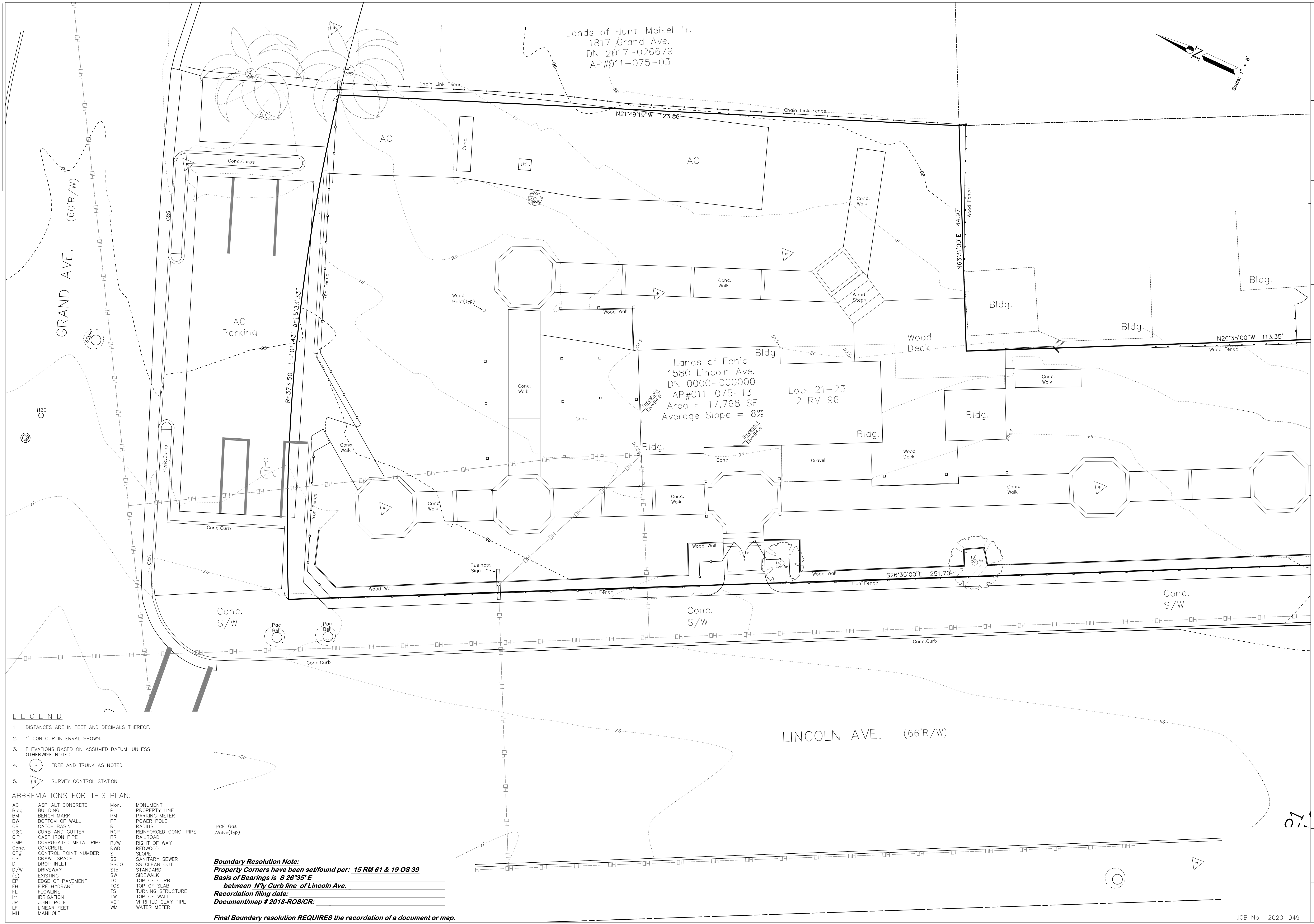
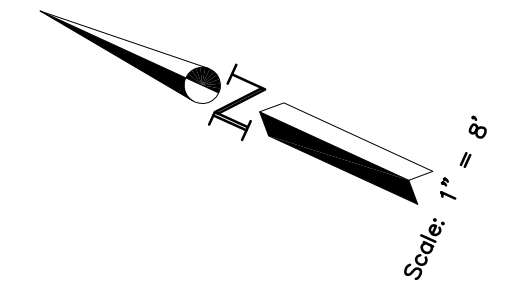


PRELIMINARY

Lands of Hunt-Meisel Tr.  
1817 Grand Ave.  
DN 2017-026679  
AP#011-075-03



GRAND AVE. (60'R/W)

LINCOLN AVE. (66'R/W)

Lands of Fonio  
1580 Lincoln Ave.  
DN 0000-000000  
AP#011-075-13  
Area = 17,768 SF  
Average Slope = 8%

Lots 21-23  
2 RM 96

- LEGEND**
- DISTANCES ARE IN FEET AND DECIMALS THEREOF.
  - 1' CONTOUR INTERVAL SHOWN.
  - ELEVATIONS BASED ON ASSUMED DATUM, UNLESS OTHERWISE NOTED.
  - TREE AND TRUNK AS NOTED
  - SURVEY CONTROL STATION

**ABBREVIATIONS FOR THIS PLAN:**

AC	ASPHALT CONCRETE	Mon.	MONUMENT
Bldg	BUILDING	PL	PROPERTY LINE
BM	BENCH MARK	PM	PARKING METER
SW	BOTTOM OF WALL	PP	POWER POLE
CB	CATCH BASIN	R	RADIUS
C&G	CURB AND GUTTER	RCP	REINFORCED CONC. PIPE
CIP	CAST IRON PIPE	RR	RAILROAD
CMP	CORRUGATED METAL PIPE	R/W	RIGHT OF WAY
Conc.	CONCRETE	RWD	REDWOOD
CP#	CONTROL POINT NUMBER	S	SLOPE
CS	CRANK SPACE	SS	SANITARY SEWER
DI	DROP INLET	SSCO	SS CLEAN OUT
D/W	DRIVEWAY	Std.	STANDARD
(E)	EXISTING	SW	SIDEWALK
EP	EDGE OF PAVEMENT	TC	TOP OF CURB
FH	FIRE HYDRANT	TOS	TOP OF SLAB
FL	FLOWLINE	TS	TURNING STRUCTURE
Irr.	IRRIGATION	TW	TOP OF WALL
JP	JOINT POLE	WCP	VITRIFIED CLAY PIPE
LF	LINEAR FEET	WM	WATER METER
MH	MANHOLE		

**Boundary Resolution Note:**  
**Property Corners have been set/found per: 15 RM 61 & 19 OS 39**  
**Basis of Bearings is S 26°35' E**  
**between N'y Curb line of Lincoln Ave.**  
**Recordation filing date:**  
**Document/map # 2013-ROS/CR:**

**Final Boundary resolution REQUIRES the recordation of a document or map.**

DATE: Sep. 2020  
SCALE: 1" = 8'  
DRAWN BY: EOL  
CHECKED BY: JLLH

Prepared under the supervision of  
RCE # 30465 J.L. HALLBERG  
LSI/ET #

J. L. ENGINEERING CIVIL ENGINEERS  
1539 FOURTH STREET TEL: (415) 457-8647  
SAN RAFAEL FAX: (415) 457-2517  
CA. 94901

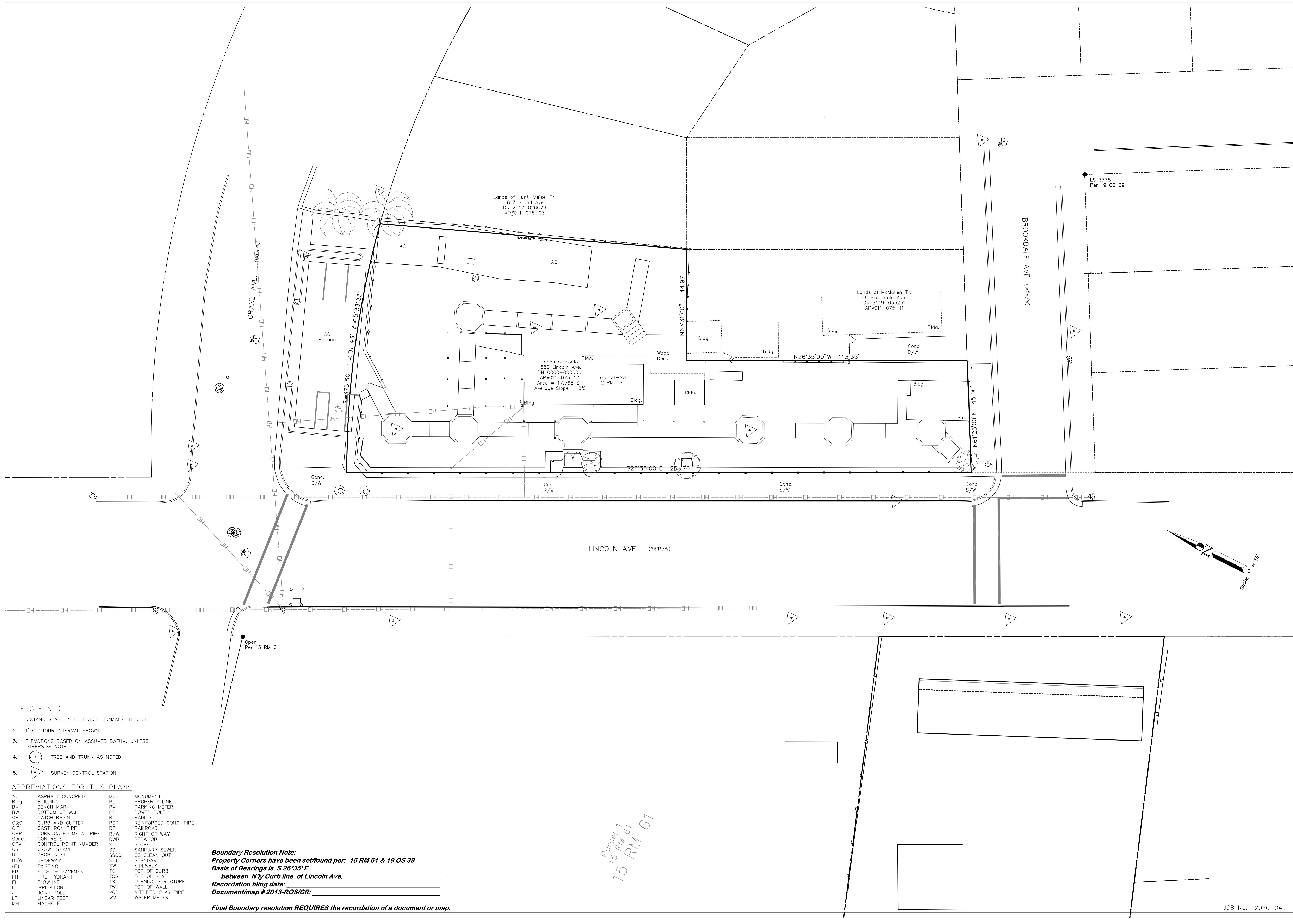
TOPOGRAPHIC SURVEY  
FONIO RESIDENCE - 1580 LINCOLN AVE.  
(AP NO. 011-075-13) SAN RAFAEL, MARIN COUNTY, CALIFORNIA

WARNING: IF THIS BAR DOES NOT SCALE, THEN DRAWING IS NOT TO SCALE.

SHEET  
**2**  
OF 2 SHEETS

JOB No. 2020-049

PRELIMINARY



- LEGEND**
- DISTANCES ARE IN FEET AND DECIMALS THEREOF.
  - 1' CONTOUR INTERVAL SHOWN.
  - ELEVATIONS BASED ON ASSUMED DATUM, UNLESS OTHERWISE NOTED.
  - TREE AND TRUNK AS NOTED
  - SURVEY CONTROL STATION

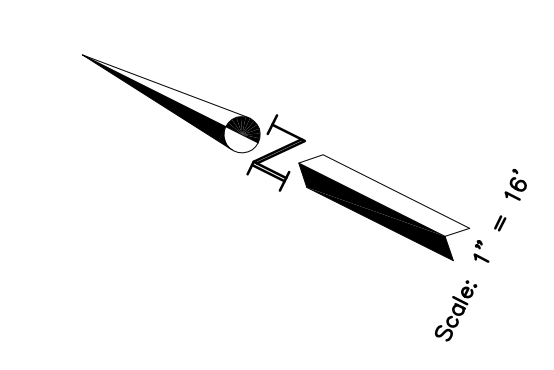
**ABBREVIATIONS FOR THIS PLAN:**

AC	ASPHALT CONCRETE	Mon.	MONUMENT
Bldg	BUILDING	PL	PROPERTY LINE
BM	BENCH MARK	PM	PARKING METER
SW	BOTTOM OF WALL	PP	POWER POLE
CB	CATCH BASIN	R	RADIUS
C&G	CURB AND GUTTER	RCP	REINFORCED CONC. PIPE
CIP	CAST IRON PIPE	RR	RAILROAD
CMP	CORRUGATED METAL PIPE	R/W	RIGHT OF WAY
Conc.	CONCRETE	RWD	REDWOOD
CP#	CONTROL POINT NUMBER	S	SLOPE
CS	CRANK SPACE	SS	SANITARY SEWER
DI	DROP INLET	SSCO	SS CLEAN OUT
D/W	DRIVEWAY	Std.	STANDARD
(E)	EXISTING	SW	SIDEWALK
EP	EDGE OF PAVEMENT	TC	TOP OF CURB
FH	FIRE HYDRANT	TOS	TOP OF SLAB
FL	FLOWLINE	TS	TURNING STRUCTURE
Irr.	IRRIGATION	TW	TOP OF WALL
JP	JOINT POLE	VCP	VITRIFIED CLAY PIPE
LF	LINEAR FEET	WM	WATER METER
MH	MANHOLE		

**Boundary Resolution Note:**  
**Property Corners have been set/found per: 15 RM 61 & 19 OS 39**  
**Basis of Bearings is S 26°35' E**  
**between N'y Curb line of Lincoln Ave.**  
**Recordation filing date:**  
**Document/map # 2013-ROS/CR:**

**Final Boundary resolution REQUIRES the recordation of a document or map.**

Parcel 1  
15 RM 61  
15 RM 61



**TOPOGRAPHIC SURVEY**  
**FONIO RESIDENCE - 1580 LINCOLN AVE.**  
 (AP NO. 011-075-13) SAN RAFAEL, MARIN COUNTY, CALIFORNIA

**J. L. ENGINEERING CIVIL ENGINEERS**  
 1539 FOURTH STREET  
 SAN RAFAEL  
 CA. 94901  
 TEL: (415) 457-8647  
 FAX: (415) 457-2517

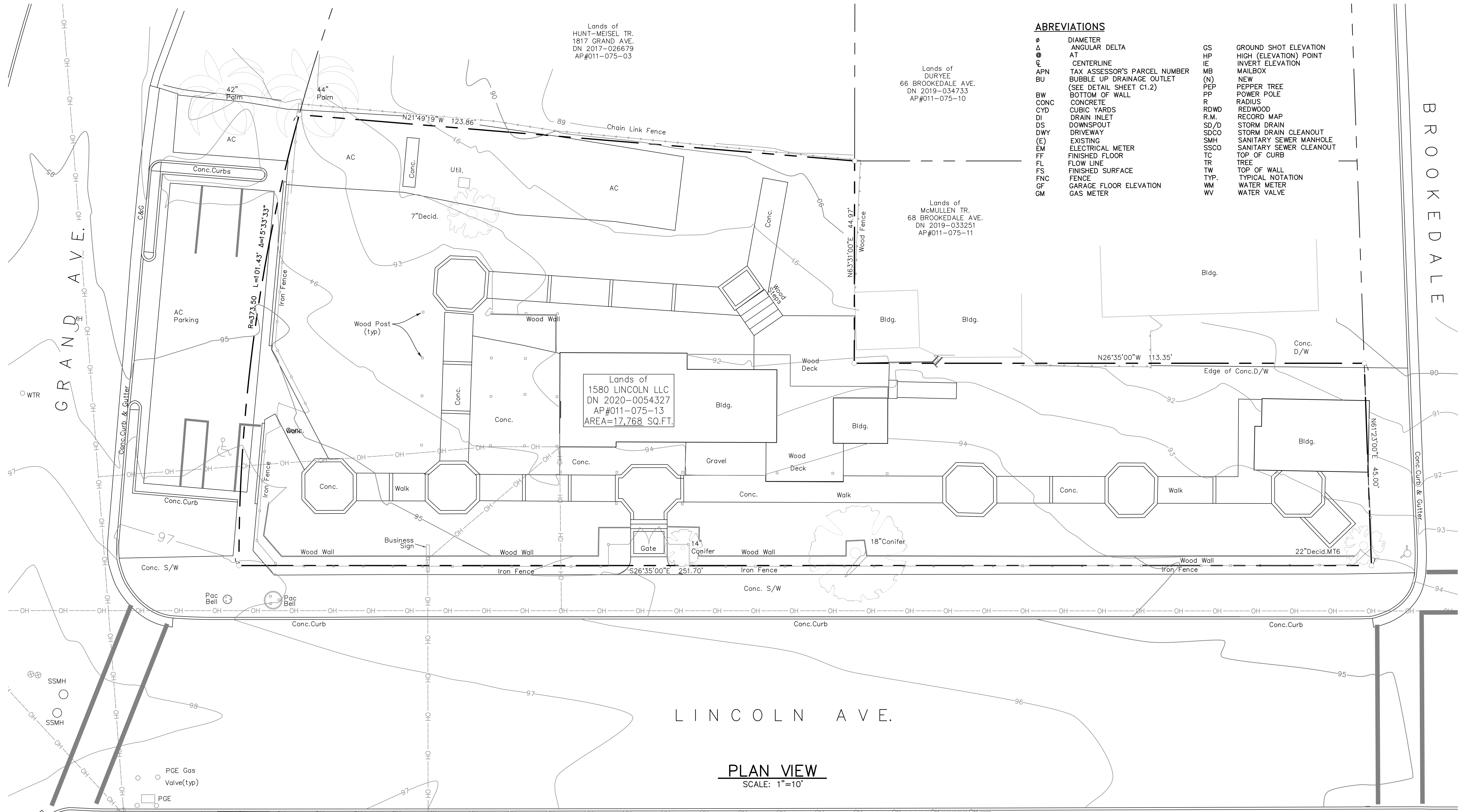
Prepared under the supervision of  
 RCE # 30465 J.L. HALLBERG  
 LSIT/ET #

DATE: Sep. 2020  
 SCALE: 1" = 16'  
 DRAWN BY: EOL  
 CHECKED BY: JLLH

REVISIONS

SHEET  
 1  
 OF 2 SHEETS

JOB No. 2020-049



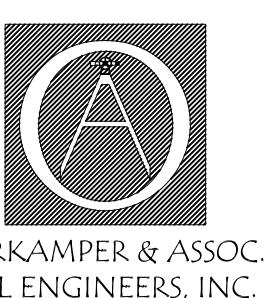
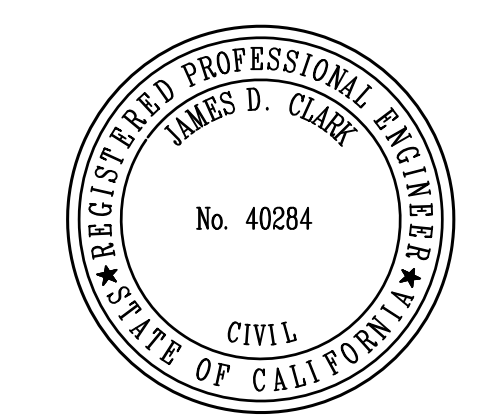
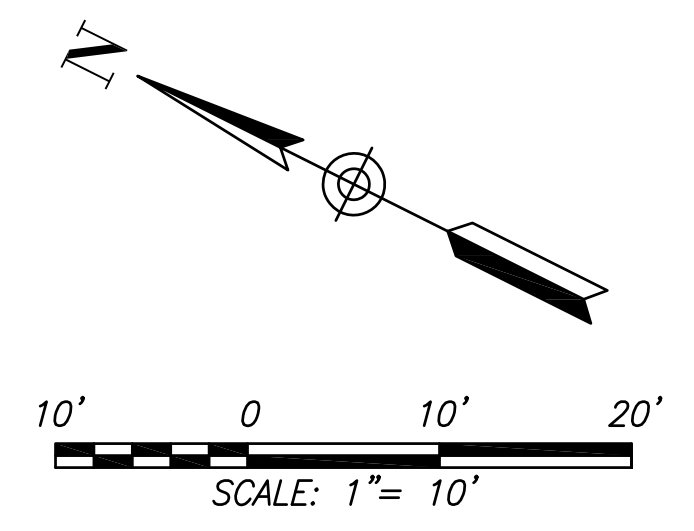
**ABBREVIATIONS**

∅	DIAMETER	GS	GROUND SHOT ELEVATION
Δ	ANGULAR DELTA	HP	HIGH (ELEVATION) POINT
⊙	AT	IE	INVERT ELEVATION
C	CENTERLINE	MB	MAILBOX
APN	TAX ASSESSOR'S PARCEL NUMBER	(N)	NEW
BU	BUBBLE UP DRAINAGE OUTLET (SEE DETAIL SHEET C1.2)	PEP	PEPPER TREE
BW	BOTTOM OF WALL	PP	POWER POLE
CONC	CONCRETE	R	RADIUS
CYD	CUBIC YARDS	RDWD	REDWOOD
DI	DRAIN INLET	R.M.	RECORD MAP
DS	DOWNSPOUT	SD/D	STORM DRAIN
DWY	DRIVEWAY	SDCO	STORM DRAIN CLEANOUT
(E)	EXISTING	SMH	SANITARY SEWER MANHOLE
EM	ELECTRICAL METER	SSCO	SANITARY SEWER CLEANOUT
FF	FINISHED FLOOR	TC	TOP OF CURB
FL	FLOW LINE	TR	TREE
FS	FINISHED SURFACE	TW	TOP OF WALL
FNC	FENCE	TYP.	TYPICAL NOTATION
GF	GARAGE FLOOR ELEVATION	WM	WATER METER
GM	GAS METER	WV	WATER VALVE

**PLAN VIEW**  
SCALE: 1"=10'

**LEGEND:**

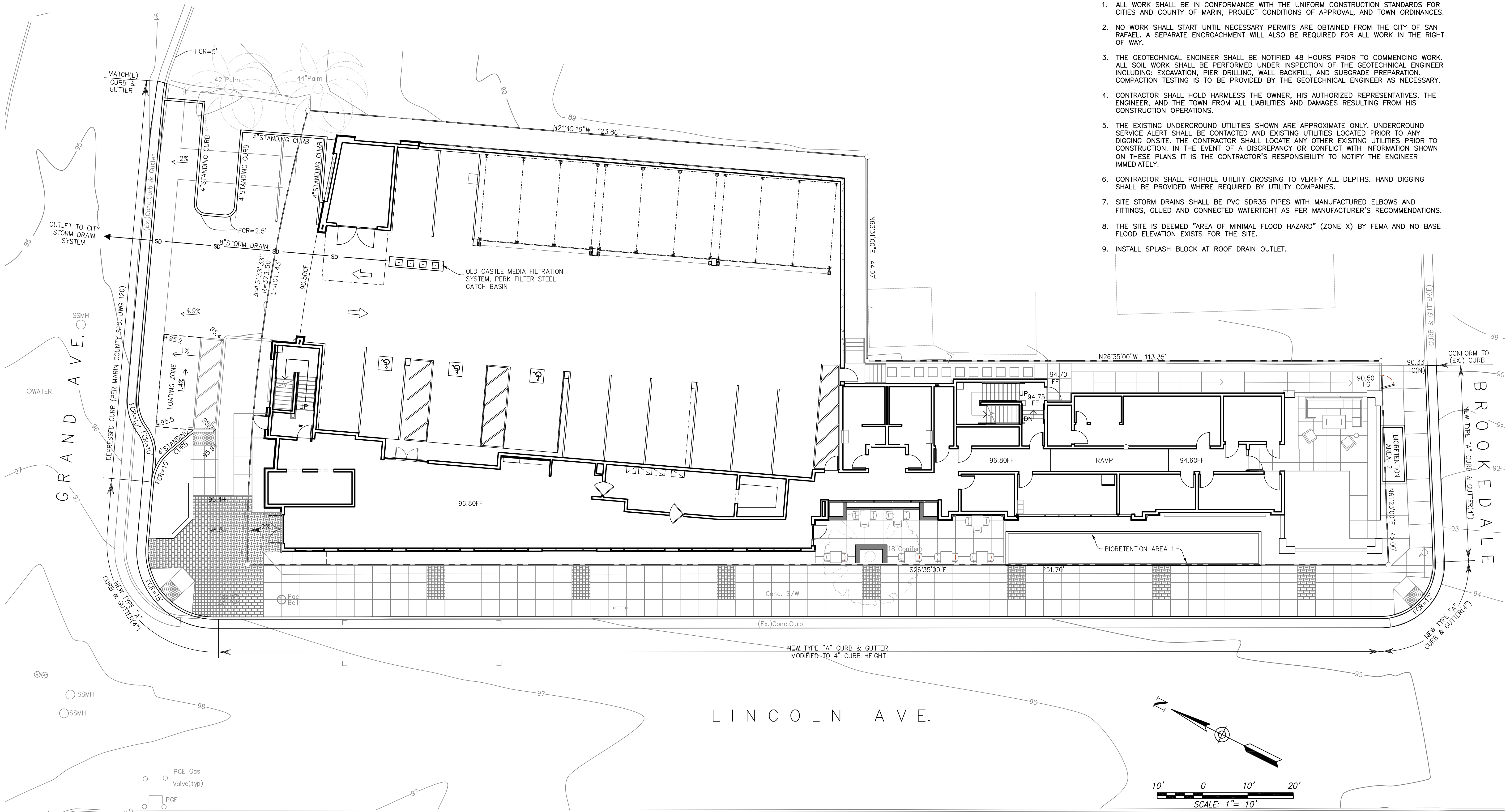
	(N) GRAVEL PAVEMENT		REQUIRED SETBACK
	EXISTING CONCRETE		SURFACE DRAINAGE DIRECTION
	NEW CONCRETE		SURFACE SLOPE
	NEW ASPHALT PAVEMENT		PROPOSED GROUND ELEVATION
	245 ELEVATION CONTOURS		EXISTING TREE TO REMAIN
	EXISTING FENCE		ROOF DOWNSPOUT
	OVERHANG (ROOF)		(N) STORM DRAIN INLET
	PROPERTY LINE		





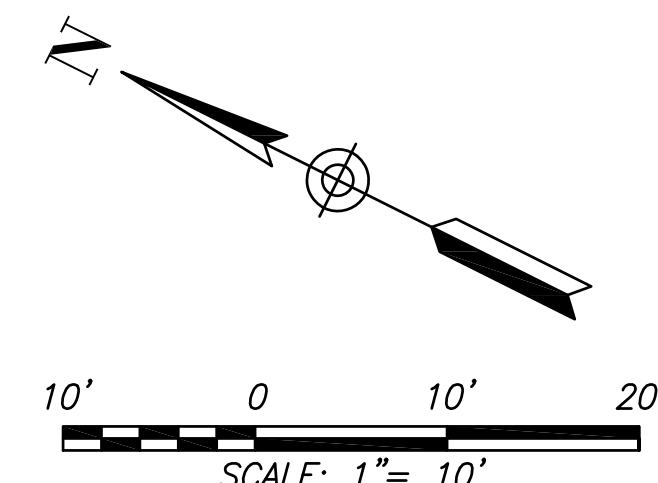
**GENERAL NOTES**

1. ALL WORK SHALL BE IN CONFORMANCE WITH THE UNIFORM CONSTRUCTION STANDARDS FOR CITIES AND COUNTY OF MARIN, PROJECT CONDITIONS OF APPROVAL, AND TOWN ORDINANCES.
2. NO WORK SHALL START UNTIL NECESSARY PERMITS ARE OBTAINED FROM THE CITY OF SAN RAFAEL. A SEPARATE ENCROACHMENT WILL ALSO BE REQUIRED FOR ALL WORK IN THE RIGHT OF WAY.
3. THE GEOTECHNICAL ENGINEER SHALL BE NOTIFIED 48 HOURS PRIOR TO COMMENCING WORK. ALL SOIL WORK SHALL BE PERFORMED UNDER INSPECTION OF THE GEOTECHNICAL ENGINEER INCLUDING: EXCAVATION, PIER DRILLING, WALL BACKFILL, AND SUBGRADE PREPARATION. COMPACTION TESTING IS TO BE PROVIDED BY THE GEOTECHNICAL ENGINEER AS NECESSARY.
4. CONTRACTOR SHALL HOLD HARMLESS THE OWNER, HIS AUTHORIZED REPRESENTATIVES, THE ENGINEER, AND THE TOWN FROM ALL LIABILITIES AND DAMAGES RESULTING FROM HIS CONSTRUCTION OPERATIONS.
5. THE EXISTING UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE ONLY. UNDERGROUND SERVICE ALERT SHALL BE CONTACTED AND EXISTING UTILITIES LOCATED PRIOR TO ANY DIGGING ON SITE. THE CONTRACTOR SHALL LOCATE ANY OTHER EXISTING UTILITIES PRIOR TO CONSTRUCTION. IN THE EVENT OF A DISCREPANCY OR CONFLICT WITH INFORMATION SHOWN ON THESE PLANS IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE ENGINEER IMMEDIATELY.
6. CONTRACTOR SHALL POTHOLE UTILITY CROSSING TO VERIFY ALL DEPTHS. HAND DIGGING SHALL BE PROVIDED WHERE REQUIRED BY UTILITY COMPANIES.
7. SITE STORM DRAINS SHALL BE PVC SDR35 PIPES WITH MANUFACTURED ELBOWS AND FITTINGS, GLUED AND CONNECTED WATERTIGHT AS PER MANUFACTURER'S RECOMMENDATIONS.
8. THE SITE IS DEEMED "AREA OF MINIMAL FLOOD HAZARD" (ZONE X) BY FEMA AND NO BASE FLOOD ELEVATION EXISTS FOR THE SITE.
9. INSTALL SPLASH BLOCK AT ROOF DRAIN OUTLET.



L I N C O L N   A V E .

**PLAN VIEW**  
SCALE: 1"=10'



**EARTHWORK CALCULATION**

CUT:	CY
FILL:	CY
NET:	CY IMPORT

**PRELIMINARY GRADING & DRAINAGE PLAN**

1580 LINCOLN AVE.   SAN RAFAEL, CALIFORNIA

SAN RAFAEL INN

1580 LINCOLN, LLC



C2.O

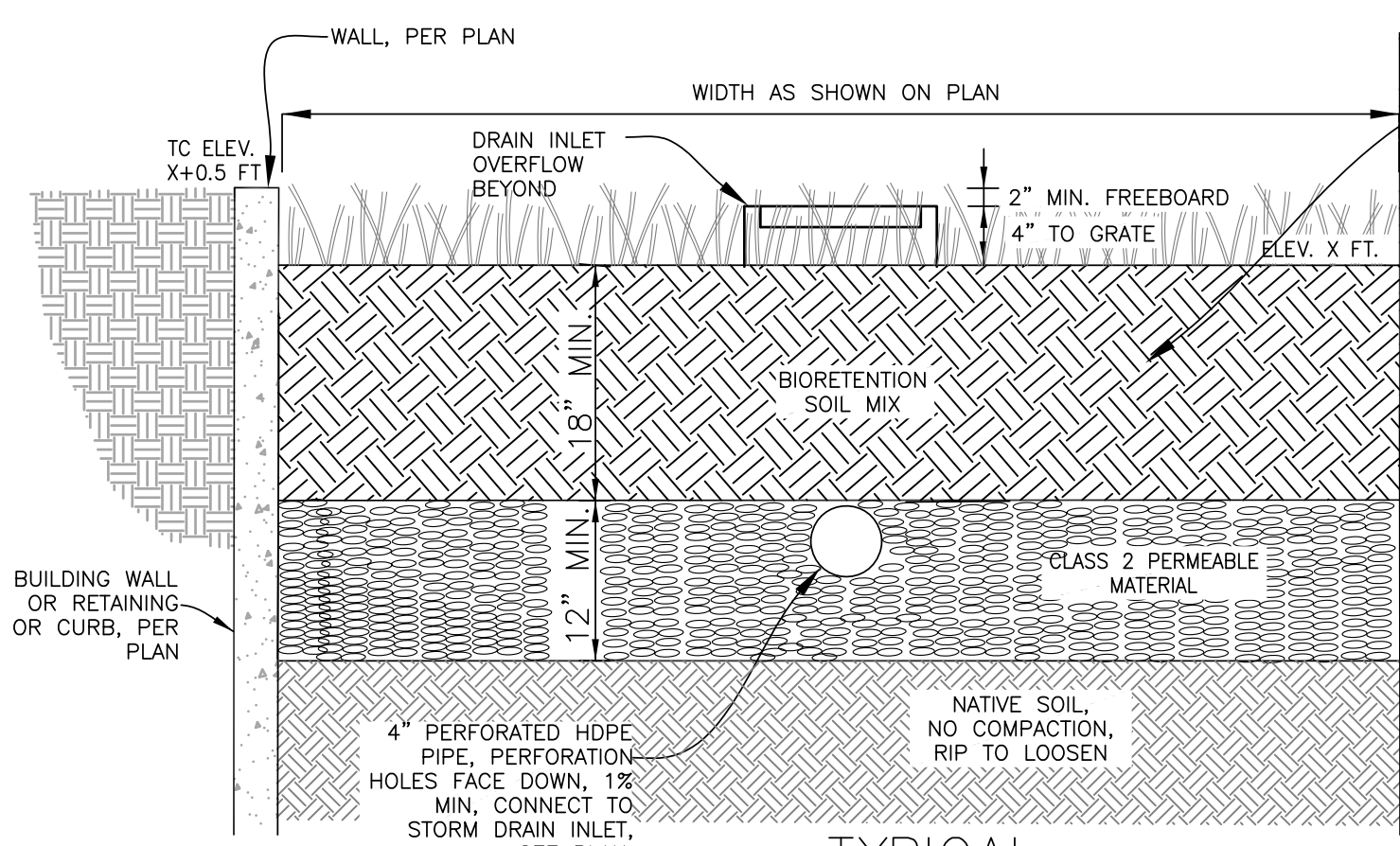
PLANNING SUBMITTAL 01-22-2021

O&A 20168

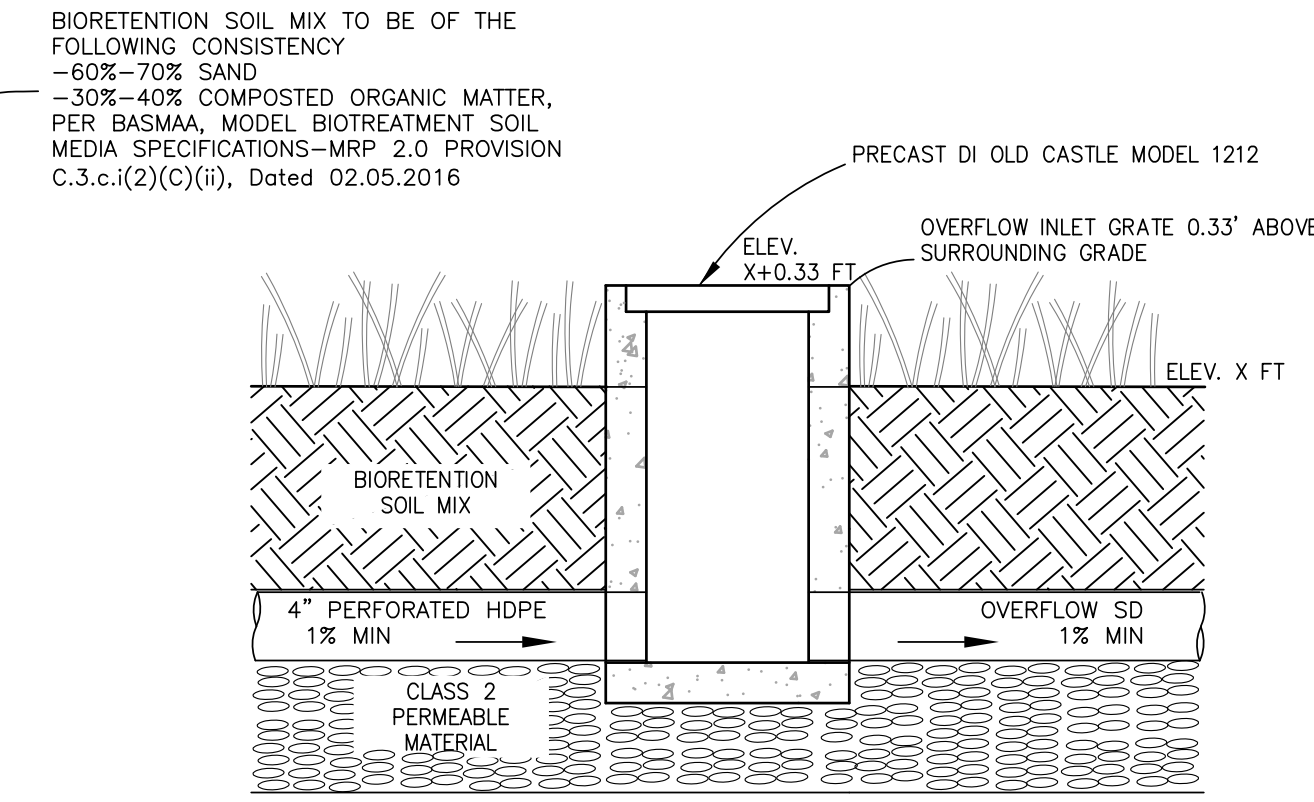


OBERKAMPER & ASSOC.  
CIVIL ENGINEERS, INC.

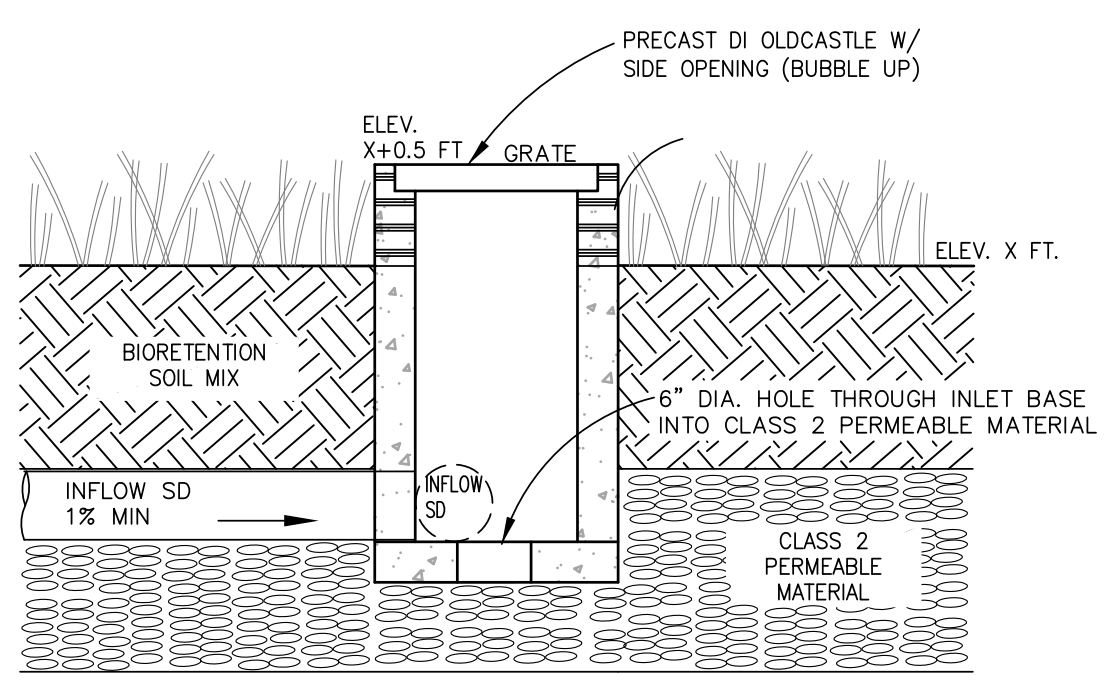




TYPICAL BIO-RETENTION SECTION  
NOT TO SCALE



INLET OVERFLOW DETAIL (IO)  
NOT TO SCALE



OUTLET BUBBLE-UP DETAIL (BU)  
NOT TO SCALE

DETAILS  
BIO-RETENTION AREA  
NOT TO SCALE

POST-PROJECT DRAINAGE MAINTENANCE AREAS (DMA's)  
TOTAL PARCEL AREA = 17,768 SQ.FT.

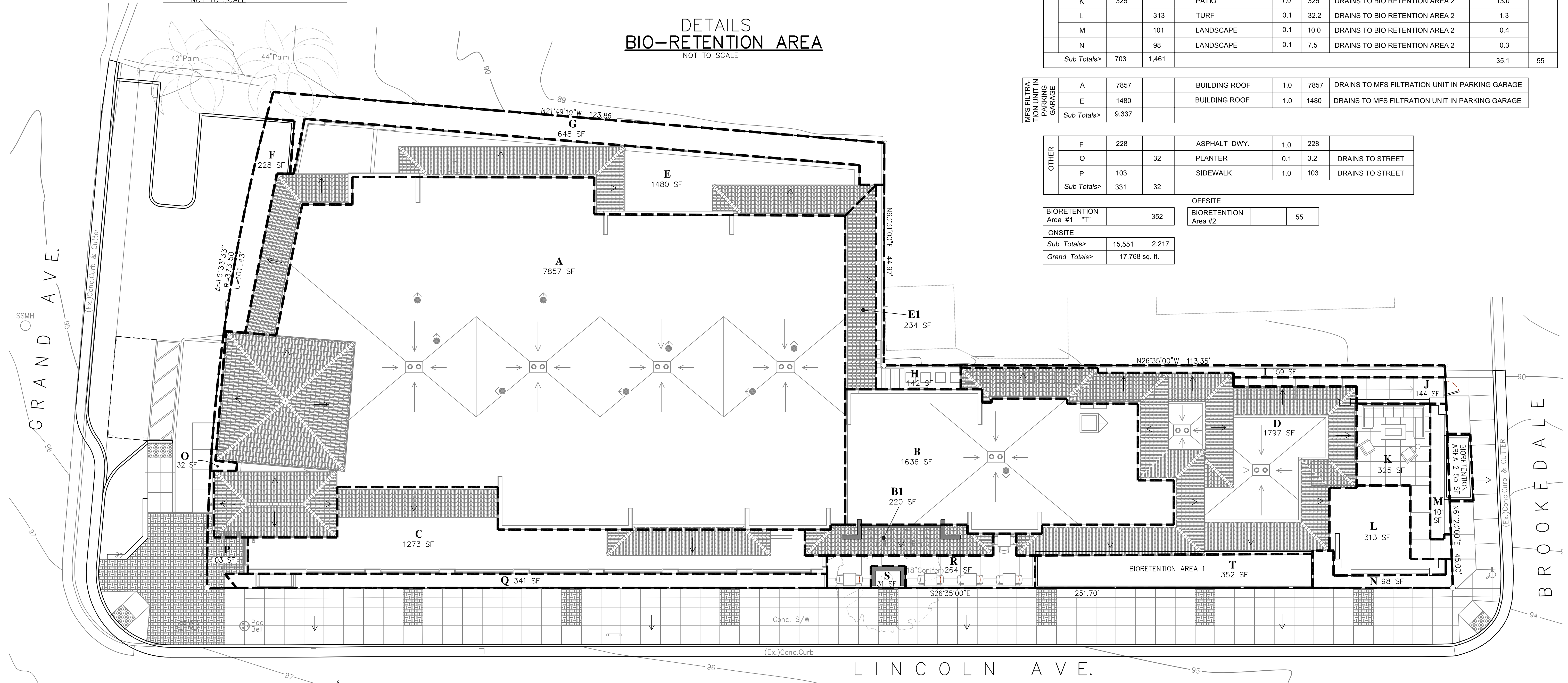
DMA Name	Impervious DMA Area (square feet)	Pervious DMA Area (square feet)	Post-Project Surface Type	DMA Runoff Factor	DMA Area x Runoff Factor	Drainage Receiving Facility Name	Minimum Facilities (DMA x 0.04) (square feet)	Area Used in Design (square feet)
B	1636		BUILDING ROOF	1.0	1636	DRAINS TO BIO RETENTION AREA 1	65.4	
B1	220		BUILDING ROOF	1.0	220	DRAINS TO BIO RETENTION AREA 1	8.8	
C	1273		BUILDING ROOF	1.0	1273	DRAINS TO BIO RETENTION AREA 1	50.9	
D	1797		BUILDING ROOF	1.0	1797	DRAINS TO BIO RETENTION AREA 1	70.5	
Q		341	LANDSCAPE	0.1	34.1	DRAINS TO BIO RETENTION AREA 1	1.4	
R	254		PATIO	1.0	254	DRAINS TO BIO RETENTION AREA 1	10.2	
S		31	LANDSCAPE	0.1	3.1	DRAINS TO BIO RETENTION AREA 1	0.1	
Sub Totals>	5,180	372					207.3	352

DMA Name	Impervious DMA Area (square feet)	Pervious DMA Area (square feet)	Post-Project Surface Type	DMA Runoff Factor	DMA Area x Runoff Factor	Drainage Receiving Facility Name	Minimum Facilities (DMA x 0.04) (square feet)	Area Used in Design (square feet)
E1	234		BUILDING ROOF	1.0	234	DRAINS TO BIO RETENTION AREA 2	9.4	
G		648	GRAVEL PATH	0.1	64.8	DRAINS TO BIO RETENTION AREA 2	2.6	
H		142	GRAVEL PATH	0.1	14.2	DRAINS TO BIO RETENTION AREA 2	0.6	
I		159	LANDSCAPE	0.1	12.7	DRAINS TO BIO RETENTION AREA 2	0.5	
J	144		SIDEWALK	1.0	176	DRAINS TO BIO RETENTION AREA 2	7.0	
K	325		PATIO	1.0	325	DRAINS TO BIO RETENTION AREA 2	13.0	
L		313	TURF	0.1	32.2	DRAINS TO BIO RETENTION AREA 2	1.3	
M		101	LANDSCAPE	0.1	10.0	DRAINS TO BIO RETENTION AREA 2	0.4	
N		98	LANDSCAPE	0.1	7.5	DRAINS TO BIO RETENTION AREA 2	0.3	
Sub Totals>	703	1,461					35.1	55

MFS FILTRATION UNIT IN PARKING GARAGE	DMA Name	Impervious DMA Area (square feet)	Post-Project Surface Type	DMA Runoff Factor	DMA Area x Runoff Factor	Drainage Receiving Facility Name
A	7857		BUILDING ROOF	1.0	7857	DRAINS TO MFS FILTRATION UNIT IN PARKING GARAGE
E	1480		BUILDING ROOF	1.0	1480	DRAINS TO MFS FILTRATION UNIT IN PARKING GARAGE
Sub Totals>	9,337					

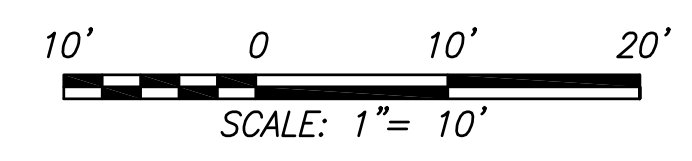
OTHER	DMA Name	Impervious DMA Area (square feet)	Post-Project Surface Type	DMA Runoff Factor	DMA Area x Runoff Factor	Drainage Receiving Facility Name
F	228		ASPHALT DWY.	1.0	228	
O		32	PLANTER	0.1	3.2	DRAINS TO STREET
P	103		SIDEWALK	1.0	103	DRAINS TO STREET
Sub Totals>	331	32				

BIOTRETENTION	Area #1 "T"	Area #2
Sub Totals>	15,551	2,217
Grand Totals>	17,768 sq. ft.	

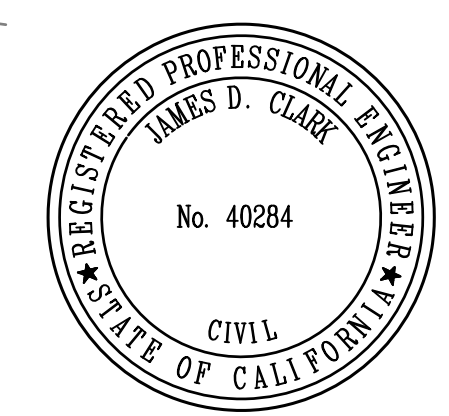


LEGEND:

- 97 EXISTING 1 FOOT CONTOURS
- PROPERTY LINE



EXISTING IMPROVEMENTS NOTE:  
EXISTING IMPROVEMENTS WILL BE REMOVED FROM THE SITE INCLUDING:  
CONCRETE FOUNDATION, BUILDINGS, STAIRS, DECKING, SLABS, ETC.





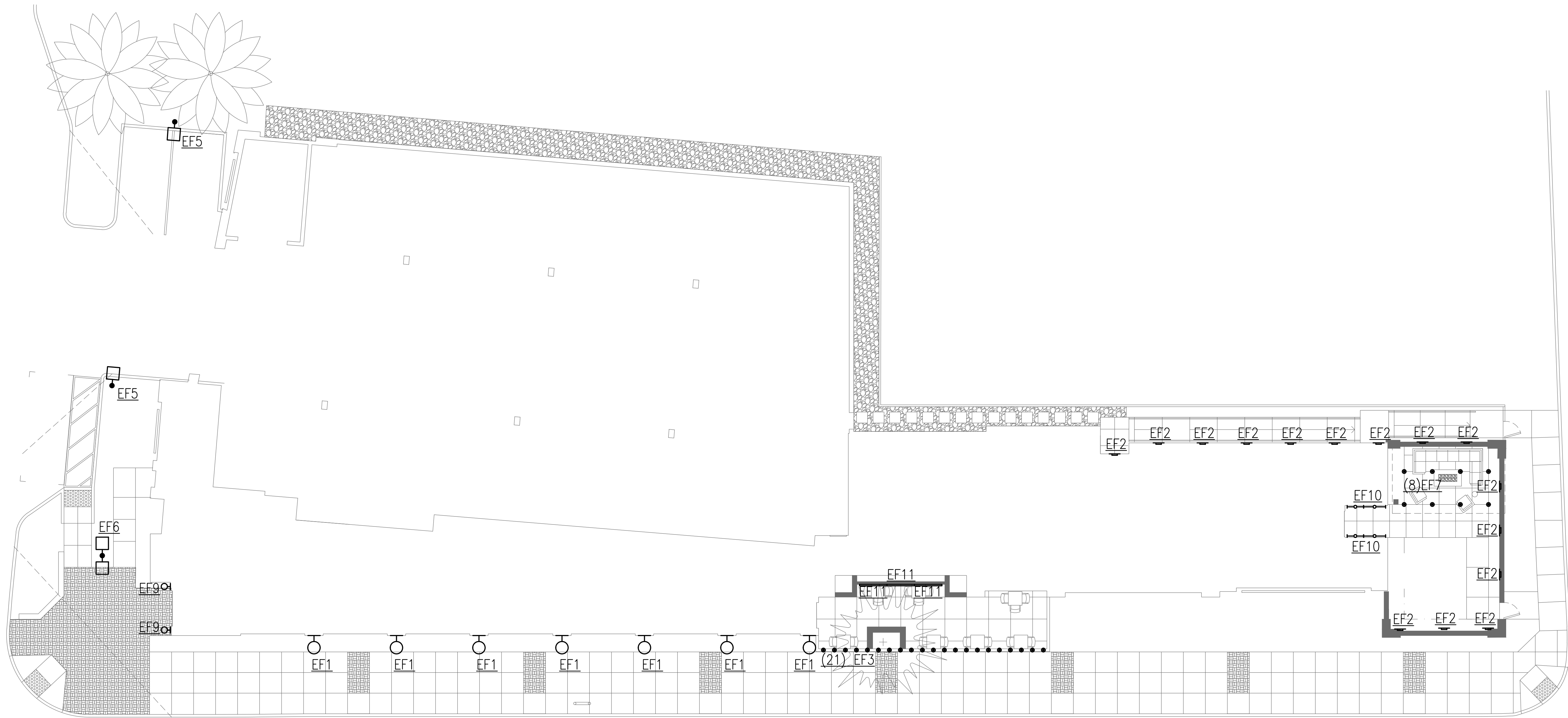
SYMBOLS LIST		DRAWING INDEX		GENERAL NOTES																																																																																																																																																																																																																													
<p><b>LIGHTING</b></p> <p>LAY-IN CEILING MOUNTED LIGHT FIXTURE LIGHT FIXTURE, SURFACE OR PENDANT MOUNTED SURFACE MOUNTED LINEAR WALL MOUNT FIXTURE RECESSED LED DOWNLIGHT SURFACE MOUNT LED LIGHT FIXTURE LED DIRECTIONAL OR ACCENT LIGHT FIXTURE LED BOLLARD LIGHT FIXTURE LED WALL MOUNTED SCONCE LIGHT FIXTURE LED LINEAR UNDER-SURFACE MOUNTED LIGHT FIXTURE LED SURFACE MOUNTED WRAP LIGHT FIXTURE EXIT FIXTURE, CEILING OR WALL MOUNTED, DIRECTIONAL ARROWS AS INDICATED SHADING OF ANY FIXTURE INDICATES CONNECTION TO EMERGENCY SYSTEM</p>		<p><b>POWER</b></p> <p>PANELBOARD, 277/480V, SURFACE MOUNTED PANELBOARD, 277/480V, FLUSH MOUNTED PANELBOARD, 120/208V, SURFACE MOUNTED PANELBOARD, 120/208V, FLUSH MOUNTED ELECTRIC MOTOR-CONNECTION, NUMBER INDICATES HORSEPOWER JUNCTION BOX, CEILING MOUNTED JUNCTION BOX, FLUSH FLOOR MOUNTED FLUSH WALL MOUNTED JUNCTION BOX DUPLX CONVENIENCE OUTLET, +18" AFF UON DOUBLE DUPLX CONVENIENCE OUTLET, +18" AFF UON DUPLX GFI OUTLET, +18" AFF UON DOUBLE DUPLX GFI OUTLET, +18" AFF UON SHADING THROUGH CENTER OF OUTLET INDICATES OUTLET ON EMERGENCY TELE/POWER POLE. INSTALL PER MFR'S INSTRUCTIONS. SPECIALTY OUTLET, 18" UON. TYPE AS NOTED ON PLANS HEAVY DUTY FUSIBLE SAFETY SWITCH =AMP FUSE/AMP SWITCH/POLES/MAX VOLTS PACKAGE CONTROLLER OR STARTER FURNISHED UNDER ANOTHER DIVISION, INSTALLED AND WIRED UNDER THIS DIVISION.</p>		<p><b>RACEWAYS</b></p> <p>GROUND CONDUCTOR CONDUIT RUN CONCEALED IN SLAB, UNDERSLAB OR UNDERGROUND CONDUIT RUN CONCEALED IN WALL OR CEILING CONDUIT HOMERUN, CONTINUOUS RUN TO PANEL OR EQUIPMENT CABINET FLEXIBLE METALLIC CONDUIT CONDUIT TURNED UP CONDUIT TURNED DOWN CROSS MARKS ON BRANCH CIRCUIT CONDUIT RUNS INDICATE THE QUANTITY OF CONDUCTORS AS FOLLOWS: NEUTRAL CONDUCTOR(S) PHASE CONDUCTORS 1. NO CROSS MARKS INDICATES TWO #12 AWG CONDUCTORS, U.O.N. 2. THREE TO SIX CROSS MARKS INDICATES THE QUANTITY OF #12 AWG CONDUCTORS, U.O.N. 3. SEVEN OR MORE CROSS MARKS INDICATES THE QUANTITY OF #10 AWG CONDUCTORS, U.O.N. 4. ALL 120V, 20A HOMERUNS LONGER THAN 100' AND ALL 277V, 20A HOMERUNS LONGER THAN 150' SHALL BE #10 MINIMUM 5. EXPOSED RACEWAYS IN MECHANICAL ROOMS AND ELECTRICAL ROOMS SHALL BE EMT OR RIGID GROUND BAR, REFER TO DETAIL</p>		<p><b>ABBREVIATIONS</b></p> <table border="0"> <tr> <td>AC</td><td>ALTERNATING CURRENT</td><td>NL</td><td>NIGHT LIGHT</td></tr> <tr> <td>A/C</td><td>AIR CONDITIONER</td><td>NTS</td><td>NOT TO SCALE</td></tr> <tr> <td>AFF</td><td>ABOVE FINISHED FLOOR</td><td>N/A or NA</td><td>NOT APPLICABLE</td></tr> <tr> <td>ALT</td><td>ALTERNATE</td><td>NO</td><td>NUMBER</td></tr> <tr> <td>AA/FA</td><td>AMBIENT AIR/FORCED AIR</td><td>N/C</td><td>NOT IN CONTRACT</td></tr> <tr> <td>AUX</td><td>AUXILIARY</td><td>NF</td><td>NONFUSIBLE</td></tr> <tr> <td>A OR AMP</td><td>AMPERE</td><td>NPA</td><td>NATIONAL PURCHASING AGREEMENT</td></tr> <tr> <td>A.T.S</td><td>AUTOMATIC TRANSFER SWITCH</td><td>OC</td><td>ON CENTER</td></tr> <tr> <td>BD</td><td>BOARD</td><td>PH</td><td>PHASE</td></tr> <tr> <td>CB</td><td>CIRCUIT BREAKER</td><td>PNL</td><td>PANEL</td></tr> <tr> <td>C</td><td>CONDUIT</td><td>PB</td><td>PULL BOX</td></tr> <tr> <td>CAB</td><td>CABINET</td><td>PVC</td><td>POLYVINYL CHLORIDE</td></tr> <tr> <td>CLG</td><td>CEILING</td><td>P</td><td>POLE</td></tr> <tr> <td>CCT</td><td>CIRCUIT</td><td>PT</td><td>POTENTIAL TRANSFORMER</td></tr> <tr> <td>COAK</td><td>COAXIAL</td><td>RECEPT</td><td>RECEPTACLE</td></tr> <tr> <td>CONT</td><td>CONTINUOUS</td><td>REQ'D.</td><td>REQUIRED</td></tr> <tr> <td>CONTR</td><td>CONTRACTOR</td><td>RM</td><td>ROOM</td></tr> <tr> <td>CORR.</td><td>CORRIDOR</td><td>S</td><td>SAFETY</td></tr> <tr> <td>CRT</td><td>CATHODE RAY TUBE</td><td>S/N</td><td>SOLID NEUTRAL</td></tr> <tr> <td>CT</td><td>CURRENT TRANSFORMER</td><td>SES</td><td>SERVICE ENTRANCE SECTION</td></tr> <tr> <td>DGP</td><td>DATA GATHERING PANEL</td><td>SHT</td><td>SHEET</td></tr> <tr> <td>DA</td><td>DIAMETER</td><td>STD</td><td>STANDARD</td></tr> <tr> <td>DIAG</td><td>DIAGRAM</td><td>SWT</td><td>SWITCH</td></tr> <tr> <td>DC</td><td>DIRECT CURRENT</td><td>SWBD</td><td>SWITCHBOARD</td></tr> <tr> <td>DISC</td><td>DISCONNECT</td><td>TELE</td><td>TELEPHONE</td></tr> <tr> <td>DIST</td><td>DISTRIBUTION</td><td>TTB</td><td>TELEPHONE TERMINAL BOARD</td></tr> <tr> <td>DN</td><td>DOWN</td><td>TV</td><td>TELEVISION</td></tr> <tr> <td>DPST</td><td>DOUBLE POLE SINGLE THROW</td><td>TS</td><td>TIME SWITCH</td></tr> <tr> <td>DSD</td><td>DUCT SMOKE DETECTOR</td><td>TP</td><td>TAMPER PROOF</td></tr> <tr> <td>EC</td><td>EMPTY CONDUIT</td><td>T</td><td>TRANSFORMER</td></tr> <tr> <td>ELEC</td><td>ELECTRICAL</td><td>TYP</td><td>TYPICAL</td></tr> <tr> <td>EMT</td><td>ELECTRICAL METALLIC TUBING</td><td>TC</td><td>TIMECLOCK</td></tr> <tr> <td>EP</td><td>EMERGENCY POWER</td><td>UF</td><td>UNDERFLOOR</td></tr> <tr> <td>EPO</td><td>EMERGENCY POWER OFF</td><td>UG</td><td>UNDERGROUND</td></tr> <tr> <td>EUGP</td><td>EXISTING UNDERGROUND PRIMARY</td><td>UGE</td><td>UNDERGROUND ELECTRIC</td></tr> <tr> <td>EUGS</td><td>EXISTING UNDERGROUND SECONDARY</td><td>UGP</td><td>UNDERGROUND PRIMARY</td></tr> <tr> <td>EWC</td><td>ELECTRIC WATER COOLER</td><td>UGS</td><td>UNDERGROUND SECONDARY</td></tr> <tr> <td>EXP</td><td>EXPLOSION PROOF</td><td>UON</td><td>UNLESS OTHERWISE NOTED</td></tr> <tr> <td>FIXT</td><td>FIXTURE</td><td>V</td><td>VOLT</td></tr> <tr> <td>FLEX</td><td>FLEXIBLE</td><td>VA</td><td>VOLTAMPERE</td></tr> <tr> <td>FLR</td><td>FLOOR</td><td>VFD</td><td>VARIABLE FREQUENCY DRIVE</td></tr> <tr> <td>FVNR</td><td>FULL VOLTAGE, NON REVERSING</td><td>WW</td><td>WIREWAY</td></tr> <tr> <td>GFI</td><td>GROUND FAULT INTERRUPTER</td><td>W</td><td>WATT OR WIRE</td></tr> <tr> <td>GFP</td><td>GROUND FAULT PROTECTION</td><td>WP</td><td>WEATHERPROOF</td></tr> <tr> <td>GRC</td><td>GALVANIZED RIGID CONDUIT</td><td>XFMR</td><td>TRANSFORMER</td></tr> <tr> <td>GRD</td><td>GROUND</td><td></td><td></td></tr> <tr> <td>GFCT</td><td>GROUND FAULT CURRENT TRANSFORMER</td><td></td><td></td></tr> <tr> <td>HG</td><td>HOSPITAL GRADE</td><td></td><td></td></tr> <tr> <td>HGT</td><td>HEIGHT</td><td></td><td></td></tr> <tr> <td>HP</td><td>HORSEPOWER</td><td></td><td></td></tr> <tr> <td>HTR</td><td>HEATER</td><td></td><td></td></tr> <tr> <td>HZ</td><td>HERTZ</td><td></td><td></td></tr> <tr> <td>IMC</td><td>INTERMEDIATE METAL CONDUIT</td><td></td><td></td></tr> <tr> <td>ISO</td><td>ISOLATED</td><td></td><td></td></tr> </table>		AC	ALTERNATING CURRENT	NL	NIGHT LIGHT	A/C	AIR CONDITIONER	NTS	NOT TO SCALE	AFF	ABOVE FINISHED FLOOR	N/A or NA	NOT APPLICABLE	ALT	ALTERNATE	NO	NUMBER	AA/FA	AMBIENT AIR/FORCED AIR	N/C	NOT IN CONTRACT	AUX	AUXILIARY	NF	NONFUSIBLE	A OR AMP	AMPERE	NPA	NATIONAL PURCHASING AGREEMENT	A.T.S	AUTOMATIC TRANSFER SWITCH	OC	ON CENTER	BD	BOARD	PH	PHASE	CB	CIRCUIT BREAKER	PNL	PANEL	C	CONDUIT	PB	PULL BOX	CAB	CABINET	PVC	POLYVINYL CHLORIDE	CLG	CEILING	P	POLE	CCT	CIRCUIT	PT	POTENTIAL TRANSFORMER	COAK	COAXIAL	RECEPT	RECEPTACLE	CONT	CONTINUOUS	REQ'D.	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MAINTAIN FIRE RATING OF ALL FLOORS, CEILINGS AND WALLS PENETRATED BY ELECTRICAL WORK.</li> <li>2. ELECTRICAL DEVICE OPENINGS IN FIRE RATED WALLS SHALL NOT EXCEED 16 SQUARE INCHES, AND SHALL NOT EXCEED 100 SQUARE INCHES PER 100 SQUARE FEET OF WALL AREA. DEVICE OPENINGS ON OPPOSITE SIDES OF FIRE RATED WALLS SHALL BE HORIZONTALLY SEPARATED BY A MINIMUM OF 24 INCHES.</li> <li>3. ALL ELECTRICAL EQUIPMENT SHALL BE BRACED OR ANCHORED TO RESIST A HORIZONTAL FORCE ACTING IN ANY DIRECTION PER THE 2013 CALIFORNIA BUILDING CODE.</li> <li>4. VERIFY CIRCUIT VOLTAGE OF SUPPLY CIRCUIT SHOWN ON PLANS FOR ALL LIGHT FIXTURES. PROVIDE FIXTURES/DRIVERS SUITABLE FOR SUPPLY CIRCUIT VOLTAGE.</li> <li>5. UNLESS OTHERWISE NOTED, CONDUIT ROUTING, IF SHOWN, IS ESSENTIALLY DIAGRAMATIC. CONTRACTOR SHALL LAYOUT RUNS TO SUIT FIELD CONDITIONS AND THE COORDINATION REQUIREMENTS OF UTILITIES AND OTHER TRADES.</li> <li>6. INSTALL AND CONNECT A CODE SIZED INSULATED COPPER EQUIPMENT GROUNDING CONDUCTOR IN ALL BRANCH CIRCUIT AND FEEDER CONDUITS. THESE EQUIPMENT GROUND WIRES ARE NOT SHOWN ON THE PLANS; INCREASE CONDUIT SIZE WHERE REQUIRED.</li> <li>7. INSTALL A POLYETHYLENE PULLING ROPE IN ALL EMPTIED CONDUITS.</li> <li>8. MOUNTING HEIGHTS SHOWN ARE FROM FINISHED FLOOR TO THE CENTERLINE OF THE DEVICE, U.O.N. ALL MOUNTING HEIGHTS SHALL BE AS SHOWN ON THE SYMBOLS LIST UNLESS OTHERWISE NOTED ON THE PLANS OR IN THE SPECIFICATIONS.</li> <li>9. ALL CONDUIT AND RACEWAY PENETRATIONS THROUGH FIRE RATED WALLS AND FLOORS SHALL BE MADE IN ACCORDANCE WITH 2013 CALIFORNIA BUILDING CODE, CHAPTER 7.</li> <li>10. ALL CIRCUITS SHALL HAVE A DEDICATED NEUTRAL CONDUCTOR. OTHERWISE, FOR MULTI-WIRE BRANCH CIRCUITS USE MULTI-POLE (HANDLE-TIE) CIRCUIT BREAKERS.</li> <li>11. SUBSCRIPTS ON SWITCH SYMBOLS (S<sub>n</sub>) DENOTE THE FIXTURE CONTROLLED.</li> <li>12. VERIFY THE EXACT LOCATION OF ALL EQUIPMENT FURNISHED BY OTHERS PRIOR TO DETERMINING CONDUIT TERMINATION POINTS.</li> <li>13. VERIFY CEILING TYPE FOR ALL FIXTURES. PROVIDE MOUNTING/TRIM HARDWARE SUITABLE FOR CEILING CONTAINING EACH FIXTURE.</li> <li>14. ALL WIRING DEVICES SHALL BE PERMANENTLY LABELED WITH PANEL AND CIRCUIT NUMBER SUPPLYING THEM.</li> <li>15. ALL EQUIPMENT TO BE INSTALLED OR PERMANENTLY CONNECTED (HARDWIRED) SHALL BE LISTED, LABELED OR CERTIFIED BY A NATIONALLY RECOGNIZED TESTING LABORATORY (NRTL).</li> <li>16. ALL RECEPTACLES, SWITCHES, AND JUNCTION BOXES SHALL BE COLOR CODED AND IDENTIFIED PER THE DIVISION 26 SPECIFICATIONS. ALL EMERGENCY SYSTEM DEVICES AND COVERPLATES SHALL BE RED IN COLOR.</li> </ol>	
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<p><b>LIGHTING CONTROL</b></p> <p>S<sub>0</sub> SINGLE POLE TOGGLE SWITCH, +45° UON, SUBSCRIPT INDICATES FIXTURES CONTROLLED S<sub>K</sub> KEY OPERATED TOGGLE SWITCH, +45° UON S<sub>D</sub> WALLBOX DIMMER SWITCH, +45° UON S<sub>ms</sub> OCCUPANCY SENSOR SWITCH, WALL MOUNTED +45° UON STANDALONE OCCUPANCY SENSOR, CEILING MOUNTED, COMPLETE WITH SWITCHPACK. PROVIDE CONNECTION BETWEEN SENSOR AND SWITCHPACK USING LOW-VOLTAGE CABLING PER MANUFACTURER'S INSTRUCTIONS. WALL MOUNTED CONTROL STATION. CONTROL STATION IN LOCATION OTHER THAN WALL. MOUNT AS DESCRIBED ON DRAWINGS. ROOM CONTROLLER RELAY UNIT. MOUNT ABOVE CEILING OR IN LOCATIONS AS INDICATED ON DRAWINGS. DAYLIGHT SENSOR. LOCATE PER DRAWINGS. CEILING MOUNTED OCCUPANCY SENSOR.</p>		<p><b>CONVENTIONS</b></p> <p>NUMBERED SHEET NOTE, APPLIES TO DRAWING CONTAINING NOTES ONLY MECHANICAL EQUIPMENT IDENTIFICATION TAG: AC: AIR CONDITIONING UNIT CU: CONDENSING UNIT EF: EXHAUST FAN HP: HEAT PUMP HV: HEAT VENT UNIT TEF: TOILET EXHAUST FAN ADDENDUM, BULLETIN, OR REVISION NUMBER FEEDER TAG EQUIPMENT TAG DETAIL REFERENCE: DETAIL DESIGNATION SHEET NUMBER FIXTURE IDENTIFICATION TAG: FIXTURE TYPE (1) 1-1/4 DASH INDICATES FRACTION PARENTHESIS INDICATES QUANTITY</p>		<p><b>ABBREVIATIONS</b></p> <table border="0"> <tr> <td>JB OR J-BOX</td><td>JUNCTION BOX</td></tr> <tr> <td>KVA</td><td>KILOVOLT AMPERE</td></tr> <tr> <td>KW</td><td>KILOWATT</td></tr> <tr> <td>KWH</td><td>KILOWATT HOUR</td></tr> <tr> <td>KALC</td><td>KILO-AMPERES INTERRUPTING CURRENT</td></tr> <tr> <td>LT</td><td>LIGHT</td></tr> <tr> <td>LTFIX</td><td>LIGHT FIXTURE</td></tr> <tr> <td>LV</td><td>LOW VOLTAGE</td></tr> <tr> <td>LCP</td><td>LIGHTING CONTROL PANEL</td></tr> <tr> <td>MFR</td><td>MANUFACTURER</td></tr> <tr> <td>MAX</td><td>MAXIMUM</td></tr> <tr> <td>MIN</td><td>MINIMUM</td></tr> <tr> <td>MCC</td><td>MOTOR CONTROL CENTER</td></tr> <tr> <td>MT</td><td>MOUNT</td></tr> <tr> <td>MTD</td><td>MOUNTED</td></tr> <tr> <td>MTG</td><td>MOUNTING</td></tr> <tr> <td>MLO</td><td>MAIN LUGS ONLY</td></tr> <tr> <td>MCB</td><td>MAIN CIRCUIT BREAKER</td></tr> </table>		JB OR J-BOX	JUNCTION BOX	KVA	KILOVOLT AMPERE	KW	KILOWATT	KWH	KILOWATT HOUR	KALC	KILO-AMPERES INTERRUPTING CURRENT	LT	LIGHT	LTFIX	LIGHT FIXTURE	LV	LOW VOLTAGE	LCP	LIGHTING CONTROL PANEL	MFR	MANUFACTURER	MAX	MAXIMUM	MIN	MINIMUM	MCC	MOTOR CONTROL CENTER	MT	MOUNT	MTD	MOUNTED	MTG	MOUNTING	MLO	MAIN LUGS ONLY	MCB	MAIN CIRCUIT BREAKER																																																																																																																																																																																								
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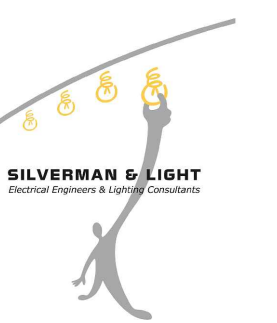
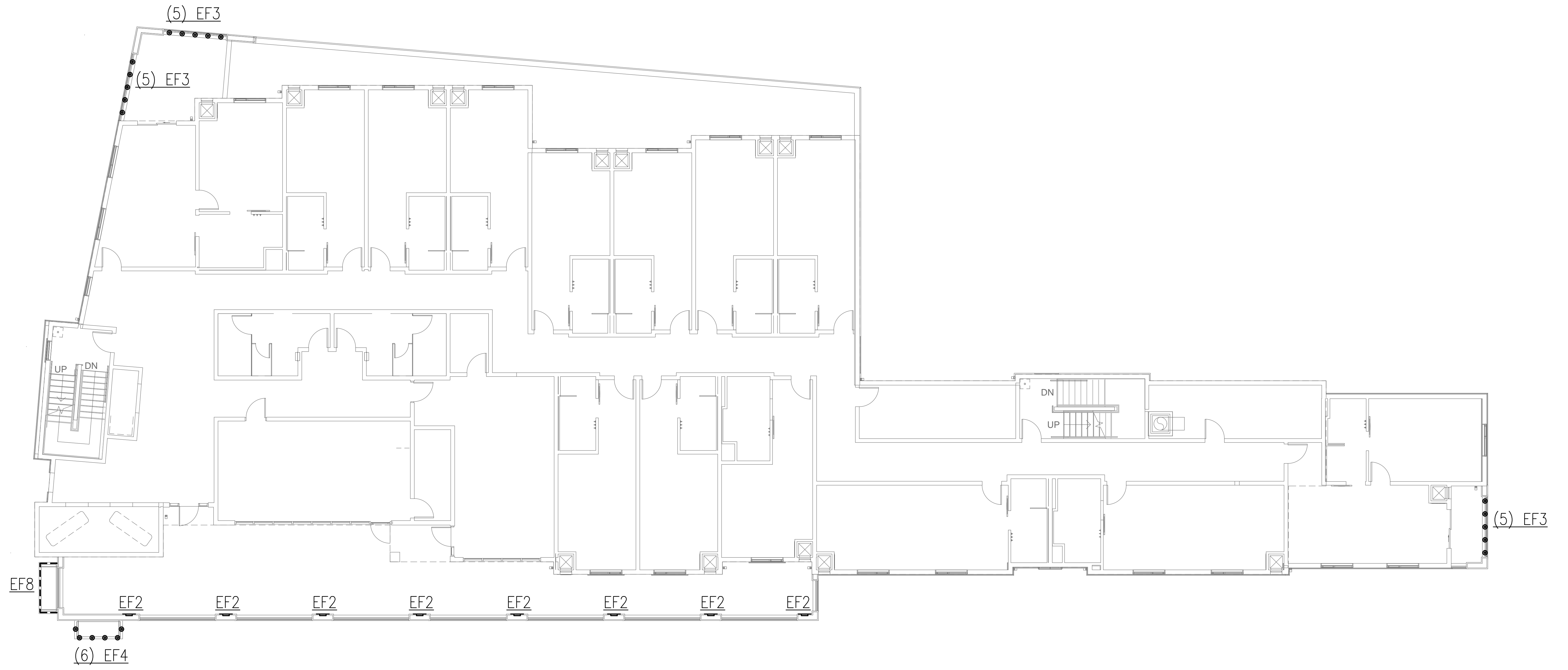
EXTERIOR LIGHTING FIXTURES										
TYPE	DESCRIPTION	MANUF. / MODEL	CATALOG NUMBER	CCT	OUTPUT LUMENS	CONTROLS	WATTAGE	WATTS/FT	VOLTS	NOTES
EF1	ACCENT SCALE WALL SCONCE WITH DIRECT / INDIRECT DISTRIBUTION. DIRECT DISTRIBUTION IESNA TYPE 2, INDIRECT DISTRIBUTION NARROW BEAM.	ARCHITECTURAL AREA LIGHTING	CY1-15-3K8-3-2-PB-UNV- **FINISH-F**FASCIA**OPTIONS	3000K	1638	0-10V DIMMABLE, PHOTOCELL / ASTRONOMICAL CONTROL TBD	15		120-277	BOTTOM OF FIXTURE TO BE MOUNTED 7'-0" ABOVE GRADE
EF2	LED RECESSED WALL STEP LIGHT. ASYMMETRIC FORWARD THROW DISTRIBUTION.	BEGA	24 060-K3-**FINISH	3000K	848	0-10V DIMMABLE, PHOTOCELL / ASTRONOMICAL CONTROL TBD	15		120-277	MOUNTING HEIGHT TO CENTERLINE OF FIXTURE ABOVE GRADE: LEVEL 2 DECK, DOG PATIO: 2'-6" BACK EGRESS PATH: 1'-0"
EF3	LED SMALL-SCALE DOWNLIGHT INTEGRATED INTO HANDRAIL. FIXTURE MOUNTED 30° FROM NADIR, FACING TOWARD ILLUMINATED AREA.	ALPHABET	750S-30K-ST-BG-CF	3000K	170	0-10V DIMMABLE, PHOTOCELL / ASTRONOMICAL CONTROL TBD	1.5		120-277	REQUIRES REMOTE DRIVER. COMBINE MAXIMUM NUMBER OF FIXTURES TO SINGLE REMOTE DRIVER WHERE POSSIBLE.
EF4	LED SMALL-SCALE DOWNLIGHT INTEGRATED INTO METAL AWNING.	ALPHABET	750S-30K-ST-BG-FF	3000K	170	0-10V DIMMABLE, PHOTOCELL / ASTRONOMICAL CONTROL TBD	1.5		120-277	
EF5	SINGLE-HEADED LED POLE AREA LUMINAIRE. FIXTURE ARM MOUNTED AT TOP OF 16'-0" POLE.	BEGA	99868-K3-**FINISH- **MOD 16' POLE	3000K	1754	0-10V DIMMABLE, PHOTOCELL / ASTRONOMICAL CONTROL TBD	15.6		120-277	CONFIRM FOOTING REQUIREMENTS WITH STRUCTURAL ENGINEER.
EF6	DOUBLE-HEADED LED POLE AREA LUMINAIRE. FIXTURE ARM MOUNTED AT TOP OF 16'-0" POLE.	BEGA	99869-K3-**FINISH- 1508HR POLE	3000K	4052	0-10V DIMMABLE, PHOTOCELL / ASTRONOMICAL CONTROL TBD	36		120-277	CONFIRM FOOTING REQUIREMENTS WITH STRUCTURAL ENGINEER.
EF7	LED SURFACE MOUNTED DOWNLIGHT WITH DECORATIVE "GEM" AND DECORATIVE SHADE. FIXTURES SURFACE MOUNTED ON BOTTOM OF TRELIS.	TEGAN LIGHTING	EX5-K-2MP-FCG-**FINISH- NKS-**FINISH	2700K	247	0-10V DIMMABLE, PHOTOCELL / ASTRONOMICAL CONTROL TBD	5		120-277	PROVIDE FIXTURES WITH REMOTE POWER SUPPLY
EF8	LED LINEAR DOWNLIGHT INTEGRATED INTO CHANNEL IN METAL AWNING.	KELVIX	SW3-**LENGTHS-30K-VR-**FEED POINTS-**FEED LENGTH-IP67	3000K	162 / FT	0-10V DIMMABLE, PHOTOCELL / ASTRONOMICAL CONTROL TBD		3.7	120-277	PROVIDE MOUNTING ACCESSORIES AS REQUIRED TO MOUNT FIXTURES INSIDE CHANNEL IN METAL AWNING. PROVIDE WITH REMOTE POWER SUPPLY.
EF9	LED DIRECT/INDIRECT WALL SCONCE WITH NARROW BEAM DISTRIBUTION.	SISTEMALUX	S.5047W	3000K	40	0-10V DIMMABLE, PHOTOCELL / ASTRONOMICAL CONTROL TBD	6.5		120-277	CENTER OF FIXTURE TO BE MOUNTED 5'-6" ABOVE GRADE.
EF10	LED CEILING SURFACE MOUNTED WALL GRAZING FIXTURE.	KELVIX	Z5-**LENGTHS-8W-30K- 2040-**MOUNTING- **FINISH-ALV	3000K	800 / FT	0-10V DIMMABLE, PHOTOCELL / ASTRONOMICAL CONTROL TBD		8	120-277	PROVIDE FIXTURES WITH REMOTE POWER SUPPLY MOUNT FIXTURES WITH LOW END OF LOUVER SLOPE FACING CENTER OF WALKWAY
EF11	LED IN-GRADE ACCENT GRAZING FIXTURE.	BEGA	84 161-K3	3000K	3513	0-10V DIMMABLE, PHOTOCELL / ASTRONOMICAL CONTROL TBD	54		120-277	FINAL LOCATION TO BE COORDINATED WITH WATER FEATURE

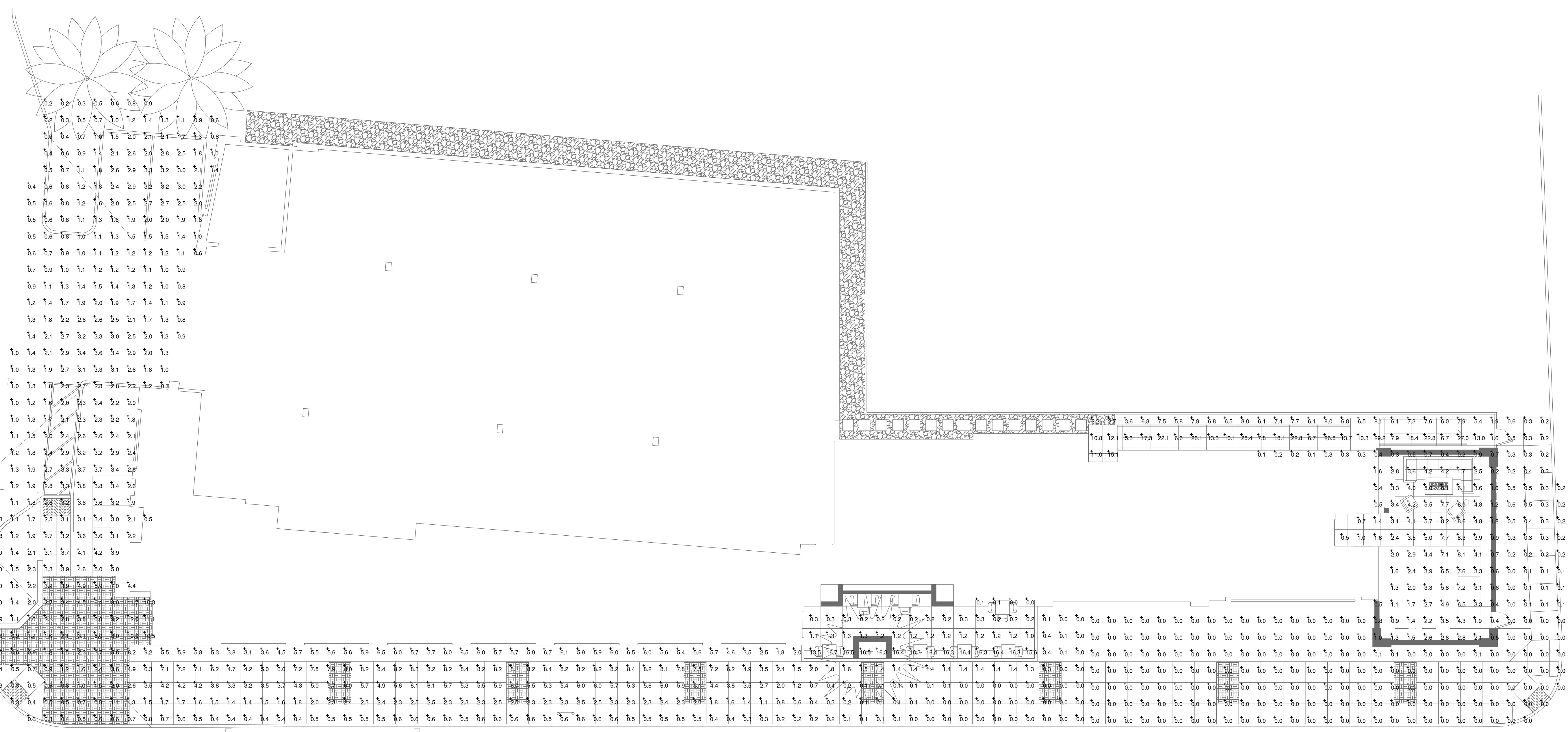




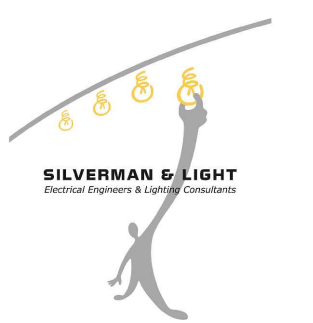




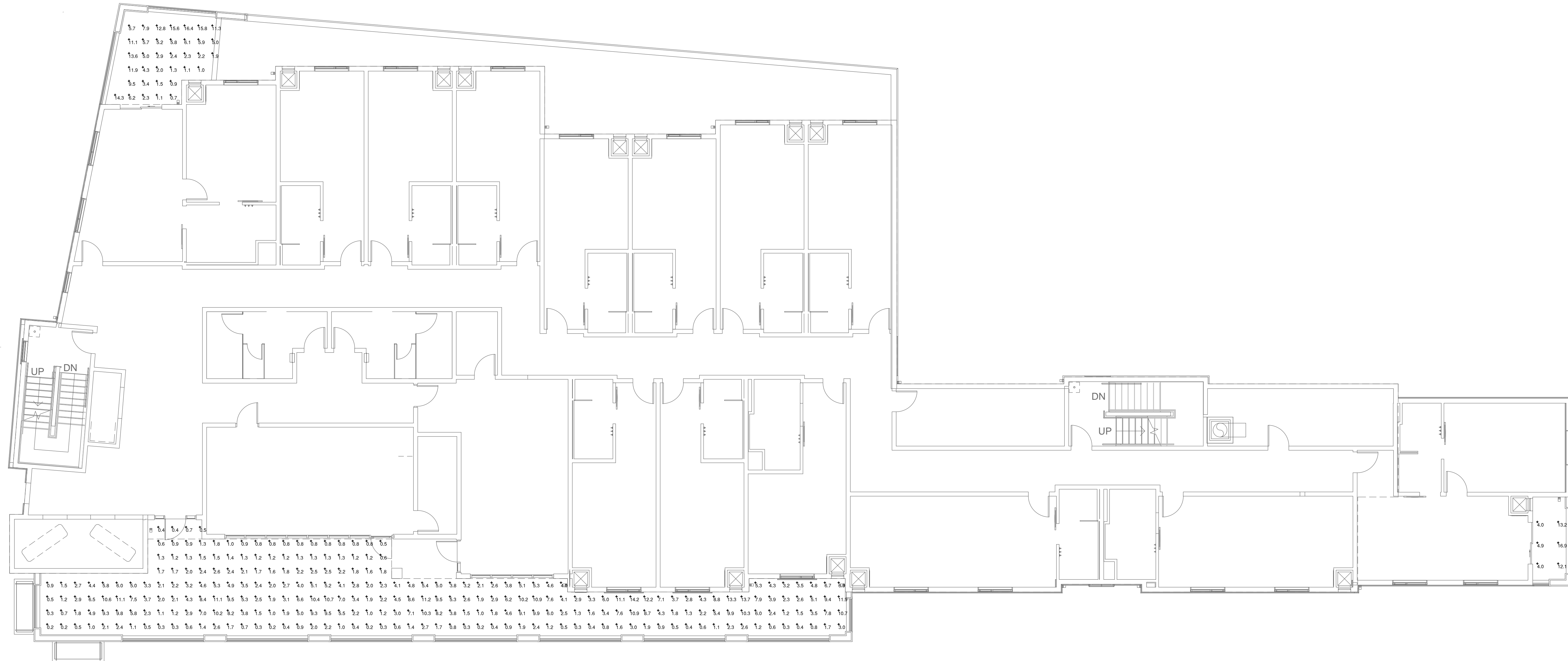




DISCLAIMER: Calculations have been performed according to manufacturer standards. Some differences between measured values and calculated results may occur due to varied calculation methods, testing procedures, component performance, measurement techniques and field conditions such as voltage and temperature variations. These calculations are for reference only.





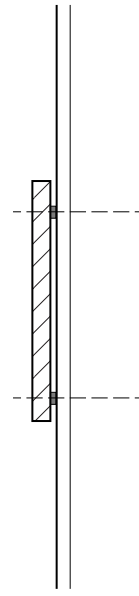


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# 1580

BUILDING ADDRESS NUMBERS:  
CUT-OUT ALUMINUM NUMERALS PER  
DIGITAL PRODUCTION ART AS PROVIDED  
BY DESIGNER.

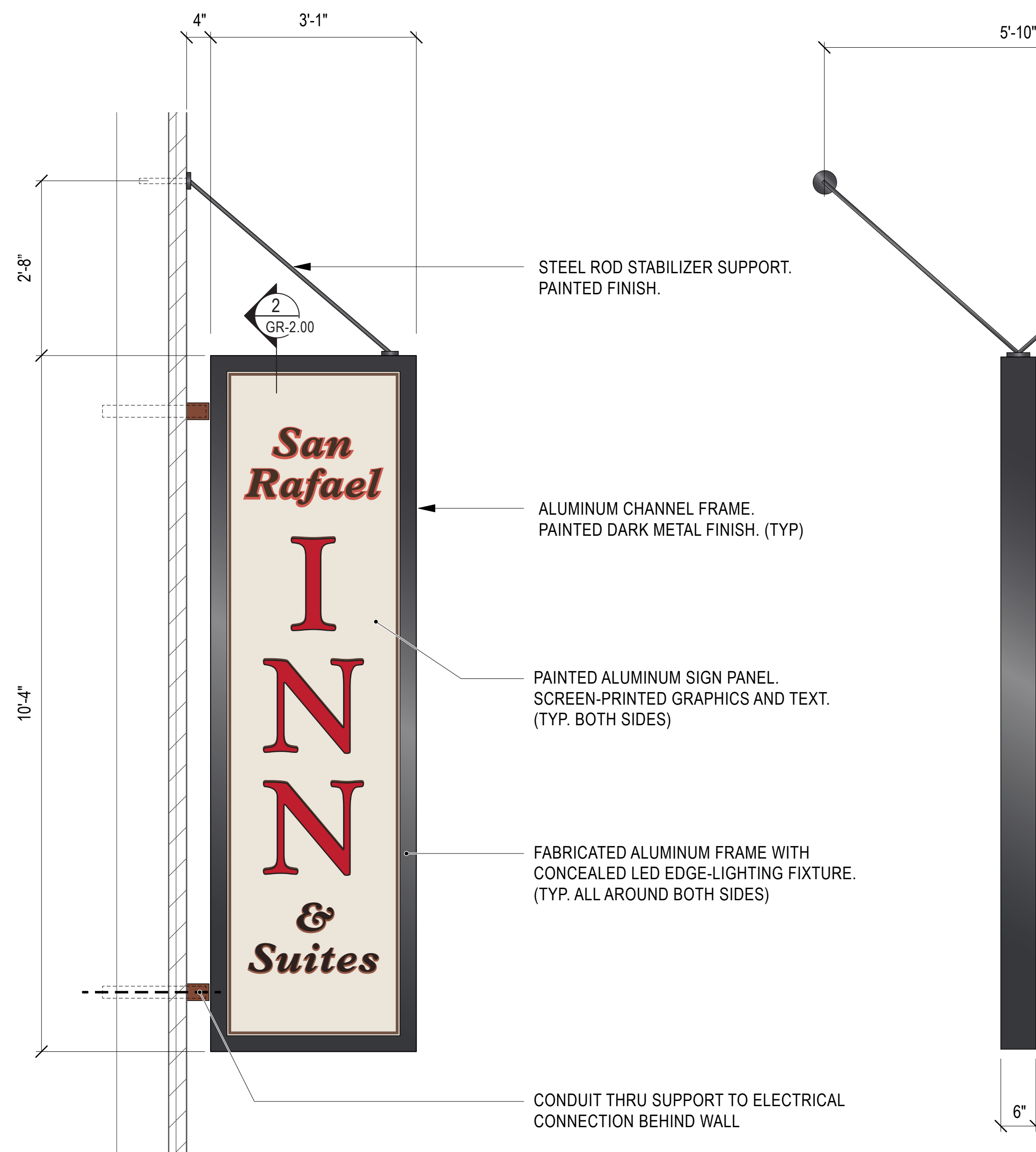
BLACK METAL MATTE FINISH. NON-CORROSIVE  
SPACERS, 1/4" THK. ATTACH TO EXISTING BUILDING  
SURFACE WITH STAINLESS STEEL ANCHOR BOLTS.



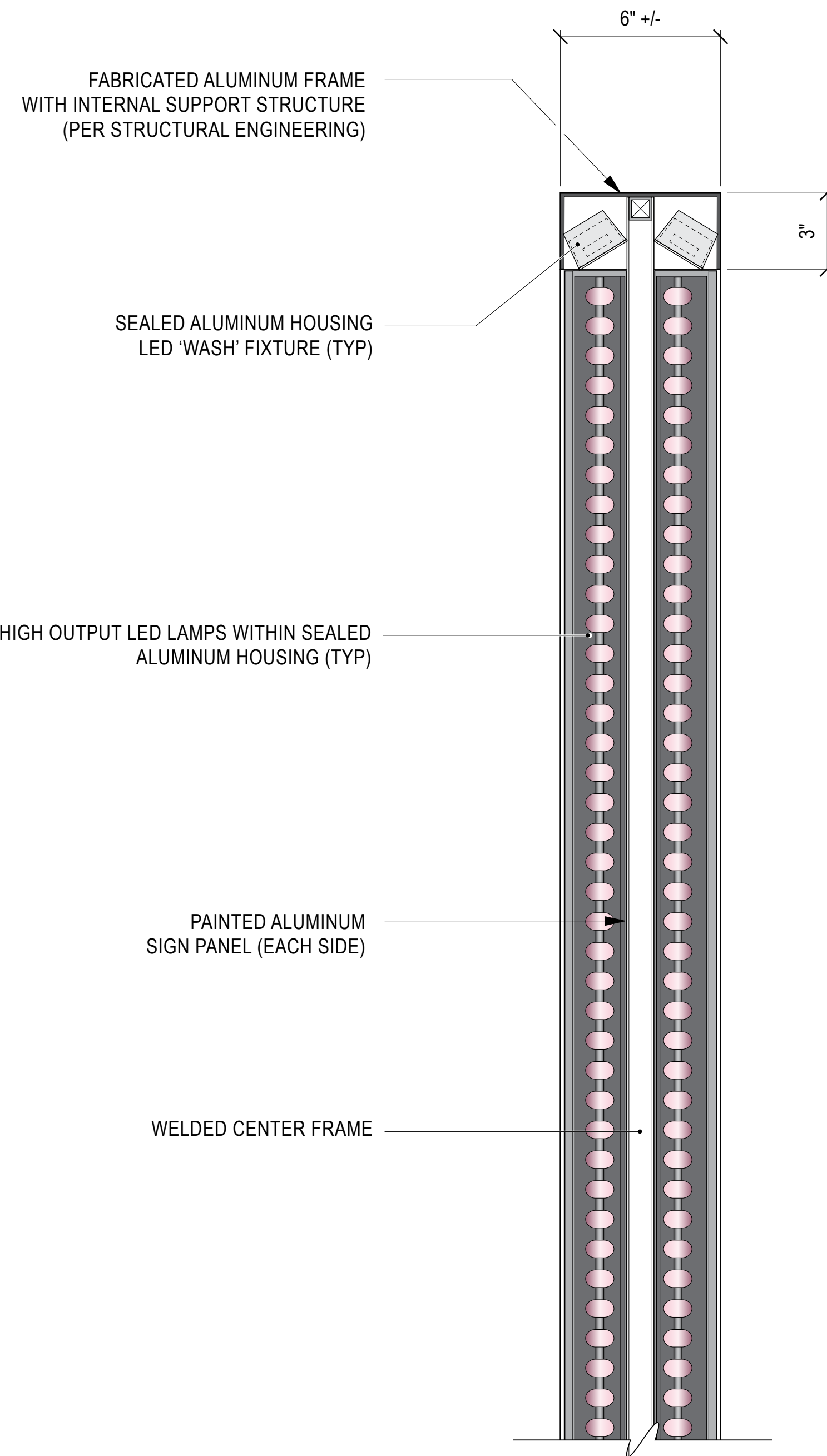
SEALED ALUMINUM HOUSING - ANODIZED FINISH.  
HIGH OUTPUT LED ILLUMINATION. CONCEALED BALLAST.  
CUSTOMIZED HOUSINGS TO BE SIZED AS NEEDED.

PROJECT LIGHTING DESIGNER SHALL SPECIFY AND SOURCE OPTIMUM  
FIXTURE(S) FOR SUITABILITY AND LIGHTING EFFECTIVENESS.

4 BLADE ID SIGN - DETAIL  
SCALE: 3/4" = 1'-0"

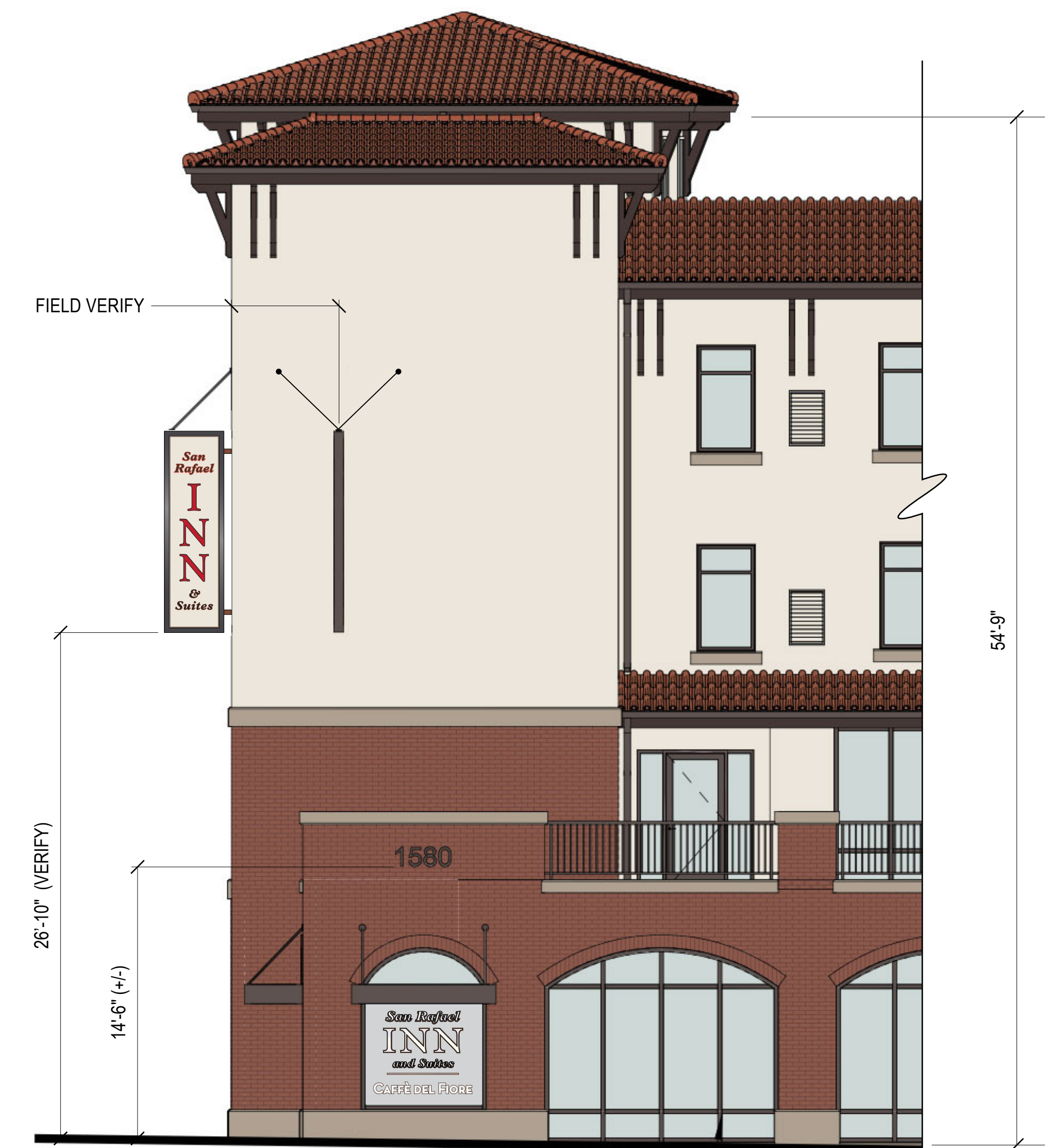


1 BLADE ID SIGN - DETAIL  
SCALE: 3/4" = 1'-0"



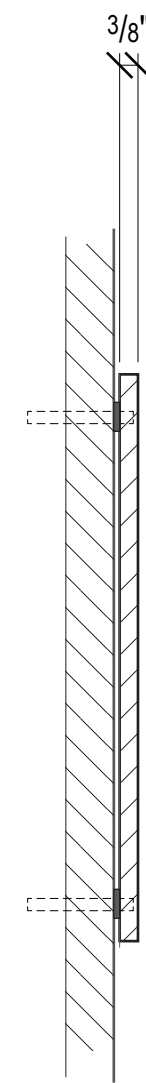
2 BLADE SIGN - SECTION  
SCALE: 3" = 1'-0"

5 EDGE-LIGHTING FIXTURE - REFERENCE ONLY  
SCALE: 3/16" = 1'-0"



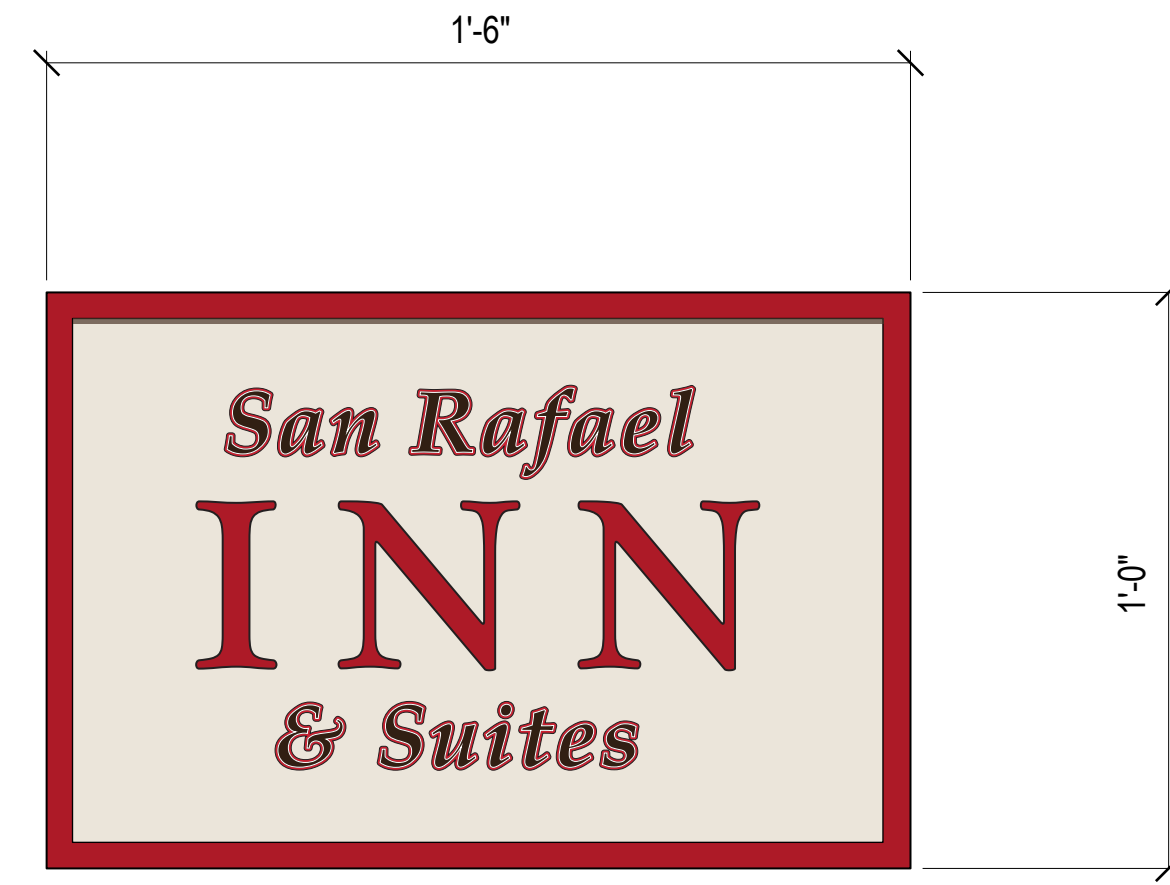
3 WEST ELEVATION - LOCATION DETAIL  
SCALE: 3/16" = 1'-0"





CAST ALUMINUM (OR BRASS) PLAQUE.  
RAISED BORDER, TEXT AND GRAPHICS.  
ALL SURFACES PAINTED.

MOUNT TO EXISTING WALL WITH CONCEALED  
STAINLESS STEEL ANCHOR SCREWS.



GRAPHICS AND TEXT SHOWN FOR  
INFORMATION ONLY PENDING APPROVAL  
BY ARCHITECT/CLIENT.

3 HOTEL ID PLAQUE @ ENTRANCE  
SCALE: 3" = 1'-0"



EXTERIOR (FRONT) VIEW

DIGITAL CUT ADHESIVE VINYL LETTERFORMS  
APPLIED SECOND SURFACE AT FRONT FRONT  
PANE OF DOUBLE-PANED WINDOW

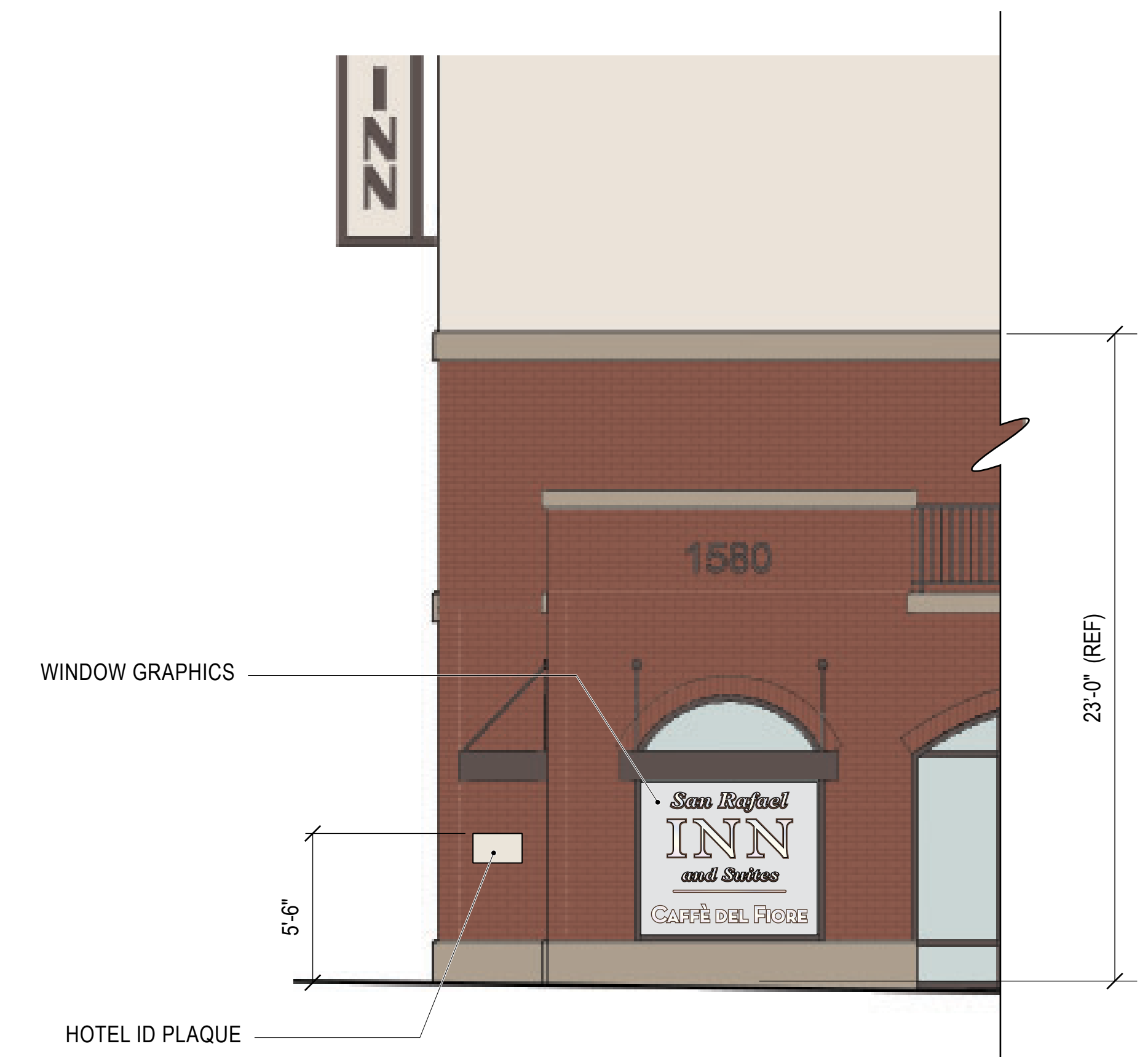
OPAQUE VINYL LETTERFORMS APPLIED TO BACK

SIGNAGE VENDOR TO VERIFY FINAL  
PRODUCTION ART FROM DESIGNER



INTERIOR (REAR) VIEW

1 WINDOW GRAPHICS - GROUND FLOOR  
SCALE: 1" = 1'-0"



2 WEST ELEVATION - LOCATION DETAIL  
SCALE: 1/4" = 1'-0"