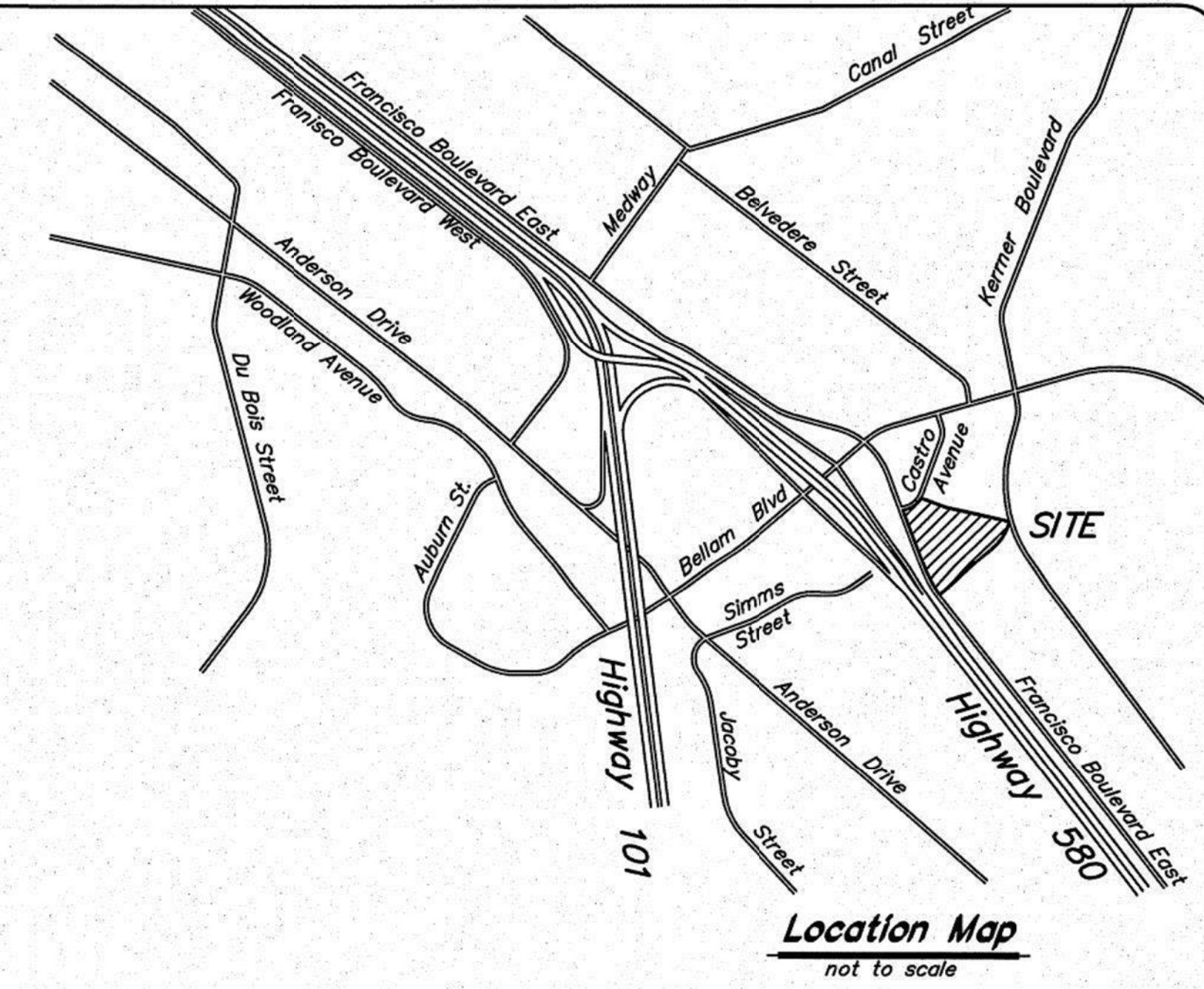
Further information may be obtained by contacting:
Not A Survey Matter
- Water rights, claims or title to water, whether or not shown by the public records.
Not A Survey Matter
- An easement affecting that portion of said land and for the purposes stated herein and incidental purposes as provided in the following:
 - Granted To : State of California
 - For : Slope & Drainage purposes
 - Recorded : March 19, 1957 in Book 1101 of Official Records, Page 391
 - Affects : Area at the southerly corner of said land, as more particularly described therein
 - Shown On This Map
- An easement affecting that portion of said land and for the purposes stated herein and incidental purposes as provided in the following:
 - Granted To : City of San Rafael, a municipal corporation
 - For : An easement
 - Recorded : February 25, 1965 in Book 1913 of Official Records, Page 340 under Recorder's Serial Number 6192
 - Affects : As described therein
 - Shown On This Map
- An easement affecting that portion of said land and for the purposes stated herein and incidental purposes as shown on the map filed on March 5, 1965 in Book 13 of Tract Maps, at Page 3
 - For : Public Utility
 - Affects : As shown on the map
 - For : Anchor Easement
 - Affects : The westerly portion of the northerly boundary of said land

Said easements are also shown on that certain map recorded in Book 5 of Surveys at Page 48
Shown On This Map
- Intentionally deleted
- Terms and provisions as contained in an instrument,
 - Entitled : Grant Deed
 - Executed By : Chrysler Group Realty Company, LLC, a Delaware limited liability company
 - Dated : March 6, 2014
 - Recorded : March 11, 2014 in Official Records under Recorder's Serial Number 2014-0008872
 - Note: Reference is made to said instrument for full particulars
Not A Survey Matter
- Matters as contained or referred to in an instrument,
 - Entitled : Grant of Right of First Offer
 - Executed By : Bay Automotive Properties, LLC, a California limited liability company and Chrysler Group Realty Company, LLC, a Delaware limited liability company
 - Dated : March 6, 2014
 - Recorded : March 11, 2014 in Official Records under Recorder's Serial Number 2014-0008873
 - Note: Reference is made to said instrument for full particulars
Not A Survey Matter

- Prior to the issuance of any policy of title insurance, the Company requires the following with respect to Bay Automotive Properties LLC, a California limited liability company:
 - A copy of any management or operating agreements and any amendments thereto, together with a current list of all members of said LLC
 - A certified copy of its Articles of Organization (LLC-1), any Certificate of Correction (LLC-11), Certificate of Amendment (LLC-2), or Restatement of Articles of Organization (LLC-10)
 - Recording a Certified copy of said LLC-1 and any "amendments thereto".
Not A Survey Matter
- Any facts, rights, interests, or claims that are not shown by the Public Records but that could be ascertained by an inspection of the land or that may be asserted by persons in possession of the land.
Not A Survey Matter
- Note: It appears that Old Republic National Title Insurance may be asked to insure against the rights of Mechanics Lien claimants. The Company may require the following:
 - Signed indemnities by all parties.
 - A copy of the construction cost breakdown.
 - Appropriate Financial statements from all indemnitors
Not A Survey Matter
- The requirement that this Company be provided with an opportunity to inspect the land (the Company reserves the right to make additional exceptions and/or requirements upon completion of its inspection).
Not A Survey Matter
- The requirement that this Company be provided with a suitable Owner's Declaration (from ORT 174). The Company reserves the right to make additional exceptions and/or requirements upon review of the Owner's Declaration.
Not A Survey Matter
- Any unrecorded and subsisting leases.
Not A Survey Matter

General Notes

- Benchmark:** 2 inch Aluminum Cap in concrete stamped "Sonoma Marin Area Rail Transit Project Control PLS 7935", Monument Number 155 as shown on "Record of Survey" filed July 9, 2010 in Book 2010 of Maps at Page 96, Marin County Records; ELEVATION of 3.44 (datum of NAVD 88).
- Federal Emergency Management Agency (FEMA), Flood Insurance Rate Map (FIRM) Panel 06041C0459F shows the property in "Zone AE" with effective date of March 15, 2016, with 100 year frequency flood elevation of 10.0, NAVD88 datum.
 - Utilities shown hereon are based upon surface features indicated by field verification performed in September 2018. Verification of underground utilities not evident by surface structures was not verified for this survey; a subsurface utility locating company will need to locate utilities for underground locations.
 - The record title information shown hereon is based on a preliminary title report prepared by Old Republic Title Company dated August 1, 2018, Order Number 0224045620-KN
 - A Record of Survey was filed for record June 15, 1966 in Book 5 of Surveys at Page 48, Marin County Records. Any differences between the courses in the "legal description" below and those shown on that survey.
 - Property is 3.45 Acres, 150,276 square feet, more or less
 - Features shown hereon are existing as of the date of the field survey performed by Adobe Associates, Inc.; utilities are shown based upon surface features observed at the time of the field survey; plans for the construction of on-site development were not provided to this surveyor; exact location of underground features cannot be accurately located; where additional or more detailed information is required, the Client is advised that excavation and/or a private utility locate request may be necessary.
 - No evidence of recent earth moving work, building construction, or building additions was observed in the process of conducting the fieldwork.
 - No proposed changes in street right of way lines was made available by the City of San Rafael, and no evidence of recent street or sidewalk construction or repairs was observed in the process of conducting the fieldwork.



Legal Description

The land referred to is situated in the County of Marin, City of San Rafael, State of California, and is described as follows:

A portion of Lot 1 and all of Lots 2, 3 and 4, as shown upon that certain map entitled, "Map of Bellam Subdivision No. 1, City of San Rafael, California", filed March 5, 1965 in Book 13 of Maps at Page 3, Marin County Records, and a portion of the real property shown on that certain map entitled, "Reversion to Acreage Map of East San Rafael", filed June 13, 1963 in Book 11 of Maps at Page 90, Marin County Records, which are described as a unit as follows:

Beginning at a point on the Southwesterly line of Lot 1, distant thereon Northwesterly 7.54 feet from the most Southerly corner of Lot 1 of said Bellam Subdivision Northwesterly along a curve to the right whose center bears North 55°46'55" East, 1,673 feet through a central angle of 137°19'20", an arc distance of 389.00 feet; thence North 20°53'45" West, 23.89 feet; thence Northerly along a tangent curve to the right with a radius of 50 feet through a central angle of 78°31'41", an arc distance of 68.53 feet, to a point of reverse curvature; thence along a curve to the left with a radius of 150 feet, through a central angle of 37°09'56", an arc distance of 97.30 feet, to the most Northerly corner of said Lot 4; thence along the Northwesterly line of said Lot 4, South 69°32' East, 145.00 feet, to the Northeastly corner thereof; thence South 77°45' East, 343.33 feet, to a point on the Westerly line of the parcel of land described as 15 foot drainage easement in Parcel Two of the deed from Kermer-Bellam Realty Company to City of San Rafael, recorded October 8, 1964 in Book 1868 of Official Records at Page 517, Marin County Records; thence along said Westerly line South 20°28' West, 30.93 feet; thence continuing along said Westerly line along a curve to the right with a radius of 292.50 feet, through a central angle of 29°13'22", an arc distance of 149.18 feet; and thence South 49°41'22" West, 351.48 feet, to the point of beginning.

APN: 009-191-02, 009-191-03, 009-191-04, 009-191-09 and 009-191-10

Surveyor's Certificate

To the Euphoria Hospitality, LLC, and Old Republic Title Company:

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2015 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS and includes items 1-5, 8, 9, 11, 16, 17, 19 Table A thereof. The field work was completed on September 5, 2018.

Paul M. Brown
Paul M. Brown, PLS 5087
my license expires 6/30/19

9/25/18
Date:

Note:
Use of the words "certify", "certification" and "certificate" only constitutes an expression of professional opinion regarding those facts or findings which are the subject of this document and does not constitute a warranty or guarantee either expressed or implied in accordance with the provisions of California Business and Professions Code sections 6735.5 and 8770.6.



No.	Date	Description	Approved
1	9/25/18	Updated from 3rd Amended Title Report	

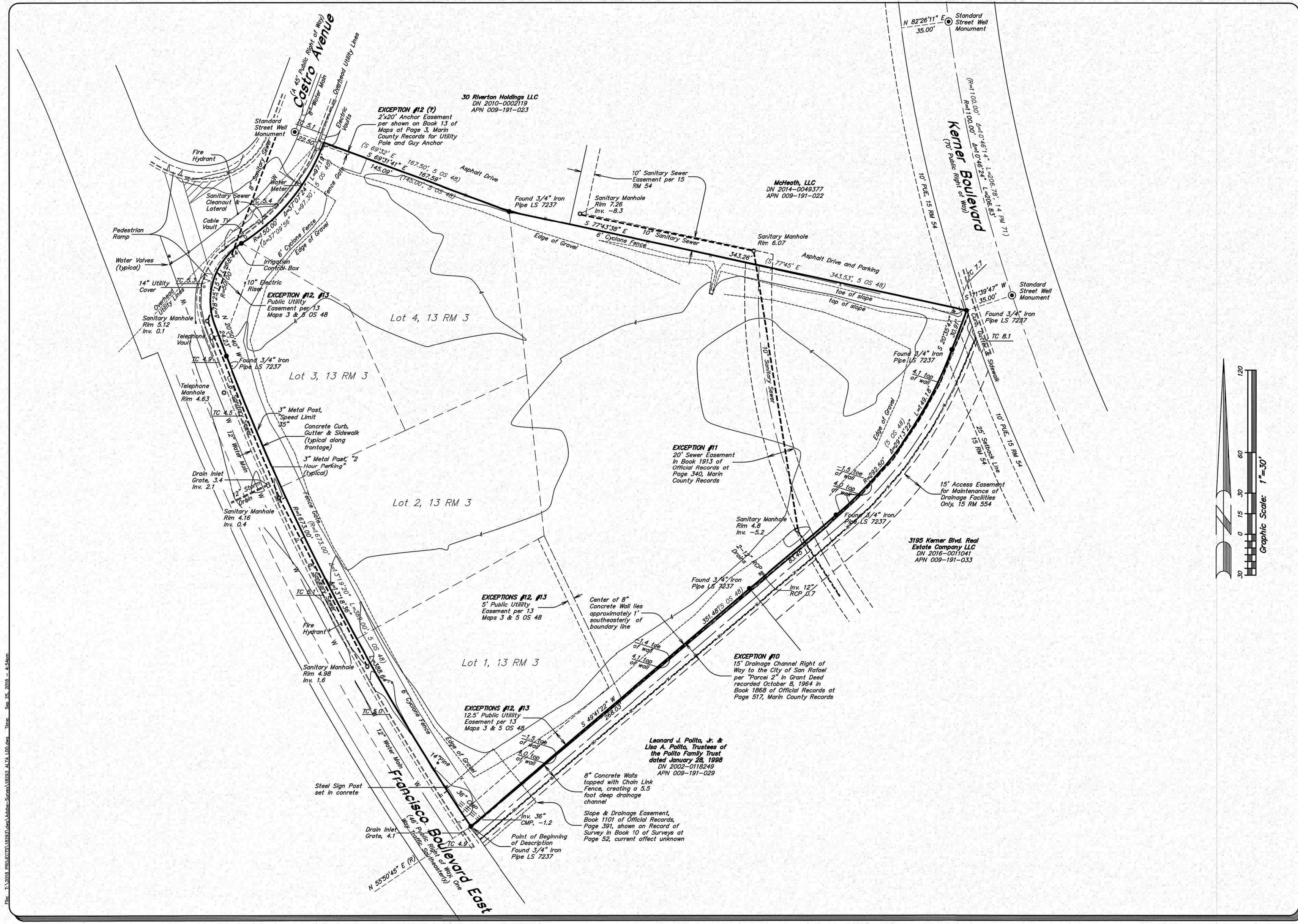
1220
N. Dutton Ave.
Sausalito, CA 94965
707.541.2300
707.541.2300
Fax: 707.541.2301



ALTA/NSPS Land Title Survey
1075 Francisco Boulevard East
DN 2014-0008872
APN 009-191-02, 03, 04, 09, 10

Date: September 2018
Design by:
Drawn by:
Checked by:

Sheet
1
of 1 sheet
Job No. 18293



File: T:\2018 PROJ\2018\2018\Survey\ALTA\ALTA_100.dwg Title: Sep 25, 2018 4:54pm

No.	Date	Revisions Description	Approved

1220 N. Dutton Ave
 Santa Rosa, CA 95401
 707 541 2300
 Fax: 707 541 2301



ALTA/NSPS Land Title Survey

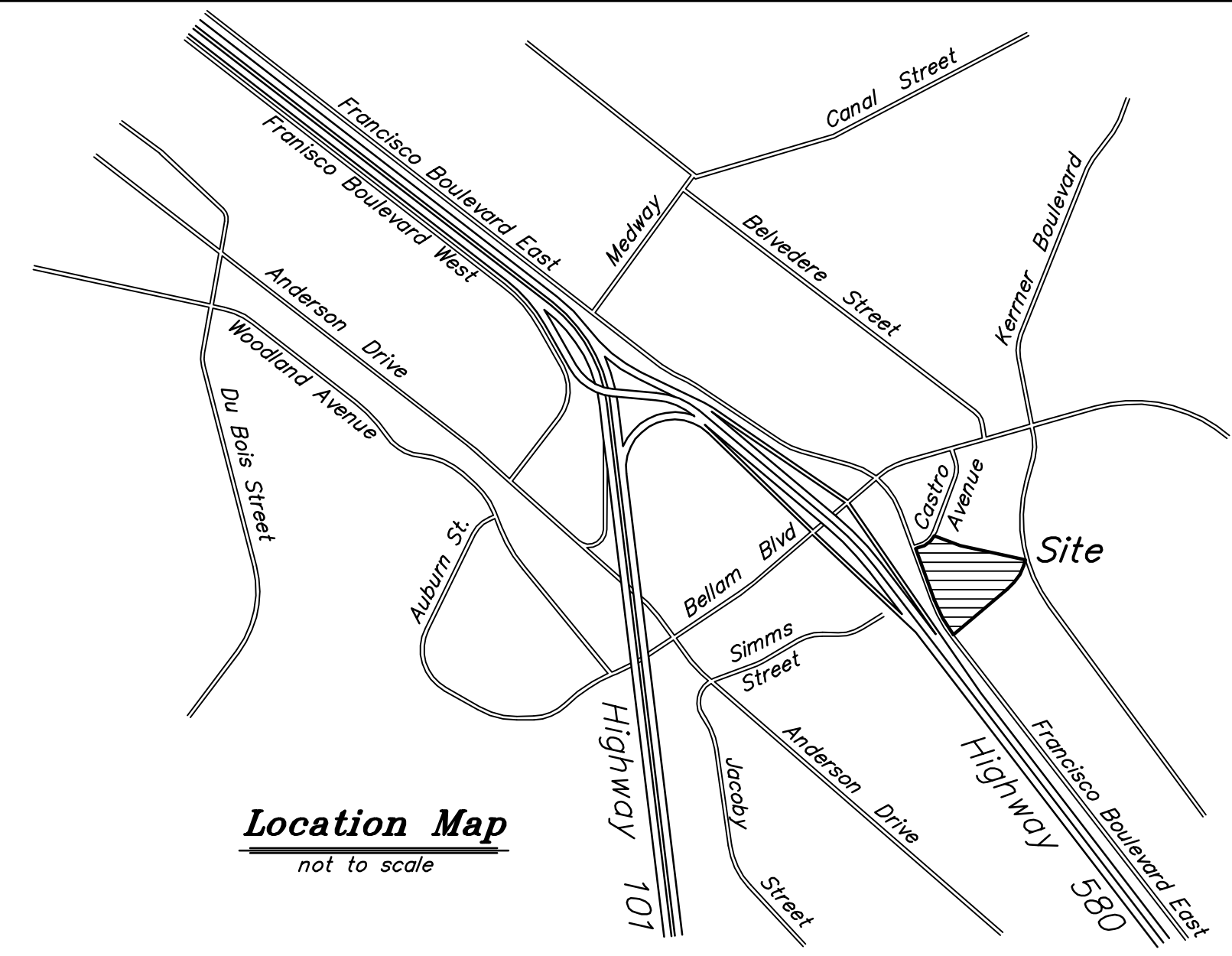
1075 Francisco Boulevard East
 DN 2014-0008872
 APN 009-191-02, 03, 04, 09, 10

Scale: 1" = 30'
 Date: September 2018
 Design by: _____
 Drawn by: _____
 Checked by: _____

EXISTING ZONING: - GC (General Commercial)
 SEWAGE DISPOSAL: - City of San Rafael
 WATER SUPPLY: - City of San Rafael
 UTILITY SERVICE: - Pacific Gas and Electric
 FLOOD ZONE - ZONE "AE"

Tentative Parcel Map

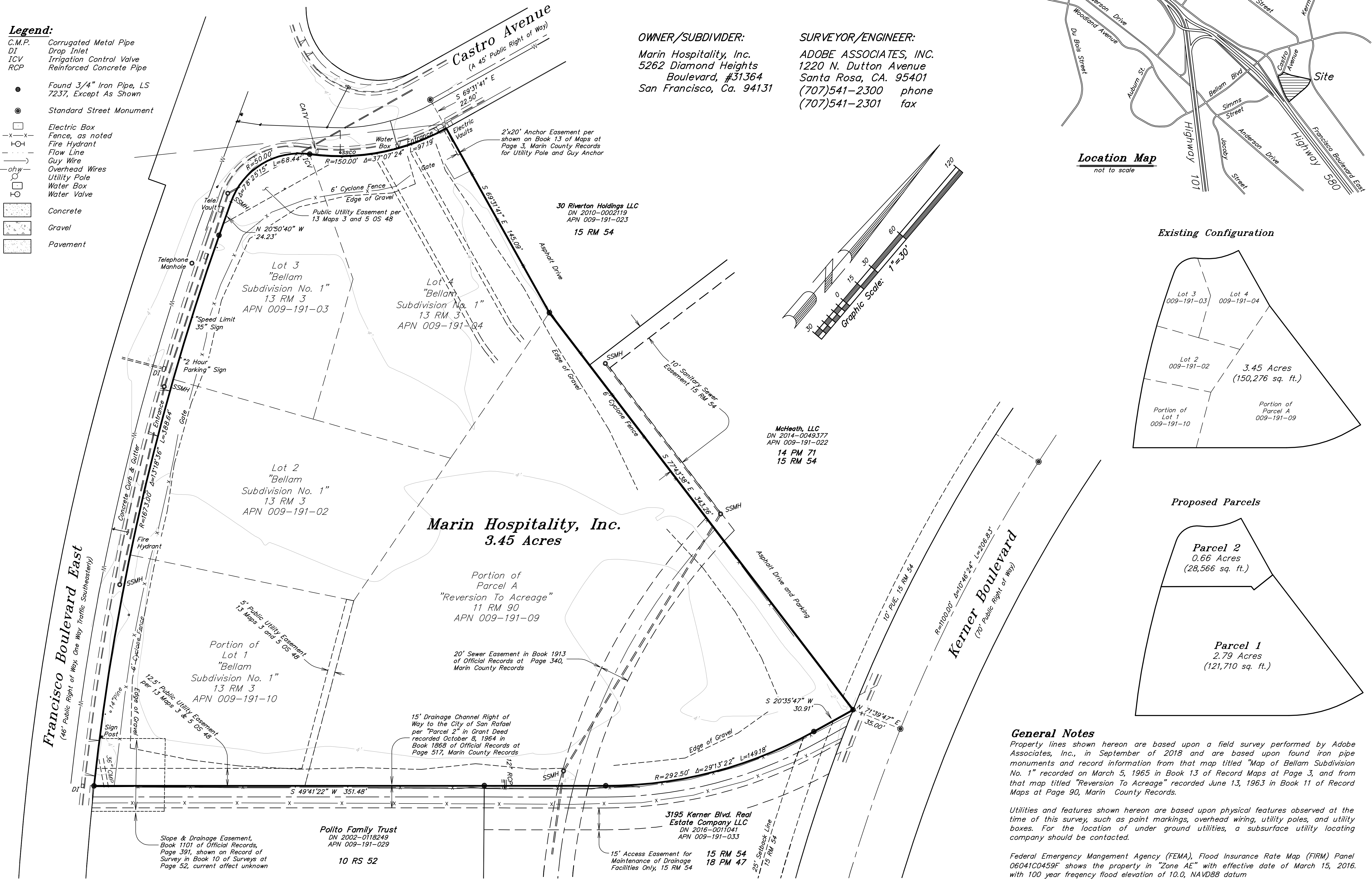
Lands of Marin Hospitality, Inc.
 1075 Francisco Boulevard East, San Rafael, California
 Assessor's Parcel Numbers 009-191-02, 03, 04, 09, 10



- Legend:**
- C.M.P. Corrugated Metal Pipe
 - DI Drop Inlet
 - ICV Irrigation Control Valve
 - RCP Reinforced Concrete Pipe
 - Found 3/4" Iron Pipe, LS 7237, Except As Shown
 - Standard Street Monument
 - Electric Box
 - Fence, as noted
 - Fire Hydrant
 - Flow Line
 - Guy Wire
 - Overhead Wires
 - Utility Pole
 - Water Box
 - Water Valve
 - Concrete
 - Gravel
 - Pavement

OWNER/SUBDIVIDER:
 Marin Hospitality, Inc.
 5262 Diamond Heights Boulevard, #31364
 San Francisco, Ca. 94131

SURVEYOR/ENGINEER:
 ADOBE ASSOCIATES, INC.
 1220 N. Dutton Avenue
 Santa Rosa, CA. 95401
 (707)541-2300 phone
 (707)541-2301 fax



General Notes

Property lines shown hereon are based upon a field survey performed by Adobe Associates, Inc., in September of 2018 and are based upon found iron pipe monuments and record information from that map titled "Map of Bellam Subdivision No. 1" recorded on March 5, 1965 in Book 13 of Record Maps at Page 3, and from that map titled "Reversion To Acreage" recorded June 13, 1963 in Book 11 of Record Maps at Page 90, Marin County Records.

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Federal Emergency Mangement Agency (FEMA), Flood Insurance Rate Map (FIRM) Panel 06041C0459F shows the property in "Zone AE" with effective date of March 15, 2016, with 100 year frequency flood elevation of 10.0, NAVD88 datum

No.	Date	Description	Approved
1	7/16/19	Revised Development Site Plan	
2	7/31/19	Added 15' Slope-Drainage	
3	8/07/19	Adjust line weights sht. 3	

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Adobe
 Paul M. Brown, PLS 5087
 my license expires 6/30/19

Tentative Parcel Map Existing Configuration

Scale: 1" = 30'
 Date: March 20, 2019
 Design by: JJJ
 Drawn by: JJJ
 Checked by: ARS

Sheet
1
 of 3 sheets
 Job No. 18293

- EXISTING ZONING: - GC (General Commercial)
 SEWAGE DISPOSAL: - City of San Rafael
 WATER SUPPLY: - City of San Rafael
 UTILITY SERVICE: - Pacific Gas and Electric
 FLOOD ZONE - ZONE "AE"

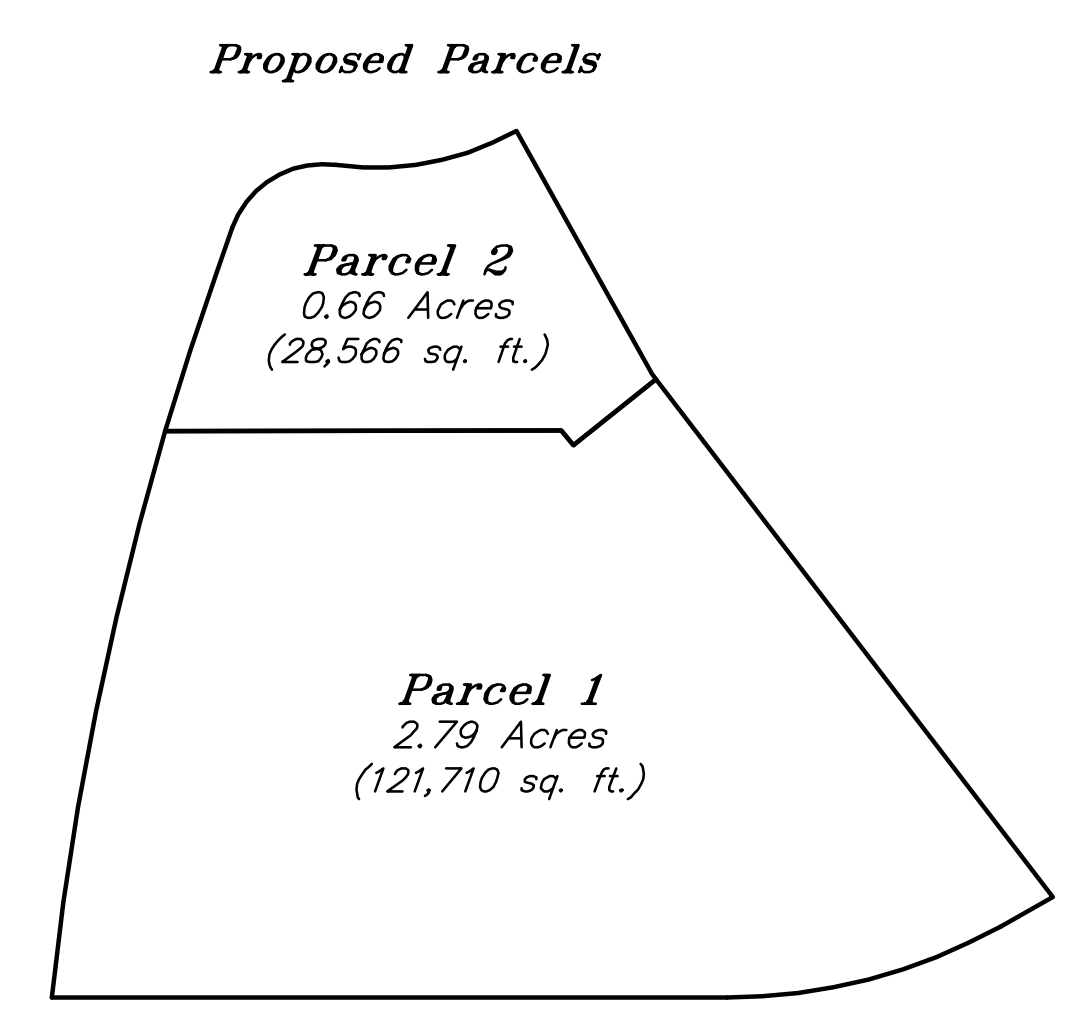
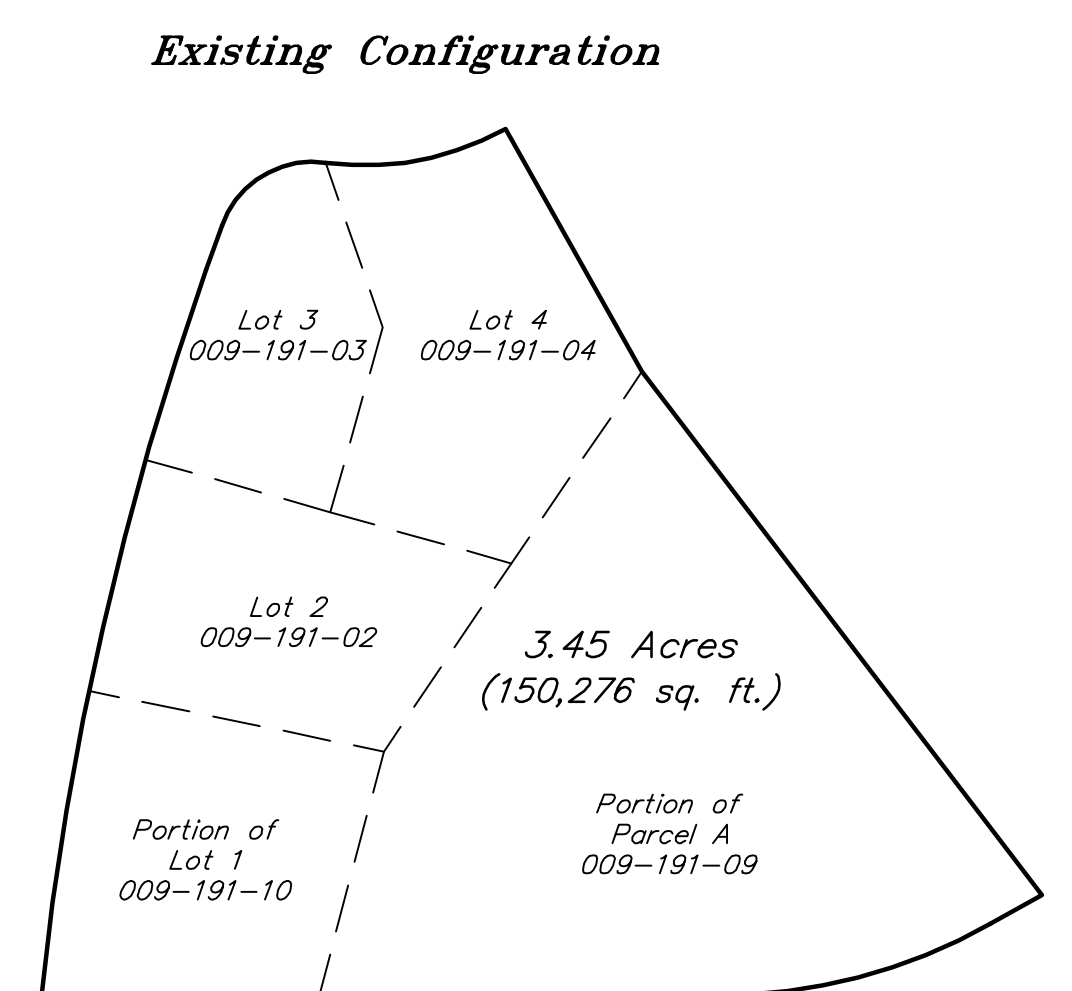
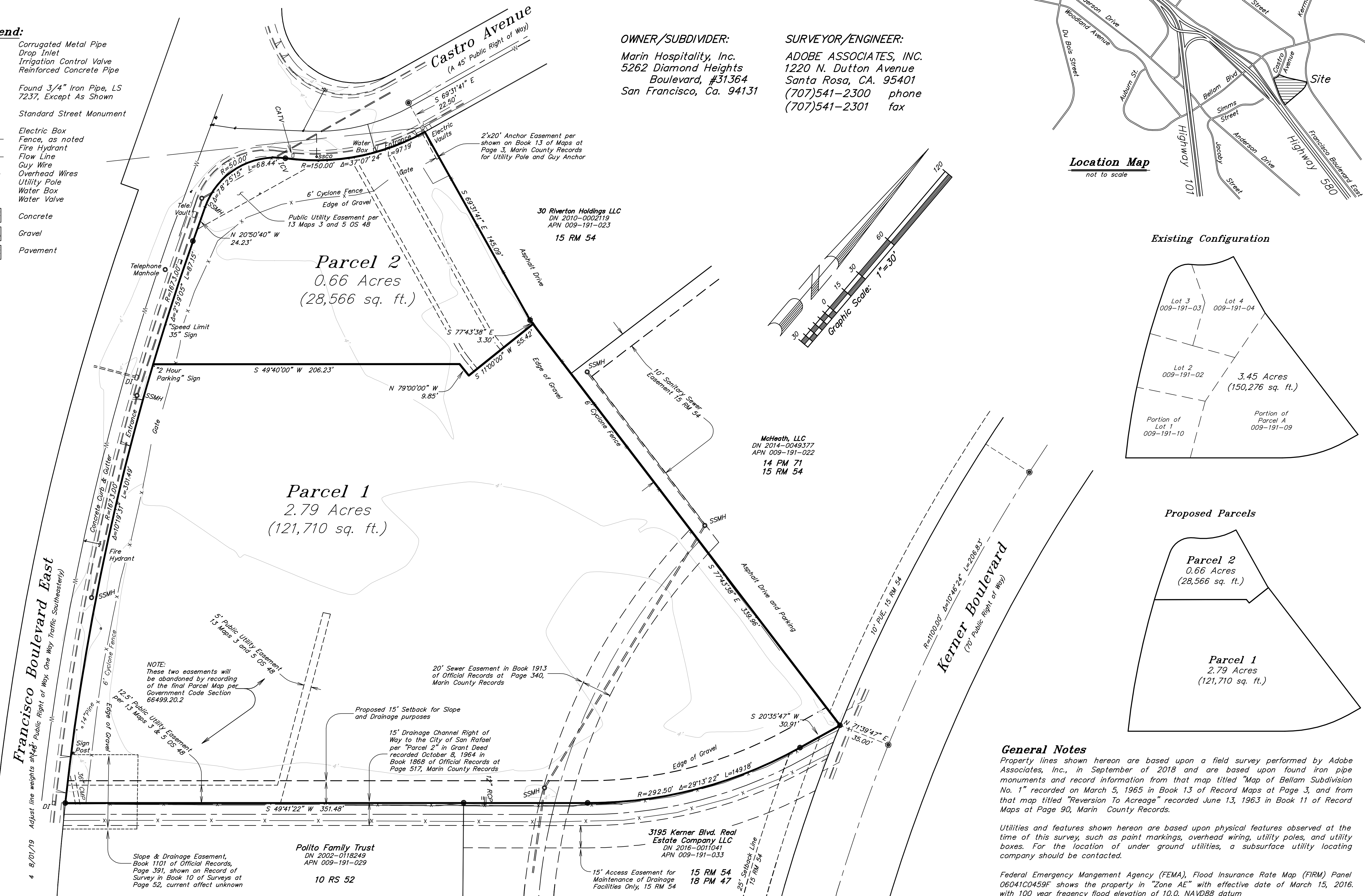
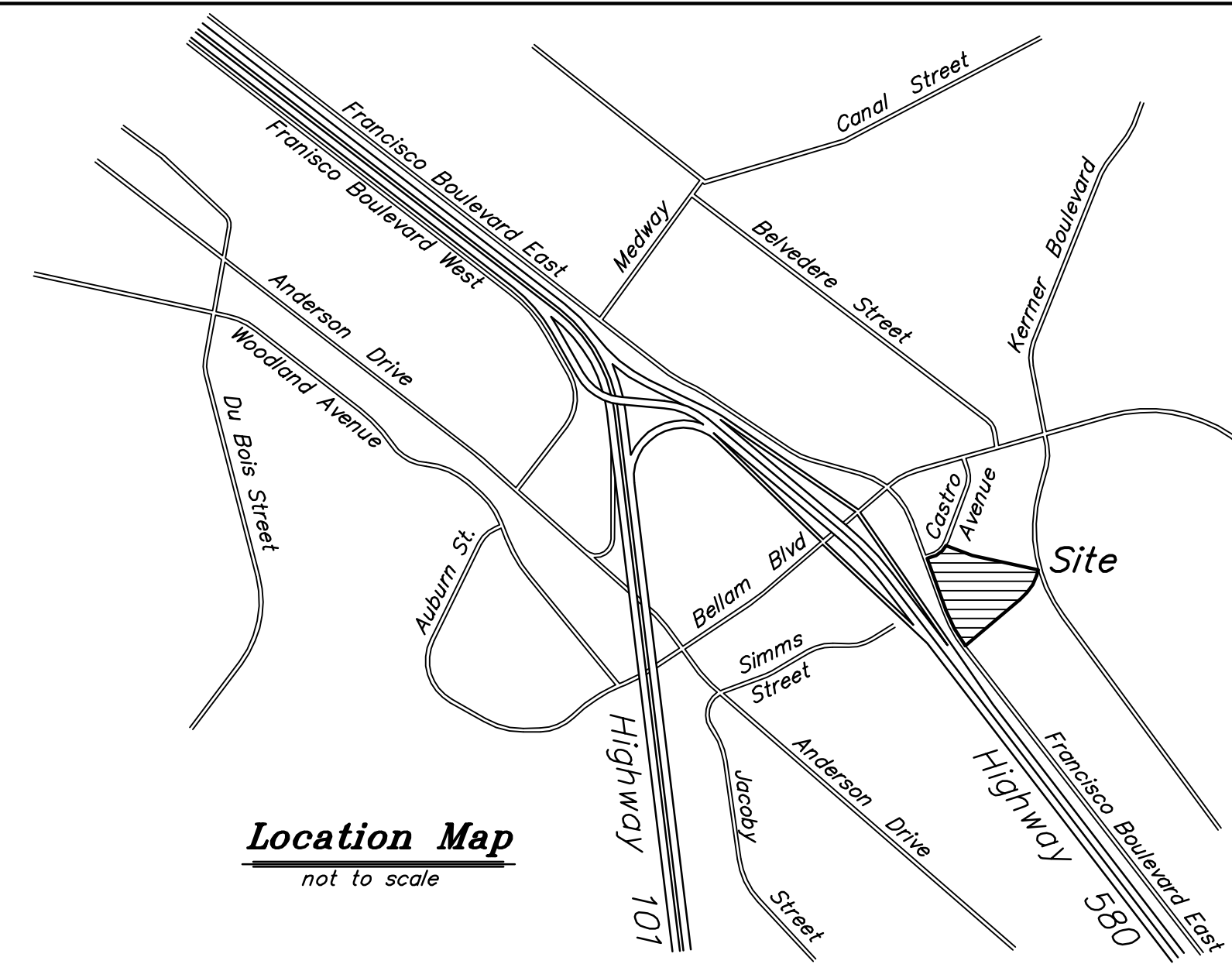
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 ICV Irrigation Control Valve
 RCP Reinforced Concrete Pipe
- Found 3/4" Iron Pipe, LS 7237, Except As Shown
- Standard Street Monument
- Electric Box
 -x-x- Fence, as noted
 + Fire Hydrant
 --- Flow Line
 --- Guy Wire
 --- Overhead Wires
 ○ Utility Pole
 □ Water Box
 ○ Water Valve
- Concrete
 ▨ Gravel
 ▩ Pavement

Tentative Parcel Map

Lands of Marin Hospitality, Inc.
 1075 Francisco Boulevard East, San Rafael, California
 Assessor's Parcel Numbers 009-191-02, 03, 04, 09, 10

OWNER/SUBDIVIDER:
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 San Francisco, Ca. 94131

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No.	Date	Description	Approved
1	7/16/19	Revised Development	
2	7/31/19	Added 15' Slope-Drainage	
3	8/07/19	Adjust line weights s/48'	
4			

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 my license expires 6/30/19



Tentative Parcel Map Proposed Parcel Configuration

Scale: 1" = 30'

Date: March 20, 2019
 Design by: JLL
 Drawn by: JLL
 Checked by: ARS

File: T:\2018 PROJECTS\18293\Survey\18293-Tentative Parcel Map.dwg Time: Aug 01, 2019 - 2:41pm

Legend:

C.M.P. Corrugated Metal Pipe
 DI Drop Inlet
 ICV Irrigation Control Valve
 RCP Reinforced Concrete Pipe

● Found 3/4" Iron Pipe, LS 7237, Except As Shown

● Standard Street Monument

□ Electric Box
 -x-x- Fence, as noted
 +O+ Fire Hydrant
 --- Flow Line
 --- Guy Wire
 --- Overhead Wires
 --- Utility Pole
 □ Water Box
 ○ Water Valve

Concrete
 Gravel
 Pavement

DEMOS EXISTING SIDEWALK & ROAD CURVE.
 PROVIDE NEW SIDEWALK & GREENSPACE TO
 REDUCE PEDESTRIAN WALKING DISTANCE

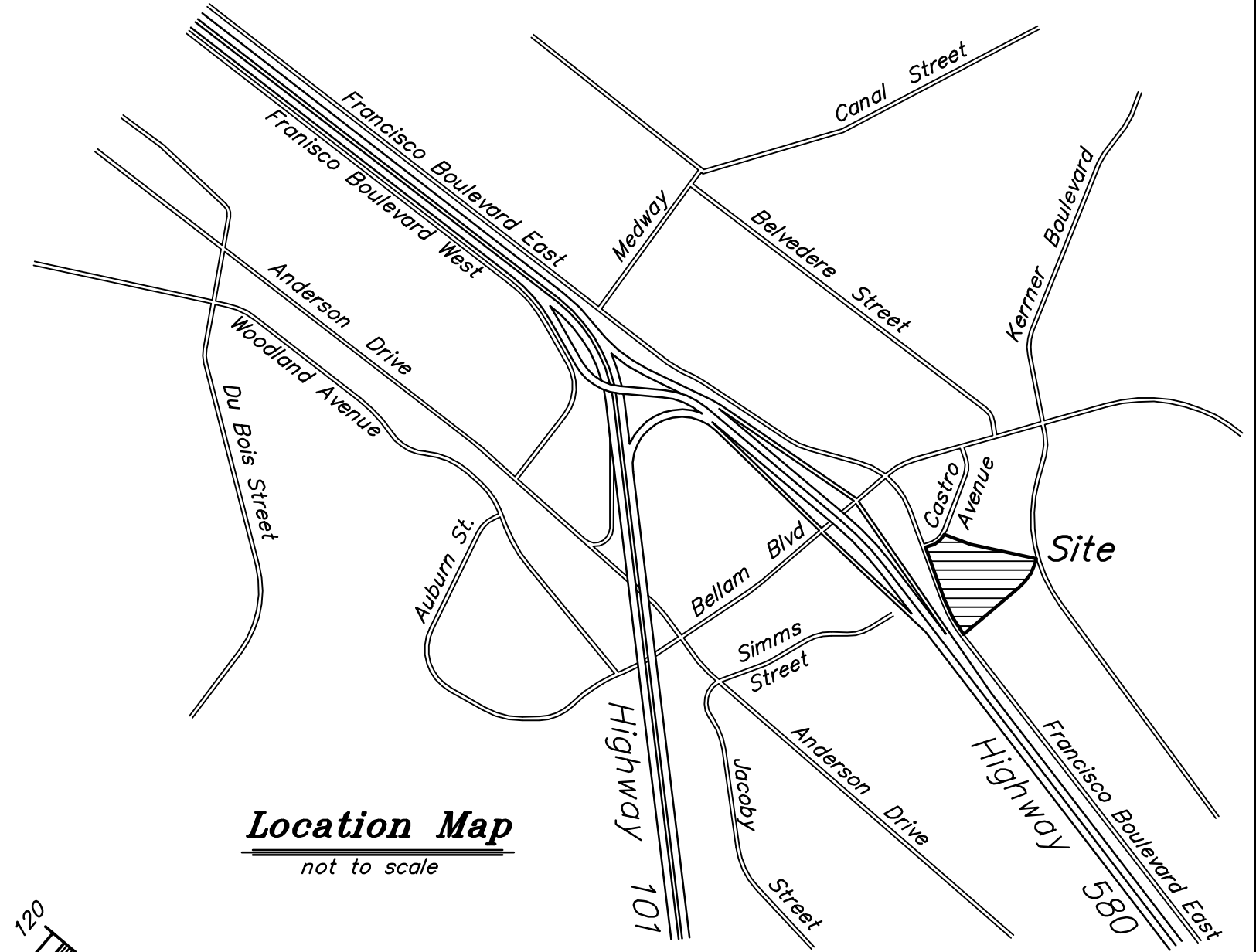
Tentative Parcel Map

Lands of Marin Hospitality, Inc.
 1075 Francisco Boulevard East, San Rafael, California
 Assessor's Parcel Numbers 009-191-02, 03, 04, 09, 10

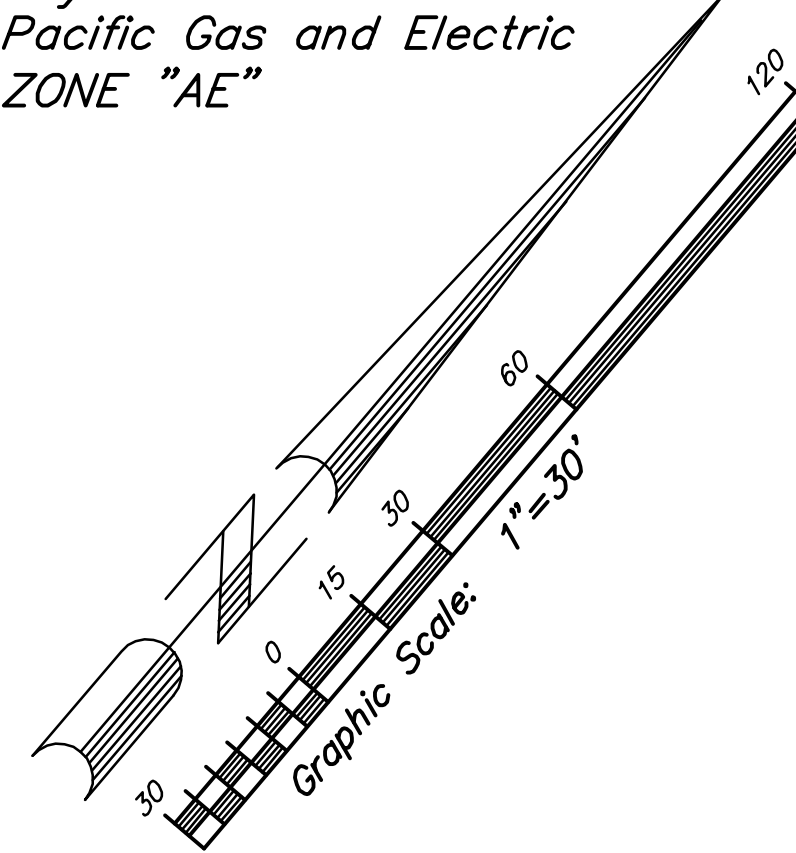
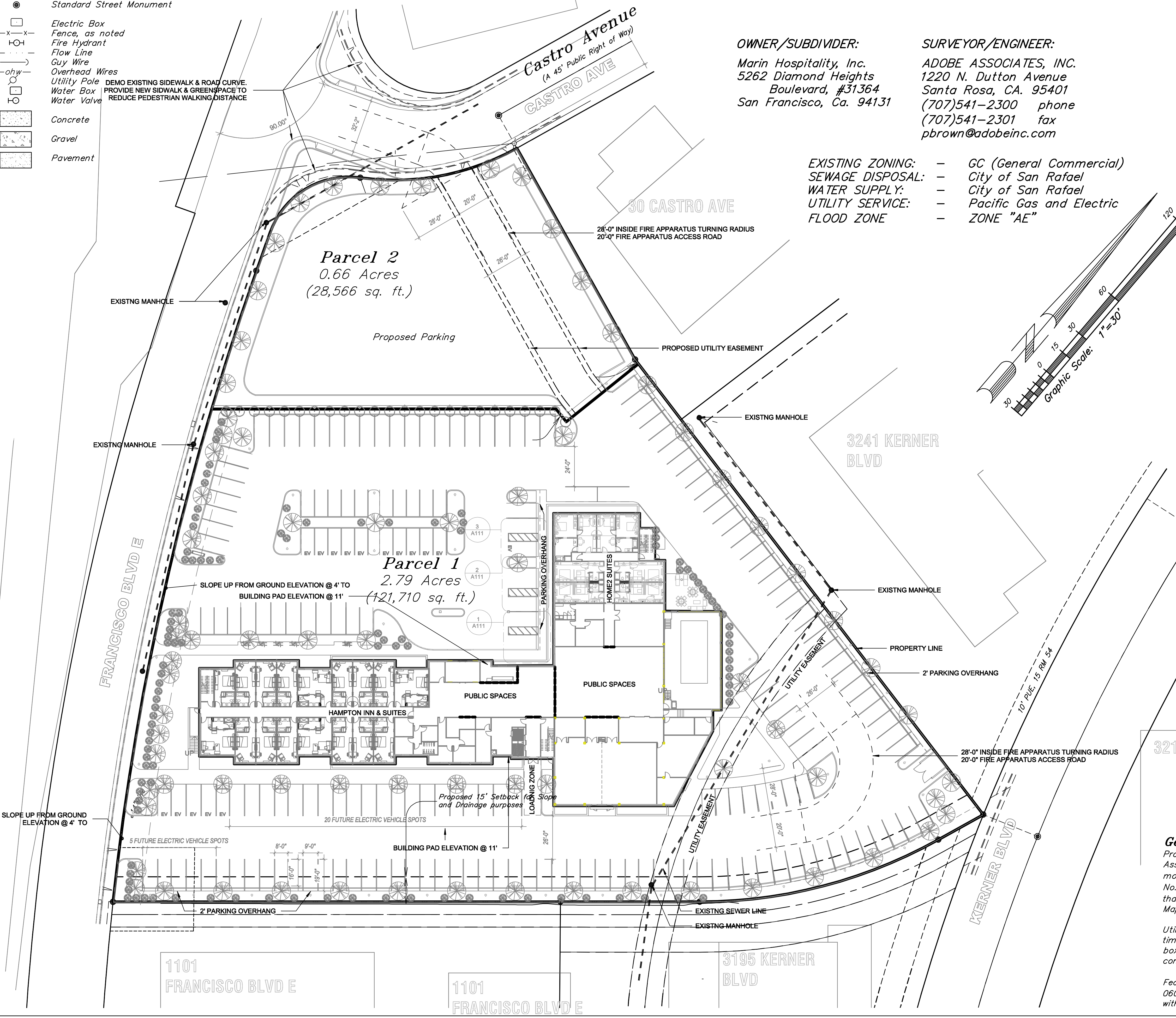
OWNER/SUBDIVIDER:
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 Boulevard, #31364
 San Francisco, Ca. 94131

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 pbrown@adobeinc.com

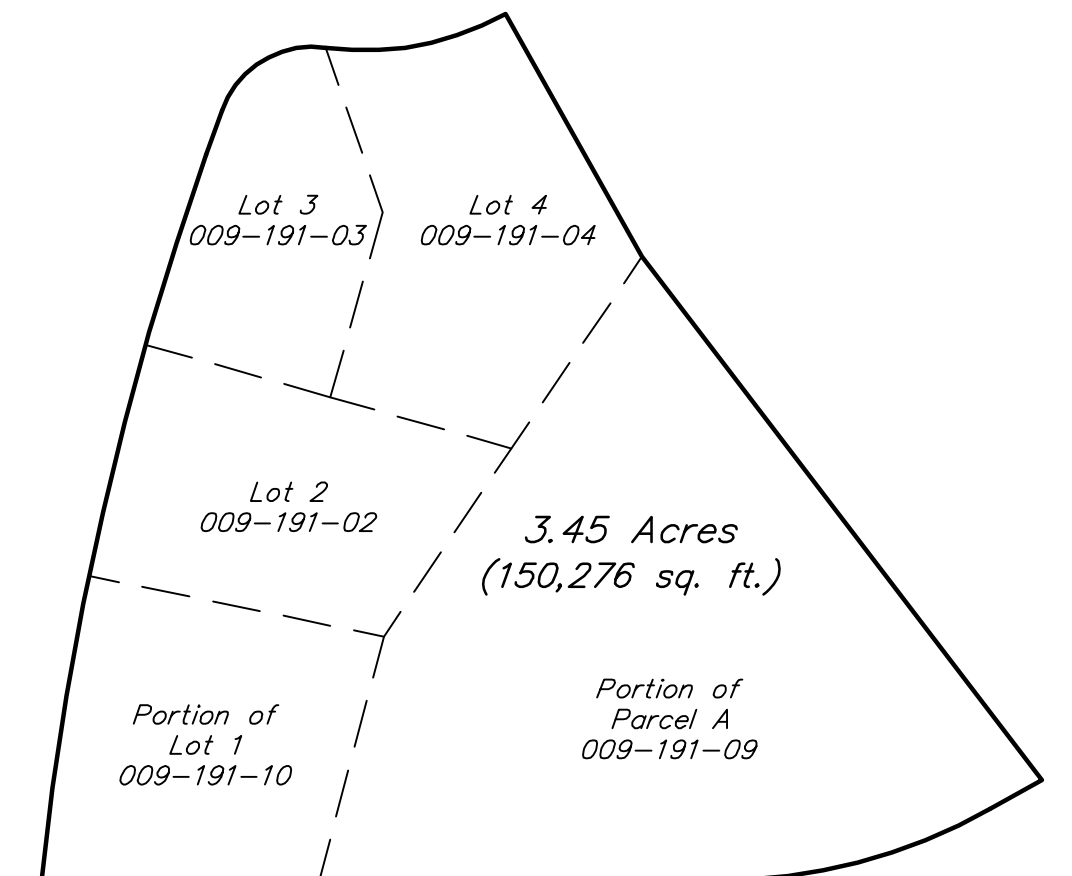
EXISTING ZONING: - GC (General Commercial)
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WATER SUPPLY: - City of San Rafael
UTILITY SERVICE: - Pacific Gas and Electric
FLOOD ZONE - ZONE "AE"



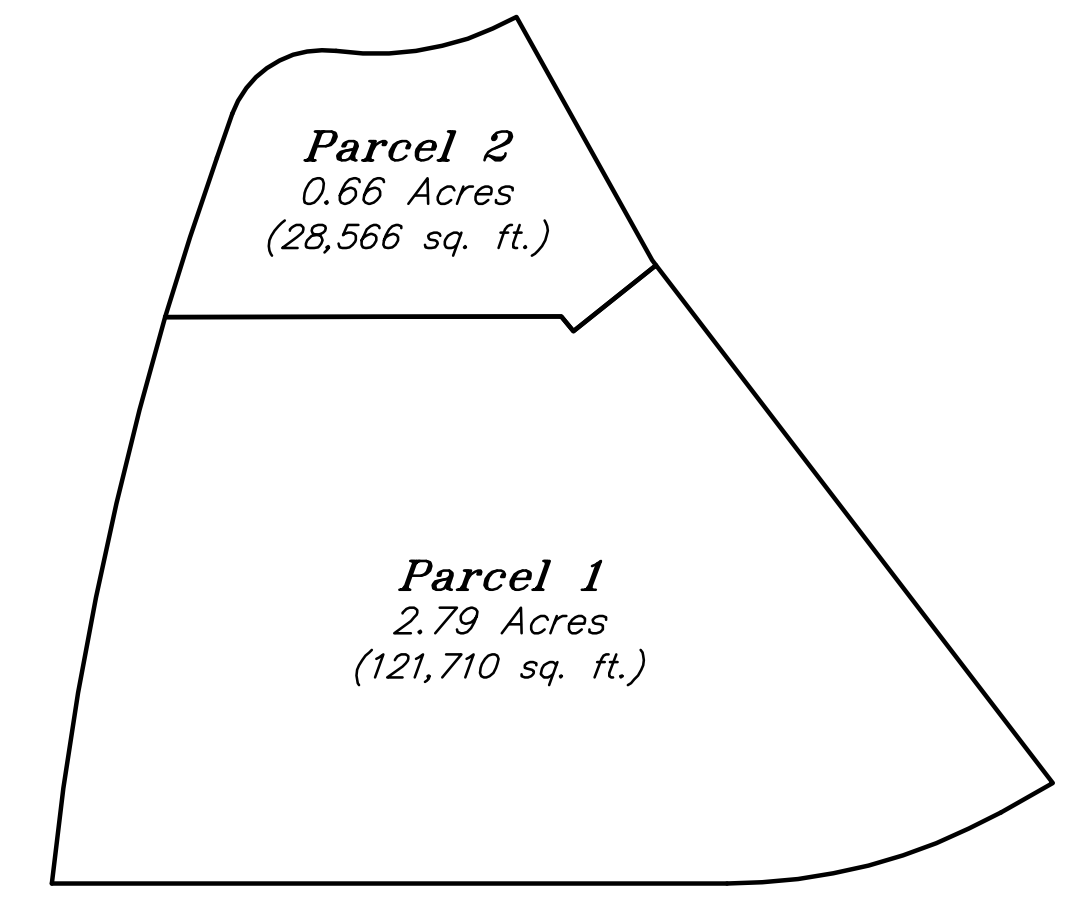
Location Map
 not to scale



Existing Configuration



Proposed Parcels



General Notes

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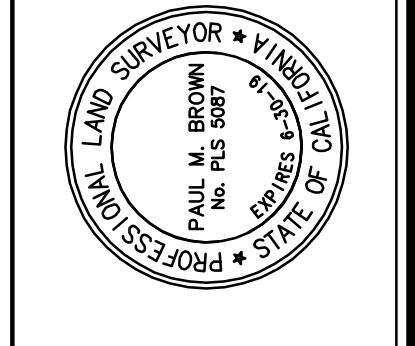
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Revisions	No.	Date	Description	Approved
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	2	7/16/19	Revised Development	
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 Paul M. Brown, PLS 5087
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Tentative Parcel Map

Proposed Lot Improvements

Scale: 1" = 30'
 Date: March 20, 2019
 Design by: JLL
 Drawn by: JLL
 Checked by: ARS

Sheet
3
 of 3 sheets
 Job No. 18293