



**REPORT TO DESIGN REVIEW BOARD**

**SUBJECT: 16 De Luca Place** - Request for Conceptual Design Review to demolish an existing one-story industrial building and construct a new two-story, 7,774 square foot building. The building will contain primarily storage/factory spaces with ancillary office space not exceeding 25 percent of the overall building square footage.; APN: 013-081-04; Industrial (I), Zoning District; Mark and Kathleen Barger, Owner; Stewart Summers, SKS Architects, Applicant; File No.: CDR21-001

**PROPERTY FACTS**

<u>Location</u>	<u>General Plan</u>	<u>Zoning</u>	<u>Existing Land Use</u>
<b>Project Site:</b>	<b>Industrial</b>	<b>Industrial</b>	<b>Industrial (Allied Heating &amp; AC)</b>
<b>North:</b>	Industrial	Industrial	Industrial building
<b>South:</b>	Industrial	Industrial	Industrial building
<b>East:</b>	Industrial	Industrial	Automotive services
<b>West:</b>	Industrial	Industrial	Automotive services/manufacturing

**Lot Size**

Required: 6,000 s.f.  
Proposed: 20,611 s.f. (no change)

**Maximum Lot Coverage**

Standard: NR  
Proposed: 19.7% (4,080 s.f.)

**Height**

Allowed: 36 feet  
Proposed: 31 feet

**Max Floor Area Ratio**

Allowed: .38 (7,832 s.f.)  
Proposed: .37 (7,774 s.f.)

**Parking**

Required: Industrial: 1/500 s.f. (12)  
Office: 1/250 s.f. (8)  
Total: 20  
Proposed: 20 spaces

**Min. Lot Width (New lots)**

Required: 60 feet  
Proposed: 62 feet (no change)

**Minimum Landscape Area**

Required: 10% (2,061 s.f.)  
Proposed: 4.2% (866 s.f.)

**Setbacks**

	<i>Required</i>	<i>Proposed</i>
<i>Front</i>	NR	52' 9"
<i>Side - North</i>	NR	+/-20'
<i>Side - South</i>	NR	5'
<i>Rear</i>	NR	+/-160'

**SUMMARY**

The project is being referred to the Design Review Board (Board) for conceptual review of a proposed demolition and rebuild of an existing 4,974 square foot industrial building. The project site is approximately 20,611 square feet with frontage on De Luca Place to the west.

The applicant is seeking the Board's recommendations on the proposed project design which will be the basis for submittal of a formal application. With the Board's recommendation, the applicant will submit a formal application for an Environmental and Design Review Permit.

Once a formal application has been submitted, the project will be scheduled to return to the Board for a formal recommendation on site and building design, which will be forwarded to the Planning Commission for final decision.

Staff is seeking the Board's evaluation of the project's consistency with design criteria contained in the applicable design-related General Plan policies, Zoning Ordinance regulations, and San Rafael Design Guidelines for non-residential development, discussed further below. Staff is requesting that the Board provide recommendations on how to effectively address the following:

- *Site Plan* - Whether the proposed site plan demonstrates efficient use of the site.
- *Architecture* - Whether the design proposed for this project is appropriate given surrounding development.
- *Colors and Materials* - Whether the colors and materials are appropriate.
- *Landscaping* - Whether the proposed landscaping is adequate in location, type and proportion.

## **BACKGROUND**

### **Site Description & Setting:**

The project site is approximately 20,611 square feet and is currently developed with a one-story, 4,970 square-foot building which has historically been used for industrial operations and is currently occupied by Allied Heating and Air Conditioning. The site is surrounded by a variety of other industrial uses that feature a mixture of one and two-story buildings with primarily metal building facades.

The site is designated as Industrial (I) in the City's General Plan Land Use and Zoning Ordinance which provides for motor vehicle services, contractor uses and yards, manufacturing, storage uses, wholesale, incidental employee-serving retail and service uses, specialty retail uses consistent with industrial uses, rock, sand and gravel plants, solid waste management and recycling facilities, trucking yards or terminals, and ancillary and small offices.

## **PROJECT DESCRIPTION**

**Use.** The conceptual design proposes demolition of the existing one-story industrial building which will be reconstructed as a two-story structure and will continue to be operated by Allied Heating and Air Conditioning. The project proposes primarily storage/manufacturing space on the first floor with a small ancillary office and storage and office space on the second floor. The proposed office spaces will occupy approximately 25% of the total building floor area.

**Site Plan:** Pursuant to Section 14.05.030 of the San Rafael Municipal Code (SRMC), the Industrial Zoning District does not have a maximum limit on lot coverage nor does the district have minimum setback requirements. As proposed, the project will provide approximately 20% lot coverage. The proposed structure provides the greatest setbacks from the front and rear property line, with side setbacks of approximately 20-feet from the northern property line and five-feet from the southern property line.

**Architecture:** The overall height of the building is approximately 31-feet which is consistent with the requirements of the Industrial Zoning District. Proposed materials include metal ribbed siding and roofing, composite panel awnings, and metal framed windows.

Building elevations are provided on Sheet A2 of the Conceptual Design Review submittal and are further described below.

*West (Front).* The front elevation, facing De Luca Place, includes a substantial amount of glazing including an overhead garage door which includes paneled windows separated by metal panes, four metal framed windows at the second floor, and a glass front entry door which is flanked by two vertically oriented windows. A projecting composite panel awning is located above the entry door and windows providing a sense of pedestrian entry. A similar awning is located on the second floor above the four metal windows. Vertical landscaping on a wood trellis is located adjacent to the front entry door.

*East (Rear).* The rear elevation contains similar architectural features as the front elevations including an entry door with projecting awning above, four evenly spaced metal framed windows at the second floor, and two additional windows on either side of the entry door.

*South and North (Side).* The south side elevation also includes an overhead garage door, windows with composite panel awnings on the second floor, and a vertical landscape feature. The north elevation includes metal framed windows and light fixtures.

**Landscaping:** As shown on the preliminary landscape plan submitted with the Conceptual Design Review application, the project proposes to install landscaping along the north, east, and west property lines and will include trees, shrubs, and groundcovers. Additionally, the project proposes to install vertical landscaping at the southwest corner of the new building. The project proposes a total of 866 square feet of landscaping, excluding the vertical landscape wall. As proposed, the landscaping does not meet the minimum 10% required by the zoning ordinance.

**Lighting:** Plans submitted for conceptual review include lighting details on Sheet A3. As proposed, the project would install downcast black LED wall sconces along all building elevations.

## **ANALYSIS**

Conceptual Design Review provides an opportunity for feedback on the design, color, and material concept of a proposed project prior to formal application submittal. The conceptual review seeks feedback from the Design Review Board, City Staff, and the public and provides comments to the applicant on appropriateness of design and compliance with design review criteria. Staff has reviewed the proposed project and provided preliminary feedback and questions regarding the design approach for the Board to consider in providing its comments. Below is a general analysis of the project's consistency with the City of San Rafael General Plan 2020, Zoning Ordinance, and Design Guidelines.

### **General Plan 2020 Consistency:**

In general, the project is consistent with the applicable design-related San Rafael General Plan policies. A full consistency review will be conducted upon formal project submittal. The site is designated Industrial (I) on the General Plan 2020 Land Use Map. Design-related policies applicable to the project at a conceptual stage and how the project complies with these policies are described below along with specific areas where staff is seeking feedback from the Board. It should be noted that the updated General Plan and General Plan EIR are in the process of being reviewed by the Planning Commission and City Council. Should the General Plan be formally adopted prior to formal review of the proposed project, the discussion of the project's consistency with the updated General Plan will be included as applicable.

*Land Use Policy LU-12 (Building Heights)* Exhibit 7 of the General Plan identifies maximum building height limits in Central San Rafael. The area of the proposed project allows buildings to be a maximum of 36 feet. The project proposes a height of 31-feet, which is consistent with the maximum allowable height for the site.

*Community Design Policy CD-3 (Neighborhoods)* seeks to preserve and enhance the positive qualities that are unique to each neighborhood. The area immediately surrounding the project site contains a variety of industrial buildings. The Board is being asked to provide feedback on the proposed design and recommend additional design qualities that fit within the context of the neighborhood, as appropriate.

*Community Design Policy CD-12 (Industrial Areas)* recognizes the economic importance of industrial areas and seeks to design them in such a way that creates a visually comfortable and welcoming appearance. As proposed, the project appears to be improving the visual appearance of the site by providing a building with increased transparency oriented toward the public right-of-way, increased sense of pedestrian entry as compared to the existing building, and increased landscaping. The Board is being asked to provide feedback on the proposed design and recommend design qualities that are consistent with this General Plan policy.

### **Zoning Ordinance Consistency:**

The following development and performance standards are applicable to the project. As noted in the development summary table earlier in the staff report, the project proposes to comply with the majority of development standards of the Industrial Zoning District. The following items are applicable to the project. As noted, some items will need to be addressed or clarified upon submittal of a formal application:

#### Height

The applicant proposes to comply with the maximum height permitted by the District. Surrounding development is similar in scale to the proposed project.

#### Landscaping

The Industrial Zoning District requires a minimum landscaped area of 10% of the project site, which is equivalent to 2,061 square feet for the project. Plans submitted for conceptual review are inconsistent with this requirement as the total landscaped area provided is 866 square feet (excluding the vertical landscape feature), which equates to 4.2% of the total site. Staff is seeking feedback from the Board relative to the placement, type, and size of proposed landscaping as well as recommendations for modifications to the site design that will accommodate an increase to the landscaped area in order to meet the minimum requirements, as appropriate.

#### Refuse

Pursuant to Section 14.16.025 of the SRMC, the proposed project will be required upon formal submittal to provide an area on-site suitable for collection of trash and recyclable materials. Plans submitted for conceptual design review indicate that a 10-foot x 12-foot covered refuse enclosure will be located at the northeast corner of the site. As noted in comments provided by Marin Sanitary Service on the proposed project, the enclosure will need to be enlarged to accommodate an 18-yard bin which measures 13-feet x 9-feet.

#### Parking

The total parking obligation for the project is one space per 500 square feet of building area for industrial uses and one space per 250 of office space. Based on the proposed square footage, the project is required to provide a total of 20 parking spaces. As presented, the conceptual design complies with the minimum parking requirement. Parking is primarily located at the rear of the building, with two spaces located near the front entrance along De Luca Place. Staff is seeking feedback and recommendations from the Board on the appropriate location of required onsite parking.

#### Bicycle Parking

Section 14.18.090 of the Zoning Ordinance provides requirements for bicycle parking in new



non-residential developments. The number of short-term bicycle parking spaces required is equal to five percent (5%) of the required automobile spaces with a minimum of one rack that can accommodate two bicycles. As such, the project is required to provide one rack accommodating two bicycles. Plans submitted for conceptual design review do not indicate bicycle parking. Plans submitted for formal review will need to demonstrate how bicycle parking will be accommodated and shall comply with design standards pursuant to section 14.18.090(E) of the SRMC.

#### Parking Facility Dimensions and Design

As proposed, non-compact parking stalls do not meet the minimum length requirements set forth in Section 14.18.130 of the SRMC. Specifically, the SRMC requires non-compact parking stalls to measure 9-feet wide by 19-feet long. As proposed, the non-compact parking spaces measure 9-feet wide by 18-feet long. Additionally, the minimum required drive aisle width is 26-feet whereas the project proposes 25-feet 6-inches.

#### Off-street Loading and Unloading

Industrial uses are required to provide off-street loading and unloading spaces at a ratio of one space per 20,000 square feet of gross building area and measuring a minimum of 12-foot wide, 165-foot long, and a 14-foot height clearance. The project proposes a total of 5,830 square feet of gross industrial building area and is therefore required to provide one loading and unloading space. As proposed, the project provides two loading and unloading spaces at the front and side of the proposed building, however, it does not appear that the loading spaces meet the minimum dimensional requirements set forth in the Municipal Code.

#### Fencing and Screening

As proposed, the project will install an 8-foot in-swing gate between the proposed building and the northern property line. Material details of the gate are not provided. Staff is seeking the Board's feedback and recommendations on the location and design of the proposed gate.

#### Light and Glare

Pursuant to Section 14.16.227 of the SRMC, colors, materials, and lighting shall be designed to avoid creating unique offsite light and glare. The proposed colors, materials, and lighting appear to be consistent with this requirement.

#### Shading

The proposed building will be 31-feet and will be located approximately 5-feet from the southern property line. Based on the height of the building located south of the project site, it is not anticipated that the project would result in shade impacts to the adjacent building. Similarly, the project is not anticipated to result in shade impacts to the building to the north as the new building will be located approximately 20-feet from the northern property line.

#### **San Rafael Design Guidelines:**

The San Rafael Design Guidelines serve as a guide for evaluating development. The project proposes demolition and re-construction of an industrial building, and therefore needs to demonstrate compliance with the Design Guidelines for non-residential development. Criteria applicable to the project are as follows:

##### Parking

- A logical sequence of entry and arrival as part of the site's design should be provided.
- Where possible, design entrances from the street to direct views towards the building entry.
- Parking should be distributed to provide easy access to building entrances.

- Where possible, parking should be located to the rear or side of a building in order to reduce the visual impact of parking areas.
- Design for adequate vehicle maneuverability in parking areas. Vehicles should not back out from a parking space onto the street.
- Parking areas should be screened from the street with hedges, walls, fences or berms, subject to security considerations.
- Auto and pedestrian entrances into the development should be easy to find. For example, special entry treatments, such as colored concrete, special planting and signage should be located at the entries to the site.
- Shade trees should be provided in parking lots per the zoning ordinance.

### **Landscaping**

- Landscaped areas should be planned as integral parts of the development and to create a strongly landscaped character for the site.
- Trees should be planted in a variety of locations, such as along the side property lines, clustered in planting areas, or distributed throughout the parking lot, consistent with the zoning ordinance.
- Pedestrian areas should be made visually attractive with special planting and flowering trees.
- Where feasible, landscape the area between the building and the property line even when a building is located at the minimum required side or rear yard setback.
- Retain and maintain existing public street trees and add additional street trees where practical.

### **Lighting**

- Limit the intensity of lighting to provide for adequate site security and for pedestrian and vehicular safety.
- Shield light sources to prevent glare and illumination beyond the boundaries of the property.
- Lighting fixtures should complement the architecture of the project.
- Consider pedestrian orientation when designing building entries, windows, signage and doors.
- Include a well-defined pedestrian walkway between the street and building entries.
- Clearly define pedestrian movement through the parking lot. For example, provide changes in pavement or separate landscaped walkways.
- Adequate facilities should be provided for bicycle parking, consistent with zoning requirements.

### **Building Form**

- A continuity of design, materials, color, form and architectural details is encouraged for all portions of a building and between all the buildings on the site.
- Consider the development's visual and spatial relationship to adjacent buildings and other structures in the area

### **Materials and Colors**

- Use articulation, texturing and detailing on all concrete exposed to exterior view.
- Exterior materials should minimize reflectivity.
- Use color to provide appropriate accents on a building.

In general, the project appears to be consistent with most criteria included in the guidelines. Where information is lacking from the Conceptual Design Review application, staff has noted

the need for information and is also seeking the Board's feedback with regard to all design elements.

**Staff seeks the Boards guidance regarding the following:**

- *Site Plan* - Whether the proposed site plan demonstrates efficient use of the site.
- *Architecture* - Whether the design proposed for this project is appropriate given surrounding development.
- *Colors and Materials* - Whether the colors and materials are appropriate.
- *Landscaping* - Whether the proposed landscaping is adequate in location, type and proportion.

**NEIGHBORHOOD CORRESPONDENCE**

Notice of the Design Review Board meeting for the project was conducted in accordance with noticing requirements contained in Chapter 29 of the Zoning Ordinance. A Notice of Public Meeting was mailed to all property owners and occupants within a 300-foot radius of the project site, the appropriate neighborhood groups (the Bret Harte Community Association and the Federation of San Rafael Neighborhoods), and all other interested parties (applicant and planner), a minimum of 15 calendar days prior to the Board meeting. Additionally, notice was posted on the project site along the De Luca Place frontage, also a minimum of 15 calendar days prior to the Board meeting.

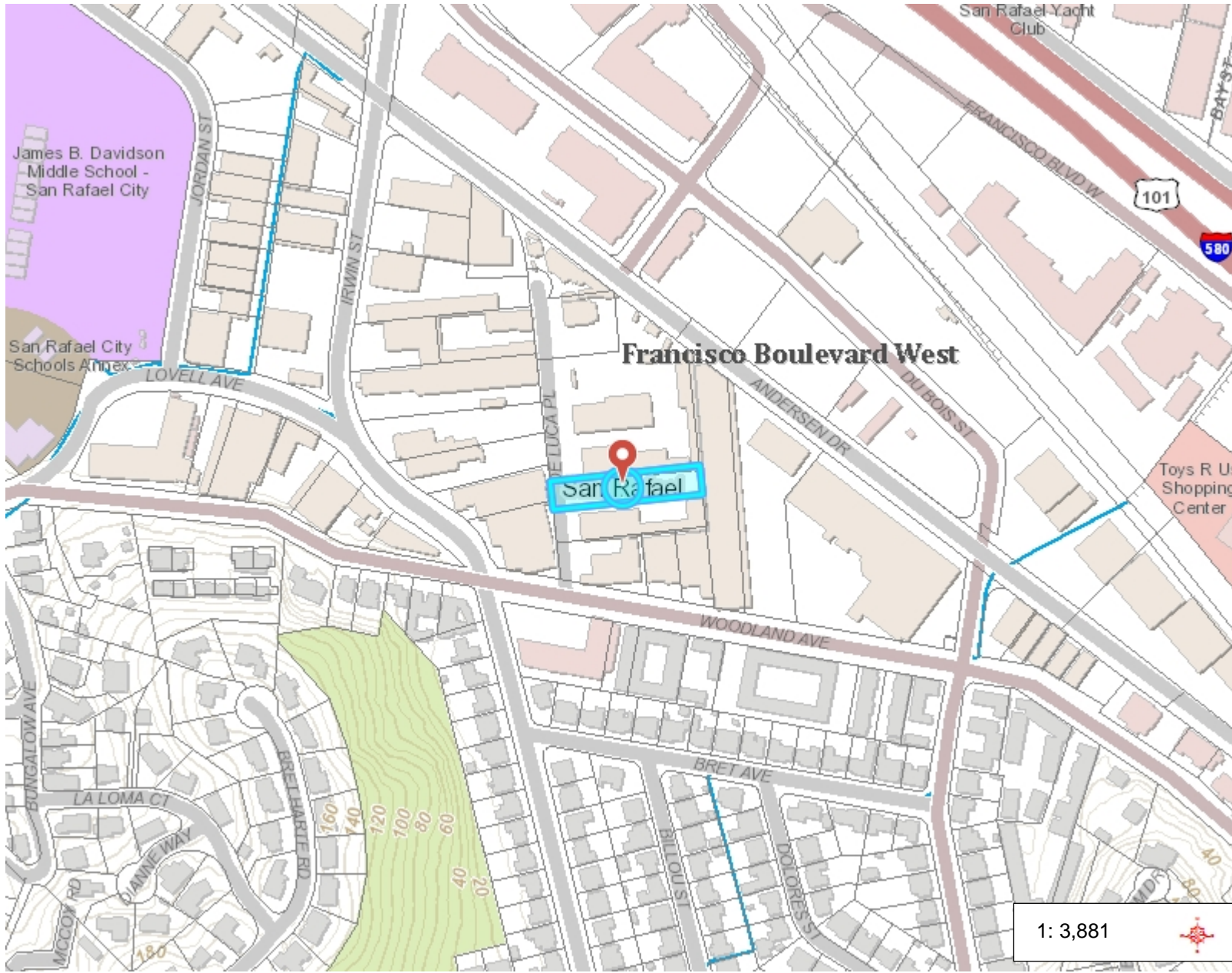
As of the publishing of this staff report, no public comments on the project have been received.

**CONCLUSION**

As stated above, the applicant has submitted an application for Conceptual Design Review seeking input from the Board with regard to architectural design, site design, and adequacy of landscaping. With the Board's recommendation, the applicant will be able to submit a formal application for an Environmental and Design Review Permit, which will return to the Board for a formal recommendation to be forwarded to the Planning Commission for a final action.

**EXHIBITS**

1. Vicinity Map
2. Site Plans



**Legend**

- Parcel Note
  - easement
  - centerline
- Address
  - Parcel
  - Condominium Common Area
  - Mobile Home Pad
  - City
  - Community
  - Marin County Legal Boundary
  - Other Bay Area County
  - Stream - Perennial (NHD)

1: 3,881

646.8                      0                      323.38                      646.8 Feet

**Notes**



# ALLIED HEATING + AC COMPANY, INC.

## NEW STEEL BUILDING

16 DeLUCA PLACE

SAN RAFAEL, CA 94901

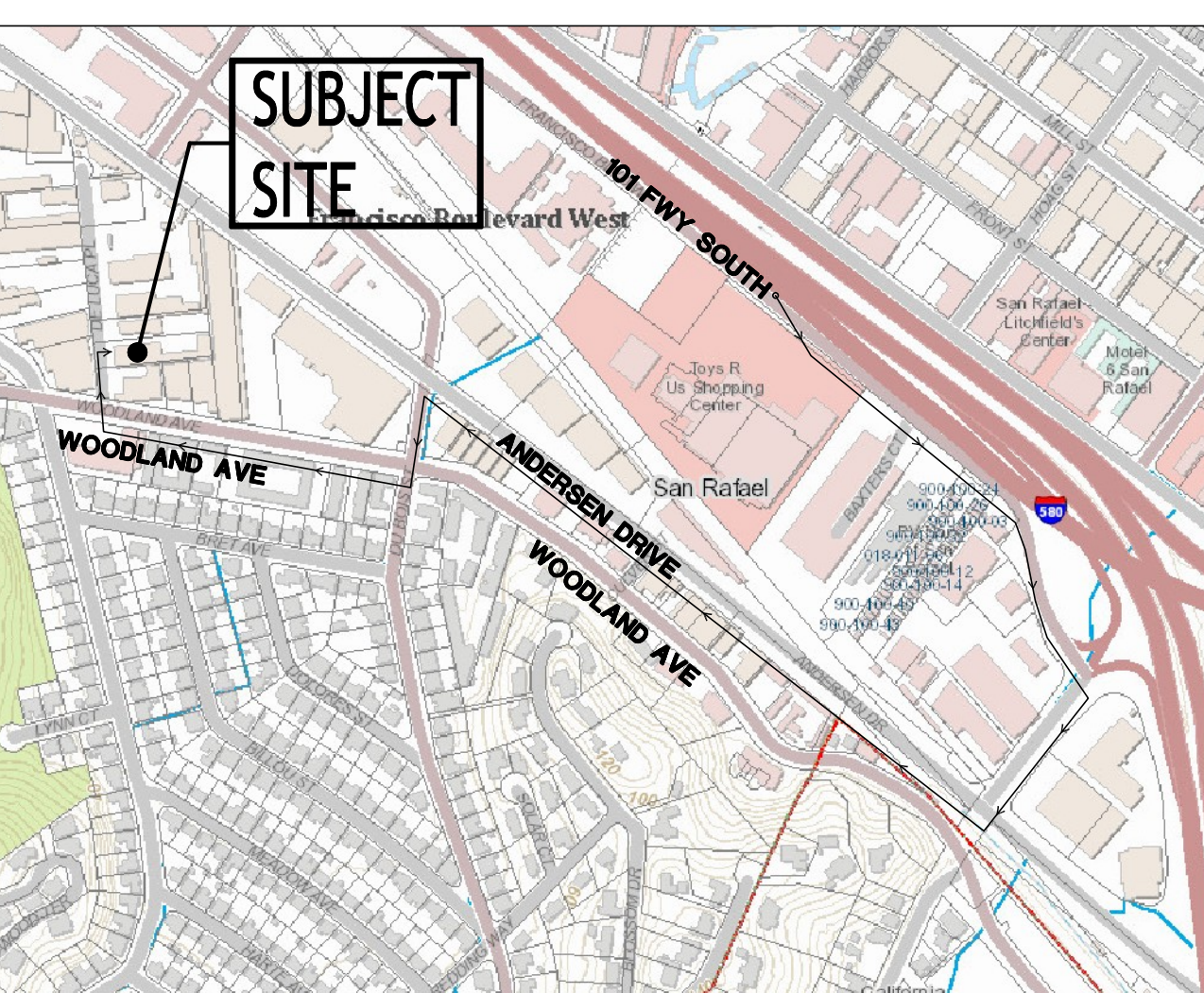
### PROJECT DATA

PARCEL (BLOCK/LOT)	013-081-04
ZONING	I
OCCUPANCY CLASSIFICATION	S1 / F1 / B
DESCRIPTION OF USE	STORAGE, MANUFACTURE & ASSEMBLY, OFFICES
CONSTRUCTION TYPE	V-B
STORIES	TWO
SPRINKLERS	YES

### SITE & BLDG. DATA

LOT AREA	20,616 SF.
<b>EXISTING BUILDING AREA</b>	
EXISTING BUILDING TOTAL FLOOR AREA (BLDG TO BE REMOVED)	4,913.8 SF.
EXISTING F.A.R.	24.1%
<b>NEW BUILDING AREAS</b>	
NEW BUILDING FIRST FLOOR (STORAGE, FACTORY, STAIRS, BATH)	3,923.9 SF.
NEW BUILDING FIRST FLOOR (OFFICE)	156.1 SF.
TOTAL NEW BUILDING FIRST FLOOR	4,080.0 SF.
NEW BUILDING SECOND FLOOR (STORAGE, FACTORY, BATH)	1,306.8 SF.
NEW BUILDING SECOND FLOOR (OFFICES)	1,781.2 SF.
TOTAL NEW BUILDING SECOND FLOOR	3,088.0 SF.
<b>TOTAL NEW BUILDING FLOOR AREA</b>	<b>7,168.0 SF.</b>
<b>NEW BUILDING FLOOR AREA PERCENTAGE BY USE</b>	
TOTAL NEW BUILDING STORAGE, FACTORY, STAIRS, BATHS	5,507.3 SF. / 500 = 12 SPACES
TOTAL NEW BUILDING OFFICES	1,943.3 SF. / 250 = 8 SPACES
<b>NEW BUILDING FLOOR AREA RATIO</b>	
TOTAL NEW BUILDING FLOOR AREA	7,168.0 SF.
TOTAL NEW BUILDING FLOOR AREA RATIO (38% ALLOWED)	37.1%
<b>LANDSCAPED AREA</b>	
PLANTERS (EXCLUDES LIVING WALL AREA)	866 SF. / 20,616 = 4.2%
<b>PARKING (THESE FLOOR AREAS DO NOT INCLUDE STAIRS &amp; BATHS)</b>	
STORAGE & FACTORY (1 PER 500)	5,507.3 SF. / 500 = 12 SPACES
OFFICES (1 PER 250)	1,943.3 SF. / 250 = 8 SPACES
TOTAL PARKING REQUIRED & PROVIDED	20 SPACES

### VICINITY MAP



### PROJECT PRINCIPLES

<b>OWNER</b> ALLIED HEATING & AC CO., INC. 12 DeLUCA PLACE SAN RAFAEL, CA 94901 (415) 459-5232 ATTN: ERIK BARGER	<b>GEOTECHNICAL ENGINEER</b> MILLER PACIFIC ENGINEERING GRP 504 REDWOOD BLVD, SUITE 220 NOVATO, CA 94941 (415) 382-3444 ATTN: RUSTY AREND
<b>ARCHITECT</b> SKS ARCHITECTS 1852 FOURTH STREET SAN RAFAEL, CA 94901 (415) 382-1656 ATTN: STEWART SUMMERS	<b>STRUCTURAL ENGINEER</b> NISSEN ENGINEERING 530-C ALAMEDA DEL PRADO #333 NOVATO, CA 94949 (415) 382-1130 ATTN: PETER NISSEN
<b>SURVEYOR</b> I031 SURVEY, INC. 1857 RAINIER CIRCLE PETALUMA, CA 94954 (707) 827-6370 ATTN: G.J. HARMINA	<b>ELECTRICAL ENGINEER</b> ENGINEERING ENTERPRISES, INC. 613 4TH STREET, STE 206-B SANTA ROSA, CA 95404 (707) 544-1115 ATTN: MIKE JOHNSTON
<b>CIVIL ENGINEER</b> LTD ENGINEERING, INC. 1050 NORTHGATE DRIVE SAN RAFAEL, CA 94903 (415) 446-1402 ATTN: GLENN DEARTH	<b>MECHANICAL ENGINEER</b> ALLIED HEATING & AC CO., INC. 12 DeLUCA PLACE SAN RAFAEL, CA 94901 (415) 459-5232 ATTN: ERIK BARGER

### GENERAL NOTES

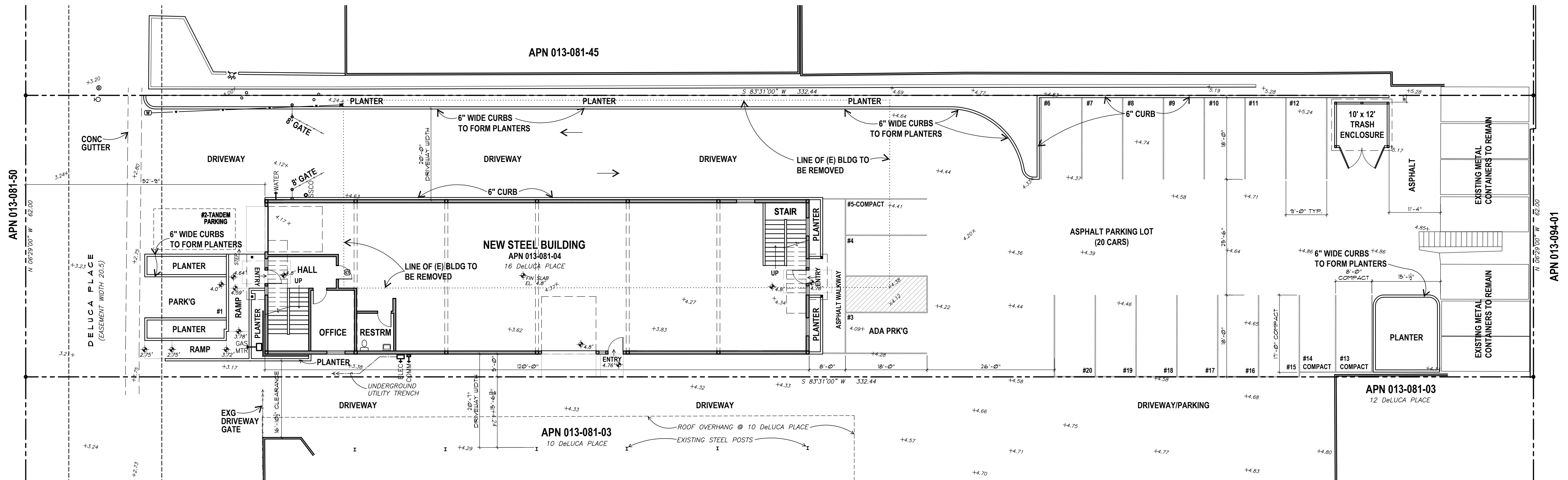
- ALL MATERIALS AND WORKMANSHIP TO CONFORM TO THESE PLANS, THE STANDARD SPECIFICATIONS OF THE CURRENT ADOPTED EDITION 2019 CALIFORNIA BUILDING CODE INCLUDING THE 2019 CFC, 2019 CMC, 2019 CPC, 2019 CEC, 2019 CALIFORNIA ENERGY EFFICIENCY STANDARDS CODE (CEES), 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE (CGBS OR CALGREEN) & ALL OTHER APPLICABLE CODES, ORDINANCES, AND STANDARDS FOR RESIDENTIAL CONSTRUCTION AND SPECIFICALLY FOR THE CONSTRUCTION OF THIS STRUCTURE IN THE CITY OF SAN RAFAEL.
- ALL MATERIALS AND WORKMANSHIP TO MEET OR EXCEED THE BEST STANDARDS OF THE TRADE. ON-SITE VERIFICATION OF DIMENSIONS, ELEVATIONS, AND OTHER CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. ANY DISCREPANCIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT.
- NOTED DIMENSIONS TAKE PRECEDENCE. DO NOT SCALE DRAWINGS. ON-SITE VERIFICATION OF DIMENSIONS, ELEVATIONS, AND OTHER CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. ANY DISCREPANCIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT.
- PROTECTION OF OWNER'S PROPERTY AND ALL ADJACENT PROPERTIES, AS WELL AS THE GENERAL PUBLIC, ARE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE MAINTAINED AT ALL TIMES.
- ALL PAINTS, FINISHES, AND ADHESIVES, CAULKING, AND SEALANTS SHALL BE LOW VOC.
- G.C. SHALL APPLY FOR AND PROCURE ALL DEMOLITION PERMITS AS REQUIRED BY LOCAL AUTHORITIES INCLUDING OBTAINING A "J-NUMBER" FROM THE BAY AREA AIR QUALITY MANAGEMENT DISTRICT
- PROVIDE FREQUENT AND THOROUGH DUST CONTROL AND CLEAN-UP DURING ALL PHASES OF DEMOLITION & CONSTRUCTION.
- (E) SANITARY SEWER LATERAL TO BE TELEVIEWED & RESULTS SUBMITTED TO THE CITY OF SR PRIOR TO PERMIT ISSUANCE. REPLACEMENT OF SEWER LATERAL OR PORTIONS THEREOF SHALL BE CONDUCTED BASED ON FINDINGS OF CITY OF SAN RAFAEL.

### SHEET INDEX

<b>ARCHITECTURAL</b>	
A0	COVER SHEET, SITE PLAN PROJECT DATA
1	EXISTING SITE SURVEY
A1	NEW BUILDING FLOOR PLANS
A2	NEW BUILDING ELEVATIONS
A3	NEW BUILDING ROOF PLAN, BUILDING SECTION & TRASH ENCLOSURE PLANS
<b>CIVIL</b>	
C1	CIVIL COVER SHEET (DATA/INFO)
C2	CONCEPTUAL GRADING & DRAINAGE PLAN
C3	CIVIL DETAILS
<b>LANDSCAPE</b>	
L1	LANDSCAPE PLAN

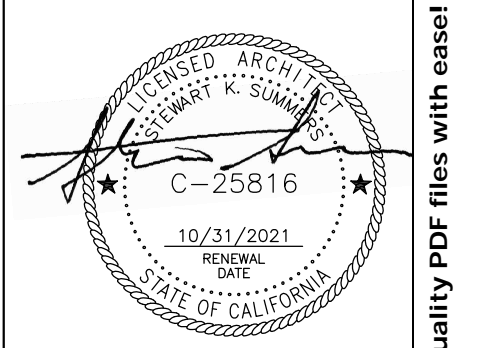
### PROJECT DESCRIPTION

REMOVE EXISTING BUILDING AND SITE AMENITIES - CONSTRUCT NEW TWO-STORY PRE-FAB METAL BUILDING ON CONCRETE SLAB - CONSTRUCT SITE IMPROVEMENTS TO INCLUDE PARKING, LANDSCAPING, ACCESSIBLE ENTRIES, SITE DRAINAGE, & NEW UTILITY SERVICES



NEW SITE PLAN  
SCALE: 1" = 12'  
0' 3' 6' 12' 24' 48'

New Steel Building for:  
**Allied Heating & AC Company, Inc.**  
16 DeLuca Place  
San Rafael, CA 94901  
APN#: 013-081-04



### COVER SHEET, SITE PLAN & PROJECT DATA

DATE:	01/28/2021
SCALE:	AS NOTED
DRAWN:	SKS
JOB NO.:	
SHEET NO.:	

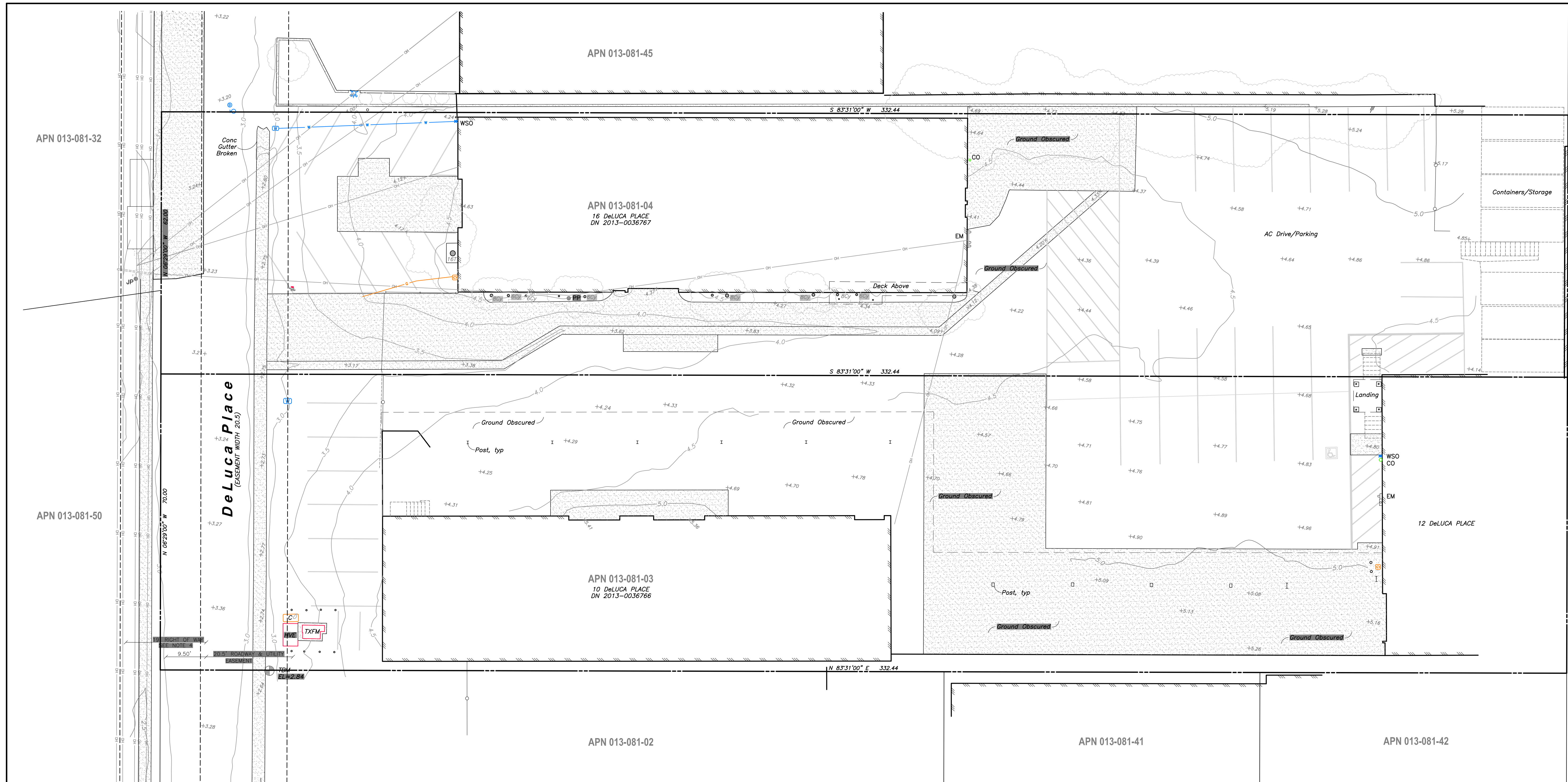
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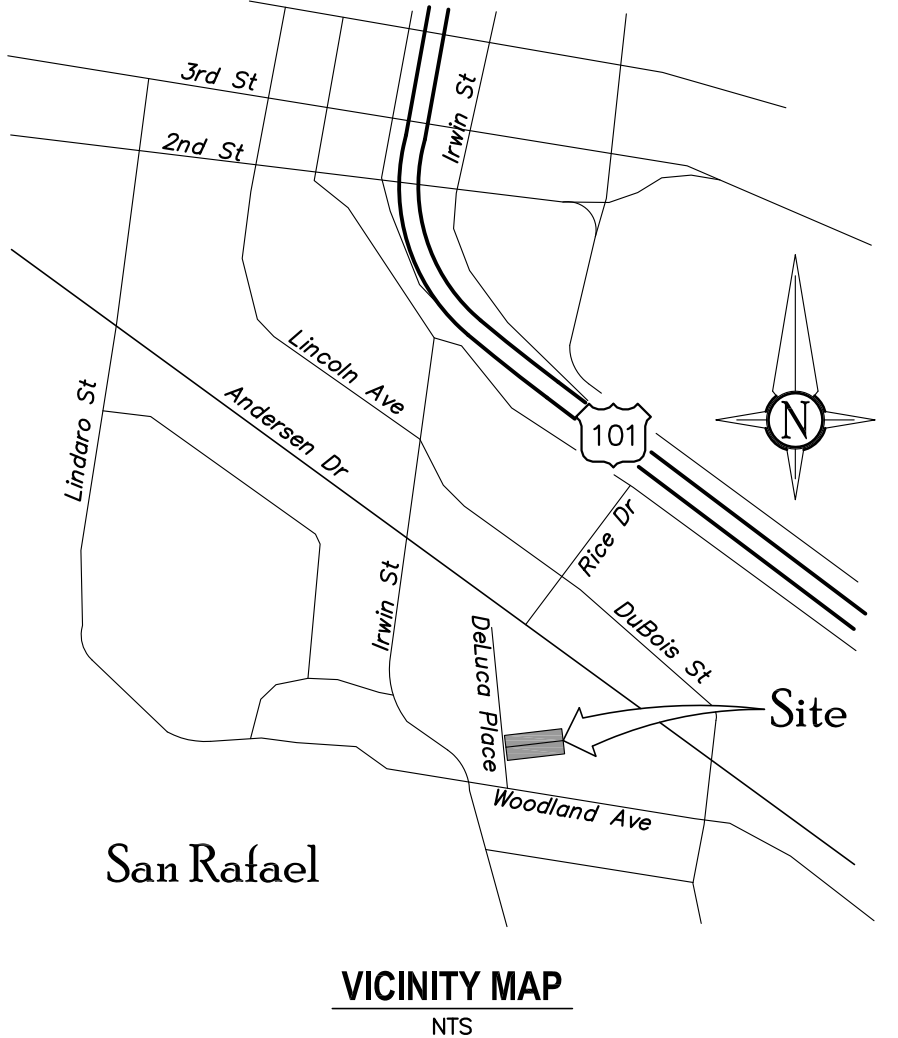
pdfMachine - is a pdf writer that produces quality PDF files with ease! Get yours now! Thank you very much! I can use Acrobat Distiller or the Acrobat PDFWriter but I consider your product a lot easier to use and much preferable to Adobe's. A. Sarras - USA





**NOTES**

- TOPOGRAPHIC INFORMATION SHOWN HERE IS BASED UPON A FIELD SURVEY PERFORMED BY 1031SURVEY, INC. IN APRIL 2020 USING TERRESTRIAL LIDAR.
- VERTICAL DATUM: PRIMARY SMART RAILROAD CONTROL POINT #155 AS SHOWN ON THAT RECORD OF SURVEY FILED IN BOOK 2010, AT PAGE 96 BEING A 2-INCH DISK SET IN TOP OF A BOX CULVERT LEADING TO THE SAN RAFAEL CREEK, LOCATED SOUTHWESTERLY OF THE RAILROAD LYING APPROXIMATELY 320 FEET NORTHEASTERLY OF THE INTERSECTION OF ANDERSEN DRIVE AND DUBOIS STREET, ELEVATION=3.44, NAVD88 DATUM. A LOCAL BENCHMARK BEING A MAGNAIL & SHINER IS SET APPROXIMATELY 10 FEET SOUTHWESTERLY OF THE TRANSFORMER ON DeLUCA PLACE, ELEVATION=2.84, NAVD88 DATUM.
- BOUNDARY IS BASED ON A RESOLUTION AS PREPARED BY RECORD OF SURVEY, CURRENTLY IN THE REVIEW PROCESS AT THE COUNTY SURVEYOR'S OFFICE.
- THE 19 FOOT WIDE RIGHT OF WAY AS STATED FOR CONSTRUCTION AND MAINTENANCE OF A RAILROAD SPUR TRACT MAY HAVE EXTINGUISHED DUE TO THE REMOVAL OF THE RAILROAD TRACT. UNWRITTEN RIGHTS MAY EXIST FOR CONTINUED INGRESS AND EGRESS.
- TREES WERE MEASURED AT BRESTH HEIGHT ABOVE THE GROUND WHERE PRACTICAL. TREE SPECIES ARE LABELED IF IDENTIFIABLE. IT IS RECOMMENDED THAT AN ARBORIST REPORT BE OBTAINED TO DETERMINE TREE SPECIES, HEALTH AND HERITAGE STATUS.
- NO TITLE REPORT WAS REVIEWED IN CONJUNCTION WITH THIS MAPPING. IT IS RECOMMENDED THAT A TITLE REPORT BE RECEIVED FROM THE OWNER TO VERIFY THE EXISTENCE OF ANY ADDITIONAL EASEMENTS OF RECORD OR LOT LINE ADJUSTMENTS THAT MAY HAVE ALTERED THE INFORMATION SHOWN HEREON PRIOR TO ANY DESIGN AND/OR CONSTRUCTION.
- NUMEROUS OBSTRUCTIONS ARE ON SITE THAT OBTAINED THE GROUND IN MULTIPLE LOCATIONS. NO ELEVATION DATA IS AVAILABLE IN AREAS NOTED HEREON AS "GROUND OBTAINED."
- UNDERGROUND UTILITIES WERE PLOTTED USING SURFACE EVIDENCE. UNDERGROUND UTILITIES MAY EXIST THAT ARE NOT SHOWN HEREON. UNDERGROUND UTILITIES MAY NOT BE LOCATED AS SHOWN HEREON. IT IS RECOMMENDED THAT AN UNDERGROUND UTILITY LOCATION COMPANY MARKS THE UTILITIES PRIOR TO ANY CONSTRUCTION. ONLY BY POT-HOLING FOR EXISTING UTILITIES CAN THEIR LOCATION BE KNOWN.
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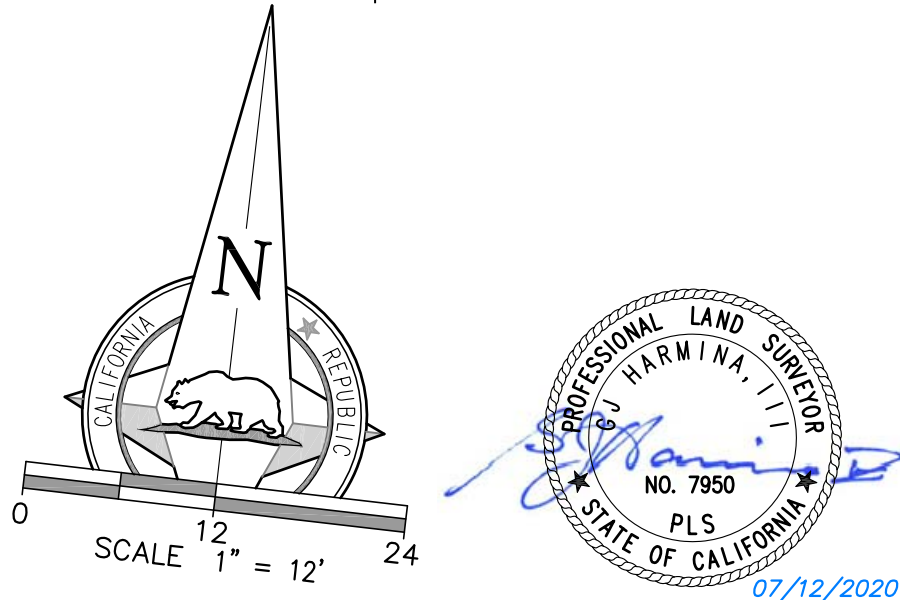
**LEGEND**

[Symbol]	BUILDING
[Symbol]	FENCE, CHAIN LINK
[Symbol]	OVERHEAD UTILITIES
[Symbol]	WATER SERVICE
[Symbol]	CONCRETE
[Symbol]	DROP INLET
[Symbol]	ELECTRIC MAIN
[Symbol]	GAS METER
[Symbol]	TEMPORARY BENCHMARK
[Symbol]	TREE, TO SCALE, WITH DRIPLINE, DIAMETER & TYPE
[Symbol]	WATER METER
[Symbol]	WATER VALVE
[Symbol]	FIRE HYDRANT

**FLOOD INFORMATION**  
 PARCELS ARE WITHIN THE FEMA FLOOD HAZARD AREA, ZONE AE WITH BASE FLOOD ELEVATION (BFE) 10 AS SHOWN ON THE FLOOD INSURANCE RATE MAP NO. 0604100459F, DATED MARCH 16, 2016

**ABBREVIATIONS**

AC	ASPHALTIC CONCRETE
APN	ASSESSORS PARCEL NUMBER
C	COMMUNICATIONS
CY	CYPRESS, ITALIAN
CO	SANITARY SEWER CLEAN OUT
CONC	CONCRETE
EM	ELECTRIC METER
G	GAS
HVE	HIGH VOLTAGE ELECTRIC VAULT
JP	JOINT POLE
MCR	MARIN COUNTY RECORDS
OH	OVERHEAD UTILITY LINES
PP	POWER POLE
NTS	NOT TO SCALE
T	TREE
TBM	TEMPORARY BENCHMARK
TRFM	TRANSFORMER
W	WATER
WSO	WATER SHUT OFF



LANDS OF BARGER TRUST  
 10 & 12 DeLUCA PLACE  
 APN 013-081-03 & 04  
 SAN RAFAEL, MARIN COUNTY, CALIFORNIA

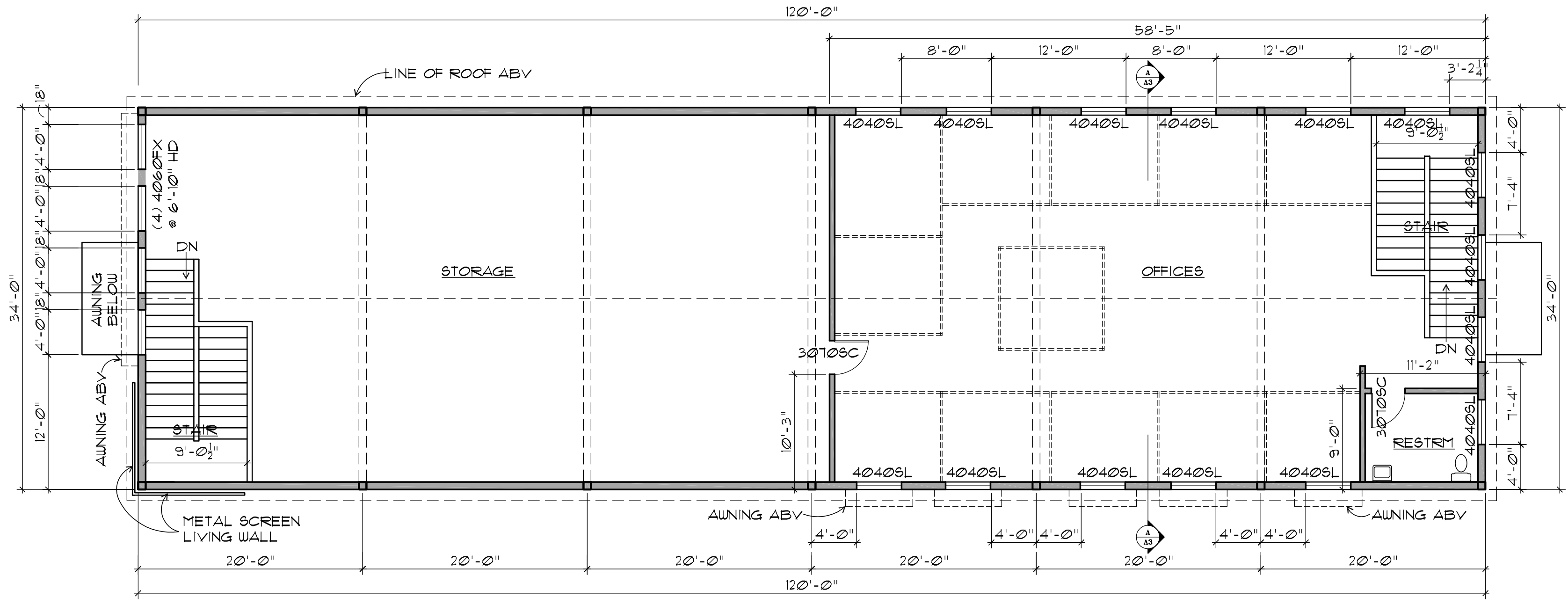
**Topographic Map**  
**1031Survey, Inc.**  
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 1857 Rainier Circle, Petaluma, California 94954  
 415-827-6370 www.1031survey.com

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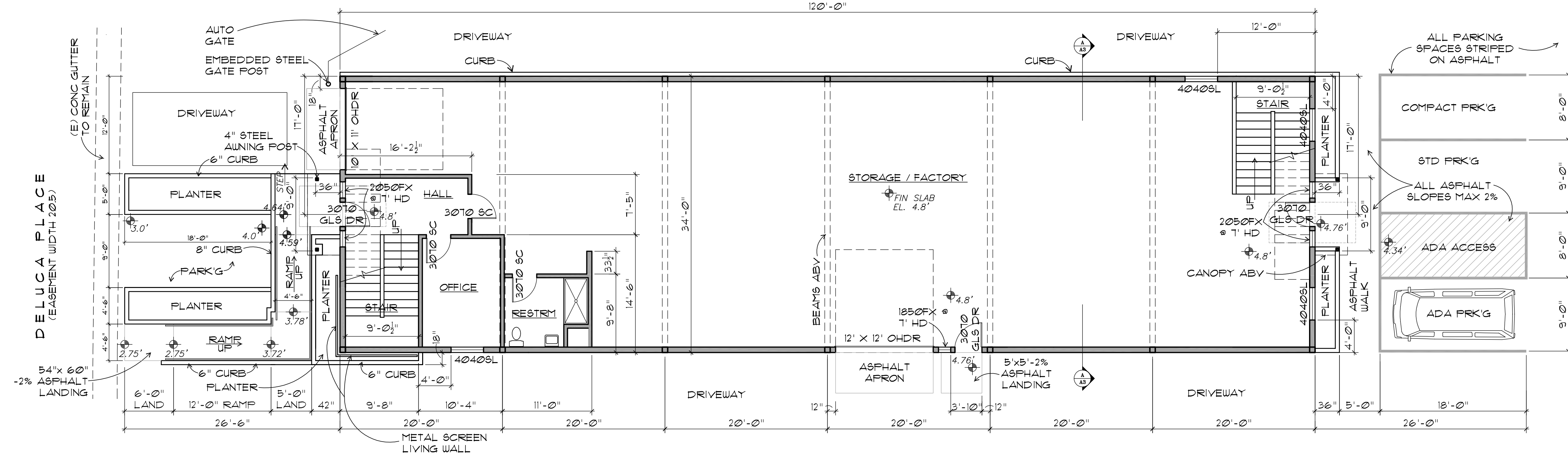
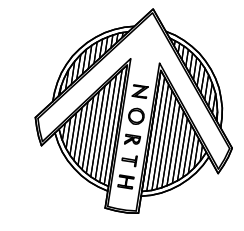
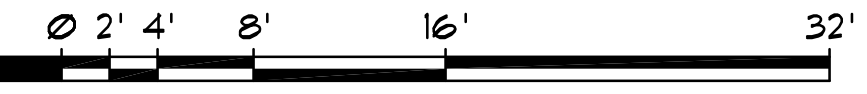
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REVISIONS	DATE	BY



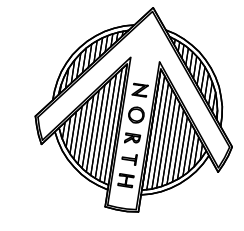
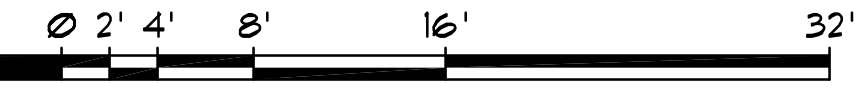
NEW SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"

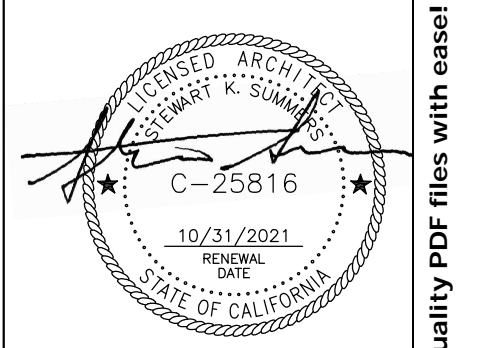


NEW FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"



New Steel Building for:  
**Allied Heating & AC Company, Inc.**  
 16 Deluca Place  
 San Rafael, CA 94901  
 APN#: 013-081-04



NEW FLOOR PLANS

REVIEW THE DRAWINGS CAREFULLY. DO NOT SCALE THE DRAWINGS. ANY DISCREPANCIES IN DIMENSIONS AND DETAILS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF STEWART K. SUMMERS, ARCHITECT

DATE: 01/28/2021  
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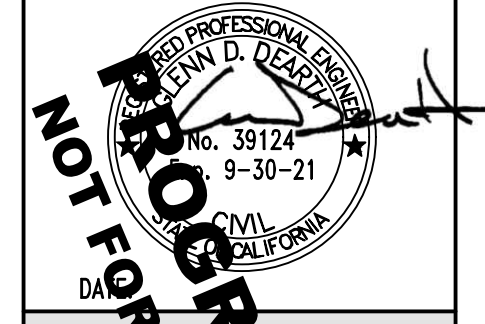












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ALLIED HEATING & A.C.  
NEW OFFICE/WAREHOUSE  
APN 013-081-04  
10 & 12 DELUCA PLACE  
SAN RAFAEL, CALIFORNIA

REVISIONS		
NO.	DATE	DESCRIPTION
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DESIGNED BY: G. DEARTH  
DRAWN BY: E. HAYDEN  
APPROVED BY:  
SCALE: NA  
DATE: 2/11/2021 PROJECT NO. 651.001

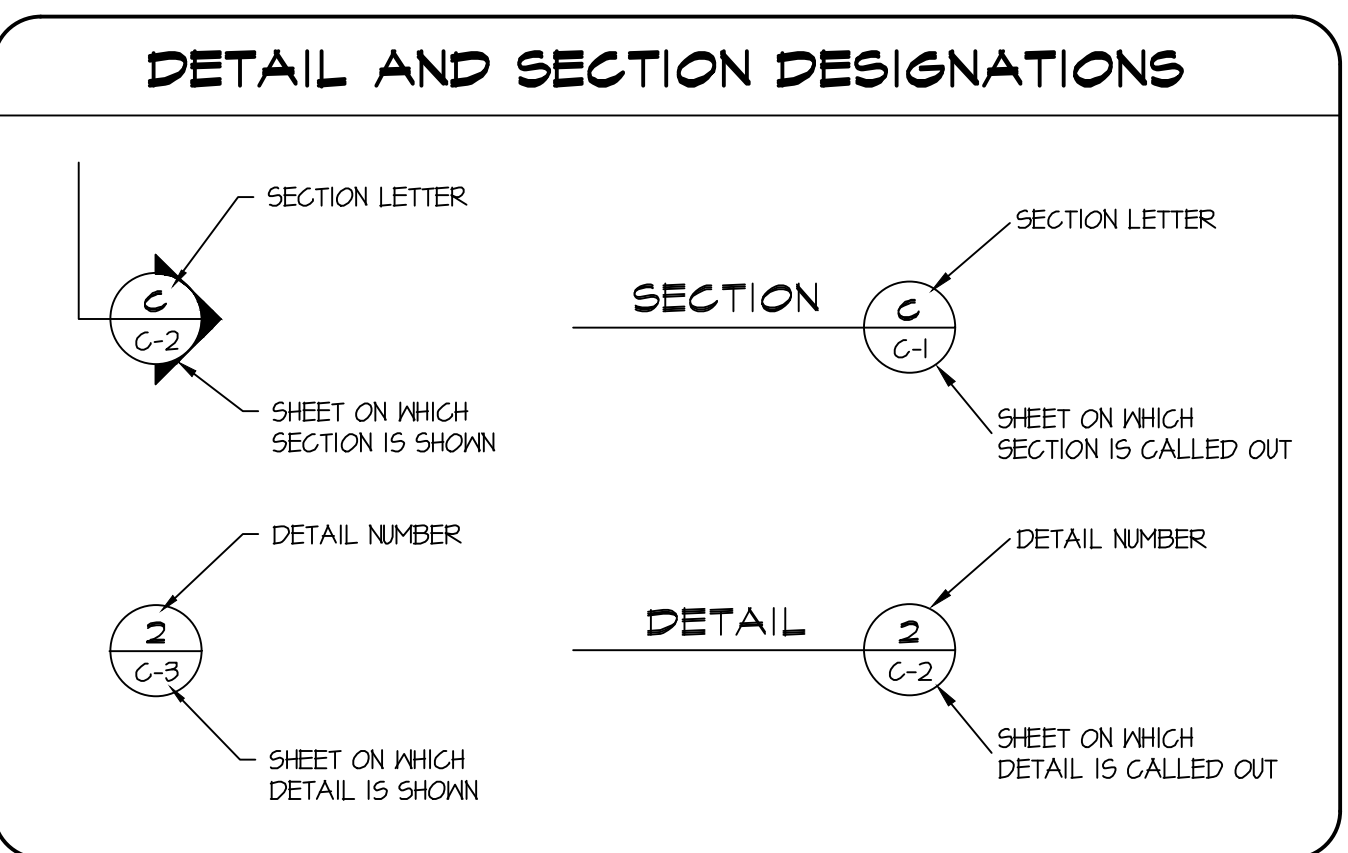
**COVER SHEET**  
REVISION: 0  
SHEET NO. 1 OF 3  
DRAWING: C-1

INDEX OF DRAWINGS	
DRAWING NO.	DESCRIPTION
C-1	COVER SHEET
C-2	CONCEPTUAL GRADING AND DRAINAGE PLAN
C-3	DETAILS

ABBREVIATIONS	
AB	AGGREGATE BASE
AC	ASPHALT CONCRETE
AD	AREA DRAIN
ADA	AMERICANS WITH DISABILITIES ACT
APN	ASSESSOR'S PARCEL NUMBER
APPROX	APPROXIMATE
ASTM	AM. SOCIETY OF TESTING MATERIALS
BM	BENCH MARK
BPD	BACKWATER PREVENTION DEVICE
CMP	CORRUGATED METAL PIPE
CO	CLEANOUT
COM	COMMUNICATION
COM/OH	COMMUNICATION OVERHEAD
COMMUG	COMMUNICATION UNDERGROUND
CONC	CONCRETE
CY	CUBIC YARDS
DI	DRAINAGE INLET
DIA	DIAMETER
E	ELECTRICAL
E/OH	ELECTRICAL OVERHEAD
E/UG	ELECTRICAL UNDERGROUND
EG	EXISTING GROUND
EL or ELEV	ELEVATION
EX	EXISTING
FD	FLOOR DRAIN
FF	FINISHED FLOOR ELEVATION
FL	FLOW LINE
Fg	FINISHED GRADE ELEVATION
FT	FEET or FOOT
G	NATURAL GAS
GALV	GALVANIZED
GM	GAS METER
GPM	GALLONS PER MINUTE
H	HEIGHT OF EXPOSED WALL FACE
HB	HOSE BIB
HDPE	HIGH DENSITY POLYETHYLENE PIPE
HP	HIGH POINT
INV	INVERT ELEVATION
JP	JOINT UTILITY POLE
JT	JOINT UTILITY TRENCH
LLFF	LOWER LEVEL FINISHED FLOOR ELEV
LPFF	LOW POINT FINISHED FLOOR ELEV
MAX	MAXIMUM
MH	MANHOLE
MIN	MINIMUM
MLFF	MAIN LEVEL FINISHED FLOOR ELEV
MMWD	MARIN MUNICIPAL WATER DISTRICT
OH	OVERHEAD
Pg+E	PACIFIC GAS AND ELECTRIC
PVC	POLYVINYL CHLORIDE PIPE
R	RADIUS
RIM	ELEV. AT MH COVER OR DI GRATE
RL	ROOF LEADER
ROW	RIGHT-OF-WAY
S	SLOPE
SGH	SCHEDULE
SIM	SIMILAR
SDMH	STORM DRAIN MANHOLE
SS	SANITARY SEWER
SSMH	SANITARY SEWER MANHOLE
SDR	STANDARD DIMENSION RATIO
TC	TOP OF CURB ELEVATION
TW	TOP OF WALL ELEVATION
TYP	TYPICAL
UCS	UNIFORM CONSTRUCTION STANDARDS, MARIN COUNTY
ULFF	UPPER LEVEL FINISHED FLOOR ELEV
VB	VALVE BOX
W	WATER
WM	WATER METER
WV	WATER VALVE

STORMWATER PLAN SUMMARY		
	EXISTING SITE	PROPOSED SITE DEVELOPMENT PLAN
IMPERVIOUS SURFACES	20,483 SF	19,550 SF
CONCRETE PAVERS (PERVIOUS)	0 SF	0 SF
LANDSCAPE (PERVIOUS)	175 SF	1,108 SF
TOTAL LOT AREA	20,658 SF	20,658 SF

- STORMWATER NOTES:**
- IMPERVIOUS SURFACES INCLUDE ROOF, DRIVEWAY AND PARKING. FOR DRAINAGE PURPOSES, IMPERVIOUS AREA INCLUDES ROOF EAVE OVERHANG AREA.
  - NEW OR REPLACEMENT IMPERVIOUS AREA IS 16,899 SF.



- UTILITY CONNECTION NOTES:**
- THE PROPOSED ALIGNMENT FOR UTILITY SERVICE CONNECTIONS HAS NOT BEEN APPROVED BY SERVICE PROVIDERS. CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH UTILITY SERVICE PROVIDERS TO DETERMINE UTILITY ROUTES AND REQUIRED SERVICE UPGRADE DETAILS. REVIEW ALL PROPOSED UTILITY ROUTES AND UPGRADE DETAILS WITH THE ENGINEER PRIOR TO CONSTRUCTION.
  - UTILITY SERVICES TO THE PROJECT SITE ARE PROVIDED BY:  
WATER: MARIN MUNICIPAL WATER DISTRICT  
SEWER: SAN RAFAEL DEPARTMENT OF PUBLIC WORKS  
ELECTRIC POWER: PACIFIC GAS AND ELECTRIC (PG&E)  
GAS: PACIFIC GAS AND ELECTRIC (PG&E)  
TELEPHONE: AT&T  
CABLE: COMCAST
  - INSTALL NEW WATER SERVICE PIPE BETWEEN THE EXISTING WATER METER AND THE HOUSE. SIZE THE WATER SERVICE PIPE FOR THE REQUIRED FIRE SPRINKLER FLOW RATE. REPLACE THE WATER METER IF IT HAS INADEQUATE CAPACITY FOR THE MAXIMUM FIRE SPRINKLER FLOW RATE.
  - CONDUCT A VIDEO INSPECTION OF THE EXISTING SEWER LATERAL. REPAIR OR REPLACE THE LATERAL IF THE INSPECTION RESULTS SHOW THAT THE PIPE IS NOT IN SATISFACTORY CONDITION OR IF THE LATERAL DOES NOT COMPLY WITH CURRENT ROSS VALLEY SANITARY DISTRICT NO. 1 STANDARDS.

ESTIMATED EARTHWORK QUANTITIES	
EXCAVATION	120 CY
FILL	0 CY
EXCESS	120 CY
MAX. EXCAVATION DEPTH	2 FT
MAX. FILL DEPTH	0 FT
DISTURBED AREA	0.41 AC

- EARTHWORK NOTES:**
- QUANTITIES ARE "IN-PLACE" ESTIMATES AND DO NOT INCLUDE AN ALLOWANCE FOR SHRINK OR SWELL. ESTIMATES ARE FOR PERMITTING PURPOSES ONLY. CONTRACTOR IS RESPONSIBLE FOR INDEPENDENTLY DETERMINING QUANTITIES FOR CONSTRUCTION PURPOSES.
  - LEGALLY DISPOSE OF EXCESS MATERIAL OFF-SITE.
  - SITE GRADING IS NOT PERMITTED BETWEEN OCTOBER 15 AND APRIL 15 UNLESS PERMITTED IN WRITING BY THE BUILDING OFFICIAL/ DIRECTOR OF PUBLIC WORKS.

- GREEN BUILDING STANDARDS**
- THE GRADING AND DRAINAGE PLAN SHOWN ON THE DRAWINGS COMPLIES WITH CALIFORNIA GREEN BUILDING CODE STANDARDS SECTION 4.106.3 REQUIRING MANAGEMENT OF SURFACE WATER FLOWS TO KEEP WATER FROM ENTERING BUILDINGS.
  - THE CONTRACTOR IS RESPONSIBLE FOR MANAGING STORMWATER DRAINAGE DURING CONSTRUCTION TO PREVENT FLOODING OF ADJACENT PROPERTY, PREVENT EROSION AND RETAIN RUNOFF ON THE SITE AS REQUIRED BY CALIFORNIA GREEN BUILDING CODE STANDARDS SECTION 4.106.2.

LEGEND				
EX NEW	ASPHALT PAVING (IMPERVIOUS)	PROPERTY LINE	EX NEW	CONC RETAINING WALL
CONCRETE PAVING (IMPERVIOUS)	EASEMENT LINE	CONC RETAINING WALL	SUBDRAIN (PERFORATED PIPE)	
NEW FLAGSTONE PAVING (IMPERVIOUS)	EX WOODEN RET WALL	STORM DRAIN PIPE	ELECTRICAL OVERHEAD LINE	
NEW CONCRETE PAVERS (SEMI-PERVIOUS)	DRAINAGE DITCH/ BIO-SWALE	ELECTRICAL UNDERGROUND	COMMUNICATION OVERHEAD LINE	
NEW WOOD DECK (PERVIOUS)	UNDISTURBED SOIL	COMMUNICATION UNDERGROUND	JOINT TRENCH	
PERVIOUS PAVING	COMPACTED FILL MATERIAL	SANITARY SEWER	WATER LINE	
PLANTED, LANDSCAPED AREA	GEOTEXTILE	GAS LINE	EDGE OF ROAD	
GRAVEL OR DECOMPOSED GRANITE (PERVIOUS)	EROSION CONTROL BLANKET	ROOF EAVE	EX FENCE	
EROSION CONTROL BLANKET	TURF REINFORCING MAT	NEW WIRE FENCE	NEW WOOD FENCE	
BUILDING ADDITION	STRAW WATTLE	EXISTING GRADE ELEVATION CONTOUR	FINISHED GRADE ELEVATION CONTOUR	
AD +	RUNOFF FLOW DIRECTION	FINISHED GRADE ELEVATION CONTOUR	REMOVE EX TREE	
OR	SWALE FLOW DIRECTION	855 x		
RL	STORMWATER LEVEL SPREADER			
FIRE HYDRANT	BUBBLE-UP DRAINAGE EMITTER			
JOINT POLE	POP-UP DRAINAGE EMITTER			
GAS METER, ELECTRIC METER	SUBDRAIN END CAP			
WATER METER	SUBDRAIN OR STORMWATER CLEANOUT			
EX TREE	SUBDRAIN OUTLET			
EX TREE DRIPLINE	HIDDEN FOUNDATION OR RETAINING WALL			
	TREE PROTECTION FENCING			

- GENERAL NOTES:**
- SITE SURVEY AND TOPOGRAPHIC BASE MAP PREPARED BY HIGH DEFINITION SURVEYING 1051 RAINIER CIRCLE, PETALUMA, CALIFORNIA 94454. 415-821-6370 www.1031survey.com. DATED 2020/07/12. VERTICAL DATUM: PRIMARY SMART RAILROAD CONTROL POINT #155 AS SHOWN ON THAT RECORD OF SURVEY FILED IN BOOK 2010, AT PAGE 46 BEING A 2-INCH DISK SET IN TOP OF A BOX CULVERT LEADING TO THE SAN RAFAEL CREEK, LOCATED SOUTHWESTERLY OF THE RAILROAD LYING APPROXIMATELY 320 FEET NORTHEASTERLY OF THE INTERSECTION OF ANDERSEN DRIVE AND DUBOIS STREET, ELEVATION=3.44, NAVD88 DATUM. A LOCAL BENCHMARK BEING A MAGNAIL # SHINER IS SET APPROXIMATELY 10 FEET SOUTHWESTERLY OF THE TRANSFORMER ON DELUCA PLACE, ELEVATION=2.84, NAVD88 DATUM. BOUNDARY IS BASED ON A RESOLUTION AS PREPARED BY RECORD OF SURVEY, CURRENTLY IN THE REVIEW PROCESS AT THE COUNTY SURVEYOR'S OFFICE.
  - THE LOCATION OF EXISTING UNDERGROUND UTILITIES OR IMPROVEMENTS HAS NOT BEEN VERIFIED BY THE ENGINEER AND NO GUARANTEE IS MADE AS TO THE ACCURACY OR COMPLETENESS OF INFORMATION SHOWN ON THE DRAWINGS. THE CONSTRUCTION CONTRACTOR MUST NOTIFY UTILITY COMPANIES AT LEAST TWO WORKING DAYS BEFORE EXCAVATION AND REQUEST FIELD LOCATION OF ALL UNDERGROUND UTILITIES. CALL UNDERGROUND SERVICE ALERT (USA) AT 811 OR 800-221-2600. ANY UTILITIES DAMAGED DURING CONSTRUCTION SHALL BE COMPLETELY RESTORED TO THE SATISFACTION OF THE LOCAL UTILITY ENGINEER, AT THE SOLE EXPENSE OF THE CONTRACTOR. ANY PROPERTY DAMAGE OR DAMAGE TO CONSTRUCTED FACILITIES SHALL BE REPAIRED TO THE SATISFACTION OF THE ENGINEER AND OWNER AT THE SOLE EXPENSE OF THE CONTRACTOR.

**EROSION CONTROL PLAN**

AN APPROVED EROSION CONTROL PLAN IS REQUIRED FOR ALL PROJECTS INVOLVING EXCAVATION, DRILLING, OTHER EARTHWORK OR EXPOSED BARE SOIL. THE PLAN MUST BE SUBMITTED TO THE TOWN ENGINEER AND APPROVED PRIOR TO STARTING WORK. IMPLEMENT EROSION CONTROL MEASURES YEAR ROUND AS APPROPRIATE. REGULARLY MONITOR EROSION CONTROL MEASURES AND PROMPTLY REPAIR OR REPLACE ANY DAMAGED OR INEFFECTIVE EROSION CONTROL MEASURES AS REQUIRED BY THE EROSION CONTROL PLAN. A SIGNED COPY OF THE EROSION CONTROL PLAN MUST BE POSTED AT THE WORK SITE.

**DRAINAGE CONSTRUCTION REVIEW**

THE CONTRACTOR SHALL CONTACT THE ENGINEER AND REQUEST REVIEW OF ALL SUBSURFACE DRAINAGE PIPING AND STORMWATER DRAINAGE PIPING AT LEAST 2 DAYS BEFORE PLACING BACKFILL MATERIAL.

**FOUNDATION ELEVATIONS**

BUILDING FOOTING, GRADE BEAM AND FOUNDATION WALL ELEVATIONS ARE SHOWN ON THE ARCHITECTURAL AND STRUCTURAL DRAWINGS. CONTACT THE ENGINEER IF ACTUAL SITE ELEVATIONS DIFFER FROM THE TOPOGRAPHY SHOWN ON THE GRADING PLAN. CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL FOUNDATION ELEVATIONS WITH THE GRADING PLAN, ARCHITECTURAL PLANS, STRUCTURAL PLANS AND LANDSCAPE PLANS. CONTACT THE ENGINEER AND ARCHITECT TO RESOLVE ANY CONFLICTS BETWEEN FOUNDATION ELEVATIONS AND THE SITE TOPOGRAPHY.



**EXISTING UTILITY LOCATION**

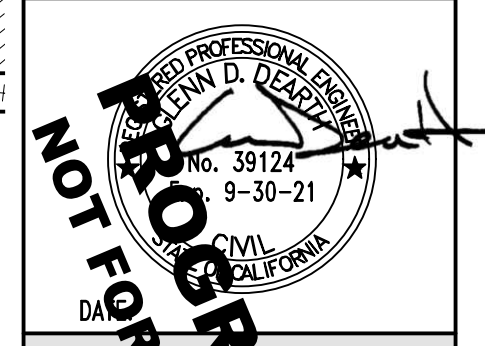
CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL EXISTING UTILITIES PRIOR TO STARTING WORK. CONTACT THE ENGINEER TO REVIEW UTILITY LOCATION AND ANY CONFLICTS WITH THE PROPOSED WORK PRIOR TO STARTING WORK. UTILITY LOCATIONS SHOWN ON THIS DRAWING ARE ASSUMED LOCATIONS BASED ON VISIBLE FEATURES AND MAY NOT INCLUDE ALL EXISTING UTILITIES.



MATCH LINE - SHEET C-3

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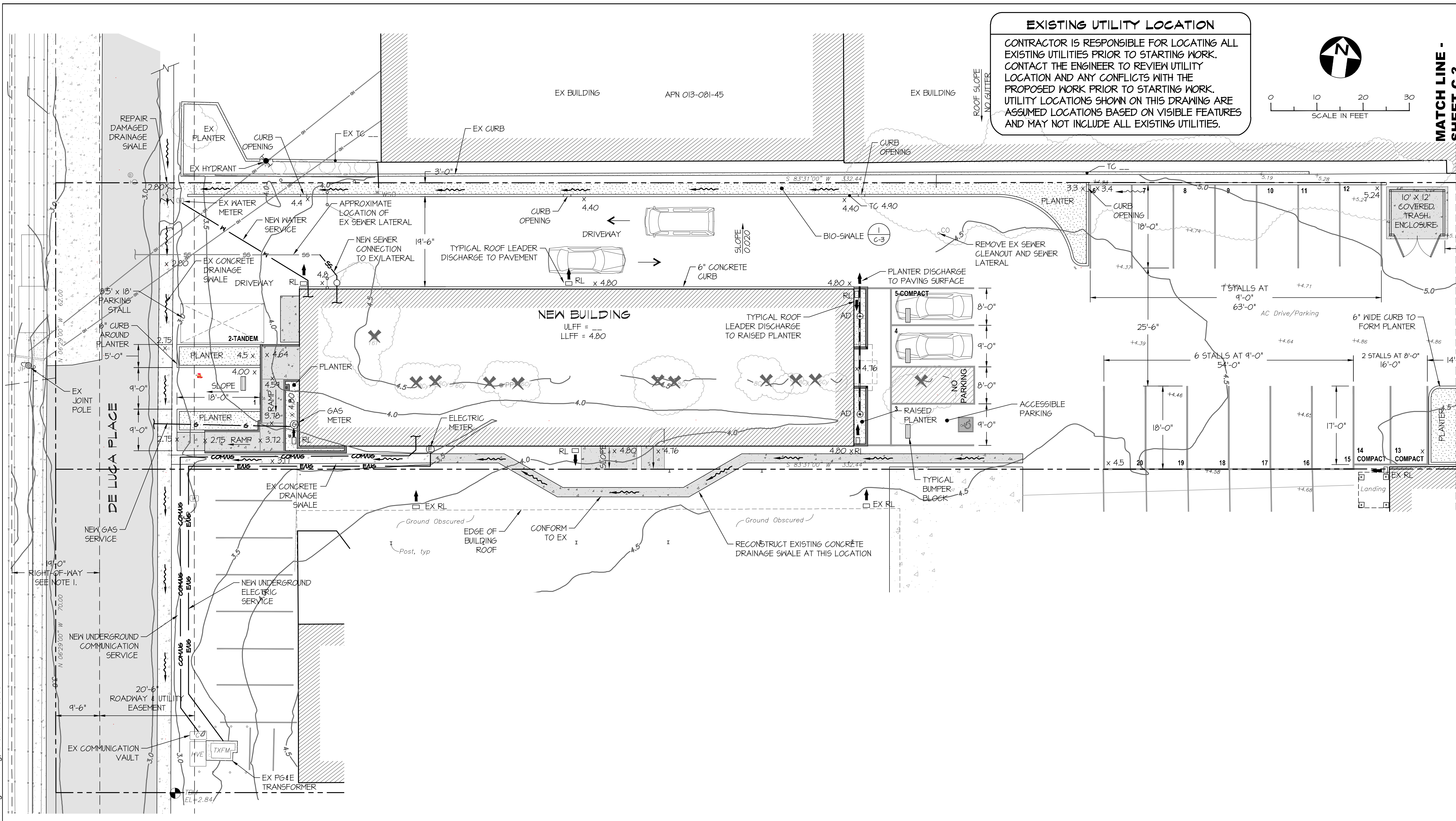
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 10 & 12 DELUCA PLACE  
 SAN RAFAEL, CALIFORNIA

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DESIGNED BY: G. DEARTH  
 DRAWN BY: E. HAYDEN  
 APPROVED BY:  
 SCALE: 1" = 10'-0"  
 DATE: 2/17/2021  
 PROJECT NO.: 651.001

**CONCEPTUAL GRADING AND DRAINAGE PLAN**

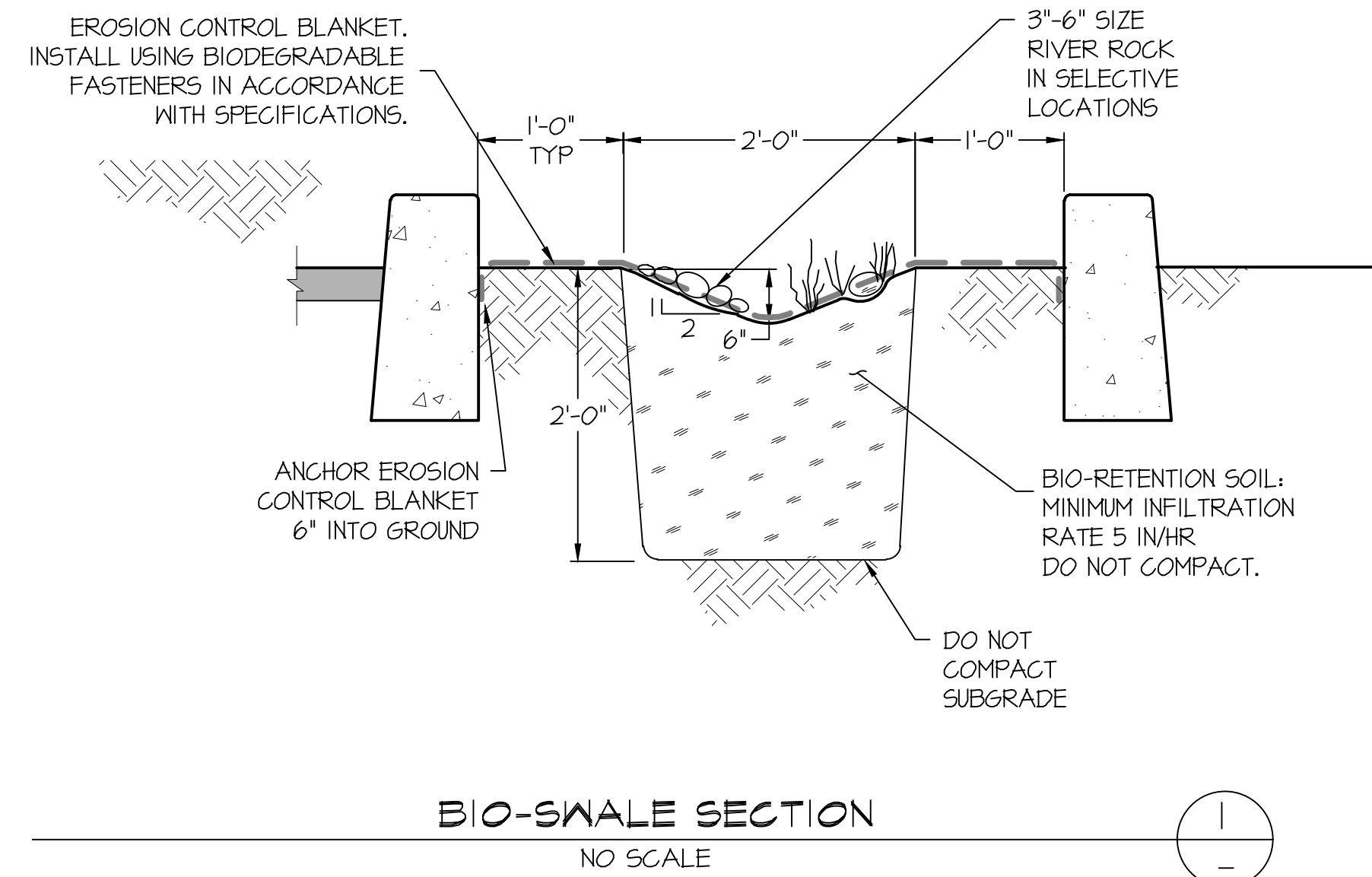
REVISION: 0  
 SHEET NO.: 2 OF 3  
 DRAWING: C-2



- NOTES:**
- THE 14 FOOT WIDE RIGHT OF WAY AS STATED FOR CONSTRUCTION AND MAINTENANCE OF AV RAILROAD SPUR TRACT MAY HAVE EXTINGUISHED DUE TO THE REMOVAL OF THE RAILROAD TRACT. UNWRITTEN RIGHTS MAY EXIST FOR CONTINUED INGRESS AND EGRESS.

C:\CAD\Allied Heating, San Rafael (651.001)\Design\Allied Heating Drainage Plan.dwg, 2/19/2021 12:39:08 PM





**DESIGN REVIEW NOTES**

**STORMWATER DRAINAGE PLAN**

1. THE CONCEPTUAL STORMWATER DRAINAGE PLAN IS DESIGNED TO COMPLY WITH THE CITY REQUIREMENTS FOR ON-SITE STORMWATER MANAGEMENT AND CONTROL OF STORMWATER RUNOFF TO MINIMIZE OFF-SITE IMPACTS AND IMPROVE STORMWATER QUALITY.
2. THE EXISTING DEVELOPMENT ON THE SITE TOTALS 20,483 SQUARE FEET (SQ FT) OF IMPERVIOUS AREA. THIS INCLUDES ROOF AREA, IMPERVIOUS PARKING LOT AREA AND THE STREET. THE TOTAL LOT AREA IS 20,650 SQ FT. THE EXISTING IMPERVIOUS AREA AMOUNTS TO 99 PERCENT OF THE TOTAL LOT AREA.
3. THE PROPOSED DEVELOPMENT PLAN REMOVES 849 SQ FT OF EXISTING IMPERVIOUS AREA, GIVING A TOTAL OF 19,634 SQ FT OF IMPERVIOUS AREA. THE PROPOSED TOTAL IMPERVIOUS AREA AMOUNTS TO 95 PERCENT OF THE LOT AREA.
4. RUNOFF FROM IMPERVIOUS AREA WILL BE DIRECTED TO PLANTERS IN THE PARKING LOT AND A BIO-SWALE ALONG THE NORTH SIDE OF THE MAIN DRIVEWAY. THE IMPERVIOUS AREA DIRECTED TO THE BIO-SWALE AND PLANTERS INCLUDES THE ENTIRE ROOF AREA OF THE BUILDING AND A LARGE PART OF THE PARKING LOT.

**EROSION CONTROL**

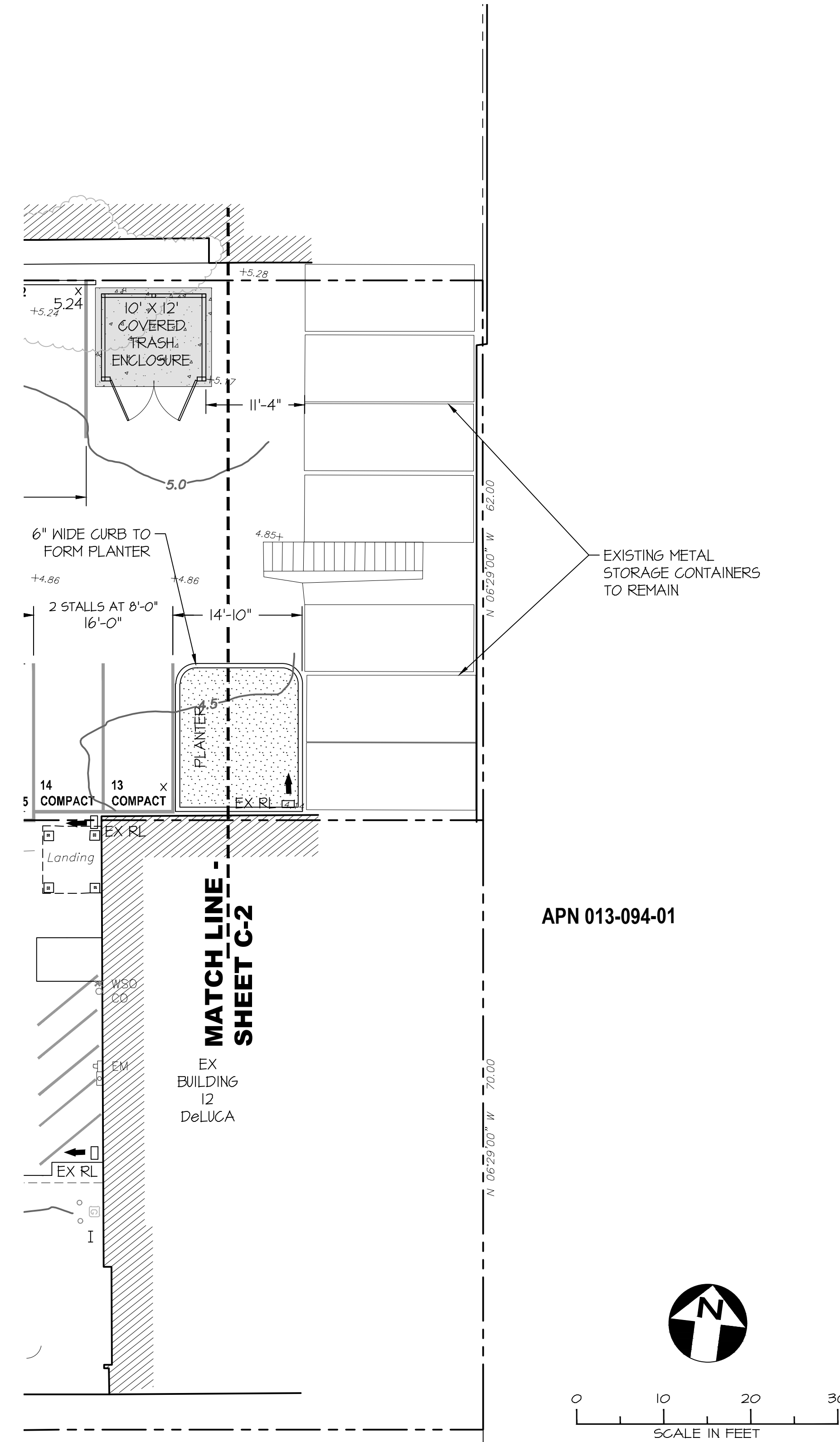
1. EROSION CONTROL MEASURES WILL BE INCORPORATED INTO THE PROJECT DURING CONSTRUCTION AND IMPLEMENTED BY THE CONSTRUCTION CONTRACTOR. STRAW WATTLES WILL BE PLACED AROUND THE DOWN-SLOPE PERIMETER OF THE DISTURBED AREA. EXCAVATED AREAS AND SOIL STOCKPILES WILL BE COVERED WITH PLASTIC TARPS TO MINIMIZE EROSION. AREAS DISTURBED DURING CONSTRUCTION WILL BE RESTORED BY SEEDING AND INSTALLATION OF EROSION CONTROL BLANKET AND STRAW WATTLES.
2. PERMANENT EROSION CONTROL WILL BE PROVIDED BY LANDSCAPING THE BIO-SWALE AND PLANTERS AFTER COMPLETION OF THE WORK.

**STORMWATER POLLUTION PREVENTION**

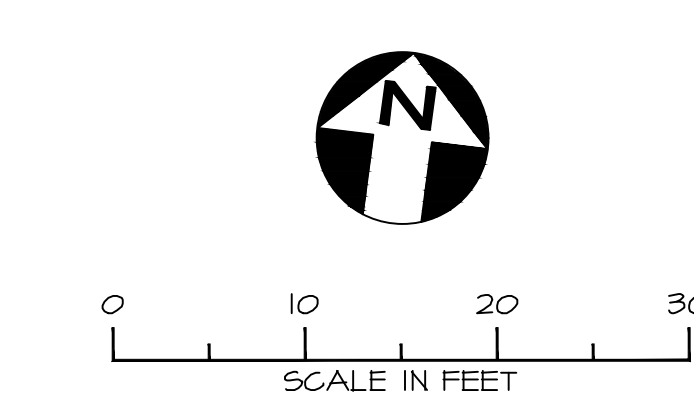
1. SPECIFICATIONS WILL BE INCLUDED ON THE PROJECT DRAWINGS OUTLINING CONSTRUCTION PRACTICES THAT MUST BE FOLLOWED TO PREVENT STORMWATER POLLUTION. CONSTRUCTION WORKERS WILL BE ADVISED OF REQUIRED CONSTRUCTION MEASURES FOR AVOIDING STORMWATER POLLUTION. THESE MEASURES WILL INCLUDE PROCEDURES FOR MATERIAL STORAGE, USE AND DISPOSAL OF HAZARDOUS MATERIALS (PAINT, SOLVENTS, ADHESIVES, ETC.), WASTE DISPOSAL PROCEDURES, CONCRETE WASHOUT REQUIREMENTS AND OTHER CONSTRUCTION PRACTICES.

**UTILITY PLAN**

1. WATER: THE EXISTING WATER METER WILL BE REPLACED WITH AN APPROPRIATELY SIZED METER FOR THE NEW HOUSE. A NEW PIPE WILL BE INSTALLED FROM THE METER TO THE BUILDING FOLLOWING THE ALIGNMENT SHOWN ON DRAWING C-2. ALL WATER SYSTEM IMPROVEMENTS WILL BE COMPLETED IN CONFORMANCE WITH MARIN MUNICIPAL WATER DISTRICT STANDARDS.
2. ELECTRIC POWER: THE EXISTING OVERHEAD ELECTRIC SERVICE AND METER WILL BE RELOCATED UNDERGROUND AS SHOWN ON DRAWING C-2. ALL ELECTRIC POWER SYSTEM IMPROVEMENTS WILL BE COORDINATED WITH PACIFIC GAS AND ELECTRIC (PG&E) AND COMPLETED IN CONFORMANCE WITH PG&E STANDARDS.
3. COMMUNICATION: THE EXISTING OVERHEAD PHONE AND CABLE SERVICE WILL BE RELOCATED UNDERGROUND AS SHOWN ON DRAWING C-2. ALL COMMUNICATION SYSTEM IMPROVEMENTS WILL BE COORDINATED WITH AT&T AND COMCAST. THE WORK WILL BE COMPLETED IN CONFORMANCE WITH THEIR STANDARDS.
4. NATURAL GAS: THE EXISTING GAS METER AND SERVICE LINE WILL BE RELOCATED AS SHOWN ON DRAWING C-2. ALL GAS SYSTEM IMPROVEMENTS WILL BE COORDINATED WITH PACIFIC GAS AND ELECTRIC (PG&E) AND COMPLETED IN CONFORMANCE WITH PG&E STANDARDS.
5. SANITARY SEWER: A VIDEO INSPECTION OF THE EXISTING SEWER LATERAL WILL BE CONDUCTED. IF THE LATERAL DOES NOT PASS INSPECTION, IT WILL BE REPLACED WITH A NEW LATERAL AND BACK FLOW PREVENTION DEVICE CONFORMING TO ROSS VALLEY SANITARY DISTRICT STANDARDS AS SHOWN ON DRAWING C-2. MOST OF THE EXISTING LATERAL BENEATH THE EXISTING BUILDING WILL BE REMOVED AND A SHORT SECTION OF NEW LATERAL CONSTRUCTED TO CONNECT THE NEW BUILDING TO THE EXISTING LATERAL AS SHOWN ON DRAWING C-2.

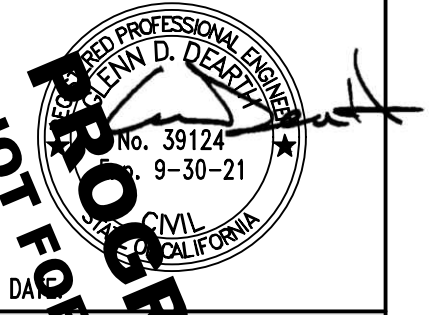


APN 013-094-01



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SAN RAFAEL, CA 94901  
(415) 454-5232



ISSUED FOR REVIEW  
NOT FOR CONSTRUCTION

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ALLIED HEATING & A.C.  
NEW OFFICE/WAREHOUSE  
APN 013-081-04  
10 & 12 DELUCA PLACE  
SAN RAFAEL, CALIFORNIA

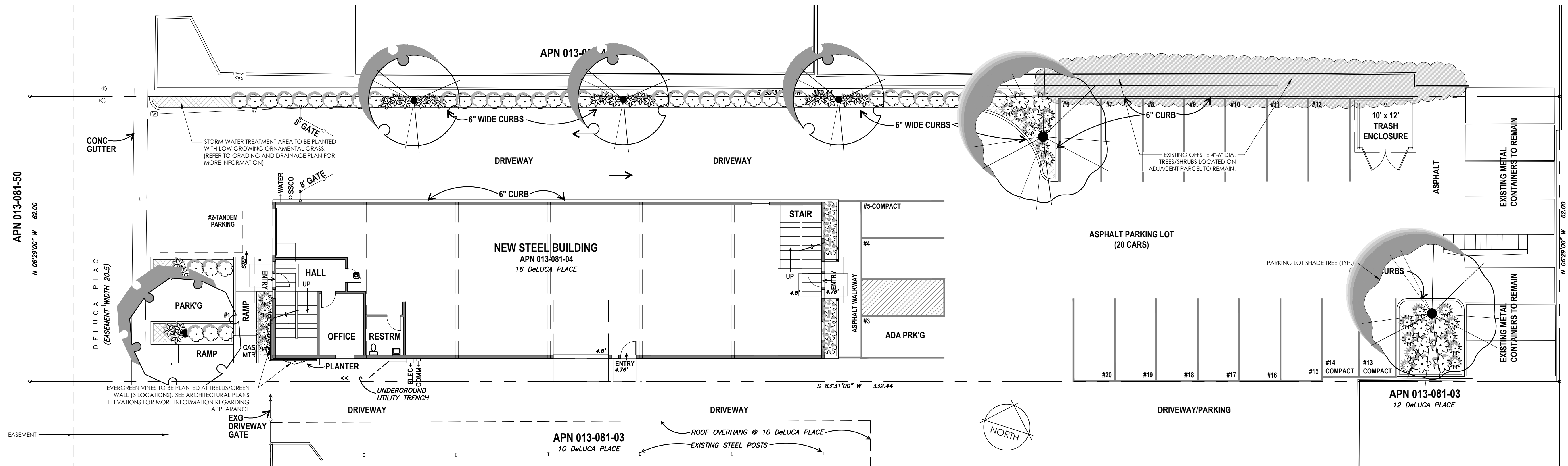
REVISIONS		
NO.	DATE	DESCRIPTION
△	2/17/21	ISSUED FOR REVIEW
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DESIGNED BY: G. DEARTH  
DRAWN BY: E. HAYDEN  
APPROVED BY:  
SCALE: AS SHOWN  
DATE: 2/17/2021  
PROJECT NO.: 651.001

**DETAILS**

REVISION: 0  
SHEET NO.: 3 OF 3  
DRAWING: C-3



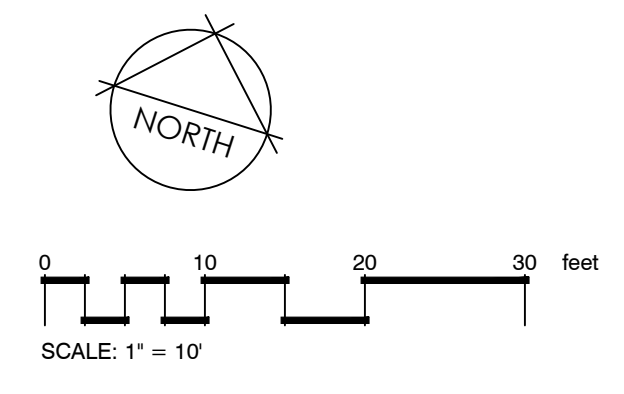


**PLANT SCHEDULE**

TYPES	QTY	BOTANICAL / COMMON NAME	CONT	WUCOLS	
	2	Acer rubrum 'October Glory' / October Glory Red Maple	15 gal.	Moderate	
	1	Arbutus x 'Marina' / Marina Strawberry Tree Standard	15 gal.	Low	
	3	Cercis canadensis / Eastern Redbud Multi-trunk	15 gal.	Low	
SHRUBS	QTY	BOTANICAL / COMMON NAME	CONT	WUCOLS	
	8	Agave x 'Blue Flame' / Blue Flame Agave	5 gal.	Low	
	24	Phormium tenax 'Tom Thumb' / Dwarf Green Flax	5 gal.	Low	
	9	Phormium x 'Dark Delight' / Dark Delight Purple Flax	5 gal.	Low	
	45	Rhaphiolepis indica 'Ballerina' / Ballerina Indian Hawthorn	5 gal.	Low	
	22	Yucca x 'Bright Star' / Variegated Spanish Dagger	5 gal.	Low	
VINES/ESPALEERS	QTY	BOTANICAL / COMMON NAME	CONT	WUCOLS	
	3	Lonicera sempervirens / Coral Honeysuckle	5 gal.	Moderate	
GROUND COVERS	QTY	BOTANICAL / COMMON NAME	CONT	WUCOLS	SPACING
	39	Echeveria x 'Imbricata' / Hen and Chicks	4" pot	Low	16" o.c.
	36	Festuca ovina glauca 'Elijah Blue' / Blue Fescue Native	1 gal.	Low	18" o.c.
		EXISTING OFFSITE TREES/SHRUBS TO REMAIN (TYP.)			

**GENERAL NOTES**

- All landscape planting areas shall receive a minimum 3"-4" layer of organic mulch top dressing. Mulch in Bio-Retention basin shall include 3-4 inches of composted, non-floatable arbor mulch in areas between plantings and side slopes.
- All trees, shrubs and groundcover shall be irrigated with a drip system, smart controller, weather sensor, etc. and shall meet Marin Municipal Water District's Water Efficient standards/regulations.
- All new trees located within 7' of pavement or permanent structure shall have a roof barrier.



**Maximum Applied Water Allowance**

Enter Zip Code **94901** 37.33 Residential? **No**

**Enter Project Information**

Project Name:	Allied Heating and A.C. Company, Inc.
Address:	16 De Luca Place
Meter Number:	
Location/Sheet No.:	
Date:	2/16/2021

**Maximum Applied Water Allowance (MAWA)**

Landscaped Area:	<b>1,309</b> sqft
Special Landscaped Area:	<b>0</b> sqft
<b>MAWA =</b>	<b>18</b> units

**Estimated Total Water Use (ETWU)**

Low water use plant	<b>1,244</b> sqft
Moderate water use plant	<b>65</b> sqft
High water use plant	sqft

<b>Efficiency Factor</b>	<b>0.85</b>
% of Total Landscape Irrigated with Drip	Irrigation Efficiency Factor
0-33%	select 0.75
34-66%	select 0.80
67-100%	select 0.85

**ETWU = 15 units**

Water Use Table						
ETWU	Gallons:	11,220	Units:	15	AF:	0.03
Baseline Period	Jan/Feb	Mar/Apr	May/June	Jul/Aug	Sep/Oct	Nov/Dec
Baseline Units	0	1	5	5	4	0

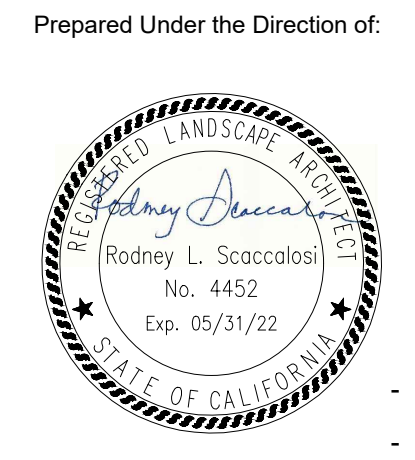
1 unit or CCF (hundred cubic feet) = 748 gallons; 1 AF = 435.6 units  
 For more information please contact 415.945.1497 or see our website at MarinWater.org

OLIVE STREET  
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Rev	Date	Description	Designed	Drawn	Checked
	2/10/21	PLANNING	RLS	RLS	RLS

ALLIED HEATING AND A.C. COMPANY, INC.  
**LANDSCAPE PLAN**  
16 DE LUCA PLACE  
SAN RAFAEL, CA 94901

City Of  
**San Rafael**  
County Of  
**Marin**  
State Of  
**California**



Sheet  
**L1**  
Scale: 1"=10'  
Date: 2/5/21  
Project Number:  
Plan File: