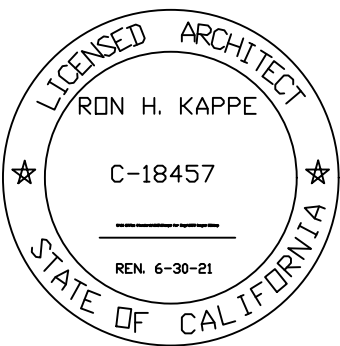



1309 2nd STREET
SAN RAFAEL, CA 94901

KAPPE
A R C H I T E C T S

801 'D' STREET SAN RAFAEL, CA 94901
TEL: 415.457.7801 FAX: 415.457.7885

1309 2ND STREET
SAN RAFAEL, CA 94901



Project No.:	19.12	
Drawn By:	GC	
Checked By:	RK	
Issued Date:	11/15/19	
Revision	No.	Date
DESIGN REVIEW		05/26/20

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Sheet No:

T-1

KEY NOTES

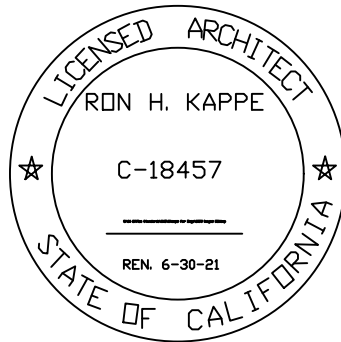
- 1 (E) FENCE
- 2 (E) FENCE GATE
- 3 WATER METER
- 4 (E) WOODEN STAIRS
- 5 (E) ENTRY STAIRS
- 6 ELECTRICAL CRISTY BOX AT SIDEWALK
- 7 (E) SIDEWALK
- 8 (E) CONC. DRIVEWAY
- 9 5' FRONT YARD SETBACK

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3-UNIT
RESIDENTIAL
BUILDING

1309 2ND STREET
SAN RAFAEL, CA 94901



AP #: 012-073-04

Project No.:	19.12		
Drawn By:	GC		
Checked By:	RK		
Issued Date:	11/15/19		
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DESIGN REVIEW	①	05/26/20	

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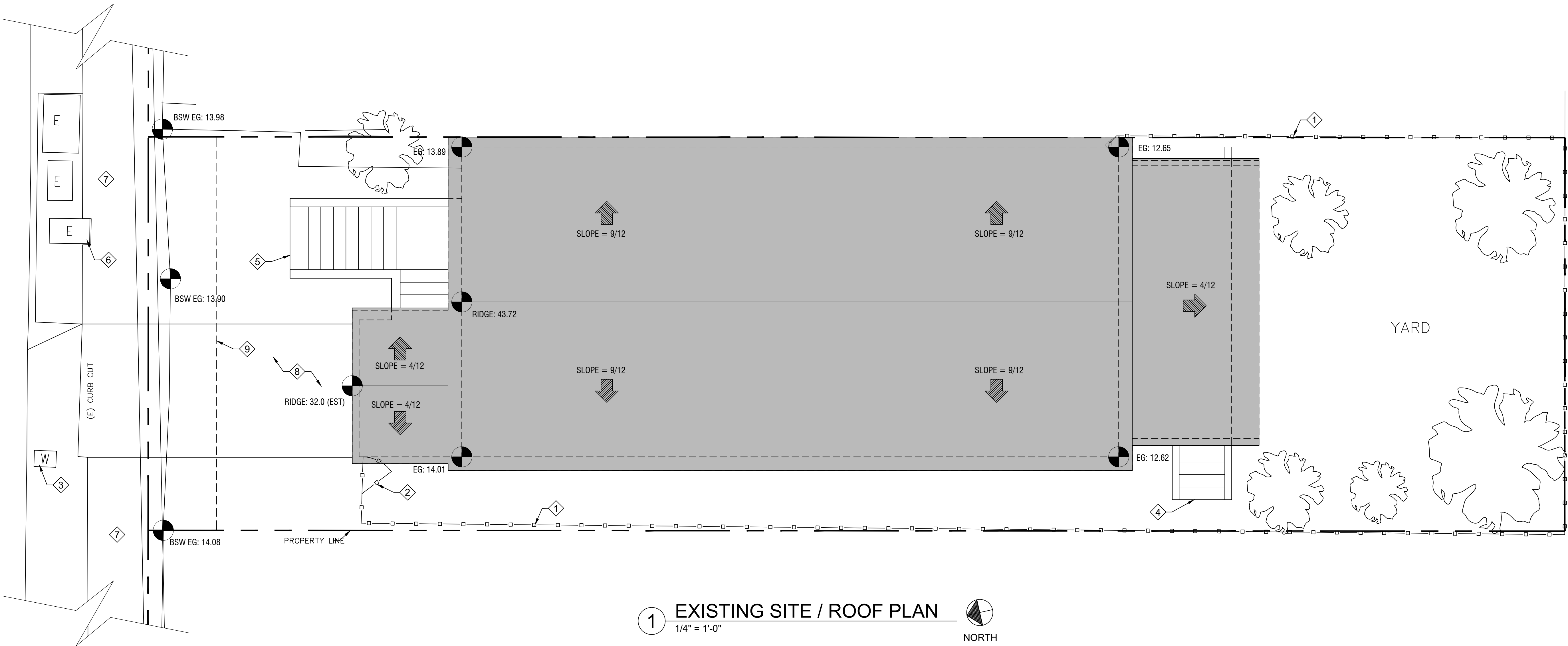
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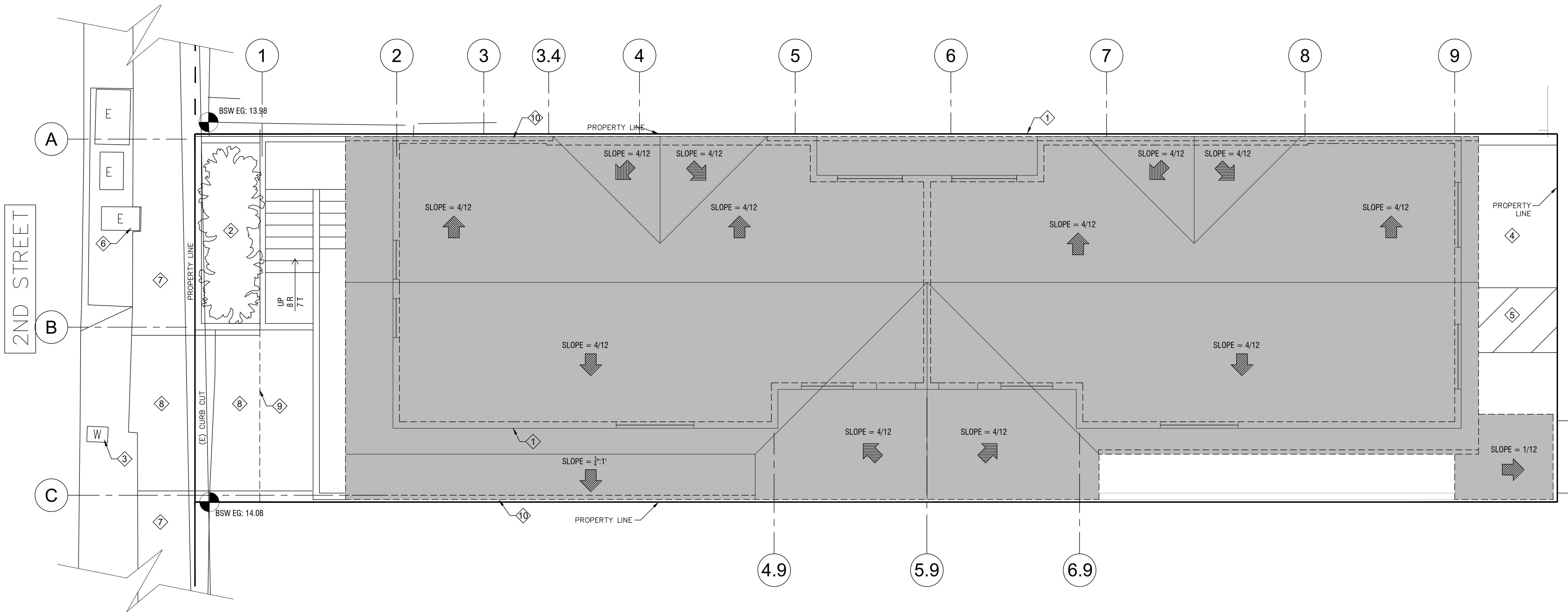
EXISTING SITE PLAN

Scale: AS NOTED

Sheet No:

A1.0





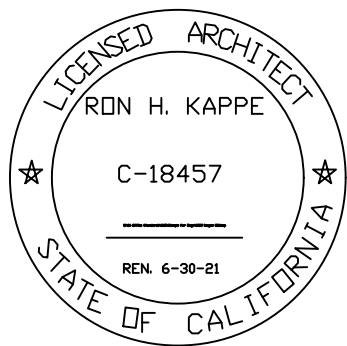
KEY NOTES	GENERAL NOTES
<div><div>1</div><div>(E) FENCE AT PROPERTY LINE</div></div> <div><div>2</div><div>(N) RAISED LANDSCAPING PLANTER 75 SQ. FT.</div></div> <div><div>3</div><div>CHRISTY BOX WATER METER</div></div> <div><div>4</div><div>(N) VAN-ACCESSIBLE PARKING SPACE WITH PERMEABLE PAVERS (BELOW)</div></div> <div><div>5</div><div>STRIPED VAN ACCESSIBLE SPACE, PERMEABLE PAVERS (BELOW)</div></div> <div><div>6</div><div>ELECTRICAL CRISTY BOX AT SIDEWALK</div></div> <div><div>7</div><div>(E) SIDEWALK</div></div> <div><div>8</div><div>(E) CONC. DRIVEWAY</div></div> <div><div>9</div><div>5' FRONT YARD SETBACK</div></div> <div><div>10</div><div>ROOF GUTTER, MIN 1/4":1' SLOPE</div></div>	<p>PARKING AND STORAGE ONLY FLOOR LEVEL BELOW FEMA B.F.E. OF 15.5'. (#) SF OF ENCLOSED AREA NFIP PRESCRIPTIVE REQUIREMENT = 1 SQ. INCH PER 1 SQ FOOT OF ENCLOSED SPACE.</p> <p>(#) SQ INCHES OF OPENING REQ.</p> <p>INSTALL (#) FLOOD SOLUTIONS FS-1412 HEAVY DUTY ALUMINUM COVERS IN FOUNDATION OPENINGS</p> <p>(#) x (#) SQ INCHES OF CLEAR OPENING = (#) SQ INCHES OF OPENING.</p> <p>ALL UTILITY BOXES AND UTILITIES INSTALLED ABOVE FEMA B.F.E. OF 15.5'</p> <p>*EACH BUILDING MUST HAVE ADDRESS IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. NEW ADDRESS MUST BE INTERNALLY OR EXTERNALLY ILLUMINATED AND REMAIN ILLUMINATED AT ALL HOURS OF DARKNESS. NUMBERS MUST BE A MINIMUM 4 INCHES IN HEIGHT WITH 3/8" STROKE.THE ADDRESS MUST BE CONTRASTING IN COLOR TO THEIR BACKGROUND.</p>

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Sheet Title:

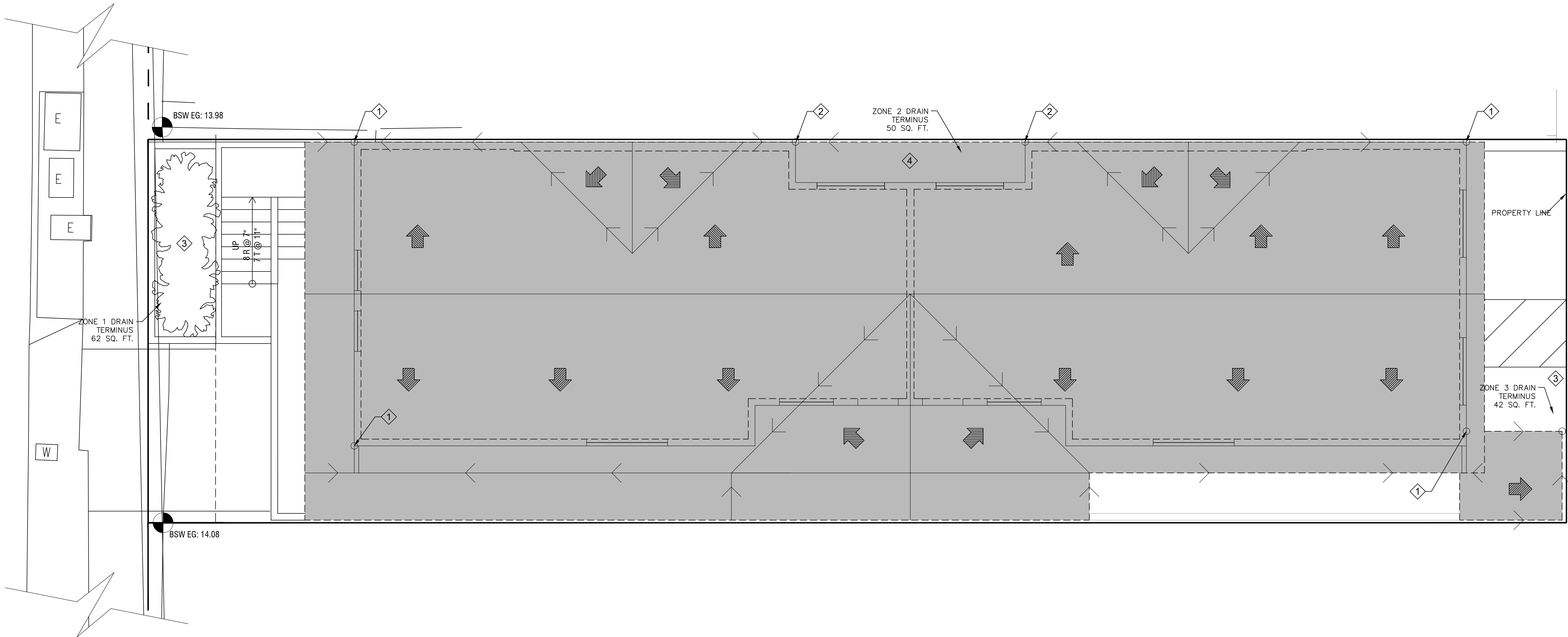
NEW SITE PLAN

Scale: AS NOTED

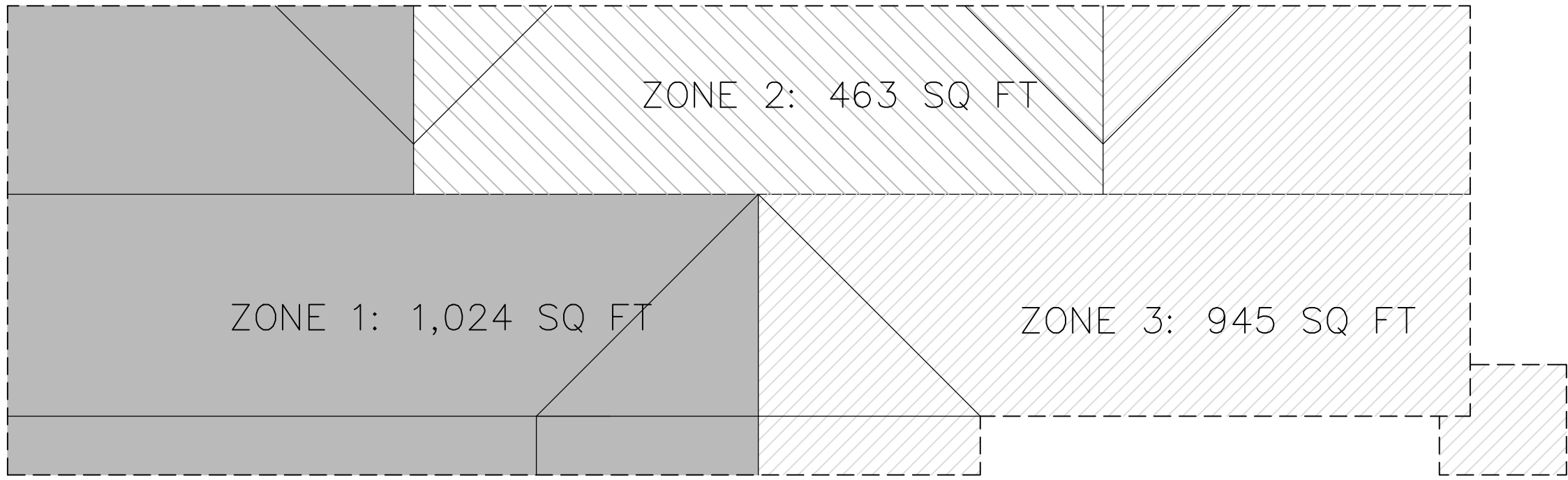
Sheet No:

A1.1

2ND STREET



1 PROPOSED SITE / ROOF DRAINAGE PLAN
1/4" = 1'-0" NORTH



2 ROOF DRAINAGE KEY PLAN - 3 ZONES
1/8" = 1'-0" NORTH

KEY NOTES GENERAL NOTES

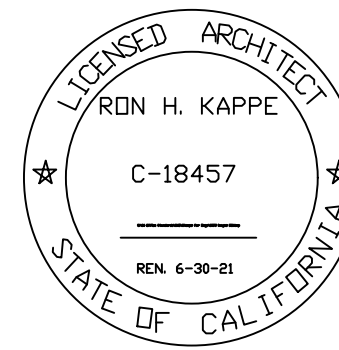
- 1 DOWNSPOUT LOCATION, DRAINS TO BIO-RETENTION BELOW
- 2 DOWNSPOUT LOCATION, DRAINS TO BIO-RETENTION PLANTER AT 1ST RESIDENTIAL FLOOR LEVEL
- 3 BIO-RETENTION PLANTER
- 4 BIO-RETENTION PLANTER (BELOW)
- PARKING AND STORAGE ONLY FLOOR LEVEL BELOW FEMA B.F.E. OF 15.5'. (#) SF OF ENCLOSED AREA NFIP PRESCRIPTIVE REQUIREMENT = 1 SQ. INCH PER 1 SQ FOOT OF ENCLOSED SPACE.
- (#) SQ INCHES OF OPENING REQ.
- INSTALL (#) FLOOD SOLUTIONS FS-1412 HEAVY DUTY ALUMINUM COVERS IN FOUNDATION OPENINGS
- (#) x (#) SQ INCHES OF CLEAR OPENING = (#) SQ INCHES OF OPENING.
- ALL UTILITY BOXES AND UTILITIES INSTALLED ABOVE FEMA B.F.E. OF 15.5'

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3-UNIT
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1309 2ND STREET
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DESIGN REVIEW 1 05/26/20

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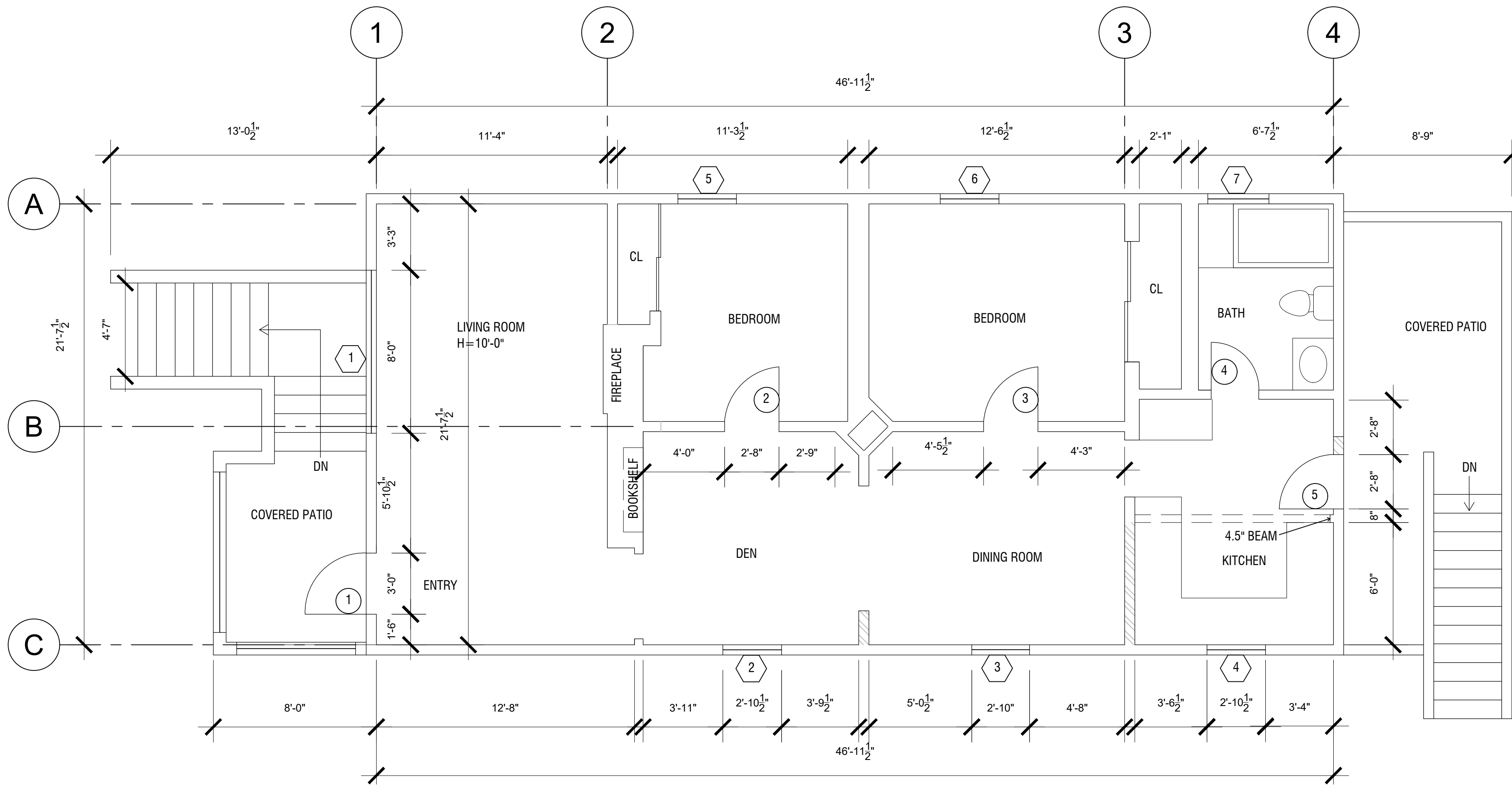
Sheet Title:

PROPOSED
ROOF DRAINAGE PLAN

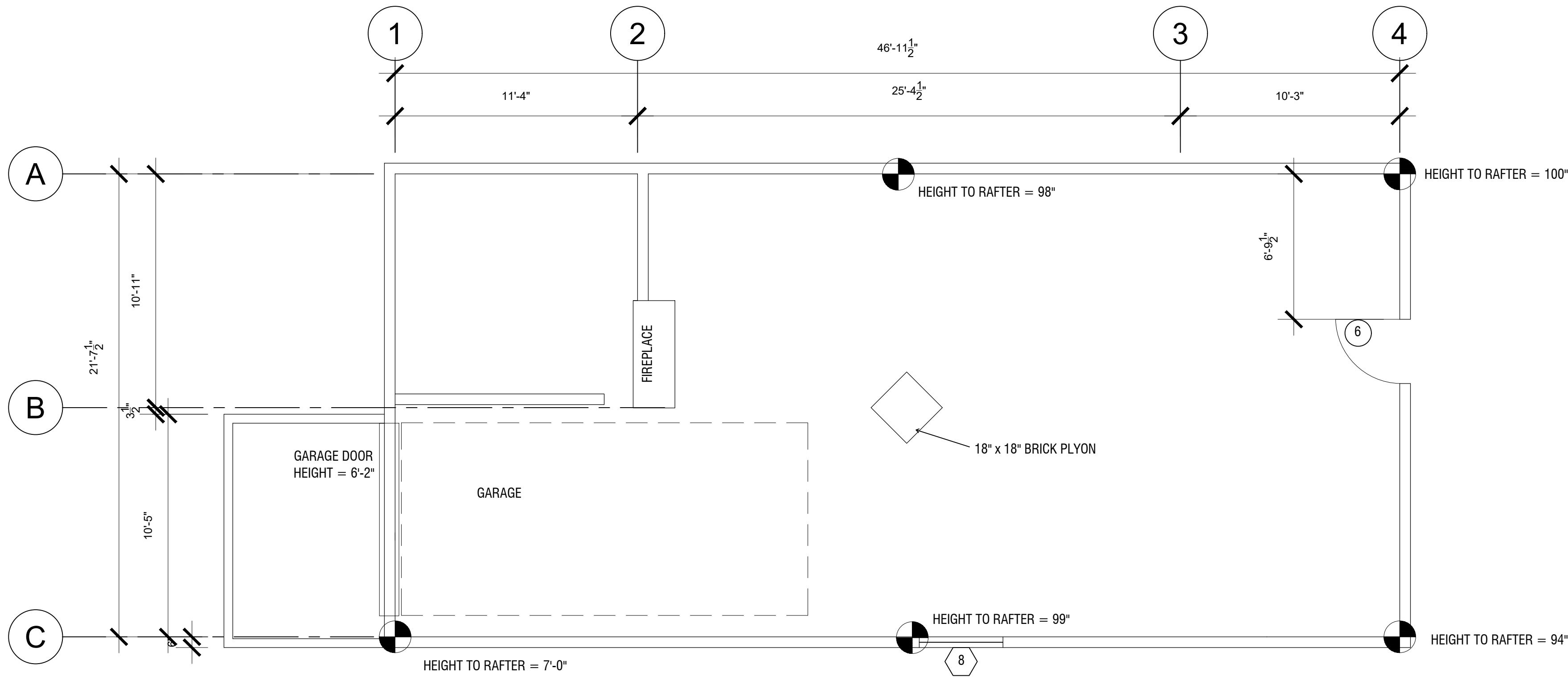
Scale: AS NOTED

Sheet No:

A1.2



2 EXISTING SECOND FLOOR PLAN
1/4" = 1'-0" NORTH



1 EXISTING FIRST FLOOR PLAN
1/4" = 1'-0" NORTH

NOTES

- GENERAL DEMOLITION NOTES:
1. ENTIRE (E) STRUCTURE TO BE DEMOLISHED
 2. (E) FOUNDATION TO BE DEMOLISHED
 3. DEMOLITION OF BUILDING TO BE ITEMIZED AND LISTED IN CONSTRUCTION WASTE MANAGEMENT PLAN

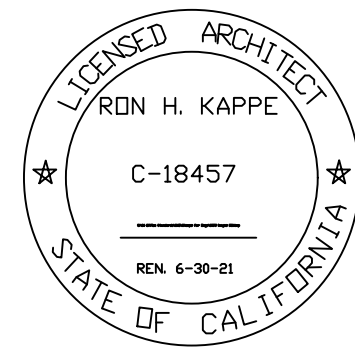
WALL TYPES

EXISTING WALL


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3-UNIT RESIDENTIAL BUILDING

1309 2ND STREET
SAN RAFAEL, CA 94901



AP #: 012-073-04

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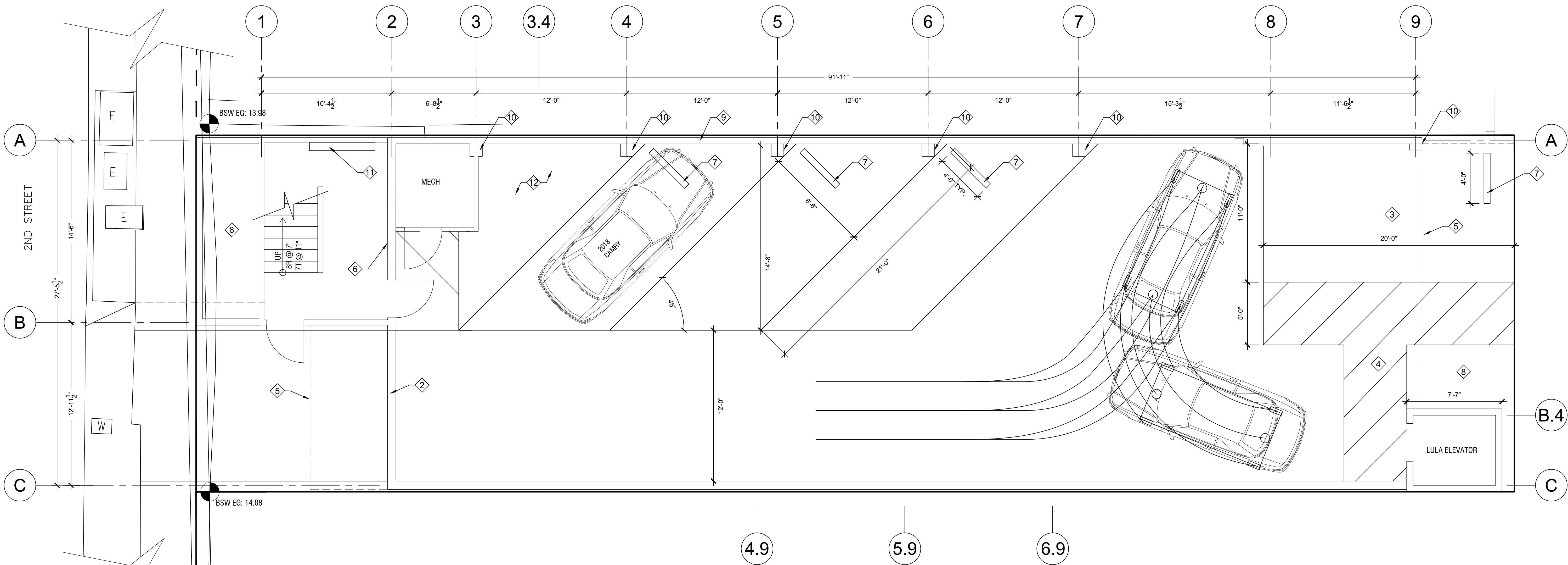
EXISTING / DEMO
FLOOR PLANS

Scale: AS NOTED

Sheet No:

A1.3

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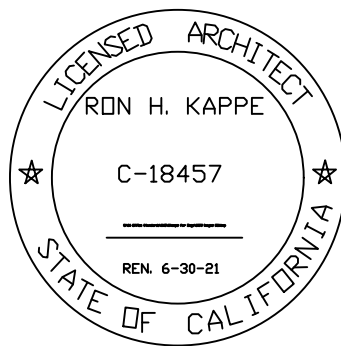
KEY NOTES	GENERAL NOTES
1 GARAGE OPEN TO BACKYARD	PARKING AND STORAGE ONLY FLOOR LEVEL BELOW FEMA B.F.E. OF 15.5' (#) SF OF ENCLOSED AREA NFIP PRESCRIPTIVE REQUIREMENT = 1 SQ. INCH PER 1 SQ FOOT OF ENCLOSED SPACE.
2 OVERHEAD GARAGE DOOR LOCATION	
3 VAN-ACCESSIBLE PARKING SPACE WITH PERMEABLE PAVERS	(#) SQ INCHES OF OPENING REQ.
4 VAN-ACCESSIBLE SPACE AND STRIPED ACCESSIBLE PATH TO LULA ELEVATOR	INSTALL (#) FLOOD SOLUTIONS FS-1412 HEAVY DUTY ALUMINUM COVERS IN FOUNDATION OPENINGS
5 BUILDING OVERHANG (ABOVE)	(#) x (#) SQ INCHES OF CLEAR OPENING =
6 MAILBOX AREA	(#) SQ INCHES OF OPENING.
7 CONCRETE PRE-FAB WHEEL STOP	ALL UTILITY BOXES AND UTILITIES INSTALLED ABOVE FEMA B.F.E. OF 15.5'
8 BIO-RETENTION PLANTER AREA	LULA ELEVATOR ALLOWED PER 1109.6.1
9 (N) CONCRETE STEM WALL	
10 (N) 1' x 1' PILASTER	
11 BIKE RACK PARKING AREA	
12 TRASH/RECYCLING BIN STORAGE AREA	

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3-UNIT
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Sheet Title:

PROPOSED PARKING
CIRCULATION PLAN

Scale: AS NOTED

Sheet No:

A2.0

1 PROPOSED PARKING CIRCULATION PLAN
1/4" = 1'-0"



KEY NOTES

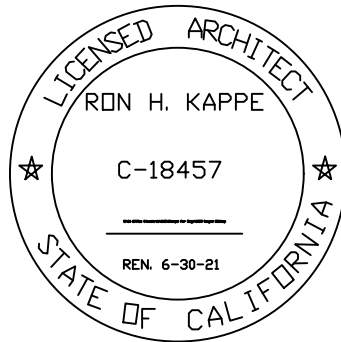
- 1 BIO-RETENTION PLANTER AREA
- 2 OPEN TO BELOW
- 3 FRONT SETBACK (5')
- 4 METAL FIRE RESISTANT HAND/GUARD RAIL (1HR MIN.)
- 5 5' SILL HEIGHT WINDOW W/ OPAQUE TREATMENT

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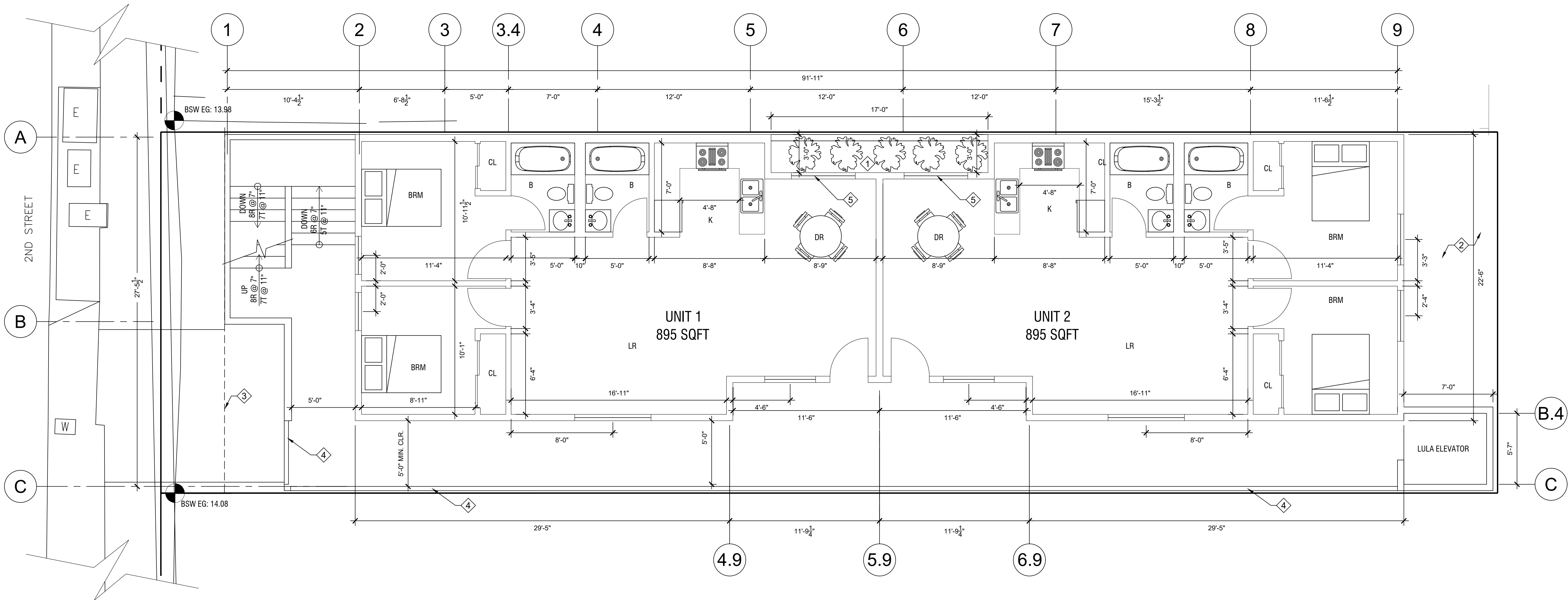
Sheet Title:

PROPOSED FIRST FLOOR
RESIDENTIAL PLAN

Scale: AS NOTED

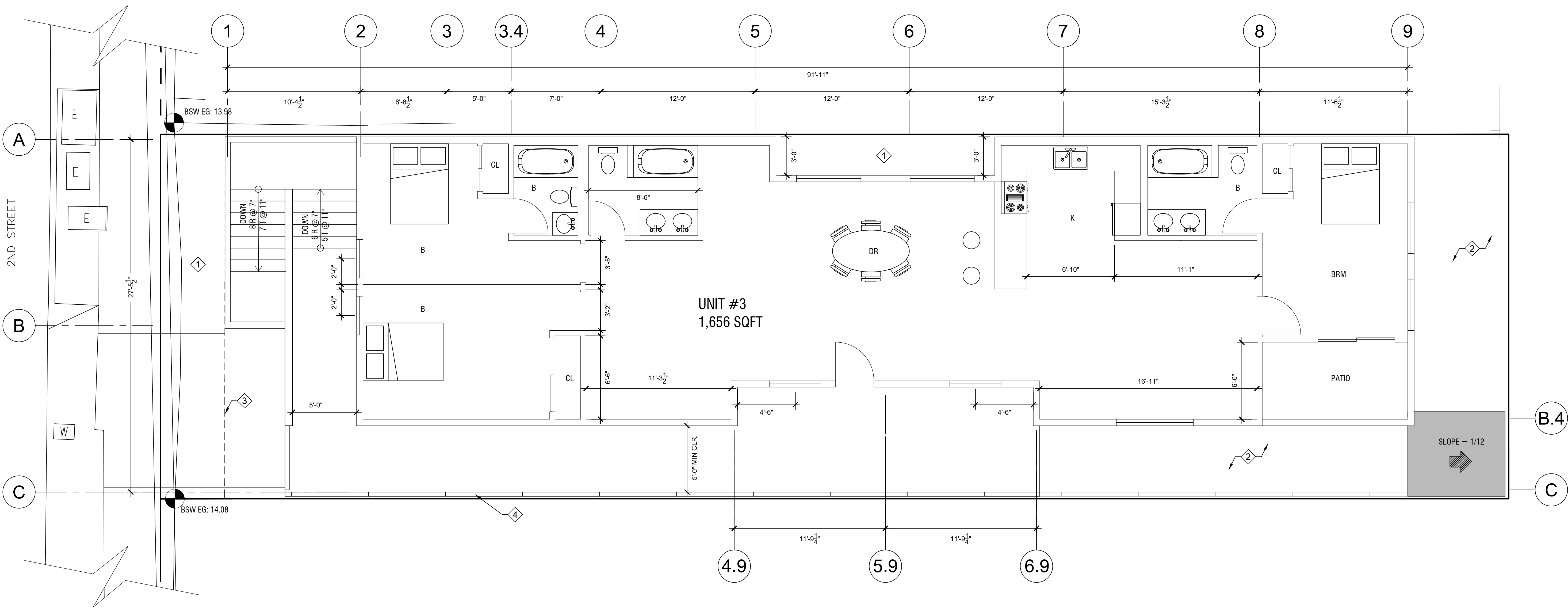
Sheet No:

A2.1



1 PROPOSED FIRST RESIDENTIAL LEVEL, UNITS 1 & 2
1/4" = 1'-0"





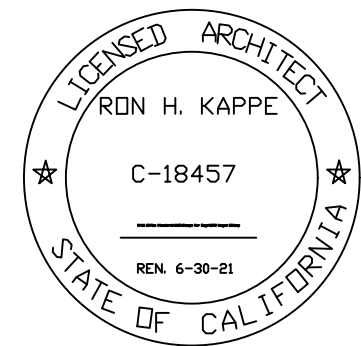
- KEY NOTES
- 1 BIO-RETENTION PLANTER (BELOW)
 - 2 OPEN TO BELOW
 - 3 FRONT SETBACK (5')
 - 4 METAL FIRE RESISTANT HAND/GUARD RAIL (1HR MIN.)

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Sheet Title:

FLOOR PLANS (3 OF 3)

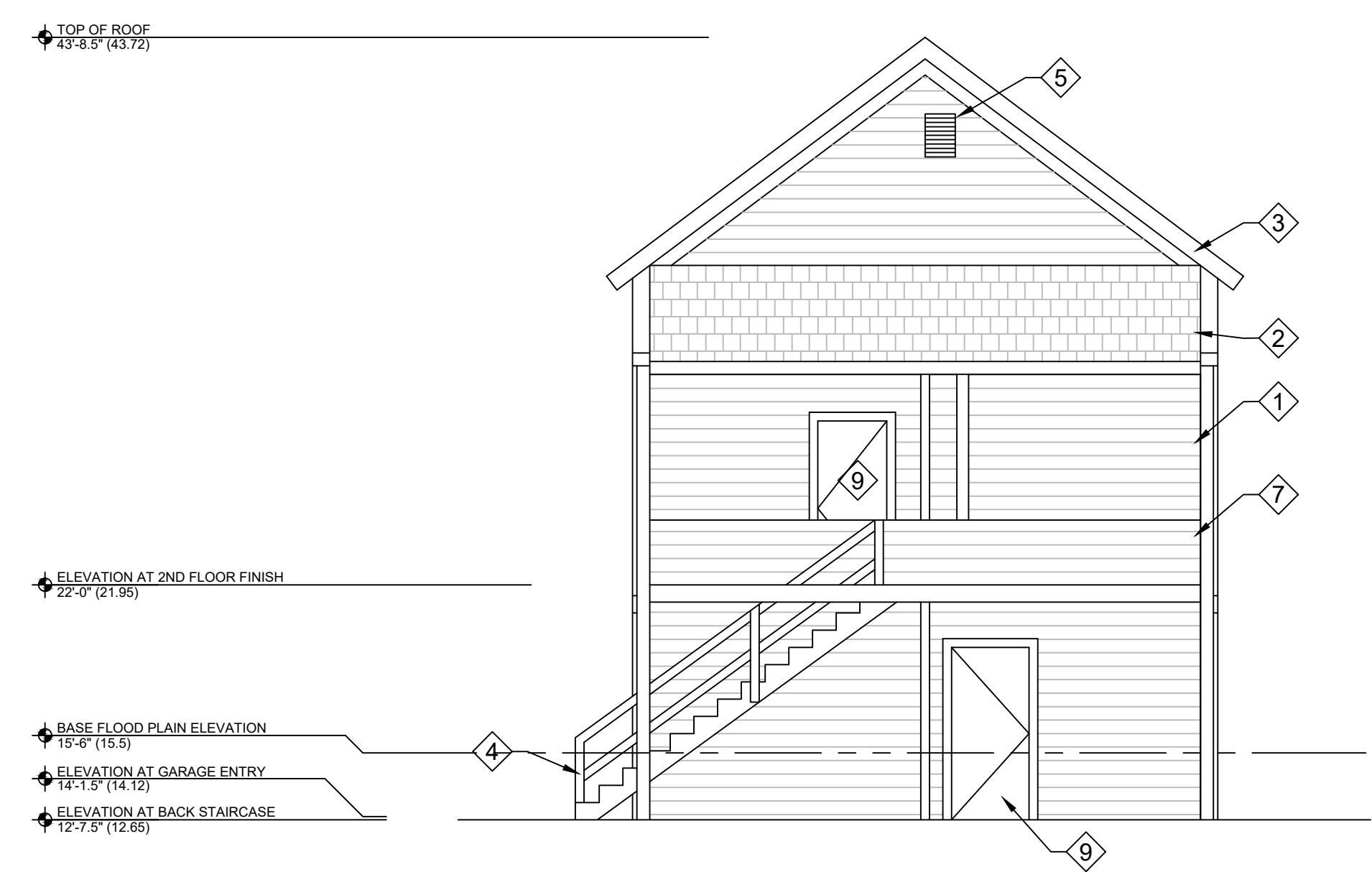
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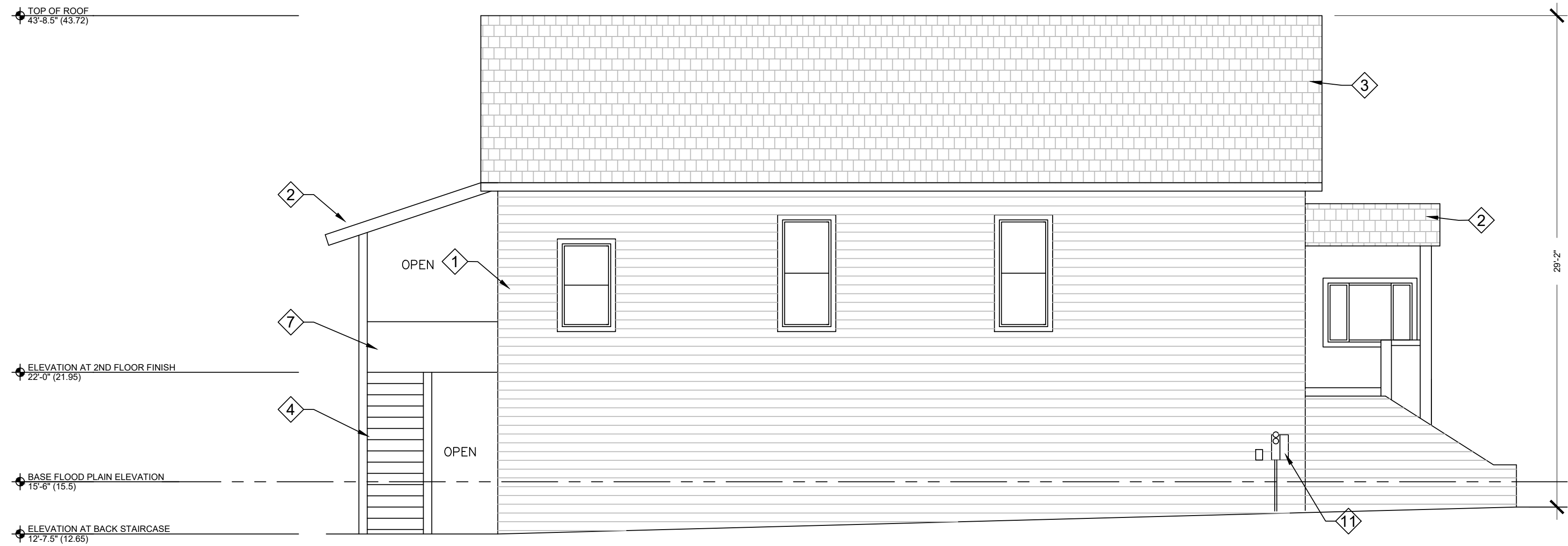
A2.2

1 PROPOSED SECOND RESIDENTIAL LEVEL, UNIT #3
1/4" = 1'-0"

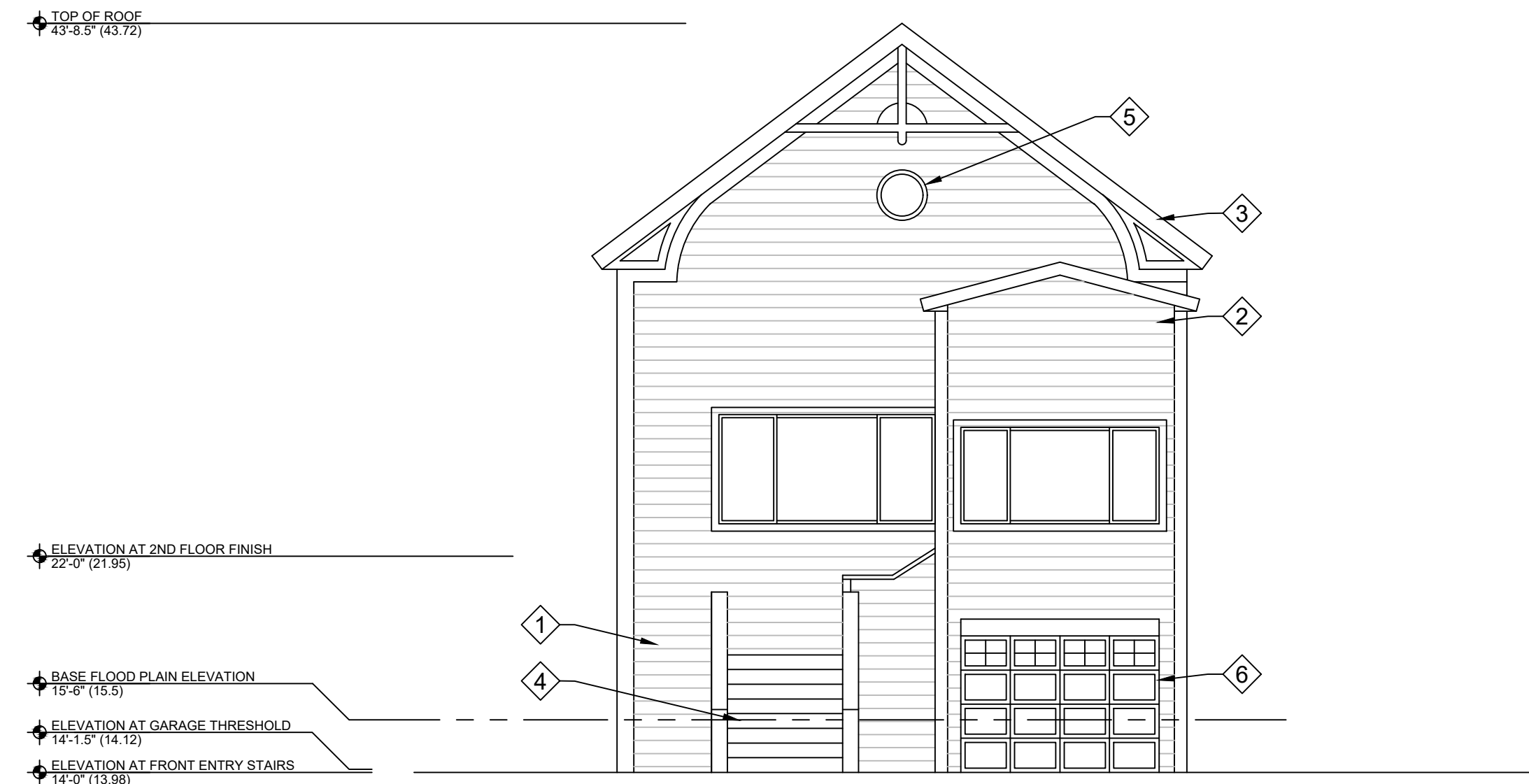




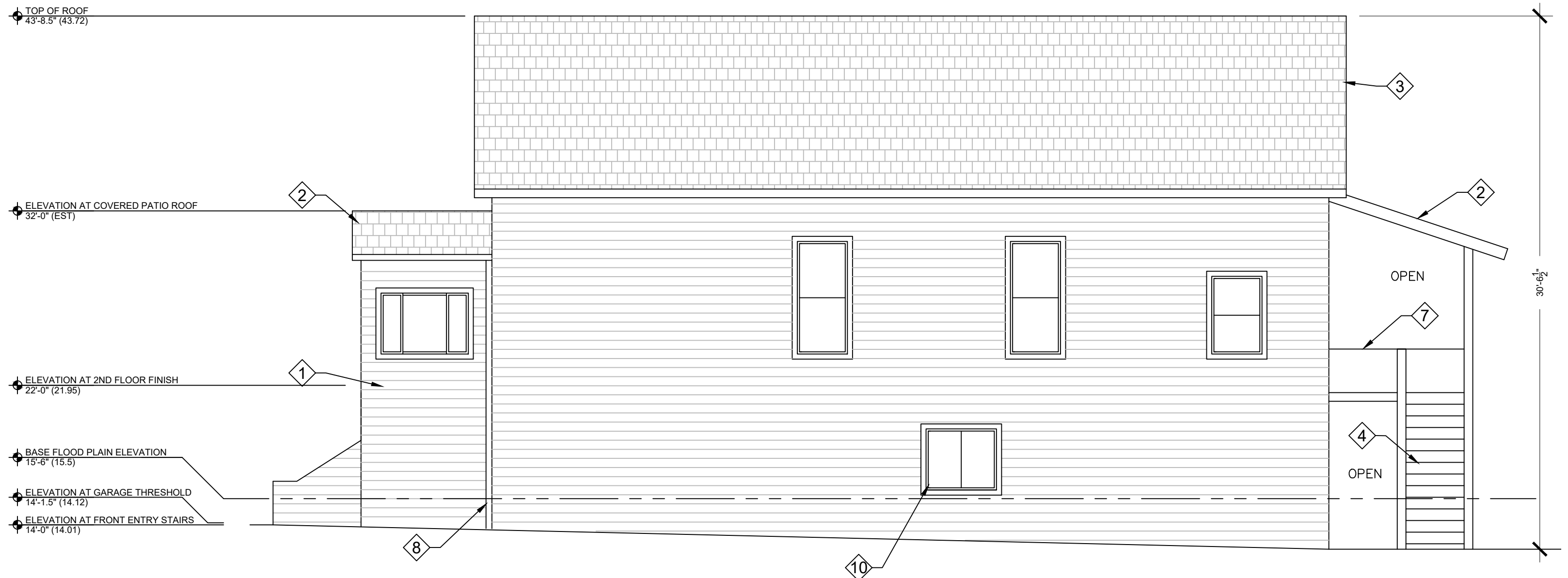
3 EXISTING SOUTH ELEVATION (REAR YARD)
3/16" = 1'-0"



1 EXISTING EAST ELEVATION
3/16" = 1'-0"



4 EXISTING NORTH ELEVATION (ENTRY)
3/16" = 1'-0"



2 EXISTING WEST ELEVATION
3/16" = 1'-0"

KEY NOTES

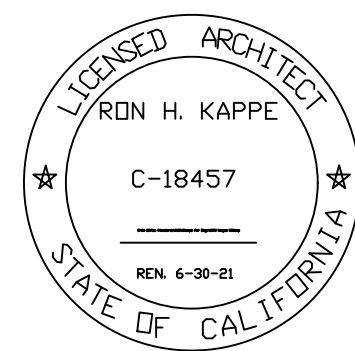
- 1 WOOD SIDING
- 2 ROOF (4/12)
- 3 ROOF (9/12)
- 4 WOOD STAIRCASE
- 5 LOUVERED ATTIC VENT
- 6 GARAGE DOOR
- 7 WOOD PATIO GUARDRAIL/WALL
- 8 RAIN DRAINPIPE
- 9 DOOR
- 10 WINDOW, TYP.
- 11 ELECTRICAL BOX

LEGEND


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3-UNIT RESIDENTIAL BUILDING

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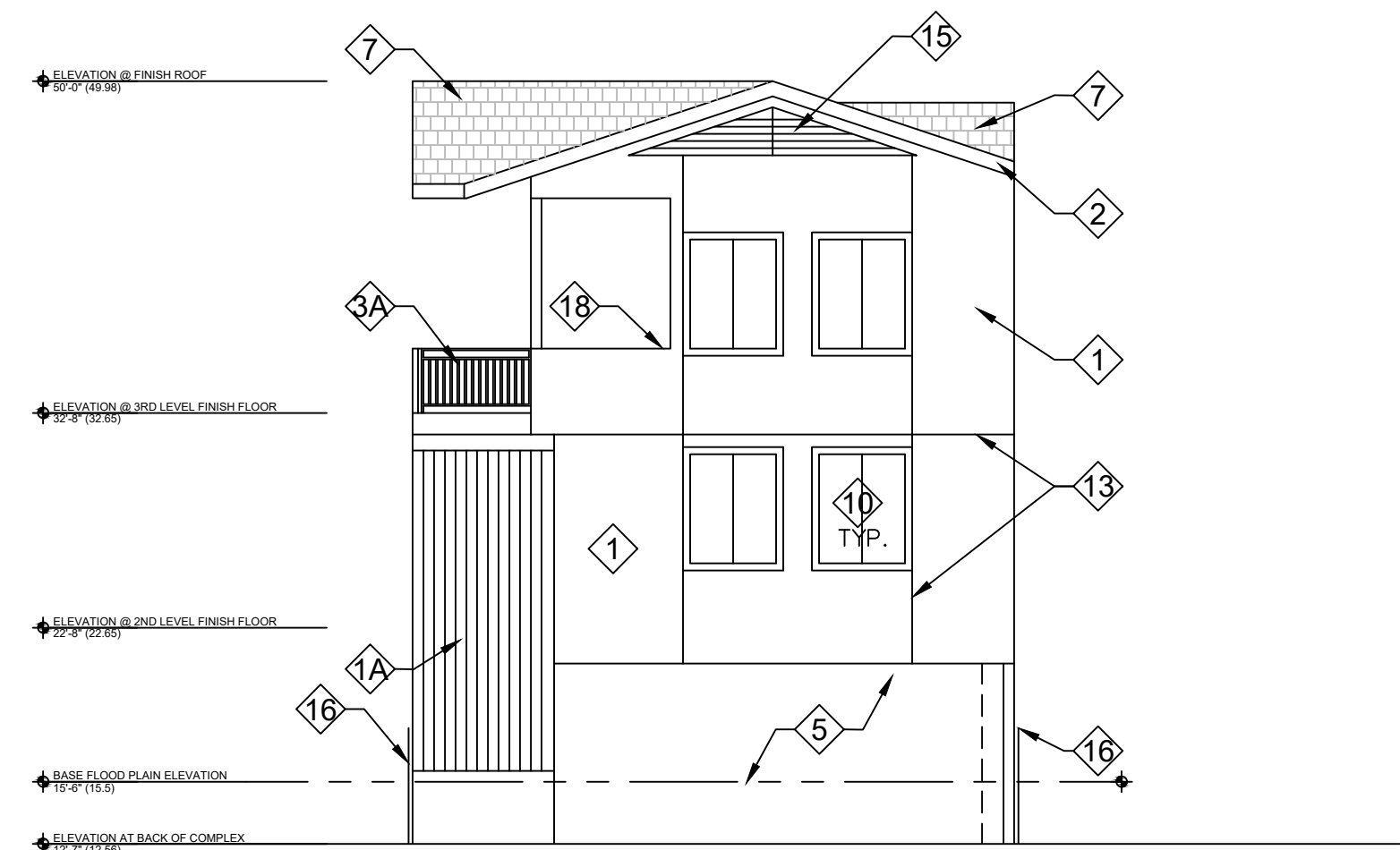
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EXISTING ELEVATIONS

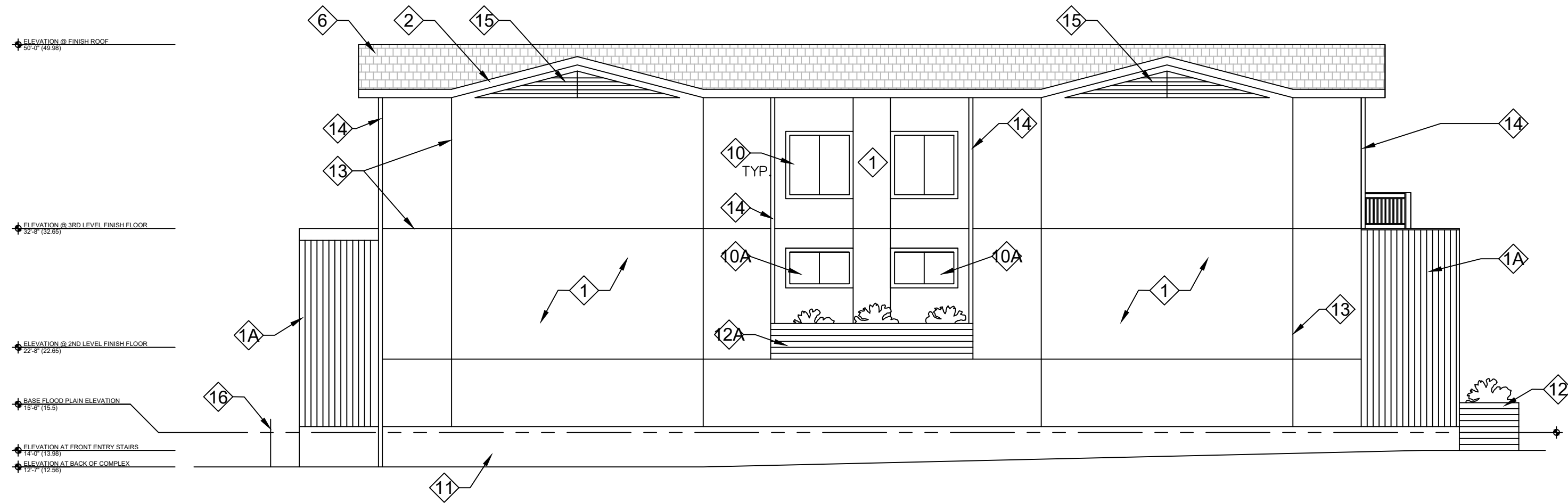
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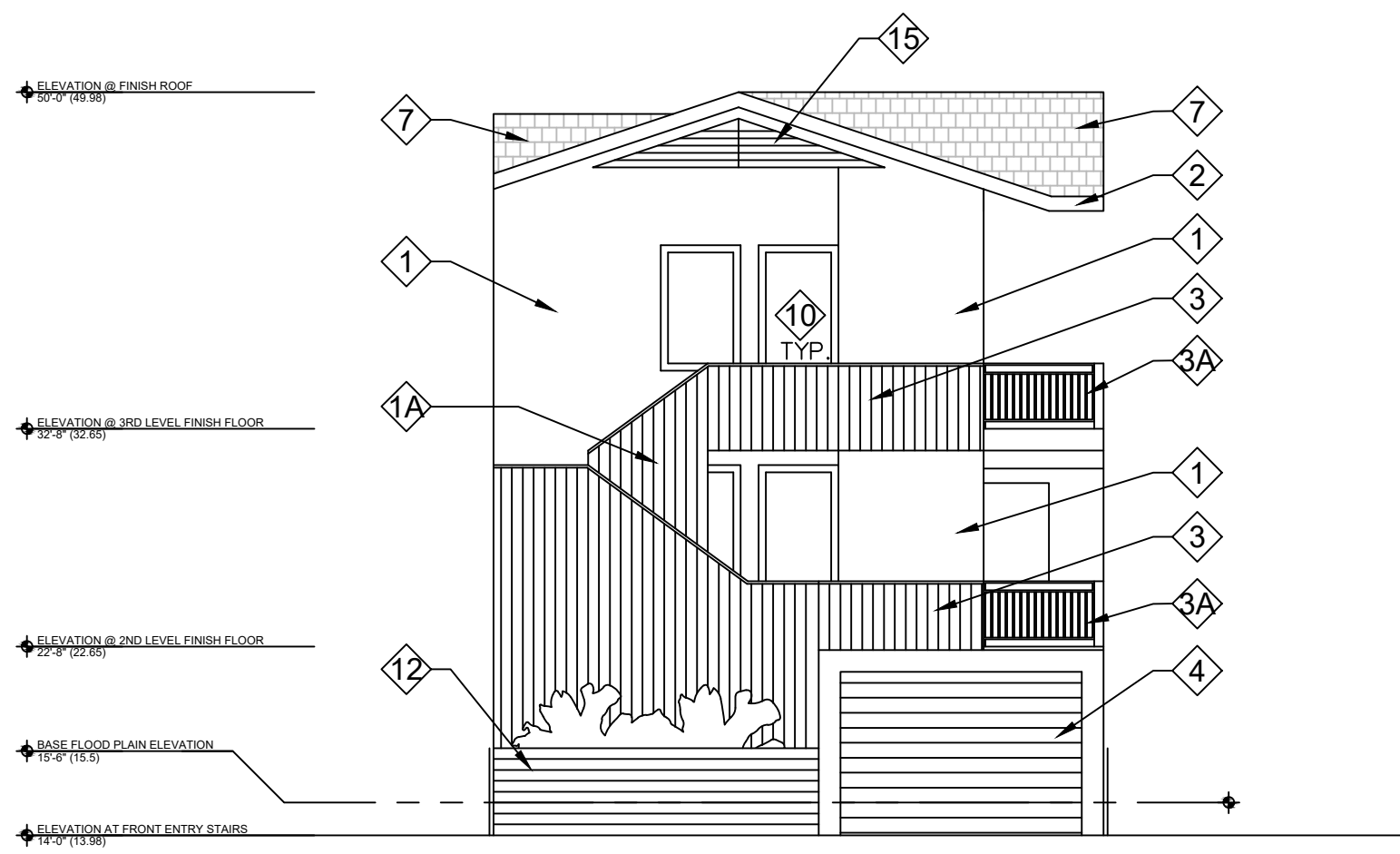
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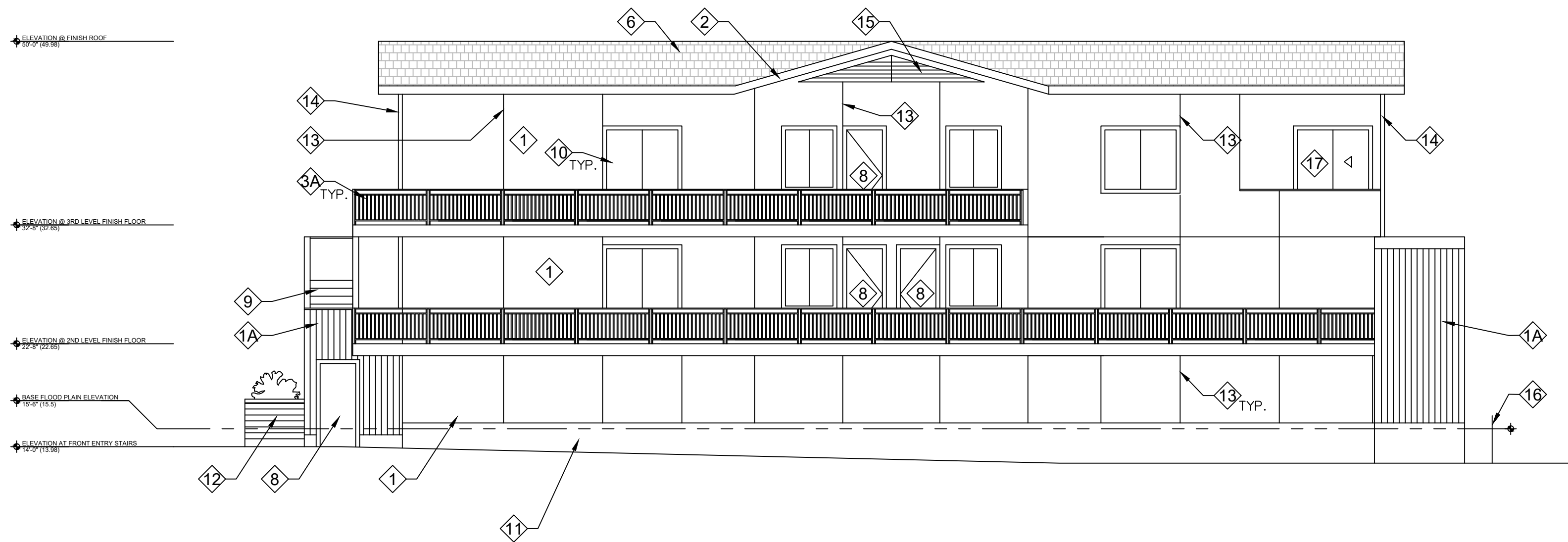
3 PROPOSED SOUTH ELEVATION (REAR YARD)
1/8" = 1'-0"



1 PROPOSED EAST ELEVATION
1/8" = 1'-0"



4 PROPOSED NORTH ELEVATION (ENTRY)
1/8" = 1'-0"



2 PROPOSED WEST ELEVATION
1/8" = 1'-0"

KEY NOTES

- 1 STUCCO WALL, 1HR. RATING
- 1A CEMENTITIOUS FIBER BOARD CLADDING.
- 2 2x WD ROOF FASCIA
- 3 BALCONY/TRELLIS, CEMENTITIOUS FIBER BOARD CLADDING, TYP.
- 3A TUBE STEEL GUARD/HANDRAIL
- 4 OVERHEAD GARAGE DOOR
- 5 OPEN TO GARAGE
- 6 CLASS A COMP. SHINGLE ROOF
- 7 DORMER ROOF (BEYOND)
- 8 SOLID CORE WD. EXT DOOR
- 9 CONC. PRECAST STAIRS
- 10 ANODIZED ALUMINUM WINDOW
- 10A 5' SILL HEIGHT WINDOW W/ OPAQUE TREATMENT
- 11 CONCRETE FOUNDATION AND STEM WALL
- 12 PLANTER W/ REQ BIO-RETENTION DRAINAGE, TYPE A BRICK FACADE CLADDING
- 12A PLANTER W/ REQ BIO-RETENTION DRAINAGE, CEMENTITIOUS FIBER BOARD CLADDING
- 13 STUCCO CONTROL JOINT, TYP.
- 14 4x4 PNTD GSM DOWNSPOUT, TYP.
- 15 LOUVERED ROOF ATTIC VENT AT DORMER, TYP.
- 16 FENCE AT PROPERTY LINE
- 17 6' SLIDING GLASS DOUBLE DOOR
- 18 PARAPET WALL OF PATIO

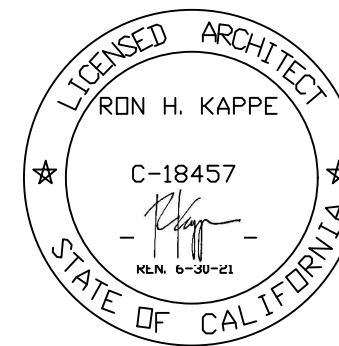
GENERAL NOTES:

CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION AND NOTIFY ARCHITECT WITH ANY QUESTIONS OR FIELD DISCREPANCIES FROM DRAWINGS.

KAPPE ARCHITECTS

3-UNIT RESIDENTIAL BUILDING

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SAN RAFAEL, CA 94901



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Sheet Title:

PROPOSED EXTERIOR ELEVATIONS

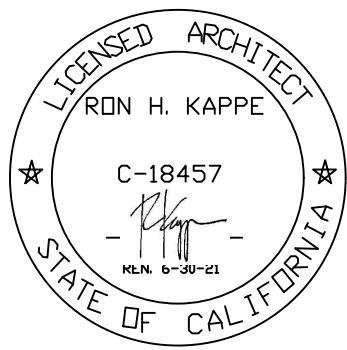
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Sheet No:

A3.1

3-UNIT
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Revision	No. Date
DESIGN REVIEW	△ 05/26/20

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Sheet Title:

PROPOSED MATERIALS PLAN

Scale: AS NOTED

Sheet No:

A5.0

COMPOSITION SHINGLE ROOF
COLOR: MEDIUM BROWN

ALTERNATE COLORS:

HICKORY

OYSTER GREY



FASCIA & GUTTERS
PAINTED TO MATCH
ROOF SHINGLE COLOR

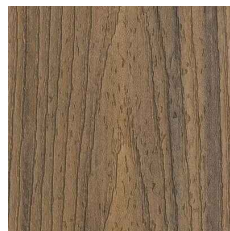
STUCCO WALLS
COLOR: TAUPE
TEXTURE: FINE SAND FINISH

ALTERNATE COLOR:
SAND/TAN



WINDOW/DOOR FRAMES
PAINTED TO MATCH STUCCO
WINDOW HARDWARE: CLEAR
ANODIZED

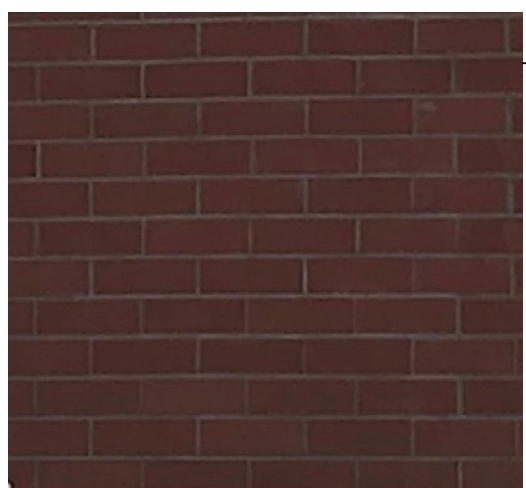
"WOOD" CLADDING:
COLOR/MATERIALS:



TIKI TORCH
CEMENTITIOUS

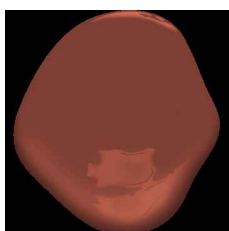
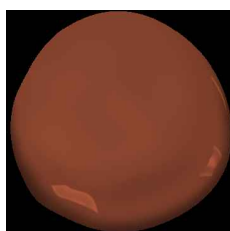
HAVANA GOLD
CEMENTITIOUS

BRICK PLANTER



DOORS: PAINT GRADE WOOD DOORS
PAINT COLOR: PALACE ARMS RED
DOOR HARDWARE: SILVER

ALTERNATE COLORS:



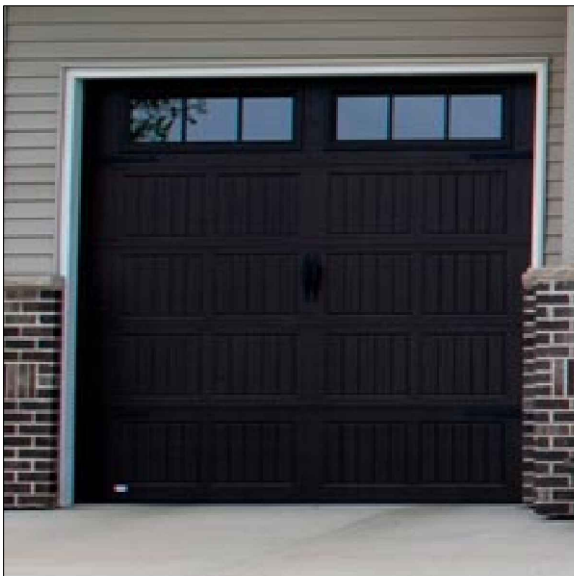
TOASTED
CHESTNUT

RED ROCK



GARAGE DOOR
PAINTED TO MATCH COLOR OF
FASCIA

ALTERNATE COLORS:
WOOD TO
MATCH DECKING

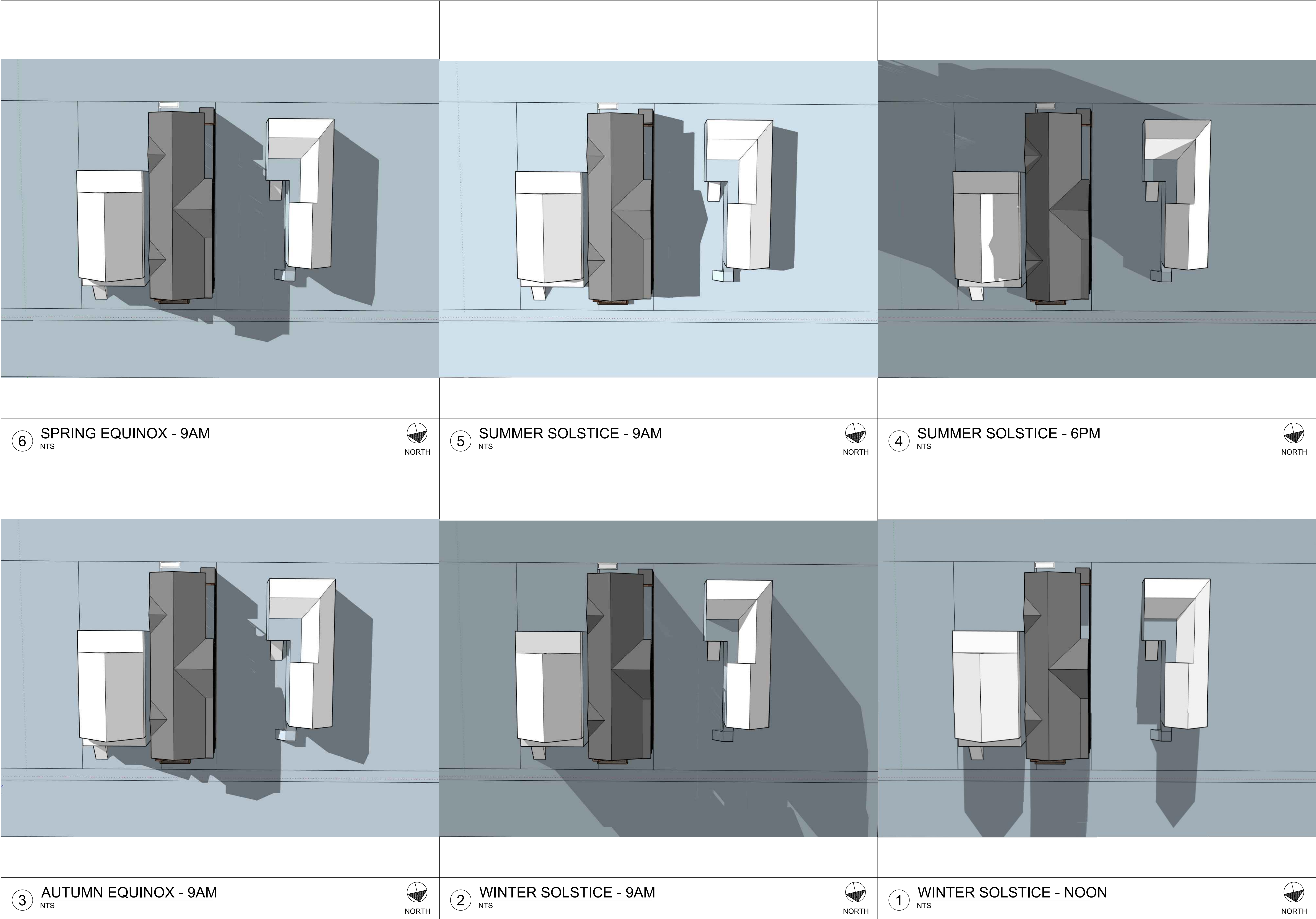


STUCCO CONTROL
JOINT, TYP.

TUBE STEEL HANDRAIL, PAINTED
TO MATCH FASCIA BELOW

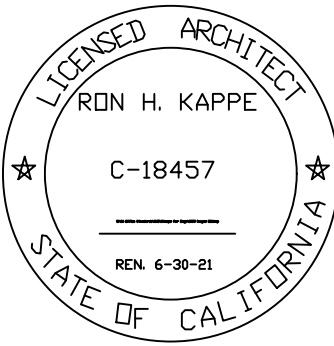
CONCRETE BASE BELOW
FLOOD PLANE
COLOR: STANDARD CONCRETE

1 BIRDS EYE PERSPECTIVE WITH PROPOSED MATERIALS
NTS




3-UNIT
RESIDENTIAL
BUILDING

1309 2ND STREET
SAN RAFAEL, CA 94901



AP #: 012-073-04

Project No.:	19.12		
Drawn By:	GC		
Checked By:	RK		
Issued Date:	11/15/19		
Revision	No.	Date	
DESIGN REVIEW		05/26/20	

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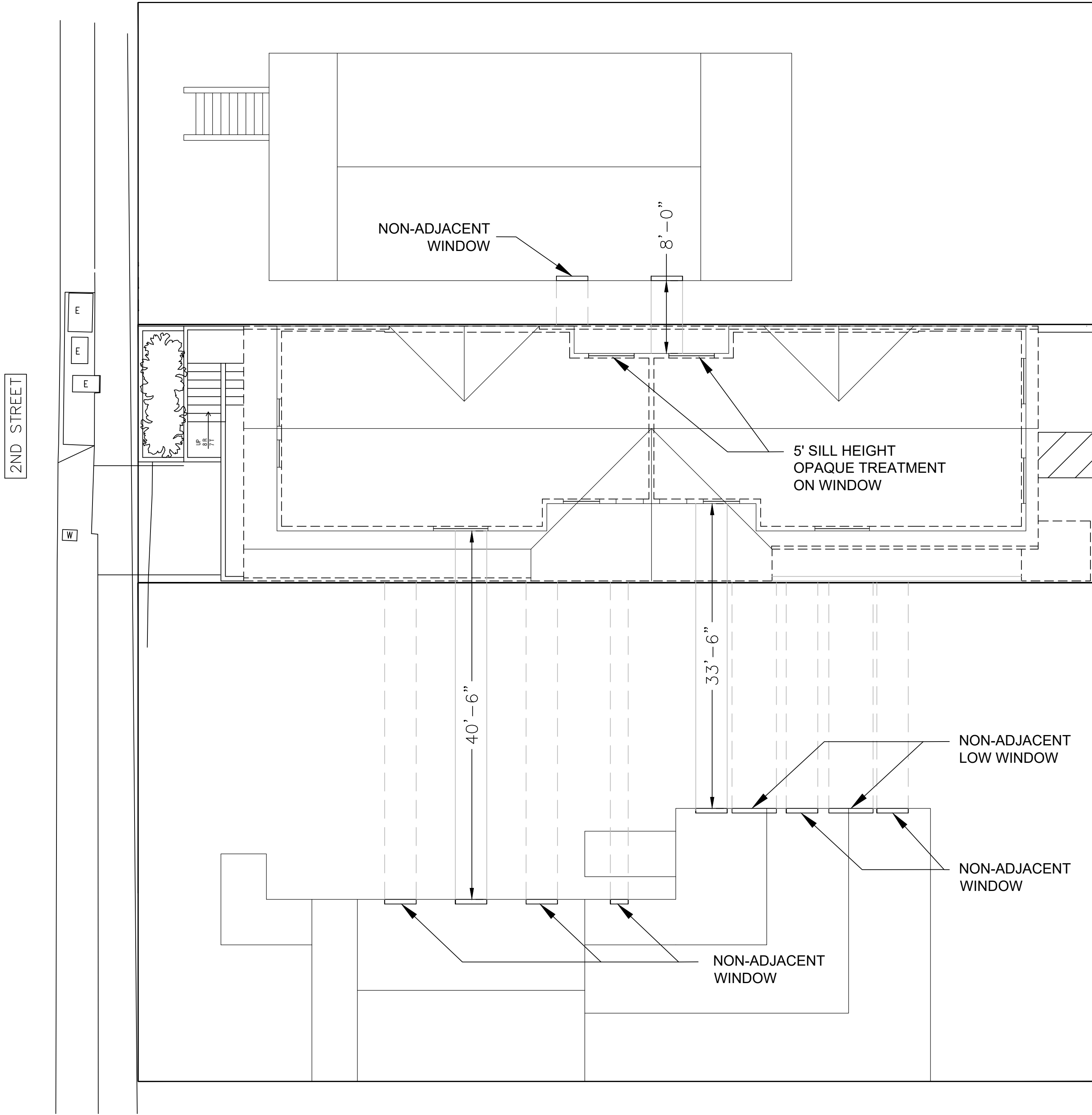
Sheet Title:

SHADOW STUDIES

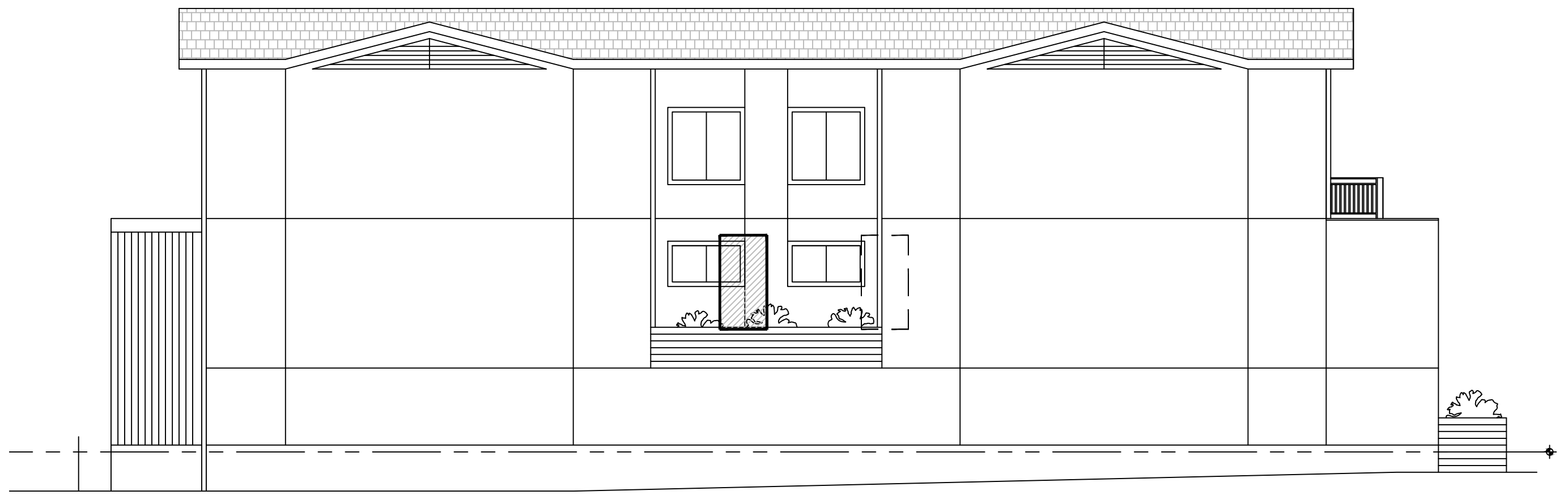
Scale: AS NOTED

Sheet No:

A5.1



4 WINDOW STUDY (PLAN VIEW)
3/16" = 1'-0"



3 EAST ELEVATION
1/8" = 1'-0"



2 WEST ELEVATION
1/8" = 1'-0"



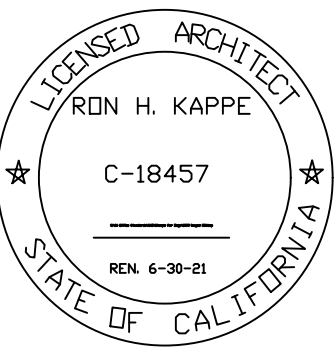
1 STREET FACING (NORTH) ELEVATION
1/8" = 1'-0"

KAPPE ARCHITECTS


801 'D' STREET SAN RAFAEL, CA 94901
TEL: 415.457.7801 FAX: 415.457.7885

3-UNIT RESIDENTIAL BUILDING

1309 2ND STREET
SAN RAFAEL, CA 94901



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Sheet Title:

WINDOW STUDIES

Scale: AS NOTED

Sheet No:

A5.2