



New Residence, Residence Remodel with New ADU & Lot Line Adjustment For:



A.P.N 012-043-11 & 12

CITY OF SAN RAFAEL REGULATIONS	APPLICABLE CODES	PROJECT TEAM	PROJECT DATA	SHEET INDEX																																																																		
<p>1. 2016 CALIFORNIA FIRE CODE: The design and construction of all site alterations shall comply with the 2019 California Fire Code (CFC), current NFPA Standards, and all applicable City of San Rafael Ordinances and Amendments.</p> <p>2. FIRE SPRINKLERS: Deferred submittals for the following fire protection systems shall be submitted to the Fire Prevention Bureau for approval and permitting prior to installation of the systems: Fire Sprinkler Plans (Deferred Submittal To The Fire Prevention Bureau)</p> <p>3. EROSION CONTROL: An erosion and sediment control plan shall be required prior to issuance of a grading or building permit. Erosion controls to be installed prior to work on the site, and maintained year round.</p>	<p>All work shall conform to the 2019 editions of the California Building Code (CBC), 2019 California Residential Code, 2019 California Plumbing and Mechanical Codes, 2019 California Green Code, 2019 California Energy Code and 2019 Electrical Code, complete with all applicable State of California amendments, codes and regulations for each edition including State of California Title 24, and San Rafael Municipal Code, and City of Sausalito Security Ordinance, and City of San Rafael Fire Ordinance.</p>	<p>DESIGNER: Millard Arterbery Arterbery Design 495 Gate 5 Rd. Sausalito, CA 94965 (415) 344-5400 millard@arterbery-design.com</p> <p>CIVIL / LANDSCAPE: Gary Balcerok Balcerok Design Landscape Architecture & Urban Forestry 609 Beaver Street Santa Rosa, CA 95404 (707) 573-9234 Balcerok@gsonic.net</p>	<p>OWNER Pacific Private Money Fund I, LLC Et Al c/o Mark Hart, Manager 1555 Grant Ave. Novato, CA 94945</p> <p>A.P.N. 012-043-11 & 12</p> <p>ZONING R-10 + Hillside Overlay</p> <p>CONSTRUCTION TYPE V-B</p>	<table border="1"> <thead> <tr> <th>ID</th> <th>Name</th> </tr> </thead> <tbody> <tr><td>G-000</td><td>COVER SHEET</td></tr> <tr><td>C1</td><td>GRADING & DRAINAGE PLAN</td></tr> <tr><td>C2</td><td>UTILITY PLAN</td></tr> <tr><td>L1</td><td>PLANTING PLAN</td></tr> <tr><td>T1</td><td>TREE PLAN</td></tr> <tr><td>VMP1</td><td>VEGETATION-MANAGEMENT PLAN</td></tr> <tr><td>V00</td><td>SURVEY</td></tr> <tr><td>AS100</td><td>SITE PLAN</td></tr> <tr><td>AS101</td><td>SITE SECTION</td></tr> <tr><td>AS102</td><td>STORY POLE PLAN</td></tr> <tr><td>2AD-100</td><td>DEMOLITION FIRST FLOOR PLAN</td></tr> <tr><td>AD101</td><td>DEMOLITION SECOND FLOOR PLAN</td></tr> <tr><td>AD102</td><td>DEMOLITION BASEMENT PLAN</td></tr> <tr><td>AD103</td><td>EXISTING ELEVATIONS</td></tr> <tr><td>AD104</td><td>EXISTING ELEVATIONS</td></tr> <tr><td>1A-100</td><td>BASEMENT FLOOR PLAN</td></tr> <tr><td>1A-101</td><td>FIRST FLOOR PLAN</td></tr> <tr><td>1A-102</td><td>SECOND FLOOR PLAN</td></tr> <tr><td>1A-103</td><td>ROOF PLAN</td></tr> <tr><td>1A-200</td><td>EXTERIOR ELEVATIONS</td></tr> <tr><td>1A-201</td><td>EXTERIOR ELEVATIONS</td></tr> <tr><td>1A-300</td><td>BUILDING SECTIONS</td></tr> <tr><td>2AD-200</td><td>DEMOLITION MAIN RESIDENCE (UPPER FLOOR)</td></tr> <tr><td>2AD-201</td><td>DEMOLITION MAIN RESIDENCE (LOWER FLOOR)</td></tr> <tr><td>2AD-202</td><td>EXISTING EXTERIOR ELEVATIONS</td></tr> <tr><td>2AD-203</td><td>EXISTING EXTERIOR ELEVATIONS</td></tr> <tr><td>2A-000</td><td>RENDERINGS</td></tr> <tr><td>2A-100</td><td>BASEMENT FLOOR PLAN - 54 FREMONT RD</td></tr> <tr><td>2A-101</td><td>FIRST FLOOR PLAN - 54 FREMONT RD</td></tr> <tr><td>2A-102</td><td>ROOF PLAN - 54 FREMONT RD</td></tr> <tr><td>2A-200</td><td>PROPOSED EXTERIOR ELEVATIONS</td></tr> <tr><td>2A-201</td><td>PROPOSED EXTERIOR ELEVATIONS</td></tr> </tbody> </table>	ID	Name	G-000	COVER SHEET	C1	GRADING & DRAINAGE PLAN	C2	UTILITY PLAN	L1	PLANTING PLAN	T1	TREE PLAN	VMP1	VEGETATION-MANAGEMENT PLAN	V00	SURVEY	AS100	SITE PLAN	AS101	SITE SECTION	AS102	STORY POLE PLAN	2AD-100	DEMOLITION FIRST FLOOR PLAN	AD101	DEMOLITION SECOND FLOOR PLAN	AD102	DEMOLITION BASEMENT PLAN	AD103	EXISTING ELEVATIONS	AD104	EXISTING ELEVATIONS	1A-100	BASEMENT FLOOR PLAN	1A-101	FIRST FLOOR PLAN	1A-102	SECOND FLOOR PLAN	1A-103	ROOF PLAN	1A-200	EXTERIOR ELEVATIONS	1A-201	EXTERIOR ELEVATIONS	1A-300	BUILDING SECTIONS	2AD-200	DEMOLITION MAIN RESIDENCE (UPPER FLOOR)	2AD-201	DEMOLITION MAIN RESIDENCE (LOWER FLOOR)	2AD-202	EXISTING EXTERIOR ELEVATIONS	2AD-203	EXISTING EXTERIOR ELEVATIONS	2A-000	RENDERINGS	2A-100	BASEMENT FLOOR PLAN - 54 FREMONT RD	2A-101	FIRST FLOOR PLAN - 54 FREMONT RD	2A-102	ROOF PLAN - 54 FREMONT RD	2A-200	PROPOSED EXTERIOR ELEVATIONS	2A-201	PROPOSED EXTERIOR ELEVATIONS
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<p>AB ANCHOR BOLT</p> <p>A.C.T. ACROE FINISHED FLOOR</p> <p>AGGR AGGREGATE</p> <p>AL ALUMINUM</p> <p>ALT ALTERNATE</p> <p>APPROX APPROXIMATE</p> <p>ARCH ARCHITECTURAL</p> <p>BD BOARD</p> <p>BUILD BUILDING</p> <p>BLK BLOCK</p> <p>BLOCK BLOCKING</p> <p>BM BEAM</p> <p>B.W. BOTTOM OF WALL</p> <p>BTM BOTTOM</p> <p>BTWN BETWEEN</p> <p>BU.R. BUILT UP ROOF</p> <p>C.J. CONTROL JOINT</p> <p>CL CENTERLINE</p> <p>CLG CALLING</p> <p>CLR CLEAR</p> <p>C.M.U. CONCRETE MASONRY UNIT</p> <p>COL COLUMN</p> <p>CONC CONCRETE</p> <p>CONC CONNECTION</p> <p>CONSTR CONSTRUCTION</p> <p>CONT CONTINUOUS</p> <p>C.T. CERAMIC TILE</p> <p>DEG DEGREE</p> <p>D.F. DRINKING FOUNTAIN</p> <p>DIAG DIAGONAL</p> <p>DIAM DIAMETER</p> <p>DN DOWN</p> <p>D.S. DOWNSPOUT</p> <p>DRAW DRAWING</p> <p>(E) EXISTING</p> <p>E.A. EXPANSION JOINT</p> <p>ELEV ELEVATION</p> <p>ELEC ELECTRICAL</p> <p>EMER EMERGENCY</p> <p>ENCL ENCLOSURE</p> <p>EQUI EQUIPMENT</p> <p>E.W. EACH WAY</p> <p>EXT EXTERIOR</p> <p>FA FIRE ALARM</p> <p>F.D. FIRE DEPARTMENT CONNECTION</p> <p>F.D.C. FOUNDATION</p> <p>FEN FIRE EXTINGUISHER</p> <p>F.E.C. FIRE EXTINGUISHER CABINET</p> <p>F.F. FINISH FLOOR</p> <p>F.H.C. FIRE HOSE CABINET</p> <p>FN. FLOOR</p> <p>F.L. FLOOR LINE</p> <p>FUR. FLOOR</p> <p>F.O.S. FACE OF STUD</p> <p>FRM. FRAMING</p> <p>FR FULL SIZE</p> <p>FTG FOOT OR FEET</p> <p>FTG FOOTING</p> <p>FURR FURRING</p> <p>GA GAUGE</p> <p>GALV GALVANIZED</p> <p>G.C. GENERAL CONTRACTOR</p> <p>GL GLASS</p> <p>GPF GALLONS PER FLUSH</p> <p>GPM GALLONS PER MINUTE</p> <p>GR GRASS</p> <p>GYP GYPSUM BOARD</p> <p>G.W.B. GYPSUM BOARD</p> <p>H.B. HOSE BIBB</p> <p>H.C. HOLLOW CORE</p> <p>H.C. HANDICAPPED</p> <p>HWWD HARDWOOD</p> <p>H.M. HOLLOW METAL</p> <p>HT HEIGHT</p> <p>HVAC HEATING, VENTILATION, AND AIR CONDITIONING</p> <p>I.D. INSIDE DIAMETER</p> <p>INSUL INSULATION</p> <p>INT INTERIOR</p> <p>JST JOIST</p> <p>LAB LABORATORY</p> <p>LAM LAMINATE</p> <p>LAV LAVATORY</p> <p>LEV LEVEL</p> <p>LT LIGHT</p> <p>MAX MAXIMUM</p> <p>MECH MECHANICAL</p> <p>MESB MECHANISME</p> <p>MFR MANUFACTURER</p> <p>MIN MINIMUM</p> <p>MISC MISCELLANEOUS</p> <p>M.O. MISCELLANEOUS OPENING</p> <p>MTL METAL</p> <p>MUL MULLION</p> <p>(N) NEW</p> <p>N.I.C. NOT IN CONTRACT</p> <p>NO. NUMBER</p> <p>NOM NOMINAL</p> <p>N.T.S. NOT TO SCALE</p> <p>Q.C. ON CENTER</p> <p>O.D. OUTSIDE DIAMETER</p> <p>O.P. OPENING</p> <p>OPP OPPOSITE</p> <p>P.L. PROPERTY LINE</p> <p>PLT PLASTER</p> <p>PLYB PLYWOOD</p> <p>PAINT PAINT</p> <p>PTD. PAVED</p> <p>R RISER</p> <p>RUN RUN</p> <p>REFR REFRIGERATOR</p> <p>REINP REINFORCED</p> <p>RM ROOM</p> <p>ROOF ROOF OPENING</p> <p>RTG RETAINING</p> <p>S.C. SOLID CORE</p> <p>SCHED SCHEDULE</p> <p>SECT SECTION</p> <p>S.F. SQUARE FEET</p> <p>SHT SHEET</p> <p>SHTC SHEATHING</p> <p>SM SIMILAR</p> <p>SPEC SPECIFICATION</p> <p>SQ SQUARE</p> <p>S.S. STAINLESS STEEL</p> <p>STAGG STAGGERED</p> <p>STD STANDARD</p> <p>STRUC STRUCTURAL</p> <p>SUSP SUSPENDED</p> <p>TREAD TREAD</p> <p>T&B TOP AND BOTTOM</p> <p>T&G TOP AND GROOVE</p> <p>THK THICK</p> <p>TYP TYPICAL</p> <p>U.O.N. UNLESS OTHERWISE NOTED</p> <p>V.C.T. VINYL COMPOSITION TILE</p> <p>VERT VERTICALLY</p> <p>VERT VERTICAL</p> <p>W WITH</p> <p>W.C. WATER CLOSET</p> <p>WD WOOD</p> <p>W/O WITHOUT</p>	<p>Sebastopol</p> <p>Lot Line Adjustment Between Two Lots: A.P.N.#s 012-043-11 & 012-043-12</p> <p>New Residence at Marquard Ave. Frontage Lot</p> <p>Remodel Residence at 52 Fremont Rd</p> <p>Lower Floor Plan of Existing 52 Fremont Residence to Become an ADU.</p>																																																																					

MARK	DATE	ISSUES
PLANNING SUBMISSION	7/27/19	PLANNING SUBMISSION
PLANNING SUBMISSION	2/24/20	PLANNING SUBMISSION
PLANNING SUBMISSION	4/24/20	PLANNING SUBMISSION
PLANNING SUBMISSION	7/28/19	PLANNING SUBMISSION
PLANNING SUBMISSION	2/24/2020	PLANNING SUBMISSION
PLANNING SUBMISSION	9/24/2020	PLANNING SUBMISSION

DIVISION 1 - GENERAL REQUIREMENTS

GENERAL NOTES

1. **FILES & REGULATIONS:** All work shall conform to the 2016 editions of the California Building Code (CBC), 2016 California Residential Code (CIRC), 2016 California Fire and Building Code (CFBC), 2016 California Mechanical Code (CMC), 2016 California Electrical Code (CEC), 2016 California Electrical Safety Code (CESC), and all other applicable codes and regulations for California (the "Codes") and San Rafael Municipal Code.
2. **CONTRACTOR** shall be responsible for coordination in accordance with the approved plans, specifications and drawings and shall be responsible for obtaining all necessary permits and approvals.
3. **ARCHITECTURAL DRAWINGS AND SPECIFICATIONS:** In the case of an inconsistency between the drawings and specifications, the drawings shall prevail and any discrepancy between the drawings shall be reported to the Architect prior to the Contractor commencing work. The better quality or greater quantity of work shall be provided in accordance with the Architect's interpretation.
4. **ENGINEERING DRAWINGS AND SPECIFICATIONS:** In the case of an inconsistency between the drawings and specifications, the drawings shall prevail and any discrepancy between the drawings shall be reported to the Architect prior to the Contractor commencing work. The better quality or greater quantity of work shall be provided in accordance with the Architect's interpretation.
5. **MEASUREMENTS:** Do not scale drawings. Contractor shall verify all measurements shown on the drawings. Any discrepancy shall be reported to the Architect prior to commencement of related work.
6. **Product standards** shown on plans, electrical codes, conductors at exterior walls against the passage of rodents. (4-06.1)

DEMOLITION NOTES

1. Contractor shall carefully protect the stability of all elements of the building before doing any work on or adjacent to the existing structure. The contractor shall be responsible for the safety of the structure that may be weakened by demolition or construction activities. The contractor shall be solely responsible for the safety and preservation of existing construction for which no demolition is required.
2. All demolition and removal work shall conform to applicable codes and regulations. The Contractor shall be responsible for the safety and preservation of existing construction for which no demolition is required.
3. Contractor shall verify with owner or contacted any item to be salvaged and treated. Damage to any such item will be the sole responsibility of the contractor.
4. Removal of old finishes, floor finishes, and ceiling finishes shall include all material down to framing, joists, sheathing or substrate.

DESTRUCTION PLAN

1. The contractor shall submit a satisfactory construction dust mitigation plan to the City. The plan shall specify the method of control that will be used; demonstrate the availability of needed equipment and personnel; and describe the dust control measures to be implemented. The dust control plan shall comply with the requirements of the City.
2. The contractor shall submit a plan that, at a minimum, include the following:
 - A. HIGH WINDS: Suspension of earthmoving or other dust-producing activities during periods of high winds which create control measures are unable to avoid viable dust particles.
 - B. DUST CONTROL: Use of dust control equipment and measures to reduce dust emissions of the site subject to water before application, avoid any work according to the moisture level of the soils on the site, but avoid C. STOCKPILES: Water or cover stockpiles of debris, soil, sand or other materials that can be blown by the wind.
 - D. TRAFFIC: TRAFFIC: D.M.V. of road and vehicle control out from the site until the improvement.
 - E. ALL MATERIALS TRANSPORTED BY TRUCK shall be covered or wetted down prior to exiting the site.
 - F. FINAL GRASSES shall be treated with an appropriate dust suppressant, covered or seeded as early as practical.

CONSTRUCTION MANAGEMENT PLAN

1. **JOB SIGN:** A sign shall be placed at the jobsite to notify the residence of the prime contractor and major subcontractor and related phone numbers.
2. **CONSTRUCTION MANAGEMENT COORDINATOR:** The name and phone number of the Construction Management Coordinator shall be posted at the site and shall be available to respond to complaints and questions from area residents.
3. **HOURS OF OPERATION:** Work at the site shall be limited to the hours of 8:00AM to 4:30PM, Monday through Friday. Work shall be suspended during the hours of 12:00PM to 2:00PM. Work shall be suspended during the hours of 7:00PM to 8:00PM. Work shall be suspended during the hours of 8:00PM to 5:00AM. Work shall be suspended during the hours of 5:00AM to 8:00AM. Work shall be suspended during the hours of 8:00AM to 5:00PM on Saturdays and Holidays without prior approval from the Community Development Agency.
4. **CONSTRUCTION VEHICLES:** All material deliveries and removal from the construction site shall follow a route, both to and from the site, agreed upon by the Community Development Agency and the Construction Management Coordinator. It is the Contractor's responsibility to see that these locations and routes are adhered to.
5. **TRAFFIC MANAGEMENT:** Vehicular traffic shall not be delayed for more than 15 minutes (not to include waiting time) at any point along the route. Traffic management measures such as flagging, signage, etc. shall be utilized to ensure that vehicular traffic and pedestrian movement will not be delayed for more than 15 minutes at any point along the route. It is the responsibility of both the Contractor to coordinate all construction activities to avoid conflict in delivery and/or construction activities. Coordination shall be made with the residence of the Street Work Department.
6. A minimum of 65% of the construction waste shall be diverted to recycling or salvage per Calgreen 4.106.3.
7. Cover dust openings and other related air distribution component openings during construction (4-06.1.1)

RAILING NOTES

1. **STAIRWAY HANDRAILS:** Shall be mounted 3'-0" above the tread nosing and shall return to the wall or terminate in a closed end. Handrail assemblies shall be able to resist a force of 50 lbs. applied perpendicular to the handrail at any point along the top and have attachment devices and supporting structure to transfer this loading to appropriate structural elements of the building. (CBC 1607.7.1.1)
2. **GUARDRAILS:** shall be a minimum of 42" above walking surface and be in complete accordance with the requirements of the International Building Code (IBC) 1607.7.1.1.1 and 1607.7.1.1.2.
3. **PICKET SYSTEMS:** Open guards shall have balusters or ornamental patterns such that a 4 inch diameter sphere cannot pass through any opening. (CBC 1607.5)
1. **RESIST AND RUN:** The minimum tread dimension shall be 10 inches. The maximum rise shall be 7/16 inches with a maximum variation of 3/8 inch. (CBC 1009.3 1009.3.2)

GENERAL EXISTING CONDITION NOTES

1. **EXISTING CONDITIONS:** It is the contractor's responsibility to verify all applicable existing conditions, including but not limited to water damage, termite damage, dry rot, etc. of any other framing or structural member prior to commencement of related work.
2. **THESE PROTECTION NOTES**

1. **CONDITIONS OF APPROVAL FOR PROTECTING TREES DURING CONSTRUCTION:** Adequate protection shall be provided during the construction period for any protected tree; use no chainsaw, stump puller or other equipment that could damage the tree. Measure diameter necessary by the reviewing agency in consideration of the tree's species, location, location of the protected tree or trees, any other tree of the vicinity.
2. **PROTECTED PERIMETER:** Before the start of clearing, excavation, construction or other work on the protected tree, a protective barrier shall be established around the tree. The barrier shall be made of 2x4 posts and 4x4 rails, which shall be either the outer limits of the protected tree or established for the removal and disposal of logs, brush, stumps and other debris which will avoid injury to any protected tree.
3. **ENCROACHING ON THE PROTECTED PERIMETER:** Where the proposed development or other site work encroaches on the protected perimeter, the contractor shall be responsible for the removal of such work to allow the tree to remain. The contractor shall be responsible for the removal of such work to allow the tree to remain. The contractor shall be responsible for the removal of such work to allow the tree to remain.
4. **NO STORAGE OR DUMPING OF OIL, GAS, CHEMICALS OR OTHER SUBSTANCES:** That may be harmful to trees shall occur within the protected perimeter of any protected tree or any other location on site where the contractor shall be responsible for the removal of such work to allow the tree to remain.
5. **BUILD UP OR DIRT:** (Including during construction, the nature of the protected tree shall be sprayed thoroughly with water to prevent buildup of dirt or other pollution that would inhibit germination.
6. **IF ANY DAMAGE TO PROTECTED TREE SHOULD OCCUR:** During or as a result of any work on the site, the contractor, builder or owner shall promptly notify the City of such damage. If such protected tree cannot be preserved in a healthy state, the reviewing agency shall require the replacement of any protected tree for the loss of the tree that is removed.
7. **DEFINITION OF A PROTECTED TREE:** Protect those trees listed below.
 - On all property, Live Oak (Quercus agrifolia) measuring 12" C.B.H. or larger.
 - Deadwood trees.
 - Heritage trees.
 - Protected trees.
 - Any tree and shrub on city owned property.
 - No understory tree is a protected tree.
8. **DEFINITION OF AN UNDERSHADE TREE:** One of the following:
 - Blue Oak (Eumecurus californicus)
 - Black Oak (Quercus kelloggii)
 - Montezuma Cypress (Cupressus Montezumae)
 - Blackwood Acacia (Acacia Blackwood)
 - Balsam Poplar (Populus balsamifera)
 - Bald Cypress (Taxodium distichum)
 - Green Vetches (Acacia retzschiana)

DIVISION 8 - OPENINGS

EMERGENCY NOTES

1. **EMERGENCY WINDOW:** Every sleeping room shall be provided with an emergency egress window or door per CBC 1008.1 and shall meet the following:
 - a. minimum net clear opening width of 20 inches.
 - b. minimum net clear opening area of 5.7 sq. ft.
 - c. minimum net clear opening area of 5.7 sq. ft.
 - d. minimum net clear opening height of 44 inches.
2. **GLASS NOTES:**

DIVISION 9 - FINISHES

GENERAL FINISH NOTES

1. **TYPE "X" GYPSUM BOARD:** Type "X" Gypsum board is to be used in all walls and soffits of enclosed usable space in sleeping areas.
2. **PAINTING:** Provide 1 coat primer and 2 finish coats of paint at all interior and exterior surfaces.
3. **STUCCO:** Provide 2½-inch (63.5 mm) galvanized metal mesh at the foundation joints in all exterior walls.
4. A minimum of 80% of the floor area receiving resident footing shall comply with (Calgreen 4-504.4-4.504.2.1)
5. Adhesives, sealants and caulks shall be compliant with VOC limits. (Calgreen 4-504.2.1)
6. Paints, sealants and other coatings shall be compliant with VOC limits. (Calgreen 4-504.2.2)
7. Interior walls and ceilings shall be compliant with product weighted averages for RfC and other toxic compounds. (Calgreen 4-504.2.3) Verification of compliance shall be provided.
8. Carpet and carpet systems shall be compliant with VOC limits. (Calgreen 4-504.3)
9. Upholstered seating, furniture, bookcases, ADFP and hand-dyed upholstered interior finish systems shall comply with low formaldehyde emission standards. (Calgreen 4-504.5)

DIVISION 10 - EQUIPMENT

DIVISION 11 - SPECIALTIES

DIVISION 12 - FURNISHINGS

DIVISION 13 - SPECIAL CONSTRUCTION

DIVISION 14 - CONVEYING EQUIPMENT

DIVISION 21 - FIRE SUPPRESSION

DIVISION 22 - PLUMBING

DIVISION 23 - HVAC

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DIVISION 22 - PLUMBING

PLUMBING NOTES

1. **PLUMBING VENTS:** All non-potable vents shall terminate not less than 3'-0" from any property line, window or door.
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3. **RELEEF VALVE:** Provide water heater pressure/temperature relief valve with drain to outside of building.
4. **SHOWER VALVES:** Provide shower and bathtub components with individual control valves of the pressure balance or the pressure balancing valve type. (CFC 420.0)
5. **BACKFLOW PREVENTION:** Provide a non-retentive backflow prevention device on all exterior hose bibbs and lawn sprinkler/irrigation systems. (CFC 603.4)
6. **METAL VAPOR PENING:** Provide exterior metal piping shall be bonded to the service equipment and encased pursuant to CFC 250-90 (a) & (b). The points of attachments to bonding jumper shall be accessible.
7. **SEISMIC ANCHORAGE:** Provide seismic anchorage for new and existing water heater tanks with the following:
 - a. water heater: 1-2 gal. Anchors
 - b. shower heads: 1-2 gal. Anchors
 - c. water closets: 1-2 gal. Anchors
 - d. kitchen fixtures: 1-2 gal. Anchors

DIVISION 23 - HVAC

VENTILATION NOTES

1. **DRY-BURN COINTEGRATED FINISHES:** Provide integrated finish on outside and the inside of the exterior wall of the building. Exterior finish shall terminate not less than 3'-0" from any property line, window or door.
2. **PLUMBING VENTS:** All non-potable vents shall terminate not less than 3'-0" from any property line, window or door.
3. **VENT SCREEN:** All roof-edge venting shall be Cor-a-Vent RS-400, or equal.
4. **INSECT SCREEN:** All insect screens at leave vents shall be corrosion resistant metal mesh with mesh openings 1/16" in dimension, unless otherwise noted.

DIVISION 23 - HVAC

VENTILATION NOTES

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PROJECT INFORMATION


GENERAL NOTES

MARK	DATE	DESCRIPTION
7/02/18		PLANNING SUBMISSION
2/04/19		PLANNING SUBMISSION
4/04/19		PLANNING SUBMISSION
7/26/19		PLANNING SUBMISSION
2/24/2020		PLANNING SUBMISSION
8/24/2020		PLANNING SUBMISSION

A.P.N 012-043-11 & 12

52/54 Fremont Street
San Rafael, CA 94965
A.P.N.: 012-043-11 & 12

Owner:
Pacific Private Money Fund I, LLC
Et Al c/o Mark Hanf, Manager
1555 Grant Ave.
Novato, CA 94945



Arterberry
RESIDENTIAL DESIGN

495 Gate 5 Rd. Studio E,
Sausalito, CA 94965
Phone: 415 944-5480

G-001

PROJECT #

DRAWING NO.

DRAWING DATE

DRAWING BY

CHECKED BY

SCALE

SHEET NO.

SHEET TOTAL

GENERAL NOTES

G-001

PROJECT #

DRAWING NO.

DRAWING DATE

DRAWING BY

CHECKED BY

SCALE

SHEET NO.

SHEET TOTAL

GENERAL NOTES

DIVISION 26 - ELECTRICAL

ELECTRICAL NOTES

1. GROUNDING ELECTRODE SYSTEM: Electrician shall provide and locate the grounding electrode system conforming to CEC 250-8.1.
2. SMOKE DETECTORS: Contractor shall verify the existence of or install smoke detectors and carbon monoxide detectors in accordance with state law, notes below, and drawings. Alarms shall receive their primary power from the building wiring and shall be equipped with a battery backup. Alarms in existing areas where access to the area of the ceiling is not possible may be powered by a DC battery source.
3. KITCHEN CIRCUIT: Provide at least two separate 20 amp circuits for small appliances in kitchen, pantry, dining room and similar areas, with no other outlets on the circuits. CEC 210-11 (c)(1), 210-52 (b)
4. LAUNDRY CIRCUIT: Provide a dedicated 30-amp circuit serving dryer in addition to one separate 20-amp circuit serving other laundry appliances. CEC 220-4(c)
5. BATH OUTLETS: Provide at least one 20 amp circuit for bathroom outlets with no other outlets on the circuit. CEC 210-52(d).
6. CLOTHES CLOSET LAMPS: Light fixture clearances shall conform to CEC 410-8.
7. LUMINAIRE EFFICACY - All installed luminaires shall be high-efficiency. CENEc 150.0(k)1.A
8. The following table defines high efficiency lighting CENEc Table 150.0-A.

HIGH EFFICIENCY LIGHT SOURCES

- Light sources other than those installed in ceiling recessed downlight luminaires, are classified as high efficacy and are not required to comply with Reference Joint Appendix JA8.
1. Pin-based linear or compact fluorescent light sources using electronic ballasts
 2. Pulse-start metal halide
 3. High pressure sodium
 4. GU-24 sockets containing light sources other than LEDs
 5. Luminaires with hardwired high frequency generator and induction lamp
 6. Inexpensive SSL luminaires that are installed outdoors
 7. Inexpensive SSL luminaires containing colored light sources that are installed to provide decorative lighting

- Light sources shall be certified to the Commission as High Efficacy Light Sources in accordance with Reference Joint Appendix JA8 and marked as meeting JA8.
1. All light sources in ceiling recessed downlight luminaires. Note that ceiling recessed downlight luminaires shall not have sockets as described in Section 150.0(k)1.C.
 2. GU-24 sockets containing LED light sources
 3. Any light source not otherwise listed in the table and certified to the Commission as complying with Joint Appendix 8.
9. BATHROOMS, GARAGE, LAUNDRY & UTILITY ROOM LIGHTING - At least one luminaire in each of these spaces shall be controlled by a vacancy sensor (CENEc 150.0(k)2.J).
 10. RECESSED LIGHTING FIXTURES shall be rated as air-tight (AT) and, when installed in an insulated ceiling, shall have an approved zero clearance insulation cover (IC). (2013 CA Title 24 Section 150)
 11. LIGHT FIXTURES in tub or shower enclosures or other wet/damp locations shall be labeled "suitable for damp locations". CEC 410-4(a)
 12. OUTLETS: In every habitable room an electrical outlet shall be installed so that no point along the floor line in a wall space is more than six feet measured horizontally, from any outlet in that space, including any wall space two feet or more in width, the wall space occupied by fixed panels in exterior walls, and fixed room dividers. NEC Article 210-52.
 13. NEW OUTLETS (including receptacles, switches, lighting, and hard-wired smoke detectors) in bedrooms, hallways, living rooms, dining rooms, kitchens, and similar areas must be on circuits protected with a combination arc-fault breaker. (2013 CEC 210.12)
 14. RECEPTACLES installed in the following locations must be GFCI protected: exterior, garage, bathrooms, and above the kitchen countertop. (2013 CEC 210.12).
 15. LOAD CALCULATIONS: Contractor to submit electrical load calculations for the sizing of the electrical panels to the building department for approval prior to installation.
 16. SMOKE DETECTORS: Smoke detectors shall be powered by building wiring with battery back-up. Provide smoke detectors in the following areas (as applicable): - at each story and basement - within each bedroom and centrally located in the corridor or area giving access to each sleeping area - in each room where non-bedroom ceiling heights exceed the hall ceiling height by more than 2'.
 17. CARBON MONOXIDE alarms are to be installed outside each bedroom per CRC 315.2
 18. ALL 125 volt, 15- and 20- ampere receptacle outlets shall be listed tamper resistant receptacles per CEC 406.11

DIVISION 31 - EARTHWORK

EXCAVATION NOTES

1. Refer to architectural and structural drawings for exact dimensions: details of foundation systems: floor plans, etc.
2. Utilities shown are diagrammatic and show only delivery to building. Internal site utilities are not depicted. All work shall conform to respective utility company's specifications. Provide sleeves through walls as required to accommodate underground utilities.

GRADING NOTES

1. Contractor shall verify existing contours and general site conditions and report any discrepancies to architect prior to start of work.
2. Grading shall be performed as recommended by the geotechnical investigation.
3. Unless noted otherwise, all retaining walls shall have a waterproof membrane on the backside: back fill with crushed rock and place a minimum 4" diameter perforated pipe at bottom. Provide positive drainage to safe discharge away from building. Provide cleanouts at dead ends and at turns greater than 45 degrees.
4. Provide sleeves through walls as necessary to accommodate all underground utilities.

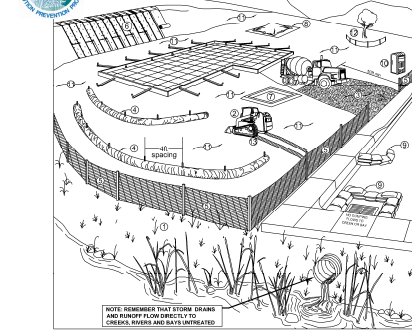
DIVISION 32 - EXTERIOR IMPROVEMENTS

SITE DRAINAGE NOTES

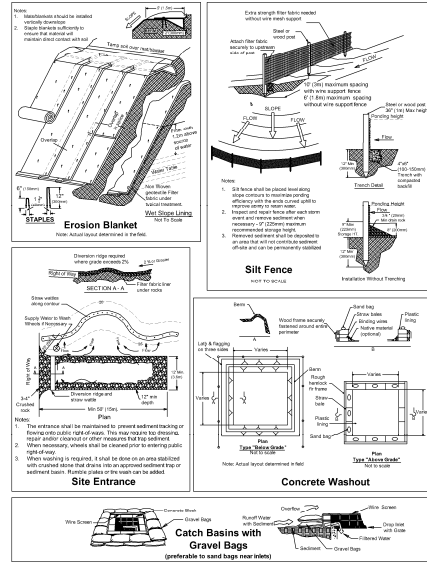
1. DRAIN PIPE: Provide a 4 inch perforated pipe (holes down) Behind every retaining wall and perimeter footing set in drain rock. Provide clean-outs at dead ends and at turns greater than 45 degrees.

DIVISION 32 - EXTERIOR IMPROVEMENTS (continued)

Marin County Stormwater Pollution Prevention Program
Minimum Erosion/Sediment Control Measures
For Small Construction Projects



- (1) Check with your local Planning and Public Works departments for **each catch basin requirement**. Grading and/or building may be limited within sensitive buffers.
 - (2) During grading phases, track-work up and down slopes (not parallel to them).
 - (3) **"Stabilize site openings and temporary driveway"** - use 2'-6" crushed rock for a minimum of 50' (or as far as possible) to prevent tracking soil off-site. This can be used in conjunction with a tire wash or rumble plates.
 - (4) **"Stake down existing along contour of above slopes or slopes 2' or flatter, keyed into ground at least 3" deep (typically 2" wide).**
 - (5) **"Install straw wattles along contours as secondary measure to keep sediment onsite and to minimize vehicle and foot traffic beyond limits of site disturbance. Silt fences must be keyed in."**
 - (6) **"Install erosion control barriers (or equipment) on any disturbed site with 3:1 slopes or steeper, keyed into the ground at least 3"."**
 - (7) **"Construct a concrete washout site adjacent to stabilized entrance. Clean as needed and remove as soon as project is completed."**
 - (8) Cover all stockpiles and landscape material and burn properly with straw wattles or sand bags. Keep behind silt fence, away from road/curbs. Hazardous materials must be kept in closed containers that are covered and well-secured.
 - (9) **"Use post-and-rail for similar projects around drains"** located both inside and in gutter as a **last line of defense.**
 - (10) Place post-a-polly near stabilized entrance, behind the curb and away from gutters, storm drain inlets, and water bodies.
 - (11) Cover all exposed soil with straw wattles and silt fence (15' max).
 - (12) Existing vegetation should be preserved as much as possible. Areas of disturbed vegetation should be revegetated as soon as possible.
 - (13) Prevent equipment fluid leaks onto grading by placing drip pans or plastic tarp under equipment.
- Note: **Schedule construction activities to reduce erosion potential.** Sediment and erosion control shall be continually maintained throughout the entire project (October 1st - April 1st) and must remain effective through the construction and landscape phases. Inspect and maintain Best Management Practices (BMPs) before and after rain events. *See reverse for detail drawings. Visit www.marinsoils.org for more information on construction site management.



If you require materials in alternative formats, please contact: 415-473-4381 voice/TTY or disabilityaccess@cco.marin.ca.us

DIVISION 32 - EXTERIOR IMPROVEMENTS (continued)

A Guide to Straw Wattle Installation

Proper installation of the straw wattle is essential in order to insure the success of the product. Straw wattles are designed for low surface flows, not to exceed 1 cfs for small areas. While they work well on stream banks, they should not be placed in the path of high water flow. On slopes, wattles should be installed on contour with a slight downward angle at the end of the row in order to prevent ponding at the mid-section. No overall slope preparation is needed prior to installation; however, straw wattles should be installed in shallow trenches according to the guidelines given below. Running lengths of wattles should be staked firmly to ensure no leakage at the abutments. Guidelines regarding vertical spacing are given below. The wattles should be pinned securely to the ground according to instructions in order to insure their stability and the success of the installation.

SPACING - DOWNSLOPE

Vertical spacing for slope installations should be determined by site conditions: slope gradient and soil type are the main factors.

A good rule-of-thumb is:

- 1:1 slopes = 10 feet apart
- 2:1 slopes = 20 feet apart
- 3:1 slopes = 30 feet apart
- 4:1 slopes = 40 feet apart, etc.

However, adjustments may have to be made for the soil type:

- For soft, loamy soils - adjust the rows closer together.
- For hard, rocky soils - adjust the rows further apart.

TRENCHING

Use a hand tool such as a maddox or pick to score the ground. Using a shovel, dig the trench to the needed depth. Soil from excavating the trenches can be placed on the uphill, or flow side, of the trench to be used during installation.

- For soft, loamy soils: dig a 3-5 inch trench.
- For hard, rocky soils: dig a 2-3 inch trench.

INSTALLING

Lay the first straw wattle snugly in the trench. **No daylight should be seen under the wattle.** Pack soil from trenching against the wattle on the uphill side. When installing running lengths of straw wattles, you must butt the second wattle tightly against the first wattle. **DO NOT** overlap the ends on top of each other. Overlapping behind each other has been done with some success. Stake the straw wattles at each end and four foot on center.

- 20 foot wattle uses 6 stakes
- 20 foot wattle uses 5 stakes
- 12 foot wattle uses 4 stakes

Stakes should be driven through the middle of the wattle, leaving 2-3 inches of the stake protruding above the wattle. A heavy sediment load will tend to pick the wattle up and could pull it off the stakes if they are driven too low. It may be necessary to make a hole in the wattle with the pick end of your maddox; in order to get the stake through the straw. When straw wattles are used for flat ground applications, drive the stakes straight down when installing wattles on slopes, drive the stakes perpendicular to the slope.

Drive the first end stake of the second wattle at an angle toward the first wattle in order to help abut them tightly together. If you have difficulty driving the stake into extremely hard or rocky slopes, a pilot bar may be needed to begin the stake hole.

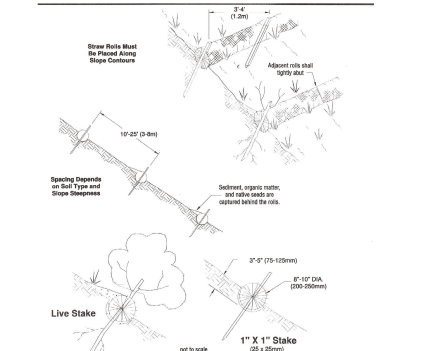
FLAT GROUND APPLICATIONS

For installations along sidewalks or behind curbs it may not be necessary to stake the wattles, however, trenches must still be dug. If you have not yet back-filled behind the sidewalk or curb, lay the wattle snugly against it first, then backfill behind the wattle. Your trench is done! For installations around storm drains and inlets, trenches and staking will be needed.


Fit wattle in trench snugly up against the sidewalk or curb. Around storm drains or inlets, the wattle should be back 1-1/2" ft. and should direct water flow toward the angle of drainage. If all drainage angles into the inlet, snake the wattle all the way around the inlet, using more than one wattle if needed.

STAKING

We recommend using wood stakes or willow cuttings, rather than metal pins, to secure the straw wattles. Wood stakes will eventually bio-degrade, and willow cuttings will grow and provide extra stabilization. Be sure to use a stake that is long enough to protrude several inches above the wattle; 18" is a good length for hard, rocky soil. For soft, loamy soil use a 24" stake for greater security. The diameter of the stake should be approximately 1" for ease of driving through the wattle.



NOTE: Straw willow cuttings require the placement and secure staking of the live stake in a trench, 3'-5' (75-125mm) deep, dug on contour. **wood/fuel** will not be allowed to rest under or around soil.



495 Gile 5 Rd, Studio E.
Sausalito, CA 94965
Phone: 415-944-5480
Miller@Arterbery-Design.com

A.P. 012-043-11 & 12

Owner: Pacific Private Money Fund I, LLC
ETAI Group, Inc. - Project Manager
15555 Garfield Ave.
Novato, CA 94945

5254 Fremont Street
San Rafael, CA 94965
A.P.N.: 012-043-11 & 12

MARK	DATE	ISSUES DESCRIPTION
	7/20/19	PLANNING SUBMISSION
	7/20/19	PLANNING SUBMISSION
	7/20/19	PLANNING SUBMISSION
	7/20/19	PLANNING SUBMISSION
	7/20/20	PLANNING SUBMISSION
	7/20/20	PLANNING SUBMISSION

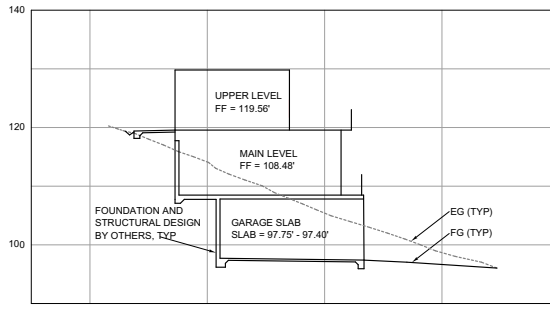
PROJECT #: 1903
CAD FILE: Fremont Road - Main - 01-20-2019
DRAWN BY: MNA
CHECKED BY: MNA
COPYRIGHT © 2019 ARTERBERY DESIGN

GENERAL NOTES

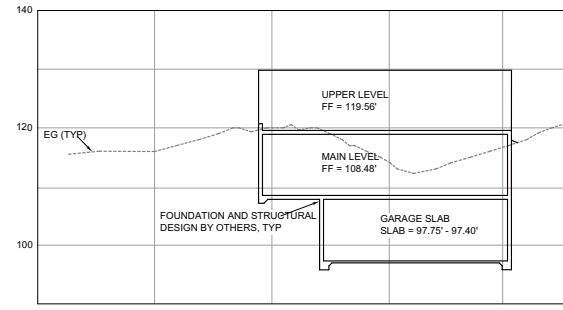
G-002

ABBREVIATIONS

AB	AGGREGATE BASE	HORZ	HORIZONTAL
ARCH	ARCHITECT (SCALE)	INV	PIPE INVERT
BD	BOARD	JT	JOINT TRENCH
BLK	BLOCK	LF	LINEAR FOOT
BTM	BOTTOM	LMWD	LOCAL MUNICIPAL WATER DISTRICT
BTWN	BACK OF SIDEWALK	MB	MATCH EXISTING MANHOLE
BEL	BETWEEN	MR	MANHOLE
BL/W	BELTLINE SETBACK LINE	MND	NOT TO SCALE
BTM/W	BOTTOM OF WALL	NC	ON CENTER (S)
CL	CENTERLINE	OC	ON CENTER (S)
CL/W	CLEARANCE	PERF	PERFORATE (S)
CL/W	CLEARANCE	PL	PROPERTY LINE
CONC	CONCRETE	PT	POINT
CONCT	CONTINUATION OR CONTINUE	PSE	PUBLIC UTILITY EASEMENT
CV	CUBIC YARD	PVC	POLYVINYL CHLORIDE
DL	DRAINLINE	RC	RELATIVE COMPACTION
DR	DRAINAGE	RFBP	REDUCED PRESSURE BACKFLOW PREVENTER
DM	DIMENSION	S	SLOPE
DS	DOWNSPOUT	SCH	SCHEDULE
D/W	DRIVEWAY	SH	SHOULDER
EL	ELEVATION	SFT	SQUARE FEET
EQ	EQUAL	SHT	SHEET
ES	EASEMENT	SQ	SQUARE
ES/INT	EXISTING INTERIOR	SS	SANITARY SEWER
EXT	EXTERIOR	SSC	SANITARY SEWER CLEANOUT
FG	FINISHED GRADE	STD	STANDARD
FL	FINISHED FLOOR	TC	TOP OF CURB
FLU	FINISHED UNDER FLOOR	TEL	TELEPHONE
FND	FOUNDATION	TS	TOP OF SLATE
FOOT	FOOT	TS	TOP OF SLATE
HDR	HEADER	TP	TOP OF WALL
HT	HEIGHT	TYP	TYPICAL
HP	HIGH POINT	UN	UNLESS OTHERWISE NOTED
		VERT	VERTICAL



SECTION A-A
1" = 10'-0"



SECTION B-B
1" = 10'-0"

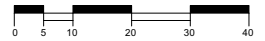
GRADING NOTES:

- ALL DOWNSPOUTS SHALL BE CONNECTED TO 2" DRAIN LINE WITH A MINIMUM SLOPE OF 1% AND DISCHARGED INTO BIO-RETENTION AREA.
- STORM DRAIN PIPE SHALL BE RCP, PVC, OR HDPE (MEETING CALTRANS SECTION 64 SPECIFICATIONS)
- CONTRACTOR SHALL VERIFY ALL QUANTITIES PRIOR TO BID.
- REFER TO ANY GEOTECHNICAL RECOMMENDATIONS THAT MAY BE A PART OF THIS PROJECT.
- ALL DISTURBED AREAS SHALL BE SEEDED WITH EROSION CONTROL SEED MIX, SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION. VEGETATED SWALES SHALL USE THE SAME SEED MIX AND APPLICATION RATES.
- QUANTITIES SHOWN ARE ESTIMATES ONLY. SITE CONDITIONS, RECOMMENDATIONS OF THE SOILS ENGINEER, MEANS AND METHODS, ETC. CAN RESULT IN SUBSTANTIALLY DIFFERENT VALUES. CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACTUAL VOLUME. EXCESS MATERIAL TO BE HAULED OFF TO AN APPROVED SITE.

CUT 629 C.Y. CUT
FILL: 5 C.Y. FILL
TOTAL 624 C.Y. CUT

D#1 & D#2	OLDCASTLE MODEL DI-1212
D#3, D#4, & D#5	OLDCASTLE MODEL DI-1212 (NO BOTTOM, FILL WITH CLASS II AB)

PRELIMINARY
NOT FOR CONSTRUCTION



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BALCERAK DESIGN
LANDSCAPE ARCHITECTURE • URBAN FORESTRY
608 Heave Street, Santa Rosa, CA 95404
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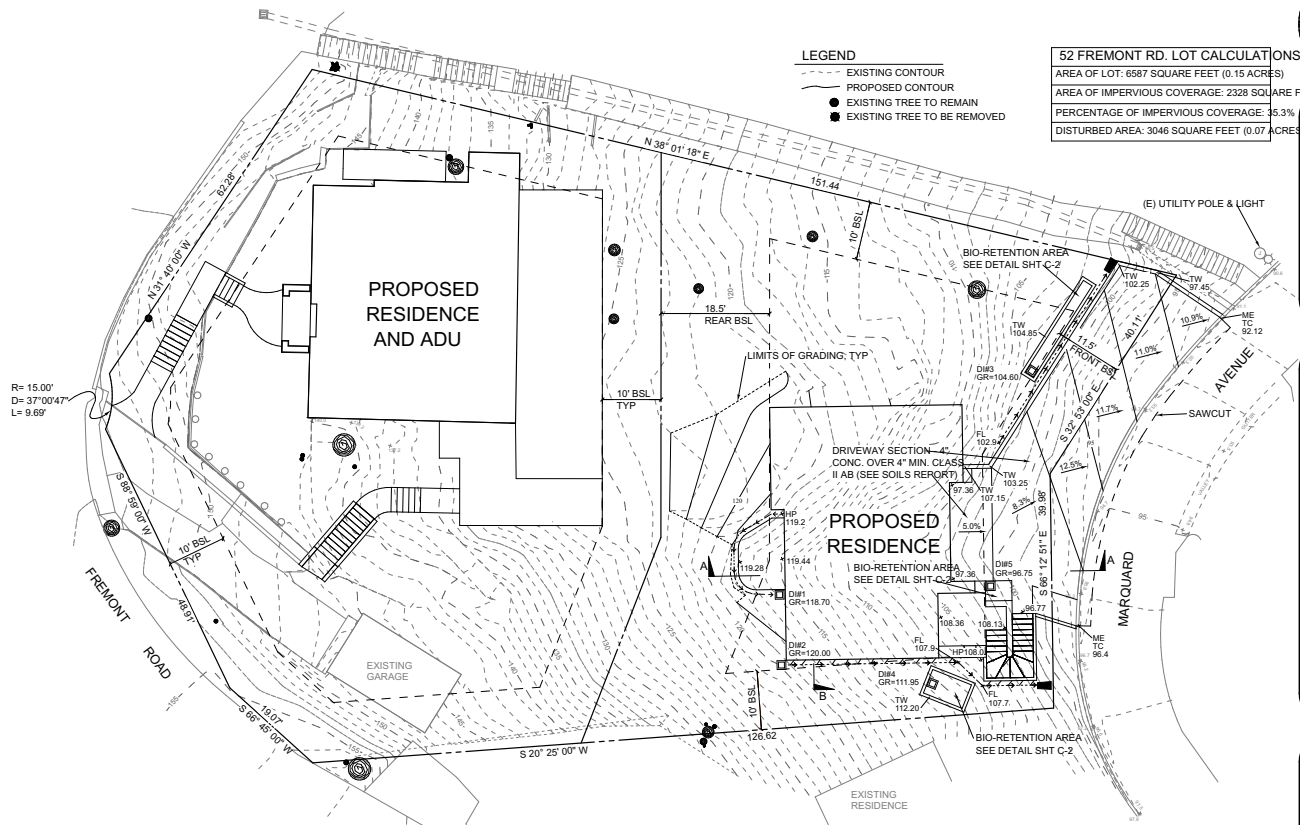
**PRELIMINARY
GRADING AND
DRAINAGE PLAN**

CUSTOM RESIDENCE
52/54 FREMONT ROAD
SAN RAFAEL, CALIFORNIA

52 FREMONT RD. LOT CALCULATIONS
AREA OF LOT: 6587 SQUARE FEET (0.15 ACRES)
AREA OF IMPERVIOUS COVERAGE: 2328 SQUARE FEET
PERCENTAGE OF IMPERVIOUS COVERAGE: 35.3%
DISTURBED AREA: 3046 SQUARE FEET (0.07 ACRES)

LEGEND

- - - - - EXISTING CONTOUR
- --- --- PROPOSED CONTOUR
- EXISTING TREE TO REMAIN
- EXISTING TREE TO BE REMOVED



Date	No.	Revision

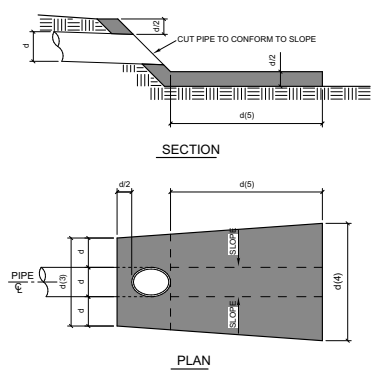
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Scale: 1" = 10'-0"
Drawn: GPB
Job: 1901
Sheet
C1.0
Of: / Sheets



UTILITY PLAN

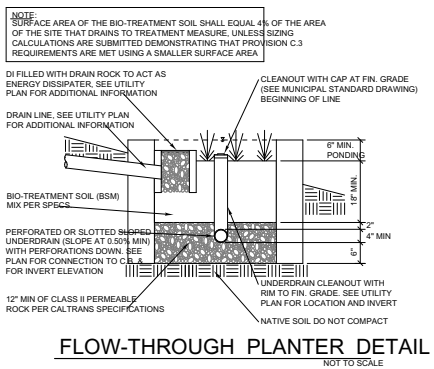
CUSTOM RESIDENCE
 52/54 FREMONT ROAD
 SAN RAFAEL, CALIFORNIA

Date	No.	Revision

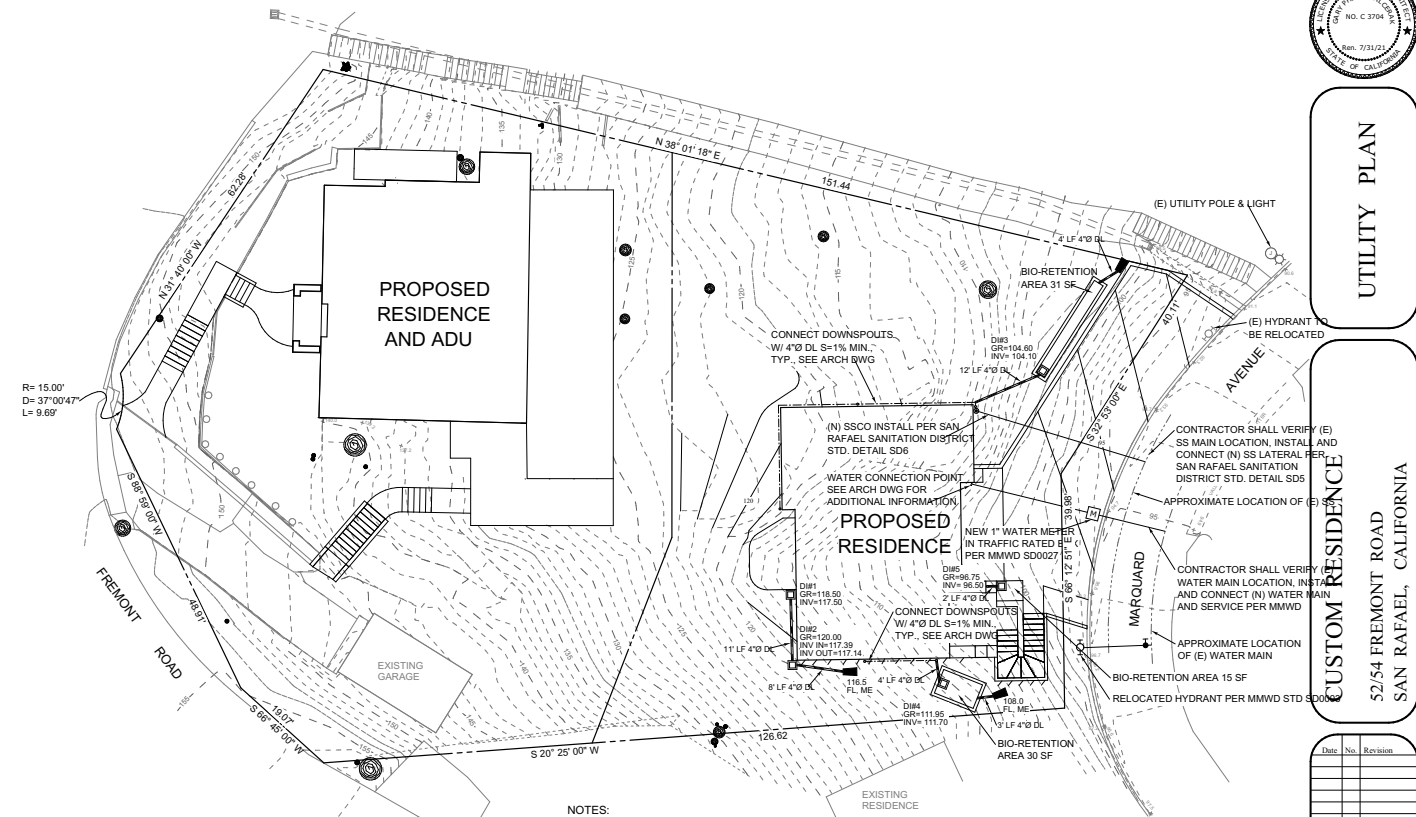


- NOTES:
1. CLASS #3 ROCK, PLACE PER CALTRANS SECTION 72 METHOD B
 2. SLOPES SHALL BE 1:1 MAXIMUM

STORM DRAINLINE OUTFALL DETAIL
 NOT TO SCALE



FLOW-THROUGH PLANTER DETAIL
 NOT TO SCALE



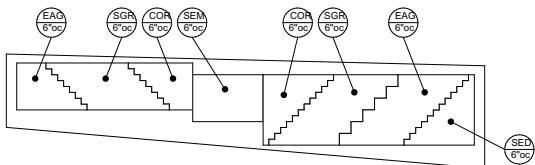
- NOTES:
1. FOUNDATION DRAINS SHALL BE PER THE GEOTECHNICAL ENGINEER'S RECOMMENDATIONS



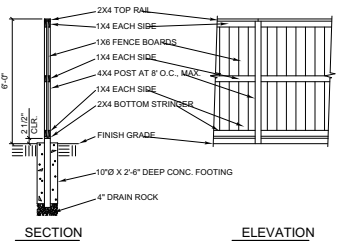
PLANTING LEGEND

KEY	SIZE	BOTANICAL NAME	COMMON NAME	REMARKS	WATER USE
TREES					
TCA	#15	TORREYA CALIFORNICA	CALIFORNIA NUTMEG		LOW
SHRUBS					
CAL	#5	CALYCANTHUS OCCIDENTALIS	SPICE BUSH		MEDIUM
GSH	#5	GALUSTRION SHALLOON	SALAL		MEDIUM
RSS	#5	RUBUS SPECTABILIS	SALMONBERRY		MEDIUM
SYA	#5	SYMPHYCARPOS ALBUS VAR. LAEVIGATUS	SNOWBERRY		LOW
VOV	#5	VACCINIUM OVATUM	EVERGREEN HUCKLEBERRY		MEDIUM
PERENNIALS					
COR	4" POT	COTYLEDON ORBICULATA	PIG'S EAR	6" O.C. TRI. SPACING	LOW
EAG	4" POT	ECHVEFERIA AGAVOIDES	NO COMMON NAME	6" O.C. TRI. SPACING	LOW
HMI	#1	HEUCHERA MICRANTHA	CORAL BELLS		MEDIUM
PMU	#5	POLYSTICHUM MUNITUM	SWORD FERN		MEDIUM
SED	4" POT	SEDUM ADOLPHI	GOLDEN SEDUM	6" O.C. TRI. SPACING	LOW
SGR	4" POT	SEDUM GRISEBACHII	STONE CROP	6" O.C. TRI. SPACING	LOW
SEM	4" POT	SEMPERVIVUM TECTORUM	COMMON HOUSELEEK	6" O.C. TRI. SPACING	LOW
WFI	#5	WOODWARDIA FMBRIATA	GIANT CHAIN FERN		MEDIUM
VINES					
LCI	#5	LONCERA CLIOSA	WESTERN TRUMPET HONEYBUCKLE		MEDIUM
GROUNDCOVERS					
CPA	#1	CAREX PANSA	CALIFORNIA MEADOW SEDGE	9" O.C. TRI. SPACING	MEDIUM
JEF	#1	JUNCUS EFFUSUS	SOFT RUSH	2' O.C. TRI. SPACING	MEDIUM
OOR	6" POT	OXALIS OREGANA	REDWOOD SORREL	PER PLAN	MEDIUM

NOTE:
ALL PROPOSED PLANTINGS SHALL BE FIRE RESISTANT AND IRRIGATED. NO PLANTS PROHIBITED BY THE SAN RAFAEL FIRE PROTECTION BUREAU STANDARD 100, THE MARIN MUNICIPAL WATER DISTRICT, OR THE CALIFORNIA INVASIVE PLANT COUNCIL SHALL BE USED. THE CONTROLLER FOR THE IRRIGATION SYSTEM SHALL BE HIGH-EFFICIENCY AND USE EVAPOTRANSPIRATION DATA.



NOTE:
PLANT SUPPORT SHALL BE "FLORAFELT PRO SYSTEM MODULAR LIVING WALL KIT"
WALL ELEVATION A
1" = 5'-0"



SECTION ELEVATION
NOTE:
1. ALL WOOD SHALL BE REDWOOD, U.O.N.
FENCE DETAIL
NOT TO SCALE

PLANTING NOTES:

- A MINIMUM OF 8" OF NON-MECHANICALLY COMPACTED SOIL SHALL BE AVAILABLE FOR WATER ABSORPTION AND ROOT GROWTH IN PLANTED AREAS.
- INCORPORATE COMPOST INTO THE SOIL TO A MINIMUM DEPTH OF 8" AT A RATE OF 6 CUBIC YARDS PER 1000 SQUARE FEET IN ALL PLANTING AREAS. DO NOT TILL THE SOIL UNDER EXISTING TREES DESIGNATED TO REMAIN.
- ALL PLANTING AREAS SHALL RECEIVE A MINIMUM OF 3" OF MULCH, EXCEPT IN AREAS, CREEPING OR ROOTING GROUNDCOVERS AND DIRECT SEEDING APPLICATIONS.
- AFTER THE GRADING OPERATIONS ARE COMPLETE AND PRIOR TO THE BEGINNING OF LANDSCAPE INSTALLATION SOIL SAMPLING SHALL OCCUR AND SAMPLES SENT TO A TESTING LABORATORY FOR ANALYSIS AND RECOMMENDATIONS. THE ANALYSIS SHALL INCLUDE: SOIL TEXTURE, INFILTRATION RATE, pH, TOTAL SOLUBLE SALTS, SODIUM LEVEL, AND PERCENT OF ORGANIC MATTER. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION TO THE CITY (WITH THE CERTIFICATE OF COMPLETION) THAT THE RECOMMENDATIONS FROM THE SOIL ANALYSIS HAVE BEEN IMPLEMENTED.
- THESE LANDSCAPE DESIGN PLANS COMPLY WITH THE CRITERIA OF THE CONSERVATION ORDINANCE AND EFFICIENT USE OF WATER IN THE LANDSCAPE.

NATURAL STATE SEED MIX AND NOTES

ALL LANDSCAPE AREAS THAT ARE NOT MULCHED SHALL RECEIVE NATURAL STATE SEED MIX ONLY MULCH SHALL BE REACED WITHIN THE DRIPLINE OF EXISTING TREES TO REMAIN.

Botanical name	Common Name	Rate
<i>Achillea millefolium</i>	Yarrow	0.1
<i>Gilia achilleifolia</i>	Blue Gilia	0.1
<i>Lotus corniculatus</i>	Bird's-foot Trefoil	0.5
<i>Melica californica</i>	California Melic	2.7
<i>Hordeum brachyantherum</i>	Meadow Barley	1.1
<i>Carex tumulicola</i>	Foothill Sedge	1.5

Rate is given in pounds of Pure Live Seed per 1000 square feet.

Seeding shall be performed only after the soil is in a loose condition to a minimum depth of 6 inches. Soil clods shall not be larger than 2 inches in any dimension after cultivation of the areas to be cultivated must extend 12 inches beyond the outer limit of each planting area.

ALL PLANTING AREAS SHALL RECEIVE A MINIMUM OF 3" OF MULCH, EXCEPT IN AREAS, CREEPING OR ROOTING GROUNDCOVERS AND DIRECT SEEDING APPLICATIONS.

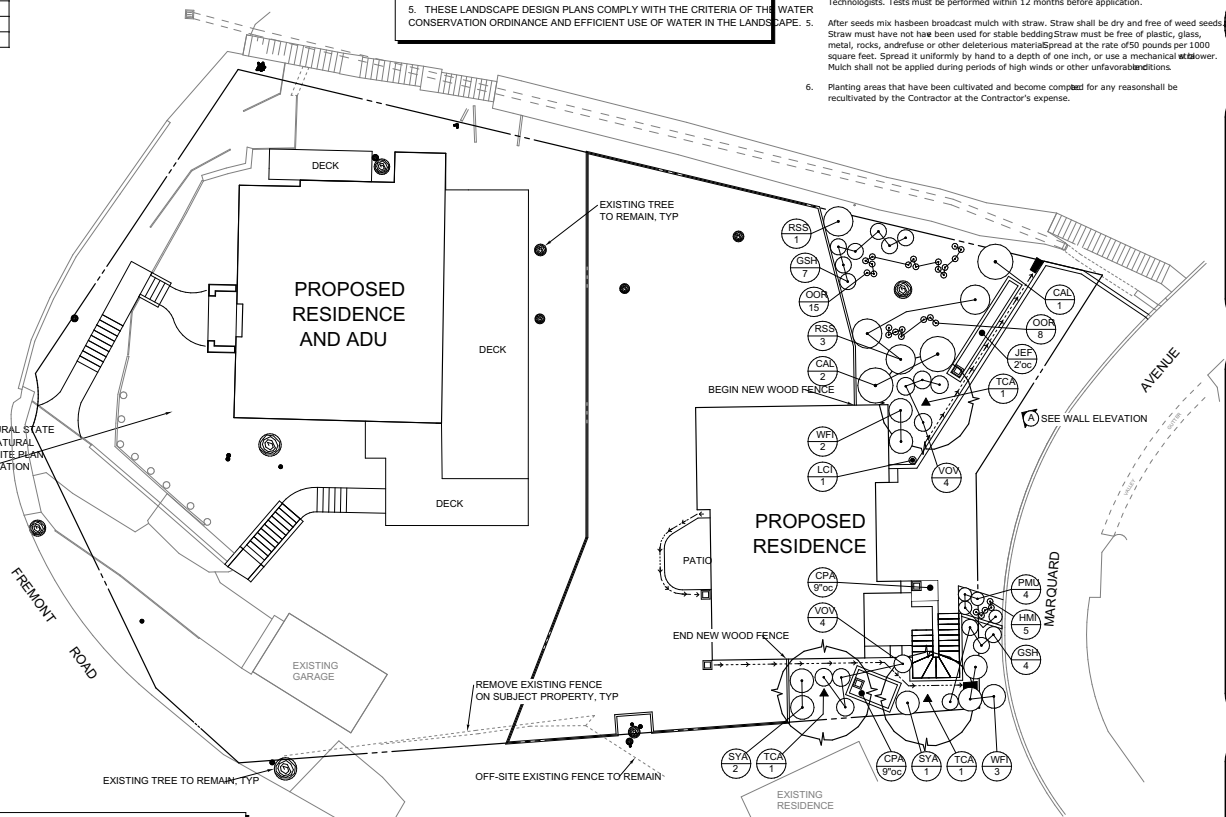
Rocks and debris encountered during soil preparation planting areas must be brought to the ground surface and removed.

Seed shall be broadcast using hand held seeders such as "Whirlybird". While seeding, naturally mix the seed to equally distribute the seeds throughout the mix. The seeds shall be spread to an average depth of 1/4 inch.

Seed must be tested for purity and germination by a seed laboratory certified by the Association of Official Seed Analysts or by a seed technologist certified by the Society of Commercial Seed Technologists. Tests must be performed within 12 months before application.

After seeds mix has been broadcast mulch with straw. Straw shall be dry and free of weed seeds. Straw must have not been used for stable bedding. Straw must be free of plastic, glass, metal, rocks, and/or other deleterious materials. Spread at the rate of 50 pounds per 1000 square feet. Spread it uniformly by hand to a depth of one inch, or use a mechanical blower. Mulch shall not be applied during periods of high winds or other unfavorable conditions.

Planting areas that have been cultivated and become compacted for any reason shall be recultivated by the Contractor at the Contractor's expense.



IRRIGATION STATEMENT
ALL PLANTING AREAS SHALL BE IRRIGATED BY AN AUTOMATIC IRRIGATION SYSTEM THAT MEETS THE REQUIREMENTS OF THE EFFICIENT USE OF WATER IN THE LANDSCAPE.
THE IRRIGATION PLAN SHALL BE PREPARED AS PART OF THE BUILDING PERMIT SUBMITTAL. THE DRAWING SHALL INCLUDE ALL THE REQUIREMENTS OF THE EFFICIENT USE OF WATER IN THE LANDSCAPE INCLUDING STANDARD NOTES, IRRIGATION AUDIT, AND CERTIFICATE OF COMPLETION.

TREE REMOVAL AND MITIGATION
TREES REMOVED SHALL BE MITIGATED AT THE RATE OF 3:1. A TOTAL OF 14 TREES ARE PROPOSED FOR REMOVAL FOR THIS DEVELOPMENT PROPOSAL. THEREFORE, 42 TREES ARE REQUIRED AS MITIGATION.
THE PLANTING PLAN PROPOSES THE PLANTING OF 3 NEW TREES. THE REMAINING 39 TREES REQUIRED AS MITIGATION WILL BE SATISFIED BY THE PAYING OF IN-LIEU FEES.

Maximum Applied Water Allowance
Enter Zip Code: 94901 37.33 Residential?

Enter Project Information
Project Name: Custom Residence
Address: 52 Fremont Road, San Rafael
Meter Number: New Meter
Location/Sheet No.: Approx. 34' from easterly property line on Marquard Ave. / Sheet C2.0
Date: 2/19/20

Maximum Applied Water Allowance (MAWA)
Landscape Area: 1,858 sqft
Special Landscape Area: 0 sqft
MAWA = 32 cCF

Estimated Total Water Use (ETWU)
Low water use plant: 1,399 sqft
Moderate water use plant: 459 sqft
High water use plant: 0 sqft
Efficiency Factor: 0.75

ETWU = 29 cCF

Water Use Table	
ETWU	Gallons: 21,692 CCF's: 29 AF: 0.07
Baseline Period	Jan/Feb, Mar/Apr, May/Jun, Jul/Aug, Sep/Oct, Nov/Dec
Baseline CCF's	0, 3, 8, 10, 7, 1

For more information please contact 415-965-1607 or see our website at www.marinwater.org

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BALCERAK DESIGN
LANDSCAPE ARCHITECTURE • URBAN FORESTRY
608 Neave Street, Suite 105, CA 94901
Phone: (415) 573-8224
email: balcerak@comcast.net



PLANTING PLAN

CUSTOM RESIDENCE
52/54 FREMONT ROAD
SAN RAFAEL, CALIFORNIA

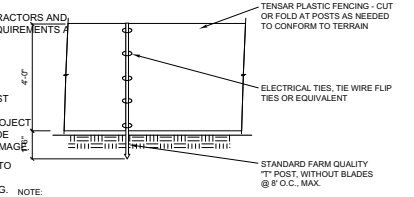
Date: 2/10/20
Scale: 1" = 10'-0"
Drawn: GPB
Job: 1901
Sheet
L1.0
Of Sheets

TREES PROPOSED FOR REMOVAL

Tree	Species	Diameter	Vigor	Structure	Status	Notes
5	Coast Redwood (Sequoia sempervirens)	37.3"	Good	Fair	Remove	Has ± 3' high by 2 wide fire scar on downslope side of tree. Cavity extends ± 10' 2" inside, woundwood noted at edges of cavity. Tagged as #10.
6	Coast Redwood (Sequoia sempervirens)	17.0"	Good	Fair	Remove	This tree has metalhook in the upper trunk with a bar through it and connects to tree #7, which also has a hook for the bar appears to have been an old swing.
7	Coast Redwood (Sequoia sempervirens)	18.8"	Good	Fair	Remove	Cavity noted on upslope side 21 1/2" high and 10" wide, ± 6" deep.
8	Coast Redwood (Sequoia sempervirens)	23.2"	Good	Good	Remove	Many suckers at base, common for the species. No overt defects noted. Tagged as #91.
9	Coast Redwood (Sequoia sempervirens)	19.5"	Good	Good	Remove	Many suckers at base, common for the species. No overt defects noted.
10	Coast Redwood (Sequoia sempervirens)	19.8"	Good	Good	Remove	Many suckers at base, common for the species. No overt defects noted. Tree has been used as a pole to attach old electrical wiring.
11	Coast Redwood (Sequoia sempervirens)	35.3"	Good	Good	Remove	Trunk bifurcates at 7' off sleep grade. Many suckers at base common for the species. A third trunk on the upslope side was removed at ± 2.5' off grade, no decay evident. Old fire scar on downslope side of trunk, no decay evident.
13	Cherry Plum (Prunus cerasifer)	8.2"	Fair	Poor	Remove	CA-IPC has identified this tree as a species of limited concern, and therefore removal is recommended.
14	Cherry Plum (Prunus cerasifer)	10.7" at 14" off grade	Fair	Poor	Remove	CA-IPC has identified this tree as a species of limited concern, and therefore removal is recommended.
15	Cherry Plum (Prunus cerasifer)	5.2"	Good	Good	Remove	CA-IPC has identified this tree as a species of limited concern, and therefore removal is recommended.
16	Cherry Plum (Prunus cerasifer)	5.6"	Fair	Fair	Remove	CA-IPC has identified this tree as a species of limited concern, and therefore removal is recommended.
17	Coast Redwood (Sequoia sempervirens)	9.5"	Fair/Poor	Good	Remove	Suppressed by Tree # 8. Many suckers at base common for the species. No overt defects noted.
18	Coast Redwood (Sequoia sempervirens)	26.3"	Good	Good	Remove	No overt defects noted. Many suckers at base common for the species.
19	California Bay (Umbellularia californica)	4.2"; 7.3"; 3.2"	Fair	Poor	Remove	Tree once had many more trunks than have been removed. Decay on downslope side of the trunk. Thinly foliated, largest trunk is growing towards proposed residence. This tree had been covered with ivy, but it has been killed off.

TREE PROTECTION NOTES:

1. THE TREE PROTECTION FENCING SHALL BE INSTALLED PRIOR TO STARTING ANY CONSTRUCTION ACTIVITY. THE TREE PROTECTION FENCE SHALL NOT BE ALTERED WITHOUT WRITTEN APPROVAL FROM THE PROJECT ARBORIST.
2. NO PRUNING OF THE EXISTING TREES IS ANTICIPATED FOR THE CONSTRUCTION OF THIS PROJECT. SHOULD PRUNING BE REQUIRED THE PROJECT ARBORIST SHALL BE NOTIFIED FOR APPROVAL PRIOR TO PERFORMING ANY PRUNING.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INFORMING ALL SUBCONTRACTORS AND INDIVIDUALS WHO WILL BE WORKING ON SITE OF THE TREE PROTECTION REQUIREMENTS AND CONDITIONS OF APPROVAL FOR THE PROJECT.

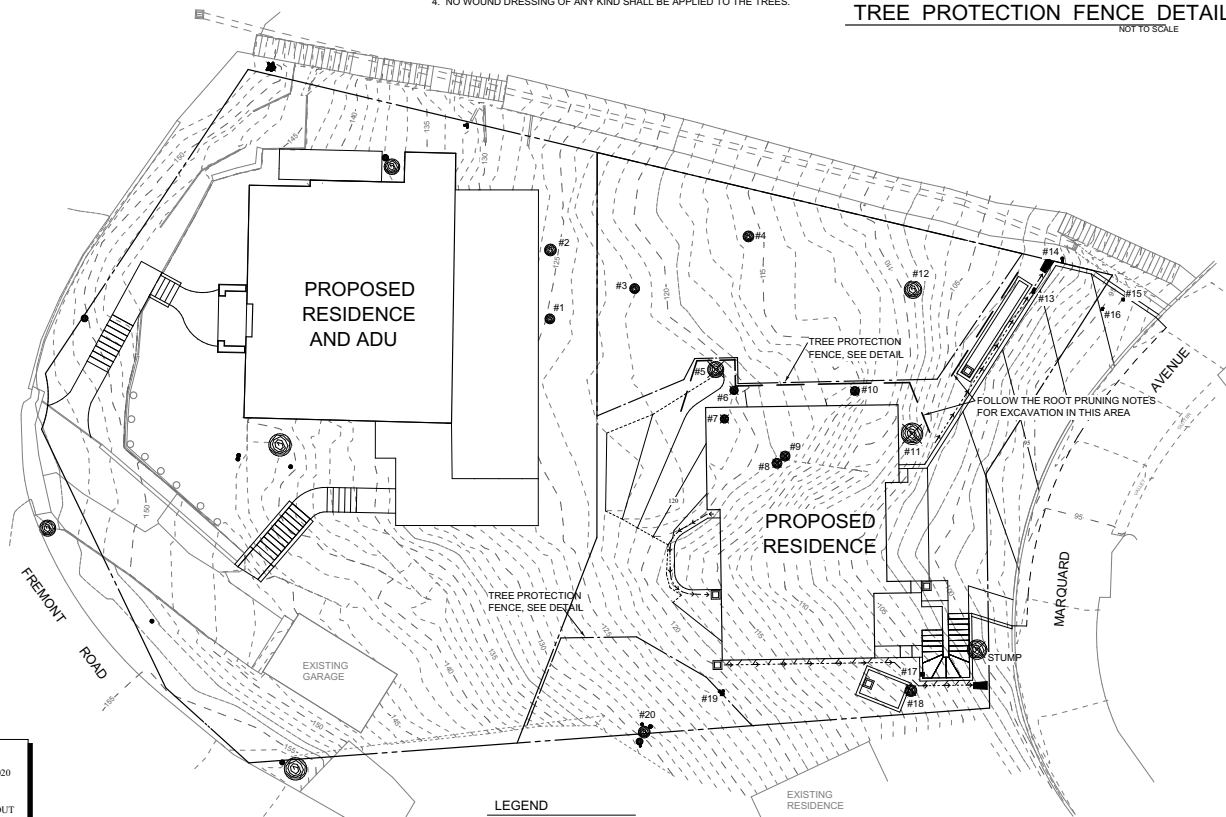


ROOT PRUNING NOTES:

1. TREES LOCATED CLOSEST TO THE IMPROVEMENTS REQUIRE THE GREATEST CARE DURING CONSTRUCTION IF THEY ARE TO BE RETAINED LONG-TERM. TO PROVIDE THE GREATEST OPPORTUNITY TO PRESERVE THESE TREES, THE PROJECT ARBORIST SHOULD BE PRESENT WHEN THE EXCAVATION OCCURS, TO PROVIDE GUIDANCE TO THE CONTRACTOR AND TO OBSERVE THE EXTENT OF ROOT DAMAGE.
2. WHERE INDICATED ON THE PLAN THE ROOT MASS OF TREES DESIGNATED TO REMAIN SHALL BE SEVERED WITH A ROOT PRUNER MACHINE (WITH SHARP BLADES) TO A DEPTH DETERMINED BY PROJECT ARBORIST PRIOR TO GRADING.
3. TO PREVENT ROOT DESICCATION USE MOIST BURLAP, OR OTHER APPROVED MATERIAL, TO COVER THE EXPOSED SOIL SURFACE. THIS ROOT PROTECTION MATERIAL SHALL NOT BE ALLOWED TO DRY OUT AND SHALL REMAIN IN PLACE UNTIL FINAL BACKFILL OF THE SOIL OCCURS.
4. NO WOUND DRESSING OF ANY KIND SHALL BE APPLIED TO THE TREES.

NOTE: 1. TREE PROTECTION FENCING SHALL BE A MINIMUM OF 4' IN HEIGHT AT ALL LOCATIONS, AND SHALL FORM A CONTINUOUS BARRIER WITHOUT ENTRY POINTS AROUND ALL INDIVIDUAL TREES, OR GROUPS OF TREES. FENCING SHALL SERVE AS A BARRIER TO PREVENT ENCROACHMENT OF ANY TYPE OF CONSTRUCTION ACTIVITIES, EQUIPMENT, MATERIALS STORAGE, OR PERSONNEL.

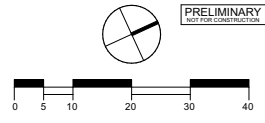
TREE PROTECTION FENCE DETAIL
NOT TO SCALE



NOTES:

1. SEE ARBORIST'S REPORT PREPARED BY BALCERAK DESIGN, REVISED FEBRUARY 17, 2020 FOR ADDITIONAL INFORMATION.
2. NO EXISTING TREE, DESIGNATED TO REMAIN, SHALL BE TRIMMED OR PRUNED WITHOUT PRIOR APPROVAL BY THE PROJECT ARBORIST.
3. NOTIFY PROJECT ARBORIST IN ANY CASE WHERE CONTRACTOR FEELS GRADING OR OTHER CONSTRUCTION CALLED FOR BY CONTRACT DOCUMENTS MAY DAMAGE EXISTING TREES THAT ARE SCHEDULED TO REMAIN.
4. FINAL LOCATION OF TREE PROTECTION FENCING SHALL BE DETERMINED BY FIELD STAKING OF THE IMPROVEMENTS, AND ADJUSTING FENCE TO PROVIDE MAXIMUM PROTECTION. FINAL LOCATION AND EXTENT OF FENCING SHALL BE APPROVED BY THE PROJECT ARBORIST. FENCING SHALL REMAIN INTACT AND SHALL ONLY BE ALTERED WITH THE APPROVAL OF THE PROJECT ARBORIST.

- LEGEND
- - - EXISTING CONTOUR
 - PROPOSED CONTOUR
 - EXISTING TREE TO REMAIN
 - EXISTING TREE TO BE REMOVED



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email: balcerakdesign@comcast.net



TREE PLAN

CUSTOM RESIDENCE
52/54 FREMONT ROAD
SAN RAFAEL, CALIFORNIA

Date	No.	Revision

Date: 2/10/20
Scale: 1" = 10'-0"
Drawn: GPB
Job: 1901
Sheet: **T1.0**
Of: Sheets

PLANTING LEGEND

KEY	SIZE	BOTANICAL NAME	COMMON NAME	REMARKS	WATER USE
TCA	#15	TORREYA CALIFORNICA	CALIFORNIA NUTMEG		LOW
SHRUBS					
CAL	#5	CALYCANTHUS OCCIDENTALIS	SPICE BUSH		MEDIUM
GSH	#5	GAULTHERIA SHALLON	SALAL		MEDIUM
RSS	#5	RUBUS SPECTABILIS	SALMONBERRY		MEDIUM
SYA	#5	SYMPHORICARPOS ALBUS VAR. LAEVIGATUS	SNOWBERRY		LOW
VOV	#5	VACCINIUM OVATUM	EVERGREEN HUCKLEBERRY		MEDIUM
PERENNIALS					
COR	4" POT	COTYLEDON ORBICULATA	PIG'S EAR	6" O.C. TRI. SPACING	LOW
EAG	4" POT	ECHVEVERIA AGAVOIDES	NO COMMON NAME	6" O.C. TRI. SPACING	LOW
HMI	#1	HEUCHERA MICRANTHA	CORAL BELLS		MEDIUM
PMU	#5	POLYSTICHUM MUNIUM	SWORD FERN		MEDIUM
SED	4" POT	SEDUM ADOLPHI	GOLDEN SEDUM	6" O.C. TRI. SPACING	LOW
SGR	4" POT	SEDUM GRISEBACHII	STONE CROP	6" O.C. TRI. SPACING	LOW
SEM	4" POT	SEMPERVIVUM TECTORUM	COMMON HOUSELEEK	6" O.C. TRI. SPACING	LOW
WFI	#5	WOODWARDIA FMBRIATA	GIANT CHAIN FERN		MEDIUM
VINES					
LCI	#5	LONICERA CLIOSA	WESTERN TRUMPET HONEYBUCKLE		MEDIUM
GROUNDCOVERS					
CPA	#1	CAREX PANSA	CALIFORNIA MEADOW SEDGE	9" O.C. TRI. SPACING	MEDIUM
JEF	#1	JUNCUS EFFUSUS	SOFT RUSH	2" O.C. TRI. SPACING	MEDIUM
OOR	6" POT	OXALIS OREGANA	REDWOOD SORREL	PER PLAN	MEDIUM

NOTE:
ALL PROPOSED PLANTINGS SHALL BE FIRE RESISTANT AND IRRIGATED. NO PLANTS PROHIBITED BY THE SAN RAFAEL FIRE PROTECTION BUREAU STANDARD 100, THE MARIN MUNICIPAL WATER DISTRICT, OR THE CALIFORNIA INVASIVE PLANT COUNCIL SHALL BE USED. THE CONTROLLER FOR THE IRRIGATION SYSTEM SHALL BE HIGH-EFFICIENCY AND USE EVAPOTRANSPIRATION DATA.

NATURAL STATE SEED MIXAND NOTES

ALL LANDSCAPE AREAS THAT ARE NOT MULCHED SHALL RECEIVE NATURAL STATE SEED MIX ONLY. MULCH SHALL BE PLACED WITHIN THE DRIPLINE OF EXISTING TREES TO REMAIN.

Botanical name	Common Name	Rate
<i>Achillea millefolium</i>	Yarrow	0.1
<i>Gilia achilleifolia</i>	Blue Gilia	0.1
<i>Lotus corniculatus</i>	Bird's-foot Trefoil	0.5
<i>Melica californica</i>	California Melic	2.7
<i>Hordium brachyantherum</i>	Meadow Barley	1.1
<i>Carex tumulicola</i>	Foothill Sedge	1.5

Rate is given in ounces of Pure Live Seed per 1000 square feet.

VEGETATION MANAGEMENT PLAN NARRATIVE

THIS SITE IS REMNANT OF A REDWOOD (SECOIA SEMPERVIRENS) FOREST, WITH CALIFORNIA BAY (UMBELLULARIA CALIFORNICA) AS AN ASSOCIATE. DUE TO THE SHADED THE UNDERSTORY CONSISTS OF GRASSES AND FORBS. THE SUBJECT PROPERTY HAS A NORTHEAST ASPECT SLOPE. IT APPEARS THAT THERE IS AMPLE SOIL MOISTURE AVAILABLE YEAR ROUND.

BECAUSE OF THE STAND OF TREES AND THE ASPECT ALL OF THE TREES HAVE NATURALLY LIMBED-UP THEIR CROWN, MOST TREES DO NOT EXHIBIT PERMANENT SCAFFOLD BRANCHES UNTIL ±25' ABOVE NATURAL GRADE. SOME OF THE TREES EXPOSED TO MORE HAVE BRANCHES LOWER, BUT ARE STILL ±10' ABOVE NATURAL GRADE.

THE LANDSCAPE DESIGN IS CONSISTENT WITH THE MARIN MUNICIPAL WATER DISTRICT REQUIREMENTS, AND THE CITY OF SAN RAFAEL, FOR LANDSCAPE DESIGN, TO PROVIDE A MORE TRADITIONAL SUBURBAN FRONT YARD ORNAMENTAL PLANTS INCLUDING TREES, SHRUBS, PERENNIALS, AND GROUNDCOVERS HAVE BEEN USED. NO LANDSCAPING IN THE REAR YARD IS PROPOSED AT THIS TIME, HOWEVER ALL FUTURE LANDSCAPING SHALL BE CONSISTENT WITH THE REQUIREMENTS OF THIS PLAN AND APPLICABLE FIRE STANDARDS.

LONG TERM MAINTENANCE SCHEDULES AND GOALS

ALL TREE LIMBS OVER 2" DIAMETER SHALL BE REMOVED 15'-20' ABOVE THE GROUND SURFACE.

ANY PORTION OF A TREE THAT IS WITHIN 10' OF A STOVEPIPE OR CHIMNEY SHALL BE REMOVED. NO DEAD OR DYING LIMBS SHALL BE ALLOWED TO OVERHANG ANY BUILDING. TREES THAT OVERHANG ROADWAYS SHALL BE PRUNED TO ASSURE A MINIMUM VERTICAL CLEARANCE OF 10'-0".

ALL COMBUSTIBLE DEBRIS, INCLUDING LEAVES, SHALL BE REMOVED FROM THE ROOF AND GUTTERS NO LESS THAN ONCE EVERY SIX MONTHS.

ALL WEEDS AND GRASSES SHALL BE MOWED REGULARLY; IN NO INSTANCE SHALL THEIR HEIGHT EXCEED 12".

ALL DEAD AND DYING VEGETATION WITHIN THE DEFENSIBLE SPACE ZONE SHALL BE REMOVED NO LESS THAN EVERY SIX MONTHS.

ALL MOTORIZED MAINTENANCE EQUIPMENT, INCLUDING SAWS AND MOWERS, SHALL BE EQUIPPED WITH SPARK ARRESTORS. EXERCISE CARE AND CHECK FOR ROCKS PRIOR TO MOWING TO PREVENT MOWER BLADES FROM SPARKING.

REFERENCES

KENT, D., 2005. FIRE SCAPING: CREATING FIRE-RESISTANT LANDSCAPES, GARDENS, AND PROPERTIES IN CALIFORNIA'S DIVERSE ENVIRONMENTS. BERKELEY CA, WILDERNESS PRESS.

EAST BAY MUNICIPAL UTILITY DISTRICT, 2003. FIRE SCAPING: LANDSCAPING TO REDUCE FIRE HAZARD. OAKLAND CA, ADMINISTRATION DEPARTMENT EBMUD.

PLANTING NOTES:

- A MINIMUM OF 8" OF NON-MECHANICALLY COMPACTED SOIL SHALL BE AVAILABLE FOR WATER ABSORPTION AND ROOT GROWTH IN PLANTED AREAS.
- INCORPORATE COMPOST INTO THE SOIL TO A MINIMUM DEPTH OF 8" AT A RATE OF 6 CUBIC YARDS PER 1000 SQUARE FEET IN ALL PLANTING AREAS. DO NOT FILL THE SOIL UNDER EXISTING TREES DESIGNATED TO REMAIN.
- ALL PLANTING AREAS SHALL RECEIVE A MINIMUM OF 3" OF MULCH, EXCEPT IN TURF AREAS, CREEPING OR ROOTING GROUNDCOVERS AND DIRECT SEEDING APPLICATIONS.
- AFTER THE GRADING OPERATIONS ARE COMPLETE AND PRIOR TO THE BEGINNING THE LANDSCAPE INSTALLATION SOIL SAMPLING SHALL OCCUR AND SAMPLES SENT TO A TESTING LABORATORY FOR ANALYSIS AND RECOMMENDATIONS. THE ANALYSIS SHALL, AT A MINIMUM, INCLUDE: SOIL TEXTURE, INFILTRATION RATE, PH, TOTAL SOLUBLE SALTS, SODIUM LEVEL, AND PERCENT OF ORGANIC MATTER. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION TO THE CITY (WITH THE CERTIFICATE OF COMPLETION) THAT THE RECOMMENDATIONS FROM THE SOIL ANALYSIS HAVE BEEN IMPLEMENTED.
- THESE LANDSCAPE DESIGN PLANS COMPLY WITH THE CRITERIA OF THE WATER CONSERVATION ORDINANCE AND EFFICIENT USE OF WATER IN THE LANDSCAPE.

HAZARD ASSESSMENT MATRIX									
Hazard Points Aspect	1	2	3	4	5	6	7	8	Points
Slope	NE	NW,N	SE,W	S	SW				11
Fuel 0-30	Specimen Garden	Hardwood	Grass	11-20	Mostly Grass	Mostly Brush	Mostly Pyrophytic Hardwoods	Conifer	Conifer w/brush understory
Fuel 31-100	Grass (Mostly) Garden	Mostly Brush	Pyrophytic Hardwoods	Chaparral	Conifer with brush understory				

Total Hazard Points **11**

Minimum Horizontal Clearance Requirement in ft 30' x 30' x 50'

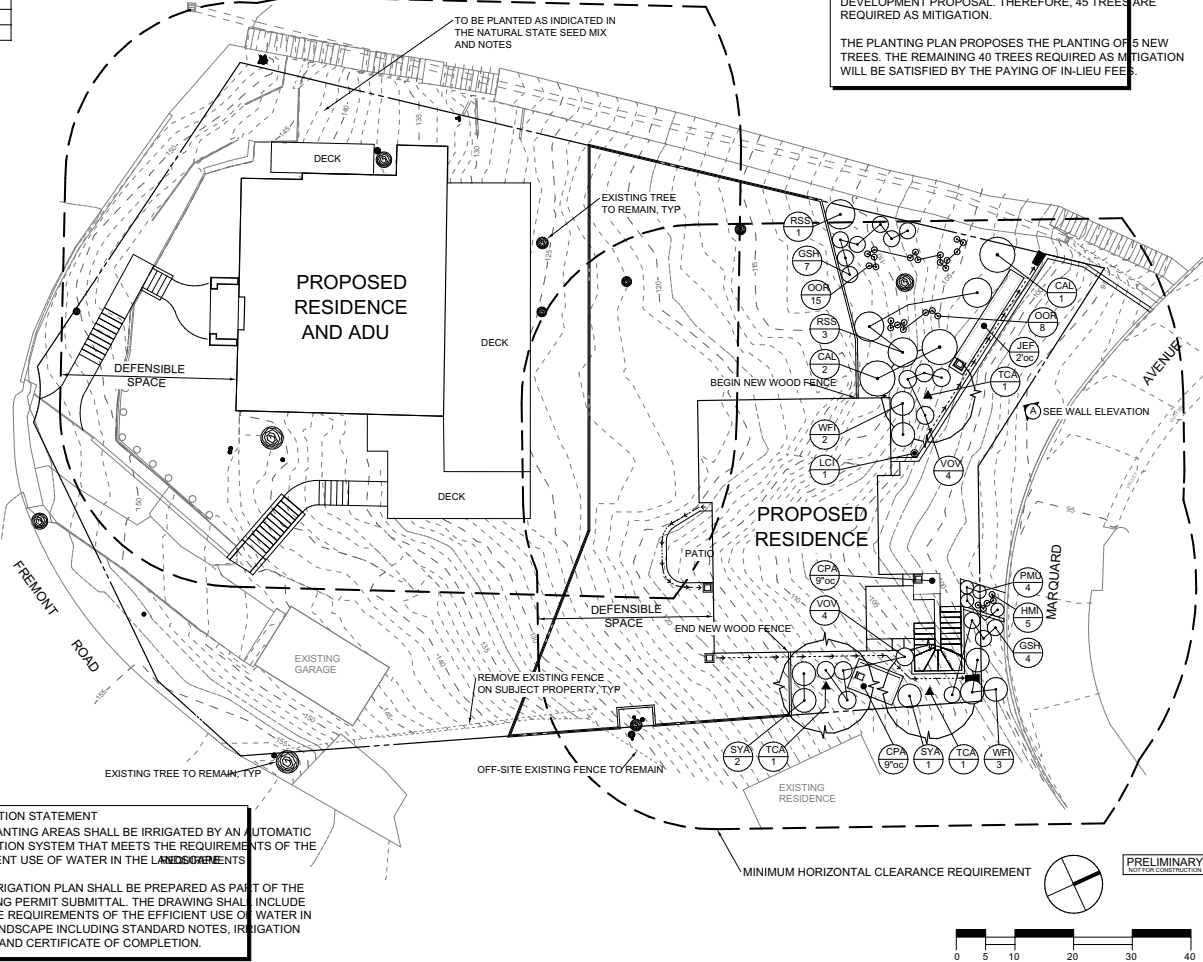
Hazard Points:

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	
30x30x50 ft															30x30x50 ft										50x50x100 ft

TREE REMOVAL AND MITIGATION

TREES REMOVED SHALL BE MITIGATED AT THE RATE OF 3:1. A TOTAL OF 15 TREES ARE PROPOSED FOR REMOVAL FOR THIS DEVELOPMENT PROPOSAL. THEREFORE, 45 TREES ARE REQUIRED AS MITIGATION.

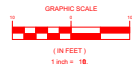
THE PLANTING PLAN PROPOSES THE PLANTING OF 5 NEW TREES. THE REMAINING 40 TREES REQUIRED AS MITIGATION WILL BE SATISFIED BY THE PAYING OF IN-LIEU FEES.



IRRIGATION STATEMENT

ALL PLANTING AREAS SHALL BE IRRIGATED BY AN AUTOMATIC IRRIGATION SYSTEM THAT MEETS THE REQUIREMENTS OF THE EFFICIENT USE OF WATER IN THE LANDSCAPE.

THE IRRIGATION PLAN SHALL BE PREPARED AS PART OF THE BUILDING PERMIT SUBMITTAL. THE DRAWING SHALL INCLUDE ALL THE REQUIREMENTS OF THE EFFICIENT USE OF WATER IN THE LANDSCAPE INCLUDING STANDARD NOTES, IRRIGATION AUDIT, AND CERTIFICATE OF COMPLETION.



LEGEND

	TM-TEMPORARY BENCHMARK		SPOT ELEVATION
	WOOD FENCE		OVERHEAD POWER & TELEPHONE
	WIRE FENCE		TREE SYMBOL & DRP LINE
	CONCRETE		UNKNOWN SPECIES
	GRAVEL		BUCKEYE
	WOOD STEP, RAILROAD TIE		LIVE OAK
	CONCRETE WALL		REDWOOD
	BRICK WALL		FINISHED FLOOR
	ROCK WALL		TOP OF CURB
	ASPHALT/CONCRETE		FLOWLINE
	TOP OF WALL		TOP OF WALL
	STEPPING STONES		BUILDING OVERHANG
	DRAIN INLET		NATURAL GROUND
	SANITARY SEWER MANHOLE		GRADE BREAK
	SANITARY SEWER CLEANOUT		TOE OF BANK
	FIRE HYDRANT		TOP OF BANK
	WATER VALVE		EDGE PAVING
	HOSE BIB		WOOD RETAINING WALL
	WATER METER		WOOD BORDER
	GAS METER		MAILBOX
	UNKNOWN UTILITY (MANHOLE)		STREET LIGHT
	CHIMNEY VENT, VERTICAL		ROOF DRAIN
	JOINT UTILITY POLE		BOLLARD
	GUY WIRE		SIGN
	ELECTRIC METER		VERTICAL PIPE SIZE AS NOTED

BENCHMARK:
CONTROL POINT #1 EL. 153.00 (ASSUMED)

NOTE:
PARCEL INFORMATION SHOWN HEREON IS NOT THE RESULT OF A COMPREHENSIVE BOUNDARY ANALYSIS AND SURVEY AND SHOULD NOT BE RELIED UPON AS BEING FINAL OR ALL INCLUSIVE. THE PARCEL LINE INFORMATION WAS COMPILED FROM THE ASSESSOR'S PARCEL MAP(S) AND MAPS OF RECORD. IF ANY, ON FILE IN THE PUBLIC RECORDS. INCONSISTENCIES, AMBIGUITIES, AND APPARENT ENCROACHMENTS BETWEEN THE PARCEL LINES AND ACTUAL FIELD CONDITIONS WERE NEITHER CONSIDERED NOR RESOLVED.

BASIS OF BEARING:
RECORD OF SURVEY, FILED IN BOOK 2012 OF MAPS, AT PAGE 110, MARIN COUNTY RECORDS.

michael land
2200 Redwood Blvd., Ste. 3
Sausalito, CA 94965
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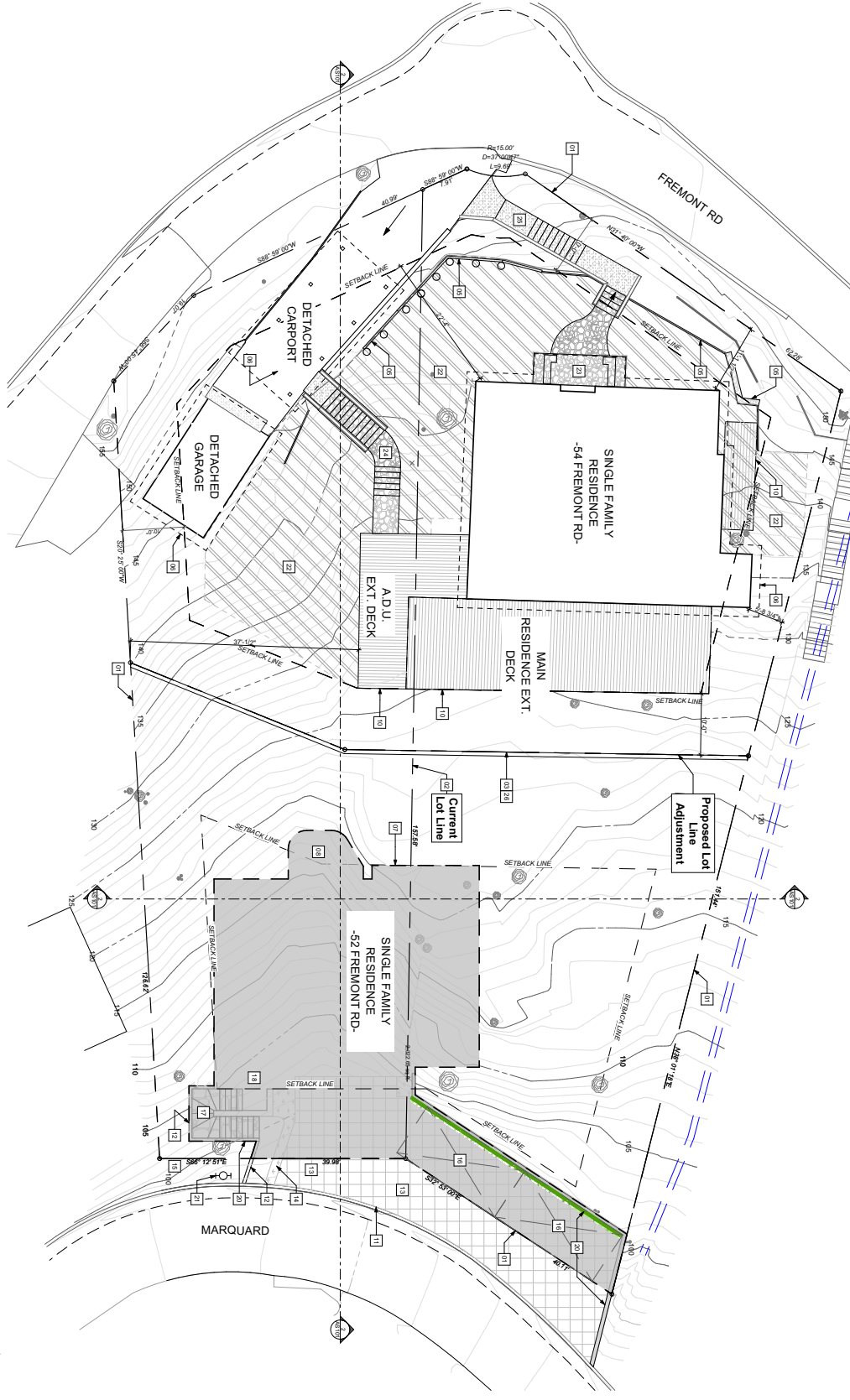
SURVEYOR'S STATEMENT
THIS MAP IS BASED ON A FIELD SURVEY MADE BY ME OR UNDER MY DIRECTOR ON THE DATE OF SURFACE CONDITIONS AS OF THE DATE OF SURVEY.



APN 012043-11 & 012-043-12
52 & 54 FREEMONT ROAD
SAN RAFAEL, CA
TOPOGRAPHIC MAP

REVISIONS:

DATE:	03/06/17
DRAWN BY:	DC
CHECKED BY:	MEF
SCALE:	1" = 10'
JOB NUMBER:	172588
DWG. FILE:	2986-TP DWG
SHEET:	



Zone	Required	54 Fremont Rd. (Existing Lot)	New Fremont Rd. Frontage Lot	52 Fremont Rd. (Existing Lot)	New Marquard Ave. Frontage Lot
Minimum Lot Area	10,000 sq. ft. min.	9643 sq. ft.	8643 sq. ft.	6587 sq. ft.	6587 sq. ft. (same as old Fremont Rd.)
% Coverage	40%	51.66% = 2893 sq. ft.	51.66% = 2893 sq. ft.	51.66% = 2893 sq. ft.	51.66% = 2893 sq. ft.
Front Setback	20 ft.	11'-1" (non-conforming)	11'-1" (non-conforming)	13'-1"	20'-0"
Side Setback	10 ft.	7'-0" (non-conforming)	5'-0" (non-conforming)	17'-0"	17'-0"
Back Setback	10 ft.	1'-0" (non-conforming)	3'-0" (non-conforming)	15'-0"	15'-0"
Minimum Building Square Footage	2000 sq. ft. + 10% of lot area	1171 (non-conforming)	967 (non-conforming)	1171 (non-conforming)	1171 (non-conforming)
Maximum Building Square Footage	2000 sq. ft. + 10% of lot area	Current: 3027 sq. ft. Proposed: 2603 sq. ft. + 10% of 9643 sq. ft. = 3264 sq. ft.	Current: 3027 sq. ft. Proposed: 2603 sq. ft. + 10% of 8643 sq. ft. = 3094 sq. ft.	Current: 2111 sq. ft. Proposed: 2000 sq. ft. + 10% of 6587 sq. ft. = 2668 sq. ft.	Current: 2000 sq. ft. + 10% of 6587 sq. ft. = 2668 sq. ft. Proposed: 1993 sq. ft. (old 188 sq. ft.) Main Deck: 797 sq. ft. A.D.U.: 100 sq. ft. Carport: 228 sq. ft.
Minimum Slope Preservation of Lot	25% Slope %	Minimum: 25% + 35.36% = 60.36% of 8643 sq. ft. = 5277 sq. ft. Current: 57% = 4878 sq. ft.	Minimum: 25% + 40.89% = 65.89% of 8643 sq. ft. = 5678 sq. ft. Current: 57% = 4878 sq. ft.	Minimum: 25% + 46.33% = 71.33% of 6587 sq. ft. = 4688 sq. ft. Current: 65.83% = 4284 sq. ft.	Minimum: 25% + 39.28% = 64.42% of 6587 sq. ft. = 4243 sq. ft. Current: 63.10% = 4284 sq. ft.
Height	35 ft. (maximum grade to roof building analysis)	35'-2" (non-conforming)	35'-2" (non-conforming)	15'-0"	35'-2"
Parking	2 covered + 2 additional (including driveway space)	none	2 covered (1 Garage + 1 Carport)	1 covered (garage)	2 covered + 2 additional (including driveway space)

- SITE PLAN GENERAL NOTES**
- REFER TO EXCAVATION NOTES, DIVISION 31, EARTHWORK, EXCAVATION, EXCAVATION/RESURFACING.
 - REFER TO GRADING NOTES, DIVISION 31, SITE GRADING FOR GRADING REQUIREMENTS.
 - REFER TO TREE PROTECTION NOTES, DIVISION 31, TREE PROTECTION FOR TREE PROTECTION REQUIREMENTS.
 - REFER TO EROSION CONTROL NOTES, DIVISION 31, EROSION CONTROL FOR EROSION CONTROL REQUIREMENTS.
 - REFER TO DRAINAGE NOTES, DIVISION 31, DRAINAGE FOR DRAINAGE REQUIREMENTS.
 - REFER TO CONSTRUCTION MANAGEMENT PLAN, DIVISION 31, CONSTRUCTION MANAGEMENT FOR CONSTRUCTION MANAGEMENT REQUIREMENTS.
 - REFER TO SIGNAGE NOTES, DIVISION 31, SIGNAGE FOR SIGNAGE REQUIREMENTS.

SITE PLAN SYMBOLS LEGEND

- 90°-3' BW BOTTOM OF WALL SPOT SURVEY DATUM
- 94°-0' TV TOP OF WALL SPOT SURVEY DATUM
- 100' @ 2'-0" INTERVAL TOPOGRAPHIC LINES
- - - - - PROPERTY LINE
- KEY: LOT CALLOUT - SEE SITE PLAN KEVNOTES BELOW
- LOCATION OF DOWNSPOUT CONNECTION TO DRAINAGE SYSTEM - SEE DRAINAGE PLANS
- 11 - D.M.G. # - LAYOUT #
- 100 - TOPOGRAPHIC LINES @ 2'-0" INTERVAL
- PROPERTY LINE
- KEY: LOT CALLOUT - SEE SITE PLAN KEVNOTES BELOW
- LOCATION OF DOWNSPOUT CONNECTION TO DRAINAGE SYSTEM - SEE DRAINAGE PLANS

SITE PLAN KEY NOTES

- (E) PROPERTY LINE TO REMAIN
- (E) PROPERTY LINE TO BE VACATED
- PROPOSED PROPERTY LINE
- (E) STAIRS / PATHWAYS TO REMAIN TYP.
- (E) RETO WALLS TO REMAIN TYP.
- LINE OF POOR OVERHANG ABOVE FAMILY RESIDENCE
- PERIMETER LINE OF PROPOSED SINGLE FAMILY RESIDENCE
- PROPOSED SLAB ON GRADE INTO PROPOSED DECK SUPPORT POST
- EDGE OF DRIVEWAY
- EDGE OF PROPOSED DECK ABOVE
- PROPOSED RETO WALL
- STAMPED CONC. DRIVEWAY
- PLANNING STRIP
- BORERETENTION BASIN
- 16'-10" X 20' GUEST PARKING SPACE
- ENTRY STAIRS
- ENTRY PORCH
- LINE OF TRELS ABOVE TYP.
- LINE OF TRELS ABOVE TYP. SYSTEM OR SW. (WALL EMBELLISHMENT)
- RELOCATED HYDRANT
- AREA OF FRONT PORCH OF LOT TO BE REVERTED TO NATURAL STATE. SHOWN WITH PLAIN SHEET TYP.
- WALKWAY / STAIRS TO RESIDENCE
- CONCRETE BEAMS DEFLECTION WALL @ PROPERTY LINE

ISSUES

MARK	DATE	DESCRIPTION
	7/21/18	PLANNING SUBMISSION
	2/24/19	PLANNING SUBMISSION
	4/24/19	PLANNING SUBMISSION
	7/26/19	PLANNING SUBMISSION
	2/24/2020	PLANNING SUBMISSION
	9/24/2020	PLANNING SUBMISSION

PROJECT # AS100

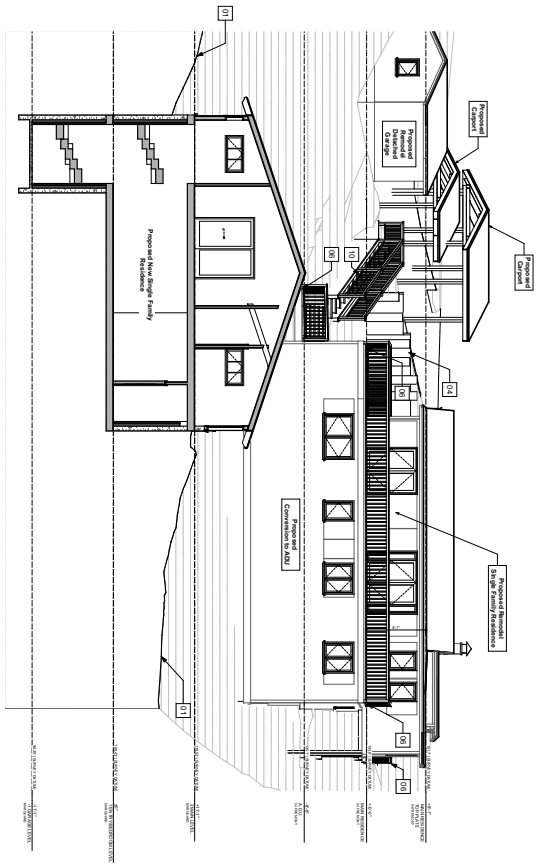
SITE PLAN

OWNER: Pacific Private Money Fund I, LLC
 ET Al c/o Mark Hanf, Manager
 1555 Grant Ave.
 Novato, CA 94945

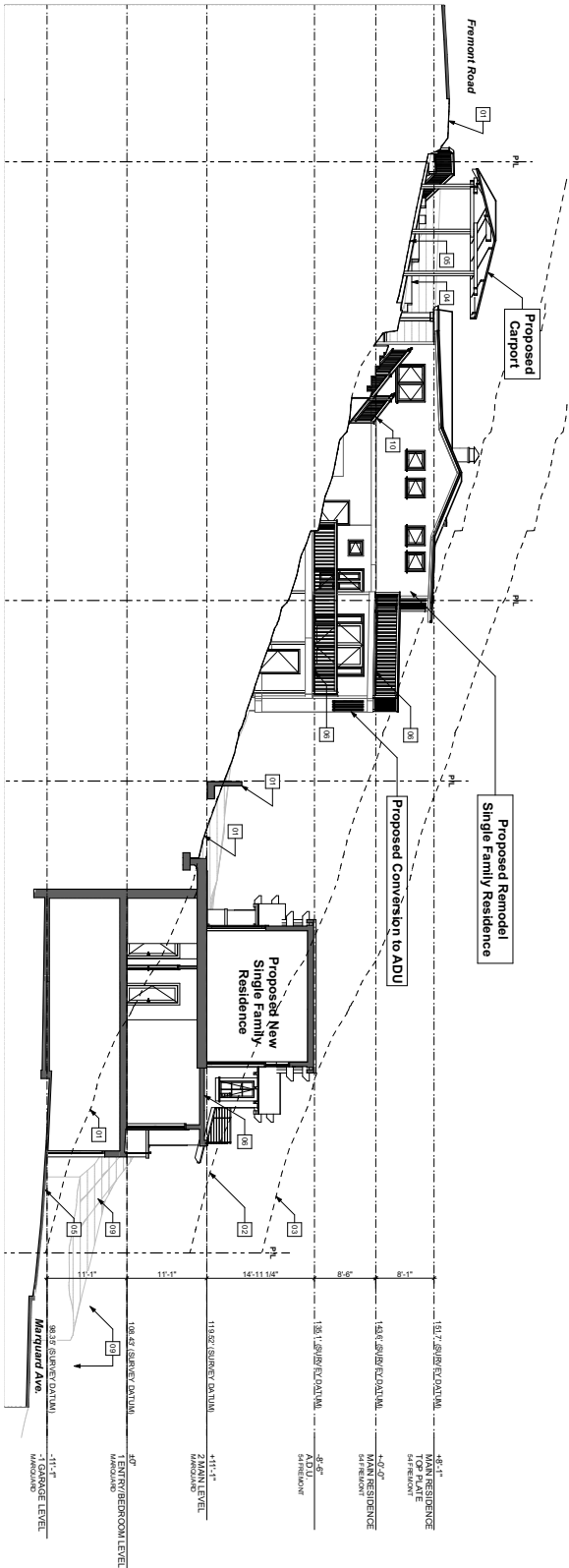
Arterberry
 RESIDENTIAL DESIGN

795 Gate 5 Rd. Studio E,
 Sausalito, CA 94965
 Phone: 415 944-5480

Millard@Arterberry-Design.com



1 Site Section
SCALE: 1/8" = 1'-0"



2 Site Section
SCALE: 1/8" = 1'-0"

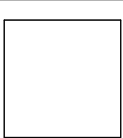
SITE SECTION KEY NOTES	SECTION GENERAL NOTES
01 - NATURAL GRADE LINE 02 - 20' FT. "STEBACK" HEIGHT LINE 03 - 30' FT. MAX. HEIGHT LINE 04 - CONCRETE RETAINING WALL 05 - DRIVEWAY 06 - (N) DECK 07 - (N) ON GRADE CONCRETE PATIO 08 - (N) PORCH 09 - (N) LIVING WALL FLOORWELT 10 - (N) SITE STRAWSWALKWAY 11 - CONCRETE DEBRIS DEFLECTION WALL @ PROPERTY LINE	SEE TITLE 24 ENERGY REQUIREMENTS AND GENERAL NOTES SEE EXTERIOR ELEVATIONS FOR TYPICAL WALL FINISH REFER TO GENERAL NOTES, SHIT C-001, FOR FURTHER INFORMATION
	SECTION SYMBOLS LEGEND KEY NOTE CALLOUT - SEE FLOOR PLAN KEY NOTES BELOW DIM # LAYOUT # DETAIL CALLOUT

PROJECT #		AS101
CONTRACTOR		MARK HANF ARCHITECTS
DATE		02/20/20
DRAWING BY		MARK HANF
CHECKED BY		MARK HANF
DATE		02/20/20
PROJECT #		AS101
SITE SECTION		

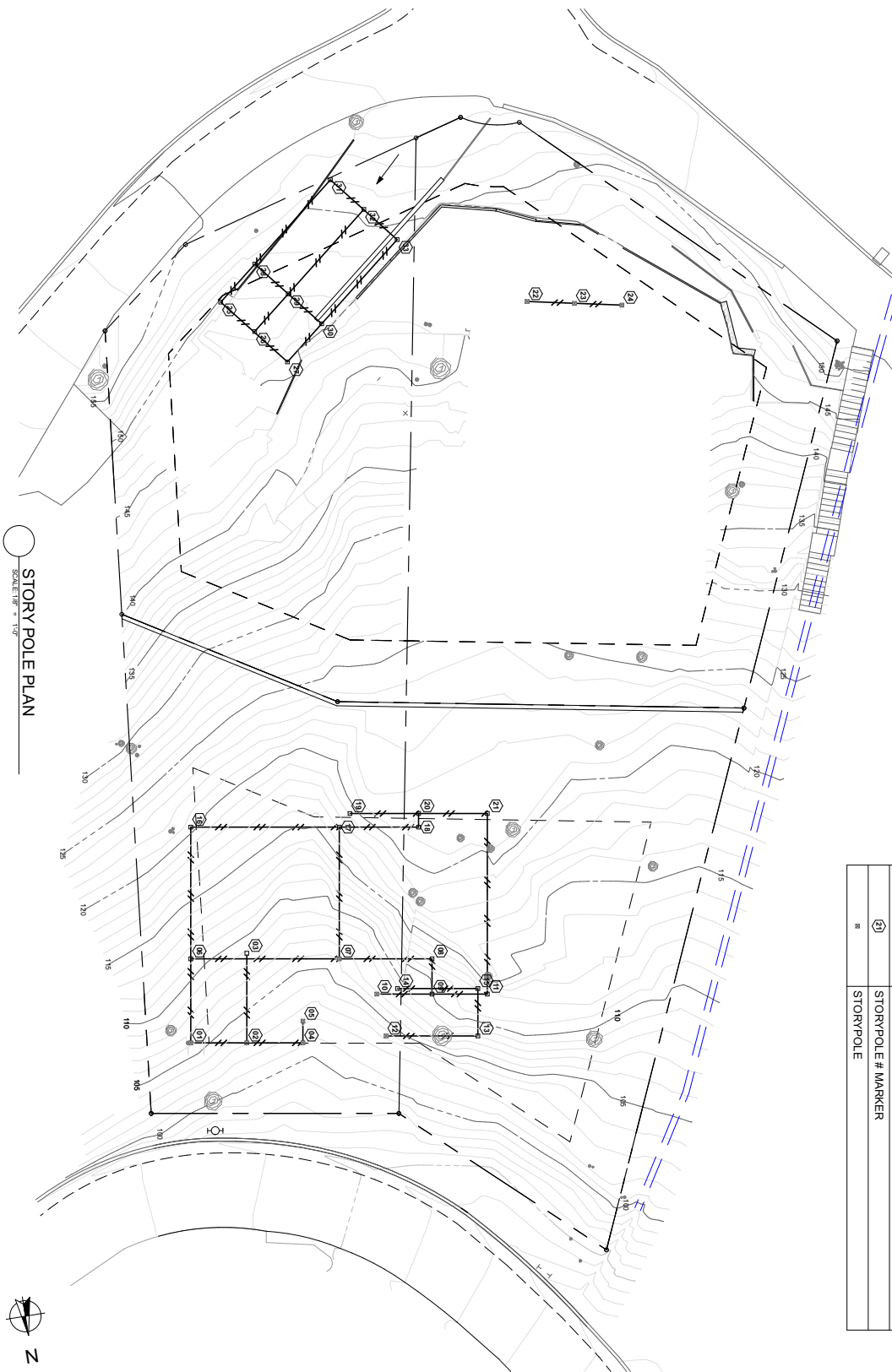
ISSUES	
MARK	DESCRIPTION
7/02/18	PLANNING SUBMISSION
2/04/19	PLANNING SUBMISSION
4/04/19	PLANNING SUBMISSION
7/26/19	PLANNING SUBMISSION
2/24/2020	PLANNING SUBMISSION
9/24/2020	PLANNING SUBMISSION

A.P.N 012-043-11 & 12
 52/54 Fremont Street
 San Rafael CA 94965
 A.P.N.: 012-043-11 & 12

Owner:
 Pacific Private Money Fund I, LLC
 Et Al c/o Mark Hanf, Manager
 1555 Grant Ave.
 Novato, CA 94945



Arterberry
 RESIDENTIAL DESIGN
 495 Gate 5 Rd, Studio E,
 Sausalito, CA 94965
 Phone: 415 944-5800
 Millard@Arterberry-Design.com



STORY POLE PLAN
SCALE: 1/8" = 1'-0"

LEGEND	
	FLAGLINE
	STORYPOLE # MARKER
	STORYPOLE

STORY POLES HEIGHTS

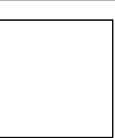
Pole # 01	18'-4 1/2"
Pole # 02	22'-8 1/2"
Pole # 03	18'-6"
Pole # 04	21'-5 3/4"
Pole # 05	20'-5 3/4"
Pole # 06	16'-7 1/4"
Pole # 07	29'-8 3/4"
Pole # 08	18'-6 1/4"
Pole # 09	20'-9"
Pole # 10	21'-4 1/2"
Pole # 11	15'-7 1/4"
Pole # 12	16'-6 1/4"
Pole # 13	11'-6 1/4"
Pole # 14	12'-7"
Pole # 15	9'-7"
Pole # 16	7'-7 1/4"
Pole # 17	18'-8 3/4"
Pole # 18	10'-5 3/4"
Pole # 19	8'-7 1/4"
Pole # 20	10'-5 3/4"
Pole # 21	6'-7 1/4"
Pole # 22	9'-3 3/4"
Pole # 23	11'-4"
Pole # 24	9'-3 3/4"
Pole # 25	4'-11 1/2"
Pole # 26	11'-1"
Pole # 27	8'-6 1/2"
Pole # 28	6'-11 1/2"
Pole # 29	14'-1 1/2"
Pole # 30	10'-11 1/2"
Pole # 31	7'-0"
Pole # 32	10'-11"
Pole # 33	8'-9 3/4"

PROJECT # AS102
CONTRACT # 15020000000000000000
ISSUED FOR PERMITS
DATE 02/26/2020
DESIGNED BY [Blank]
CHECKED BY [Blank]
DATE [Blank]
SCALE [Blank]
PROJECT # AS102
STORY POLE PLAN

ISSUES	
MARK	DESCRIPTION
7/02/18	PLANNING SUBMISSION
2/04/19	PLANNING SUBMISSION
4/04/19	PLANNING SUBMISSION
7/26/19	PLANNING SUBMISSION
2/24/2020	PLANNING SUBMISSION
9/24/2020	PLANNING SUBMISSION

A.P.N 012-043-11 & 12
 52/54 Fremont Street
 San Rafael CA 94965
 A.P.N.: 012-043-11 & 12

Owner:
 Pacific Private Money Fund I, LLC
 Et Al c/o Mark Hanf, Manager
 1555 Grant Ave.
 Novato, CA 94945



Arterberry
 RESIDENTIAL DESIGN
 495 Gate 5 Rd, Studio E,
 Sausalito, CA 94965
 Phone: 415 944-5480
 Millard@Arterberry-Design.com

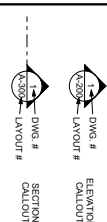
FLOOR PLAN GENERAL NOTES

REFER TO GENERAL NOTES, SH# 1, 2, 3, 4, 5 & 6 FOR FURTHER INFORMATION.

FLOOR PLAN SYMBOLS LEGEND

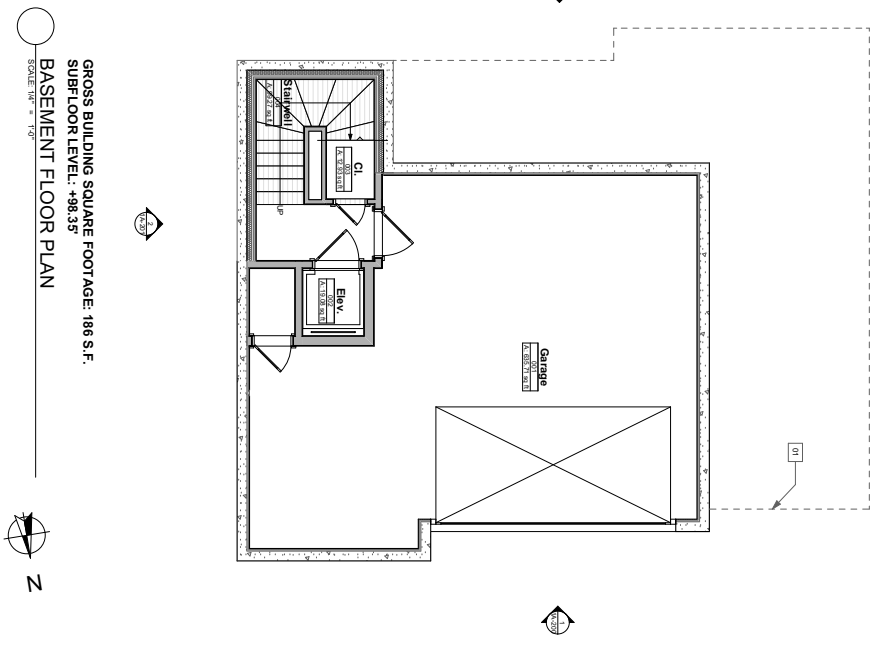
- (E) EXTERIOR CONCRETE/BRICK WALL
- (I) INTERIOR WOOD FRAMED WALL
- (W) 2X4 WOOD FRAMED WALL. SEE STRUCTURAL PLANS.
- (W) NEW WINDOW CALLOUT - SEE WINDOW SCHEDULE.
- (W) NEW WINDOW SCHEDULE - SEE WINDOW SCHEDULE.
- (W) NEW WINDOW SCHEDULE - SEE WINDOW SCHEDULE.
- (W) NEW WINDOW SCHEDULE - SEE WINDOW SCHEDULE.
- (W) NEW WINDOW SCHEDULE - SEE WINDOW SCHEDULE.
- (W) NEW WINDOW SCHEDULE - SEE WINDOW SCHEDULE.

KEY NOTE CALLOUT - SEE FLOOR PLAN KEY NOTES BELOW



FLOOR PLAN KEY NOTES

01- LINE OF LEVEL ABOVE



GROSS BUILDING SQUARE FOOTAGE: 186 S.F.
 SUBFLOOR LEVEL: +98.35'
 BASEMENT FLOOR PLAN
 SCALE: 1/8" = 1'-0"

ISSUES	
MARK	DESCRIPTION
7/02/18	PLANNING SUBMISSION
2/04/19	PLANNING SUBMISSION
4/04/19	PLANNING SUBMISSION
7/26/19	PLANNING SUBMISSION
2/24/2020	PLANNING SUBMISSION
9/24/2020	PLANNING SUBMISSION

A.P.N 012-043-11 & 12
 52/54 Fremont Street
 San Rafael CA 94965
 A.P.N.: 012-043-11 & 12

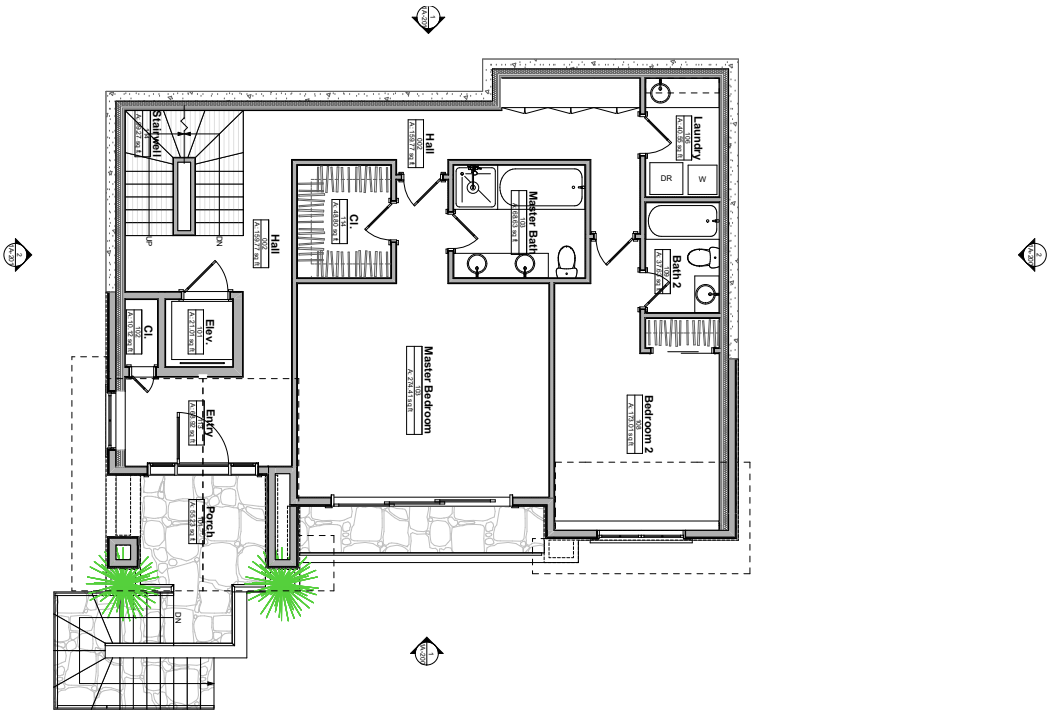
Owner:
 Pacific Private Money Fund I, LLC
 Et Al c/o Mark Hanf, Manager
 1555 Grant Ave.
 Novato, CA 94945



Arterberry
 RESIDENTIAL DESIGN
 495 Gate 5 Rd. Studio E,
 Sausalito, CA 94965
 Phone: 415 944-5480
 Millard@Arterberry-Design.com

PROJECT #: 1001
DATE: 09/24/2020
DRAWING BY: MARK
CHECKED BY: MARK
PROJECT NAME: BASEMENT FLOOR PLAN
SCALE: 1/8" = 1'-0"
PROJECT #: 1A-100

GROSS BUILDING SQUARE FOOTAGE: 1487 S.F.
 SUBFLOOR LEVEL: +111.43'
FIRST FLOOR PLAN
 SCALE: 1/8" = 1'-0"

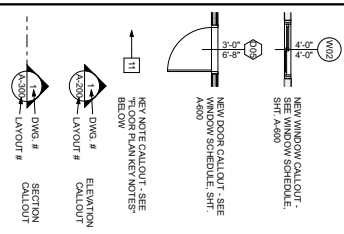


FLOOR PLAN GENERAL NOTES

REFER TO GENERAL NOTES, SHT. E-101 & SHT. G-02, FOR FURTHER INFORMATION.

FLOOR PLAN SYMBOLS LEGEND

- (E) EXTERIOR CONCRETE/BRICK WALL
- (I) INTERIOR WOOD FRAMED WALL
- (N) 2X4 WOOD FRAMED WALL - SEE STRUCTURAL PLANS
- (W)02 NEW WINDOW CALLOUT - SEE WINDOW SCHEDULE - SHT. A-600
- (W)09 NEW DOOR CALLOUT - SEE WINDOW SCHEDULE - SHT. A-600



MARK	DATE	DESCRIPTION
	7/02/18	PLANNING SUBMISSION
	2/04/19	PLANNING SUBMISSION
	4/04/19	PLANNING SUBMISSION
	7/26/19	PLANNING SUBMISSION
	2/24/2020	PLANNING SUBMISSION
	9/24/2020	PLANNING SUBMISSION

PROJECT #	2021
CONTRACTOR	ARTERBERRY DESIGN INC.
OWNER	PACIFIC PRIVATE MONEY FUND I, LLC
MANAGER	ET AI c/o MARK HANF, MANAGER
ADDRESS	1555 GRANT AVE., NOVATO, CA 94945
DATE	10/15/2021
DRAWN BY	MARK HANF
CHECKED BY	MARK HANF
PROJECT #	2021
DATE	10/15/2021
DRAWN BY	MARK HANF
CHECKED BY	MARK HANF

1A-101

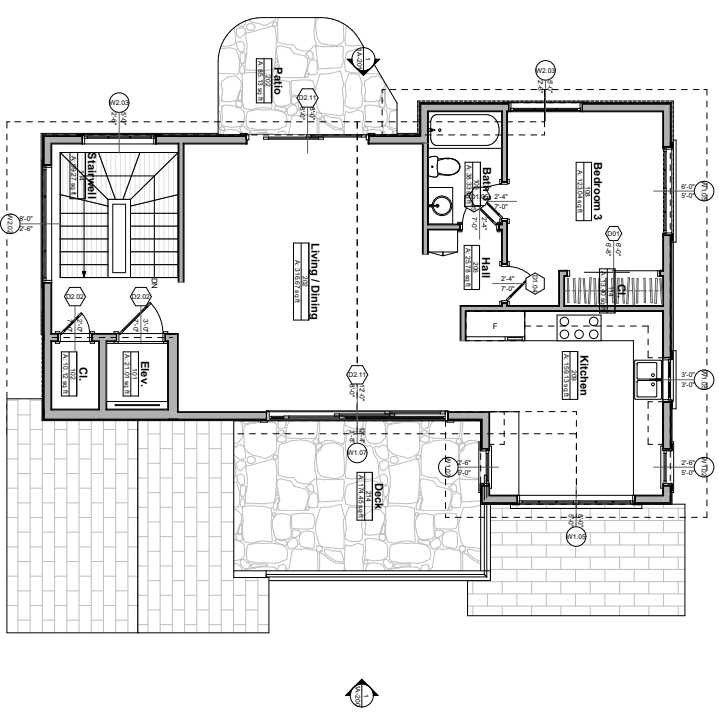
A.P.N 012-043-11 & 12

Owner:
 Pacific Private Money Fund I, LLC
 Et AI c/o Mark Hanf, Manager
 1555 Grant Ave.
 Novato, CA 94945

52/54 Fremont Street
 San Rafael CA 94965
 A.P.N.: 012-043-11 & 12

495 Gate 5 Rd. Studio E,
 Sausalito, CA 94965
 Phone: 415 944-5480
 Millard@Arterberry-Design.com

GROSS BUILDING SQUARE FOOTAGE: 1274 S.F.
 SUB-FLOOR LEVEL: +122.52'
 SECOND FLOOR PLAN
 SCALE: 1/8" = 1'-0"



- FLOOR PLAN GENERAL NOTES**
- REFER TO GENERAL NOTES, SHT. A-101 & SHT. C-102 FOR FURTHER INFORMATION.
- FLOOR PLAN SYMBOLS LEGEND**
- (E) EXTERIOR CONCRETE/BRICK WALL
 - (I) INTERIOR WOOD FRAMED WALL
 - (W) 2X4 WOOD FRAMED WALL - SEE STRUCTURAL PLAN
 - (W) NEW WINDOW CALLOUT - SEE WINDOW SCHEDULE, SHT. A-100
 - (W) NEW DOOR CALLOUT - SEE WINDOW SCHEDULE, SHT. A-100
- KEY: NOTECALLOUT, SEE FLOOR PLAN KEYNOTES BELOW
- (ELEV) ELEVATION CALLOUT
 - (LAYOUT) LAYOUT #
 - (SECTION) SECTION CALLOUT

MARK	DATE	DESCRIPTION
	7/21/18	PLANNING SUBMISSION
	2/04/19	PLANNING SUBMISSION
	4/04/19	PLANNING SUBMISSION
	7/26/19	PLANNING SUBMISSION
	2/24/2020	PLANNING SUBMISSION
	9/24/2020	PLANNING SUBMISSION

A.P.N 012-043-11 & 12

52/54 Fremont Street
 San Rafael CA 94965
 A.P.N.: 012-043-11 & 12

Owner:
 Pacific Private Money Fund I, LLC
 Et Al c/o Mark Hanf, Manager
 1555 Grant Ave.
 Novato, CA 94945



495 Gate 5 Rd, Studio E,
 Sausalito, CA 94965
 Phone: 415 944-5480

Millard@Arterberry-Design.com

PROJECT # 2021

CONTRACT # 2021-001

DATE 12/22/2020

DESIGNED BY: MARK HANF

CHECKED BY: MARK HANF

PROJECT # 2021

CONTRACT # 2021-001

DATE 12/22/2020

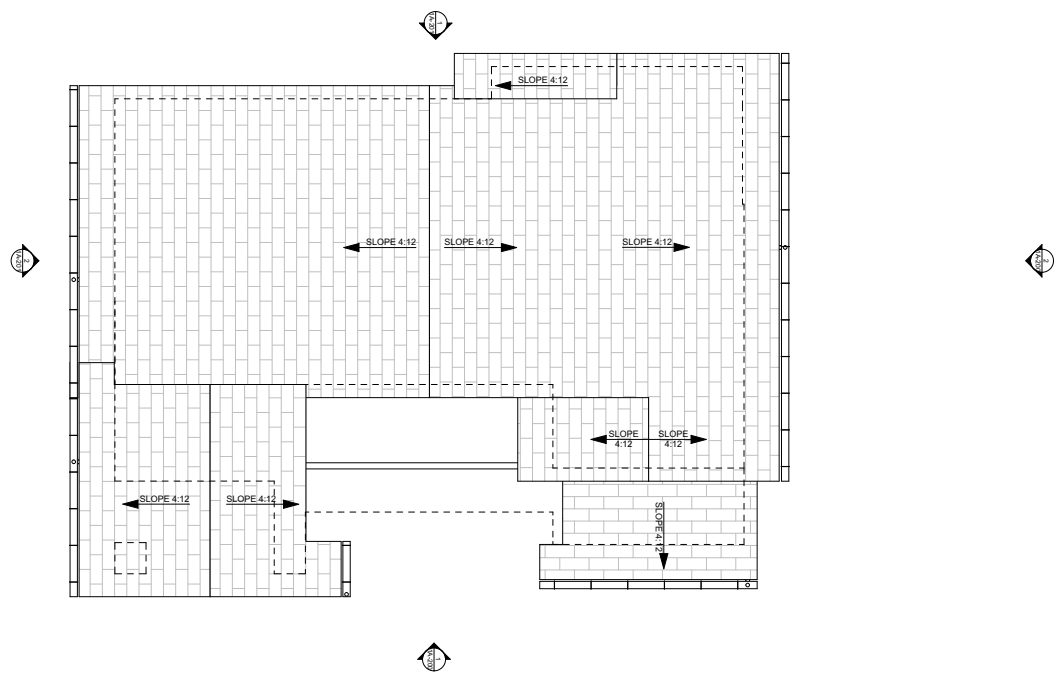
DESIGNED BY: MARK HANF

CHECKED BY: MARK HANF

1A-102

SECOND FLOOR PLAN

ROOF PLAN
SCALE: 1/8" = 1'-0"



- FLOOR PLAN GENERAL NOTES**
- REFER TO GENERAL NOTES, SHT. E-001 & SHT. G-002 FOR FURTHER INFORMATION.
- FLOOR PLAN SYMBOLS LEGEND**
- (E) EXTERIOR CONCRETE/BRICK WALL
 - (I) INTERIOR WOOD FRAMED WALL
 - (N) 2X4 WOOD FRAMED WALL - SEE STRUCTURAL PLANS
 - (W) NEW WINDOW CALLOUT - SEE WINDOW SCHEDULE - SHT. A-800
 - (N) NEW DOOR CALLOUT - SEE WINDOW SCHEDULE - SHT. A-600
 - (E) ELEVATION CALLOUT - SEE FLOOR PLAN GENERAL NOTES BELOW
 - (L) LAYOUT #
 - (S) SECTION CALLOUT

ISSUES	
MARK	DESCRIPTION
7/02/18	PLANNING SUBMISSION
2/04/19	PLANNING SUBMISSION
4/04/19	PLANNING SUBMISSION
7/26/19	PLANNING SUBMISSION
2/24/2020	PLANNING SUBMISSION
9/24/2020	PLANNING SUBMISSION

A.P.N 012-043-11 & 12
 52/54 Fremont Street
 San Rafael CA 94965
 A.P.N.: 012-043-11 & 12

Owner:
 Pacific Private Money Fund I, LLC
 Et Al c/o Mark Hanf, Manager
 1555 Grant Ave.
 Novato, CA 94945



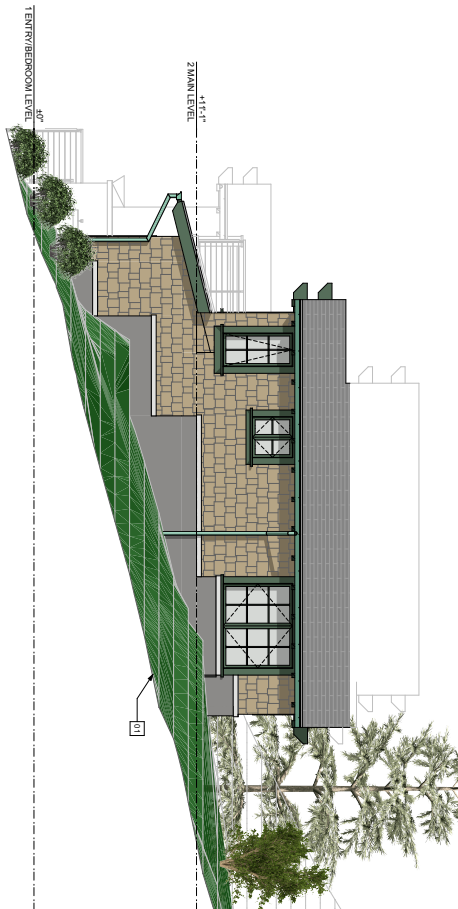
495 Gate 5 Rd, Studio E,
 Sausalito, CA 94965
 Phone: 415 944-5480

Millard@Arterberry-Design.com

1A-103

ROOF PLAN

PROJECT # 2018-001
 DRAWING DATE 07/02/2018
 DRAWING BY: [Name]
 CHECKED BY: [Name]
 APPROVED BY: [Name]



2 WEST ELEVATION
SCALE: 1/4" = 1'-0"



1 NORTH ELEVATION
SCALE: 1/4" = 1'-0"

EXTERIOR ELEVATION GENERAL NOTES

- REFER TO GENERAL NOTES, SHEET 01-01 & SHEET 02-01 FOR FURTHER INFORMATION.

EXTERIOR ELEVATION SYMBOLS LEGEND

↑ 11 KEY NOTE CALLOUT - SEE KEY NOTE PLAN FOR NOTES BELOW

- EXTERIOR ELEVATION KEY NOTES**
- 01- (E) GRADE LINE
 - 02- DRIVEWAY
 - 03- LIVING WALL (GREEN WALL)
 - 04- ENTRY STAIRS
 - 05- PORCH
 - 06- PATIO SLAB
 - 07- DECK
 - 08- UNCOVERED PARKING SPACE

ISSUES	
MARK	DESCRIPTION
7/2/18	PLANNING SUBMISSION
2/24/19	PLANNING SUBMISSION
4/24/19	PLANNING SUBMISSION
7/26/19	PLANNING SUBMISSION
2/24/20	PLANNING SUBMISSION
9/24/20	PLANNING SUBMISSION

A.P.N 012-043-11 & 12

52/54 Fremont Street
San Rafael CA 94965
A.P.N.: 012-043-11 & 12

Owner:
Pacific Private Money Fund I, LLC
Et Al c/o Mark Hanf, Manager
1555 Grant Ave.
Novato, CA 94945

Arterberry
RESIDENTIAL DESIGN

495 Gate 5 Rd, Studio E,
Sausalito, CA 94965
Phone: 415 944-5480

Millard@Arterberry-Design.com

1A-200

EXTERIOR ELEVATIONS

EXTERIOR ELEVATION GENERAL NOTES

REFER TO GENERAL NOTES, SHEET 01-01 & SHEET 02-01 FOR FURTHER INFORMATION.

EXTERIOR ELEVATION SYMBOLS LEGEND

KEY NOTE CALLOUT - SEE KEY NOTE PLAN SET NOTED BELOW

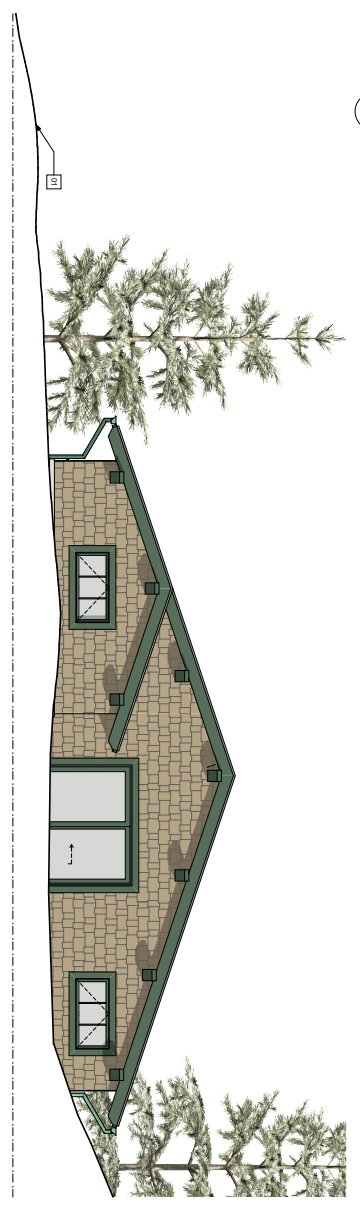


EXTERIOR ELEVATION KEY NOTES

- 01-- (E) GRADE LINE
- 02-- DRIVEWAY
- 03-- LIVING WALL (GREEN WALL)
- 04-- ENTRY STAIRS
- 05-- PORCH
- 06-- PATIO SLAB
- 07-- DECK
- 08-- UNCOVERED PARKING SPACE



2 EAST ELEVATION
SCALE 1/8" = 1'-0"



1 SOUTH ELEVATION
SCALE 1/8" = 1'-0"

ISSUES	
MARK	DESCRIPTION
7/02/18	PLANNING SUBMISSION
2/04/19	PLANNING SUBMISSION
4/04/19	PLANNING SUBMISSION
7/26/19	PLANNING SUBMISSION
2/24/2020	PLANNING SUBMISSION
9/24/2020	PLANNING SUBMISSION

A.P.N 012-043-11 & 12
52/54 Fremont Street
San Rafael CA 94965
A.P.N.: 012-043-11 & 12

Owner:
Pacific Private Money Fund I, LLC
Et Al c/o Mark Hanf, Manager
1555 Grant Ave.
Novato, CA 94945



495 Gate 5 Rd, Studio E,
Sausalito, CA 94965
Phone: 415 944-5480

Millard@Arterberry-Design.com

PROJECT # 1A-201
CONTRACT 1A-201-01
ISSUED BY: MARK
CHECKED BY: MARK
DATE: 10/20/2020
PROJECT # 1A-201
EXTERIOR ELEVATIONS

VIEW FROM MARQUARD AVENUE



1A-000

ISSUES	
MARK	DESCRIPTION
7/02/18	PLANNING SUBMISSION
2/04/19	PLANNING SUBMISSION
4/04/19	PLANNING SUBMISSION
7/26/19	PLANNING SUBMISSION
2/24/2020	PLANNING SUBMISSION
9/24/2020	PLANNING SUBMISSION

A.P.N 012-043-11 & 12
 52/54 Fremont Street
 San Rafael CA 94965
 A.P.N.: 012-043-11 & 12

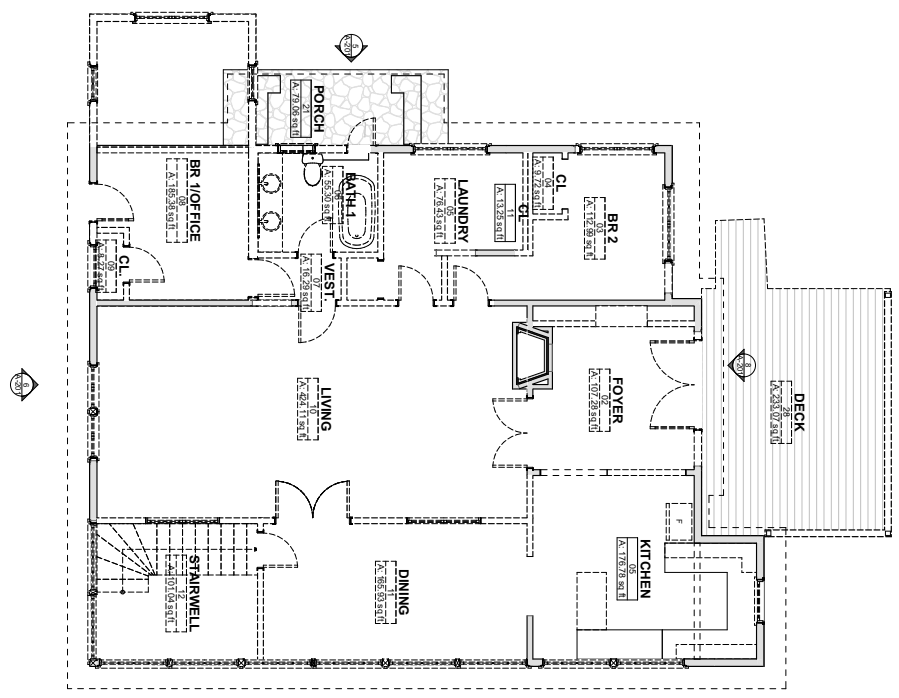
Owner:
 Pacific Private Money Fund I, LLC
 Et Al c/o Mark Hanf, Manager
 1555 Grant Ave.
 Novato, CA 94945



495 Gate 5 Rd, Studio E,
 Sausalito, CA 94965
 Phone: 415 944-5480

Millard@Arterberry-Design.com

1 FIRST FLOOR DEMOLITION PLAN
SCALE: 1/8" = 1'-0"



DEMOLITION PLAN GENERAL NOTES

- REFER TO "DEMOLITION NOTES" DIVISION 1, SH/1, SECTION FOR DEMOLITION REQUIREMENTS.

DEMOLITION PLAN SYMBOLS LEGEND

- (E) EXTERIOR WALL TO REMAIN
- (I) INTERIOR WALL TO REMAIN
- (D) WALL TO BE DEMOLISHED
- ELEMENTS SHOWN DASHED TO BE REMOVED
- KEY NOT CALLED OUT SEE "DEMOLITION PLAN KEY" NOTES BELOW

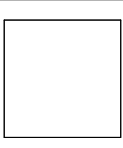
PROJECT #	
ZAD-200	2020
CONTRACT #	
DRAWING #	
CHECKED BY: DATE	
DESIGNED BY: DATE	
PROJECT #	
CONTRACT #	
DRAWING #	
CHECKED BY: DATE	
DESIGNED BY: DATE	

ISSUES		
MARK	DATE	DESCRIPTION
	7/21/18	PLANNING SUBMISSION
	2/04/19	PLANNING SUBMISSION
	4/04/19	PLANNING SUBMISSION
	7/26/19	PLANNING SUBMISSION
	2/24/2020	PLANNING SUBMISSION
	9/24/2020	PLANNING SUBMISSION

A.P.N 012-043-11 & 12

52/54 Fremont Street
San Rafael CA 94965
A.P.N.: 012-043-11 & 12

Owner:
Pacific Private Money Fund I, LLC
Et Al c/o Mark Hanf, Manager
1555 Grant Ave.
Novato, CA 94945



Arterberry
RESIDENTIAL DESIGN

495 Gate 5 Rd, Studio E,
Sausalito, CA 94965
Phone: 415 944-5480

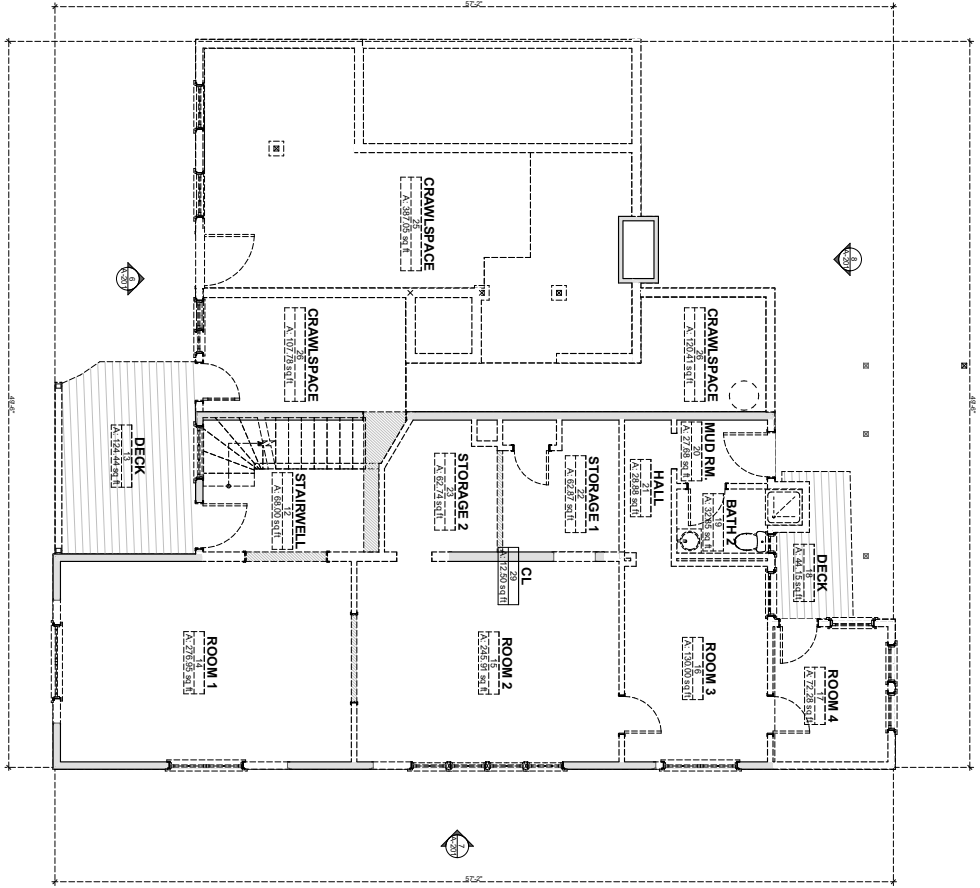
Millard@Arterberry-Design.com

DEMOLITION PLAN GENERAL NOTES

- REFER TO "DEMOLITION NOTES" DIVISION 1, SH-1 (300) FOR DEMOLITION REQUIREMENTS.

DEMOLITION PLAN SYMBOLS LEGEND

- (E) EXTERIOR WALL TO REMAIN
- (R) INTERIOR WALL TO REMAIN
- (D) WALL TO BE DEMOLISHED
- ELEMENTS SHOWN DASHED TO BE REMOVED
- KEY NOTE CALL OUT SEE "DEMOLITION PLAN KEY NOTES" BELOW



1 BASEMENT DEMOLITION PLAN
SCALE: 1/8" = 1'-0"

MARK	DATE	DESCRIPTION
	7/02/18	PLANNING SUBMISSION
	2/04/19	PLANNING SUBMISSION
	4/04/19	PLANNING SUBMISSION
	7/26/19	PLANNING SUBMISSION
	2/24/2020	PLANNING SUBMISSION
	9/24/2020	PLANNING SUBMISSION

PROJECT # 201
CONTRACT # 2018-001
OWNER Pacific Private Money Fund I, LLC
DESIGNED BY MARK
CHECKED BY MARK
DATE 10/1/2020
PROJECT DEMOLITION MAIN RESIDENCE (LOWER FLOOR)
PROJECT # ZAD-201

ISSUES

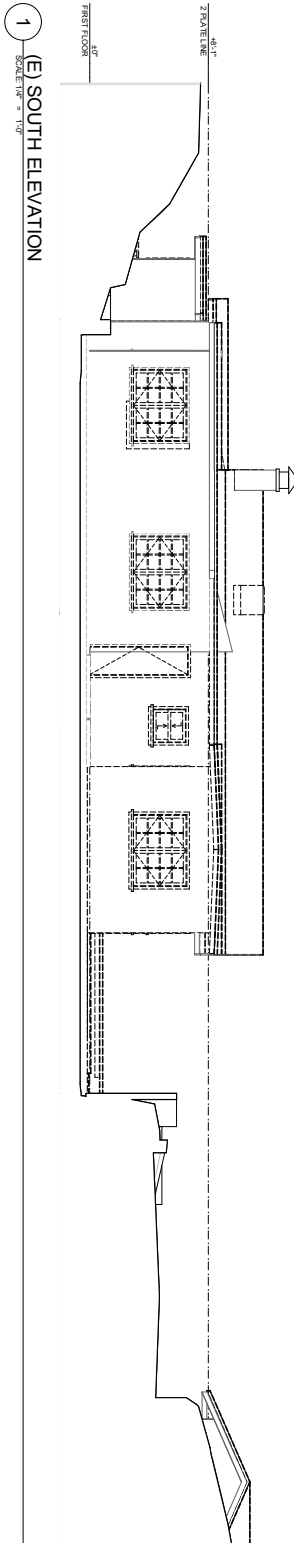
MARK	DATE	DESCRIPTION
	7/02/18	PLANNING SUBMISSION
	2/04/19	PLANNING SUBMISSION
	4/04/19	PLANNING SUBMISSION
	7/26/19	PLANNING SUBMISSION
	2/24/2020	PLANNING SUBMISSION
	9/24/2020	PLANNING SUBMISSION

A.P.N 012-043-11 & 12
 52/54 Fremont Street
 San Rafael CA 94965
 A.P.N.: 012-043-11 & 12

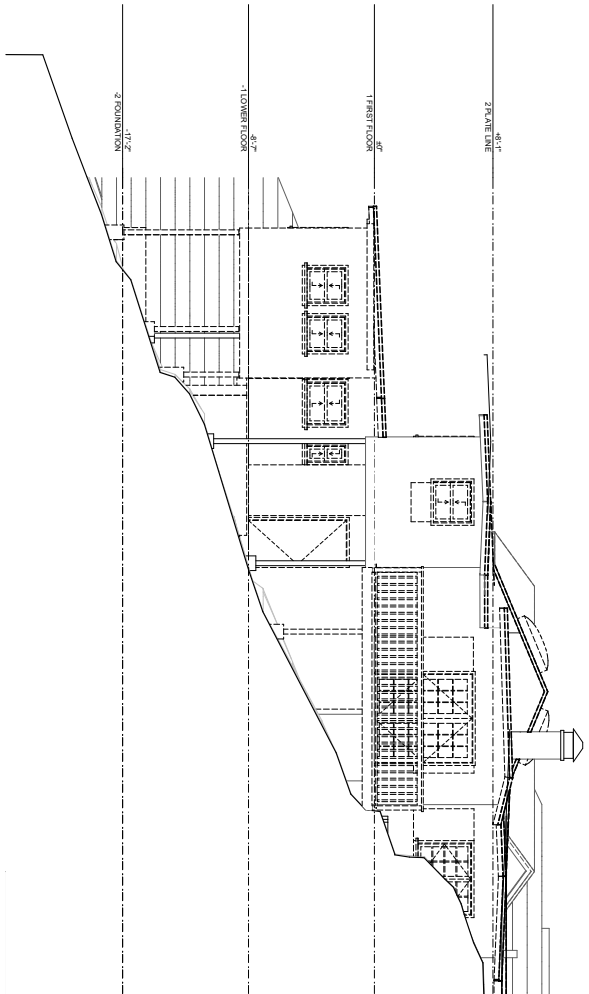
Owner:
 Pacific Private Money Fund I, LLC
 Et Al c/o Mark Hanf, Manager
 1555 Grant Ave.
 Novato, CA 94945



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 Sausalito, CA 94965
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1 (E) SOUTH ELEVATION
SCALE 1/8" = 1'-0"



2 (E) WEST ELEVATION
SCALE 1/8" = 1'-0"

EXISTING ELEVATION GENERAL NOTES
 * REFER TO "DEMOLITION NOTES" DIVISION 1, SHEET 0501 FOR DEMOLITION REQUIREMENTS.
EXISTING ELEVATION SYMBOLS LEGEND
 KEY NOTE CALL OUT - SEE "DEMOLITION PLAN KEY NOTES" BELOW



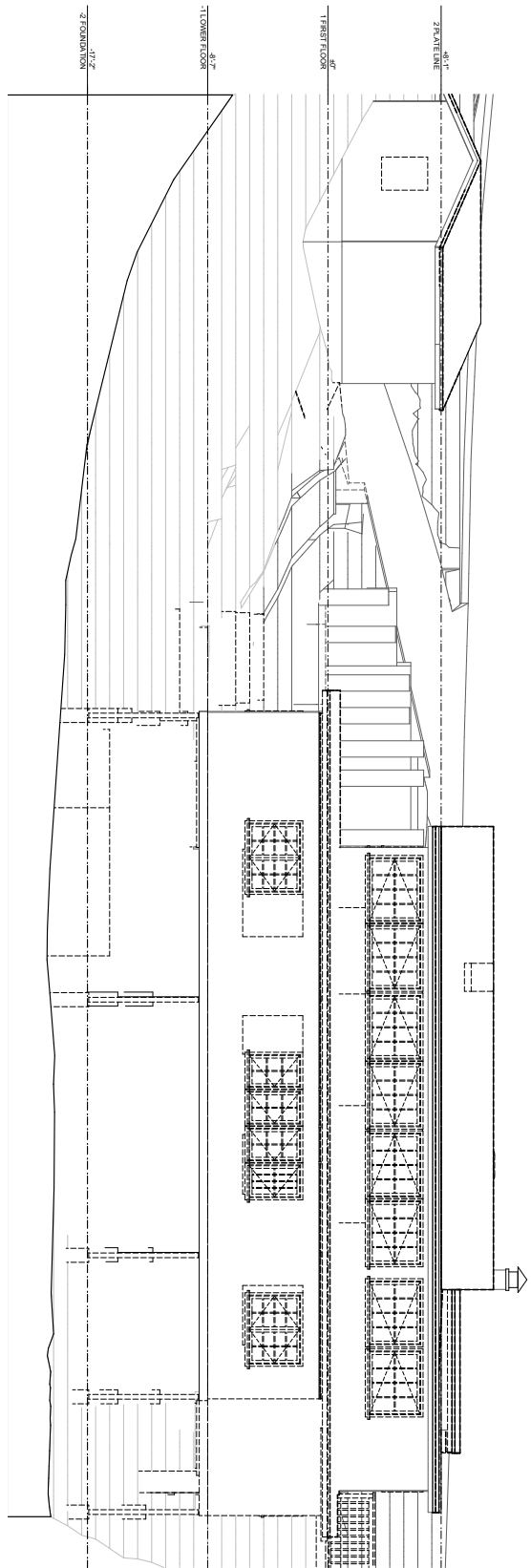
ISSUES	
MARK	DESCRIPTION
7/02/18	PLANNING SUBMISSION
2/04/19	PLANNING SUBMISSION
4/04/19	PLANNING SUBMISSION
7/26/19	PLANNING SUBMISSION
2/24/2020	PLANNING SUBMISSION
9/24/2020	PLANNING SUBMISSION

A.P.N 012-043-11 & 12
 52/54 Fremont Street
 San Rafael CA 94965
 A.P.N.: 012-043-11 & 12

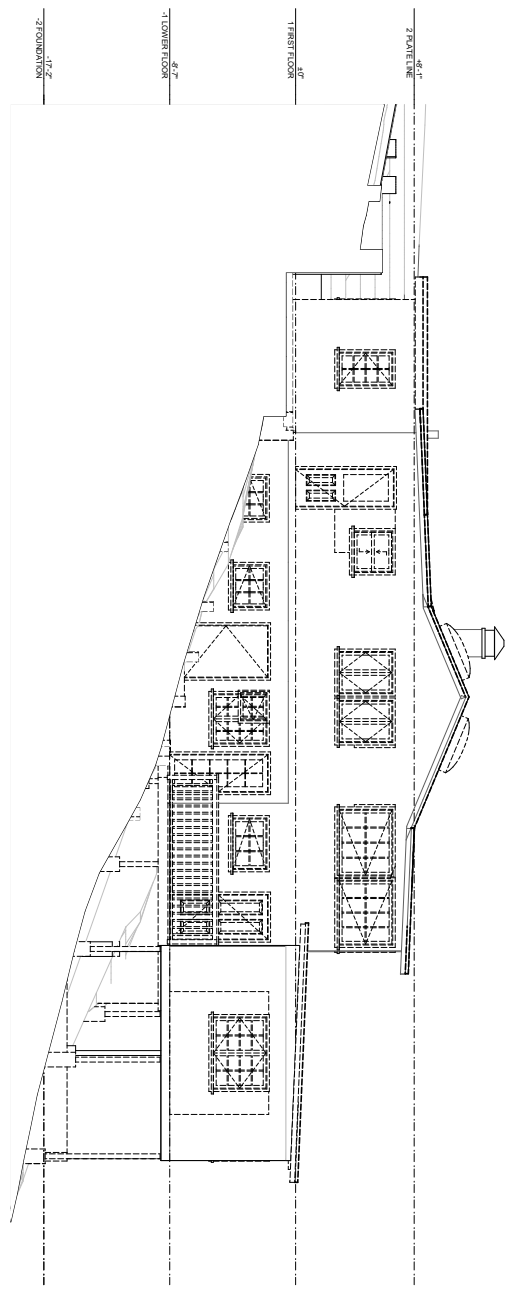
Owner:
 Pacific Private Money Fund I, LLC
 Et Al c/o Mark Hanf, Manager
 1555 Grant Ave.
 Novato, CA 94945

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 Sausalito, CA 94965
 Phone: 415 944-5480
 Millard@Arterberry-Design.com

ZAD-202
 EXISTING EXTERIOR ELEVATIONS



1 (E) NORTH ELEVATION
SCALE: 1/4" = 1'-0"



2 (E) EAST ELEVATION
SCALE: 1/4" = 1'-0"

EXISTING ELEVATION GENERAL NOTES
 * REFER TO "DEMOLITION NOTES" DIVISION 1, SHEET 0501 FOR DEMOLITION REQUIREMENTS
 EXISTING ELEVATION SYMBOLS LEGEND
 KEY NOTE CALL OUT - SEE "DEMOLITION PLAN KEY NOTES" BELOW



ISSUES	
MARK	DESCRIPTION
7/02/18	PLANNING SUBMISSION
2/04/19	PLANNING SUBMISSION
4/04/19	PLANNING SUBMISSION
7/26/19	PLANNING SUBMISSION
2/24/2020	PLANNING SUBMISSION
9/24/2020	PLANNING SUBMISSION

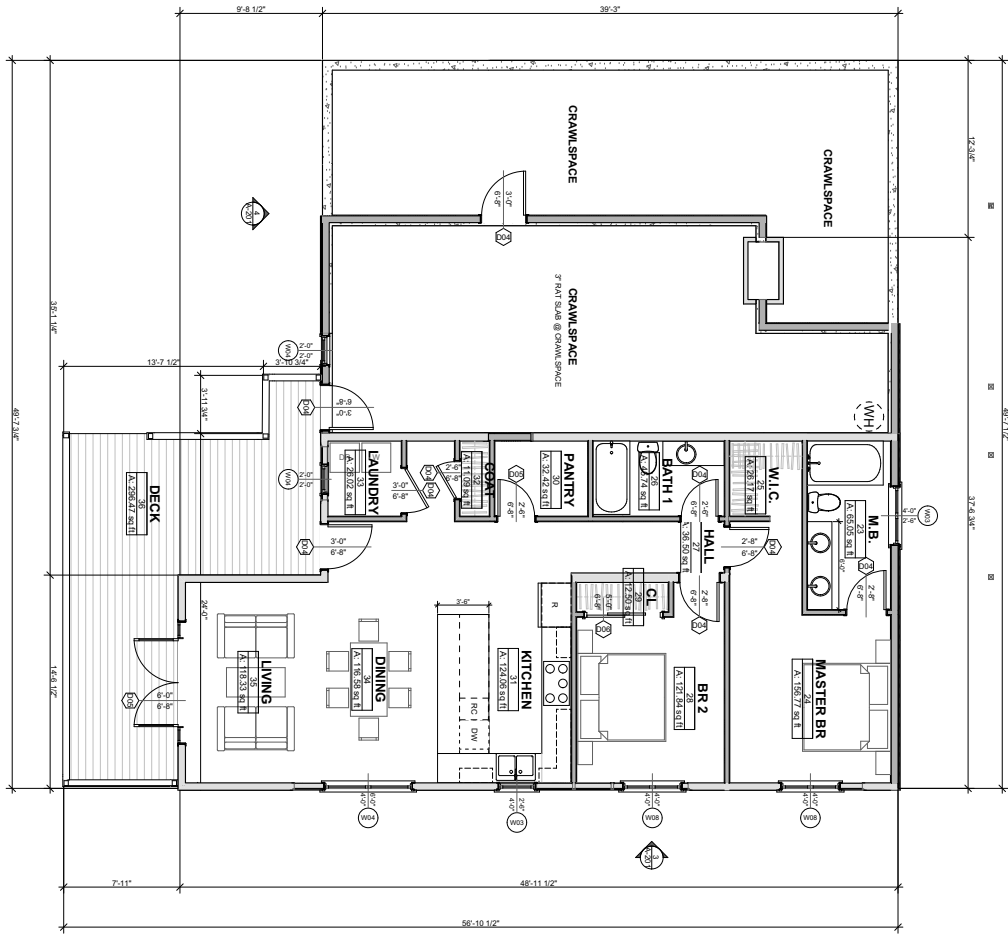
A.P.N 012-043-11 & 12
 52/54 Fremont Street
 San Rafael CA 94965
 A.P.N.: 012-043-11 & 12

Owner:
 Pacific Private Money Fund I, LLC
 Et Al c/o Mark Hanf, Manager
 1555 Grant Ave.
 Novato, CA 94945

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ZAD-203
 EXISTING EXTERIOR ELEVATIONS

BASEMENT FLOOR PLAN
SCALE: 1/8" = 1'-0"



FLOOR PLAN GENERAL NOTES

- REFER TO GENERAL NOTES, SHT. 2.001 & SHT. 3.002 FOR FURTHER INFORMATION.

FLOOR PLAN SYMBOLS LEGEND

- (E) EXTERIOR CONCRETE/BRICK WALL
- (I) INTERIOR WOOD FRAMED WALL
- (W) 2X4 WOOD FRAMED WALL - SEE STRUCTURAL PLANS
- (W) NEW WINDOW CALLOUT - SEE WINDOW SCHEDULE, SHT. A.600
- (W) NEW DOOR CALLOUT - SEE WINDOW SCHEDULE, SHT. A.600
- (N) NEW NOTE CALLOUT - SEE FLOOR PLAN NOTES BELOW
- (D) DWG # ELEVATION CALLOUT
- (L) DWG # LAYOUT # SECTION CALLOUT

ISSUES	
MARK	DESCRIPTION
7/02/18	PLANNING SUBMISSION
2/04/19	PLANNING SUBMISSION
4/04/19	PLANNING SUBMISSION
7/26/19	PLANNING SUBMISSION
2/24/2020	PLANNING SUBMISSION
9/24/2020	PLANNING SUBMISSION

PROJECT # 2018
CONTRACT # 012-043-11 & 12
DATE 12/29/2019
DRAWN BY MAM
CHECKED BY MAM
SCALE 1/8" = 1'-0"

BASEMENT FLOOR PLAN - SAN RAFAEL, CA

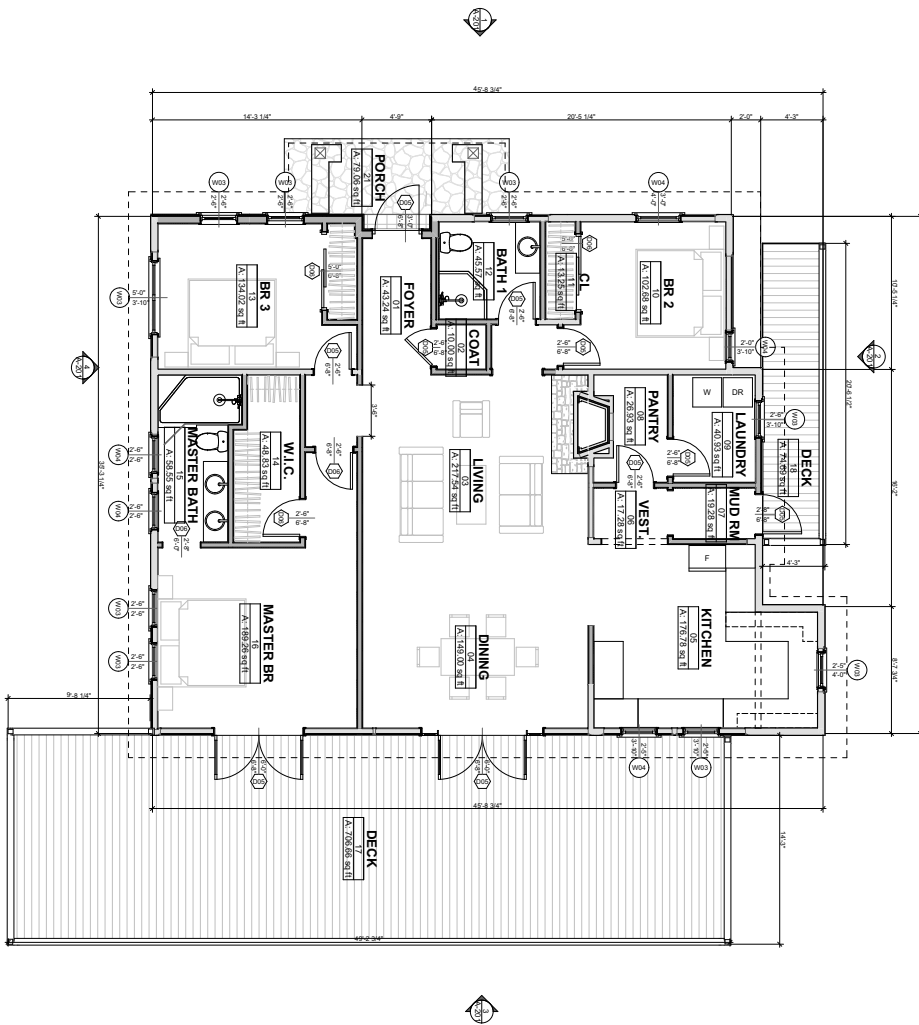
2A-100

A.P.N 012-043-11 & 12
 52/54 Fremont Street
 San Rafael CA 94965
 A.P.N.: 012-043-11 & 12

Owner:
 Pacific Private Money Fund I, LLC
 Et Al c/o Mark Hanf, Manager
 1555 Grant Ave.
 Novato, CA 94945

495 Gate 5 Rd. Studio E,
 Sausalito, CA 94965
 Phone: 415 944-5480

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FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"



FLOOR PLAN GENERAL NOTES

- REFER TO GENERAL NOTES, SHT. 2-101 & SHT. 2-102, FOR FURTHER INFORMATION.

FLOOR PLAN SYMBOLS LEGEND

- (E) EXTERIOR CONCRETE/BRICK WALL
- (I) INTERIOR WOOD FRAMED WALL
- (N) 2X4 WOOD FRAMED WALL - SEE STRUCTURAL PLANS
- (W) NEW WINDOW CALLOUT - SEE WINDOW SCHEDULES - SHT. A-600
- (D) NEW DOOR CALLOUT - SEE WINDOW SCHEDULE - SHT. A-600
- (1) KEY NOTE CALLOUT - SEE FLOOR PLAN NEW NOTES BELOW
- (ELEV) ELEVATION CALLOUT
- (LAYOUT) LAYOUT #
- (SECTION) SECTION CALLOUT #

ISSUES	
MARK	DESCRIPTION
7/2/18	PLANNING SUBMISSION
2/04/19	PLANNING SUBMISSION
4/04/19	PLANNING SUBMISSION
7/26/19	PLANNING SUBMISSION
2/24/2020	PLANNING SUBMISSION
9/24/2020	PLANNING SUBMISSION

PROJECT #	2018
CONTRACT #	012-043-11 & 12
DATE	09/24/2020
DESIGNED BY	MARK
CHECKED BY	MARK
DATE	09/24/2020
PROJECT #	2018
CONTRACT #	012-043-11 & 12
DATE	09/24/2020
DESIGNED BY	MARK
CHECKED BY	MARK
DATE	09/24/2020

A.P.N 012-043-11 & 12

52/54 Fremont Street
San Rafael CA 94965
A.P.N.: 012-043-11 & 12

Owner:
Pacific Private Money Fund I, LLC
Et Al c/o Mark Hanf, Manager
1555 Grant Ave.
Novato, CA 94945

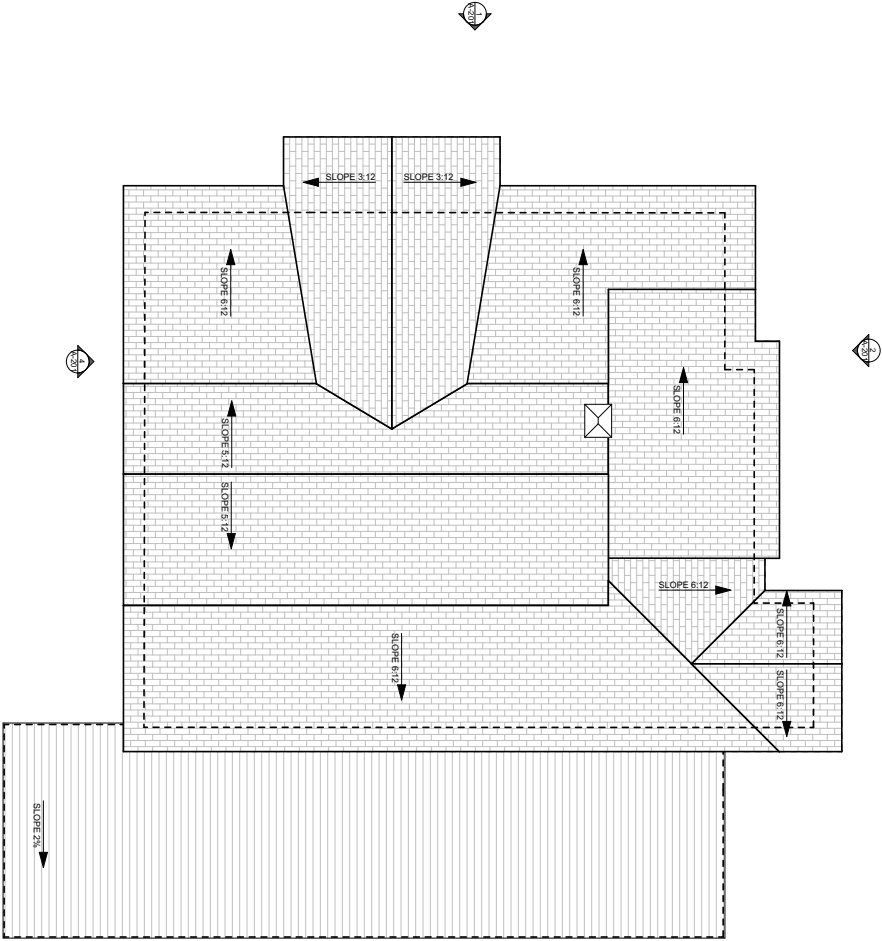
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Sausalito, CA 94965
Phone: 415 944-5480

Millard@Arterberry-Design.com

2A-101

ROOF PLAN
SCALE: 1/8" = 1'-0"



FLOOR PLAN GENERAL NOTES

- REFER TO GENERAL NOTES, SHT. 2.001 & SHT. 3.002 FOR FURTHER INFORMATION.

FLOOR PLAN SYMBOLS LEGEND

- (E) EXTERIOR CONCRETE/BRICK WALL
- (I) INTERIOR WOOD FRAMED WALL
- (N) 2X4 WOOD FRAMED WALL - SEE STRUCTURAL PLANS
- (W02) NEW WINDOW CALLOUT - SEE WINDOW SCHEDULE - SHT. A.600
- (W03) NEW WINDOW CALLOUT - SEE WINDOW SCHEDULE - SHT. A.600
- (W04) NEW WINDOW CALLOUT - SEE WINDOW SCHEDULE - SHT. A.600

KEY: NOTECALLOUT, SEE FLOOR PLAN KEYNOTES BELOW

1-1: ELEVATION CALLOUT

2-2: SECTION CALLOUT

3-3: SECTION CALLOUT

4-4: SECTION CALLOUT

5-5: SECTION CALLOUT

6-6: SECTION CALLOUT

7-7: SECTION CALLOUT

8-8: SECTION CALLOUT

9-9: SECTION CALLOUT

10-10: SECTION CALLOUT

11-11: SECTION CALLOUT

12-12: SECTION CALLOUT

13-13: SECTION CALLOUT

14-14: SECTION CALLOUT

15-15: SECTION CALLOUT

16-16: SECTION CALLOUT

17-17: SECTION CALLOUT

18-18: SECTION CALLOUT

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23-23: SECTION CALLOUT

24-24: SECTION CALLOUT

25-25: SECTION CALLOUT

26-26: SECTION CALLOUT

27-27: SECTION CALLOUT

28-28: SECTION CALLOUT

29-29: SECTION CALLOUT

30-30: SECTION CALLOUT

31-31: SECTION CALLOUT

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36-36: SECTION CALLOUT

37-37: SECTION CALLOUT

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40-40: SECTION CALLOUT

41-41: SECTION CALLOUT

42-42: SECTION CALLOUT

43-43: SECTION CALLOUT

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45-45: SECTION CALLOUT

46-46: SECTION CALLOUT

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92-92: SECTION CALLOUT

93-93: SECTION CALLOUT

94-94: SECTION CALLOUT

95-95: SECTION CALLOUT

96-96: SECTION CALLOUT

97-97: SECTION CALLOUT

98-98: SECTION CALLOUT

99-99: SECTION CALLOUT

100-100: SECTION CALLOUT

ISSUES	
MARK	DESCRIPTION
7/02/18	PLANNING SUBMISSION
2/04/19	PLANNING SUBMISSION
4/04/19	PLANNING SUBMISSION
7/26/19	PLANNING SUBMISSION
2/24/2020	PLANNING SUBMISSION
9/24/2020	PLANNING SUBMISSION

PROJECT #	2018
CONTRACT #	2018-001
ISSUE DATE	09/24/2020
ISSUE TIME	10:00 AM
ISSUE BY	MARK
CHECKED BY	MARK
DATE	09/24/2020
PROJECT #	2018
CONTRACT #	2018-001
ISSUE DATE	09/24/2020
ISSUE TIME	10:00 AM
ISSUE BY	MARK
CHECKED BY	MARK
DATE	09/24/2020

A.P.N 012-043-11 & 12

52/54 Fremont Street
San Rafael CA 94965
A.P.N.: 012-043-11 & 12

Owner:
Pacific Private Money Fund I, LLC
Et Al c/o Mark Hanf, Manager
1555 Grant Ave.
Novato, CA 94945

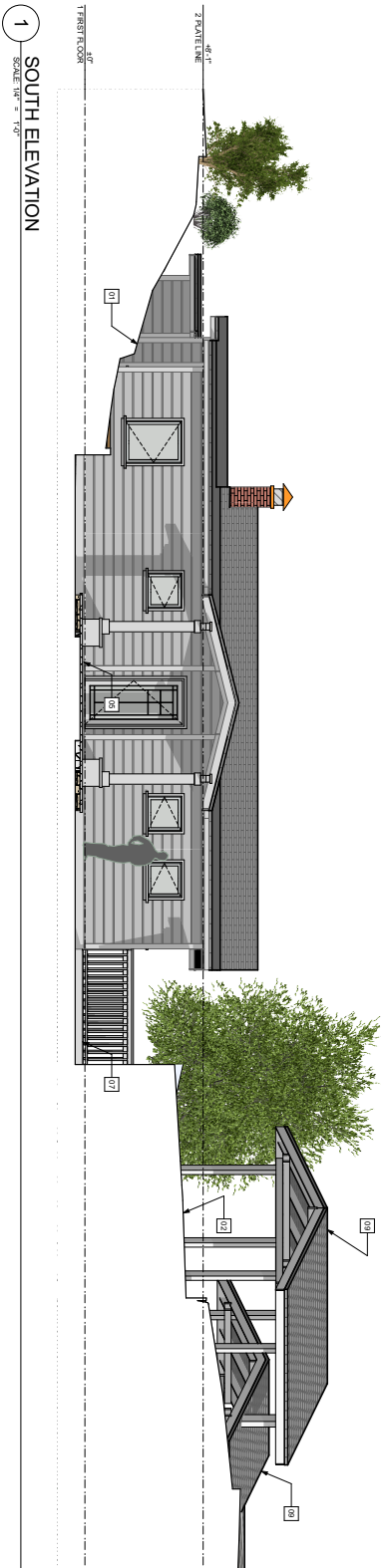


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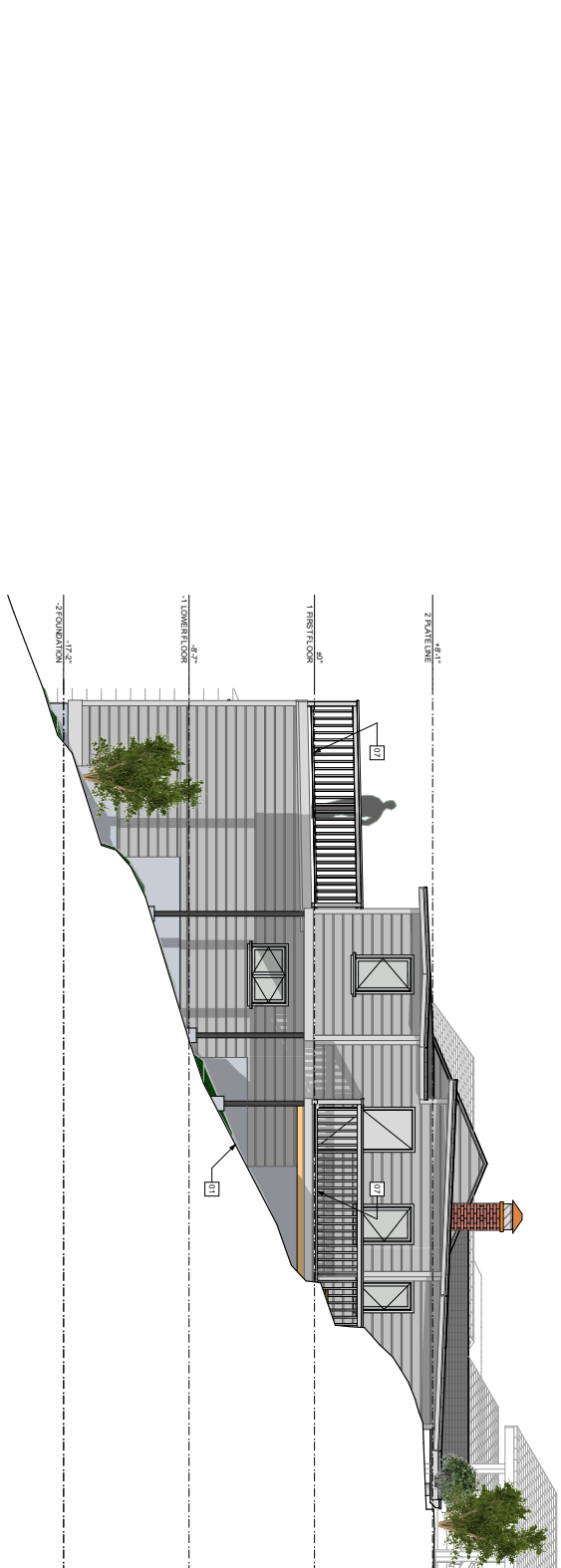
495 Gate 5 Rd. Studio E,
Sausalito, CA 94965
Phone: 415 944-5480

Millard@Arterberry-Design.com

2A-102



1 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



2 WEST ELEVATION
SCALE: 1/8" = 1'-0"

EXTERIOR ELEVATION GENERAL NOTES

- REFER TO GENERAL NOTES, SHEET 2A-01 & SHEET 2A-02 FOR FURTHER INFORMATION.

EXTERIOR ELEVATION SYMBOLS LEGEND

11 KEY NOTE CALLOUT - SEE KEY NOTE CALLOUTS BELOW FOR FURTHER NOTES

EXTERIOR ELEVATION KEY NOTES

- 01 - (E) GRADE LINE
- 02 - DRIVEWAY
- 03 - LIVING WALL (GREEN WALL)
- 04 - ENTRY STAIRS
- 05 - PORCH
- 06 - PATIO SLAB
- 07 - DECK
- 08 - UNCOVERED PARKING SPACE
- 09 - CARPORT

ISSUES	
MARK	DESCRIPTION
7/2/218	PLANNING SUBMISSION
2/04/19	PLANNING SUBMISSION
4/04/19	PLANNING SUBMISSION
7/26/19	PLANNING SUBMISSION
2/24/2020	PLANNING SUBMISSION
9/24/2020	PLANNING SUBMISSION

A.P.N 012-043-11 & 12

52/54 Fremont Street
San Rafael CA 94965
A.P.N.: 012-043-11 & 12

Owner:
Pacific Private Money Fund I, LLC
Et Al c/o Mark Hanf, Manager
1555 Grant Ave.
Novato, CA 94945

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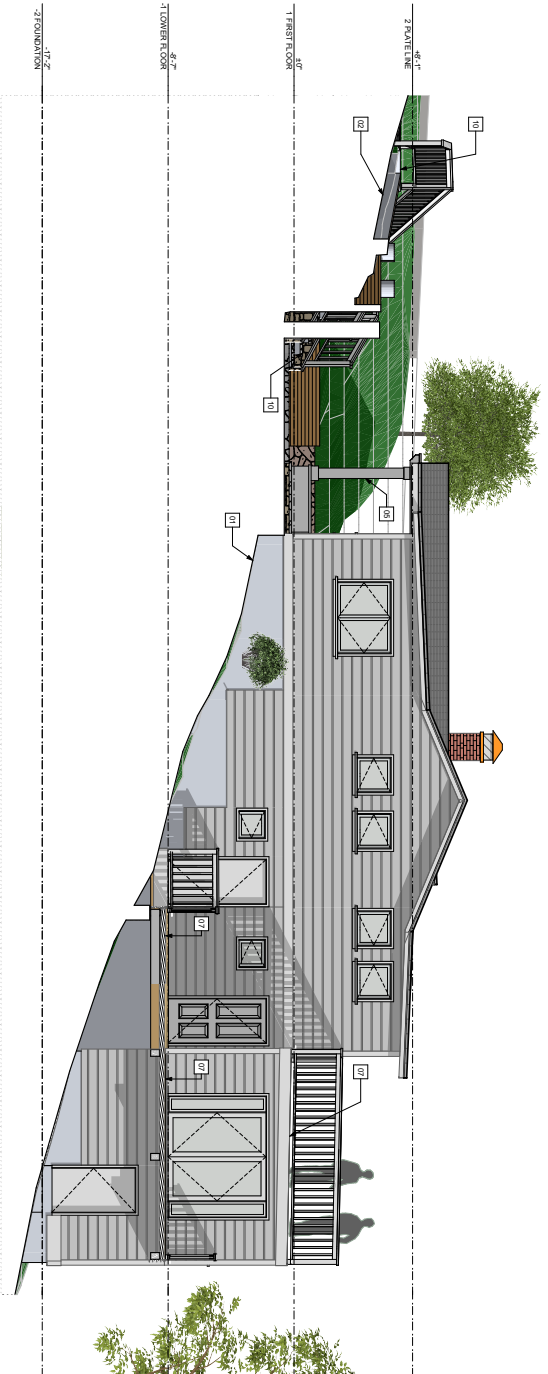
495 Gate 5 Rd, Studio E,
Sausalito, CA 94965
Phone: 415 944-5480

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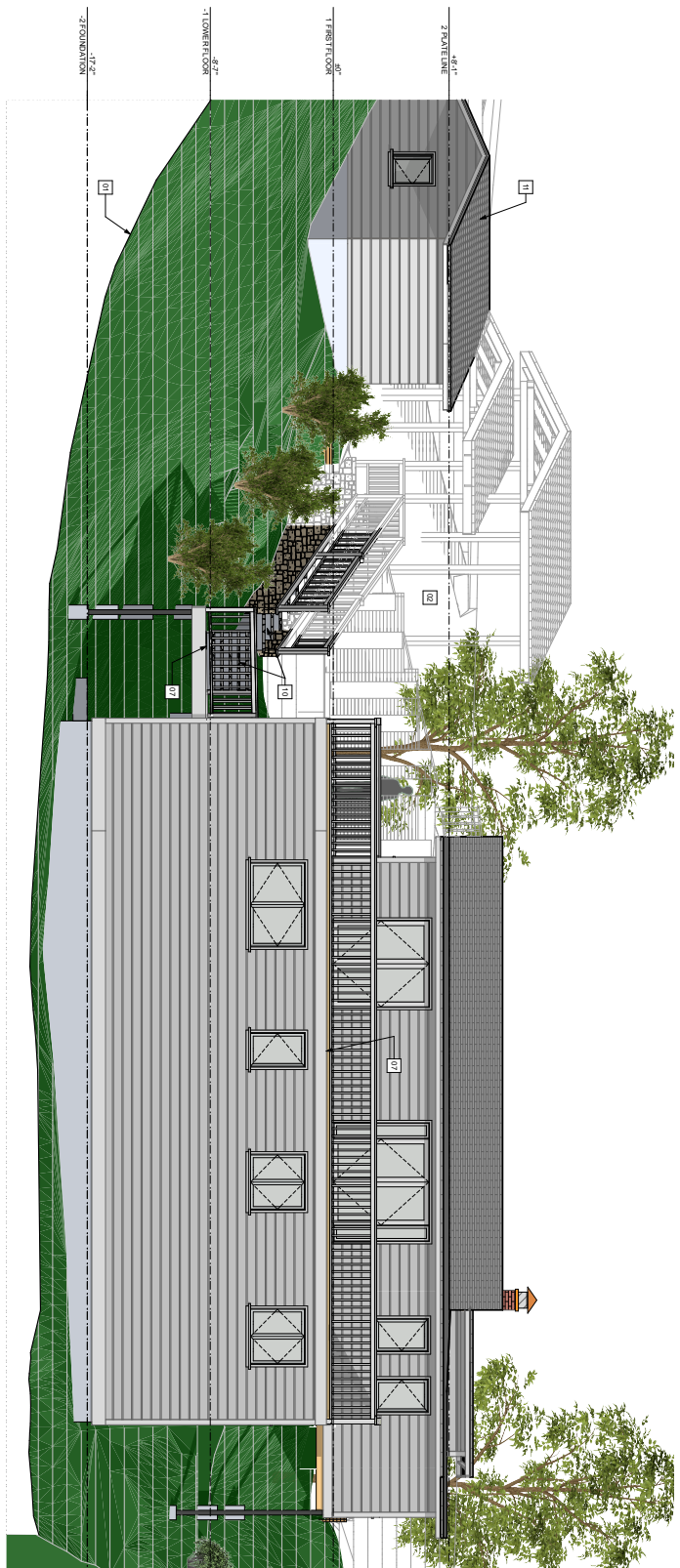
2A-200

PROPOSED EXTERIOR ELEVATIONS

PROJECT # 2001
CONTRACT # 2001-001
DRAWING BY: MARK
CHECKED BY: MARK
DATE: 09/24/2020



2 EAST ELEVATION
SCALE: 1/8" = 1'-0"



1 NORTH ELEVATION
SCALE: 1/8" = 1'-0"

EXTERIOR ELEVATION GENERAL NOTES
 • REFER TO GENERAL NOTES, SHEET 2A-001 & SHEET 2A-002 FOR FURTHER INFORMATION
 EXTERIOR ELEVATION SYMBOLS LEGEND
 [1] KEY NOTE CALLOUT - SEE GENERAL PLANNING NOTES BELOW

- EXTERIOR ELEVATION KEY NOTES
- 01 - (E) GRADE LINE
 - 02 - DRIVEWAY
 - 03 - LIVING WALL (GREEN WALL)
 - 04 - ENTRY STAIRS
 - 05 - PORCH
 - 06 - PATIO SLAB
 - 07 - DECK
 - 08 - UNCOVERED PARKING SPACE
 - 09 - CARPORT
 - 10 - SITE WALKWAY/STAIRWAY
 - 11 - (E) GARAGE TO BE REMODELED

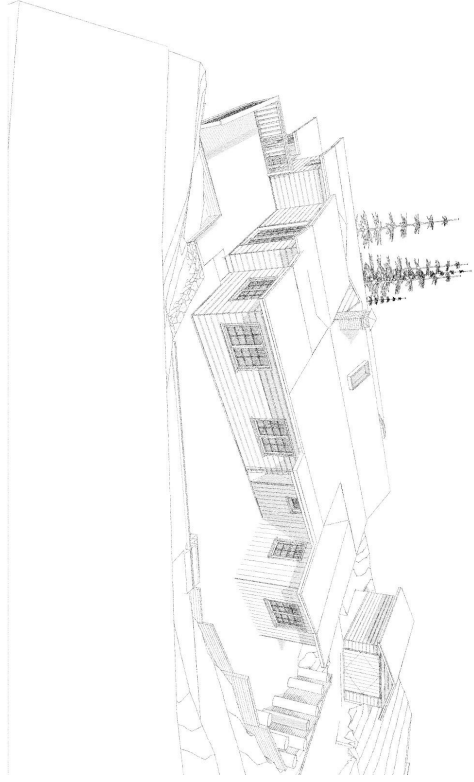
ISSUES		
MARK	DATE	DESCRIPTION
	7/02/18	PLANNING SUBMISSION
	2/04/19	PLANNING SUBMISSION
	4/04/19	PLANNING SUBMISSION
	7/26/19	PLANNING SUBMISSION
	2/24/2020	PLANNING SUBMISSION
	9/24/2020	PLANNING SUBMISSION

PROJECT #	2018
CONTRACT #	2018-001
DRAWING BY	MARK
CHECKED BY	MARK
DATE	10/20/20
PROJECT #	2A-201
PROPOSED EXTERIOR ELEVATIONS	

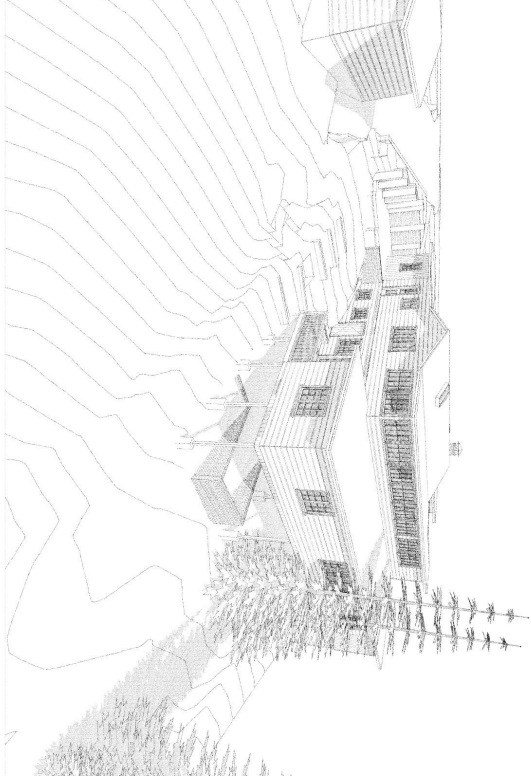
A.P.N 012-043-11 & 12
 52/54 Fremont Street
 San Rafael CA 94965
 A.P.N.: 012-043-11 & 12

Owner:
 Pacific Private Money Fund I, LLC
 Et al c/o Mark Hanf, Manager
 1555 Grant Ave.
 Novato, CA 94945

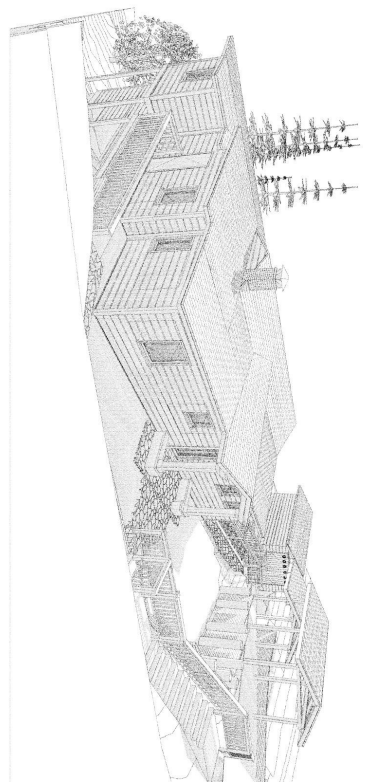
495 Gate 5 Rd, Studio E,
 Sausalito, CA 94965
 Phone: 415 944-5480
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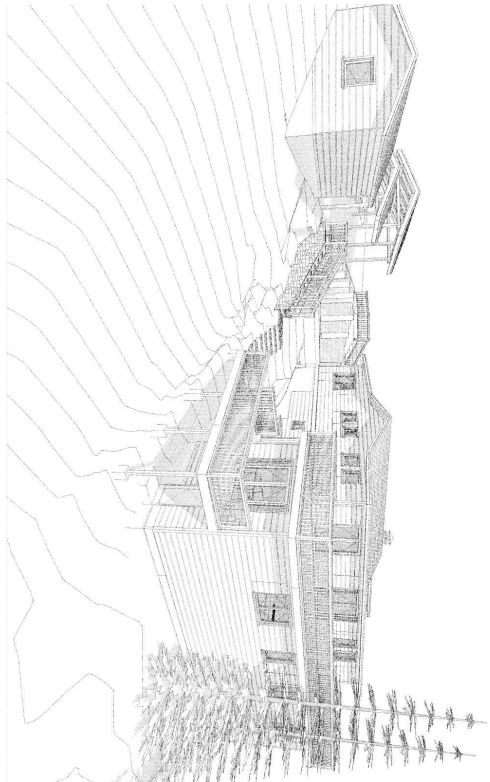
4 EXISTING VIEW FROM FREMONT ROAD



3 EXISTING VIEW OF 54 FREMONT ROAD



2 PROPOSED VIEW FROM FREMONT ROAD



1 PROPOSED VIEW OF 54 FREMONT ROAD

2A-000

PROJECT # 2021
 DRAWING BY: MAA
 CHECKED BY: MAA
 COMMENTS: 1. 2A-000-REV-01

RENDERINGS

ISSUES	
MARK	DESCRIPTION
7/02/18	PLANNING SUBMISSION
2/04/19	PLANNING SUBMISSION
4/04/19	PLANNING SUBMISSION
7/26/19	PLANNING SUBMISSION
2/24/2020	PLANNING SUBMISSION
9/24/2020	PLANNING SUBMISSION

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