3-UNIT RESIDENTIAL BUILDING

1309 2nd STREET SAN RAFAEL, CA 94901

SYMBOLS

1. DESIGNS REPRESENTED BY THESE DRAWINGS ARE THE PROPERTY OF THE ARCHITECT AND WERE DEVELOPED FOR USE ON THIS PROJECT ONLY. THESE DRAWINGS AND THE DESIGNS THEY REPRESENT SHALL NOT BE USED BY OR DISCLOSED TO ANY PERSON OR FIRM OUTSIDE THE SCOPE OF THIS

2. THE GENERAL CONDITIONS OF THE CONTRACT FOR THE CONSTRUCTION OF BUILDINGS, PUBLISHED BY THE AMERICAN INSTITUTE OF ARCHITECTS SHALL APPLY TO AND GOVERN THE WORK OF THIS CONTRACT. A COPY OF THE GENERAL CONDITIONS, ALTHOUGH NOT BOUND HEREIN, IS AVAILABLE FOR REVIEW AT THE OFFICE OF THE ARCHITECT. ALL WORK SHALL CONFORM TO THE UNIFORM BUILDING CODE - 2016 EDITION AND STANDARDS REFERENCED THEREIN.

GENERAL NOTES

PROJECT WITHOUT WRITTEN PERMISSION FROM KAPPE ARCHITECTS

3. CONTRACTORS SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD AND SHALL NOTIFY THE ARCHITECT PROMPTLY OF ANY VARIATIONS FROM DIMENSIONS AND CONDITIONS SHOWN, WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. CONSTRUCTION DETAILS NOT FULLY SHOWN OR NOTED SHALL BE SIMILAR TO DETAILS SHOWN FOR SIMILAR CONDITIONS.

4. DISCREPANCIES AND INCONSISTENCIES IN CONTRACT DOCUMENTS: IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO NOTIFY THE ARCHITECT IN WRITING, DURING THE BIDDING PERIOD, OF ANY INCONSISTENCIES OR OMISSIONS NOTED ON THE DRAWINGS OR IN THE SPECIFICATIONS OR ANY VARIATIONS NEEDED IN ORDER TO CONFORM TO CODES, RULES AND REGULATIONS. UPON RECEIPT OF THIS INFORMATION. THE ARCHITECT WILL SEND WRITTEN INSTRUCTION TO ALL CONCERNED. ANY SUCH DISCREPANCY, OMISSION, OR VARIATION NOT REPORTED SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. ANY CLAIMS FOR EXTRAS WILL NOT BE HONORED.

5. TESTING AND INSPECTIONS: THE CONTRACTOR SHALL ARRANGE AND PAY FOR ALL TESTING AND INSPECTIONS REQUIRED BY APPLICABLE BUILDING CODES, ORDINANCES OR DIRECTIVES OF GOVERNING BUILDING OFFICIALS. THE OWNER OR ARCHITECT MAY REQUIRE TESTING OF MATERIALS FOR CONFORMANCE WITH THE CONTRACT DOCUMENTS. THE OWNER SHALL PAY ALL COSTS FOR SUCH TESTING IF THE TESTS INDICATE CONFORMANCE. THE CONTRACTOR SHALL PAY COSTS WHEN THE TESTING INDICATES NON-CONFORMANCE.

6. PERMITS AND INSPECTIONS: THE OWNER SHALL PAY FOR PLAN CHECKING FEES AND BUILDING PERMITS. EACH CONTRACTOR SHALL SECURE AND PAY FOR PERMITS REQUIRED FOR THEIR WORK AND FOR ALL INSPECTIONS WHICH MAY ALSO BE REQUIRED.

7. SCOPE OF WORK: THE SCOPE OF WORK FOR EACH DIVISION SHALL INCLUDE ALL LABOR, MATERIALS APPLIANCES, EQUIPMENT AND FACILITIES NECESSARY TO DO ALL OF THE WORK INDICATED IN THE DRAWINGS AND SPECIFICATIONS. THE CONTRACTOR SHALL SUPPLY ALL LABOR, MATERIALS, EQUIPMENT AND SERVICES OF EVERY KIND, INCLUDING WATER AND POWER, NECESSARY FOR THE PROPER EXECUTION OF THE WORK SHOWN ON THE CONSTRUCTION DOCUMENTS

8. ALL MATERIALS SHALL BE NEW AND UNUSED AND OF HIGH QUALITY IN EVERY RESPECT. ALL WORK TO BE DONE IN A PROFESSIONAL MANNER. MANUFACTURER'S MATERIAL, EQUIPMENT, ETC. SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS. ALL WORKERS AND SUBCONTRACTORS SHALL BE SKILLED IN THEIR TRADE.

9. MATERIALS AND WORKMANSHIP WARRANTY: THE CONTRACTOR SHALL REPLACE ANY DEFECTIVI MATERIALS AND CORRECT POOR WORKMANSHIP WITH NO ADDITIONAL COST TO THE OWNER, AND SHALL REMEDY ANY DEFECTS IN MATERIAL OR WORKMANSHIP WHICH APPEAR IN ONE YEAR FROM THE DATE OF COMPLETION OF THE JOB. THIS WARRANTY APPLIES TO WORK DONE BY SUBCONTRACTORS AS WEL AS THE WORK DONE BY THE EMPLOYEES OF THE CONTRACTOR

10. SHORING: IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO DESIGN AND PROVIDE ADEQUATE SHORING, BRACING AND FORMWORK AS REQUIRED FOR THE PROTECTION OF LIFE AND PROPERTY DURING THE CONSTRUCTION OF THIS BUILDING.

11. BRACING: TEMPORARY BRACING SHALL BE PROVIDED AS REQUIRED TO HOLD ALL COMPONENTS OF THE STRUCTURE IN PLACE UNTIL FINAL SUPPORT IS SECURELY ANCHORED.

12. CONTRACTOR TO PROVIDE TAMPER RESISTANT RECEPTACLES FOR ALL NEW LOCATIONS PER CEC 210.52, ARC-FAULT PROTECTION FOR ALL NEW OUTLETS PER CEC 210.12 (B), AND GFCI PROTECTED OUTLETS FOR LOCATIONS PER 210.8 (A).

13. MECHANICAL AND PLUMBING WORK TO BE DONE BY A LICENSED CONTRACTOR ON A DESIGN/BUILD

14. ALL PLUMBING FIXTURES WITHIN THE BUILDING THAT ARE NON-COMPLIANT SHALL BE UPGRADED WITH WATER CONSERVING PLUMBING FIXTURES. THIS INCLUDES: TOILETS THAT USE MORE THAN 1.6 GALLONS PER FLUSH, FAUCETS THAT EMIT MORE THAN 2.2 GALLONS OF WATER PER MINUTE. AND SHOWERHEADS THAT EMIT MORE THAN 2.5 GALLONS OF WATER PER MINUTE.

15. ALL REQUIRED ENGINEERING OR DRAWINGS FOR ELECTRICAL SYSTEMS TO BE PROVIDED BY LICENSED ENGINEERS OR BY CONTRACTOR. COORDINATE ALL WORK WITH ARCHITECT PRIOR TO THE START OF CONSTRUCTION.

16. CONTRACTOR SHALL PROVIDE WATER-RESISTANT GYPSUM WALL BOARD AT ALL WET LOCATION, INCLUDING BATHROOMS, SHOWER ROOMS AND KITCHENS. PROVIDE CEMENT BACKER BOARD AT ALL CERAMIC TILE SURFACES.

17. ALL CONSTRUCTION SHALL COMPLY WITH ALL CODES REFERENCED ON THE TITLE SHEET ALONG WITH ALL APPLICABLE SECTIONS OF THE SAN RAFAEL MUNICIPAL CODE.

18. ALL CONSTRUCTION SHALL COMPLY WITH OTHER APPLICABLE SECTIONS OF THE SAN RAFAEL MUNICIPAL CODE. SECTION R106.1

19. ALL NEW AND EXISTING STRUCTURES ABUTTING ON ANY PUBLIC OR PRIVATE STREET, AVENUE DRIVE, ROAD, PLACE OR LANE WITHIN THE CITY SHALL BE GIVEN AND MARKED WITH AN OFFICIAL ADDRESS NUMBER, THE BUILDING OFFICIAL SHALL DECODE THE PROPER NUMBER TO BE ASSIGNED TO ANY STRUCTURE. ALL REQUESTS FOR NEW ADDRESSES OR CHANGE OF ADDRESS SHALL BE REVIEWS AND APPROVED BY THE BUILDING OFFICIAL. ADDRESS NUMBERS SHALL BE INSTALLED AS DESCRIBED IN CITY OF SAN RAFAEL STANDARD "PREMISES IDENTIFICATION" AS APPROVED FROM TIME TO TIME BY THE BUILDING OFFICIAL.

4.5			W	
A.B. ABV.	ANCHOR BOLT ABOVE	KITCH. OR K.	KITCHEN	
A.C. AC. T.	ASPHALTIC CONCRETE			
AC. 1. ADJ.	ACOUSTICAL TILE ADJUSTABLE	L. LAM.	LENGTH LAMINATE	
A.F.F. ALT.	ABOVE FINISH FLOOR ALTERNATE	LAND'G.	LANDING	
ALT. ALUM.	ALTERNATE ALUMINUM	LAV. LIN.	LAVATORY LINEN	
ANOD.	ANODIZED	LOC.	LOCATION	,
A.V.	AUDIO VISUAL	LT. WT.	LIGHT WEIGHT	
BD. BDRM.	BOARD BEDROOM	MACH. MAR.	MACHINE MARBLE	
BETW'N. BLDG.	BETWEEN BUILDING	MATL.	MATERIAL	
BLK.	BLOCK	MAX.	MAXIMUM	
BLK'G. BM.	BLOCKING BEAM	M.B. MECH.	MACHINE BOLT MECHANICAL	
BOT.	BOTTOM	MEM.	MEMBER	
BSMT. BR.	BASEMENT BEDROOM	MEMB. MEZZ.	MEMBRANE MEZZANINE	.
B.U.	BUILT-UP	MFCTR.	MANUFACTURER	
		MIN. MISC.	MINIMUM MISCELLANEOUS	
C.	CHANNEL	M.O.	MASONRY OPENING	١.
C.A.R. CAB.	COLD AIR RETURN CABINET	M.S.	METAL STRIP	
CALCS.	CALCULATIONS	MULL.	MULLION	
CANT. C.B.	CANTILEVERED CATCH BASIN			
CEM.	CEMENT	(N) N.	NEW NORTH	
CER. TILE CLG.	CERAMIC TILE CEILING	N.I.C.	NOT IN CONTRACT	
CLOS.	CLOSET	NO.	NUMBER	
CLR. CMPD.	CLEAR COMPOUND	N.T.S.	NOT TO SCALE	
CMPD.	CONCRETE MASONRY UNIT			
COL.	COLUMN	O/ OBSC.	OVER OBSCURE	
COMPSD. CONC.	COMPRESSED CONCRETE	O.C.	ON CENTER	
CONC. BLK.		O.D.	OUTSIDE DIAMETER	
COND. CONST.	CONDITION CONSTRUCTION	OPEN.	OPENING	
CONT.	CONTINUOUS	DART		
CONTR. COR.	CONTRACTOR CORNER	PART. P.B.	PARTITION PANIC BAR	
CORR.	CORRIDOR	P.C.P.	PRE-CAST CONCRETE PANEL	
CPT. C.S.	CARPET COUNTER SUNK	PERP. PKG.	PERPENDICULAR PACKAGE	
CUST.	CUSTOM	PL	PROPERTY LINE	
		PLA. PLAM.	PLASTIC PLASTIC LAMINATE	
DAT.	DATUM DOUBLE	PLAS.	PLASTIC LAWIINATE PLASTER	
DBL. DET.	DETAIL	PLN.	PLAN	
D.F. DF	DRINKING FOUNTAIN DOUGLAS FIR	PLUMB. PLY.	PLUMBING PLYWOOD	
DIA.	DIAMETER	PR.	PAIR	
DIM(S).	DIMENSION(S) DIVISION	PROP. PT	PROPERTY PRESSURE TREATED	
DIV. DN.	DOWN	PT.	PAINT	
DR. DRWG.	DOOR DRAWING	P.T.D.	PAPER TOWEL DISPENSER	
DRWG. D.S.	DOWN SPOUT			
D.S.P.	DRY STAND PIPE	R. R.A.G.	RADIUS, RISER, REGISTER	*
		R.C.P.	RETURN AIR GRILL REINFORCED CONC. PIPE	1
E. EA.	EAST EACH	R.D.	ROOF DRAIN	m Sal
E.J.	EXPANSION JOINT	RDWD. REF.	REDWOOD REFERENCE	
ELECT. ELEV.	ELECTRICAL ELEVATION	RET.	RETAINING	
EQ.	EQUAL	R.O.	ROUGH OPENING	
EQUIP. EXPAN.	EQUIPMENT EXPANSION			Ma
EXP.	EXPOSED	S & P SGL.	SHELF AND POLE	
(E) EXT.	EXISTING EXTERIOR	SLT.	SINGLE SLATE	1
LXI.	EXTERIOR	S.O.G.	SLAB ON GRADE	
F.B.	FLAT BAR	ST. STL. STOR.	STAINLESS STEEL STORAGE	
F.D.	FLOOR DRAIN	STRUCT.	STRUCTURE	
F.E. F.F.	FIRE EXTINGUISHER FINISH FLOOR			Те
F.G.	FIXED GLASS	T & G	TONGUE AND GROOVE	
F.H.C. F.H.M.S.	FIRE HOSE CABINET FLAT HEAD MACHINE SCREWS	TEMP. T.M.E.	TEMPERED	
F.H.W.S.	FLAT HEAD WOOD SCREWS	T.O.	TO MATCH EXISTING TOP OF	
FIN. FIXT.	FINISH FIXTURE	T.O.M.	TOP OF MASONRY	
FLASH.	FLASHING	T.O.W. T.P.H.	TOP OF WALL TOILET PAPER HOLDER	
FLR. FOLD.	FLOOR FOLDING	TYP.	TYPICAL	
FTG.	FOOTING			
F.O.B. F.O.C.	FACE OF BLOCK FACE OF CONCRETE	U.L.	UNDERWRITER'S LABORATORY	
F.O.S.	FACE OF STUD OR STEEL	U.O.N.	UNLESS OTHERWISE NOTED	
FT. FURR.	FEET FURRING			
i OININ.	1 0141410	V.C.T.	VINVI COMPOSITION TILE	

VINYL COMPOSITION TILE

VENTILATOR

VESTIBULE

WAINSCOT

WOOD

WORK

WATER CLOSET

WATERPROOF

WINDOW OPENING

WASTE RECEPTACLE

WET STAND PIPE

VERTICAL

V.G.

V.G.D.F.

VENDING MACHINE

VERTICAL GRAIN

GAUGE

GALVANIZED

GROUND

HANDICAPPED

HOLLOW CORE

HOLD DOWN

HARDWOOD

HORIZONTAL

HEATING

INCLUDING

INSULATION

INTERIOR

JUNIOR

INSIDE DIAMETER **IMPREGNATED**

INVERSE OR INVERT

HARDWOOD BOARD

HOSE REEL CABINET

HOLLOW METAL

G.S.M.

HDWD.

HORIZ.

H.R.C.

HTG.

IMPREG INSUL.

GENERAL CONTRACTOR

GLUE LAMINATED BEAM

GALVANIZED SHEET META

GALVANIZED IRON

ABBREVIATIONS

NEW CONSTRUCTION OF MULTIPLE RESIDENTIAL 3-UNIT STRUCTURE WITH GROUND LEVEL PARKING DETAIL REFERENCE **GARAGE** SECTION REFERENCE DATUM OR **CONTROL POINT** INTERIOR ELEVATION **ZONING DATA** PROPERTY LINE **NEW OR FINISH** ZONING DISTRICT = 2/3MUW CONTOUR **HEIGHT LIMIT** = 36 FT 32 EXISTING CONTOUR -× × FENCE MAX. LOT COVERAGE = NR MIN. USABLE OUTDOOR A DOOR TYPE A — WALL TYPE 1 / HARDWARE GROUP FRONT SETBACK = 5 FT. 1) DOOR TYPE SIDE SETBACKS = 0 FT.1 > WINDOW TYPE REAR SETBACK = 0 FT.ROOF SLOPE PROJECT DATA SUMMARY LOT SIZE = 2,940 SQ FT **VICINITY MAP** (E) RESIDENTIAL SPACE (DEMO) = 1,034 SQ FT (N) RESIDENTIAL SPACE = 3,580 SQ FT (E) RESIDENTIAL UNITS (DEMO) (N) RESIDENTIAL UNITS = 3 (E) LOT COVERAGE = 52.5% (N) LOT COVERAGE = 86.5% REQ. LANDSCAPING (10% LOT AREA) = 294 SQ FT PROVIDED LANDSCAPING = 125 SQ FT (E) COVERED PARKING SPACES = 1 (N) TOTAL COVERED PARKING SPACES PROJECT RENDER

SCOPE OF WORK



PROJECT DIRECTORY

GARL ALICIA FAMILY TRUST 2012 OWNER WILSON RINA V

1423 DONNA ST. NOVATO CA 94947

ARCHITECT KAPPE ARCHITECTS

801 D STREET SAN RAFAEL, CA 94901 PH: (415) 457-7801 ron@kappearchitects.com

BARRETT AGHAZARIAN STRUCTURAL ENGINEER AGHAZARIAN CONSULTING ENGINEERS. IN

> PH: (510) 326-4711 barrett@aceincorp.com

matthew@sandbank.com

MATTHEW BURNS CONTRACTOR 1127 GRANT AVE #3 PH: (415) 595-8611

INDEX OF DRAWINGS

TITLE T1.0

ARCHITECTURAL

EXISTING SITE/ROOF PLAN PROPOSED SITE/ROOF PLAN A1.2 PROPOSED ROOF DRAINAGE PLAN **EXISTING/DEMO FLOOR PLANS** A1.3

A2.0 PROPOSED PARKING CIRCULATION PLAN A2.1 PROPOSED FIRST FLOOR RESIDENTIAL PLAN PROPOSED SECOND FLOOR RESIDENTIAL PLAN A2.2 A3.0 **EXISTING ELEVATIONS**

A3.1 **PROPOSED ELEVATIONS** PROPOSED MATERIALS PLAN A5.0 A5.1 **SHADOW STUDIES** A5.2 **WINDOW STUDIES**

STRUCTURAL

CODE DATA

2018 California Building Code (CBC)

2018 California Residential Code (CRC) 2018 California Electrical Code (CEC)

2018 California Mechanical Code (CMC),

2018 California Plumbing Code,

2018 California Energy Efficiency Standards Code (CEES),

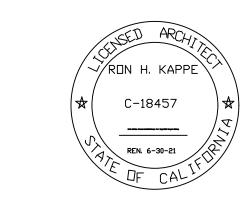
2018 California Fire Code (CFC), 2018 California Green Building Standards

Code (CGBS or CALGreen)

S 4 О Ш

3-UNIT RESIDENTIAL BUILDING

1309 2ND STREET SAN RAFAEL, CA 94901



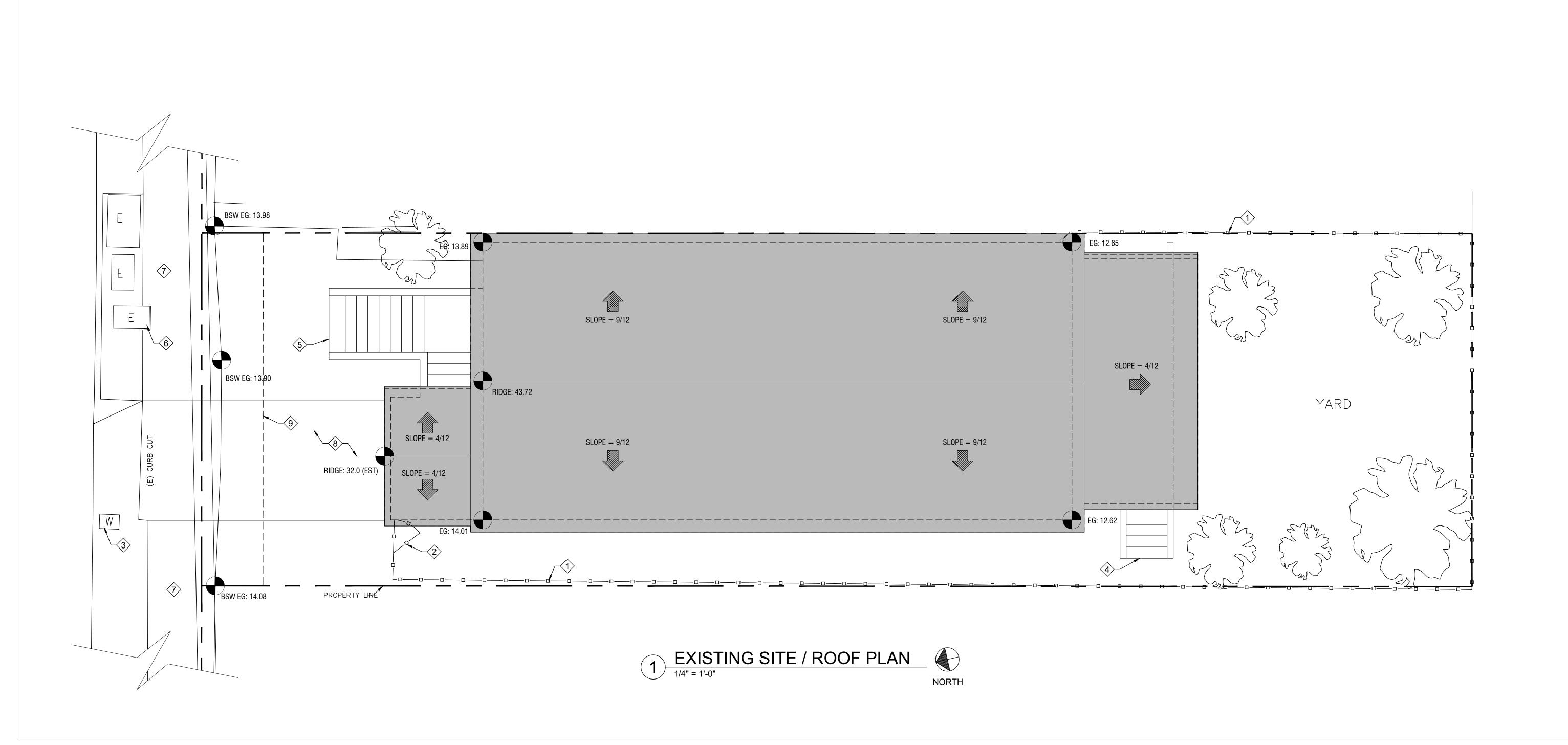
AP #: 012-073-04

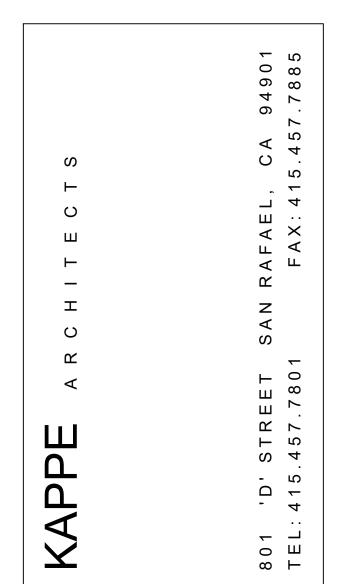
Project No.: 19.12 Checked By: RK Issued Date: 11/15/19 Revision 05/26/20 DESIGN REVIEW

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TITLE SHEET

Scale: AS NOTED





KEY NOTES

(E) FENCE GATE

(E) WOODEN STAIRS

(E) ENTRY STAIRS

(E) CONC. DRIVEWAY

9 5' FRONT YARD SETBACK

6 ELECTRICAL CRISTY BOX AT SIDEWALK

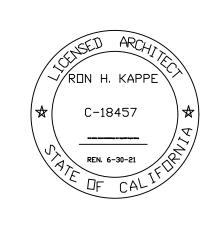
3 WATER METER

(E) SIDEWALK

(E) FENCE

3-UNIT RESIDENTIAL BUILDING

1309 2ND STREET SAN RAFAEL, CA 94901



AP #: 012-073-04

Project No.:	19.12		
Drawn By:	GC		
Checked By:	RK		
Issued Date:	11/15/19		
Revision		No.	Date
DESIGN REV	/IEW	1	05/26/2

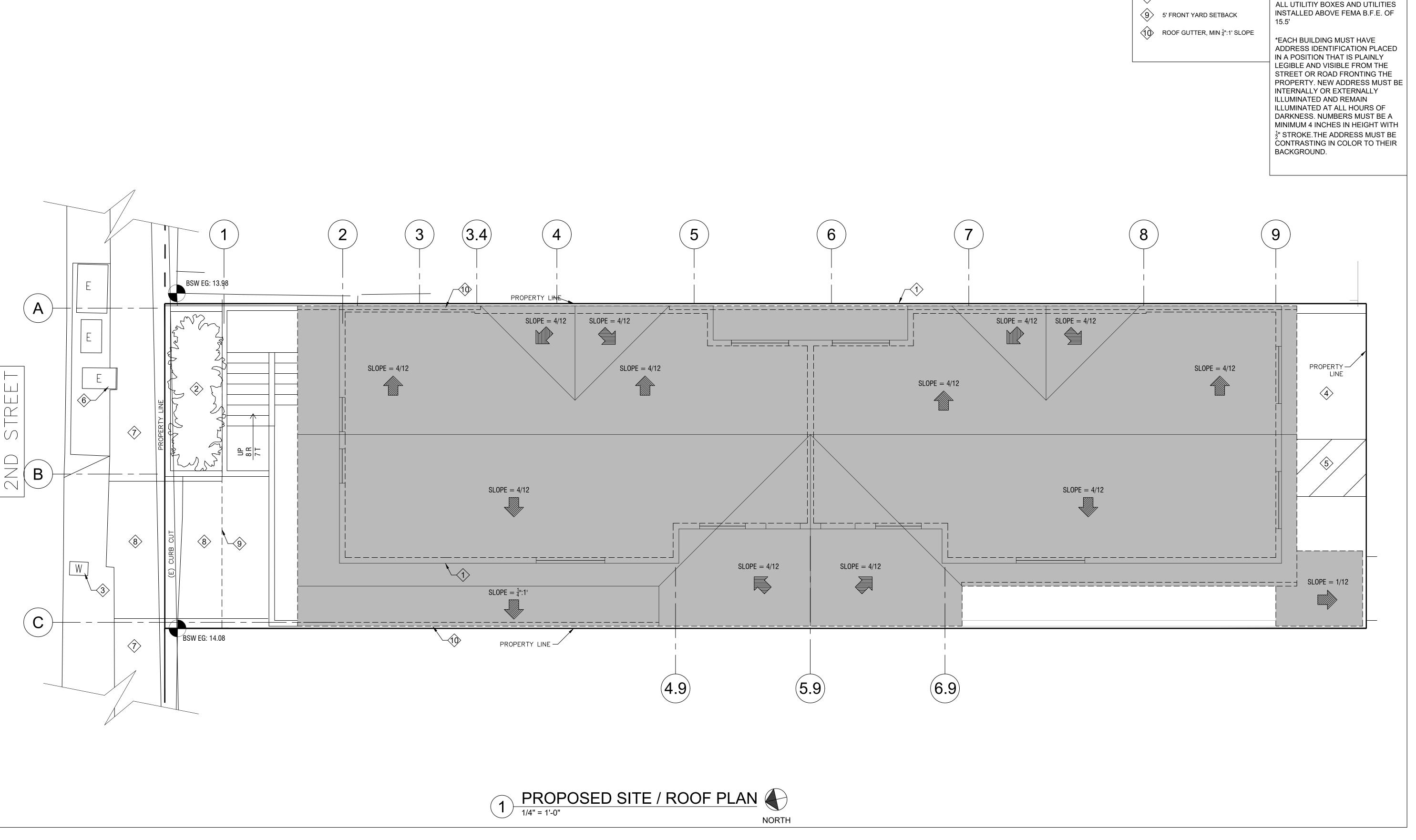
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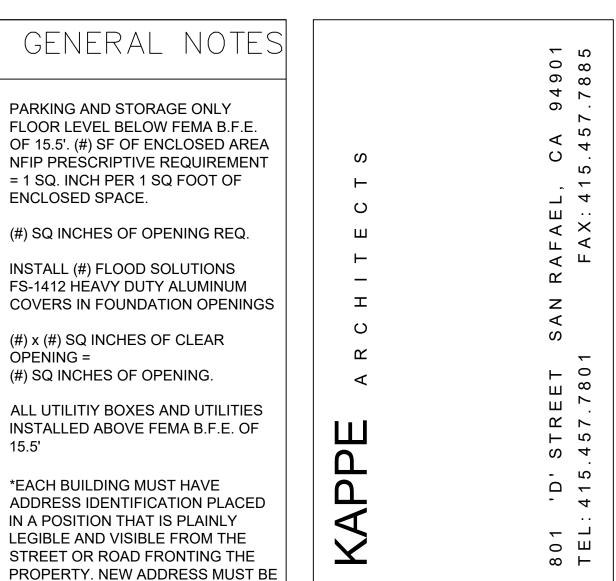
Sheet Title:

EXISTING SITE PLAN

Scale: AS NOTED

Sheet No: A1.





KEY NOTES

(E) FENCE AT PROPERTY LINE

3 CHRISTY BOX WATER METER

(N) RAISED LANDSCAPING PLANTER 75 SQ. FT.

(N) VAN-ACCESSIBLE PARKING SPACE WITH PERMEABLE PAVERS

STRIPED VAN ACCESSIBLE SPACE, PERMEABLE PAVERS (BELOW)

6 ELECTRICAL CRISTY BOX AT SIDEWALK

SIDEWALK

(E) CONC. DRIVEWAY

(E) SIDEWALK

PARKING AND STORAGE ONLY FLOOR LEVEL BELOW FEMA B.F.E.

OF 15.5'. (#) SF OF ENCLOSED AREA

NFIP PRESCRIPTIVE REQUIREMENT

= 1 SQ. INCH PER 1 SQ FOOT OF

(#) SQ INCHES OF OPENING REQ.

INSTALL (#) FLOOD SOLUTIONS

(#) x (#) SQ INCHES OF CLEAR

(#) SQ INCHES OF OPENING.

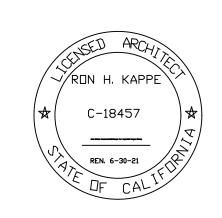
FS-1412 HEAVY DUTY ALUMINUM

ENCLOSED SPACE.

OPENING =

3-UNIT RESIDENTIAL BUILDING

1309 2ND STREET SAN RAFAEL, CA 94901



AP #: 012-073-04

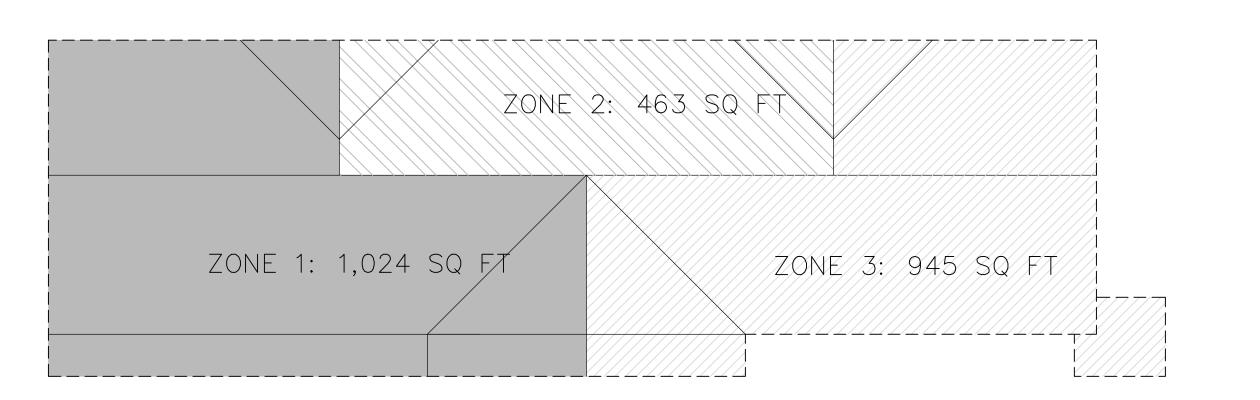
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Sheet Title:

NEW SITE PLAN

Scale: AS NOTED



2 ROOF DRAINAGE KEY PLAN - 3 ZONES

1/8" = 1'-0"

NORTH

GENERAL NOTES

OWNSPOUT LOCATION, DRAINS TO BIO-RETENTION BELOW

DOWNSPOUT LOCATION, DRAINS TO BIO-RETENTION PLANTER AT 1ST RESIDENTIAL FLOOR LEVEL

BIO-RETENTION PLANTER

BIO-RETENTION PLANTER

BIO-RETENTION PLANTER

(BELOW)

PARKING AND STORAGE ONLY FLOOR LEVEL BELOW FEMA

B.F.E. OF 15.5'. (#) SF OF ENCLOSED AREA NFIP PRESCRIPTIVE REQUIREMENT = 1 SQ. INCH PER 1 SQ FOOT OF ENCLOSED SPACE.

(#) SQ INCHES OF OPENING REQ.

INSTALL (#) FLOOD SOLUTIONS FS—1412 HEAVY DUTY ALUMINUM COVERS IN FOUNDATION OPENINGS

(#) x (#) SQ INCHES OF CLEAR OPENING = (#) SQ INCHES OF OPENING.

ALL UTILITIY BOXES AND UTILITIES INSTALLED ABOVE FEMA B.F.E. OF 15.5'

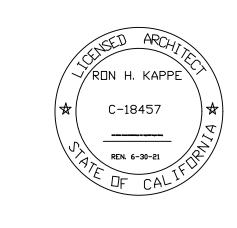
KAPPE ARCHITECTS

801 'D' STREET SAN RAFAEL, CA 94901

TEL: 415.457.7801 FAX: 415.457.7885

3-UNIT RESIDENTIAL BUILDING

1309 2ND STREET SAN RAFAEL, CA 94901



AP #: 012-073-04

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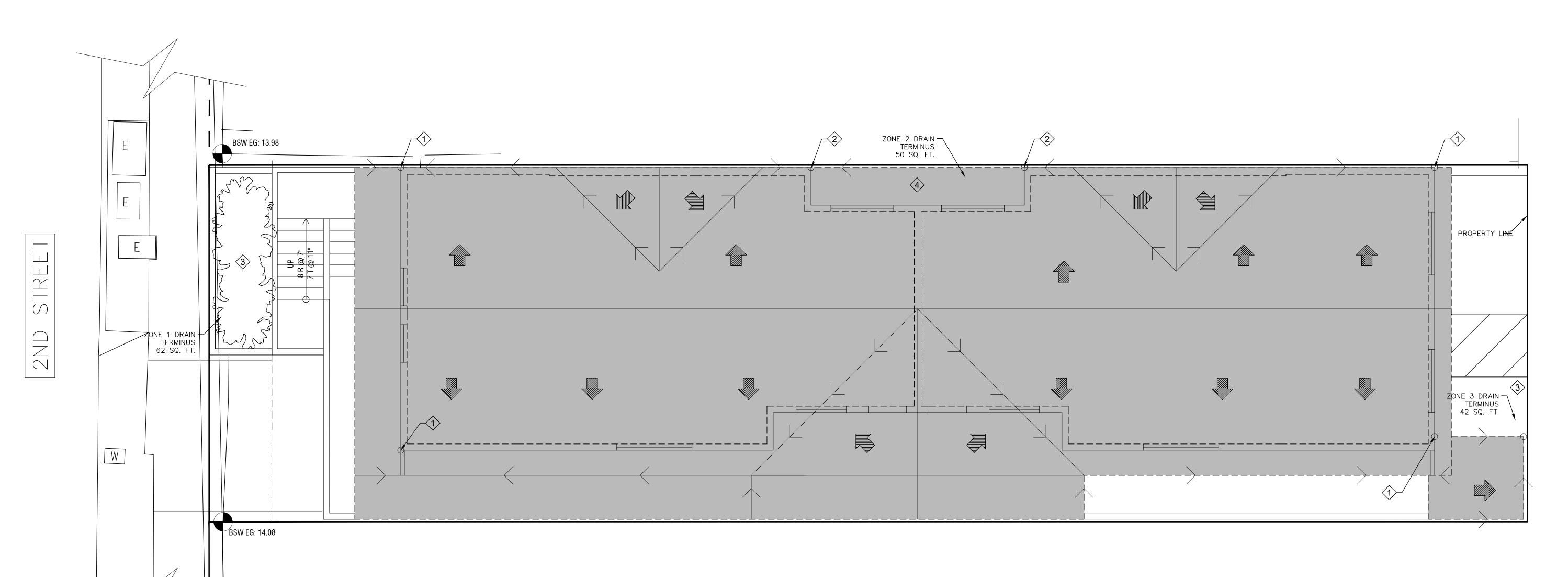
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Sheet Title:

PROPOSED ROOF DRAINAGE PLAN

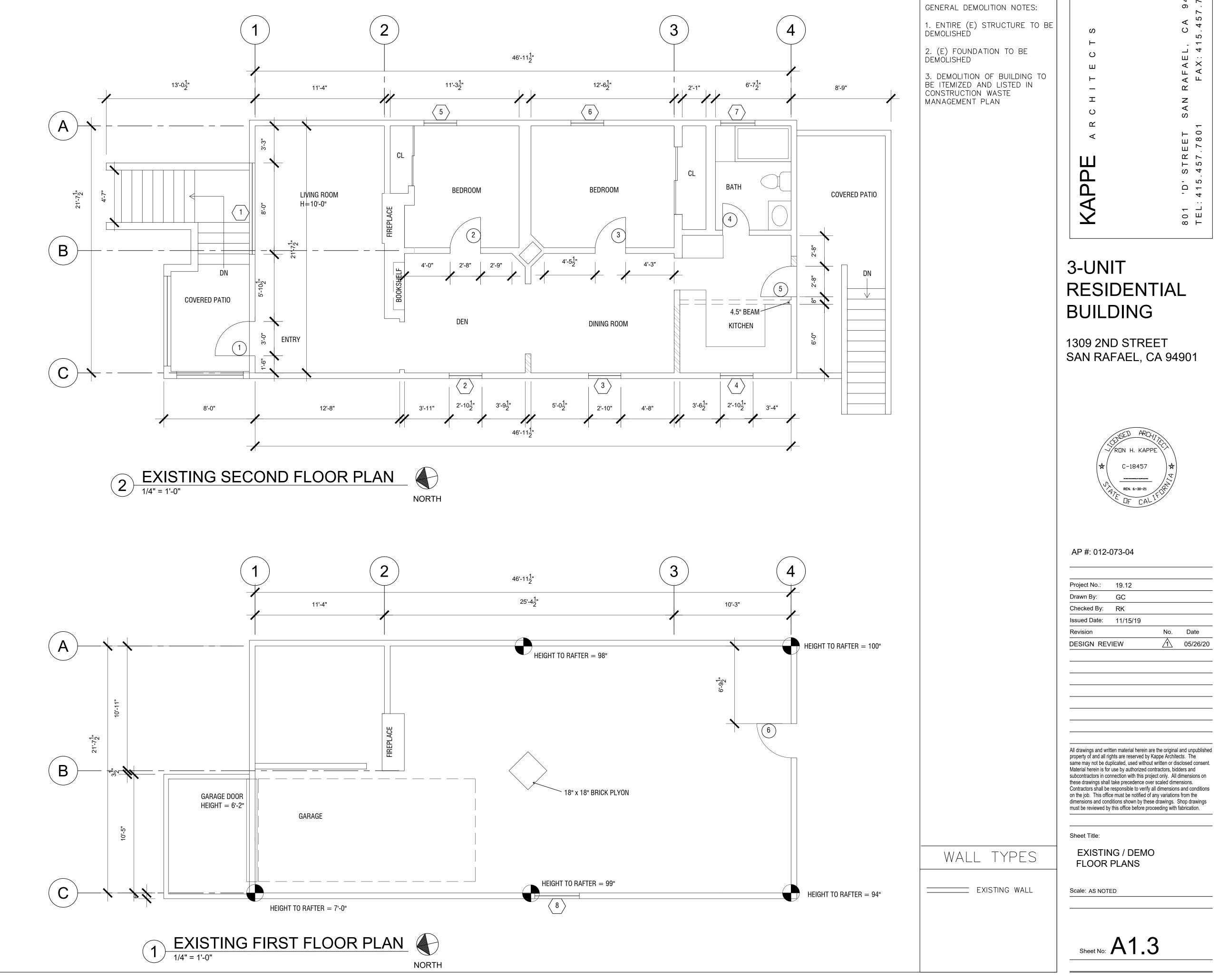
Scale: AS NOTED

Sheet No: A1.2



PROPOSED SITE / ROOF DRAINAGE PLAN

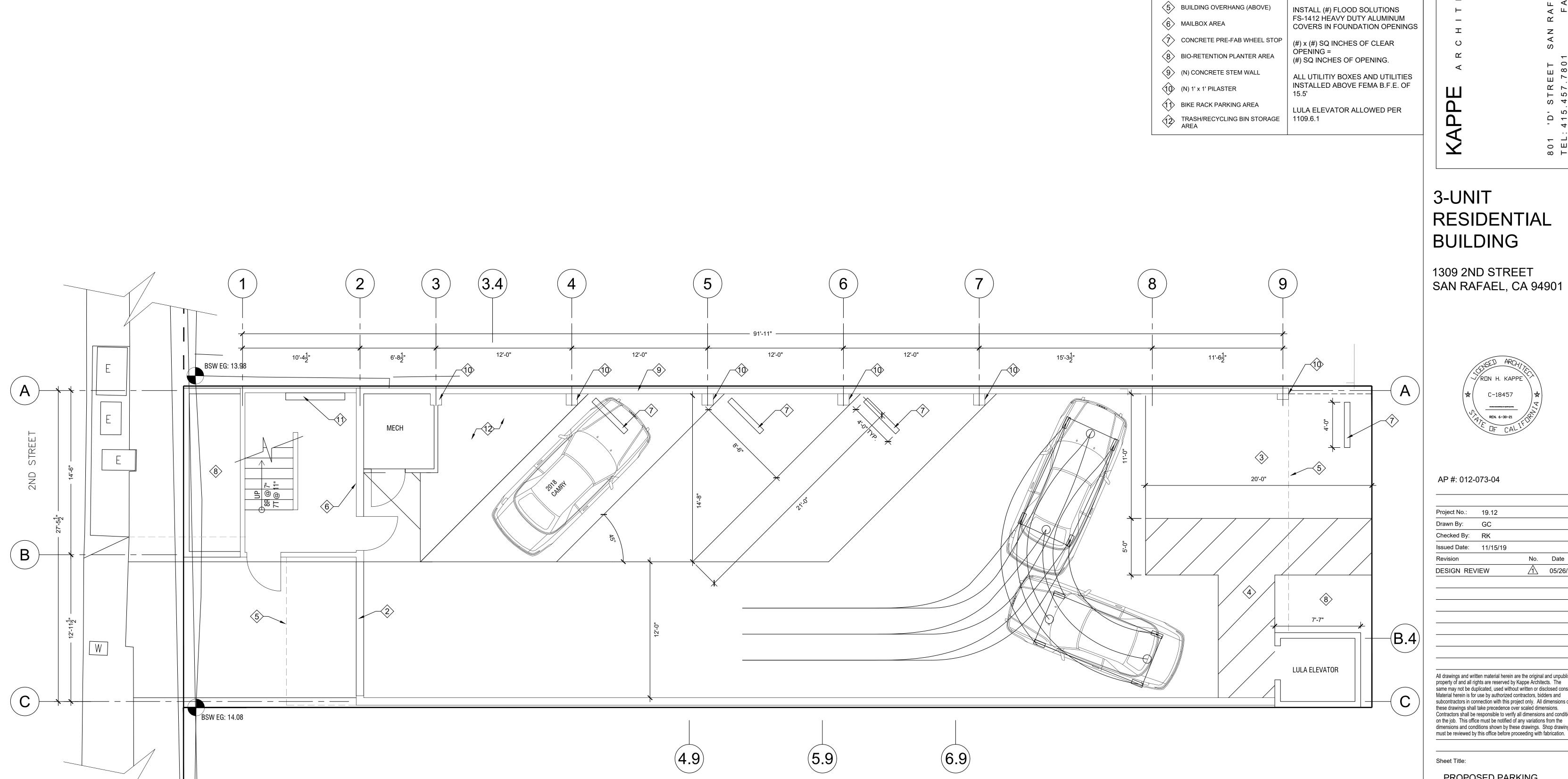
1/4" = 1'-0"

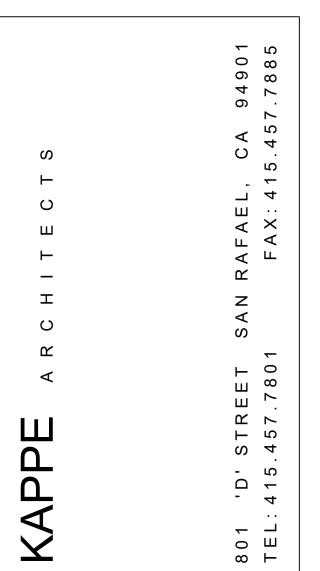


NOTES

SAN RAFAEL, CA 94901 FAX:415.457.7885 'D' STREET: 415.457.7801 801 TEL:

Project No.:	19.12			
Drawn By:	GC			
Checked By:	RK			
Issued Date:	11/15/19			
Revision		No.	Date	
DESIGN REV	/IFW/	Λ	05/26/20)





KEY NOTES

PROPOSED PARKING CIRCULATION PLAN

1/4" = 1'-0"

(1) GARAGE OPEN TO BACKYARD

OVERHEAD GARAGE DOOR LOCATION

VAN-ACCESSIBLE PARKING SPACE WITH PERMEABLE PAVERS

VAN-ACCESSIBLE SPACE AND STRIPED ACCESSIBLE PATH TO LULA ELEVATOR

GENERAL NOTES

PARKING AND STORAGE ONLY FLOOR LEVEL BELOW FEMA B.F.E.

OF 15.5'. (#) SF OF ENCLOSED AREA NFIP PRESCRIPTIVE REQUIREMENT

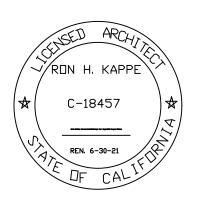
= 1 SQ. INCH PER 1 SQ FOOT OF

(#) SQ INCHES OF OPENING REQ.

ENCLOSED SPACE.

3-UNIT RESIDENTIAL BUILDING

1309 2ND STREET SAN RAFAEL, CA 94901



AP #: 012-073-04

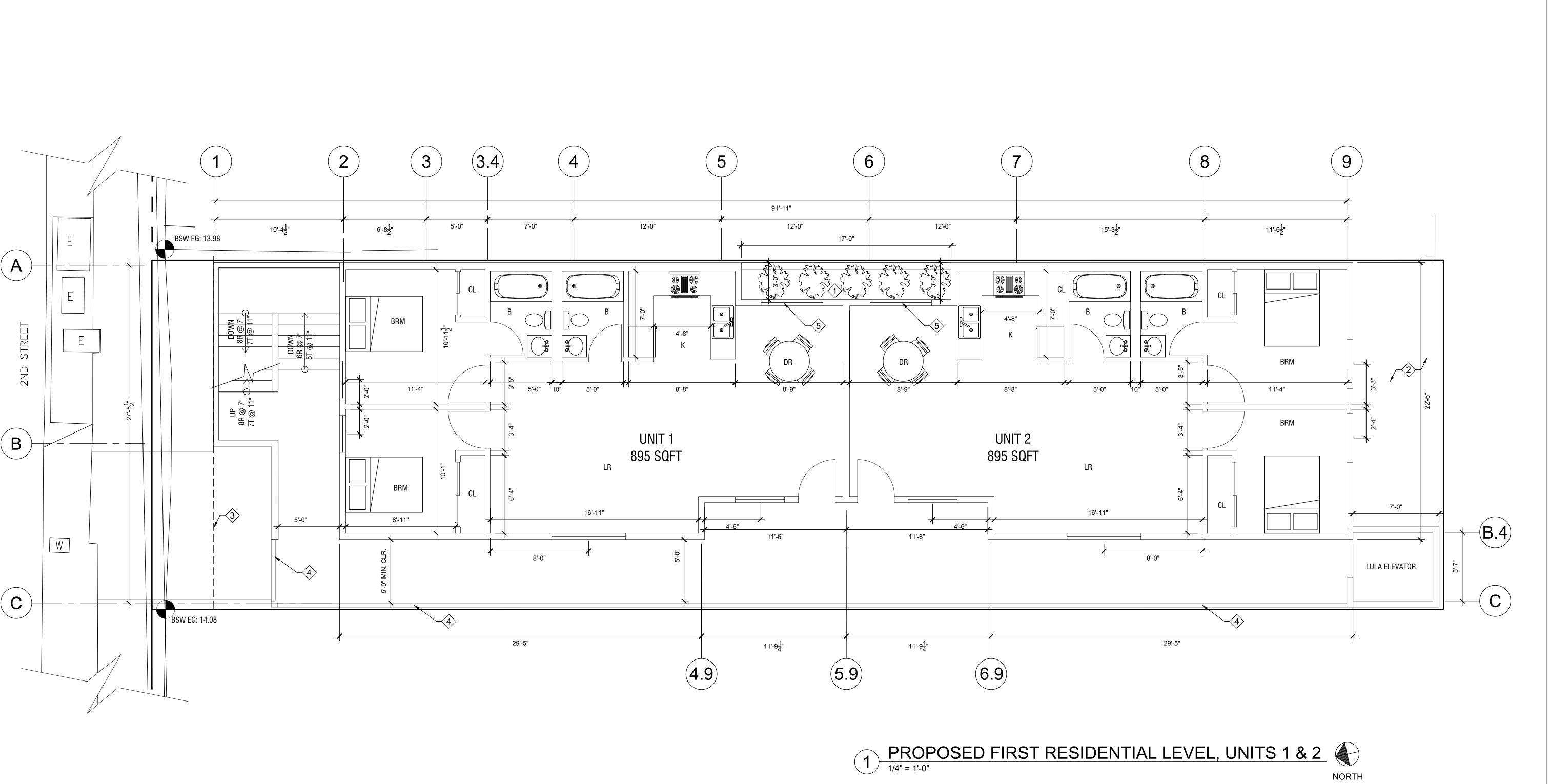
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PROPOSED PARKING CIRCULATION PLAN

Scale: AS NOTED

Sheet No: **A2.0**



KAPPE ARCHITECTS

801 'D' STREET SAN RAFAEL, CA 94901

TEL: 415.457.7801 FAX: 415.457.7885

KEY NOTES

2 OPEN TO BELOW

3 FRONT SETBACK (5')

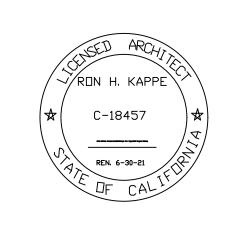
5 5' SILL HEIGHT WINDOW W/ OPAQUE TREATMENT

1 BIO-RETENTION PLANTER AREA

METAL FIRE RESISTANT HAND/GUARD RAIL (1HR MIN.)

3-UNIT RESIDENTIAL BUILDING

1309 2ND STREET SAN RAFAEL, CA 94901



AP #: 012-073-04

Project No.:	19.12		
Drawn By:	GC		
Checked By:	RK		
Issued Date:	11/15/19		
Revision		No.	Date
DESIGN RE\	/IEW	1	05/26/

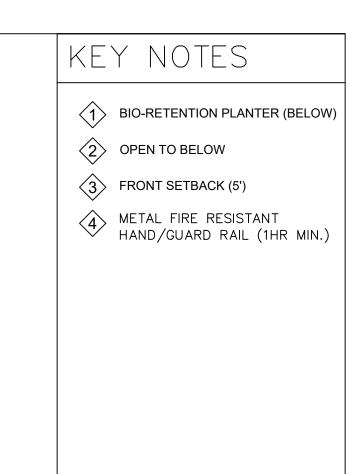
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Sheet T

PROPOSED FIRST FLOOR RESIDENTIAL PLAN

Scale: AS NOTED

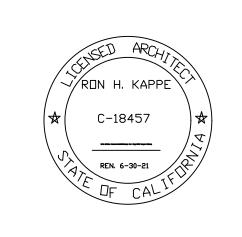
Sheet No: A2.1





3-UNIT RESIDENTIAL BUILDING

1309 2ND STREET SAN RAFAEL, CA 94901



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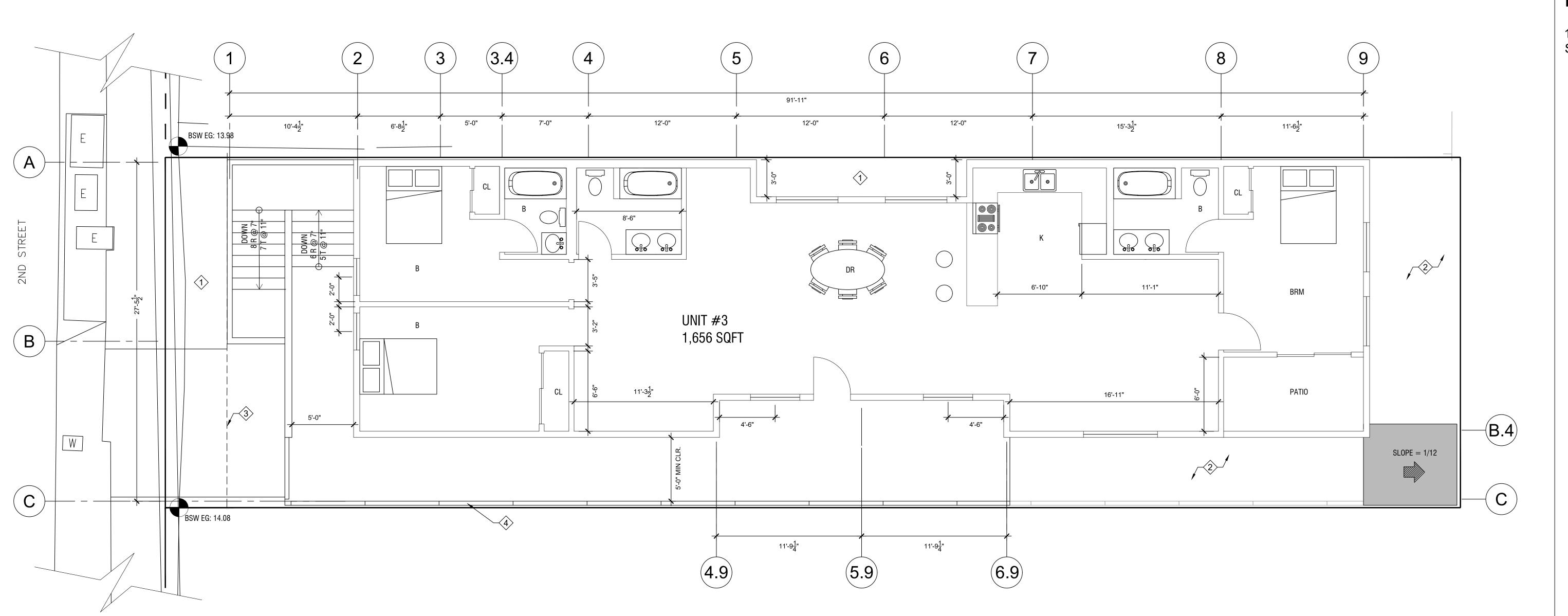
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Sheet Ti

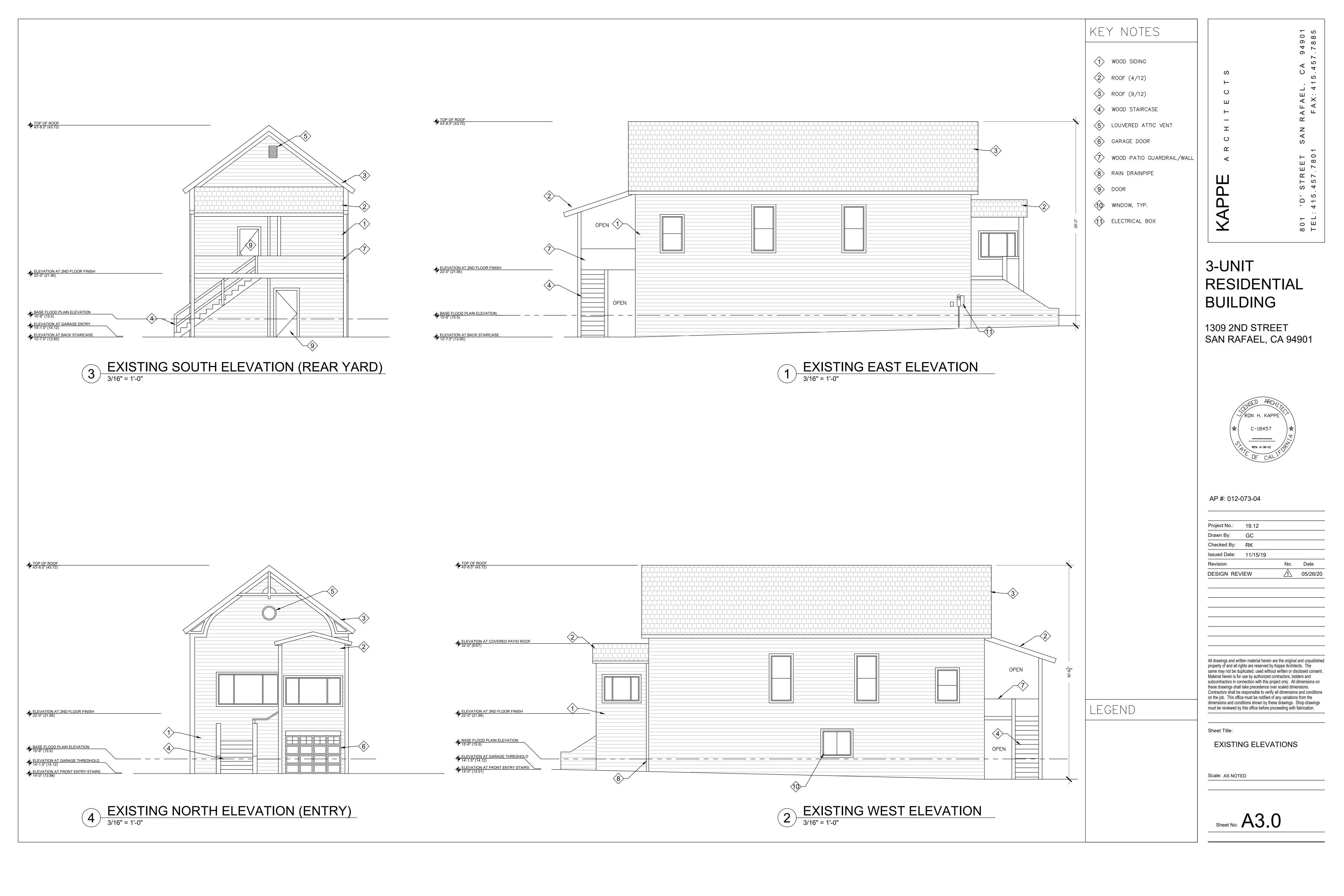
FLOOR PLANS (3 OF 3)

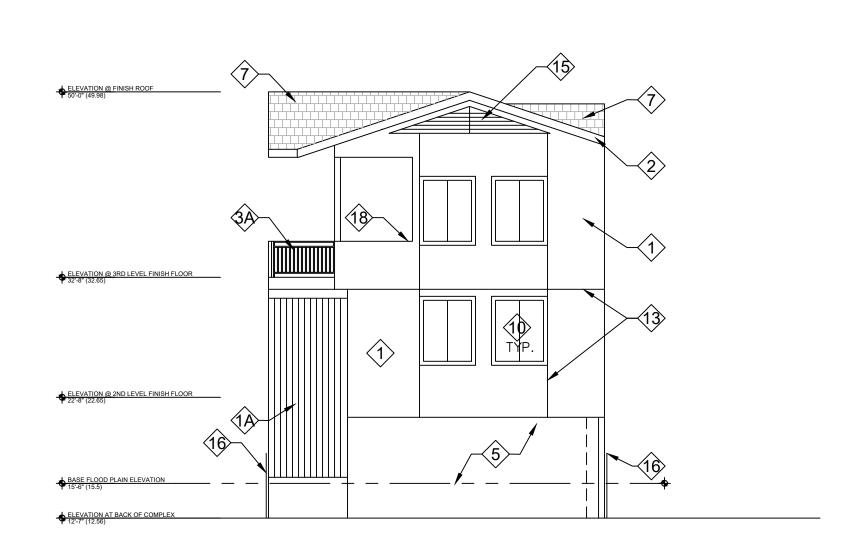
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Sheet No: **A2.2**



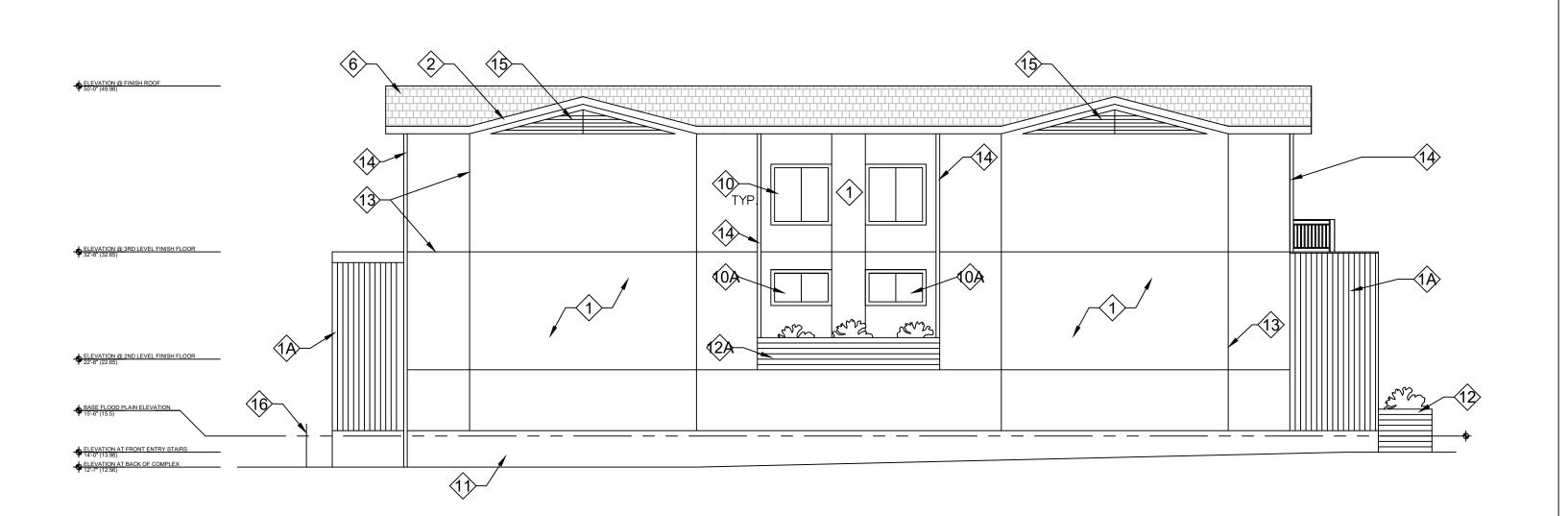
PROPOSED SECOND RESIDENTIAL LEVEL, UNIT #3





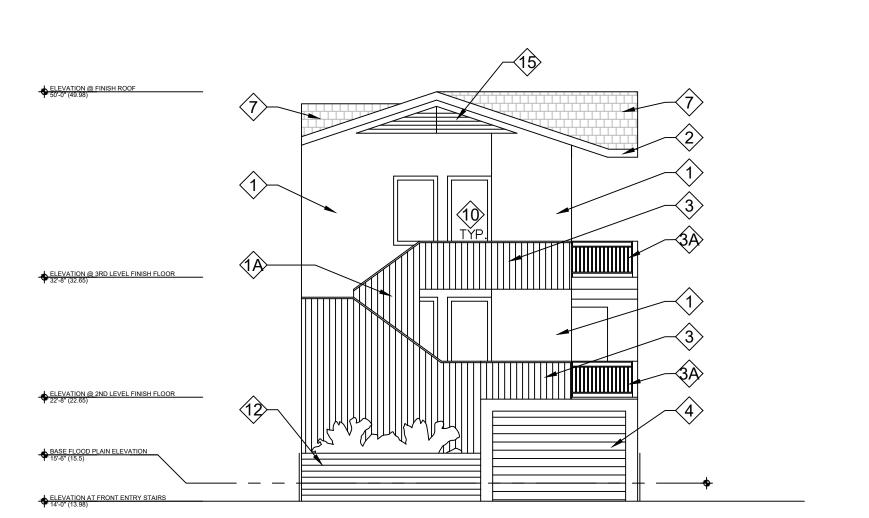
PROPOSED SOUTH ELEVATION (REAR YARD)

1/8" = 1'-0"

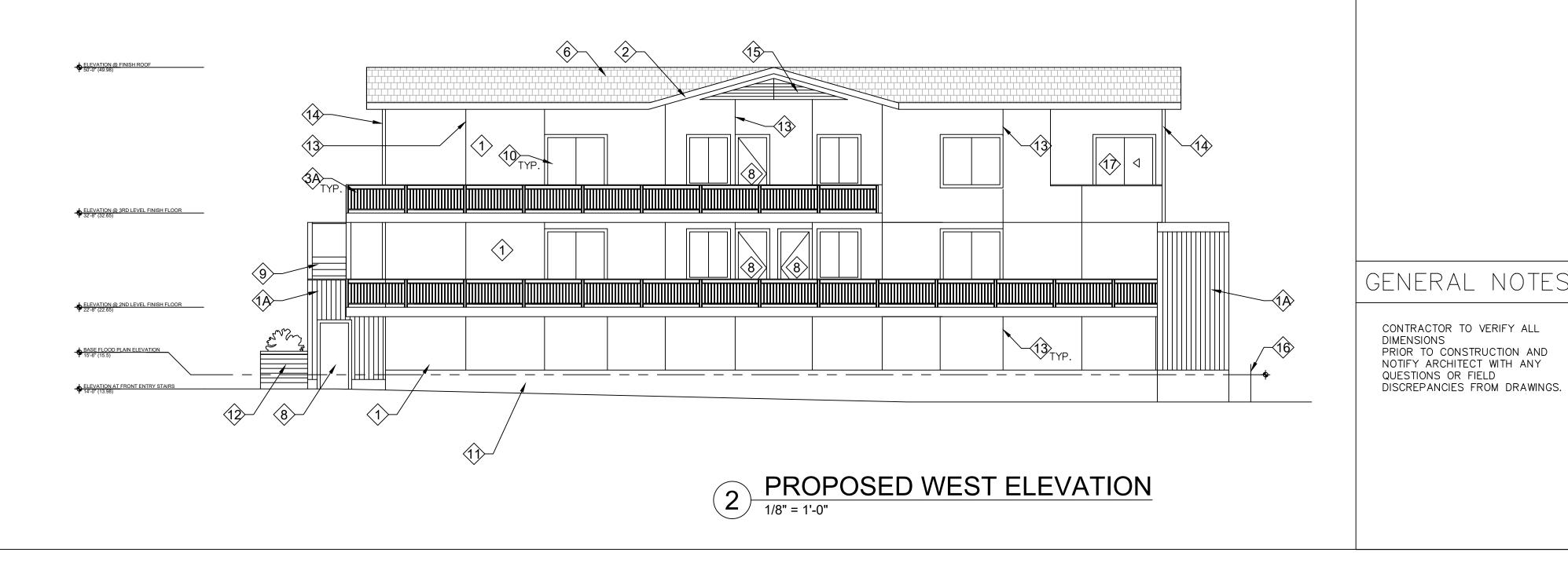


PROPOSED EAST ELEVATION

1/8" = 1'-0"



PROPOSED NORTH ELEVATION (ENTRY)



KEY NOTES

- STUCCO WALL, 1HR. RATING
 - _______
- CEMENTITIOUS FIBER BOARD CLADDING.
- 2 2x WD ROOF FASCIA
- BALCONY/TRELLIS, CEMENTITIOUS FIBER BOARD CLADDING, TYP.
- TUBE STEEL GUARD/HANDRAIL
- 4 OVERHEAD GARAGE DOOR
- 5 OPEN TO GARAGE
- 6 CLASS A COMP. SHINGLE ROOF
- 7 DORMER ROOF (BEYOND)
- 8 SOLID CORE WD. EXT DOOR
- 9 CONC. PRECAST STAIRS
- 40 ANODIZED ALUMINUM WINDOW
- 5' SILL HEIGHT WINDOW W/ OPAQUE TREATMENT
- CONCRETE FOUNDATION AND STEM WALL
- PLANTER W/ REQ BIO-RETENTION DRAINAGE. TYPE A BRICK FACADE CLADDING
- PLANTER W/ REQ BIO-RETENTION DRAINAGE. CEMINTITIOUS FIBER BOARD CLADDING
- \$\frac{13}{2}\$ STUCCO CONTROL JOINT, TYP.
- 4x4 PNTD GSM DOWNSPOUT, TYP.
- LOUVERED ROOF ATTIC VENT AT DORMER, TYP.
- 16 FENCE AT PROPERTY LINE
- 6' SLIDING GLASS DOUBLE DOOR
- PARAPET WALL OF PATIO

KAPPE ARCHITECTS

801 'D' STREET SAN RAFAEL, CA 94901
TEL: 415.457.7801 FAX: 415.457.7885

3-UNIT RESIDENTIAL BUILDING

1309 2ND STREET SAN RAFAEL, CA 94901



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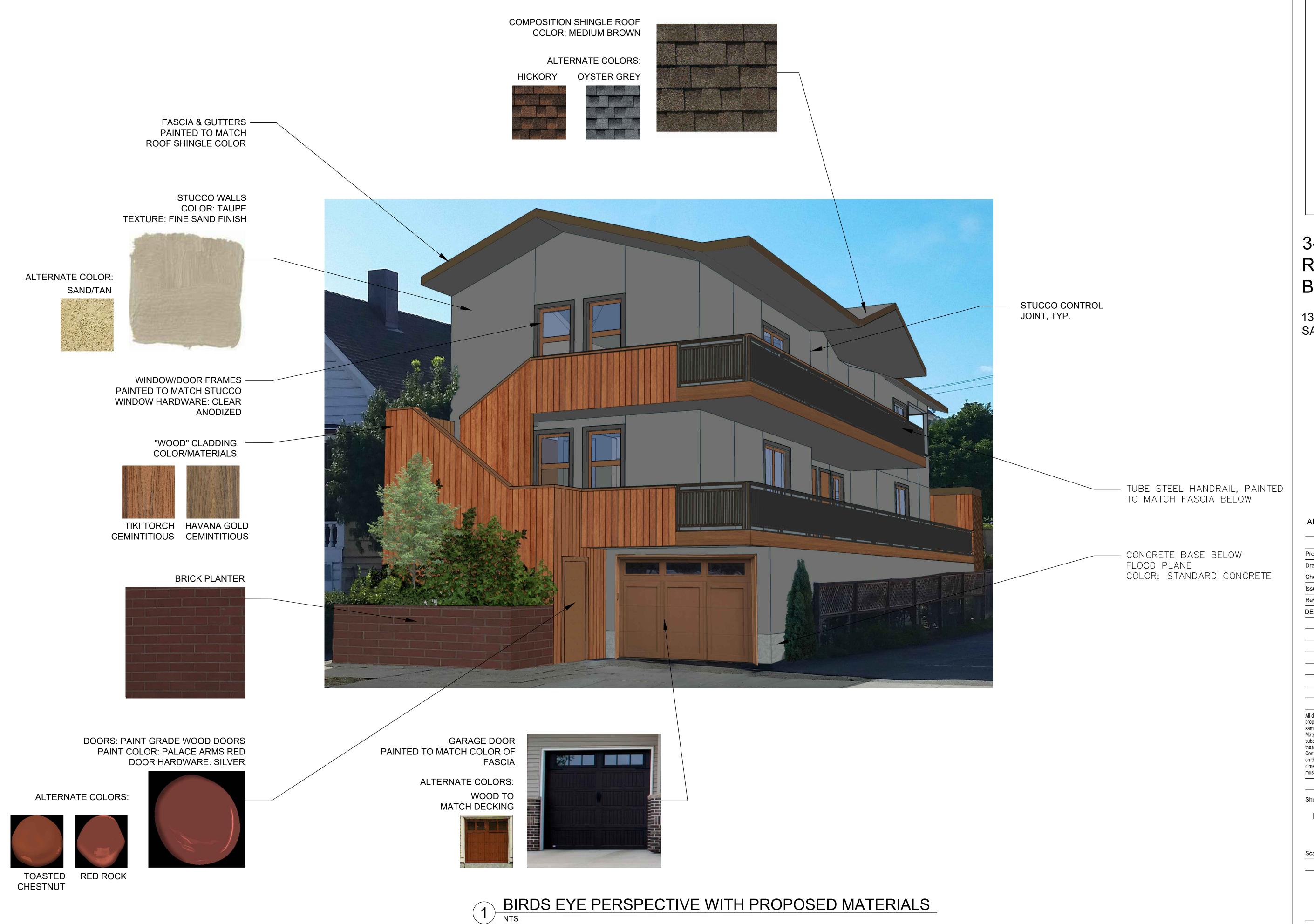
must be reviewed by this office before proceeding with fabrication.

Sheet Title:

PROPOSED EXTERIOR ELEVATIONS

Scale: AS NOTED

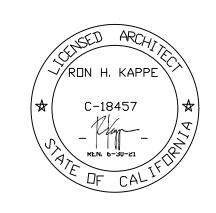
Sheet No: A3.1



'D' STREET: 415.457.7801 KAPPE 8 0 1 T E L

3-UNIT RESIDENTIAL BUILDING

1309 2ND STREET SAN RAFAEL, CA 94901



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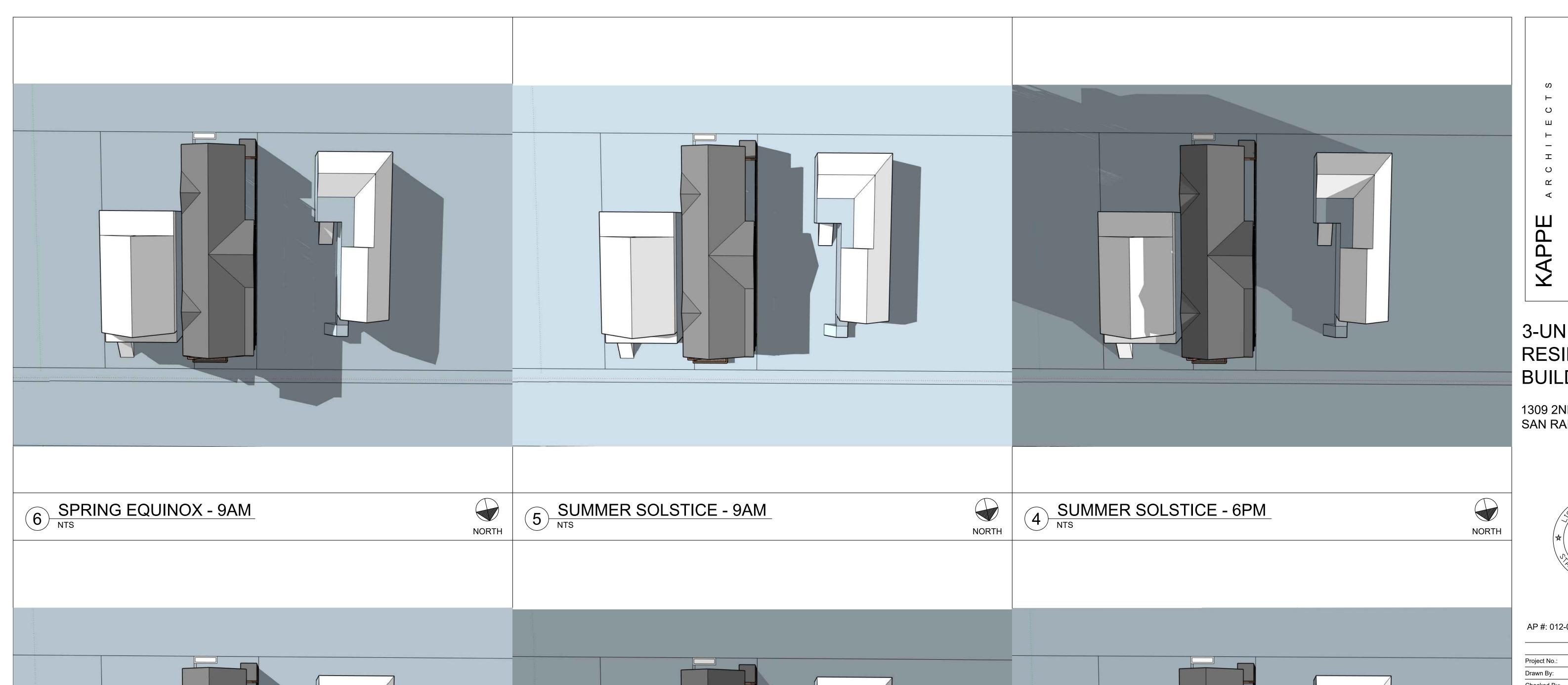
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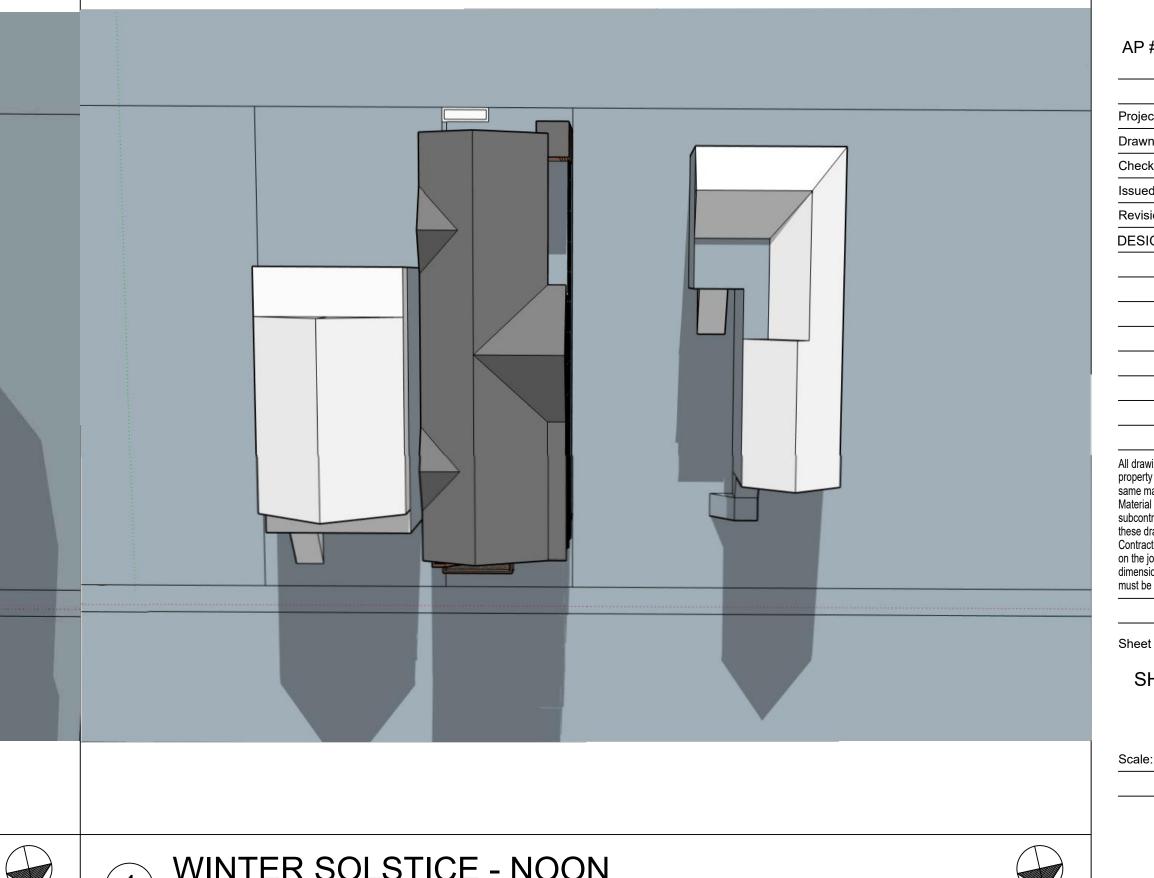
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PROPOSED MATERIALS PLAN

Scale: AS NOTED

Sheet No: A5.0

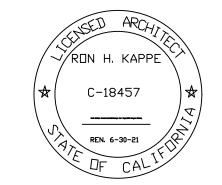






3-UNIT RESIDENTIAL BUILDING

1309 2ND STREET SAN RAFAEL, CA 94901



AP #: 012-073-04

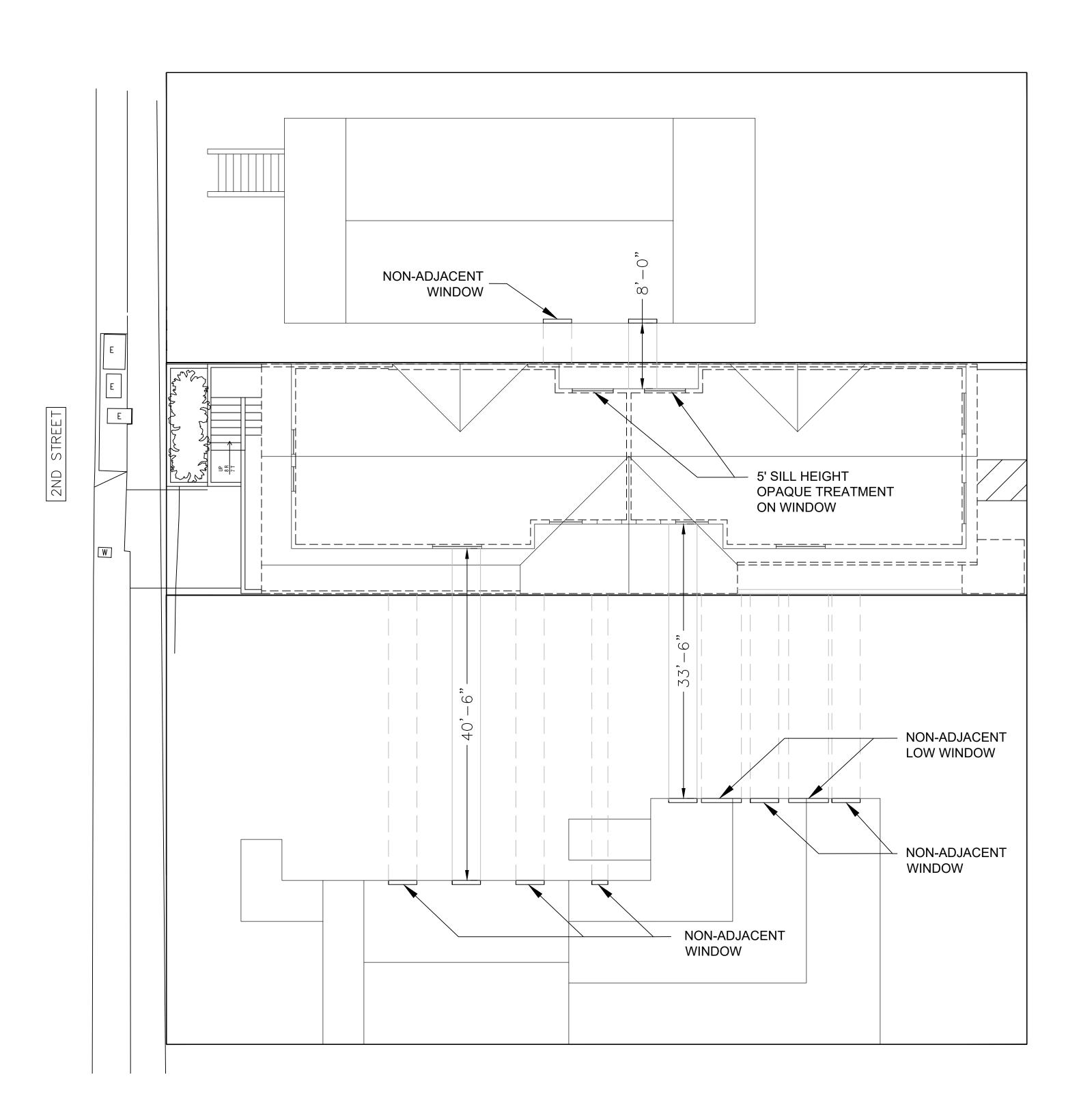
Project No.:	19.12		
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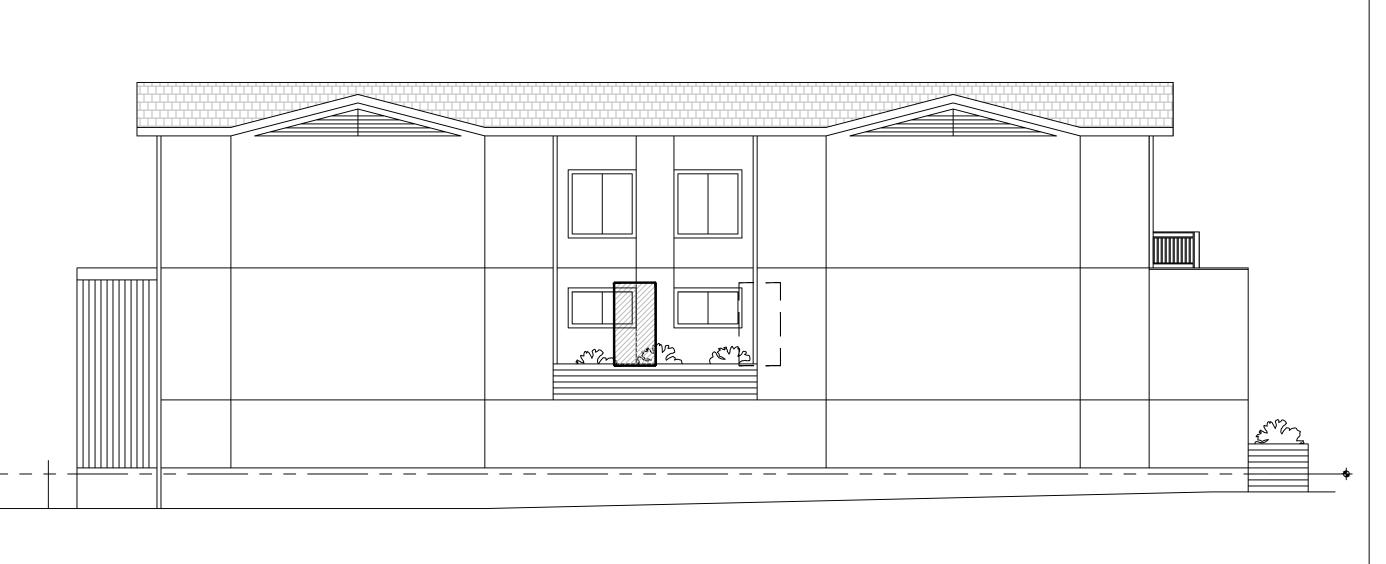
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SHADOW STUDIES

Scale: AS NOTED





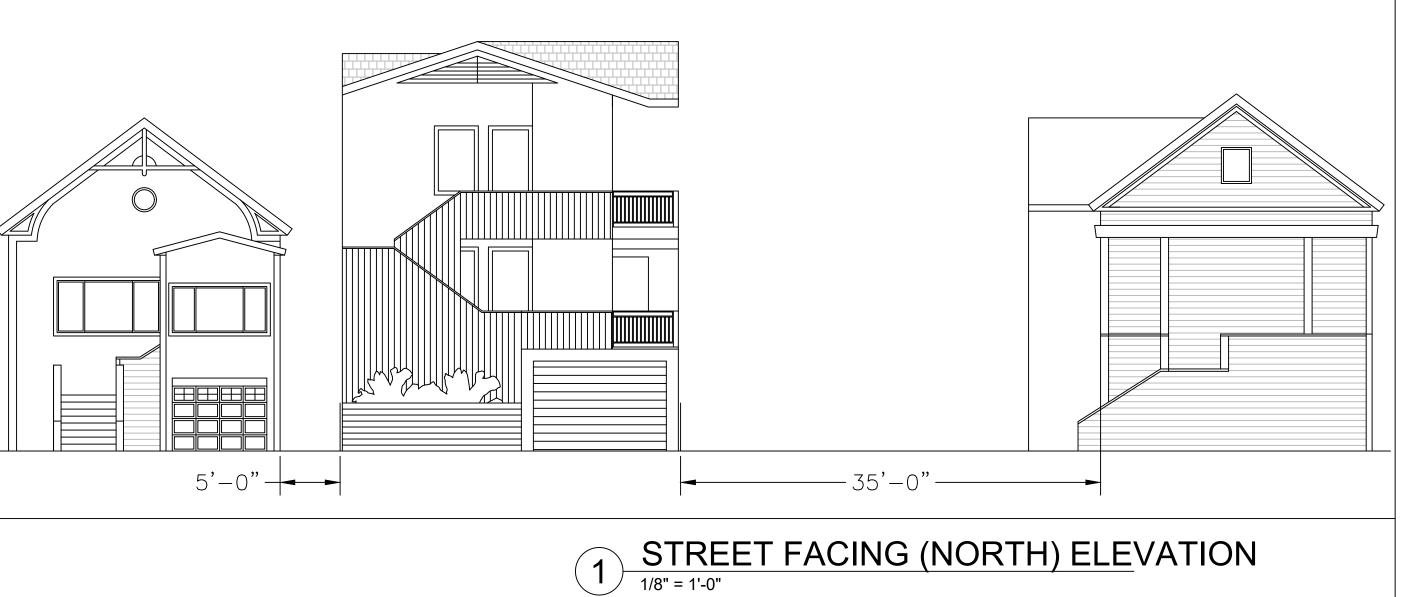
3 EAST ELEVATION

1/8" = 1'-0"



2 WEST ELEVATION

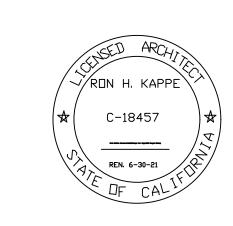
1/8" = 1'-0"



3-UNIT RESIDENTIAL BUILDING

801 'D' STREET TEL: 415.457.780

1309 2ND STREET SAN RAFAEL, CA 94901



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WINDOW STUDIES

Scale: AS NOTED

Sheet No: **A5.2**

