



SAN RAFAEL
THE CITY WITH A MISSION

Community Development Department – Planning Division

Meeting Date: June 8, 2021
Case Numbers: UP21-006, ED21-022
Project Planner: Steve Stafford – (415) 458-5048
Agenda Item: 3

REPORT TO DESIGN REVIEW BOARD

SUBJECT: 800 Mission Ave. (“Aegis Living San Rafael”) – Request amendment of Use Permit and an Environmental and Design Review Permit approvals to allow a 11’ 2” height bonus for a previously approved senior assisted living and memory care facility on two vacant Downtown parcels with 29,885 sq. ft. of combined area. Amendment of the approvals would increase the height of the building from 36’ to 47’ 2” and increase the unit count from 77 suites to 106 suites. The remainder of the approved site and building design would remain unchanged; APNS: 011-184-08 & -09; Multifamily Residential – High Density (HR1) District Zone; Geoff Forner, Applicant; ASC San Rafael LLC, Owner; Downtown Neighborhood.

*****Continued from the May 4, 2021 Design Review Board Meeting*****

PROPERTY FACTS

| | | | |
|--|---------------------------------------|--|-----------------------------|
| Location | General Plan Designation | Zoning Designation | Existing Land-Use |
| <i>Project Site:</i> | High-Density Residential (HDR) | HR1 | Vacant Lot |
| North: | HDR | HR1 | SFR |
| South: | 5/M R/O | 5/M R/O | Apartment Buildings |
| East: | 5/M R/O | 5/M R/O | Service Station w/Mini-Mart |
| West: | HDR | HR1 | Office |
| Lot Size | | Lot Coverage (Max.) | |
| Required: 29,885 sf | | Allowed: 60% (17,931 sf) | |
| Proposed: 6,000 sf | | Proposed: 59% (17,720 sf) | |
| Height | | Density (Max.) | |
| Allowed: 36’ | | Allowed: 29 units (1 unit per 1,000 sf of gross lot area) | |
| Proposed: 47’ 2” (includes height bonus; excludes domes, trellis elevator and staircase protruding features) | | Proposed: None (‘efficiency kitchens’ only for assisted care units only) | |
| Parking | | Usable Outdoor Area (Min.) | |
| Required: 53 parking spaces | | Required: None (Recommended 100 sf per unit) | |
| Proposed: 40 parking spaces | | Proposed: 6,248 sf (common indoor and outdoor recreational area) | |
| Landscaping (Min.) | | Setbacks | |
| Required: 50% of Front and Street Side Setback (2,164 sf) | | <u>Required</u> | <u>Existing</u> |
| Proposed: 51% of Front and Street Side Setback (2,209 sf) | | Front: 15’ | n/a |
| | | Side(s): | |
| | | Street: 10’ | n/a |
| | | Interior: 5’ | n/a |
| | | Rear: 5’ | n/a |
| | | | <u>Proposed</u> |
| | | | 15’ |
| | | | 10’ |
| | | | 5’ |
| | | | 5’ |
| Tree Removal | | Grading | |

| | | |
|--|-----------|-------------|
| Total(No./Species): 6 (4 'mature') + 5 Street Trees (1 'mature') | Total: | 14,000 CYDS |
| Requirement: None (15 Replacement Trees Encouraged) | Cut: | 13,000 CYDS |
| Proposed: 13 Replacement Trees (includes 3 Street Trees) | Fill: | 1,000 CYDS |
| | Off-Haul: | 13,000 CYDS |

SUMMARY

The project is being referred to the Design Review Board (Board) for review of proposed amendments to an approved project. On September 4, 2018, the City Council denied an appeal (City Council Resolution No. 14575) and upheld the Planning Commission’s July 10, 2018 conditional approval of a new assisted living facility with memory care services and 40 garage parking spaces, located at 800 Mission Ave. (previously 1203-1211 Lincoln Ave.). The proposed amendments request a height bonus of 11’ 2”, increasing the overall height, from 36’ to 47’ 2”. The proposed height bonus would also increase the size of the project, from 77 resident ‘suites’ to 106 ‘resident’ suites. The site is currently vacant, and the project would include site grading, drainage, landscaping and signage.

The proposed amendments to the approved project require the following approvals by the Planning Commission with the recommendation of the Board:

- An Environmental and Design Review Permit Amendment for modifications in the design of the approved building and site improvements; and
- A Use Permit Amendment to allow both the new assisted living facility to operate on the site, the requested height bonus and a *Parking Modification* to reduce the parking requirement for the project, from 53 to 40 on-site parking spaces.

This is an amendment of an approved project in which the Board’s review is limited to the scale/mass of the requested height bonus; how it relates to the surrounding neighborhood since the expanded project retains the California Mission Revival architecture, which the Board unanimously recommended for approval to the Planning Commission on June 5, 2018. No other changes to the approved design of the project are proposed. Staff supports the scale/mass of the requested height bonus, finding it adequately relates to the predominant four- and three-story scale of existing development immediately adjacent to the project site. Staff requests the Board’s comments on the following:

Scale/Mass

- Whether the scale/mass of the requested height bonus adequately relates to the predominant scale of existing development of development in the immediate neighborhood.

BACKGROUND

Site Description & Setting:

The project site is comprised of two (2) adjacent parcels located at the northwest corner of the intersection of Lincoln and Mission Avenues. The site is a combined 29,885 sq. ft. in area and has an approximate 10% cross-slope, trending northwest to southeast. In 2007, prior buildings located on the project site were demolished, which remains vacant.

The project site is surrounded by predominantly multifamily residential development immediately to the north and west, a service station to the south across Mission Ave. and a mixture of commercial office and single-family residential development to the east across Lincoln Ave.

History:

- On September 4, 2018, the City Council denied an appeal and upheld the Planning Commission’s conditional approval of a Use Permit (UP17-030) and an Environmental and Design Review Permit (ED17-090) to allow the construction and operation of a new 77-suite

assisted living facility with memory care and associated garage parking, and site improvements on two (2) vacant Downtown parcels located at 800 Mission Ave.

- On October 8, 2019, the Design Review Board recommended approval of final details on the site landscaping, exterior lighting and outdoor terrace finishes.
- On March 10, 2020, Planning staff approved a minor modification to the design of the blue-tiled tower/dome feature, located at the southeast corner of site, to include additional windows to match the existing approved window design.
- On August 21, 2020, Planning staff again approved a minor modification to the design of the blue-tiled tower/dome feature, located at the southeast corner of site, to reduce the overall height, and to redesign and relocate the approved water fountain feature.
- On September 8, 2020, the Community Development Director approved the consolidation (LLA19-006) of the two (2) parcels. This Lot Line Adjustment/Consolidation will need to be recorded with the County of Marin by the applicant or property owner prior to issuance of building permits.
- On February 25, 2021, the Zoning Administrator approved a two (2) year time extension for the project due to project's financial infeasibility to construct during a global pandemic event. No additional changes, modifications or additions were proposed or approved to the project.
- Building permits for the project were submitted on September 3, 2019 (foundation only) and October 21, 2019 (building) and approved on December 20, 2019 (foundation only) and August 21, 2020 (building). The building permit for the foundation only was issued on December 20, 2019 though no site grading has occurred on the site. The building permit for the building has not been issued.
- On May 4, 2021, the Board unanimously (4-0 vote, Blayney absent) approved a requested continuance by staff to a 'date certain', to the next scheduled Board meeting on May 18, 2021, to allow staff time to better provide the Board with plans in a format more usable for the complexities of the project. This continuance was approved without staff introduction, acceptance of public comments or Board discussion on the project.

PROJECT DESCRIPTION

Use:

The project proposes to amend the height and unit count of an approved assisted living facility with memory care services on the project site.

Site Plan:

No design changes are proposed to the approved site plan.

Building Height:

The project proposes to increase the approved height of the building, from 36' to 47' 2". The project essentially proposes to add an additional or fifth floor with additional residential 'suites.' The approved height of the dome features, and rooftop elevator and stair overruns will not increase.

Floor Plan:

The project proposes to add an additional or fifth floor with 29 additional residential 'suites', increasing the overall unit count, from 77 approved 'suites' to 106 proposed residential 'suites'. No changes are proposed to the remaining approved floor plans. The second floor continues to provide secured

memory care services and includes common indoor and outdoor terrace areas. The previously approved rooftop terrace was removed from the project design during the approval of the time extension by the Zoning Administrator in February 2021.

Architecture:

No design changes are proposed to the approved architecture. Rather, the proposed amendment to the project would return the blue-tiled dome feature along Lincoln Ave., which was previously approved by staff at the request of the applicant to meet cost-efficiencies. The project is approved with a Spanish Colonial- or Mission Revival-like architecture with predominant design features including large arched windows, whitewashed stucco walls, red clay roof tiles and tile dome towers. The dome on top of the tower features were approved to be externally-illuminated and tiled in a color (blue) distinct from the red roof tile which would complement the blue fabric awnings along both street elevations. Decorative heavy-timber rafter ‘tails’ are included under the roof eaves. Decorative wrought iron balconies, railings, fencing and gates are well-presented along all building facades. The previously approved, externally-illuminated, 12’-dia. circular fountain with a center statue or sculpture, located at the Mission and Lincoln Ave. intersection, was removed and replaced with additional landscaping as an administrative amendment by staff in 2020.

No changes are proposed to the approved exterior colors and materials. The proposed additional or fifth floor is proposed to match the approved exterior colors and materials.

Parking:

No design changes are proposed to the approved parking garages plan. The project is approved for 40 on-site garage parking spaces. Of these, 37 parking spaces are located in the subterranean parking garage accessed by the driveway along Mission Ave. and three (3) additional parking spaces will be located on the first floor and accessed by the driveway along Lincoln Ave.

Landscaping:

No design changes are proposed to the approved site landscape plans. The project proposes to remove six (6) existing on-site trees on the smaller (1211 Lincoln Ave.) portion of the site, four (4) of which are ‘significant’ (A ‘significant’ tree is any tree 12” or greater in diameter, as measured 4.5’ above the root crown, or any Oak tree 6” or greater in diameter, as measured 4.5’ above the root crown). In 2007, all site landscaping was previously removed from the larger parcel (1203 Lincoln Ave.) during demolition of the prior motor court. The project also proposes to remove five (5) existing street trees along the Lincoln Ave. frontage, one (1) of which is ‘significant’. The project is approved to plant new landscaping along both the Mission and Lincoln Ave. frontages, including 10 replacement trees, plus three (3) new street trees along Lincoln Ave., and a mixture of shrub, grass and vine plantings. New landscaping is also required within a raised bioretention ‘planter’ bordering the 2nd level outdoor rear terrace.

Grading/Drainage:

No design changes are proposed to the approved preliminary grading and drainage plan. The project proposes a total of 14,000 cubic yards (CYDS) of excavation with 13,000 CYDS of ‘cut’, 1,000 CYDS of ‘fill’ and 13,000 YDS of off-haul. A raised, 1,036-sq. ft., bioretention ‘planter’ is approved bordering the 2nd level outdoor rear terrace with landscaping.

ANALYSIS

General Plan 2020 Consistency:

The General Plan land use designation for the site is High Density Residential (HDR). Pursuant to Land Use Policy LU-13 (*Height Bonuses*) in the San Rafael General Plan 2020, a height bonus of up to 12’ may be granted with a Use Permit for development projects that meet the affordable housing requirement, provided the building’s design is consistent with Community Design policies and design

guidelines. The project requests a 11' 2" height bonus. Staff requests the Board's guidance in evaluating the project for consistency with the following design-related General Plan Policies:

- *Community Design Policy CD-1d (City Image) Landscape Improvements recognizes that landscaping is a critical design component to. Encourage maximum use of available landscape area to create visual interest and foster sense of the natural environment in new and existing developments. Encourage the use of a variety of site appropriate plant materials.*
- *CD-2 (Neighborhood Identity) Recognize and promote the unique character and integrity of the city's residential neighborhoods and Downtown. Strengthen the "hometown" image of San Rafael by: a) Maintaining the urban, historic, and pedestrian character of the Downtown; b) Preserving and enhancing the scale and landscaped character of the City's residential neighborhoods; c) Improving the appearance and function of commercial areas; and d) Allowing limited commercial uses in residential neighborhoods that serve local residents and create neighborhood-gathering places.*
- *CD-3 (Neighborhoods) seeks to recognize, preserve and enhance the positive qualities that give neighborhoods their unique identities, while also allowing flexibility for innovative design. New development should respect the context and scale of existing neighborhoods.*
- *CD-5 (Views) seeks to respect and enhance to the greatest extent possible, views of the Bay and its islands, Bay wetlands, St. Raphael's church bell tower, Canalfront, marinas, Mt. Tamalpais, Marin Civic Center and hills and ridgelines from public streets, parks and publicly accessible pathways.*
- *CD-7 (Downtown and Civic Center) Build upon the character of these areas by controlling land uses to clearly distinguish their boundaries; by recognizing Mission San Rafael Arcangel and St. Raphael Church, Marin Civic Center, and other buildings that help define the City's character, and requiring that these and other architectural characteristics and land uses that give these areas their identity are strengthened.*
- *CD-9 (Transportation Corridors) seeks to improve the function and appearance of transportation corridors, recognize those shown on Exhibits 17 and 18 and define each corridor's contribution to the City based upon its land use and transportation function and how it is experienced by the public.*
- *CD-10 (Nonresidential Design Guidelines) Recognize, preserve and enhance the design elements that contribute to the economic vitality of commercial areas. Develop design guidelines to ensure that new nonresidential and mixed-use development fits within and improves the immediate neighborhood and the community as a whole.*
- *CD-18 (Landscaping) recognizes landscaping as a significant component of all site design.*

Planning staff continues to find the landscaping and pedestrian scale along the street frontages helps connect the predominant residential character along Lincoln Ave., a transportation corridor, with the commercial Downtown immediately south of the project site. The proposed Mission Revival architecture appears to respect and not compete with the scale and design of St. Raphael's church bell tower. While the St. Raphael's church bell tower is approximately 10' lower in height of the domed towers in the proposed project design, St. Raphael's church bell tower is located more than two city blocks (1,100') west of the project site and approximately 30' higher in elevation. While the towers in the proposed project design would likely create a new view impact of Puerto Suello Hill as seen from northbound U.S. Highway 101, staff finds this to be limited.

General Plan 2040 Consistency:

The City is currently in the process of updating the General Plan. Under the draft General Plan 2040, the General Plan land use designation for the site is Downtown Mixed Use (DMU) with a maximum height as determined by the draft Downtown Precise Plan (currently 40'). The draft Downtown Precise Plan allows a height bonus of up to 10' (overall maximum height of 50') on the site. The project requests a 11' 2" height bonus for an overall height of 47' 2" (per UBC measurement of height).

Zoning Ordinance Consistency:

Chapter 4 – Residential (R, DR, MR, HR) Districts

The site is located within the Multifamily Residential – High Density (HR1) District. The proposed project will require consistency with the property development standards for the HR1 District, including maximum 60% lot coverage, minimum required yard setbacks (15' front; 10' street side; 5' interior side and rear) and minimum landscaping (50% of required front and street side yards). The project will exceed the maximum 36' height for the site, subject to the requested height bonus. Additionally, the project voluntarily proposes to create 3,970 sq. ft. of usable common outdoor area for the residents, reduced from 5,876 sq. ft. of usable common outdoor area previously approved by the project and after the elimination of the roof terrace. Pursuant to SRMC Section 14.04.040 (Property Development Standards for the HR District), common indoor area suitable for recreational uses may be counted toward the usable outdoor area requirement. Once these areas are included, the project proposes 6,248 sq. ft. of combined common indoor and outdoor area suitable for recreational use. These property development standards applicable to the project are identified in the *Property Facts* summary above. As designed, the project complies with all applicable property development standards for the HR1 District, including maximum lot coverage, minimum required yard setbacks and minimum landscaping. The project also would comply with the maximum height, subject to the requested height bonus.

Chapter 16 – Site and Use Regulations

Affordable Housing Requirement

SRMC Section 14.16.030 (*Affordable Housing Requirement*) requires all non-residential development projects to comply with the City's adopted inclusionary housing requirement through the payment of an in-lieu fee based on the type of development proposed for the site. The project continues to propose an assisted living facility with memory care services which is comparable to a hotel use. The proposed facility would continue to provide rooms or 'suites' with limited 'efficiency kitchens' and offer ancillary services to the residents like communal dining (both indoor and outdoor), "juice bar", "pub", "bistro", fitness, barber/salon, cinema and activities areas, in which some of these services would not be typically found in a hotel. Therefore, it is still credible to apply a hybrid rate for determining the amended affordable housing requirement linkage fee.

The approved project is 64,054 sq. ft. in size and, when applying both the hotel (0.0075 affordable units per 1,000 gross sq. ft.) and personal service rates (0.0225 affordable units per 1,000 gross sq. ft.) identified in Table 14.16.030 – 3, was required to provide 0.015 affordable housing units per 1,000 gross sq. ft., which translates to 0.96 low income units or an affordable housing in-lieu fee of approximately \$318,827.20 for the project, using the then-current affordable housing in-lieu fee of \$331,070.00 per unit. To further contribute to the City's affordable housing initiatives, the prior property owner voluntarily increased the affordable housing in-lieu fee to \$500,000 as a 'public benefit' (a 63.8% increase in the required affordable housing requirement), which was accepted by Planning Commission and the City Council on project appeal as a condition of project approval.

The amended project proposes to increase the new building size to 75,489 sq. ft. which, when applying the same affordable housing requirement formula (0.015 affordable housing units per 1,000 gross sq. ft.) translates to 1.13 low income units, or a revised affordable housing in-lieu fee of \$389,488.66 for the project, using today's updated affordable housing in-lieu fee of \$343,969.47 per unit. The current

property owner, Aegis Senior Communities LLC ('Aegis Living'), proposes to continue to voluntarily increase the affordable housing in-lieu fee to \$589,569 as a 'public benefit' (a 66% increase in the required affordable housing requirement).

Height Bonus

SRMC Section 14.16.190 (B) (*Lincoln Avenue Height Bonus*) a height bonus may be granted through Use Permit by the Planning Commission of up to 12' for projects located on Lincoln Avenue, between Mission Avenue and Hammondale Ct., on lots greater than one hundred fifty (150') in width and 20,000 sq. ft. in size and meeting their affordable housing requirement. The project meets the location, width and size requirement. As stated previously in staff's report, the required affordable housing in-lieu fee for the amended project is \$389,488.66 (1.13 affordable housing units), using the current affordable housing in-lieu fee of \$343,969.47 per unit. The project proposes to voluntarily increase the affordable housing in-lieu fee to \$589,569 as a 'public benefit' (a 66% increase in the required affordable housing requirement).

Chapter 18 – Parking Standards

Parking Requirements

SRMC Section 14.18.040 (*Parking Requirements*), the project requires on-site parking, based on the following proposed uses:

- Assisted living facilities are required to provide one (1) parking space for each five (5) clients; plus
- One (1) parking space for each staff person, visiting doctor or employee on maximum staffed shift.

Based on this formula, the project was required to provide 44 off-street parking spaces though it was approved to provide 40 off-street parking spaces, subject to a requested *Parking Modification* and supported with a traffic and parking study (Transpogroup, dated May 30, 2018), which anticipated peak parking demand of 31 parking spaces for residents, staff, physicians and guests, based on a proposed 88-bed assisted living facility. The amended project proposes to increase both the number of residents and staffing levels. Based on this formula, the amended project is required to provide 53 off-street parking spaces. The project continues to propose to provide 40 off-street parking spaces, subject to a requested *Parking Modification* and supported with an updated traffic and parking study (Transpogroup, dated March 3, 2021), which anticipated peak parking demand of 37 parking spaces for residents, staff, physicians and guests, based on a proposed 106-bed assisted living facility ([Updated Transportation and Parking Study](#)). The amended project essentially requests a height bonus to increase the number of beds for memory care residents. This updated traffic and parking study, like the original analysis, finds the memory care residents would create no parking demand since memory care residents are prohibited from vehicle ownership due to cognitive difficulties. The total required parking for the amended project is 53 on-site parking spaces while 40 on-site parking spaces continue to be proposed with requests for a *Parking Modification* for 13 required on-site parking spaces.

Parking Modification

The revised project continues to request a *Parking Modification*, through the Use Permit Amendment, to reduce the parking requirement by 13 parking spaces, from 53 to 40 on-site parking spaces, based on the historic operational needs from other assisted living facilities similar to the project. The amended project, like the approved project, supports this request with an updated traffic and parking study (Transpogroup, dated March 3, 2021; access [here](#)), which anticipates peak parking demand of 37 parking spaces for residents, staff, physicians and guests, based on a proposed 106-bed assisted living facility. All requests for *Parking Modification* require the review and recommendation of both the Community Development Director and the City Engineer, and the approval of the Planning Commission. The Community Development Director, through Planning staff, and the City Engineer

support this request for *Parking Modification*, concurring with the analysis and findings in the submitted updated traffic and parking study, and, like the approved project, subject to the subsequent submittal of a Transportation Demand Management Plan (TDMP) prepared by a licensed traffic engineer, identifying strategies and recommendations to reduce employee/staff trips and minimize parking and/or traffic impacts. The TDMP shall be subject to review and approval of the Community Development Director and the City Engineer, who reserves the right to require modifications to the TDMP and the applicant agrees to incorporate all recommendations outlined in the TDMP, including modifications required by the City, during the occupancy of the site by the approved use.

Guest Parking

Guest parking spaces are not required in the Downtown unless located within 200' of a residential district. While the project site is located within a residential district, guest parking is required for multifamily residential projects, based on residential units. As stated earlier in staff's report, the amended project does not propose any residential units (The project is comparable to a hotel by proposing to provide rooms or 'suites' for residents with 'efficiency kitchens' and with communal dining and entertainment and personal services) and, therefore, is not required to provide guest parking though voluntarily provides it. The project has submitted an updated traffic and parking study to support a request for *Parking Modification*, which anticipates peak parking demand (weekday) of 37 parking spaces which reduces to 28 spaces on weekends. Since the amended project continues to propose 40 off-street parking spaces, all parking spaces in excess of the 37 required parking spaces (weekdays, 28 weekends) would be available for guest parking.

Chapter 25 – Environmental and Design Review Permit

The project requires amendment of the existing approved Environmental and Design Review Permit by the Planning Commission with the Board's recommendation. The pertinent review criteria for Environmental and Design Review permits, pursuant to Section 14.25.050 (*Review Criteria; Environmental and Design Review Permits*), are as follows:

- *Site Design. Proposed structures and site development should relate to the existing development in the vicinity. The development should have good vehicular and pedestrian circulation and access. Safe and convenient parking areas should be designed to provide easy access to building entrances. The traffic capacity of adjoining streets must be considered. Major views of the San Pablo Bay, wetlands, bay frontage, the Canal, Mt. Tamalpais and the hills should be preserved and enhanced from public streets and public vantage points. In addition, respect views of St. Raphael's Church up "A" Street.*
- *Architecture. The project architecture should be harmoniously integrated in relation to the architecture in the vicinity in terms of colors and materials, scale and building design. The design should be sensitive to and compatible with historic and architecturally significant buildings in the vicinity. Design elements and approaches which are encouraged include: a) creation of interest in the building elevation; b) pedestrian-oriented design in appropriate locations; c) energy-efficient design; d) provision of a sense of entry; e) variation in building placement and height; and f) equal attention to design given to all facades in sensitive location.*
- *Materials and colors. Exterior finishes should be consistent with the context of the surrounding area. Color selection shall coordinate with the predominant colors and values of the surrounding landscape and architecture. High-quality building materials are required. Natural materials and colors in the earth tone and wood tone range are generally preferred. Concrete surfaces should be colored, textured, sculptured, and/or patterned to serve design as well as a structural function.*
- *Walls, Fences and Screening. Walls, fences and screening shall be used to screen parking and loading areas, refuse collection areas and mechanical equipment from view. Screening of mechanical equipment shall be designed as an integrated architectural component of the building*

and the landscape. Utility meters and transformers shall be incorporated into the overall project design.

- *Exterior Lighting. Exterior lighting should provide safety for building occupants, but not create glare or hazard on adjoining streets or be annoying to adjacent properties or residential areas.*
- *Landscape Design. Landscaping shall be designed as an integral enhancement of the site and existing tree shall be preserved as much as possible. Water-conserving landscape design shall be required. A landscaped berm around the perimeter of parking areas is encouraged. Smaller scale, seasonal color street trees should be proposed along pedestrian-oriented streets while high-canopy, traffic-tolerant trees should be proposed for primary vehicular circulation streets.*

Staff's Comments. This is an amendment of an approved project in which the Board's review is limited to the scale/mass of the requested height bonus; how it relates to the surrounding neighborhood since the expanded project retains the California Mission Revival architecture, which the Board unanimously recommended for approval to the Planning Commission on June 5, 2018. No other changes to the approved design of the project are proposed. The topography of the project site slopes (11% average cross-slope) up from the intersection of Mission and Lincoln Avenues to the rear of the site, trending southeast-to-northwest. This site topography helps to underground the 1st floor of the new building at the rear of the site. The amended project would have the visual appearance of a five-story building at the intersection of Mission and Lincoln Avenues and a four-story building at the rear and interior side elevations. The predominant scale of existing development immediately adjacent to the project site is four-story (west; 820 Mission Ave.) and three-story (north; 1215 Lincoln Ave. and 111 Laurel Pl.).

Staff supports the scale/mass of the requested height bonus, finding it adequately relates to the predominant four- and three-story scale of existing development immediately adjacent to the project site. Staff requests the Board's comments on the following:

- Whether the scale/mass of the requested height bonus adequately relates to the predominant scale of existing development of development in the immediate neighborhood.

Subdivision Ordinance Consistency:

Chapter 5 – Lot Line Adjustments and Consolidations

The amended project continues to propose to construct the new assisted living facility across the legal property line boundaries of two (2) adjacent Downtown parcels. On September 8, 2020, a Lot Line Adjustment was administratively approved for the consolidation of the two parcels which comprise the project site. New Grant Deeds, accompanied with a Plat Map and legal descriptions, will need to be recorded prior to building permit issuance for the amended project.

DESIGN REVIEW BOARD

At the opening of the May 4, 2021 Board meeting on the project, staff requested a continuance to a 'date certain', to the next scheduled Design Review Board meeting, to May 18, 2021, to better provide the Board with plans in a format more usable. The Board unanimously (4-0 vote, Blayney absent) approved the requested continuance without staff introduction, acceptance of public comments or Board discussion on the project.

NEIGHBORHOOD CORRESPONDENCE

Notice of the original May 4, 2021 hearing for the project was conducted in accordance with noticing requirements contained in Chapter 29 of the Zoning Ordinance. A Notice of Public Hearing was mailed to all property owners and occupants within a 300-foot radius of the project site, the appropriate

neighborhood groups (the Lincoln-San Rafael Hill Neighborhood Association and the Federation of San Rafael Neighborhoods), and all other interested parties (applicant and planner), a minimum of 15 calendar days prior to the Board meeting. Additionally, notice was posted on the project site, at the corner of Mission and Lincoln Avenues, also a minimum of 15 calendar days prior to the Board meeting. Since review of the project was continued to a 'date certain', to the next scheduled Board meeting on May 18, 2021, a 15-day noticing period was not required. However, a Notice of Continued Public Hearing was mailed to all property owners and occupants within a 300-foot radius of the project site, the appropriate neighborhood groups (the Lincoln-San Rafael Hill Neighborhood Association and the Federation of San Rafael Neighborhoods), and all other interested parties (applicant and planner), with the new online meeting details prior to the Board meeting. Additionally, notice which was previously posted on the project site, at the corner of Mission and Lincoln Avenues, was updated.

At the time of the distribution of staff's report to the Board, staff had received 26 written comment as a result of this noticing; 18 comments opposed to the project and eight (8) comments in support.

Most of the comments in opposition were from owners of separate condominium units within the building (820 Mission Ave.) located immediately west of the project site, along the Mission Ave. These comments strongly oppose the requested height bonus, stating the additional building height would create "detrimental overshadowing", noise, traffic, parking, light/glare and financial impacts, and "diminution of quality of life". These comments further express concern that the requested height bonus would overpower the Mission/Lincoln Ave intersection as a 'Gateway' to the Downtown and the general character of the existing neighborhood.

The comments in support of the proposed height bonus state that the project would continue to provide a significant contribution to the City's affordable housing in-lieu fee fund and initiatives while continuing to propose outstanding building design. These comments further state that the Mission/Lincoln Ave intersection, as a 'Gateway' to the Downtown, continues to deserve an iconic building design and the proposed height bonus would result in a building which sits only five feet (5') higher than the adjacent building along the Mission Ave frontage.

Staff's Comments: This is an amendment of an approved project in which the Board's review is limited to the scale/mass of the requested height bonus; how it relates to the surrounding neighborhood, and the traffic and parking impacts of the taller, larger building.

The topography of the project site slopes (11% average cross-slope) up from the intersection of Mission and Lincoln Avenues to the rear of the site, trending southeast-to-northwest. This site topography helps to underground the 1st floor of the new building at the rear of the site. The amended project would have the visual appearance of a five-story building at the intersection of Mission and Lincoln Avenues and a four-story building at the rear and interior side elevations, similar to 820 Mission Ave. condominium building. The predominant scale of existing development immediately adjacent to the project site is four-story (west; 820 Mission Ave.) and three-story (north; 1215 Lincoln Ave. and 111 Laurel Pl.).

The amended project submittal included an updated traffic and parking study which found that, while the proposed increased height and unit count would increase traffic impacts and required parking, these will be negligible (increased traffic over approved project) or mitigated (increase unit count is for memory care beds which increases staffing demand modestly and will be met by parking provided). The City Engineer has reviewed and supports findings presented in the updated traffic and parking study.

The expanded project retains the California Mission Revival architecture, which the Board unanimously recommended for approval to the Planning Commission on June 5, 2018, which was ultimately approved.

All public comments received on the amended project are attached as Exhibit 4.

CONCLUSION

Planning staff supports the scale/mass of the requested height bonus, finding it adequately relates to the predominant four- and three-story scale of existing development immediately adjacent to the project site. Planning staff finds the expanded project retains the California Mission Revival architecture, which the Board unanimously recommended for approval to the Planning Commission in 2018. No other changes to the approved design of the project are proposed. The amended project continues to meet the applicable design-related General Plan Policies and Zoning Ordinance regulations and standards, with the exception of the parking requirement for which the project submitted a updated traffic and parking study and requests a *Parking Modification*. The project continues to propose to develop two (2) Downtown parcels which have been vacant since 2007. Staff, however, requests the Board provide direction on the points specified in the Analysis section of this report. Staff further welcomes additional comments or guidance on the any site or building design details that would further improve the project.

EXHIBITS

1. Vicinity Map
2. Project Narrative
3. [Updated Transportation and Parking Study](#)
4. Public Comments
5. Approved Project Plans
6. Proposed Project Plans (Proposed Project Plans; <https://www.cityofsanrafael.org/1203-lincoln/>)

Reduced (11" x 17") color plans have been provided to Board members only.

cc: ASC San Rafael LLC – 415 118th Ave. SE; Bellevue, WA 98005
Geoff Forner – 1 Belvedere Pl.; Mill Valley, CA 94941

800 Mission Ave. Project

While we strive to produce maps with good accuracy and with current accompanying data, the accuracy of the information herein cannot be guaranteed. This map was prepared using programetric computer aided drafting techniques, and it does not represent legal boundary survey data.



Aegis Senior Living LLC

415 118th Ave SE
Bellevue, WA 98005

March 5, 2021

City of San Rafael Planning Division
Attn: Steve Stafford
1400 Fifth Avenue
San Rafael, CA 94901

RE: 800 Mission Avenue – Aegis San Rafael Design Review Modification

Dear Mr. Stafford,

On behalf of Aegis Senior Living LLC, we are pleased to present the revised DRB application for the previously approved senior assisted living project at 800 Mission Avenue. This project was last seen by the San Rafael Design Review Board on June 5, 2018 as an 88-bed project, comprised of four-levels over one level of subgrade parking. At that meeting, the project was unanimously approved, and the architectural character was praised by numerous Board members.

Since its approval, the lending and construction environment has changed profoundly. This was largely driven by the global pandemic. As a result, the project has been financially infeasible to break ground with its current approved configuration. Fortunately, there are provisions in the San Rafael Zoning Code which allow for a height bonus in this location which we did not pursue originally but are now opting to incorporate. This results in a feasible project, which in turn will allow us to fulfill our commitment to the City's affordable housing fund, development of this long vacant site into a vibrant and beautiful addition to downtown, and an increase by 26 suites of housing for San Rafael's senior population. It also allows for the return of the architectural dome element that was part of the original DRB approval that was removed for cost purposes in 2020; an evolution of design is shown on Sheet A8.2

We have continued to evolve the design and we believe we have improved upon it, while at the same time also improving the economics of the project.

The project's revised design retains the high-quality Mission-style architecture that was originally approved in 2018, but now utilizes the height bonus allowed by section 14.16.190.B of the San Rafael Municipal Code. The revised building retains many of the project's original architectural features and provides an additional 5th level without exceeding the allowable building height. As demonstrated in Exhibit #1, the difference of massing between the two buildings is minimized by the revised building design.

Please review the detailed project description from Ankrom Moisan Architecture, summarizing all changes to the building design. A Traffic and Parking Analysis from TranspoGroup is also included. The parking provided on-site for this project is sufficient to accommodate all residents, staff, and visitors to the building during both the weekend, and weekday peak demands. The traffic impacts of this project are tremendously lower than other allowable uses on this site. The attached Traffic Impacts Analysis concludes that this project, even with the additional units, does not negatively affect any nearby intersections at peak, nor non-peak hours.

We look forward to working with the City of San Rafael to create a beautiful and feasible new assisted living community in San Rafael.

Sincerely,



Geoff Forner
Aegis Senior Living LLC
1 Belvedere Pl. Mill Valley, CA 94941
415-720-3806

Aegis Senior Living LLC

415 118th Ave SE
Bellevue, WA 98005

EXHIBIT #1



Steve Stafford

From: Holm, Doug [REDACTED]
Sent: Wednesday, April 21, 2021 4:24 PM
To: Steve Stafford
Cc: Eric Holm; Steve Gould
Subject: 800 Mission Ave. (Aegis Living San Rafael - Amendment to Use Permit and an Environmental and Design Review Permit

Dear Steve,

We are owners of [REDACTED] Directly next door to the proposed Aegis Living project. We received a notice for the hearing Tuesday, May 4, 2021 at 7:00 PM to discuss Aegis Living amending their use permit to allow an additional 11feet height increase from 36' to 47' (yet an additional story) with a Unit increase from 77 suites to 106 suites.

The notice also gave your address for information. It is our opinion that this increase in height and volume of the proposed building would create detrimental overshadowing to our building, causing severe environmental, adjacent light and support issues, noise, traffic, parking, detrimental financial impact, and diminution in quality of life to us and our fellow homeowners at 820 Mission Ave..

We strongly oppose this egregious action by Aegis Living, particularly in that Aegis Living was already granted a previous variant to raise their height and unit specifications from the allowed zoning. Please express our concerns to the Design Review Board, Planning Commission and City Council in the hopes of avoiding further action.

We will do our best to attend the Zoom meeting, Tuesday, May 4, 2021 at 7:00 PM, but wanted to get our opinion on the record in writing.

Thank You and Best Regards,

Doug Holm
[REDACTED]
[REDACTED]

San Rafael, CA 94901

Douglas E. Holm

Lockton Insurance Brokers, LLC
California license number 0F15767

Office [REDACTED]

Mobile [REDACTED]

Three Embarcadero Center, Suite 600, San Francisco, CA 94111



Steve Stafford

From: Helga Blum [mailto:helga.blum@comcast.net]
Sent: Tuesday, April 27, 2021 3:58 PM
To: Steve Stafford
Subject: Aegis Building next to 820 Mission Ave

Dear Mr. Stafford,

I am a long time resident of San Rafael and live at 820 Mission Ave.

While I was initially supportive of the proposed Aegis Living development next door to our Building at [REDACTED] it is regrettable that the developers are now wishing to amend their use permit to increase the building's height to gain 106 units as opposed to the originally proposed 77 units.

This will dramatically impact our Mission Ave neighborhood from parking to traffic to noise and much more.

Furthermore, this height increase would now overshadow our building, this impacting the view and sunlight to many of our tenants.

These sudden amendments are literally and figuratively leaving us in the dark, and this is not what we were originally promised.

We ask that the City and the developers seriously reconsider this proposed plan

and work with the neighborhood on a building plan that is more respectful of our community.

As it stands now, this current proposal is unacceptable and I look forward to your response.

Respectfully,
Helga Blum



Steve Stafford

From: Matthew Ein [REDACTED]
Sent: Sunday, May 2, 2021 11:27 AM
To: Steve Stafford
Subject: Aegis Living Project 800 Mission Ave

Dear Mr. Stafford,

I own [REDACTED], a 13-unit condominium building, directly next door to the Aegis Living project at 800 Mission. We received a notice for the hearing of the Design Review Committee, Tuesday, May 4, 2021 at 7:00 PM to discuss Aegis Living amending their use permit, and yet again, to allow an additional 11 feet height increase from 36' to 47' (an additional story to be added to their previous expansion) with a unit increase from 77 suites to 106 suites.

The notice also gave your address for information. It is our opinion that this additional increase in height and volume of the proposed building would create detrimental overshadowing to our building, causing severe environmental, adjacent light and support issues, noise, traffic, and parking problems, as well as detrimental financial impact, with diminution in the quality of life to us and our fellow homeowners at 820 Mission Ave.

We strongly oppose this egregious action by Aegis Living, particularly in that Aegis Living was already granted a previous variant to raise their height and unit specifications from the allowed zoning. Please express our concerns to the Design Review Board, Planning Commission, and City Council in the hopes of avoiding further action.

We will do our best to attend the Zoom meeting, Tuesday, May 4, 2021 at 7:00 PM, but wanted to get our opinion on the record in writing.

-Matt Ein

Steve Stafford

From: Jill Sida [REDACTED]
Sent: Sunday, May 2, 2021 10:40 AM
To: Steve Stafford
Subject: Opposition to Aegis Living Request for change to plans

Dear Mr. Stafford:

I am an owner of [REDACTED], a 13-unit condominium building, directly next door to the Aegis Living project at 800 Mission. We received a notice for the hearing of the Design Review Committee, Tuesday, May 4, 2021 at 7:00 PM to discuss Aegis Living amending their use permit, and yet again, to allow an additional 11 feet height increase from 36' to 47' (an additional story to be added to their previous expansion) with a unit increase from 77 suites to 106 suites.

It is my strong belief that this additional increase in height and volume of the proposed building would create detrimental overshadowing to our building, causing severe environmental, adjacent light and support issues, noise, traffic and parking problems, as well as detrimental financial impact, with diminution in quality of life to me and my fellow homeowners at 820 Mission Ave.

I strongly oppose this egregious action by Aegis Living, particularly in that Aegis Living was already granted a previous variant to raise their height and unit specifications from the allowed zoning. Please express my concerns to the Design Review Board, Planning Commission, and City Council in the hopes of avoiding further action.

I will attend the Zoom meeting, Tuesday, May 4, 2021 at 7:00 PM, but wanted to get my opinion on the record in writing.

Jill Sida

Homeowner [REDACTED]

May 3, 2021

HOA Board of Directors
820 Mission Avenue HOA
San Rafael, CA 94901

RE: Aegis Living Project
800 Mission Avenue
San Rafael, CA 94901

Dear Mr. Stafford:

Our 820 Mission Avenue HOA Board met last week and discussed the proposed changes to the Aegis Living Project, 800 Mission Avenue, San Rafael, adjacent to our building. We are in strong opposition to this project going forward with the proposed changes being presented and requested by Aegis to the San Rafael Design Review Board Meeting on May 4, 2021. As this is a THIRD iteration of their proposal being considered we find the potential impact to our building, traffic issues, parking, natural light, and property values egregious. It is also our understanding that the Lincoln Hill community fears the same impacts to an already busy neighborhood and intersection.

- The proposed additional extension dramatically increases the size of the original project, in height from 3 stories, later modified to 4 stories, and now proposed 5 stories, plus the towers which rise above that;
- There is also a dramatic increase of overall number of units, with all the naturally resulting issues, complications, and public impact. **It is our opinion, this project would have met much greater opposition originally, had the full scope of this endeavor been disclosed at the onset.**
- This continuous expansionist project is the quintessential definition of "mission creep" or in this case "Mission Avenue creep", and seems manipulative and opaque from the original intent and impact of the project as previously presented.
- The Aegis Living project is on a major corner and gateway to the Downtown (Mission at Lincoln) and will overpower the character of our neighborhood as well as create an uncharacteristic first impression of the City.
- The continued increase of units does not create any sustainable housing in general and does not add to the vibrancy of the downtown.

It is our understanding that Aegis has sweetened the financial contribution to the City of San Rafael from \$500,000 to \$880,000 to allow the City to build additional low cost housing. While a majority of San Rafael residents appreciate the need for low cost housing, this feels a bit underhanded to these neighborhood residents who will experience a decrease in quality of life should this project move forward.

Sincerely,

Walden Valen
Interim HOA Board President

Steve Stafford

From: James Wilson [REDACTED]
Sent: Monday, May 3, 2021 8:59 AM
To: Steve Stafford
Cc: Etsuko Wilson; Walden Valen; Ginger Valen; Ingrid; Helga Blum
Subject: Opposition to Aegis project design and expansion

Dear Mr. Stafford:

My wife and I are owners of [REDACTED] a 13-unit condominium building, directly next door to the Aegis Living project at 800 Mission. We received a notice for the hearing of the Design Review Committee, Tuesday, May 4, 2021 at 7:00 PM to discuss Aegis Living amending their use permit, and yet again, to allow an additional 11 feet height increase from 36' to 47' (an additional story to be added to their previous expansion) with a unit increase from 77 suites to 106 suites.

The notice also gave your address for information. It is our opinion that this additional increase in height and volume of the proposed building would create detrimental overshadowing to our building, causing severe environmental, adjacent light and support issues, noise, traffic and parking problems, as well as detrimental financial impact, with diminution in quality of life to us and our fellow homeowners at 820 Mission Ave.

We strongly oppose this egregious action by Aegis Living, particularly in that Aegis Living was already granted a previous variant to raise their height and unit specifications from the allowed zoning. Please express our concerns to the Design Review Board, Planning Commission, and City Council in the hopes of avoiding further action.

We will do our best to attend the Zoom meeting, Tuesday, May 4, 2021 at 7:00 PM, but wanted to get our opinion on the record in writing.

Thank You and Best Regards,

James Wilson

Steve Stafford

From: Karinne Kleinbort [REDACTED]
Sent: Monday, May 3, 2021 12:22 PM
To: Steve Stafford
Cc: Susan Kleinbort
Subject: Aegis Living Project 800 Mission Avenue

Dear Mr. Stafford,

I am an owner of [REDACTED] a 13-unit condominium building, directly next door to the Aegis Living project at 800 Mission.

We received a notice for the hearing of the Design Review Committee, Tuesday, May 4, 2021 at 7:00 PM to discuss Aegis Living amending their use permit, and yet again, to allow an additional 11 feet height increase from 36' to 47' (an additional story to be added to their previous expansion) with a unit increase from 77 suites to 106 suites.

The notice also gave your address for information. It is our opinion that this additional increase in height and volume of the proposed building would create detrimental overshadowing to our building, causing severe environmental, adjacent light and support issues, noise, traffic and parking problems, as well as detrimental financial impact, with diminution in quality of life to us and our fellow homeowners at 820 Mission Ave.

We strongly oppose this egregious action by Aegis Living, particularly in that Aegis Living was already granted a previous variant to raise their height and unit specifications from the allowed zoning.

Please express our concerns to the Design Review Board, Planning Commission, and City Council in the hopes of avoiding further action.

We will do our best to attend the Zoom meeting, Tuesday, May 4, 2021 at 7:00 PM, but wanted to get our opinion on the record in writing.

Thank You and Best Regards,

Karinne Kleinbort
[REDACTED]
[REDACTED]

Steve Stafford

From: William Dewey [REDACTED]
Sent: Monday, May 10, 2021 3:20 PM
To: Steve Stafford
Subject: Fw: support for Aegis Senior Communities, LLC 800 Mission Avenue development

William Dewey, CEBS | Senior Benefits Consultant
1465 North McDowell Boulevard, Suite 180 | Petaluma | CA 94954
P: [REDACTED] | F: [REDACTED] | [REDACTED]

[Benefits](#) | [COBRA](#) | [FSA](#) | [Dental](#) | [Mobile](#) | [In The News](#)

From: William Dewey
Sent: Monday, May 10, 2021 2:59 PM
To: Steve.Stafford@cityofsanrafael.org
Cc: Billy Dewey <billydewey@gmail.com>
Subject: support for Aegis Senior Communities, LLC 800 Mission Avenue development

Dear Steve,

I am a homeowner and resident of San Rafael since 1994.

I have reviewed revisions to the approved senior assisted living facility at 800 Mission Avenue. I understand the project now proposes to use a section of the San Rafael Municipal Code which will allow for a 12' height bonus to projects which contribute to Affordable Housing initiatives, and that are located on lots that fit certain limiting criteria. From my review of the application, the proposed project offers a significant contribution to San Rafael's Affordable Housing Fund (in excess of what is required by San Rafael, and for what has been paid by other projects of this use type). In addition, while the project is increasing in height, the building does not appear to be adding much overall size. The proposed building's characteristics fit with the surrounding neighborhood, and only rises 5' above the adjacent building. The architecture is outstanding.

I believe Mission Avenue deserves an iconic building at the gateway to downtown, and one from a reputable senior care provider like Aegis Senior Communities, LLC, which will provide benefits to San Rafael's aging population.

Seeing this project to fruition will greatly help to achieve several of San Rafael's General Plan initiatives and will contribute to the revitalization of downtown.

If this project is not completed, it is likely that as an alternative we will have a bland apartment high-rise which takes advantage of State initiatives to rise above any height limits in place and will generate much more traffic and parking issues to downtown San Rafael.

Thank you for your consideration of my support for this project's design and the use/height bonus to once again be supported by the Design Review Board and approved by the San Rafael Planning Commission.

Sincerely,

William Dewey

[REDACTED]

San Rafael, CA 94903

[REDACTED] home

[REDACTED] mobile

William Dewey, CEBS | Senior Benefits Consultant

1465 North McDowell Boulevard, Suite 180 | Petaluma | CA 94954

P: [REDACTED] | F: [REDACTED] | www.arrowbenefitsgroup.com

Benefits | COBRA | FSA | Dental | Mobile | In The News

Steve Stafford

From: NTN <[REDACTED]>
Sent: Monday, May 10, 2021 10:41 AM
To: Steve Stafford
Subject: 800 Mission Avenue Project Proposal - Letter of Support

Dear Mr. Stafford,

I am a downtown San Rafael homeowner, resident, and working professional .

I have been informed of the revisions to the approved senior assisted living facility at 800 Mission Avenue. I understand the project proposes to utilize a code section of the San Rafael Municipal Code which allows for a 12' height bonus to projects which contribute to Affordable Housing initiative, and to which are located on lots that fit a limiting criteria.

I believe Mission Avenue deserves an iconic building at the Gateway to Downtown. Seeing this project to fruition would greatly help in achieving numerous of San Rafael's General Plan initiatives, and contribute to the revitalization of Downtown.

As part of the City's evaluation, please consider requesting/requiring (1) reasonable building setbacks and (2) dedicated interior/exterior public spaces.

Please use this letter to represent my support for this project's design and the use/height bonus to once again be support by the Design Review Board AND approved by the San Rafael Planning Commission.

Sincerely,
Nicholas Nguyen

Lincoln-San Rafael Hill Neighborhood Association
Nina Lilienthal-Murphy, President
P.O. Box 150983
San Rafael, CA. 94915-0983

May 10, 2021

City of San Rafael
Planning Dept. – Steve Stafford
To Design Review Board, City Council, and Mayor Kate Collins
1400 – 5th Avenue, 3rd floor
San Rafael, CA. 94901



Hello Ladies & Gentlemen,

My name is Nina Lilienthal-Murphy, and I am a 40 year resident, the Co-Founder, President Emeritus, and the Current President of the Lincoln-San Rafael Hill Neighborhood Association, and today I am writing to you with our concerns, and we have many, for the 800 Mission Project.

Before I address our concerns, I want to emphasize that the information on the Reports & Notices is very different than that contained in the Blueprints.

On the Blueprints in 2018 the roof ridge line is at 67 ft. Now, in 2021 it's 87 ft. Yet, notices to the Public, DRB Agenda & Staff Report and the Site Sign all say the ridge line is 36 ft. Which is it??? We need to know what we're working with, and the numbers coming out of City Hall make this very confusing. I will focus on the issues:

To start, the site of Lincoln/Mission aka 800 Mission is NOT in the downtown area, it's on the outskirts, and this intersection is the Gateway to our Neighborhood. You can see a record of our Neighborhood boundaries noted in our Bi-Laws that we submitted in the late 1990's.

Going off the Blueprints, the Height and Character of this building do NOT belong on this particular site. It is completely out of character for our Neighborhood, and the City. The Height is out of control, and with windows on all 4 sides will impact the surrounding Neighbors, with people looking into their bedrooms, they will lose their PRIVACY, they will lose the Sunshine, and their views. Immediate surrounding homes will be overwhelmed by a Reflective towering wall and will affect their quality of life, and devalue their property.

State Mandate height bonuses for Housing, do not include Senior Living Centers or Hotels, this makes no sense.

Back in 2000 all the neighborhoods were working on the 2020 General Plan, in harmony with the City, and the designated Committee. In discussion it was brought up several times and agreed upon by all involved that Out of Scale Buildings along Lincoln Ave. will create a "Tunnel Effect", that will negatively impact the neighborhood. This issue was discussed extensively among all concerned and agreed upon by our Neighborhood Association, The Design Review Board, The Planning Commission, and then, Mayor Al Boro.

On April 20th, 2021 The Marin Municipal Water District declared Marin is in an "Extreme Drought" Condition, requesting everyone cut back their water use. So, how can a building with 110 units for "seniors" or "tenants" be approved with an impending drought?? Where will you get the water?? We believe at this time, all development should STOP!! Planned development does require an assessment of the current and future impacts affected by the project.

This project is in need of a LOCAL Traffic Study and an updated and current Environmental Impact Report (EIR).

The EIR was done in 2006 for a Condominium project, or as it states on the March 2021 Blueprints, "Multi-Family Residential" HR1. This is NOT a multi-family residential proposal, and this must be changed and corrected on the current blueprints, Design Review Board Agenda & Staff Report. The title of the Project is misleading thus the bonuses come into question.

The Traffic Study must be compiled locally, with feet on the ground along with accurate updated data that assesses the traffic impacts currently but in conjunction with a proposed project. A remote study done in the state of Washington by Transpo who did the current and past studies continues to include references to a "Future Train" which has been running for over 4 years now, starting in 2017, yet no updated assessment has been submitted. An updated traffic study, based on the current impacts including the train, normal and commute times, needs to be done.

As a former Traffic Engineer for San Rafael once stated, "the Lincoln-Mission intersection is one of the busiest in town". The daily impact of the east-west traffic during commute hours is very frustrating, and when the train enters the equation it becomes horrendous.

So many amendments required for this project that perpetuate many questions. Consistency in the information disseminated by the either developer, the City or both, leaves the Lincoln-San Rafael Neighborhood Association confused and the residents very concerned.

Points of contention are the amendments regarding;

Height, Parking, Guest Parking, Lot line adjustments, and monies paid to the City to eliminate affordable units. The main question from residents is whether this project is a "Senior Living Care Facility", "Multi-Family Residential project" or a "Hotel"!!

General Plan 2020 Consistency was violated,

The following are amendments to or violations of the General Plan 2020, contrary to what the Neighborhood and the City agreed and voted upon:

CD2 CD3 CD5 CD7 CD10 The City is supposed to preserve and enhance our area, the character of the building, the design, are to contribute to the look of the neighborhood, IT DOES NOT COMPLY!!

Ladies & Gentlemen, I know you know what your job is as a member of the Design Review Board, yet I would like to emphasize first and foremost we need to comply with the City's Municipal Code, 14.25.010, "A" thru "G".

- A. To maintain a proper balance between development and the natural environment.
- D. Preserve balance and harmony within neighborhoods.
- F. Preserve and enhance views from other buildings and public property, and
- G. Ensure the right to make residential additions and modifications which minimize the impact on adjacent residences and which are designed to be compatible with the existing residence and neighborhood.

All are important to us, please keep these in mind.

I would like to close by reiterating the points I have made:

There is a need of an updated Environmental Impact Report, a current and updated Traffic Study, and a coordinated assessment of the water needed for the Lincoln-Mission Project aka 800 Mission, and the corrections made to reflect that the proposed project is for a "Senior Living Center" and NOT a "Multi-Family Residential" project.

Thank you for your time and considerations,

Sincerely,

Nina Lilienthal - Murphy

Steve Stafford

From: Czorniak, Lauren @ San Francisco [REDACTED]
Sent: Tuesday, May 11, 2021 11:36 AM
To: Steve Stafford
Subject: 800 Mission Ave San Rafael - Letter of Support

Dear Mr. Stafford,

I am a working professional of San Rafael.

I have been informed of the revisions to the approved senior assisted living facility at 800 Mission Avenue. I understand the project proposes to utilize a code section of the San Rafael Municipal Code which allows for a 12' height bonus to projects which contribute to Affordable Housing initiative, and to which are located on lots that fit a limiting criteria.

From my review of the application, the proposed project offers a significant contribution to the City's Affordable Housing Fund (well in excess of what is required by the City, and for what has been paid by other projects of this use type). In addition, while the project is increasing in height, the building does not appear to be adding an entire level of massing. The building's character fits with the surrounding neighborhood, only rises 5' above the adjacent building, and the architecture is outstanding.

I believe Mission Avenue deserves an iconic building at the Gateway to Downtown, and from a reputable senior care provider like Aegis who can provide great benefit to San Rafael's quickly aging population. Seeing this project to fruition would greatly help in achieving numerous of San Rafael's General Plan initiatives, and contribute to the revitalization of Downtown.

Otherwise, we will likely be receive a bland apartment high-rise which takes advantage of State initiatives to rise well above any height limit in place, and provide tremendously more traffic and parking impacts to Downtown San Rafael.

Please use this letter to represent my support for this project's design and the use/height bonus to once again be support by the Design Review Board AND approved by the San Rafael Planning Commission.

Sincerely,

Lauren

Lauren Czorniak | Senior Associate | Lic. 02001209
CBRE | San Francisco Downtown | Advisory & Transaction Services
415 Mission Street, Suite 4600 | San Francisco, CA
T [REDACTED] | C [REDACTED]
[REDACTED] | www.cbre.com

Please consider the environment before printing this email.

This email may contain information that is confidential or attorney-client privileged and may constitute inside information. The contents of this email are intended only for the recipient(s) listed above. If you are not the intended recipient, you are directed not to read, disclose, distribute or otherwise use this transmission. If you have received this email in error, please notify the sender immediately and delete the transmission. Delivery of this message is not intended to waive any applicable privileges.

Steve Stafford

From: Ravi [REDACTED]
Sent: Wednesday, May 12, 2021 4:56 PM
To: Steve Stafford
Subject: mission and lincoln project

Dear Sir,

You job is to protect those that pay taxes in San Rafael. This project will make traffic so bad in our town and will make it almost unlivable. Please fight for those that pay taxes and built this town. Reject this project.

If the law is a hindrance then do what ever you can to protect us, the citizens of San Rafael who have been under siege of these new abad laws and mandates.

Please sir represent us.

Thanks

Ravi.

Steve Stafford

From: Stuart Welte [REDACTED]
Sent: Thursday, May 13, 2021 2:26 PM
To: Steve Stafford; [REDACTED]
Subject: FW: 800 Mission proposing another story from 36 feet to 47 feet

Hello Steve and Mike,
My family and I are Lincoln-San Rafael Hill Residents.
Please see our Comments below and include in your review.
ATTENTION TO DETAILS PLEASE

Thank you,

STUART WELTE, AIA, LEED ap, ICC
EID ARCHITECTS

dir [REDACTED]

From: Stuart Welte
Sent: Saturday, April 24, 2021 3:01 PM
To: [REDACTED]
Subject: Re: 800 Mission proposing another story from 36 feet to 47 feet

Hello Mike,

We greatly appreciate you including our comments as a Neighbor and as Architects.
Everyone Must keep in mind that San Rafael is the COUNTY SEAT.
This status should inform the quality of our built environment, especially at the our Gateways into San Rafael.
Missioin/Lincoln Gateway Entrance is significant:
This architecture for 800 Mission Must reflect the QUALITY of DETAILING and Finishes appropriate to this significant location.

The extra height for this particular design is not a problem for us as design professionals, nor as San Rafael residents;
HOWEVER,
HIGH QUALITY MUST BE MANDATED PLEASE !

Attention to Details and subsequent design board review and approval Must be REQUIRED prior to construction.
All too often, the details do not achieve the Rendered Character.

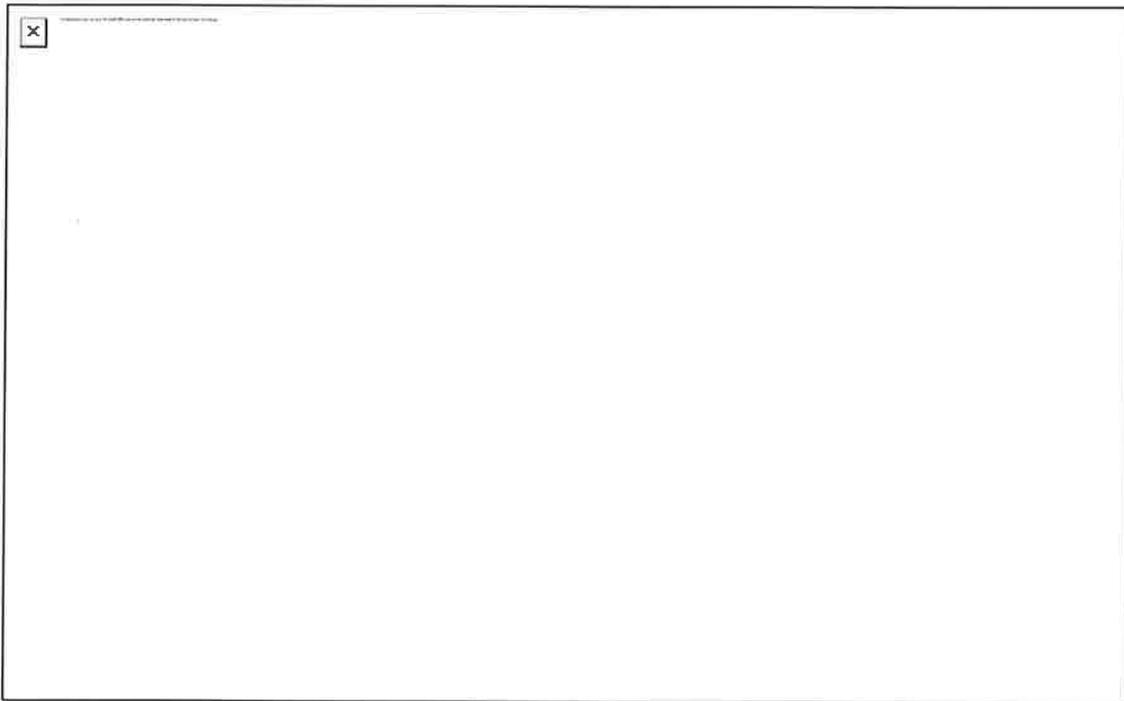
Items noted that should be rectified between the previous and current designs are:

- a) The smaller bell tower at the northern end on Lincoln should be retained....without this the northern end of this building on Lincoln will be mundane and offensively bulky with no redeeming character;
- b) The western "unit tower" along Mission must have additional articulation (this can be done with the simple addition of iron or bronze awnings, etc);
- c) The "Arcade Façade" along Mission should be a different material from the body of the main building, as this would adhere to the intended style, and compliment the overall composition, and create a more interesting, beautiful, tactile experience for residents and pedestrians;
- d) The "Arcade Façade" along Mission is a significant built form very close to the sidewalk, and continues for a long distance, so this must be articulated with elegant materials and proportions such as : limestone; granite; mosaic porcelain tile; etc.

Sincerely,



PREVIOUS DESIGN ABOVE.



CURRENT DESIGN.

STUART WELTE, AIA, LEED ap, ICC

EID ARCHITECTS

dir [REDACTED]



Noah M. Reischmann
First Vice President

CBRE HMF Inc.
Capital Markets
Debt & Structured Finance | Multifamily & Healthcare

415 Mission Street, Suite 4600
San Francisco, CA 94105

[REDACTED] Tel
[REDACTED] Fax
[REDACTED] Cell

[REDACTED]
www.cbre.com/fha

May 13, 2021

Steve Stafford
City of San Rafael - Planning Department
1400 Fifth Avenue
San Rafael, 94091

Re: Proposed Aegis Senior Housing Development – Support Letter
Mission Avenue & Lincoln Avenue, San Rafael, CA

Dear Mr. Stafford:

I am a homeowner and resident of San Rafael since 2015. I am also a commercial real estate professional and understand the challenges of developing new housing in California.

I have been informed of the revisions to the approved senior assisted living facility at 800 Mission Avenue. I understand the project proposes to utilize a code section of the San Rafael Municipal Code which allows for a 12' height bonus to projects which contribute to Affordable Housing initiative, and to which are located on lots that fit a limiting criteria.

From my review of the application, the proposed project offers a significant contribution to the City's Affordable Housing Fund (well in excess of what is required by the City, and for what has been paid by other projects of this use type). In addition, while the project is increasing in height, the building does not appear to be adding an entire level of massing. The building's character fits with the surrounding neighborhood, only rises 5' above the adjacent building, and the architecture is outstanding.

I believe Mission Avenue deserves an iconic building at the Gateway to Downtown, and from a reputable senior care provider like Aegis who can provide great benefit to San Rafael's quickly aging population. Seeing this project to fruition would greatly help in achieving numerous of San Rafael's General Plan initiatives, and contribute to the revitalization of Downtown.

Otherwise, we will likely receive a bland apartment high-rise which takes advantage of State initiatives to rise well above any height limit in place and provide tremendously more traffic and parking impacts to Downtown San Rafael. In my professional opinion, the proposed senior project is the best use for this particular site.

Please use this letter to represent my support for this project's design and the use/height bonus to once again be support by the Design Review Board AND approved by the San Rafael Planning Commission.

Best Regards

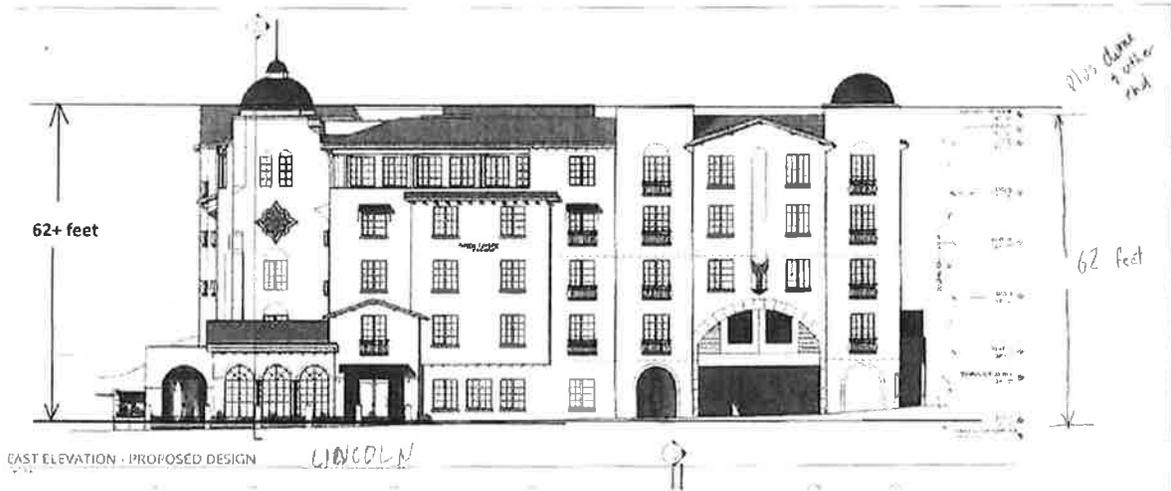
Noah M. Reischmann
First Vice President
CBRE HMF, INC

Design Review Members,

Out of the over 188 comments on this project on nextdoor and many more from direct emails maybe 2 were positive. Traffic, parking, safety, and water were all mentioned repeatedly but these seem like Planning Department issues, not Design Review. The Design Review Board's task is:

“The Board is advisory, with final permit decisions made by the Planning Division staff, the Zoning Administrator, Planning Commission or City Council, depending on the complexity of the project. The scope of the DRB authority is to review and **make recommendations on design matters such as architecture, mass, bulk, site planning, site improvements, color, materials, and landscaping.**” <https://www.cityofsanrafael.org/design-review-board/>

Should this addition be accepted, in the future when I stand on the corner of Lincoln and Mission I will see a 62 foot building. I have now come to realize the 47 foot height projection was based off a “zoning reference line” which has nothing to do with actual height. The statement in the public notices and the staff report said this “would increase the building height of the building from 36’ to 47’.” I feel representing the height using this the Zoning Reference Line is tragically misleading.



I also see now that the original approval of 2018 was based on statements this Zoning Reference height of 36 feet when the actual visual height of the building from the street would have actually been closer to 50 feet. Had I known the truth, I would have not supported this project at that time.

The public notices are sent to residents within 300 feet, not even a block away. This project affects the whole of San Rafael as it is on one of the busiest streets. There was no public notice sent to advise neighbors that the DRB meeting decision was postponed. The city website has no mention of it. “Sorry no content could be found.”

This addition is not the vision of San Rafael's residents.

Respectfully,

Michael Williamsen, San Rafael resident since 1977.

Steve Stafford

From: Margaret Burt <[REDACTED]>
Sent: Friday, May 14, 2021 11:47 AM
To: Steve Stafford
Subject: 800 Mission Ave Project

Hello, Steve,

I'm writing because I'm greatly concerned about the request for an increased height allowance on this project. We own the older house at [REDACTED] that borders on 2 sides of this project, and knew of the proposed/approved plans for that corner when we bought it in 2016. We knew it would greatly detract from the light and charm of our property, but we were willing to buy and invest anyway. We have purchased and improved 3 lovely old properties in San Rafael over the last 30 years. One, at 1637 5th Av, was even awarded the top design award for improving a San Rafael property a few years ago! We love to take older buildings and make them as beautiful and useful as they deserve, because we want to be part of making our San Rafael neighborhoods lovely, preserving their history, and, well, we just love these older homes! This property at [REDACTED] is from about 1906, and has a beautiful redwood paneled original lobby that we've restored, and we've put about \$300,000 into making the interior really nice. The next door neighbors have told us that prior to our ownership, there were questionable activities and persons coming and going at all hours. Two of the 4 units were really in terrible condition. And we've put in nice plantings along the mowing strip in front and are extending our plantings in the sidewalk area going down the street at 109 Laurel Pl, a vacant lot we also own, because I just want to make the neighborhood nice even for the people who walk by! But this request for increased height by the property developer is going to make our property a deep well of darkness if it goes higher. They'll be building right on the property line (no 5' setback I believe) and since it's on the south and east sides, it will greatly affect the light getting to our building's windows and the grassy/woody sitting area at the south side of our lot. As I said, we knew from the start that we'd be affected, but this added height will really detract from the residential feel of the neighborhood for us and our neighbors there.

The people who purchased this space are certainly entitled to develop it as approved by the city and with the limitations city ordinances require, but going beyond that is harmful to the sense of residential neighborhood pride and charm. Even the large apartment complexes in this neighborhood have a good sense of space and light around them, and lovely plantings, that make this a neighborhood people want to live in and walk through and enjoy. And this IS a residential neighborhood. A quite lovely one, with a good mix of private homes and apartments. Please protect that neighborhood and tell the developers they are required to stay within the original height limits. Thank you.

Peggy Burt

[REDACTED] (home); [REDACTED] (cell)

Deborah Thompson
[REDACTED]
San Rafael, CA 94901
[REDACTED]

As a resident of the Lincoln-San Rafael Hill neighborhood since 2004, I have had occasion to drive or walk past the intersection of Lincoln and Mission almost daily for the past 17 years. I remember the old apartments on the northwest corner, including the friendly plaster burro who stood out front. For many years now, my neighbors and I have awaited new construction there.

Many of us thought that condominiums (the original plan, I believe) were appropriate and expected them to be similar to the attractive, adjacent condominium development on Mission. Although a senior and memory care facility seemed less appropriate (wouldn't family and/or workplace housing be more appropriate in a primarily residential neighborhood within walking distance of downtown? and wouldn't it be more appropriate for people who are not mobile to be farther out?), I don't recall any major objections to this new project.

However, this apparently sudden, new proposal to raise the height limit of the proposed building is of concern—**major concern**—for many reasons:

1) Originally 36 feet high, the project is now projected to be 47 feet high, but actually from the street it appears to be 62 feet, not including the domes at either end. **Nothing in this neighborhood is anywhere near this height. We are a neighborhood of one and two-story homes and a few condos. This building would stand out like a sore thumb in our neighborhood.**

My understanding is that the city is not willing to deny or even discourage increasing heights of buildings because it is trying to encourage new development—because all the city seems to care about is revenue, not quality of life for our community. The people who live here do not want to be part of a high-rise neighborhood, but the city does not seem to care about the wishes and concerns of its people.

In addition, this seems very much like a bait and switch operation—promise a smaller building, then sneak in the increase to make more money for the developer and the city. I hate to sound cynical, but I can't help but be, given the way the city has behaved.

2) I have heard many complaints about the new 5-story Marriott hotel going up at 5th and B. My feeling is that San Rafael needs a nice, new hotel downtown. Who could argue this is not a good location for a hotel, near commercial 4th St and City Hall? As with Bio Marin's buildings, this seems to me entirely appropriate for downtown. **But we are not downtown—we are primarily residential and trying hard to remain so.**

3) **Traffic is already horrendous on both Lincoln (north and south) and Mission (east and west).** I understand the traffic study shows this proposed larger building will generate an estimated 320 cars in and out daily. Neither Lincoln nor Mission can absorb this increase. The SMART train and additional traffic lights have already increased traffic on Mission, which is much slower now, causing frustrating backups onto intersections on Lincoln all day long. To add to this congestion would be intolerable.

4) This is a serious matter of quality of life for our neighborhood. **This change, increasing the height and density of this building, will forever destroy not only our neighborhood, but by extension will encourage further highrise commercial growth throughout the city of San Rafael. We will no longer be a warm, friendly, people-driven city of neighborhoods but rather a nameless, faceless place from which people will flee.**

5) Can we afford to increase **water and power demands? In the past month, we have had two significant power outages. Who has studied the infrastructure issues** related to this increase? The city may choose to downplay these issues because, again, it seems to be more interested in revenue than in the quality of life for residents.

6) At a time when walkability and increased bike lanes and pedestrian zones are becoming the real wave of a sustainable future, **does the city of San Rafael really want to pursue this antiquated notion of bigger is better?**

Steve Stafford

From: Maureen Hock [REDACTED]
Sent: Sunday, May 16, 2021 9:13 AM
To: Steve Stafford
Subject: 800 Mission Ave. project 2018

Dear Mr. Stafford,

As the owner of a [REDACTED] in San Rafael I am aware of the revisions to the approved senior assisted living facility at the above-referenced address. It's my understanding the project proposes to utilize a code section of the San Rafael Municipal Code that allows for a 12' height bonus for projects that contribute to the Affordable Housing initiative and to which are located on lots that fit a limiting criteria.

This proposal will offer a significant contribution to the City's Affordable Housing Fund. The building's design is suited to the area.

Seeing this project to fruition would help contribute to the revitalization of downtown San Rafael.

I hope this letter will represent my support for this project's design and the use/height bonus to once again be supported by the Design Review Board AND approved by the San Rafael Planning Commission.

Best regards,
Maureen Hock

[REDACTED]
Kentfield, CA 94904
Landlord and San Rafael native

Steve Stafford

From: Ian McCamey <[REDACTED]>
Sent: Monday, May 17, 2021 7:38 PM
To: Steve Stafford
Subject: re 800 Mission Project DRB for 05/18

Hello Steve,

Please pass the following notes, questions, and feedback to the planning board.

As long time residents of the area, we are not in favor of the proposed height limit increase for several reasons:

- the stated increase is from “36’ to 47’ feet” (which is actually 48’). However, these numbers are highly misleading, making it sound as though the final height will be 47 feet’. The truth is that the pitched roofline (what a pedestrian will see as the “top of the roof” when standing on the street, facing the building), is actually 62 feet from the street level. The previous height was less than 50’. Aside from being significantly heigher, the aesthetic difference in the proposal is magnified by the fact that the towers have not increased. Thus, where there used to be more variation to the front sightline of the building, the new proposal is quite “blocky” and thus an eyesore for the area. (Attached are images to show difference between 2020 approved and 2021 DRP proposal)

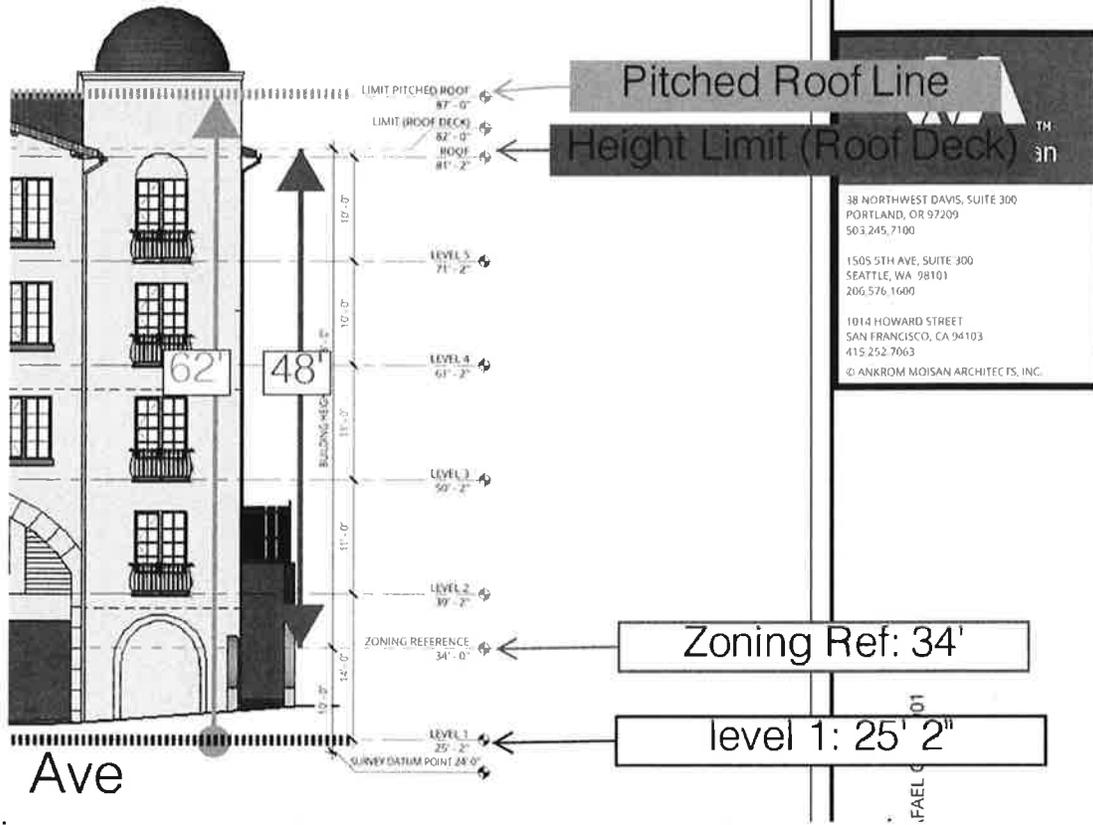
- As I understand, the proposed expansion does nothing to provide additional parking and is basing their analysis on their own studies.
 - Question 1: Has the City audited this analysis to verify the findings?
- As I understand, the proposed expansion does nothing to accomodate the increase traffic flow. Further, the current traffic study by Aegis was provided *before* Smart Train was in place which, as all San Rafal Residents in the Downtown/Lincoln Hill/Dominican/Montecito corridors can attest, has had a significant impact on traffic, resulting in gridlock and causing spillover into adjacent arterials. Any increase in residents, will in turn result in an increase in staff, visitors, vendors, and emergency services. It defies any reality to say that this proposed expansion will not result in more cars and traffic on the road.
 - Question 2: Why is the City relying on a traffic analysis that is provided by Aegis?
 - Question 3: Why is the City relying on any traffic analysis, regardless of who provided it, based on data that was supplied before Smart Train?

- Lastly, we are increasingly concerned that this project continues to expand beyond the original scope as it was presented to the City (and residents) back in 2018. At the time, it was pitched as a ‘memory care facility’ and designs were approved as such. By the time the plans were approved, Aegis had adopted a hybrid approach whereby it was a mix of assisted living and a dedicated floor of memory care. Now Aegis is seeking to expand on the quantities of residents but based on the lack of transparency so far regarding height, and parking/traffic, it seems that the project continues to simply snowball out of control with no consideration for what the public wants and desires. We realize that the city needs money, and the project will bring much needed revenue.

However, the longer they delay the building, the less revenue is actually going into the City. We highly recommend that the new plans not be approved and that Aegis move forward with their previous proposal.

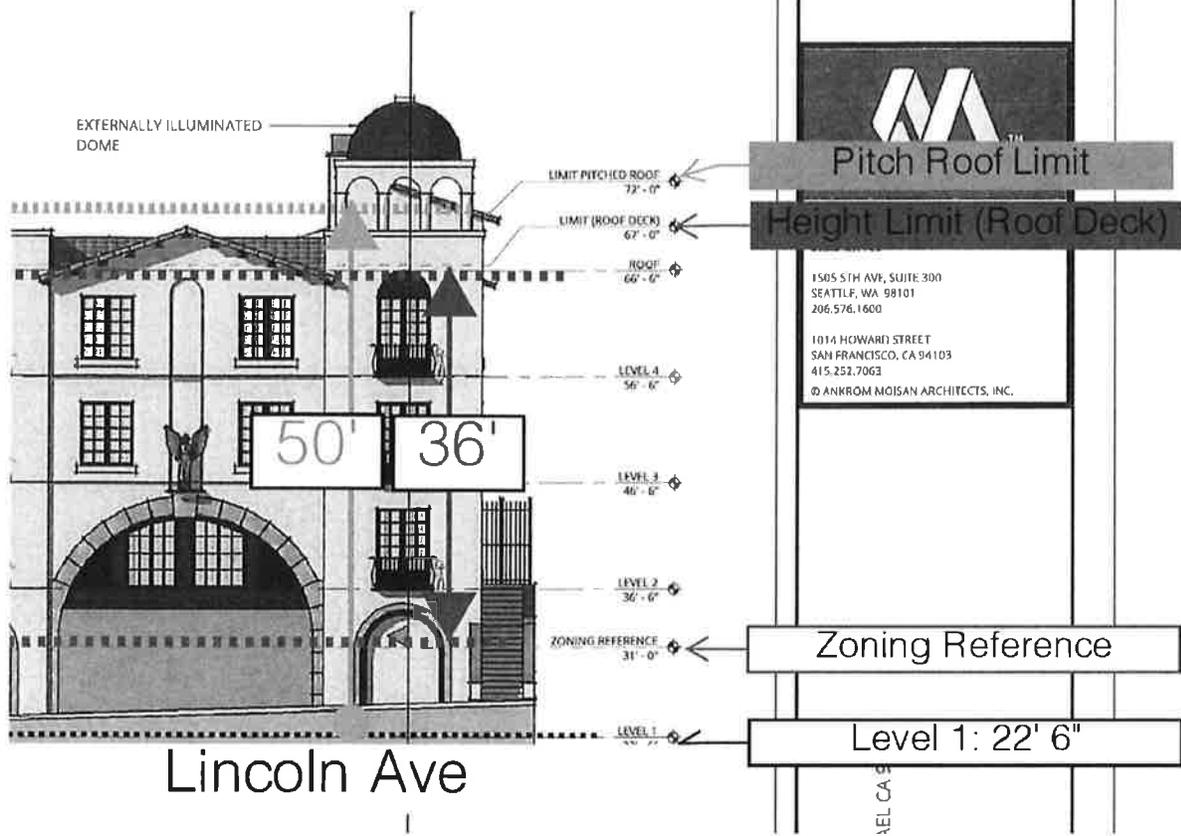
2021 DRB Proposal

**NOT FOR
CONSTRUCTION**



• feet.

2020 Approved



Steve Stafford

From: Ian McCamey <[REDACTED]>
Sent: Wednesday, May 19, 2021 12:07 PM
To: Distrib- City Clerk
Cc: Mayor Kate; Steve Stafford; Bill Guerin
Subject: Request for Publication of Traffic/Park Study

Dear Planning Commission, DRB, Mayor Colin, Mr. Guerin—

It is my understanding that the approved plans for the project at Lincoln/Mission Avenue, commonly known as “800 Mission”, were approved based on a parking and traffic study which was provided directly from Aegis, and approved by the City Engineer. (I am unclear if that is Mr. Guerin or not). It is also my understanding that -

- this study was furnished prior to Smart Trains completion
- this study has not been updated as part of Aegis current request for an 11’ height bonus (and increased residence capacity)

Due to the importance of this project to inject revenues to the City, in the interest of full transparency and seeking the full confidence of the community, we would like to ask that:

1. An up-to-date independent study (outside of the purview of Aegis) be conducted which takes Smart Train’s impact on the area into consideration. This would include, but not be limited to, the following:
 - any increase in gridlock patterns within an 8 block radius of Lincoln and Mission avenues since the Aegis study was conducted
 - any increase in overflow traffic (of any speed) caused by drivers attempting to circumvent the gridlock of Lincoln/Mission by using other arterial routes (Nye, Laurel, Curtis, Grand, Other) since Aegis study was conducted
 - any increase in the amount of pedestrian, bicycle, and/or vehicle accidents within an 8 block radius of Lincoln/Mission since Aegis study was conducted
 - any increase in parking/abandoned vehicle issues within an 8 block radius of Lincoln Mission since Aegis study was conducted
 - an updated assessment of how parking and traffic will be impacted by Aegis’s currently *approved* 2018 plans
 - an updated assessment of how parking and traffic will be impacted by Aegis 2021 *proposal* for an increased height bonus and residency count
2. To the extent that any approved project from Aegis causes an expected increase above the baseline, that an appropriate mitigation plan is created for light retiming, speed limit adjustments, and appropriate, parking limits and enforcements.

Many thanks,

Ian and Michelle McCamey

[REDACTED]

San Rafael, CA

[REDACTED]

Dear Mr. Stafford,

I am writing to voice my support of the Aegis project at 800 Mission Avenue. We are currently in the market for a senior home for . Most all of the facilities in the County are at capacity or are VERY dated. Additionally, I believe this beautiful building would also help alleviate housing affordability issues within Central and Southern Marin as more housing units become available due to this project.

The height and scale is appropriate for this location. I work in Downtown San Rafael and believe the setting would be ideal for this use. Traffic, parking and noise impacts are MUCH less than another residential project with 160%+ density bonus, which has been recently approved in the Downtown.

Please use this letter to represent my support for this Project's approval at both the Design Review Board **AND** the Planning Commission Hearing. This lot has sat vacant long enough!

Kindest Regards,

Colin Crotta

Account Manager / CEgrOw
Interior Plantscape Company

Mobile: [REDACTED]

Office: [REDACTED]

www.plantscapeSF.com

www.planthero.club

Steve Stafford

From: Whitney Phaneuf [REDACTED]
Sent: Thursday, June 3, 2021 7:28 PM
To: Steve Stafford
Subject: Feedback on Aegis project for Design Review Board

Hi Steve and Board,

Don't cave to big money and developers when your constituents are begging you to see that the Aegis project's increased height request is terrible for the Lincoln Hill neighborhood. We live in this peaceful residential neighborhood to get away from this kind of careless development.

This isn't a bunch of NIMBYs complaining. We understand the development is happening and we will personally cope with the construction noise and increased traffic, among many annoyances, that it will bring. Don't make this worse by approving the height increase and destroying the quality of life in this charming neighborhood for me and my neighbors.

Listen to the people who live here who are telling you this is wrong for the neighborhood and the city of San Rafael.

Whitney Phaneuf
[REDACTED]
San Rafael 94901

Steve Stafford

From: Matt Habecker [REDACTED]
Sent: Thursday, June 3, 2021 10:55 PM
To: Steve Stafford
Subject: Increased Building Height @ Corner of Mission and Lincoln

Hello,

My name is Matthew Habecker and my partner, Jeremy Bronson, and I own [REDACTED] in San Rafael. We have loved living in this wonderful neighborhood for over five years now, but as of late, we have become concerned with a developer's request to increase the building height at the corner of Mission and Lincoln from 36ft to 47ft, which means an increase from 77 units to 106.

I am happy to know that this vacant lot will finally be developed, and my partner and I have always encouraged the development of our downtown area, but the increase in residents from this building will greatly affect our residential community (which is, although close to downtown, NOT actually downtown).

Although this area is residential, it is already heavily congested with traffic in the mornings and evenings during rush hour. My partner and I both work in San Francisco and about 25 minutes of our commute time to work and home is spent getting from our house to the 101 onramp. We can only imagine how much longer this will take with many more residents in the area and increased traffic. In addition to single family homes like ours, there are already many apartments and duplexes in the neighborhood and we truly feel we are nearing the maximum number of residents before congestion gets out of control.

We are also very concerned with a height increase for this building. It will be several feet higher than anything else in the area, which will block views of Mt. Tamalpais (a wonderful benefit to living in our neighborhood) for many of our neighbors, which will most certainly affect property values.

Again, we are fully supportive of the development of this lot, but we urge you to not allow the developer's request for a height and unit increase to be approved. Please listen to the residents of this neighborhood who have devoted so much time, money and care into improving our properties not just for our own benefit, but for the benefit of the neighborhood as well.

Thank you for your time and consideration,

Matthew Habecker and Jeremy Bronson
[REDACTED] San Rafael, CA 94901

June 3, 2021

To: Design Review Board

Re: Aegis project at Mission & Lincoln Avenues

The plan that was approved last year seemed to us to be a good use of that location. The size was at the upper level of acceptability. The new version being considered now seems excessively large. A building that massive changes the character of the neighborhood.

Although we are at the edge of the downtown area, this is still a mixed residential neighborhood. It has been slowly changing over the years from single family residences to multiple units. Even the condominiums at 820 Mission were designed in such a way that they are set back on the upper floors. This keeps the height from overpowering the surrounding buildings.

The new design plan for Aegis does not do this. It is already planned to be close to the property lines on both Lincoln and Mission. The increased bulk of the building is out of character for the neighborhood, will overwhelm the nearby structures, and reduce everyone's property values.

Moreover, the increased number of residence and workers will add to the already congested traffic and parking, particularly on Laurel Place.

Thank you for your consideration in this matter.

John R. Haeuser

Mary Ann Haeuser

[REDACTED]

San Rafael, Ca 94901

Steve Stafford

From: Richard Shaffer <[REDACTED]>
Sent: Friday, June 4, 2021 7:21 AM
To: Steve Stafford
Subject: Aegis Project at Mission & Lincoln

Dear Mr. Stafford,

I am writing to you to weigh in on the controversy concerning the height of the proposed building on the above captioned project.

My concern is our neighborhood currently has a nice blend of single family homes and apartment complexes. I believe the additional height will protrude into our living environment in a negative way. Light to the area will be reduced and traffic patterns will be increased with an additional 29 units. The afterthought by the developer to gain more revenue at the expense of disrupting the harmony of our wonderful neighborhood is more than a little bothersome to me.

I have lived on Nye Street for almost twenty years and I can tell you that just making a left turn onto Mission Street from Nye is already challenging. I am sure that the planning department has studied the traffic patterns at the Mission and Lincoln intersection and must be aware that the proposed additional 29 units, concerning ingress-egress regulations, would become an added burden. There can be no doubt about that.

I believe that the request by the developer should be denied as its an overreach at the eleventh hour and would most assuredly be harmful to both our neighborhood and community as a whole.

Rich Shaffer
[REDACTED]

Steve Stafford

From: Paula Doubleday <[REDACTED]>
Sent: Friday, June 4, 2021 9:07 AM
To: Distrib- City Clerk; Steve Stafford
Subject: 1203 Lincoln Ave Comment for DRB June 8 meeting

Good morning to you both. I am writing in support of the Design Review Board approving the Aegis Living project. I reviewed the previous designs approved by the DRB, and compared them to the modified 2021 elevations which show a consistency in the architectural elements such as the dome, stained glass, archways, etc that the DRB liked. The additional floor in the middle of the building looks like it was added with design integrity in mind.

This is an excellent location at the edge of downtown that provides significant, much needed housing for seniors. There are numerous nearby multi-story structures that will accommodate the size of this development. I've read concerns from neighbors on Nextdoor about the building height. My understanding is that the height bonus requested is built into the Code based on this location /parcel size. With the various levels, insets, and landscaping, it is a beautiful building and will be enjoyable to walk by.

The San Rafael 2040 Plan encourages density in the downtown area (and this is at the edge) and near transit to increase the vibrancy of our central San Rafael business district. Residents will likely have minimal car ownership, but when their family comes to visit, it is an easy distance for a meal or entertainment in our business district. This is a great fit and opportunity for the City.

I encourage you to approve and move the project forward. This lot has been empty for too long.

Paula Doubleday
[REDACTED]
San Rafael 94901



**FILE COPY
DO NOT REMOVE**

APPROVED
SAN RAFAEL PLANNING DIVISION
By: CC DENICOLOFF PC APPROVAL APPEAL
Date: 9/4/18
File No: AP18-002; E011010; UP17-030

**NOT FOR
CONSTRUCTION**



38 NORTHWEST DAVIS, SUITE 300
PORTLAND, OR 97209
503.245.7100

1505 5TH AVE, SUITE 300
SEATTLE, WA 98101
206.576.1600

1014 HOWARD STREET
SAN FRANCISCO, CA 94103
415.252.7063

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800 MISSION AVENUE, SUITE 300, SAN RAFAEL, CA 94901
AEGIS SAN RAFAEL
ASC SAN RAFAEL LLC

PROJECT INFORMATION

GENERAL
ZONING: HR-1
MULTIFAMILY RESIDENTIAL
(HIGH DENSITY)
1,000 SF LAND PER DWELLING UNIT
MAX. BUILDING HEIGHT: 36'
PROPOSED BUILDING HEIGHT: 35'-6"
MIN. USABLE OUTDOOR AREA: 100 SF
PROPOSED USABLE OUTDOOR AREA: 3,955 SF
AP NUMBERS: 11-184-09, -08
UNITS PROPOSED: 77
BEDS: 88

PROJECT DIRECTORY

GENERAL
APPLICANT
ML SEVEN CAPITAL PARTNERS LLC
1101 FIFTH AVENUE, SUITE #300
SAN RAFAEL, CA 94901
CONTACT: TOM MONAHAN
GEOFFREY FORNER
PHONE: (415)456-0600
EMAIL: gforner@monahanapacific.com
tmm@monahanapacific.com
ARCHITECT
ANKROM MOISAN ARCHITECTS
1505 5TH AVENUE, SUITE 300
SEATTLE, WA 98101
CONTACT: JP EMERY
JEREMY SOUTHERLAND
PHONE: (206)576-1600
EMAIL: JPE@ANKROMMOISAN.COM
JEREMY@ANKROMMOISAN.COM

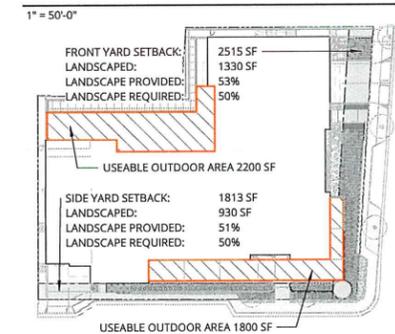
DESIGN DESCRIPTION

PROPOSED OCCUPANCY: R2.1
MULTIFAMILY RESIDENTIAL
(HIGH DENSITY)
THE PROPOSED DESIGN IS AN 77 UNIT, FOUR STORY BUILDING WITH SUBTERRANEAN GARAGE. THE LOCATION IS AT THE CORNER OF MISSION AND LINCOLN IN SAN RAFAEL. IT IS WALKING DISTANCE TO DOWNTOWN, THE TRANSIT CENTER, AND FUTURE SMART RAIL STATION. THE FIRST FLOOR OF RESIDENTIAL LIVING, LOCATED ONE LEVEL ABOVE STREET, WILL HOUSE 25 UNITS DEDICATED TO MEMORY CARE RESIDENTS. THE UPPER TWO FLOORS WILL HOUSE 52 UNITS OF ASSISTED LIVING RESIDENTS. THE GROUND FLOOR PORT COCHERE WILL CONTAIN 2 ADA SPACES, 1 AEGIS VAN PARKING SPACE AND LOADING AREA. THERE ARE 2 STREET PULLOUTS PROPOSED FOR FIRE ACCESS AND LOADING. ONE AT MISSION AVE AND ONE AT LINCOLN AVE.
THE SUBTERRANEAN GARAGE WILL CONTAIN 37 SPACES TOTAL (INCLUDING 2 ADA SPACES). THE PARKING TOTAL FOR THE COMPLEX WILL INCLUDE 40 DEDICATED SPACES (INCLUDING 4 ADA SPACES). ENTRANCE AND EXIT TO SUBTERRANEAN GARAGE WILL BE LOCATED OFF MISSION. ENTRANCE AND EXIT TO GROUND LEVEL GARAGE WILL BE LOCATED OFF LINCOLN.
PROJECT CONTAINS A MIX OF 1 BEDROOM & STUDIO UNITS. FIRST LEVEL OF RESIDENTIAL (ONE LEVEL UP FROM STREET) WILL BE DESIGNATED FOR MEMORY CARE USE. THE UNITS ON THIS FLOOR WILL HAVE NON OPERATIONAL DOORS TO 'FALSE BALCONYS'. THERE WILL BE ONE CONTROLLED ACCESS POINT FOR GARDENING PURPOSES ON THIS FLOOR. THE SECOND AND THIRD RESIDENTIAL FLOORS (UPPER TWO) WILL BE DESIGNATED FOR ASSISTED LIVING AND WILL HAVE EXTERIOR BALCONY ACCESS FROM DESIGNATED UNITS ON THE MISSION AND LINCOLN SIDES.
THE ARCHITECTURAL GOALS OF THE GROUND LEVEL ARE TO CREATE A VERY AESTHETICALLY RICH, INVITING ENVIRONMENT WHILE SIMULTANEOUSLY RELATING TO THE EXISTING HISTORIC ARCHITECTURE OF SAN RAFAEL. FROM THE STREET, A DEDICATED ENTRANCE FACADE, COUPLED WITH MULTI LEVEL, STAGGERED ROOFING ON EXTERIOR BALCONIES AND A FOCAL TOWER, WITH ARCHITECTURALLY SEPARATED BUILDING SECTIONS PROVIDES AN INTERESTING VIEW CONTAINING DESIRED CURB APPEAL. VISUAL DEPTH IS ACHIEVED THROUGH THE BALCONYS, THE ROOF SEPARATIONS, AND THE BUILDING SEPARATIONS FROM VERTICAL MOVEMENT POINTS. SHADOWS AND DEPTH PREVENT MONOTONOUS WALLS AND BORING PLANES, OR BORING OVERALL MASSING IN GENERAL. THE SITE WILL BE LANDSCAPED TO PROVIDE SCREENING AND NATURAL APPEAL.

SETBACKS

THE SETBACKS OF THE ORIGINAL APPROVED DESIGN ARE MAINTAINED TO INCLUDE 5' SETBACKS ON THE REAR AND SIDES OF THE FOOTPRINT, AS WELL AS A 10' SETBACK FROM MISSION AND A 15' SETBACK FROM LINCOLN. PROPOSED BUILDING FACADES/ARTICULATIONS EMULATE APPROVED DESIGN.

LANDSCAPE DIAGRAM



VICINITY MAP

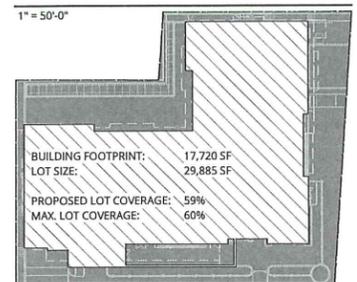


SHEET INDEX

| SHEET NUMBER | SHEET NAME |
|--------------|--------------------------------------|
| 1 | TITLE SHEET |
| 2 | LOWER GARAGE PLAN |
| 3 | MAIN LEVEL PLAN |
| 4 | FIRST FLOOR RESIDENTIAL PLAN |
| 5 | SECOND FLOOR RESIDENTIAL PLAN |
| 6 | THIRD FLOOR RESIDENTIAL PLAN |
| 7 | ROOF PLAN |
| 8 | EXTERIOR ELEVATIONS |
| 9 | EXTERIOR ELEVATIONS |
| 10 | SECTIONS |
| 11 | DETAILS |
| CIVL | |
| C0.00 | SITE SURVEY |
| C0.01 | GRADING, DRAINAGE AND UTILITY PLAN |
| C2.00 | STORMWATER CONTROL PLAN |
| C2.01 | STORMWATER CONTROL DETAIL AND TABLES |
| LANDSCAPE | |
| L1.1 | PLANTING PLAN |
| L2.0 | PLANT - SCHEDULE |
| L2.1 | PLANTING DETAILS |

NOT FOR CONSTRUCTION
THESE DOCUMENTS ARE INTENDED
ONLY TO ILLUSTRATE GENERAL
DESIGN ELEMENTS.
DEVIATIONS MAY EXIST BETWEEN
THESE DOCUMENTS AND
DOCUMENTS THAT HAVE BEEN
REVIEWED AND APPROVED BY THE
CITY OF SAN RAFAEL PLANNING
AUTHORITIES.

LOT COVERAGE DIAGRAM



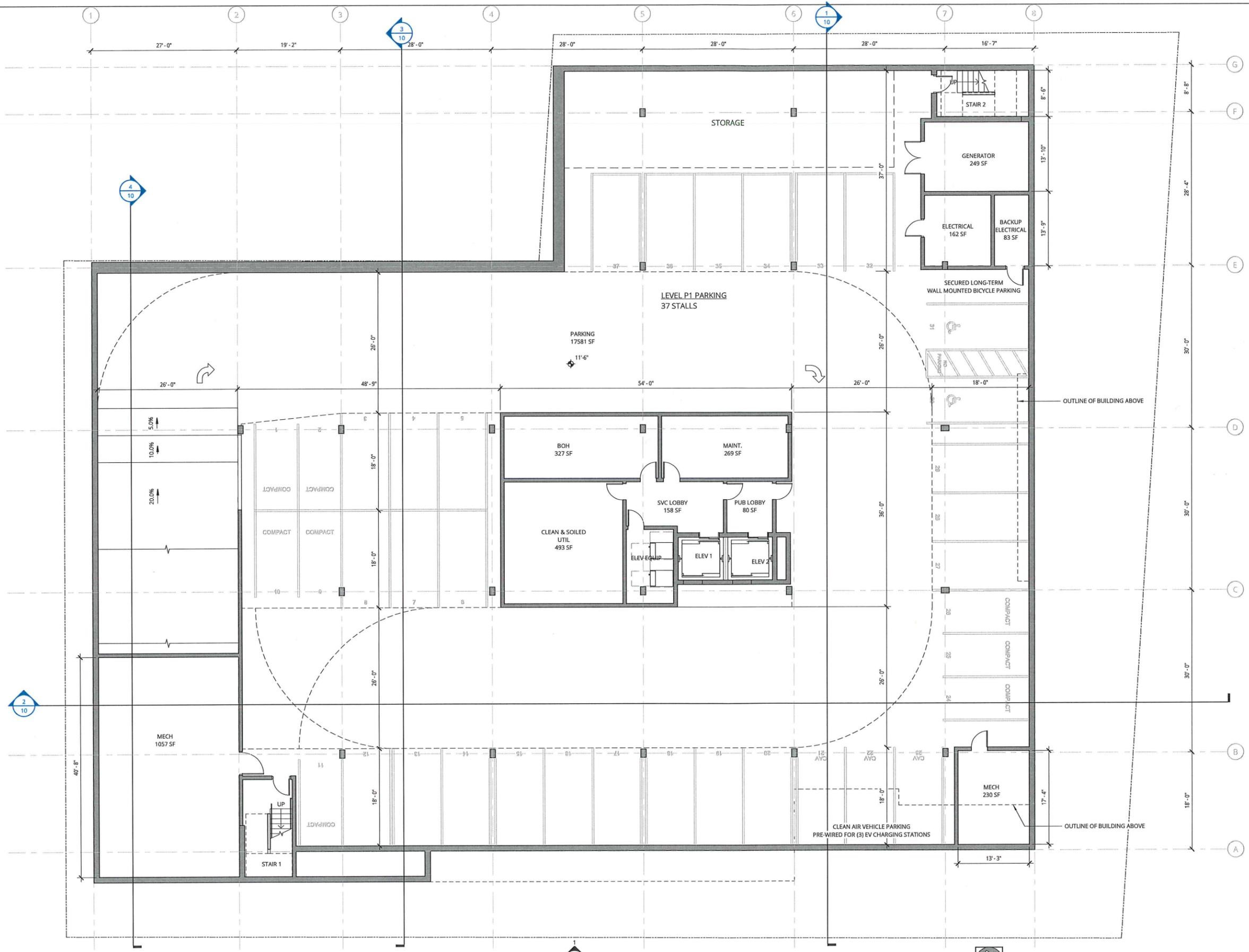
| UNIT SCHEDULE | | |
|----------------|-------|------------|
| UNIT TYPE | COUNT | AREA TOTAL |
| LEVEL 4 | | |
| AL.1 | 3 | 2094 |
| AL.S | 23 | 8631 |
| | 26 | 10725 |
| LEVEL 3 | | |
| AL.1 | 3 | 2036 |
| AL.S | 23 | 8803 |
| | 26 | 10839 |
| LEVEL 2 | | |
| LN.S | 25 | 8577 |
| | 25 | 8577 |
| Grand total | 77 | 30141 |

| REVISION | DATE | REASON FOR ISSUE |
|----------|------|------------------|
| | | |
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TITLE SHEET

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| | | |
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LOWER GARAGE PLAN

| | |
|--------------------|--------------------------|
| DATE 05.30.2018 | PROJECT NUMBER 174170 |
|--------------------|--------------------------|

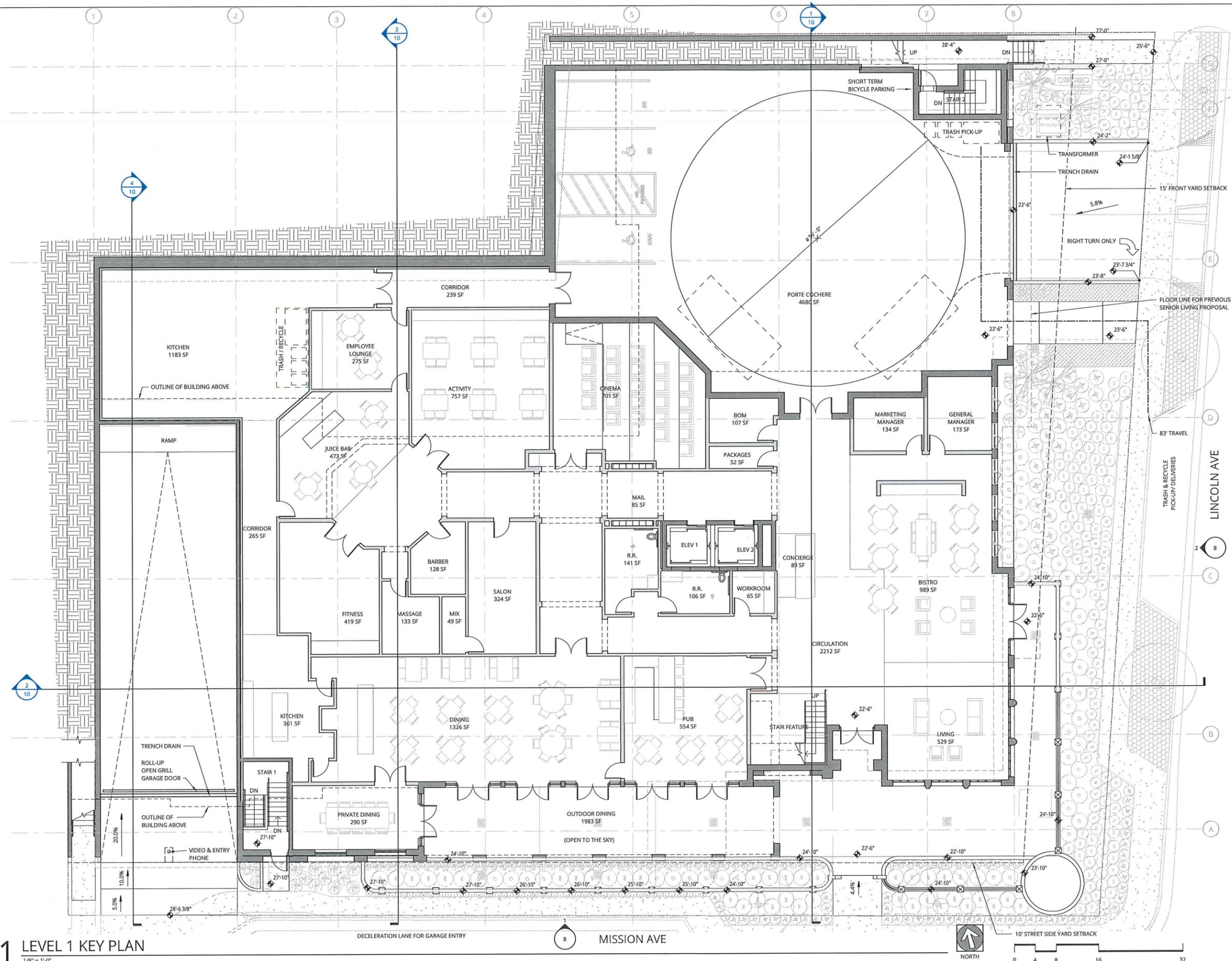
SHEET NUMBER
2

1 LEVEL P1 KEY PLAN
1/8" = 1'-0"

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7/27/2018 8:32:16 AM

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| | | |
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| | | |

MAIN LEVEL PLAN

DATE 05.30.2018 PROJECT NUMBER 174170

SHEET NUMBER 3

1 LEVEL 1 KEY PLAN
 1/8" = 1'-0"

7/2/2018 8:32:20 AM

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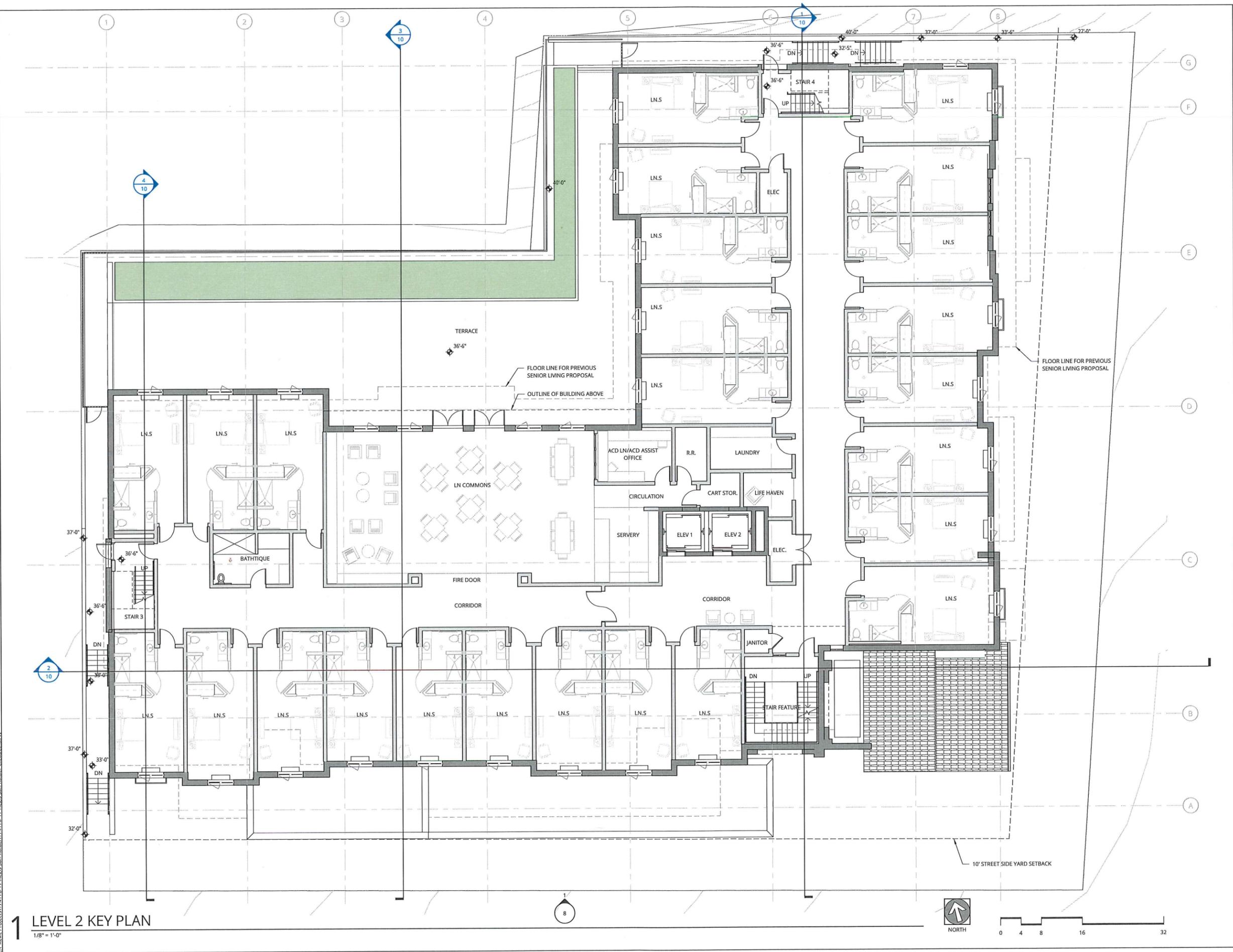
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|----------|------|------------------|
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**FIRST FLOOR
RESIDENTIAL PLAN**

DATE 05.30.2018 PROJECT NUMBER 174170

SHEET NUMBER 4



1 LEVEL 2 KEY PLAN
1/8" = 1'-0"

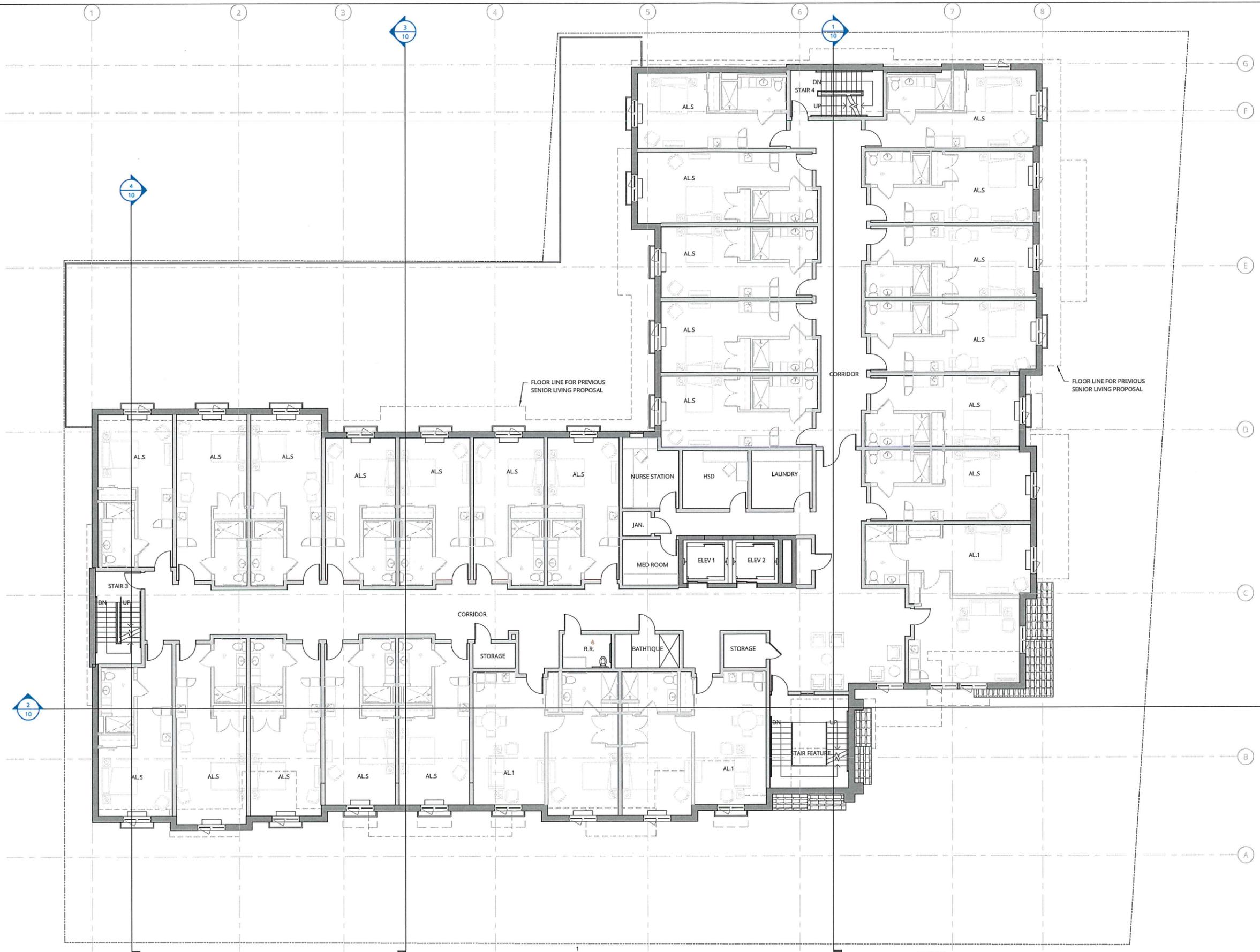
8



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| | | |
| | | |
| | | |

SECOND FLOOR RESIDENTIAL PLAN

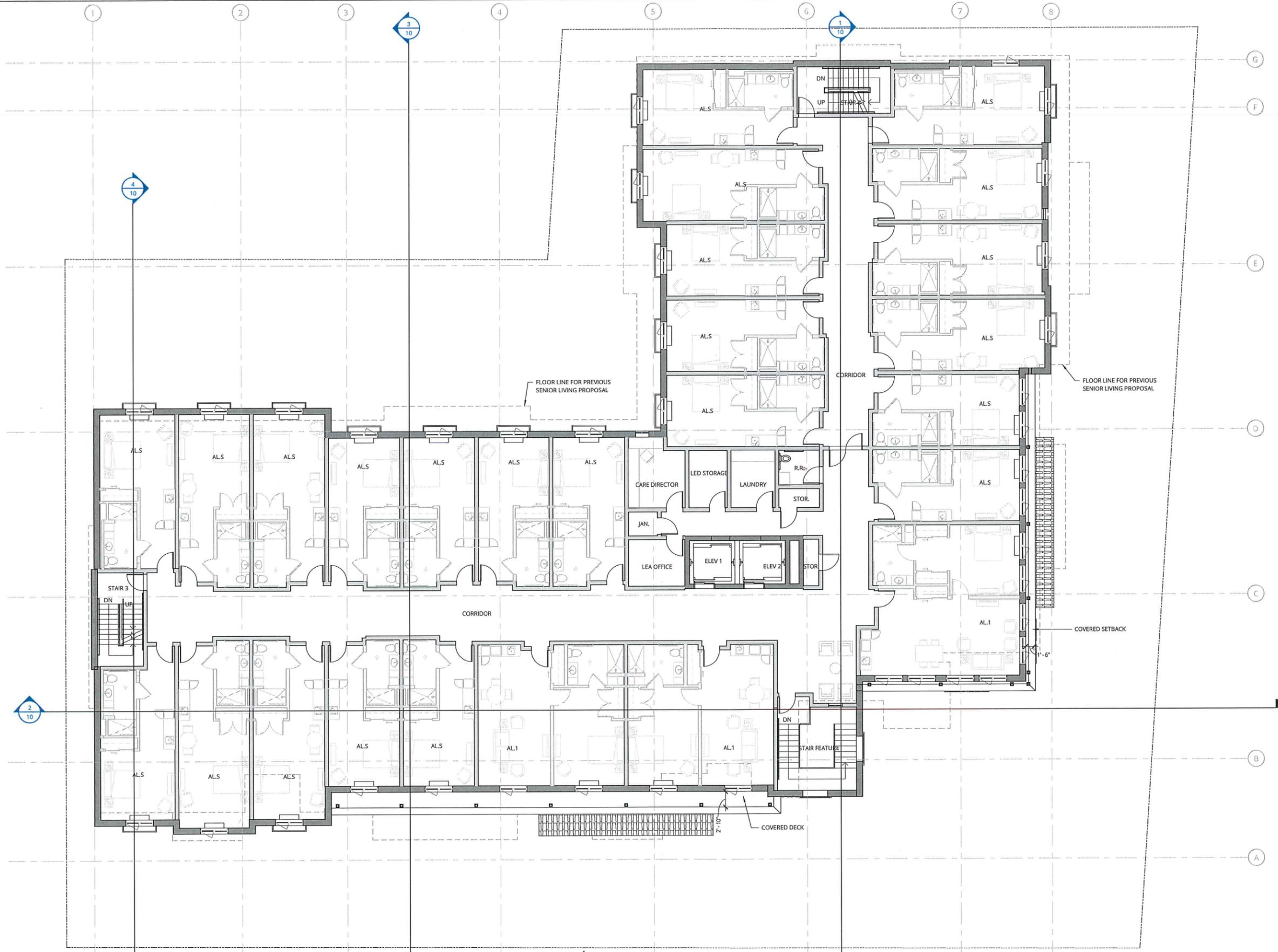
DATE 05.30.2018 PROJECT NUMBER 174170

SHEET NUMBER **5**

1 LEVEL 3 KEY PLAN / L4 SIM
 1/8" = 1'-0"

7/2/2018 8:32:24 AM

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1 LEVEL 4 KEY PLAN
 1/8" = 1'-0"

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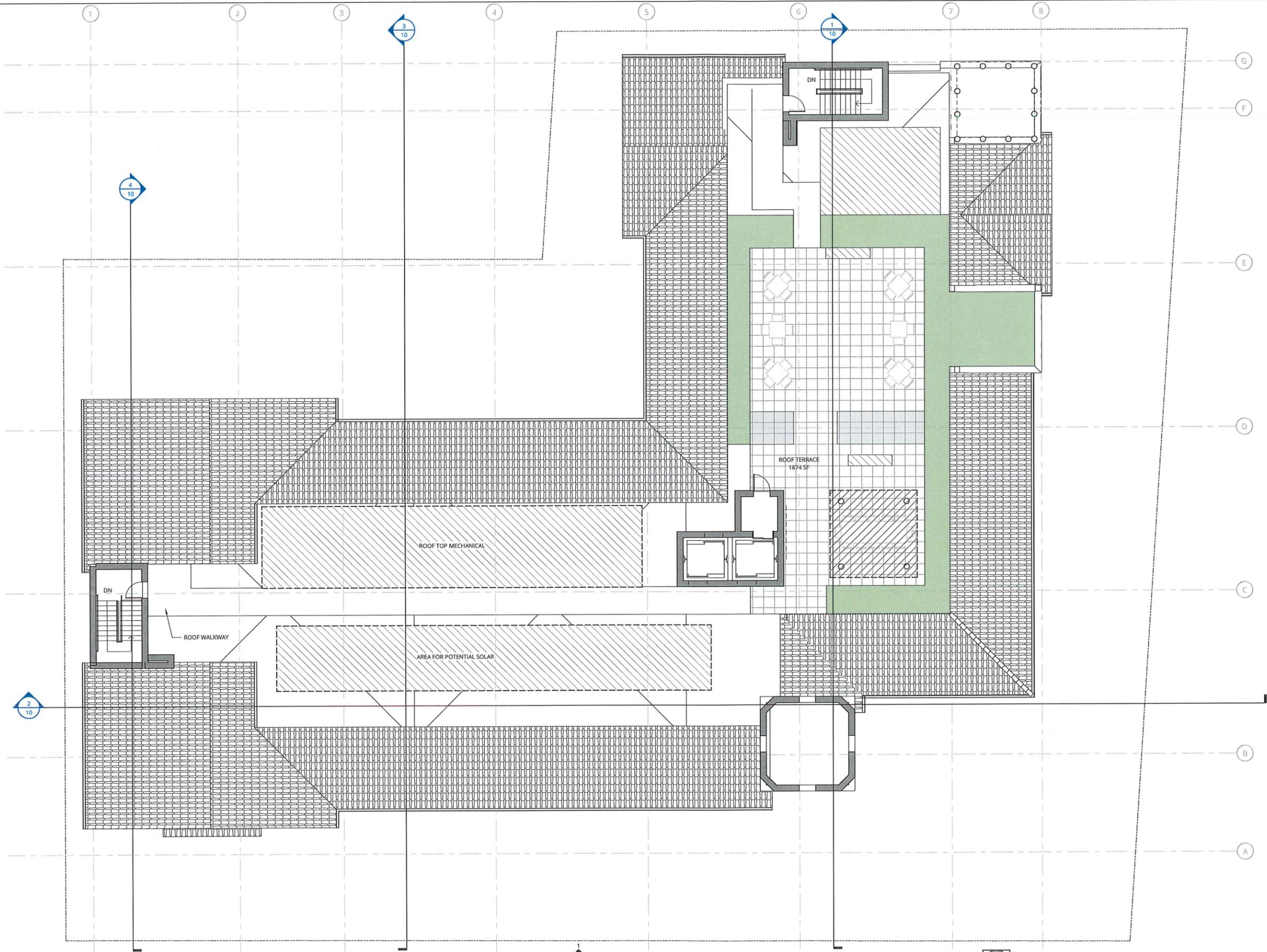
| REVISION | DATE | REASON FOR ISSUE |
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THIRD FLOOR RESIDENTIAL PLAN

DATE: 05.30.2018 PROJECT NUMBER: 174170
 SHEET NUMBER

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1 ROOF KEY PLAN
1/8" = 1'-0"

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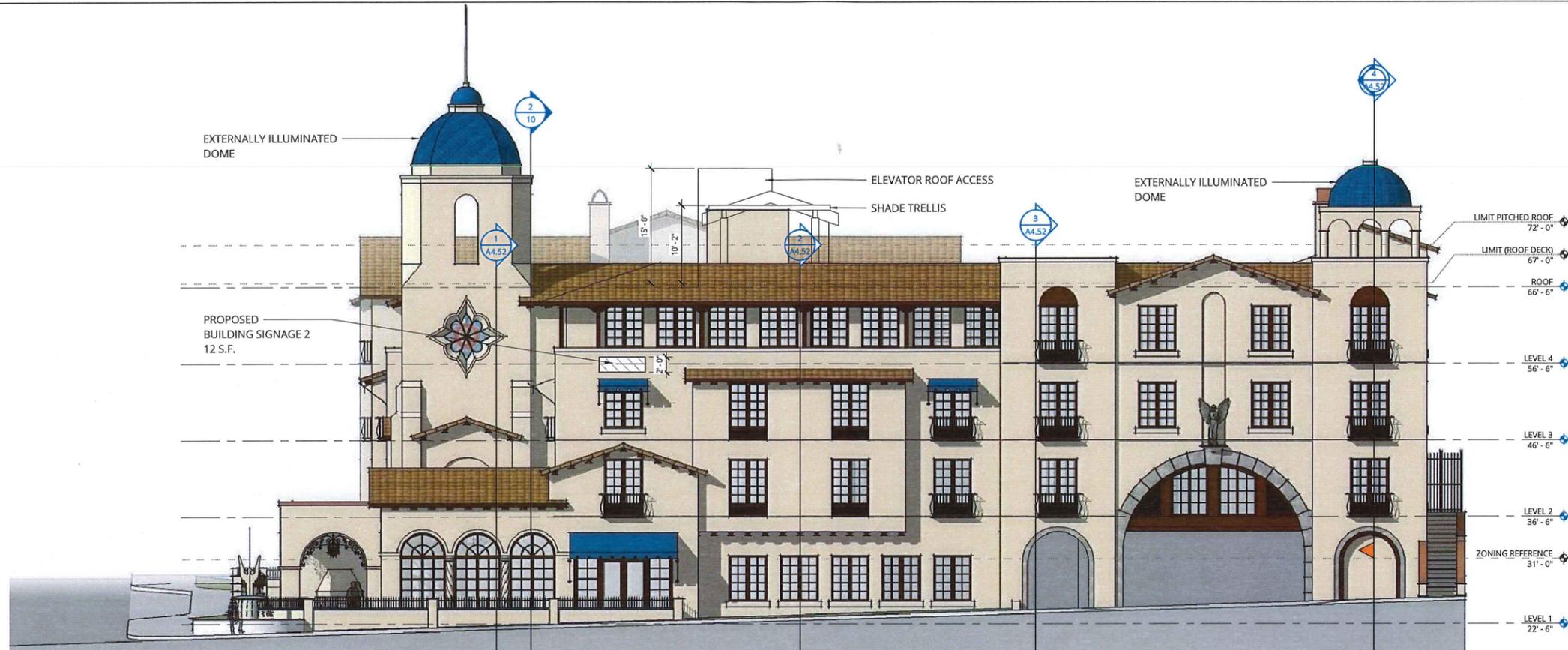
| REVISION | DATE | REASON FOR ISSUE |
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ROOF PLAN

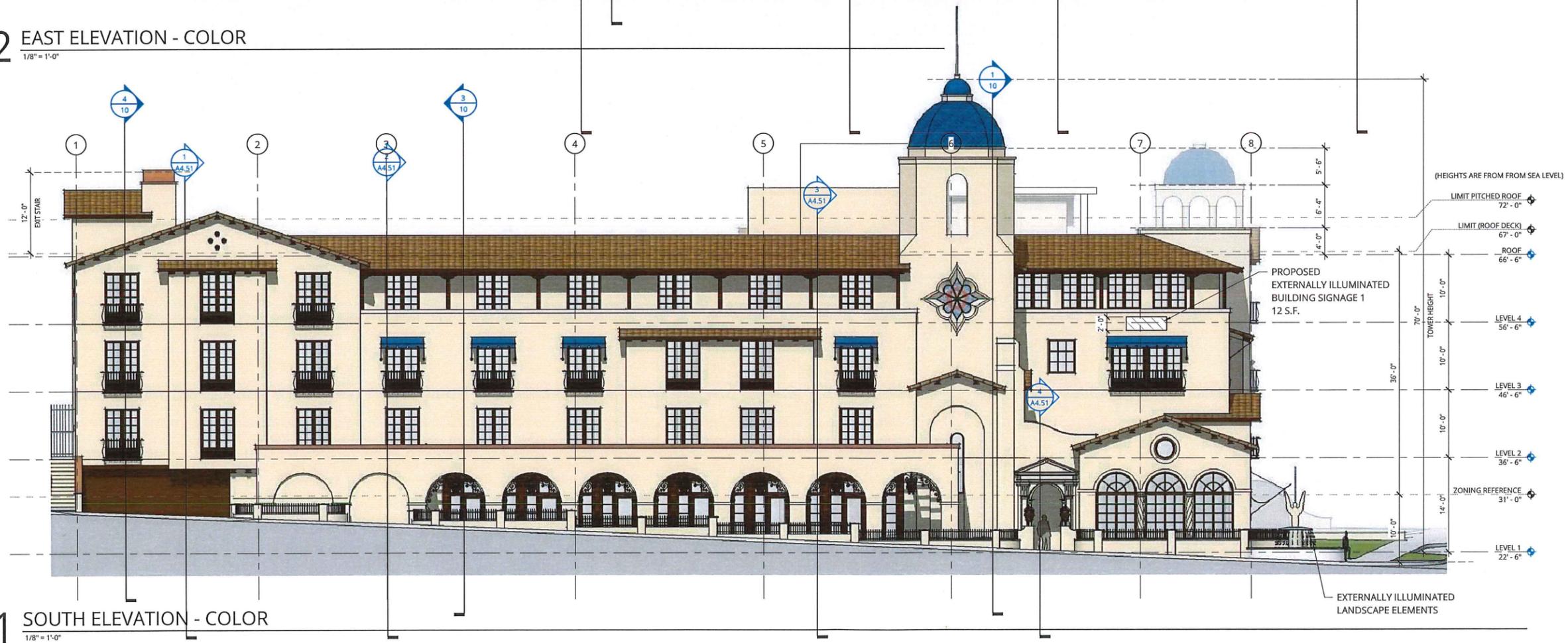
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|--------------------|--------------------------|
| DATE 05.30.2018 | PROJECT NUMBER 174170 |
| SHEET NUMBER | |

7

17/2018 8:52:26 AM



2 EAST ELEVATION - COLOR
1/8" = 1'-0"



1 SOUTH ELEVATION - COLOR
1/8" = 1'-0"

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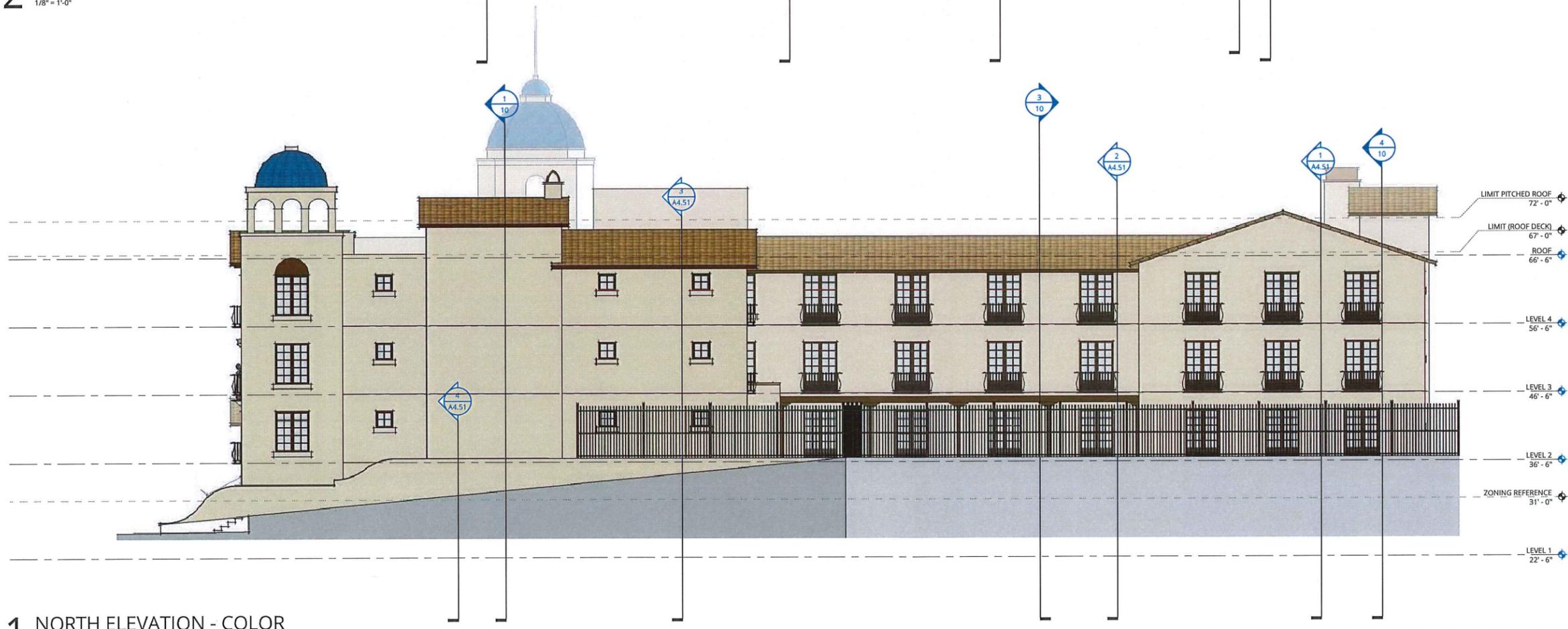
EXTERIOR ELEVATIONS

| | |
|--------------------|--------------------------|
| DATE 05.30.2018 | PROJECT NUMBER 174170 |
| SHEET NUMBER 8 | |

17/2018 8:52:27 AM



2 WEST ELEVATION - COLOR
1/8" = 1'-0"



1 NORTH ELEVATION - COLOR
1/8" = 1'-0"

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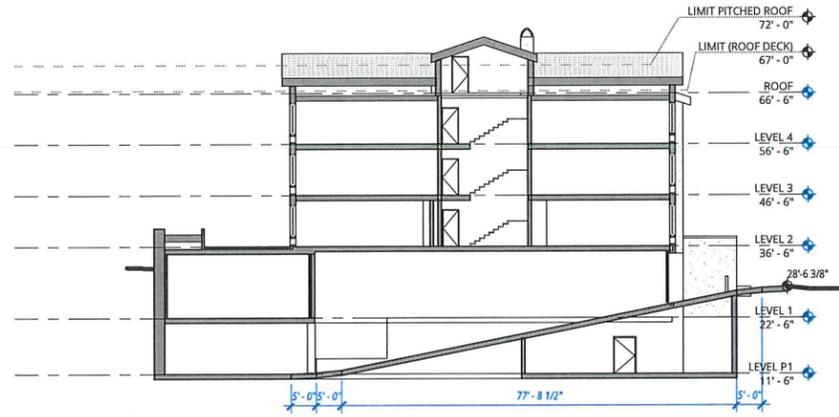
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**EXTERIOR
ELEVATIONS**

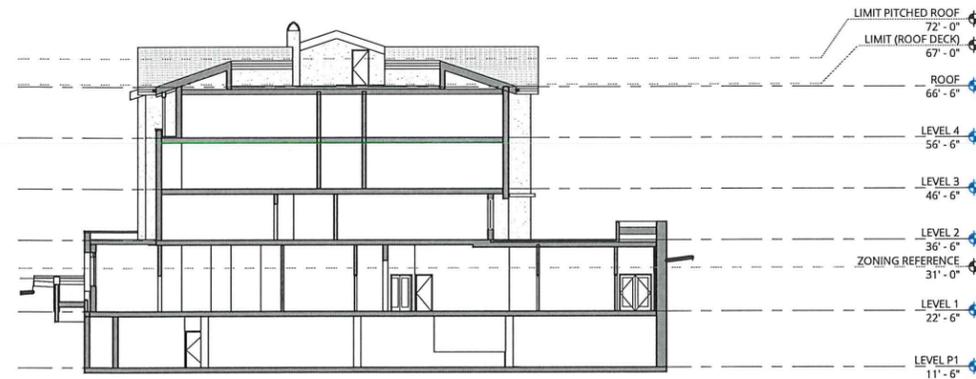
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|--------------------------|--------------------------|
| DATE 05.30.2018 | PROJECT NUMBER 174170 |
| SHEET NUMBER 9 | |

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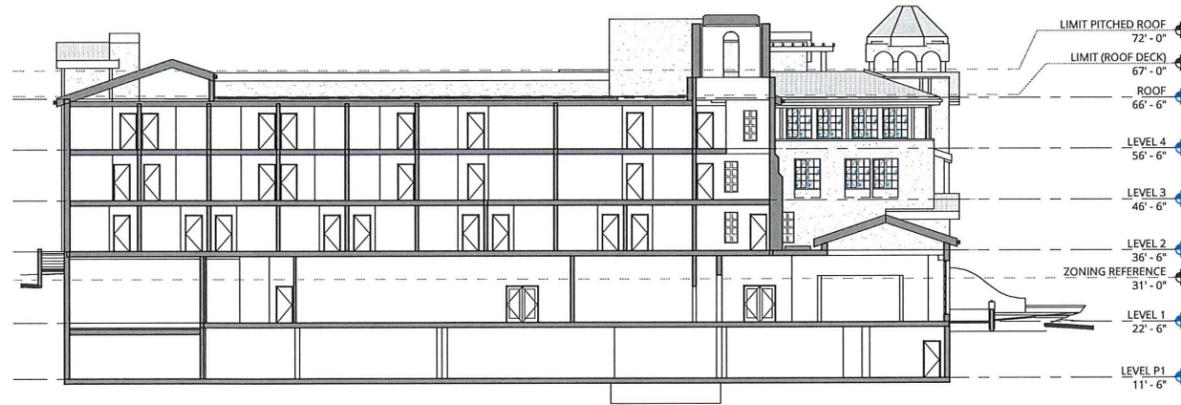
7/2/2018 8:32:29 AM



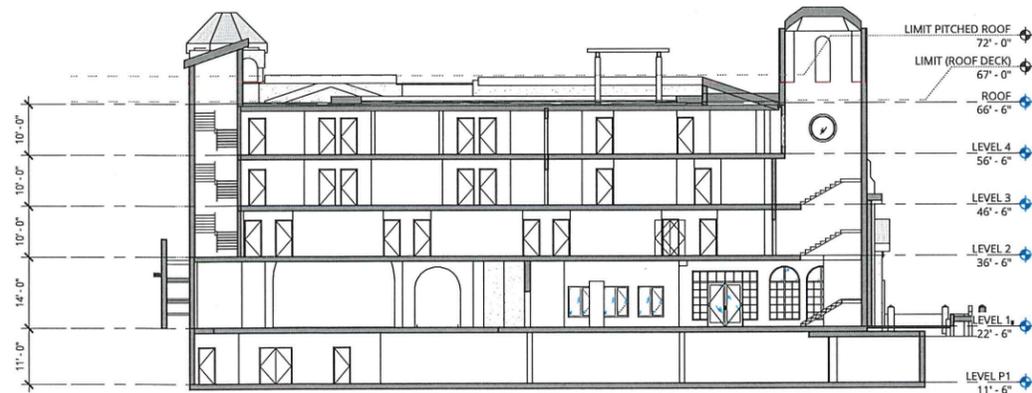
4 BUILDING SECTION AT PARKING RAMP
1/16" = 1'-0"



3 BUILDING SECTION 3
1/16" = 1'-0"



2 BUILDING SECTION 2
1/16" = 1'-0"



1 BUILDING SECTION 1
1/16" = 1'-0"

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SECTIONS

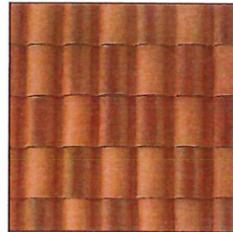
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|--------------------|--------------------------|
| DATE 05.30.2018 | PROJECT NUMBER 174170 |
|--------------------|--------------------------|

SHEET NUMBER

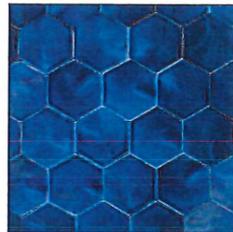
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BUILDING MATERIALS, COLOR AND DETAILS



1. TILE ROOF



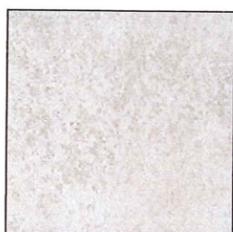
2. BLUE ROOF TILE



3. TIMBER DETAILING

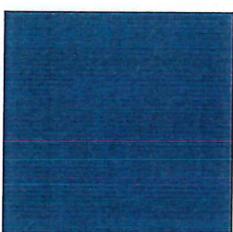


4. WROUGHT IRON

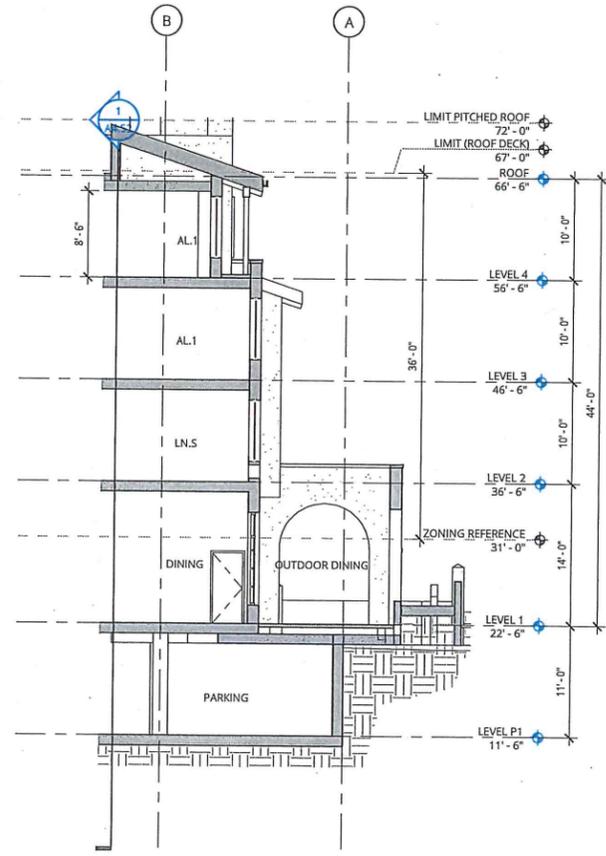


5. STUCCO

COLOR SELECTION: STUCCO SW-7569



6. FABRIC AWNINGS



1 WALL SECTION
1/8" = 1'-0"

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DETAILS

DATE 05.30.2018 PROJECT NUMBER 174170

SHEET NUMBER

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LEGEND

- PROPERTY LINE
- - - - - FENCE LINE
- - - - - TELE/CABLE OVERHEAD LINES
- - - - - ELECTRIC LINES
- ☐ CATCH BASIN
- ☐ UTILITY BOX
- - - - - POLE GUY/ANCHOR LOCATION
- FOUND 1/2" IP (TAGGED LS 2738)
- D/W DRIVEWAY
- ⊙ SANITARY SEWER MH
- ⊙ STORM DRAIN MH
- TP TELEPHONE POLE
- SSCO SANITARY SEWER CLEANOUT
- (R1) 18 PM 98
- RW RIGHT-OF-WAY

BASIS OF BEARINGS

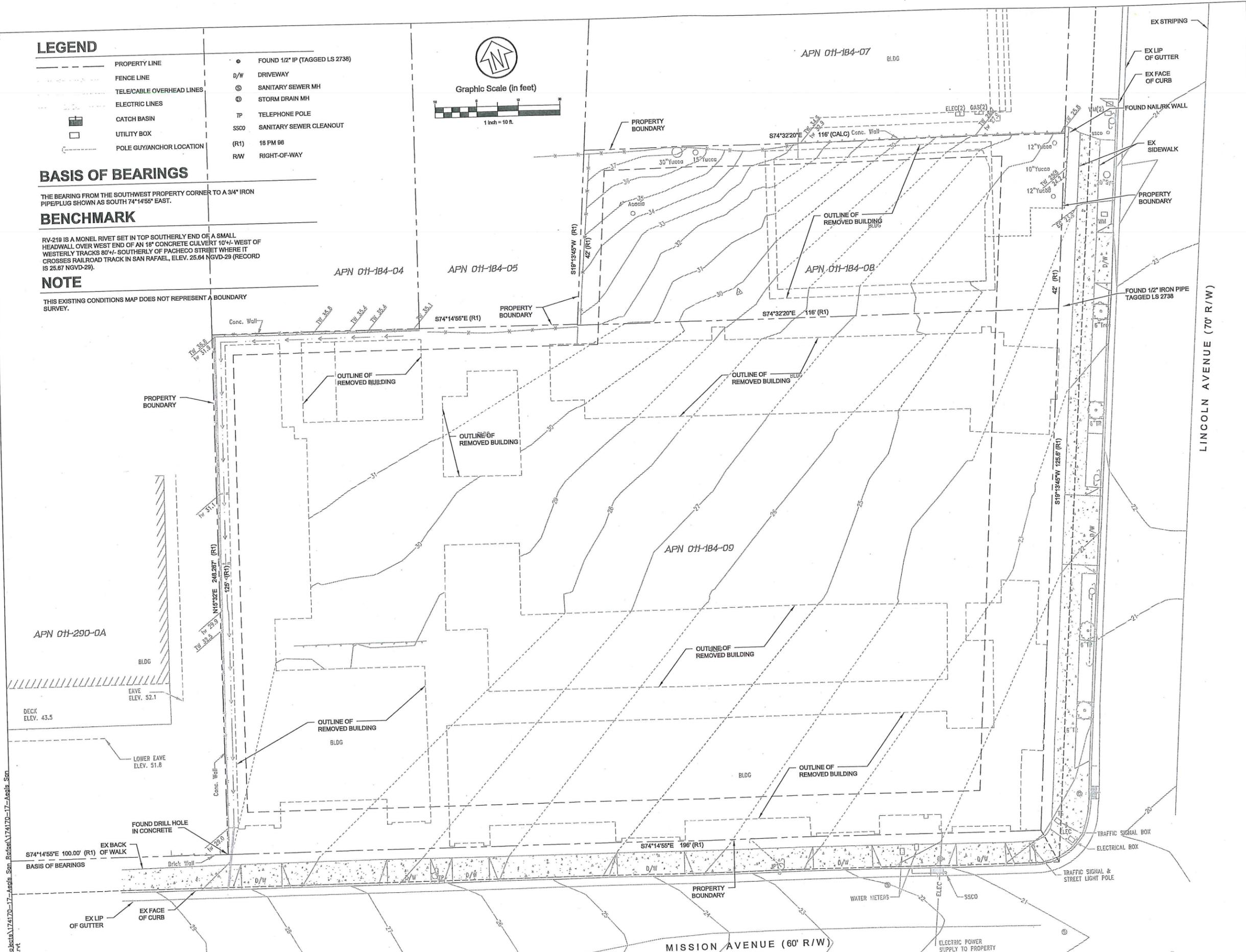
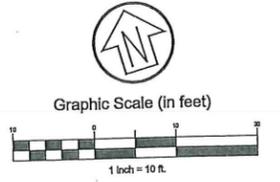
THE BEARING FROM THE SOUTHWEST PROPERTY CORNER TO A 3/4" IRON PIPE/PLUG SHOWN AS SOUTH 74°14'55" EAST.

BENCHMARK

RV-218 IS A MONEL RIVET SET IN TOP SOUTHERLY END OF A SMALL HEADWALL OVER WEST END OF AN 18" CONCRETE CULVERT 10'+/- WEST OF WESTERLY TRACKS 80'+/- SOUTHERLY OF PACHECO STREET WHERE IT CROSSES RAILROAD TRACK IN SAN RAFAEL, ELEV. 25.64 NGVD-29 (RECORD IS 25.67 NGVD-29).

NOTE

THIS EXISTING CONDITIONS MAP DOES NOT REPRESENT A BOUNDARY SURVEY.



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| Δ | 4/25/18 | RESPONSE TO COMMENTS NO CHANGES THIS SHEET |
| Δ | 5/15/18 | NO CHANGES THIS SHEET |



PRELIMINARY

SITE SURVEY

RESUBMITTAL SET

| | |
|--------------------|--------------------------|
| DATE 03.05.2018 | PROJECT NUMBER 164890 |
| SHEET NUMBER | |

CO.00

Project: 174170-17 - Aegis San Rafael\174170-17 - Aegis San Rafael

2/27/2018 2:59:04

ABBREVIATIONS

| | | | | | | | |
|---------|-----------------------|----|---------------------|--------|--------------------------|------|--------------------------------|
| AB | AGGREGATE BASE | FC | FACE OF CURB | MH | MANHOLE | SSCO | SANITARY SEWER CLEANOUT |
| AC | ASPHALT CONCRETE | FF | FINISH FLOOR | NO. | NUMBER | SSMH | SANITARY SEWER MANHOLE |
| AD | AREA DRAIN | FG | FINISH GRADE | NTS | NOT TO SCALE | SW | SIDEWALK |
| ACR | ACCESS COMPLIANT RAMP | FH | FIRE HYDRANT | PB | PULLBOX | TC | TOP OF CURB |
| BSW | BACK OF SIDEWALK | FL | FLOWLINE | P.C.C. | PORTLAND CEMENT CONCRETE | TG | TOP OF GRATE |
| CB | CATCH BASIN | FS | FINISH SURFACE | PRO | PROPOSED | TW | TOP OF WALL |
| DL | DAYLIGHT | GB | GRADE BREAK | PVC | POLYVINYL CHLORIDE PIPE | tw | TOE OF WALL |
| DWG | DRAWING | GF | GARAGE FINISH FLOOR | R/W | RIGHT OF WAY | UCS | UNIFORM CONSTRUCTION STANDARDS |
| DWY | DRIVEWAY | HP | HIGH POINT | SD | STORM DRAIN | UNO | UNLESS NOTED OTHERWISE |
| EG | EXISTING GRADE | JP | JOINT POLE | SDCO | STORM DRAIN CLEANOUT | VIF | VERIFY IN FIELD |
| EL | ELEVATION | JT | JOINT TRENCH | SF | SQUARE FEET | WL | WATER LINE |
| EP | EDGE OF PAVEMENT | LF | LINEAR FEET | SS | SANITARY SEWER | | |
| (E), EX | EXISTING | LP | LOW POINT | | | | |

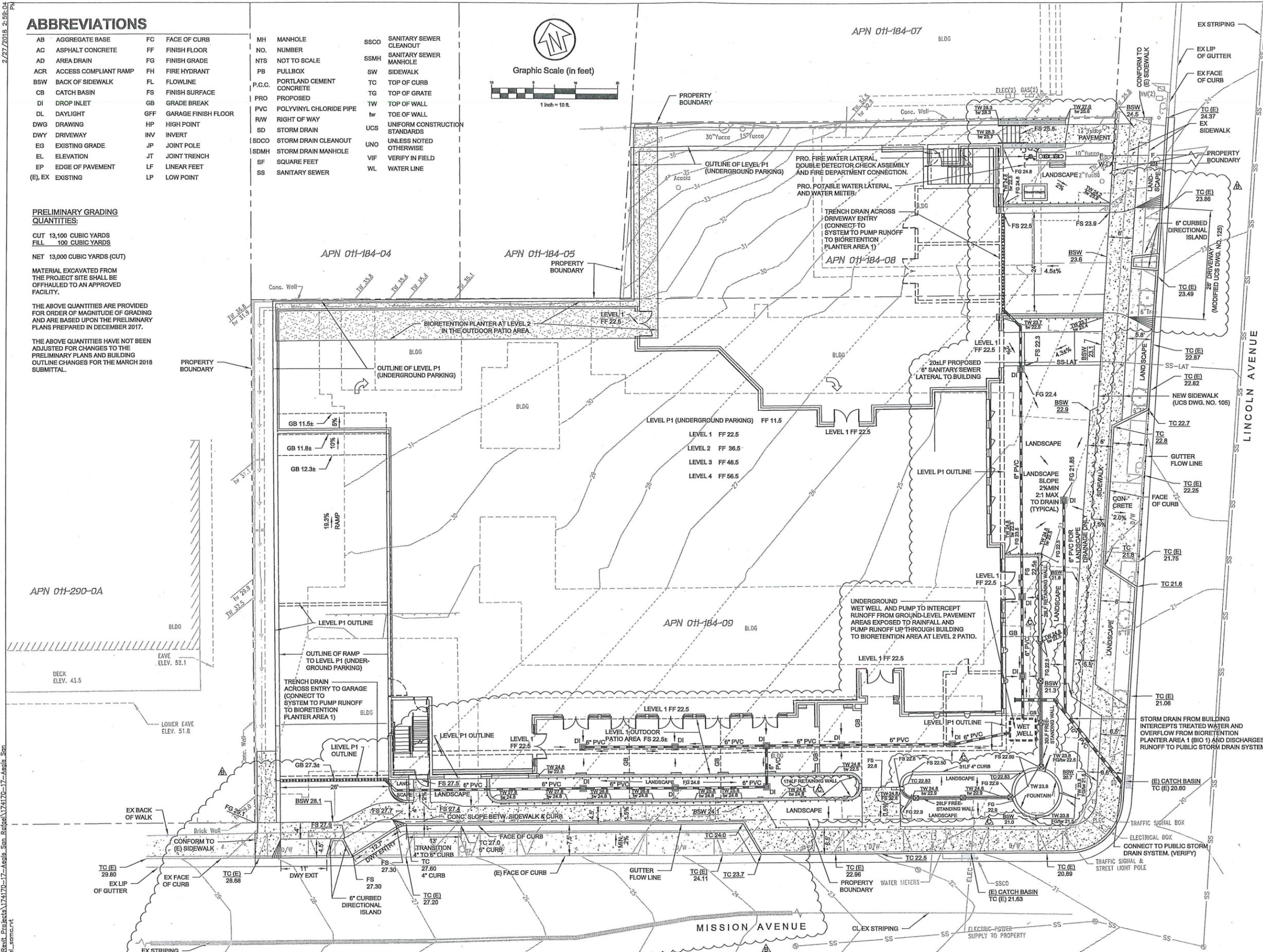
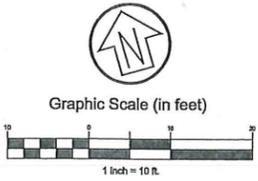
PRELIMINARY GRADING QUANTITIES:

CUT 13,100 CUBIC YARDS
 FILL 100 CUBIC YARDS
 NET 13,000 CUBIC YARDS (CUT)

MATERIAL EXCAVATED FROM THE PROJECT SITE SHALL BE OFFHAULED TO AN APPROVED FACILITY.

THE ABOVE QUANTITIES ARE PROVIDED FOR ORDER OF MAGNITUDE OF GRADING AND ARE BASED UPON THE PRELIMINARY PLANS PREPARED IN DECEMBER 2017.

THE ABOVE QUANTITIES HAVE NOT BEEN ADJUSTED FOR CHANGES TO THE PRELIMINARY PLANS AND BUILDING OUTLINE CHANGES FOR THE MARCH 2018 SUBMITTAL.



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| REVISION | DATE | REASON FOR ISSUE |
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| 1 | 4/20/18 | REVISE GARAGE ENTRY |
| 2 | 4/25/18 | RESPONSE TO COMMENTS |
| 3 | 5/15/18 | ADD SITE WALL INFORMATION |



PRELIMINARY

GRADING, DRAINAGE AND UTILITY PLAN

RESUBMITTAL SET

DATE 03.05.2018 PROJECT NUMBER 164890
 SHEET NUMBER

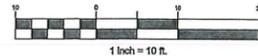
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2/27/2018 2:55:04 PM



Graphic Scale (in feet)



LEGEND

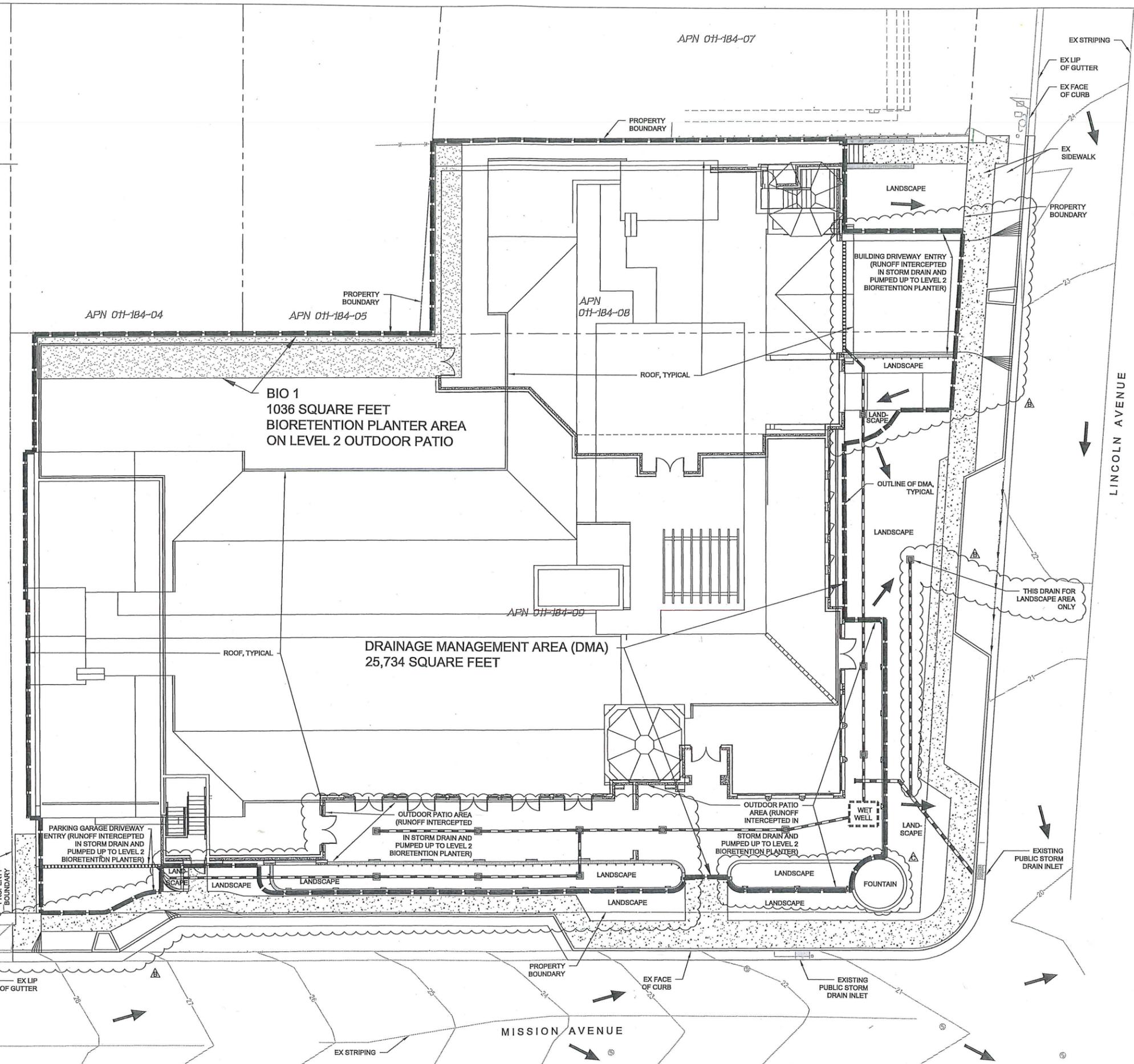
- DRAINAGE AREA DESIGNATION
- AREA IN SQUARE FEET
- OVERLAND FLOW DIRECTION
- DRAINAGE AREA BOUNDARY

NOTES:

1. AS THE PROJECT DESIGN PROGRESSES TO A LEVEL COMMENSURATE FOR PERMITTING AND CONSTRUCTION, THE PLACEMENT AND CONFIGURATION OF PROPOSED STORMWATER TREATMENT MEASURES SHOWN HEREON ARE SUBJECT TO REFINEMENT, RELOCATION AND REPLACEMENT BY ALTERNATIVE MEASURES.

2. AS THE PROJECT DESIGN PROGRESSES TO A LEVEL COMMENSURATE FOR PERMITTING AND CONSTRUCTION, REFINEMENT, RELOCATION AND REPLACEMENT OF THE TREATMENT MEASURES SHOWN HEREON WILL CONTINUE TO MEET THE REQUIREMENTS OF THE CITY OF SAN RAFAEL AND THE BASMAA POST-CONSTRUCTION MANUAL.

3. ALTERNATIVE MEASURES INCLUDE, BUT ARE NOT LIMITED TO, MANUFACTURED FILTRATION SYSTEMS IN UNDERGROUND VAULTS, SELF-RETAINING AREAS, PERMEABLE PAVEMENT AND ROOFTOP VEGETATED AREAS.



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| ▲ | 4/20/18 | REVISE GARAGE ENTRY |
| ▲ | 4/25/18 | RESPONSE TO COMMENTS |
| ▲ | 5/15/18 | ADD SITE WALL INFORMATION |



PRELIMINARY

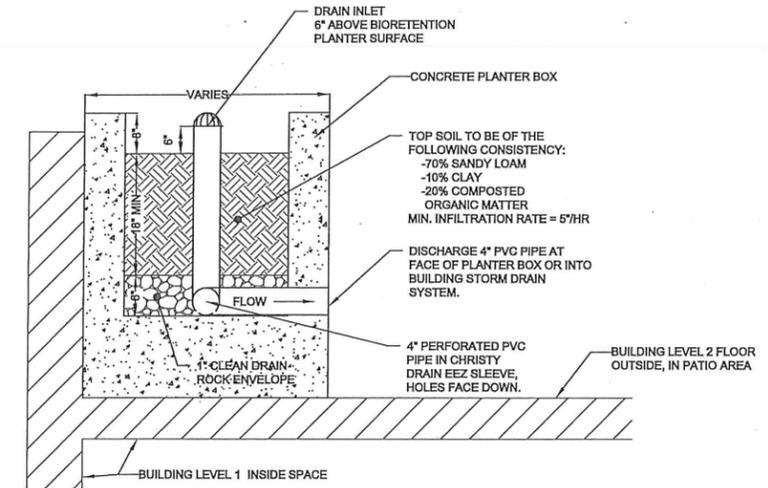
STORMWATER CONTROL PLAN

RESUBMITTAL SET

| | |
|--------------------|--------------------------|
| DATE 03.05.2018 | PROJECT NUMBER 164890 |
| SHEET NUMBER | |

C2.00

C:_Revit_Projects\174170-17-Aegis_San_Rafael\174170-17-Aegis_San_Rafael_ssm.ncr



2 BIORETENTION PLANTER DETAIL
SCALE: 1"=1'

BIORETENTION SIZING TABLE

| DMA | DMA AREA (SF) | POST-PROJECT SURFACE TYPE | DMA RUNOFF FACTOR | (DMA AREA) x (RUNOFF FACTOR) | FACILITY NAME | | |
|-------|---------------|---------------------------|-------------------|------------------------------|-----------------------------|---------------|-----------------------------|
| | | | | | BIORETENTION AREA 1 (BIO 1) | SIZING FACTOR | PROPOSED FACILITY AREA (SF) |
| DMA 1 | 21,746 | ROOF | 1.0 | 21,746 | 0.04 | 1,000 | 1,036 |
| | 3,183 | PAVEMENT | 1.0 | 3,183 | | | |
| | 805 | LANDSCAPE | 0.1 | 81 | | | |
| TOTAL | 25,734 | | | 25,010 | | | |

AND

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Environmental Planning
Land Planning
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800 MISSION AVENUE, SAN RAFAEL CA
94549

ASC SAN RAFAEL
LLC

| REVISION | DATE | REASON FOR ISSUE |
|----------|---------|--------------------------------------|
| A | 4/20/18 | ADJUST PAVEMENT AREA |
| A | 4/25/18 | RESPONSE TO COMMENTS |
| A | 5/15/18 | REVISED TABLE DUE TO ADDED LANDSCAPE |



PRELIMINARY

STORMWATER
CONTROL DETAIL
AND TABLES

RESUBMITTAL SET

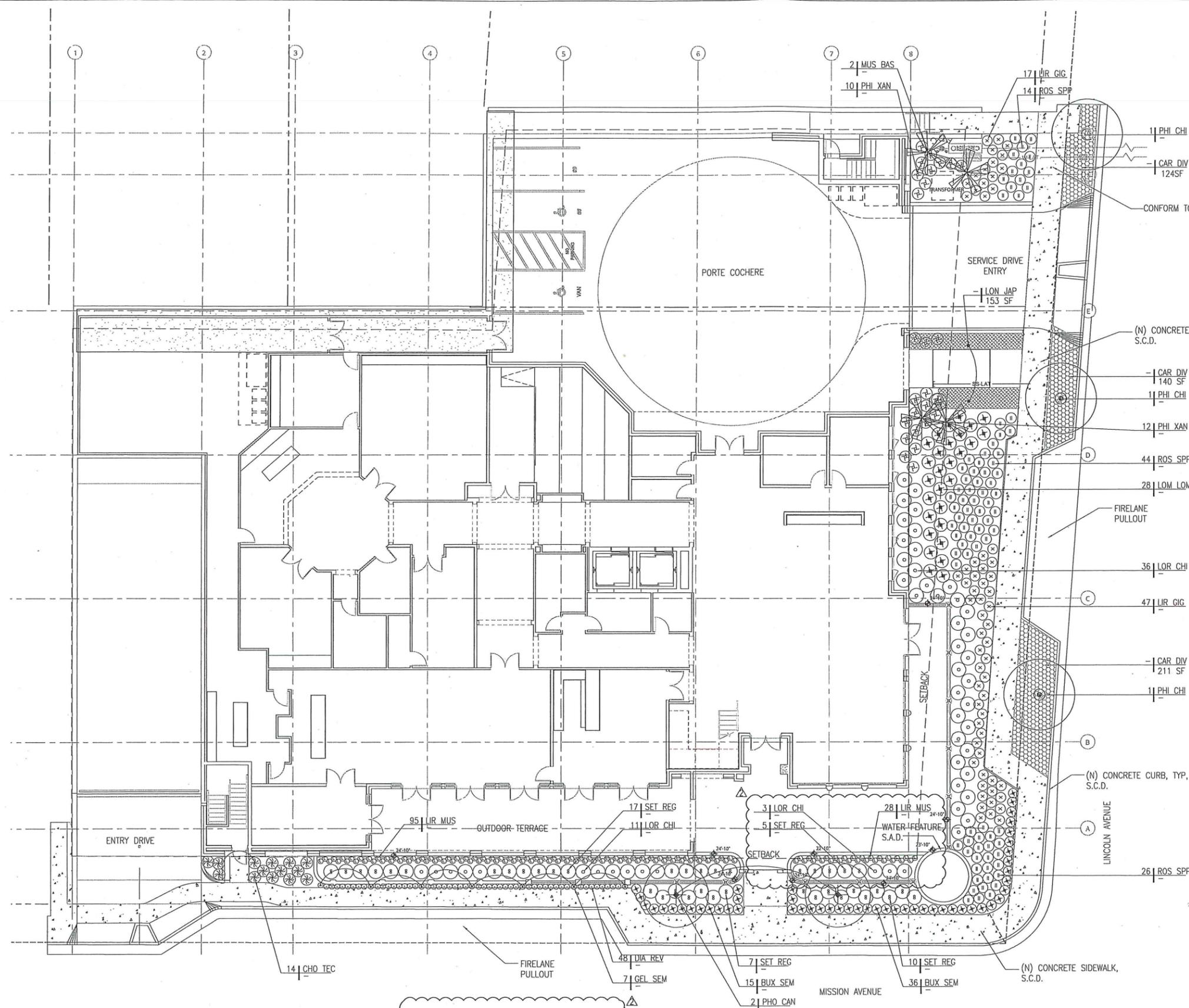
DATE
03.05.2018

PROJECT NUMBER
164890

SHEET NUMBER

C2.01

2/7/2018 2:59:04 PM



LINCOLN AVENUE LANDSCAPE:
 FRONT YARD SETBACK: 2,513SF
 LANDSCAPE AREA: 1,330SF
 LANDSCAPE PERCENTAGE PROVIDED: 53%
 LANDSCAPE PERCENTAGE PROVIDED: 50%

MISSION AVENUE LANDSCAPE:
 SIDE YARD SETBACK: 1,813SF
 LANDSCAPE AREA: 930SF
 LANDSCAPE PERCENTAGE PROVIDED: 51%
 LANDSCAPE PERCENTAGE PROVIDED: 50%

NOTE:
 1. SEE SHEET L2.0 FOR PLANTING SCHEDULE & PROJECT NOTES.
 2. SEE SHEET L2.1 FOR PLANTING DETAILS ASSOCIATED TO GROUND LEVEL PLANTING



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| ▲ | 4/25/2018 | RESPONSE TO COMMENTS |
| ▲ | 5/16/2018 | RESPONSE TO COMMENTS |

SHEET TITLE
PLANTING PLAN
 RESUBMITTAL SET

DATE
 03.05.2018
 PROJECT NUMBER
 164890

SHEET NUMBER
L1.1

PLANTING SCHEDULE

| ABBREV | BOTANICAL | COMMON NAME | SIZE | SPACING | MATURE SIZE/ PLANT TYPE | WUCOLS RATING |
|-----------------------------|------------------------------------|--------------------------------|---------|-----------|----------------------------|---------------|
| TREES | | | | | | |
| MUS BAS | MUSA BASJOO | JAPANESE BANANA | 25 GAL | 4' O.C. | 12' HERBACEOUS | MEDIUM |
| PHO CAN | PHOENIX CANARIENSIS | CANARY ISLAND DATE PALM | 36" BOX | 30' O.C. | 30'+ / EVERGREEN | MEDIUM |
| PIS CHI | PISTACIA CHINENSIS | CHINESE PISTACHE | 36" BOX | PER PLANS | 30' DECIDUOUS | LOW |
| SHRUBS & GRASSES | | | | | | |
| BUX SEM | BUXUS SEMPERVIRENS 'SUFFRUTICOSA' | DWARF BOXWOOD | 1 GAL | 1'-0" | 2' EVERGREEN | MEDIUM |
| CAR DIV | CAREX DIVULSA | BERKELEY SEDGE | 1 GAL | 1'-8" | 12" EVERGREEN | VERY LOW |
| CHO TEC | CHONDRPETALUM TECTORUM | SMALL CAPE RUSH | 1 GAL | 2'-0" | 2' / EVERGREEN | LOW |
| DIA REV | DIANELLA REVOLUTA 'LITTLE REV' | LITTLE REV FLAX LILY | 1 GAL | 1'-6" | 18" / EVERGREEN | LOW |
| LIR GIG | LIRIOPE GIGANTEA | GIANT LILY TURF | 1 GAL | 1'-6" | 18" / EVERGREEN | MEDIUM |
| LIR MUS | LIRIOPE MUSCARI | BLUE LILY TURF | 1 GAL | 1'-0" | 12" / EVERGREEN | MEDIUM |
| LOM LON | LOMANDRA LONGIFOLIA 'BREEZE' | DWARF MAT RUSH | 1 GAL | 2'-6" | 2' / EVERGREEN | LOW |
| LON JAP | LONICERA JAPONICA | JAPANESE HONEYSUCKLE | 1 GAL | 3'-0" | 2' / EVERGREEN | MEDIUM |
| LOR CHI | LOROPETALUM CHINENSE | FRINGE FLOWER | 5 GAL | 4'-6" | 3'-6" / EVERGREEN | LOW |
| PHI XAN | PHILODENDRON XANADU | PHILODENDRON | 1 GAL | 3'-0" | 2' / EVERGREEN | MEDIUM |
| ROS SPP | ROSA SPECIES | GROUNDCOVER CARPET ROSE 'PINK' | 1 GAL | 3'-0" | 18" TO 2' / SEMI-EVERGREEN | MEDIUM |
| STR REG | STRELITZIA REGINAE | BIRD OF PARADISE | 5 GAL | 4' | 4' TO 6' / EVERGREEN | MEDIUM |
| VINES | | | | | | |
| GEL SEM | GELSEMIUM SEMPERVIRENS 'MARGARITA' | HARDY CAROLINA JASMINE | 1 GAL | 4'-0" | 6'-8" TRAILING/EVERGREEN | MEDIUM |

PLANT CHARACTER IMAGERY

TREES



MUSA BASJOO



PHOENIX CANARIENSIS



PISTACIA CHINENSIS

SHRUBS



BUXUS SEMPERVIRENS 'SUFFRUTICOSA'



CAREX DIVULSA



CHONDRPETALUM TECTORUM



DIANELLA REVOLUTA 'LITTLE REV'



LIRIOPE GIGANTEA



LOMANDRA LONGIFOLIA 'BREEZE'



LONICERA JAPONICA



LOROPETALUM CHINENSE



PHILODENDRON XANADU



ROSA SPECIES



STRELITZIA REGINAE



LIRIOPE MUSCARI

VINES



GELSEMIUM SEMPERVIRENS 'MARGARITA'

PLANTING NOTES

- Plant list provided is for the convenience of the Contractor. In case of discrepancies, the plan shall govern.
- Unless otherwise noted, all groundcover and shrubs shall be spaced triangularly.
- All plants shall conform to standards set in the American Standards for Nursery Stock by the American Association of Nurserymen. All plants to be container stock, healthy, vigorous, pest and disease-free, and without fresh abrasions to the bark or excessive abrasions or disfigurements. All plants shall have well-developed branch systems and fibrous root systems which are not pot-bound. All plants shall be of the species, variety, size and condition as specified on the drawings.
- All plants brought onto the site shall be watered and protected from excessive wind, sun, physical damage, or theft until planting.
- All plants shall be placed in approximate locations on plan. Final adjustment shall be made by the Landscape Architect prior to planting. The Landscape Architect reserves the right to make deletions, additions, or substitutions to the planting plan in the field as necessary, with adjustments in the contract as appropriate.
- Areas with 1 gallon or smaller pots shall have a soil amendment. Rototill the amendment to a depth of 8". Take care not to rototill within the drip line of existing trees to remain; instead, perform the work by hand to protect roots. Amend with 'Walt Whitman' or equal amendment at a rate of 6 cu yds per 1000sq ft.
- Areas with 5 gallon or larger size containers shall be planted by plant pit. When pits have been backfilled approximately 2/3 their depth, water thoroughly with a hose before installing remainder of planting mix to top of pit. When backfilling is partially completed, extra care should be taken to see that planting mix is worked around root ball. Eliminate air pockets. Backfilling shall be completed by a tamping process. Do not allow root balls to dry out before planting. Do not allow soil or dense mulch to build up around stem of plant.
- A mound of earth shall be formed around each tree or shrub to produce a shallow basin to retain water, located on the backfill such that water will be forced throughout the root ball. Plants shall be watered in place during and after backfilling.
- Shrub and tree backfill mix shall be a ratio of 70% native soil to 30% amendment.
- All trees shall be staked. Stakes shall be lodgepole pine, copper naphthanate treated 10"x2" diameter with chamfered top. Stakes shall be driven 2' into firm ground and fastened securely with ties. All stakes to be set plumb.
- All 1 gallon or larger size trees and shrubs shall have BestPak or equal fertilizer packets set at the midpoint of the backfill, amount and size according to the manufacturer's recommendations. All smaller size containers shall be fertilized with Osmocote or equal at the manufacturer's recommended application rate.
- All areas shall be treated with pre-emergent herbicide by a Certified Applicator. Applications shall be to pre-dampened soil within three days of planting, after having been thoroughly watered in and before mulch has been applied. After this initial application, weed seed germination may be controlled by subsequent applications of pre-emergent on March 1st and September 15th.
- The Contractor is responsible for maintenance of the landscape until final approval.
- Trees and shrubs shall be under warranty for a period of 9 months, all other planting for 90 days from the date of final project approval by the Owner. Upon determination by Landscape Architect, replacement shall require plants of the same species, variety, and size and will be at the Contractor's expense.
- Per MMWD Ordinance 421, Contractor to cover all planting areas with 3" layer of bark mulch on all exposed soils (except turf areas) provide samples to Landscape Architect for final approval.
- Per MMWD Ordinance 421, Contractor to provide compost or natural fertilizer to all planting areas at a rate of 6 cubic yards per 1000 sq ft. with a min depth of 8". A min of 8" of non-mechanically compacted soil shall be available for water absorption & root growth in planted areas.

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| REVISION | DATE | REASON FOR ISSUE |
|----------|-----------|----------------------|
| 1 | 4/25/2018 | RESPONSE TO COMMENTS |
| 2 | 5/16/2018 | RESPONSE TO COMMENTS |

**SHEET TITLE
PLANTING
SCHEDULE**

RESUBMITTAL SET

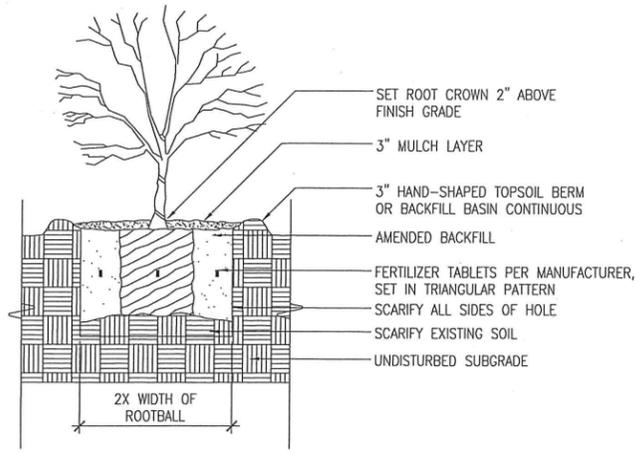
DATE 03.05.2018 PROJECT NUMBER 164890

SHEET NUMBER

L2.0

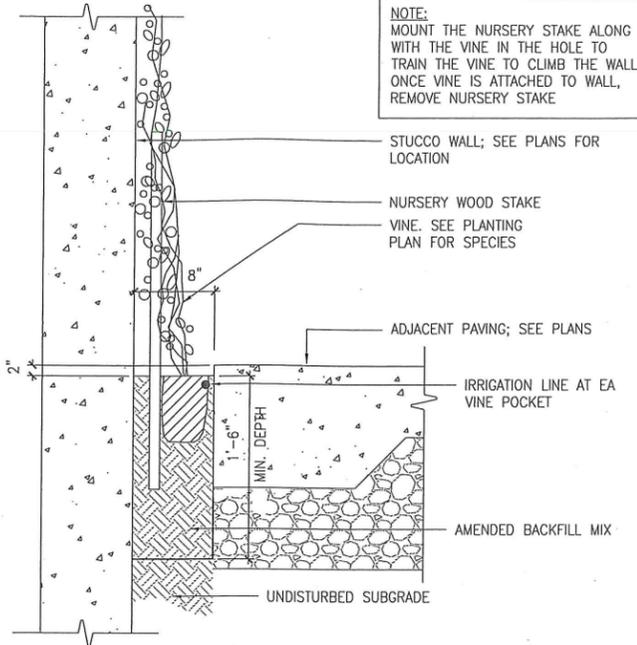
2/27/2018 2:59:04 PM

NOTES:
 1. REMOVE CONTAINER BEFORE INSTALLING; LOOSEN & SCARIFY THE ROOTBALL.
 2. HAND-COMPACT SOIL AROUND ROOTBALL.
 3. THOROUGHLY SOAK PLANT WITH A FINE MIST AFTER INSTALLATION.



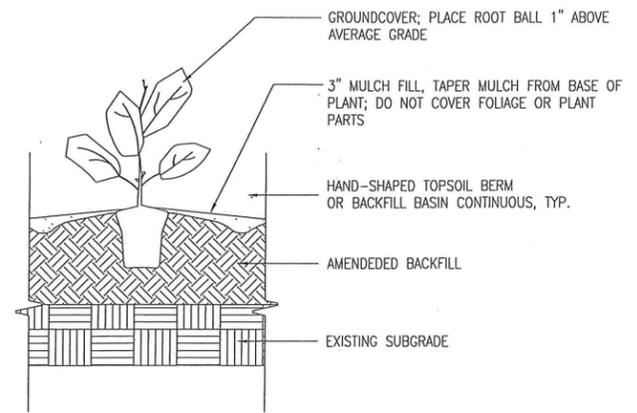
○ SHRUB PLANTING ON NATURAL GRADE
 SCALE: NTS

NOTE:
 MOUNT THE NURSERY STAKE ALONG WITH THE VINE IN THE HOLE TO TRAIN THE VINE TO CLIMB THE WALL. ONCE VINE IS ATTACHED TO WALL, REMOVE NURSERY STAKE

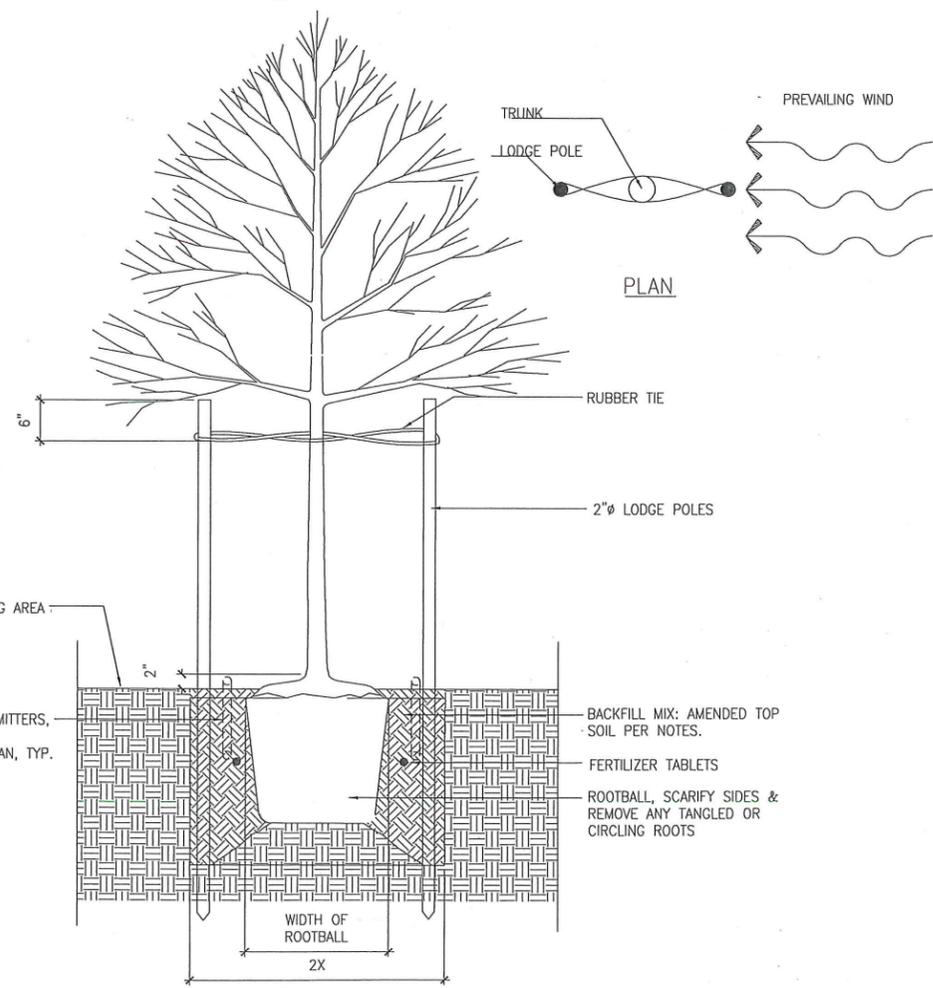


○ VINE POCKET @ WALL
 SCALE: 1/2"=1'-0"

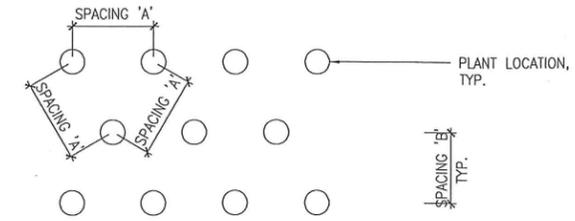
NOTE:
 1. REMOVE CONTAINER BEFORE INSTALLING; LOOSEN & SCARIFY THE ROOTBALL.
 2. COMPACT SOIL AROUND ROOT BALL.
 3. THOROUGHLY SOAK PLANT WITH A FINE MIST AFTER INSTALLATION UNTIL IRRIGATION IS INSTALLED.



○ GROUND COVER PLANTING
 SCALE: NTS



○ TREE PLANTING & STAKING
 SCALE: NTS



USE DIAGRAM FOR WHEN PLANTS ARE SPACED EQUAL DISTANCE FROM EACH OTHER AS IN ALL SAME GROUND COVER PLANTINGS AND SAME MASSED SHRUB PLANTINGS.

○ PLANT SPACING DIAGRAM
 SCALE: NOT TO SCALE

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SHEET TITLE
 PLANTING
 DETAILS

RESUBMITTAL SET

| DATE | PROJECT NUMBER |
|------------|----------------|
| 03.05.2018 | 164890 |

SHEET NUMBER
 L2.1

CA_Revit_Plotters\174170-17-Aegis_San_Rafael\174170-17-Aegis_San_Rafael_ssm.dwg



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PROJECT INFORMATION

GENERAL

ZONING: HR-1
MULTIFAMILY RESIDENTIAL
(HIGH DENSITY)
1,000 SF LAND PER DWELLING UNIT

MAX. BUILDING HEIGHT: 48'
PROPOSED BUILDING HEIGHT: 47'

MIN. USABLE OUTDOOR AREA: 100 SF
PROPOSED USABLE OUTDOOR AREA: 3,970 SF

AP NUMBERS: 11-184-09, -08

UNITS PROPOSED: 106

BEDS: 114

PROJECT DIRECTORY

GENERAL

APPLICANT

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415 118TH AVE SE
BELLEVUE, WA 98005
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BRYON ZIEGLER
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EMAIL: walter.braun@aegisliving.com
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ARCHITECT

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laurieg@ankrommoisan.com

DESIGN DESCRIPTION

PROPOSED OCCUPANCY: R2.1
MULTIFAMILY RESIDENTIAL
(HIGH DENSITY)

THE PROPOSED DESIGN IS AN 106 UNIT, FIVE STORY BUILDING WITH SUBTERRANEAN GARAGE. THE LOCATION IS AT THE CORNER OF MISSION AND LINCOLN IN SAN RAFAEL. IT IS WALKING DISTANCE TO DOWNTOWN, THE TRANSIT CENTER, AND FUTURE SMART RAIL STATION. THE FIRST AND SECOND FLOORS OF RESIDENTIAL LIVING, LOCATED ONE LEVEL ABOVE STREET, WILL HOUSE 54 UNITS DEDICATED TO MEMORY CARE RESIDENTS. THE UPPER TWO FLOORS WILL HOUSE 52 UNITS OF ASSISTED LIVING RESIDENTS. THE GROUND FLOOR PORT COCHERE WILL CONTAIN 2 ADA SPACES, 1 AEGIS VAN PARKING SPACE AND LOADING AREA. THERE ARE 2 STREET PULLOUTS PROPOSED FOR FIRE ACCESS AND LOADING, ONE AT MISSION AVE AND ONE AT LINCOLN AVE.

THE SUBTERRANEAN GARAGE WILL CONTAIN 32 SPACES TOTAL (INCLUDING 2 ADA SPACES). THE PARKING TOTAL FOR THE COMPLEX WILL INCLUDE 40 DEDICATED SPACES (INCLUDING THE 4 ADA SPACES). ENTRANCE AND EXIT TO SUBTERRANEAN GARAGE WILL BE LOCATED OFF MISSION. ENTRANCE AND EXIT TO GROUND LEVEL GARAGE WILL BE LOCATED OFF LINCOLN.

PROJECT CONTAINS A MIX OF 1 BEDROOM & STUDIO UNITS. FIRST AND SECOND LEVELS OF RESIDENTIAL (ONE LEVEL UP FROM STREET), WILL BE DESIGNATED FOR MEMORY CARE USE. THE UNITS ON THIS FLOOR WILL HAVE NON OPERATIONAL DOORS TO 'FALSE BALCONYS'. THERE WILL BE ONE CONTROLLED ACCESS POINT FOR GARDENING PURPOSES ON THIS FLOOR. THE FORTH AND FIFTH RESIDENTIAL FLOORS (UPPER TWO) WILL BE DESIGNATED FOR ASSISTED LIVING AND WILL HAVE EXTERIOR BALCONY ACCESS FROM DESIGNATED UNITS ON THE MISSION AND LINCOLN SIDES.

THE ARCHITECTURAL GOALS OF THE GROUND LEVEL ARE TO CREATE A VERY AESTHETICALLY RICH, INVITING ENVIRONMENT WHILE SIMULTANEOUSLY RELATING TO THE EXISTING HISTORIC ARCHITECTURE OF SAN RAFAEL FROM THE STREET, A DEDICATED ENTRANCE FACADE, COUPLED WITH MULTI LEVEL, STAGGERED ROOFING ON EXTERIOR BALCONIES AND A FOCAL TOWER, WITH ARCHITECTURALLY SEPARATED BUILDING SECTIONS PROVIDES AN INTERESTING VIEW CONTAINING DESIRED CURB APPEAL. VISUAL DEPTH IS ACHIEVED THROUGH THE BALCONYS, THE ROOF SEPARATIONS, AND THE BUILDING SEPARATIONS FROM VERTICAL MOVEMENT POINTS, SHADOWS AND DEPTH PREVENT MONOTONOUS WALLS AND BORING PLANES, OR BORING OVERALL MASSING IN GENERAL. THE SITE WILL BE LANDSCAPED TO PROVIDE SCREENING AND NATURAL APPEAL.

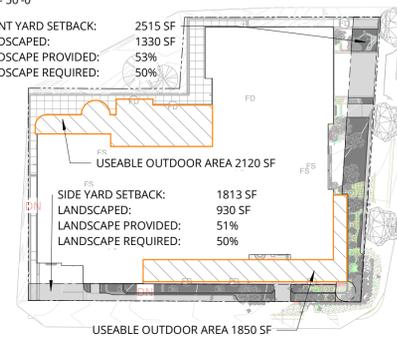
SETBACKS

THE SETBACKS OF THE ORIGINAL APPROVED DESIGN ARE MAINTAINED TO INCLUDE 5' SETBACKS ON THE REAR AND SIDES OF THE FOOTPRINT, AS WELL AS A 10' SETBACK FROM MISSION AND A 15' SETBACK FROM LINCOLN. PROPOSED BUILDING FACADES/ARTICULATIONS EMULATE APPROVED DESIGN.

LANDSCAPE DIAGRAM

1" = 50'-0"

FRONT YARD SETBACK: 2515 SF
LANDSCAPED: 1330 SF
LANDSCAPE PROVIDED: 53%
LANDSCAPE REQUIRED: 50%

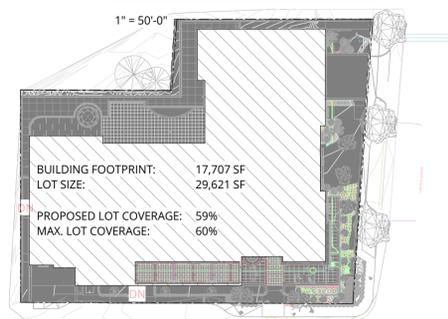


SHEET INDEX

| SHEET NUMBER | SHEET NAME |
|--------------|--|
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| 2.1 | LEVEL P1 FLOOR PLAN |
| 3 | MAIN LEVEL FLOOR PLAN |
| 4.1 | SECOND FLOOR - RESIDENTIAL PLAN |
| 4.2 | THIRD FLOOR PLAN |
| 5.1 | FOURTH FLOOR PLAN - FORMERLY L3 |
| 6.1 | FIFTH FLOOR PLAN - FORMERLY L4 |
| 7.1 | ROOF PLAN |
| 8.1 | EXTERIOR ELEVATIONS |
| 8.2 | EXTERIOR ELEVATIONS - DESIGN EVOLUTION |
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| 10 | SECTIONS |
| 11 | DETAILS |
| 12 | MAIN LEVEL - PLANTING PLAN |
| 13 | SECOND FLOOR LANDSCAPE PLAN |
| 15 | PLANT MATERIAL SCHEDULE |
| 16 | PLANT MATERIAL IMAGERY |
| 17 | SITE PLAN - LIGHTING |
| 18 | SECOND FLOOR PLAN - LIGHTING PLAN |
| 19 | OVERALL ROOF - LIGHTING PLAN |

LOT COVERAGE DIAGRAM

1" = 50'-0"



| UNIT SCHEDULE | | |
|---------------|-------|------------|
| UNIT TYPE | COUNT | AREA TOTAL |
| LEVEL 5 | | |
| AL.1 | 3 | 2004 |
| AL.S | 24 | 8747 |
| | 27 | 10751 |
| LEVEL 4 | | |
| AL.1 | 2 | 1388 |
| AL.S | 25 | 9652 |
| | 27 | 11040 |
| LEVEL 3 | | |
| LN.S | 26 | 8931 |
| | 26 | 8931 |
| LEVEL 2 | | |
| LN.S | 26 | 8969 |
| | 26 | 8969 |
| Grand total | 106 | 39691 |

VICINITY MAP



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THESE DOCUMENTS ARE INTENDED ONLY TO ILLUSTRATE GENERAL DESIGN ELEMENTS.

DEVIATIONS MAY EXIST BETWEEN THESE DOCUMENTS AND DOCUMENTS THAT HAVE BEEN REVIEWED AND APPROVED BY THE CITY OF SAN RAFAEL PLANNING AUTHORITIES.

TITLE SHEET

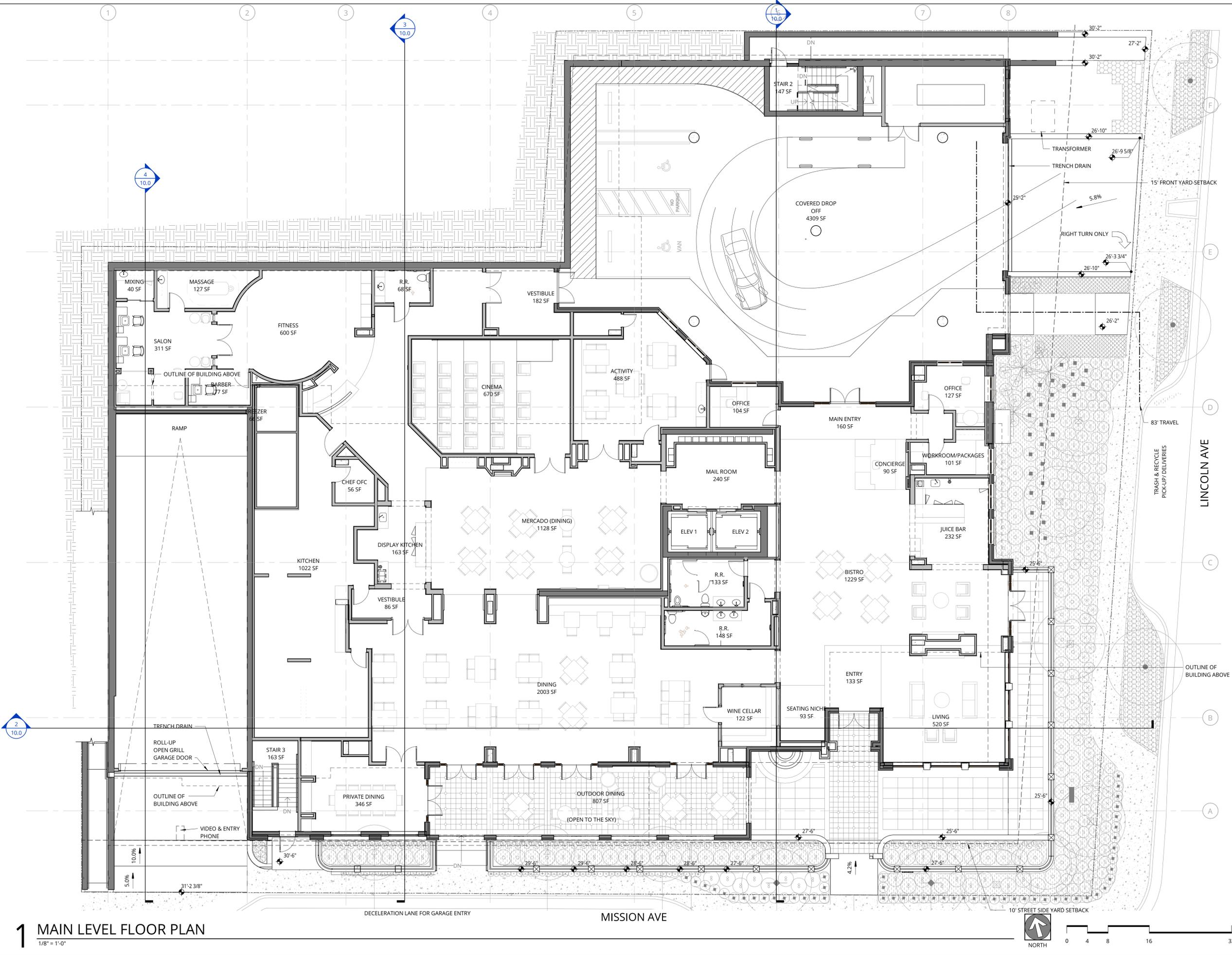
PLANNING

DATE: MAR 3, 2021 PROJECT NUMBER: 174170

SHEET NUMBER

3/8/2021 11:26:05 AM

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1 MAIN LEVEL FLOOR PLAN
1/8" = 1'-0"



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MAIN LEVEL FLOOR PLAN

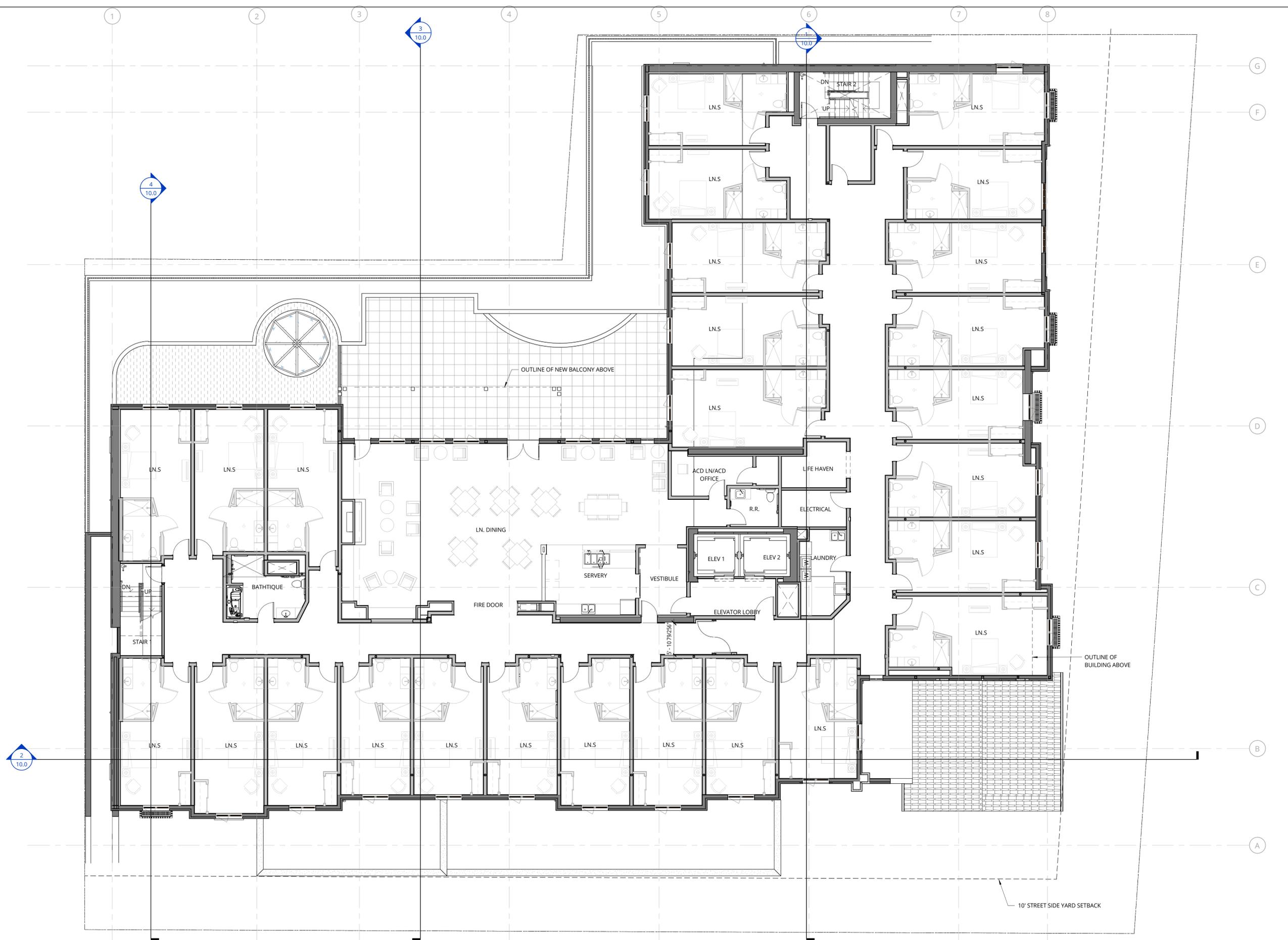
PLANNING

DATE: MAR 3, 2021 PROJECT NUMBER: 174170

SHEET NUMBER: **3.1**

3/8/2021 11:24:10 AM

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1 SECOND FLOOR - RESIDENTIAL PLAN
1/8" = 1'-0"



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| | | |
| | | |

SECOND FLOOR - RESIDENTIAL PLAN

PLANNING

| | |
|---------------------|--------------------------|
| DATE MAR 3, 2021 | PROJECT NUMBER 174170 |
|---------------------|--------------------------|

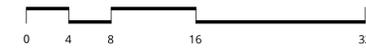
SHEET NUMBER
4.1

3/8/2021 11:26:16 AM

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1 L3 FLOOR PLAN
1/8" = 1'-0"



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L3 FLOOR PLAN

PLANNING

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| DATE MAR 3, 2021 | PROJECT NUMBER 174170 |
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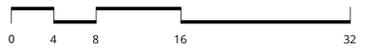
SHEET NUMBER
4.2

3/8/2021 11:26:21 AM

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1 L4 FLOOR PLAN
1/8" = 1'-0"



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L4 FLOOR PLAN

PLANNING

DATE: MAR 3, 2021 PROJECT NUMBER: 174170

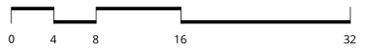
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1 L5 FLOOR PLAN
1/8" = 1'-0"



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L5 FLOOR PLAN

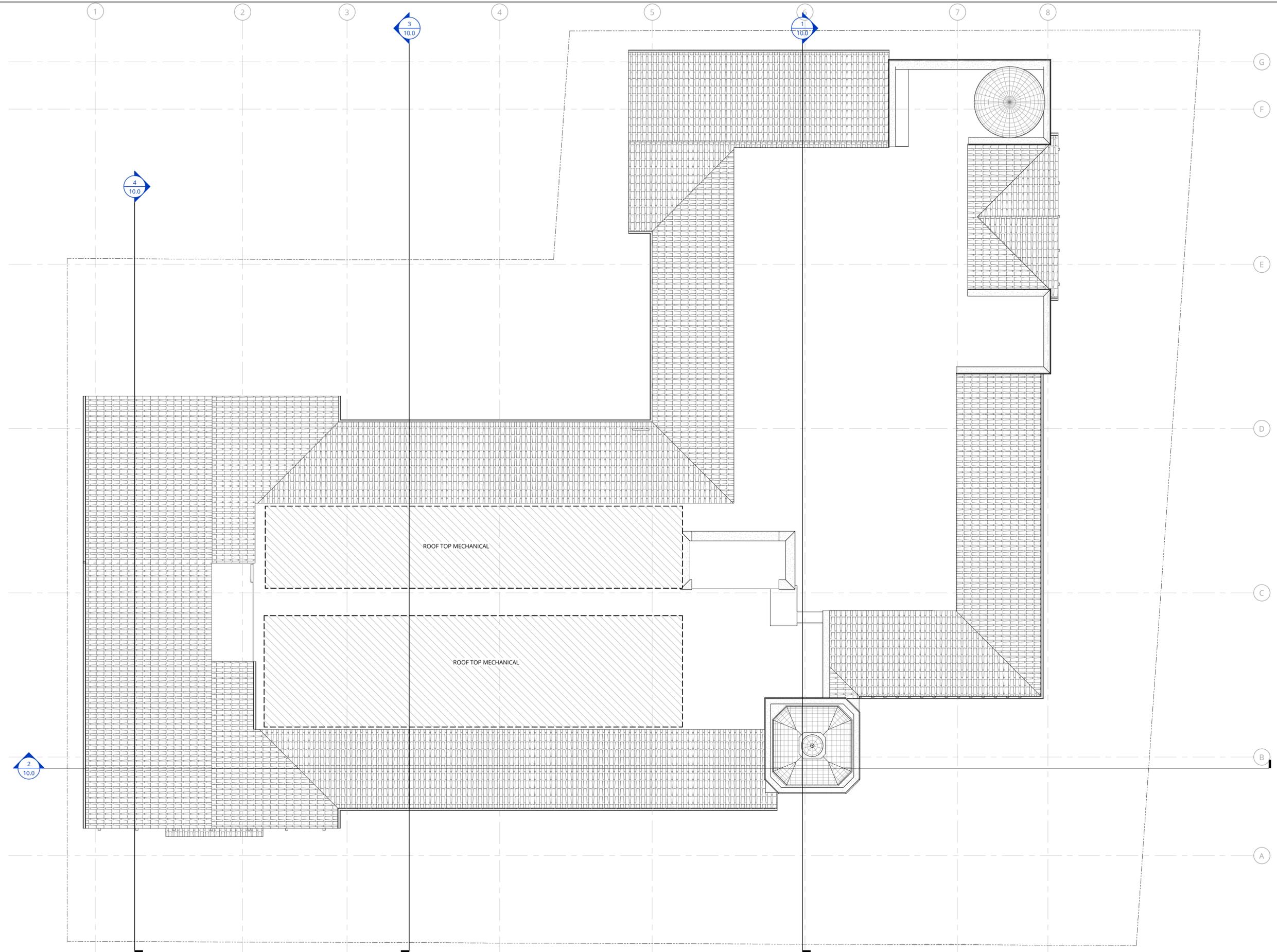
PLANNING

DATE: MAR 3, 2021 PROJECT NUMBER: 174170

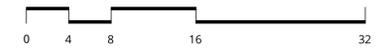
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1 ROOF PLAN
1/8" = 1'-0"



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ROOF PLAN

PLANNING

DATE: MAR 3, 2021 PROJECT NUMBER: 174170

SHEET NUMBER: 7.1

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EXTERIOR ELEVATIONS

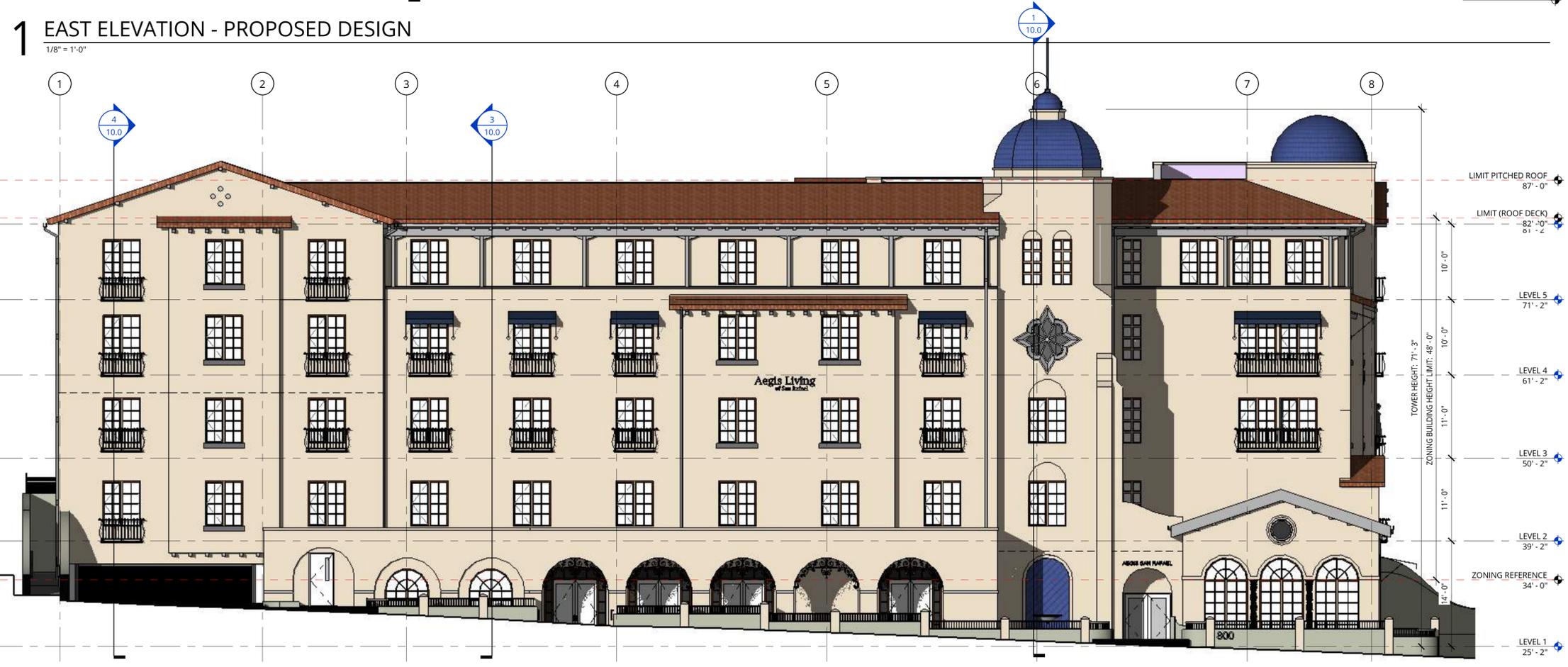
PLANNING

DATE: MAR 3, 2021 PROJECT NUMBER: 174170

SHEET NUMBER: 8.1



1 EAST ELEVATION - PROPOSED DESIGN
1/8" = 1'-0"

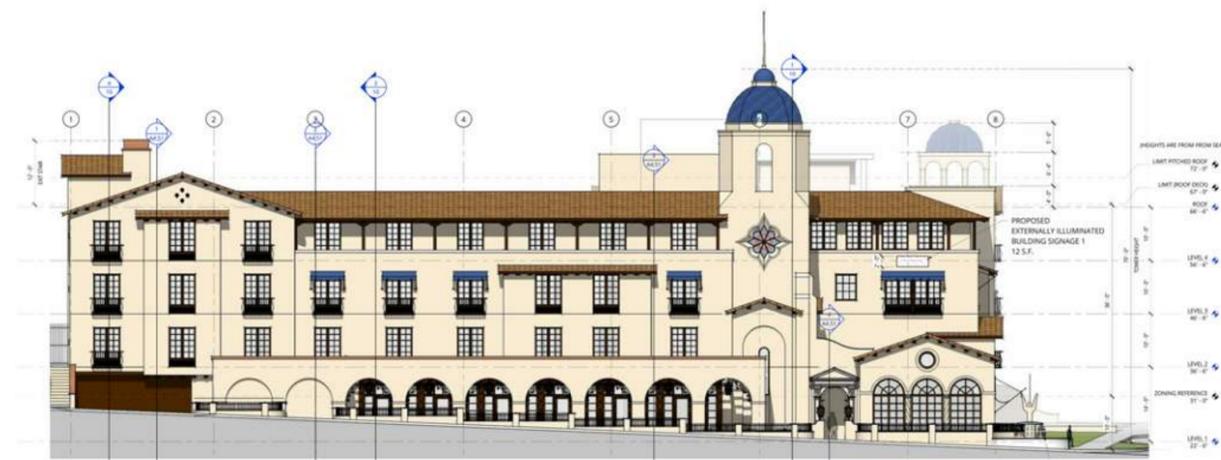


2 SOUTH ELEVATION - PROPOSED DESIGN
1/8" = 1'-0"

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1 EAST ELEVATION - APPROVED BY DRB IN 2019
1/16"=1'-0"



SOUTH ELEVATION - APPROVED BY DRB IN 2019
1/16"=1'-0"



2 EAST ELEVATION - BUILDING PERMITTED IN 2020
1/16"=1'-0"



SOUTH ELEVATION - BUILDING PERMITTED IN 2020
1/16"=1'-0"



3 EAST ELEVATION - PROPOSED DRB DESIGN
1/16"=1'-0"



SOUTH ELEVATION - PROPOSED DRB DESIGN
1/16"=1'-0"

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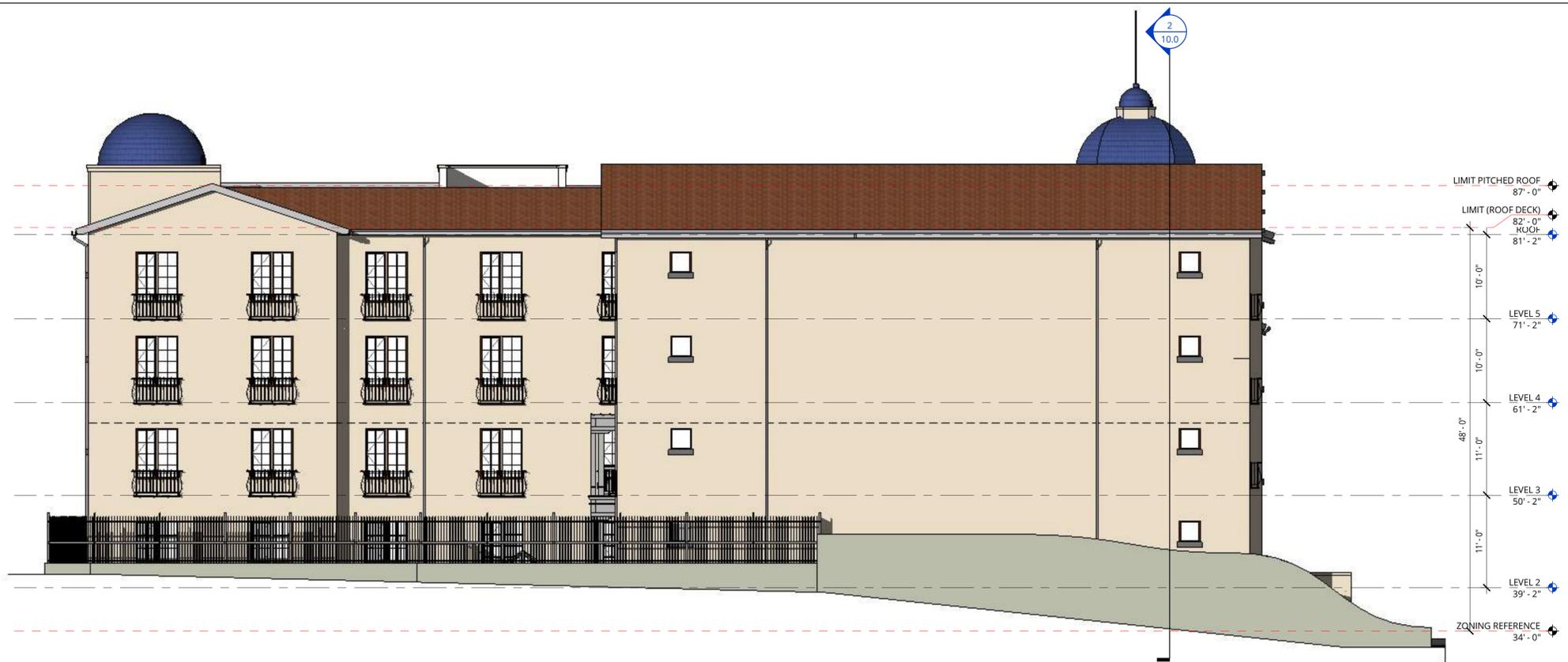
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EXTERIOR ELEVATIONS - DESIGN EVOLUTION PLANNING

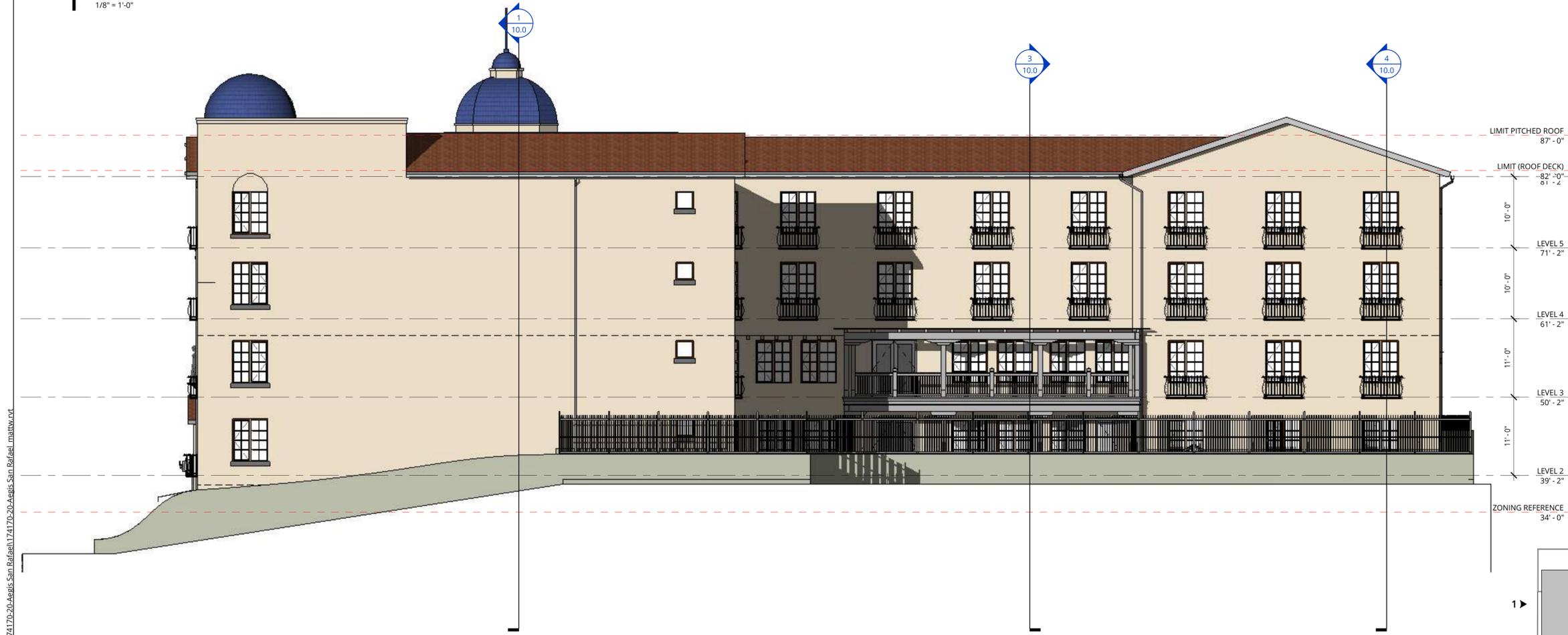
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| DATE MAR 3, 2021 | PROJECT NUMBER 174170 |
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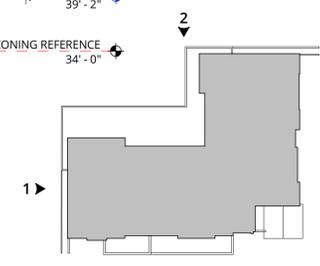
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1 WEST ELEVATION - PROPOSED
1/8" = 1'-0"



2 NORTH ELEVATION - PROPOSED
1/8" = 1'-0"



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EXTERIOR ELEVATIONS

PLANNING

| | |
|---------------------|--------------------------|
| DATE MAR 3, 2021 | PROJECT NUMBER 174170 |
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1 WEST ELEVATION - APPROVED BY DRB IN 2019

1/16"=1'-0"



4 NORTH ELEVATION - APPROVED BY DRB IN 2019

1/16"=1'-0"



2 WEST ELEVATION - PERMITTED IN 2020

1/16"=1'-0"



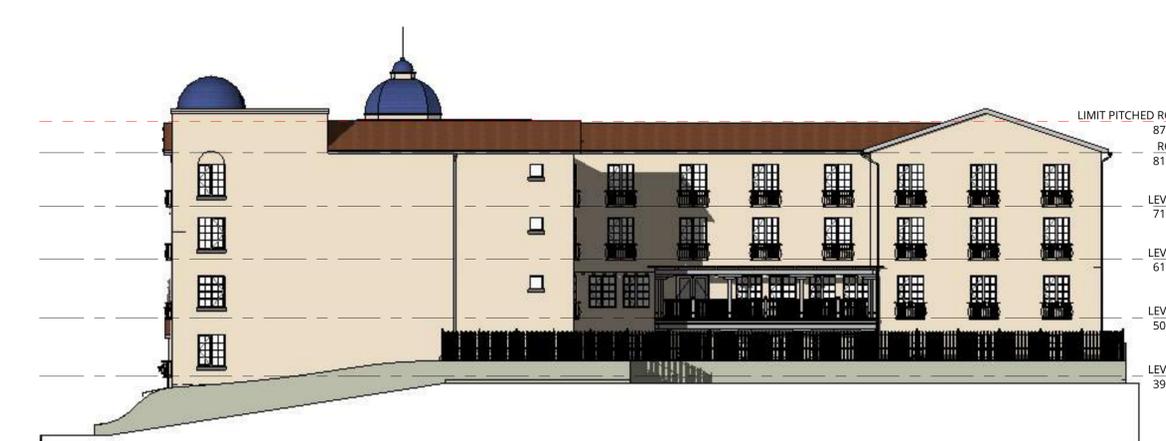
5 NORTH ELEVATION - PERMITTED IN 2020

1/16"=1'-0"



3 WEST ELEVATION - PROPOSED DRB DESIGN

1/16"=1'-0"



6 NORTH ELEVATION - PROPOSED DRB DESIGN

1/16"=1'-0"

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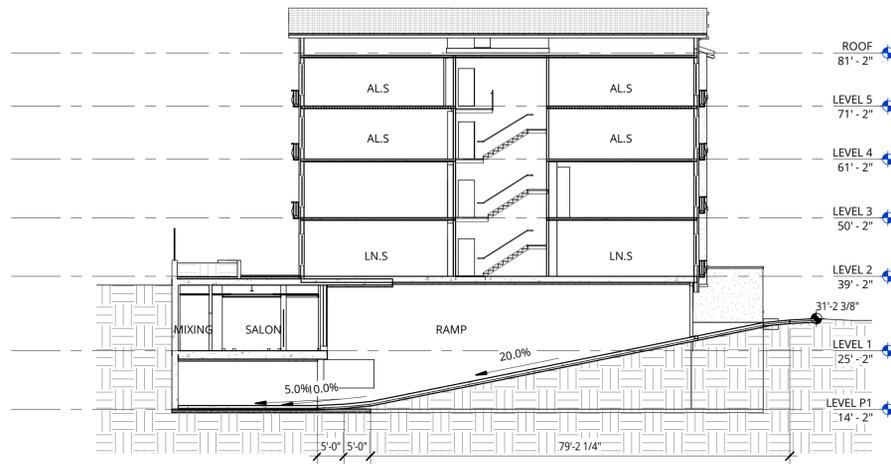
**EXTERIOR
ELEVATIONS -
DESIGN EVOLUTION
PLANNING**

DATE | PROJECT NUMBER
MAR 3, 2021 | 174170

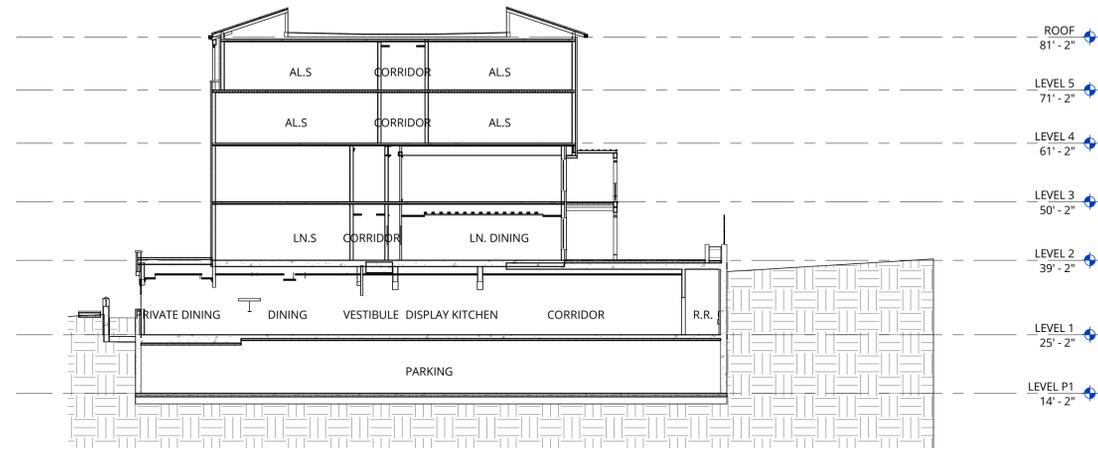
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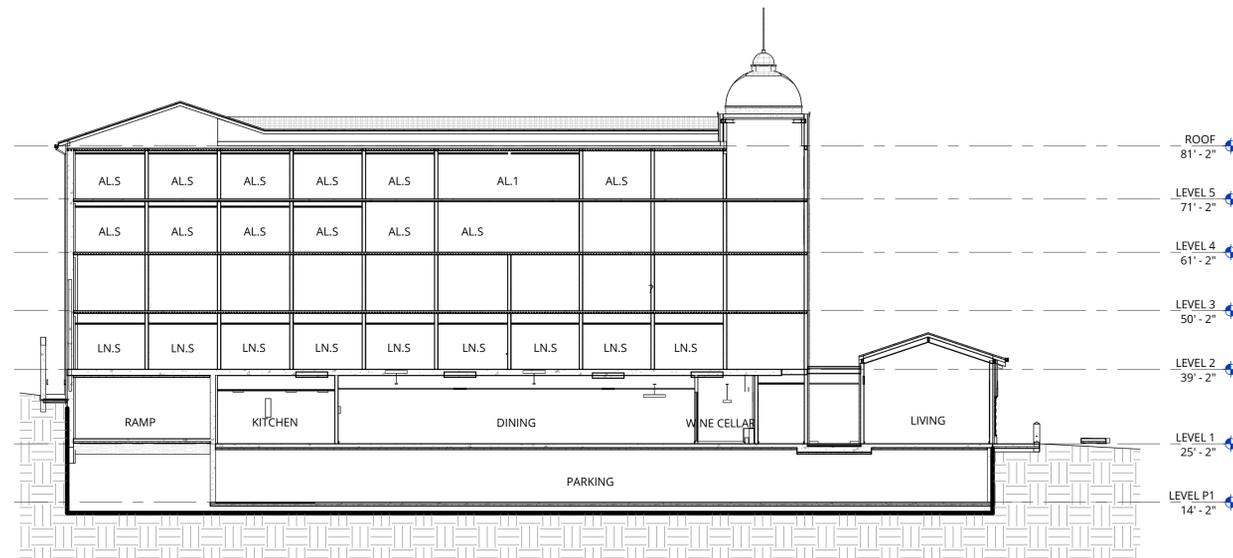
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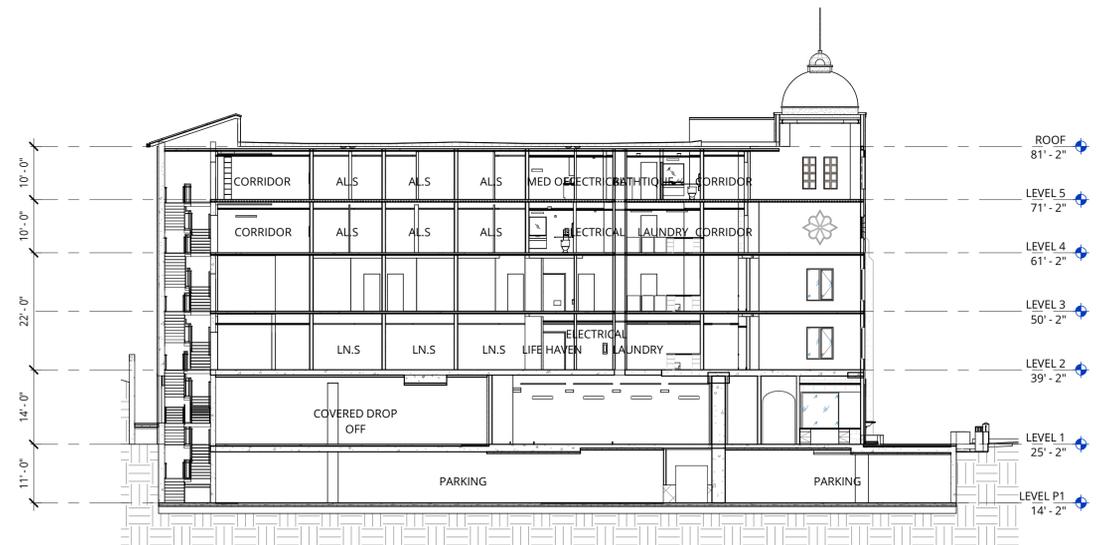
4 BUILDING SECTION AT PARKING RAMP
1/16" = 1'-0"



3 BUILDING SECTION 3
1/16" = 1'-0"



2 BUILDING SECTION 2
1/16" = 1'-0"



1 BUILDING SECTION 1
1/16" = 1'-0"

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SECTIONS

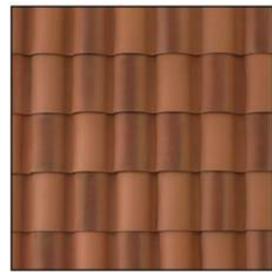
PLANNING

DATE
MAR 3, 2021

PROJECT NUMBER
174170

SHEET NUMBER

10.0



1. TILE ROOF



2. BLUE ROOF TILE



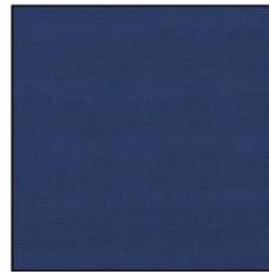
3. TIMBER DETAILING



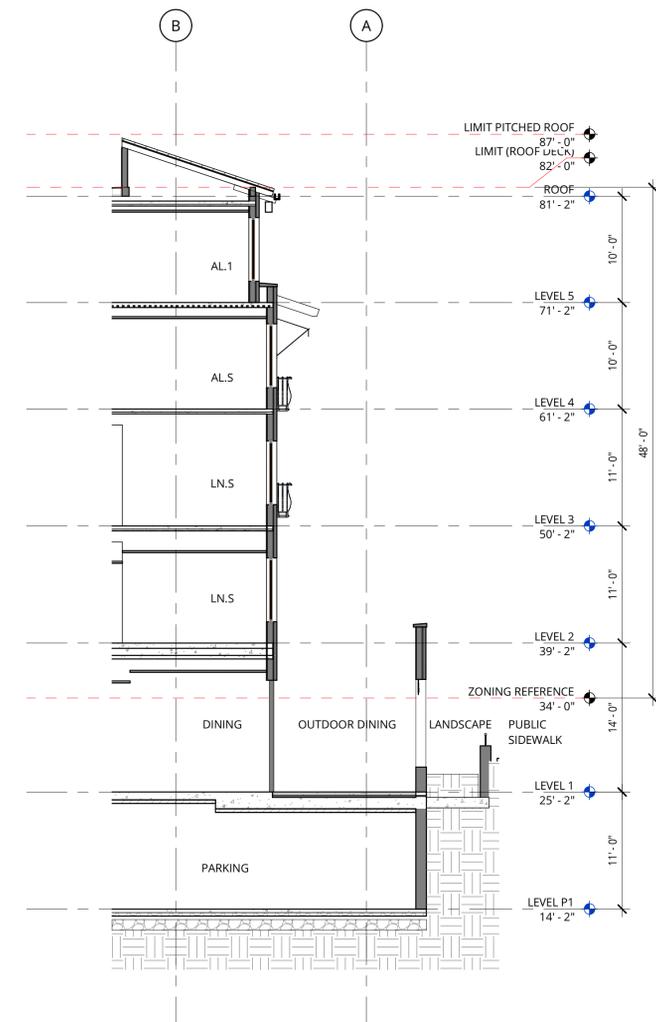
4. WROUGHT IRON



5. STUCCO



6. FABRIC AWNINGS



1 WALL SECTION
1/8" = 1'-0"

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DETAILS

PLANNING

DATE: MAR 3, 2021 PROJECT NUMBER: 174170

SHEET NUMBER

11.0

PLANT MATERIAL SCHEDULE

| ABBREV | BOTANICAL NAME | COMMON NAME | SIZE | SPACING | MATURE SIZE/ PLANT TYPE | WUCOLS RATING |
|---|---------------------------------------|--------------------------------|---------|-----------|----------------------------|---------------|
| TREES | | | | | | |
| ACE APO | ACER SACCHARUM 'APOLLO' | APOLLO MAPLE | 36" BOX | PER PLANS | 30'/ DECIDUOUS | LOW |
| MUS BAS | MUSA BASJOO | JAPANESE BANANA | 24" BOX | 4' O.C. | 12'/ HERBACEOUS | MEDIUM |
| OLE EUR | OLEA EUROPAEA 'SWAN HILL' | FRUITLESS OLIVE - TREE FORM | 36" BOX | PER PLANS | 25'+ / EVERGREEN | VERY LOW |
| PHO DAC | PHOENIX DACTYLIFERA | DATE PALM | 12' BTH | 30' O.C. | 30'+ / EVERGREEN | LOW |
| PIS CHI | PISTACIA CHINENSIS | CHINESE PISTACHE | 36" BOX | PER PLANS | 30'/ DECIDUOUS | LOW |
| SHRUBS, GROUNDCOVERS & VINES | | | | | | |
| BUX GRE | BUXUS M. VAR JAPONICA 'GREEN BEAUTY' | DWARF BOXWOOD | 5 GAL | 1'-0" | 2'/ EVERGREEN | LOW |
| CAR DIV | CAREX DIVULSA | BERKELEY SEDGE | 1 GAL | 1'-8" | 12" / EVERGREEN | VERY LOW |
| DIA REV | DIANELLA REVOLUTA 'LITTLE REV' | LITTLE REV FLAX LILY | 1 GAL | 1'-6" | 18" / EVERGREEN | LOW |
| GEL SEM | GELSEMIUM SEPERVIRENS 'MARGARITA' | CAROLINA JESSIMINE | 1 GAL | PER PLANS | 12" + / EVERGREEN | LOW |
| GER MAC | GERANIUM MACRORRHIZUM | BIG ROOT GERANIUM | 1 GAL | 1'-6" | 8" / SEMI-EVERGREEN | MEDIUM |
| LAM WHI | LAMIUM MACULATUM 'WHITE NANCY' | WHITE NANCY DEADNETTLE | 1 GAL | 1'-6" | 6" / SEMI-EVERGREEN | MEDIUM |
| LIR MUS | LIRIOPE MUSCARI | BLUE LILY TURF | 1 GAL | 1'-0" | 12" / EVERGREEN | MEDIUM |
| LOM BRE | LOMANDRA LONGIFOLIA 'BREEZE' | DWARF MAT RUSH | 1 GAL | 2'-6" | 2' / EVERGREEN | LOW |
| LOM PLA | LOMANDRA LONGIFOLIA 'PLATINUM BEAUTY' | VARIEGATED DWARF MAT RUSH | 1 GAL | 2'-6" | 2' / EVERGREEN | LOW |
| LON JAP | LONICERA JAPONICA | JAPANESE HONEYSUCKLE | 1 GAL | 3'-0" | 2' / EVERGREEN | MEDIUM |
| LOR CHI | LOROPETALUM CHINENSE | FRINGE FLOWER | 5 GAL | 4'-6" | 3'-6" / EVERGREEN | LOW |
| PHI XAN | PHILODENDRON XANADU | PHILODENDRON | 5 GAL | 3'-0" | 2' / EVERGREEN | MEDIUM |
| RHA CAL | RHAMNUS CALIFORNICA | COFFEEBERRY | 5 GAL | PER PLANS | 6'-8" / EVERGREEN | LOW |
| ROS SPP | ROSA SPECIES CARPET ROSE | GROUNDCOVER CARPET ROSE 'PINK' | 1 GAL | 3'-0" | 18" TO 2' / SEMI-EVERGREEN | LOW |
| STR REG | STRELITZIA REGINAE | BIRD OF PARADISE | 5 GAL | 4' | 4' TO 6' / EVEGREEN | LOW |
| BIOFILTRATION PLANTS | | | | | | |
| ACE CIR | ACER CIRCINATUM | VINE MAPLE | 15 GAL | PER PLANS | 10'+ / DECIDUOUS | LOW |
| ACH MIL | ACHILLEA MILLEFOLIUM | COMMON YARROW | 1 GAL | 2'-0" | 1'-6" / PERENNIAL | LOW |
| CAR DIV | CAREX DIVULSA | BERKELEY SEDGE | 1 GAL | 1'-6" | 12" / EVERGREEN | LOW |
| CHO TEC | CHONDROPETALUM TECTORUM | SMALL CAPE RUSH | 1 GAL | 2'-0" | 2' / EVERGREEN | LOW |
| IRI DOU | IRIS DOUGLASIANA | DOUGLAS IRIS | 1 GAL | 2'-0" | 2' / EVERGREEN | LOW |
| LOB CAR | LOBELIA CARDINALIS | CARDINAL FLOWER | 1 GAL | 2'-0" | 3' / PERENNIAL | LOW |
| RHA CAL | RHAMNUS CALIFORNICA | COFFEEBERRY | 5 GAL | PER PLANS | 6'-8" / EVERGREEN | LOW |

NOTE: PLANTER MATERIAL IN THE LEVEL 2 INDIVIDUAL PLANTER POTS WILL BE SEASONAL AND CONSIST MAINLY OF FLOWERING PLANTS. THIS PLANTING AREA HAS BEEN ADDED TO THE IRRIGATION AND IS PART OF THE WATER USE CALCS.

PLANT MATERIAL IMAGERY TREES



ACER SACCHARUM 'APOLLO' MUSA BASJOO OLEA EUROPAEA 'SWAN HILL' PHOENIX DACTYLIFERA PISTACIA CHINENSIS (Street Trees)

SHRUBS, GROUNDCOVERS & VINES



BUXUS M. VAR JAPONICA 'GREEN BEAUTY' CAREX DIVULSA DIANELLA REVOLUTA 'LITTLE REV' GELSEMIUM SEMPERVIRENS 'MARGARITA' GERANIUM MACRORRHIZUM LAMIUM MACULATUM 'WHITE NANCY'



LIRIOPE MUSCARI LOMANDRA LONGIFOLIA 'BREEZE' LOMANDRA LONGIFOLIA 'PLATINUM BEAUTY' LONICERA JAPONICA LOROPETALUM CHINENSE



PHILODENDRON XANADU RHAMNUS CALIFORNICA ROSA SPECIES STRELITZIA REGINAE

BIOFILTRATION PLANTS



ACER CIRCINATUM ACHILLEA MILLEFOLIUM CAREX DIVULSA CHONDROPETALUM TECTORUM IRIS DOUGLASIANA



LOBELIA CARDINALIS RHAMNUS CALIFORNICA



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PLANT MATERIAL SCHEDULE & IMAGERY

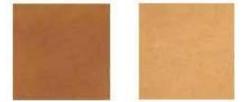
PLANNING

DATE: MAR 3, 2021 PROJECT NUMBER: 174170

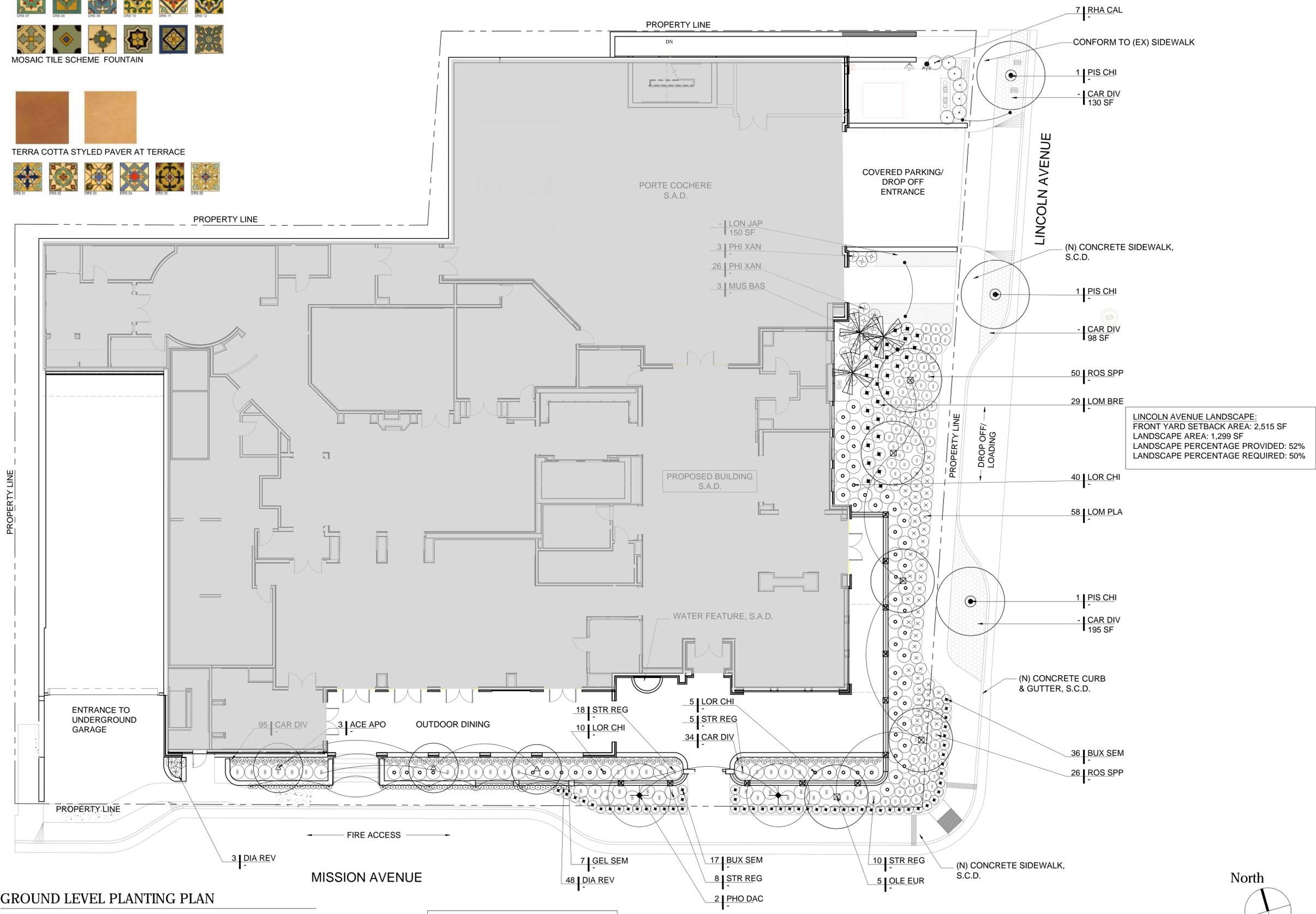
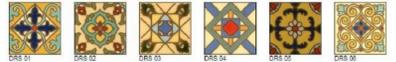
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MOSAIC TILE SCHEME FOUNTAIN



TERRA COTTA STYLED PAVER AT TERRACE

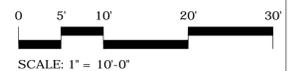


01 GROUND LEVEL PLANTING PLAN

MISSION AVENUE LANDSCAPE:
SIDE YARD SETBACK AREA: 1,813 SF
LANDSCAPE AREA: 910 SF
LANDSCAPE PERCENTAGE PROVIDED: 50%
LANDSCAPE PERCENTAGE REQUIRED: 50%

LINCOLN AVENUE LANDSCAPE:
FRONT YARD SETBACK AREA: 2,515 SF
LANDSCAPE AREA: 1,299 SF
LANDSCAPE PERCENTAGE PROVIDED: 52%
LANDSCAPE PERCENTAGE REQUIRED: 50%

NOTE:
1. SEE SHEET 16 FOR PLANT MATERIAL SCHEDULE & IMAGERY.



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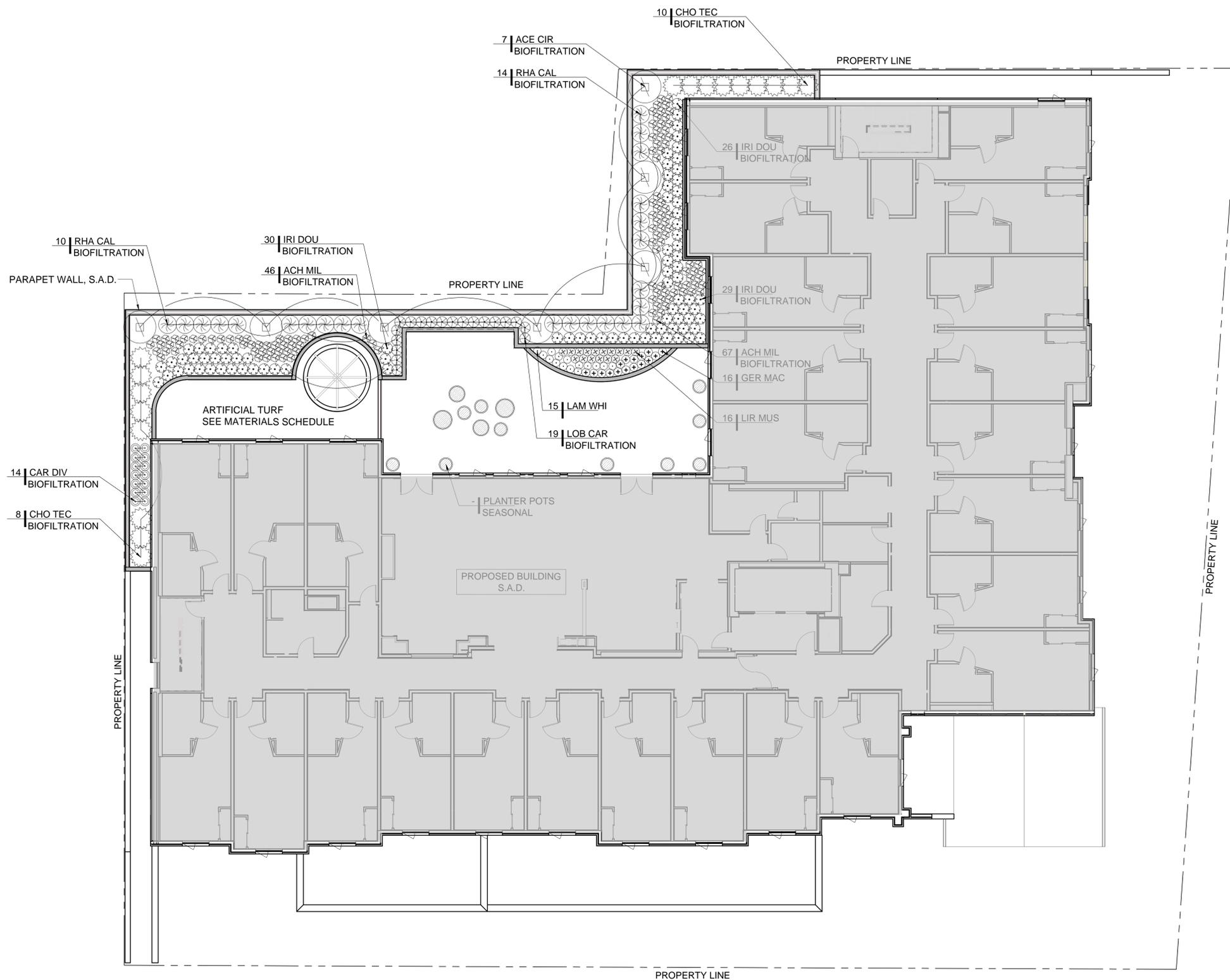
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GROUND LEVEL PLANTING PLAN

PLANNING

DATE: MAR 3, 2021
PROJECT NUMBER: 174170

SHEET NUMBER: 12

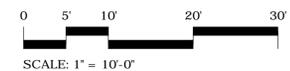
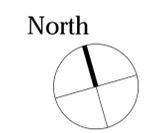


PEDESTAL PAVING SYSTEM- NEUTRAL COLORS TO COMPLIMENT THE MISSION STYLE OF THE ARCHITECTURE



WOOD TRELLIS WITH BRONZE HARDWARE

01 LEVEL 2 PLANTING PLAN



NOTE:
1. SEE SHEET 16 FOR PLANT MATERIAL SCHEDULE & IMAGERY.



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LEVEL 2
PLANTING PLAN

PLANNING

DATE: MAR 3, 2021 PROJECT NUMBER: 174170

SHEET NUMBER: 13

PLANT MATERIAL SCHEDULE - AEGIS LIVING

| ABBREV | BOTANICAL | COMMON NAME | SIZE | SPACING | MATURE SIZE/ PLANT TYPE | WUCOLS RATING |
|-----------------------------|------------------------------------|--------------------------------|-----------------|-----------|----------------------------|---------------|
| TREES | | | | | | |
| CAR BET | CARPINUS BETULUS 'FASTIGIATA' | AMERICAN HORNBEAM | 24" BOX | | "BLEACHED"/DECIDUOUS | MEDIUM |
| MUS BAS | MUSA BASJOO | JAPANESE BANANA | 25 GAL | 4' O.C. | 12'/ HERBACEOUS | MEDIUM |
| OLE EUR | OLEA EUROPAEA 'SWAN HILL' | SWAN HILL OLIVE TREE | 36" BOX | | 15'+/EVERGREEN | LOW |
| PHO DAC | PHOENIX DACTYLIFERA | DATE PALM | 10' BROWN TRUNK | 30' O.C. | 30'+ /EVERGREEN | MEDIUM |
| PIS CHI | PISTACIA CHINENSIS | CHINESE PISTACHE | 36" BOX | PER PLANS | 30'/ DECIDUOUS | LOW |
| SHRUBS & GRASSES | | | | | | |
| ALS SPP. | ALSTROEMERIA SPECIES | PERUVIAN LILY | 1 GAL | 1' | | |
| ANG SPP. | ANIGOZANTHOS SPECIES | KANGAROO PAWS | 1 GAL | 2'-0" | | |
| AST SPP. | ASTER SPECIES | ASTER | 1 GAL | 1'-0" | | |
| BUX SEM | BUXUS SEMPERVIRENS 'SUFFRUTICOSA' | DWARF BOXWOOD | 1 GAL | 1'-0" | 2'/ EVERGREEN | MEDIUM |
| BUX TOP | BUXUS SEMPERVIRENS 'TOPIARY' | TOPAIRY BOXWOOD | 15 GAL + | - | | |
| CAR DIV | CAREX DIVULSA | BERKELEY SEDGE | 1 GAL | 1'-8" | 12'/ EVERGREEN | VERY LOW |
| DIA REV | DIANELLA REVOLUTA 'LITTLE REV' | LITTLE REV FLAX LILY | 1 GAL | 1'-6" | 18" / EVERGREEN | LOW |
| ERY SPP. | ERYSIMUM 'BOWLES'S MAUVE' | WALLFLOWER | 1 GAL | 1'-6" | | |
| IRI SPP. | IRIS SPECIES | BEARDED IRIS | 1 GAL | 1'-6" | | |
| LIR GIG | LIRIOPE GIGANTEA | GIANT LILY TURF | 1 GAL | 1'-6" | 18"/ EVERGREEN | MEDIUM |
| LIR MUS | LIRIOPE MUSCARI | BLUE LILY TURF | 1 GAL | 1'-0" | 12'/ EVERGREEN | MEDIUM |
| LOM LON | LOMANDRA LONGIFOLIA 'BREEZE' | DWARF MAT RUSH | 1 GAL | 2'-6" | 2' / EVERGREEN | LOW |
| LON JAP | LONICERA JAPONICA | JAPANESE HONEYSUCKLE | 1 GAL | 3'-0" | 2' / EVERGREEN | MEDIUM |
| LOR CHI | LOROPETALUM CHINENSE | FRINGE FLOWER | 5 GAL | 4'-6" | 3'-6' / EVERGREEN | LOW |
| LYC COR | LYCHNIS CORONARIA | ROSE CAMPION | 1 GAL | 1'-0" | | |
| NIC SPP. | NICOTIANA SPECIES | TOBACCO PLANT | 1 GAL | 1'-0" | | |
| PAP BOL | PAPAVER ORIENTALE 'BOLERO' | ORIENTAL POPPY | 1 GAL | 1'-0" | | |
| PAP BUR | PAPAVER ORIENTALE 'BURNING HAERT' | ORIENTAL POPPY | 1 GAL | 1'-0" | | |
| PHI XAN | PHILODENDRON XANADU | PHILODENDRON | 1 GAL | 3'-0" | 2' / EVERGREEN | MEDIUM |
| ROS SPP. | ROSA SPECIES | GROUNDCOVER CARPET ROSE 'PINK' | 1 GAL | 3'-0" | 18" TO 2' / SEMI-EVERGREEN | MEDIUM |
| STR REG | STRELITZIA REGINAE | BIRD OF PARADISE | 5 GAL | 4' | 4' TO 6' / EVERGREEN | MEDIUM |
| TEU LUC | TEUCRIUM X LUCIDRYS | GERMANDER | 1 GAL | 1' | | |
| VINES | | | | | | |
| GEL SEM | GELSEMIUM SEMPERVIRENS 'MARGARITA' | HARDY CAROLINA JASMINE | 1 GAL | 4'-0" | 6'-8' TRAILING/EVERGREEN | MEDIUM |

BIO-FILTRATION PLANT SCHEDULE - AEGIS LIVING

| ABBREV | BOTANICAL | COMMON NAME | SIZE | SPACING | MATURE SIZE/ PLANT TYPE | WUCOLS RATING |
|-----------------------|--------------------------------|----------------------|-------|---------|-------------------------|---------------|
| BIO-FILTRATION | | | | | | |
| ACE CIR | ACER CIRCINATUM | VINE MAPLE | 5 GAL | - | DECIDUOUS | MEDIUM |
| ACH MIL | ACHILLEA MILLEFOLIUM | COMMON YARROW | 1 GAL | 1'-0" | PERENNIAL | MEDIUM |
| CHO TEC | CHONDROPETALUM TECTORUM | SMALL CAPE RUSH | 1 GAL | 2'-0" | 2' / EVERGREEN | LOW |
| CAR DIV | CAREX DIVULSA | BERKELEY SEDGE | 1 GAL | 1'-6" | EVERGREEN | LOW |
| FRA CHI | FRAGARIA CHILOENSIS | BEACH STRAWBERRY | 1 GAL | 1' | EVERGREEN PERENNIAL | MEDIUM |
| IRI CAN | IRIS DOUGLASIANA 'CANYON SNOW' | DOUGLAS IRIS | 1 GAL | 1'-0" | PERENNIAL | MEDIUM |
| IRI DOU | IRIS DOUGLASIANA | DOUGLAS IRIS | 1 GAL | 1' | PERENNIAL | MEDIUM |
| LOB CAR | LOBELIA CARDINALIS | CARDINAL FLOWER | 1 GAL | 1'-0" | | MED |
| RHA CAL | RHAMNUS CALIFORNICA 'EVE CASE' | COFFEEBERRY | 5 GAL | 4'-0" | EVERGREEN | LOW |
| ROS CAL | ROSA CALIFORNICA | CALIFORNIA WILD ROSE | 1 GAL | 1' | DECIDUOUS | MEDIUM |

*PLANT LIST PER THE MARIN COUNTY STORMWATER POLLUTION PREVENTION PROGRAM , BIORETENTION FACILITY PLANT MATRIX, JUNE,2014

TYPICAL SEASONAL ANNUALS & PERENNIALS @ L2 & ROOF DECK PLANTERS

| ABBREV | BOTANICAL | COMMON NAME | SIZE | SPACING | MATURE SIZE/ PLANT TYPE | WUCOLS RATING |
|----------|-----------------------------------|-----------------|-------|---------|-------------------------|---------------|
| ALS SPP. | ALSTROEMERIA SPECIES | PERUVIAN LILY | 1 GAL | | | |
| BAC SPP. | BACOPA SPECIES | BACOPA | 1 GAL | | | |
| DIG SPP. | DIGITALIS SPECIES | COMMON FOXGLOVE | 1 GAL | | | |
| LOB SPP. | LOBELIA SPECIES | LOBELIA | 1 GAL | | | |
| PAP BOL | PAPAVER ORIENTALE 'BOLERO' | ORIENTAL POPPY | 1 GAL | | | |
| PAP BUR | PAPAVER ORIENTALE 'BURNING HEART' | ORIENTAL POPPY | 1 GAL | | | |
| PRI SPP. | PRIMULA SPECIES | PRIMROSE | 1 GAL | | | |
| VIO SPP. | VOILA SPECIES | VIOLA | 1 GAL | | | |

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| REVISION | DATE | REASON FOR ISSUE |
|----------|----------|--------------------|
| | 09.17.19 | LANDSCAPE LIGHTING |
| | | |
| | | |

PLANT MATERIAL SCHEDULE

SHEET TITLE

PLANNING

| | |
|--------------------|--------------------------|
| DATE 05.30.2018 | PROJECT NUMBER 164890 |
|--------------------|--------------------------|

SHEET NUMBER

PLANT CHARACTER IMAGERY

TREES & PALMS



CARPINUS BETULUS 'FASTIGIATA'



MUSA BASJOO



PHOENIX DACTYLIFERA



PISTACIA CHINENSIS (STREET TREE ALONG LINCOLN)



OLEA EUROPAEA

SHRUBS & GROUNDCOVER



BUXUS SEMPERVIRENS 'SUFFRUTICOSA'



BUXUS SEMPERVIRENS 'TOIARY'



CAREX DIVULSA



DIANELLA REVOLUTA 'LITTLE REV'



LIRIOPE GIGANTEA



LIRIOPE MUSCARI



LOMANDRA LONGIFOLIA 'BREEZE'



LONICERA JAPONICA



LOROPETALUM CHINENSE



PHILODENDRON XANADU



ROSA SPECIES



STRELITZIA REGINAE



TEUCRUM X LUCIDRYS



ALSTROEMERIA SPECIES



ANIGOZANTHOS SPECIES



ASTER SPECIES



ERYSIMUM 'BOWLES'S MAUVE'



IRIS SPECIES



LYCHNIS CORONARIA



NICOTIANA SPECIES



PAPAVER ORIENTALE 'BOLERO'



PAPAVER ORIENTALE 'BURNING HAERT'

VINES



GELSEMIUM SEMPERVIRENS 'MARGARITA'



ACER CIRCINATUM



ACHILLEA MILLEFOLIUM



CHONDROPETALUM TECTORUM



CAREX DIVULSA



FRAGARIA CHILOENSIS



IRIS DOUGLASIANA 'CANYON SNOW'



IRIS DOUGLASIANA



LOBELIA CARDINALIS



RHAMNUS CALIFORNICA 'EVE CASE'



ROSA CALIFORNICA

BIO-FILTRATION PLANT MATERIAL

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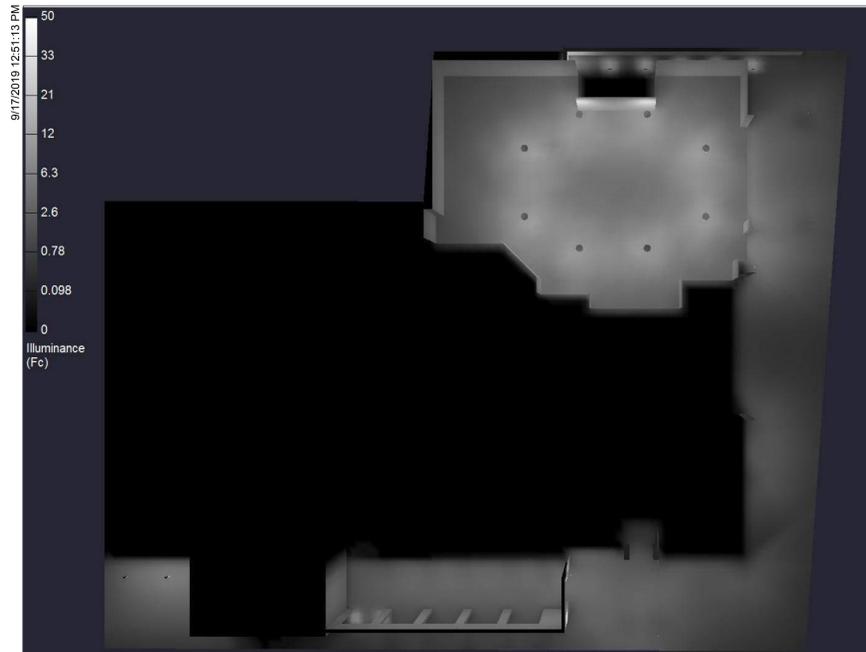
| REVISION | DATE | REASON FOR ISSUE |
|----------|----------|--------------------|
| | 09.17.19 | LANDSCAPE LIGHTING |
| | | |
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PLANT MATERIAL IMAGERY

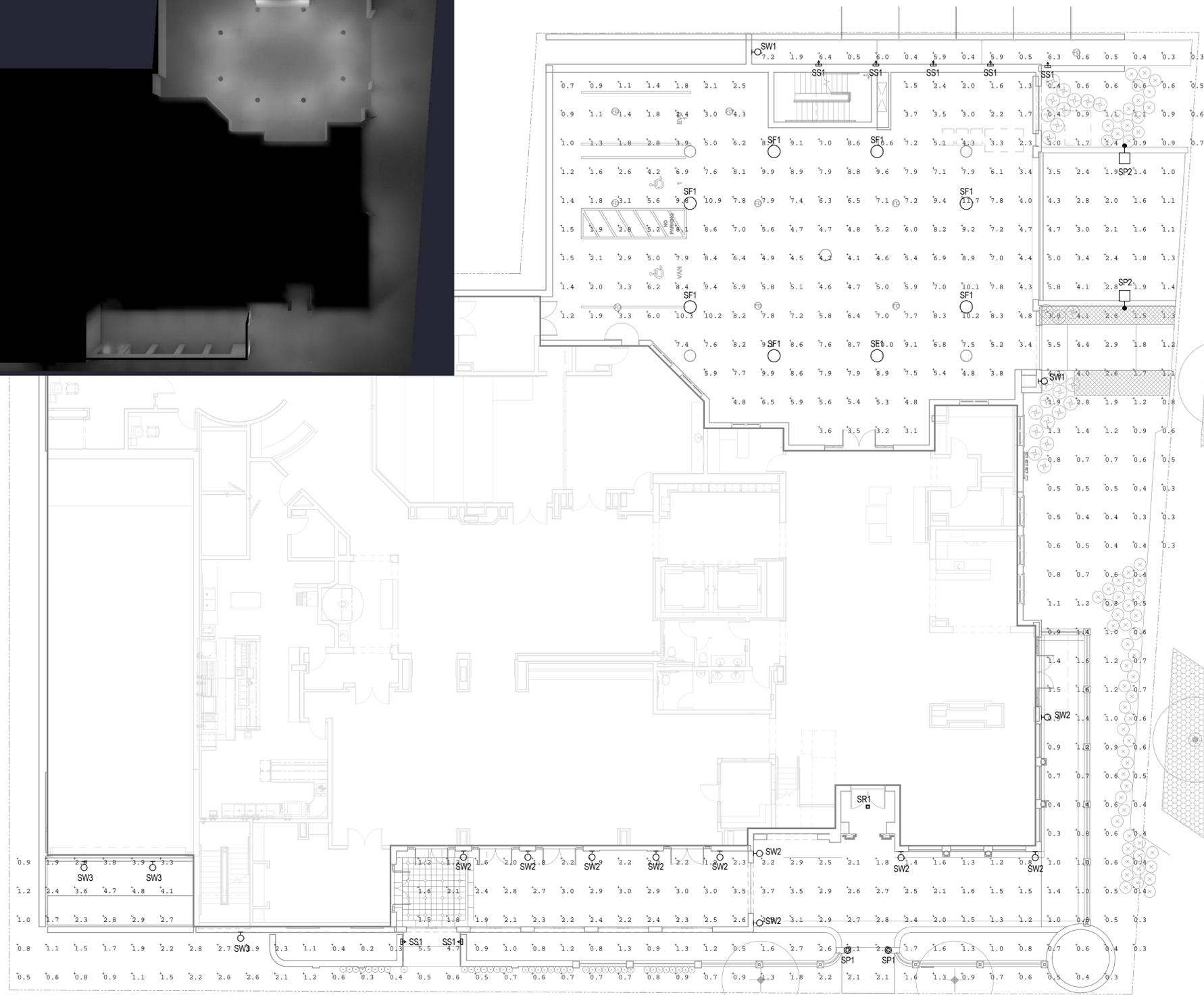
SHEET TITLE

PLANNING

| | |
|--------------------|--------------------------|
| DATE 05.30.2018 | PROJECT NUMBER 164890 |
| SHEET NUMBER | |



BIM 360/05.19.00126 Aegis San Rafael MEP Narrative/174170-17-Aegis San Rafael MEP_v17.rvt



1 SITE PLAN - LIGHTING
SCALE: 1" = 10'-0"



SP1, SP2
30" AND 19" TALL DECORATIVE POLE-TOP LUMINAIRES WITH LED CANDELABRA BASE LAMPS IN WARM WHITE COLOR TEMPERATURE(2700K) AT MAIN ENTRY AND DRIVE ENTRY TO COVERED PARKING



SS1
RECESSED STEPLIGHT AT PATHWAYS



SW1, SW2
19" AND 30" TALL DECORATIVE WALL SCNCES WITH LED CANDELABRA BASE LAMPS IN WARM WHITE COLOR TEMPERATURE(2700K)



SF1
CEILING MOUNTED LIGHTING FOR COVERED PARKING AREA



SW3
WALL PACK FOR SECURITY AND EGRESS LIGHTING AT BUILDING EXITS

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Project Manager: Adam Leingang
Job No.: 05.19.00126

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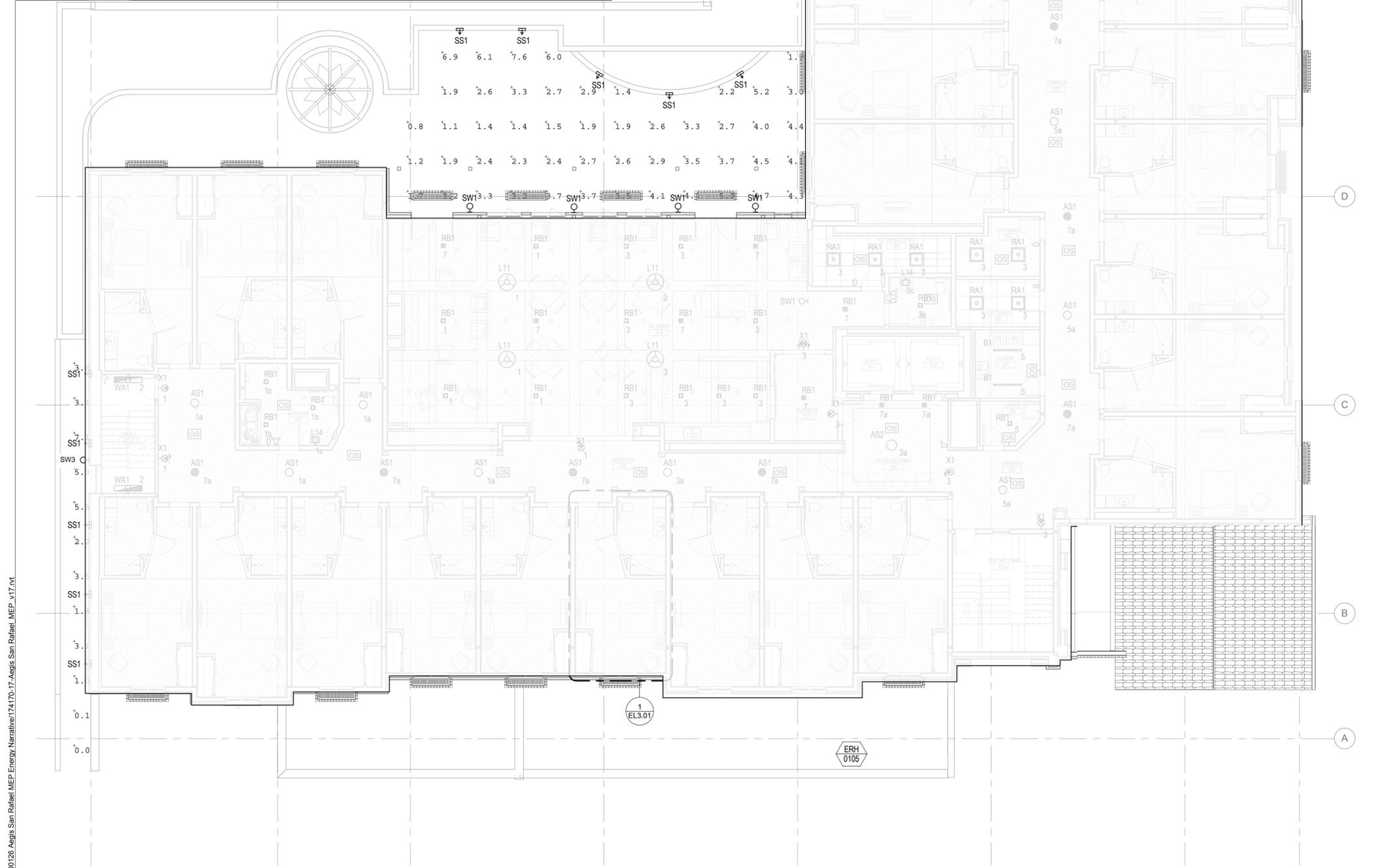
| REVISION | DATE | REASON FOR ISSUE |
|----------|----------|--------------------|
| | 09.17.19 | LANDSCAPE LIGHTING |
| | | |
| | | |

SITE PLAN - LIGHTING

PLANNING

| | |
|--------------------|--------------------------|
| DATE 05.30.2018 | PROJECT NUMBER 174170 |
|--------------------|--------------------------|

SHEET NUMBER
17



SW4
TRELLIS-MOUNT DOWNLIGHT
SCONCE



SS1
RECESSED STEPLIGHT



SW1
19" TALL DECORATIVE WALL
SCONCES WITH LED
CANDELABRA BASE LAMPS IN
WARM WHITE COLOR
TEMPERATURE(2700K)

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| REVISION | DATE | REASON FOR ISSUE |
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| | 09.17.19 | LANDSCAPE LIGHTING |

**LEVEL 2 FLOOR
PLAN - LIGHTING
PLAN**

PLANNING

DATE: 05.30.2018 PROJECT NUMBER: 174170

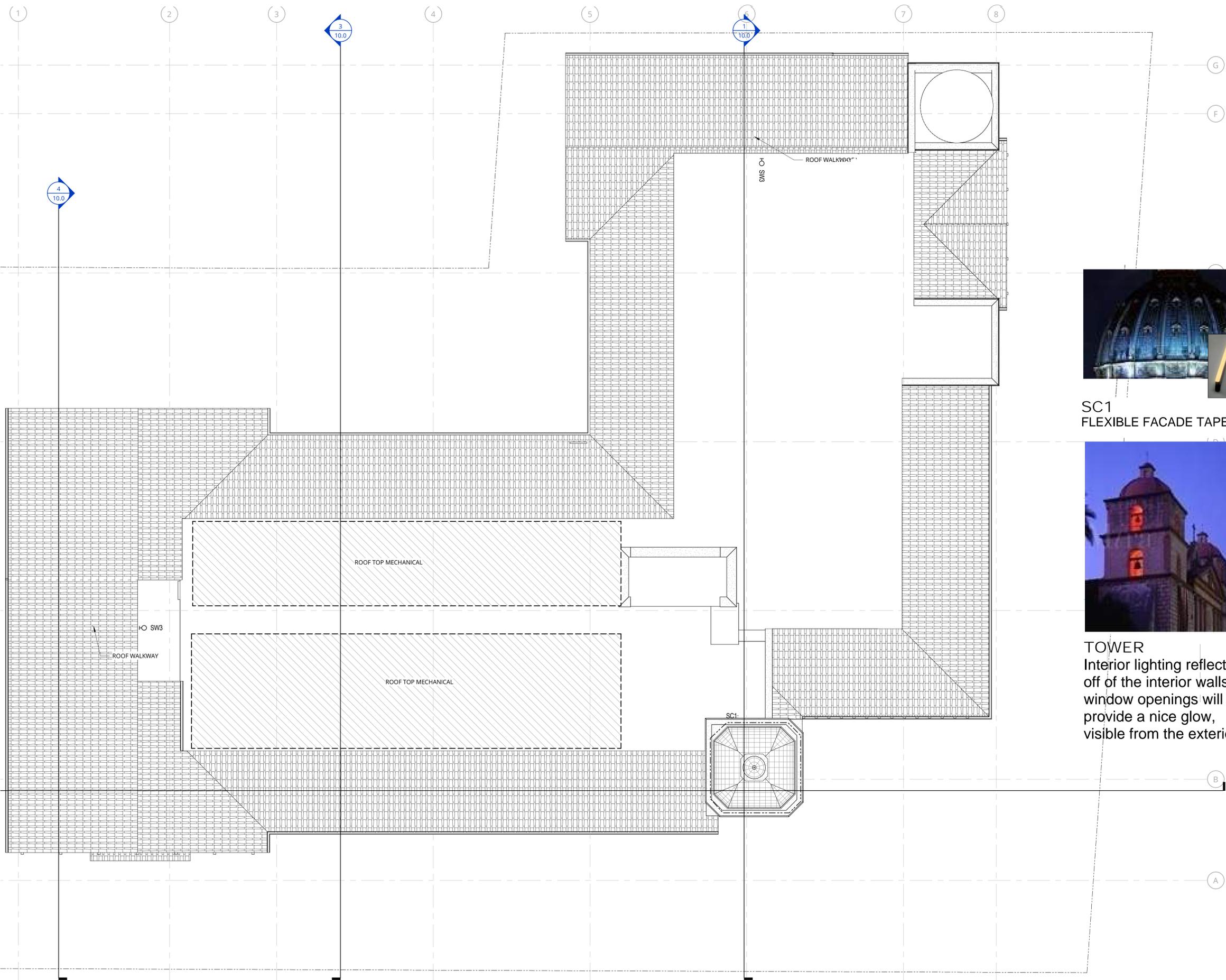
SHEET NUMBER

18

1 LEVEL 2 - FLOOR PLAN - LIGHTING
SCALE: 1/8" = 1'-0"



BIM 360/05.19.00126 Agis San Rafael MEP Narrative/174170-17-Agis San Rafael MEP_v17.rvt



1 ROOF - FLOOR PLAN - LIGHTING
SCALE: 1/8" = 1'-0"

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SC1 FLEXIBLE FACADE TAPELIGHT



TOWER
Interior lighting reflecting off of the interior walls and window openings will provide a nice glow, visible from the exterior.

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OVERALL ROOF PLAN - LIGHTING PLAN

PLANNING

| | |
|--------------------|--------------------------|
| DATE 05.30.2018 | PROJECT NUMBER 174170 |
|--------------------|--------------------------|

SHEET NUMBER

19

