



SAN RAFAEL

THE CITY WITH A MISSION

Community Development Department – Planning Division

Meeting Date: August 3, 2021
Case Numbers: UP21-006, ED21-022
Project Planner: Steve Stafford – (415) 458-5048
Agenda Item: 2

REPORT TO DESIGN REVIEW BOARD

SUBJECT: 800 Mission Ave. (“Aegis Living San Rafael”) – Request amendment of Use Permit and an Environmental and Design Review Permit approvals to allow a 11’ 2” height bonus for a previously approved senior assisted living and memory care facility on two vacant Downtown parcels with 29,885 sq. ft. of combined area. **Amendment of the approvals would increase the height of the building from 36’ to 47’ 2” and increase the unit count from 77 suites to 103 suites.** The remainder of the approved site and building design would remain unchanged; APNS: 011-184-08 & -09; Multifamily Residential – High Density (HR1) District Zone; Geoff Forner, Applicant; ASC San Rafael LLC, Owner; Downtown Neighborhood.

Continued from the June 8, 2021 Design Review Board Meeting

PROPERTY FACTS

Location	General Plan Designation	Zoning Designation	Existing Land-Use																								
Project Site:	High-Density Residential (HDR)	HR1	Vacant Lot																								
North:	HDR	HR1	SFR																								
South:	5/M R/O	5/M R/O	Apartment Buildings																								
East:	5/M R/O	5/M R/O	Service Station w/Mini-Mart																								
West:	HDR	HR1	Office																								
Lot Size		Lot Coverage (Max.)																									
Required: 29,885 sf		Allowed: 60% (17,931 sf)																									
Proposed: 6,000 sf		Proposed: 59% (17,720 sf)																									
Height		Density (Max.)																									
Allowed: 36’		Allowed: 29 units (1 unit per 1,000 sf of gross lot area)																									
Proposed: 47’ 2” (includes height bonus; excludes domes, trellis elevator and staircase protruding features)		Proposed: None (‘efficiency kitchens’ only for assisted care units only)																									
Parking		Usable Outdoor Area (Min.)																									
Required: 53 parking spaces		Required: None (Recommended 100 sf per unit)																									
Proposed: 40 parking spaces		Proposed: 6,248 sf (common indoor and outdoor recreational area)																									
Landscaping (Min.)		Setbacks																									
Required: 50% of Front and Street Side Setback (2,164 sf)		<table><tr><th></th><th><u>Required</u></th><th><u>Existing</u></th><th><u>Proposed</u></th></tr><tr><td>Front:</td><td>15’</td><td>n/a</td><td>15’</td></tr><tr><td>Side(s):</td><td></td><td></td><td></td></tr><tr><td>Street:</td><td>10’</td><td>n/a</td><td>10’</td></tr><tr><td>Interior:</td><td>5’</td><td>n/a</td><td>5’</td></tr><tr><td>Rear:</td><td>5’</td><td>n/a</td><td>5’</td></tr></table>		<u>Required</u>	<u>Existing</u>	<u>Proposed</u>	Front:	15’	n/a	15’	Side(s):				Street:	10’	n/a	10’	Interior:	5’	n/a	5’	Rear:	5’	n/a	5’	
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Side(s):																											
Street:	10’	n/a	10’																								
Interior:	5’	n/a	5’																								
Rear:	5’	n/a	5’																								
Proposed: 51% of Front and Street Side Setback (2,209 sf)																											

Tree Removal

Total(No./Species): 6 (4 'mature') + 5 Street Trees (1 'mature')

Requirement: None (15 Replacement Trees Encouraged)

Proposed: 13 Replacement Trees (includes 3 Street Trees)

Grading

Total: 14,000 CYDS

Cut: 13,000 CYDS

Fill: 1,000 CYDS

Off-Haul: 13,000 CYDS

BACKGROUND & DISCUSSION

The project is being referred to the Design Review Board (Board) for review of proposed amendments to an approved project. On September 4, 2018, the City Council denied an appeal (City Council Resolution No. 14575) and upheld the Planning Commission's July 10, 2018 conditional approval of a new assisted living facility with memory care services and 40 garage parking spaces, located at 800 Mission Ave. (previously 1203-1211 Lincoln Ave.). The proposed project requests a height bonus of 11' 2", increasing the overall height, from 36' to 47' 2". The proposed height bonus would allow for an additional (fifth) floor and would also increase the capacity of the project, from 77 resident 'suites' to 103 'resident' suites and allow the project to increase the number of floors dedicated to memory care, from one to two.

The Planning Commission will determine whether the requested height bonus is supported by findings. The requested height bonus results in a change to scale/mass of the approved project, which requires Design Review Board review. The Board unanimously recommended the Planning Commission approve the California Mission Revival architecture on June 5, 2018.

On June 8, 2021, the Board reviewed the proposed amended project design. At that time, the Board continued their review (Blayney motion, Summers 2nd, 4-0 vote with Kent absent) to a 'date uncertain' with the following recommendations: 1) The design needs to provide a greater distinction between the dome tower element and the building to better maintain the California Mission Revival architecture; 2) The proposed additional floor needs to better relate to the design of the building with greater articulation and explore stepping back the upper-story; and 3) The rooftop deck, which had been previously removed as a cost-saving measure, should be added back into the project design. (A video recording of the meeting is available for review on the City's website at <http://www.cityofsanrafael.org/meetings/>). The Board's recommendations are provided below in **bold**, followed by staff's comments:

- **Provide greater distinction between the dome tower element and the building to better maintain the California Mission Revival architecture.**

The project design has been revised to enhance the dome tower element, located at the corner of Mission and Lincoln Avenues, by both stepping back the upper-story and increasing slightly the height of the tower itself. The proposed project revisions include increasing the height of the dome tower, located at the corner of Mission and Lincoln Avenues, three feet (3'), from 71' 3" to 74' 3'.

The upper-story is pulled-back 10'-15' away from the dome tower. Both proposed design changes have the effect of focusing greater attention on the dome tower, a significant architectural feature of the project.

- **Provide greater articulation and explore stepping back the upper-story to provide greater relationship throughout the building design.**

The project design has been revised by stepping back portions of the upper-story along all of the building elevations. The upper-story is pulled-back on average six feet (6') at many of the building corners and 10'-15' away from the dome tower, located at the corner of Mission and Lincoln Avenue. The objective is to reduce massing or building bulk at the corner of Mission and Lincoln Avenues. Additionally, the project design along the west elevation has been revised to step-back the corners while also providing articulation to a previous blank wall by proposing to install a

projecting architectural metalwork screen. Revisions to the north elevation façade are also proposed to match those on the west elevation by stepping back strategic portions of the upper-story and replicating the projecting architectural metalwork screen. The effect of these design revisions reduced massing or building bulk along all building elevations of the project design. These proposed design revisions would result in the reduction of residential 'suites' from previously 106 to 103.

- **The rooftop deck should return to the project design.**

The project design previously included an 1,874 sq. ft. roof terrace located behind the mansard roof parapet along the Lincoln Avenue elevation. The project design has been revised to relocate a slightly reduced outside terrace around the dome tower along both the Mission and Lincoln Avenue elevations. Conditions of approval would require finishes, amenities and landscaping at this new rooftop terrace to match those approved for the larger outdoor terrace approved for the rear of the building on the second floor.

NEIGHBORHOOD CORRESPONDENCE

Notice of the continued hearing for the amended project was conducted in accordance with noticing requirements contained in Chapter 29 of the Zoning Ordinance. A Notice of Public Hearing was mailed to all property owners and occupants within a 300-foot radius of the subject site, the appropriate neighborhood groups (Lincoln/San Rafael Hill Neighborhood Association and the Federation of San Rafael Neighborhoods), and all other interested parties, a minimum of 15 calendar days prior to the date of this continued Board meeting. Additionally, notice was posted on the site at the corner of Lincoln and Mission Avenues, a minimum of 15 calendar days prior to the date of this continued Board meeting.

At the time of the distribution of staff's report to the Board, staff had received 16 written comments as a result of this noticing; 13 comments opposed to the project and three (3) comments in support.

The comments opposed to the proposed height bonus state, generally, that the additional building height is excessive, the site and use requires comprehensive redesign and the perceived traffic, parking and water impacts require mitigation.

The comments in support of the proposed height bonus state that the project would continue to promote an attractive, California Mission Revival architecture design, on the site, even as a taller building.

All public comments received on the amended project are attached as Exhibit 3.

CONCLUSION

Staff finds the revised project design responds well to the direction provided by the Board to reduce the scale of the project, particularly the upper-stories. This reduction in perceived mass of the building is accompanied by an increase in articulation along all building elevations. Planning staff recommends support of the scale/mass of the requested height bonus, and believes it adequately relates to the predominant four- and three-story scale of existing development immediately adjacent to the project site. Planning staff also believe that the expanded project retains the California Mission Revival architecture, which the Board unanimously recommended for approval to the Planning Commission in 2018. No other changes to the approved design of the project are proposed.

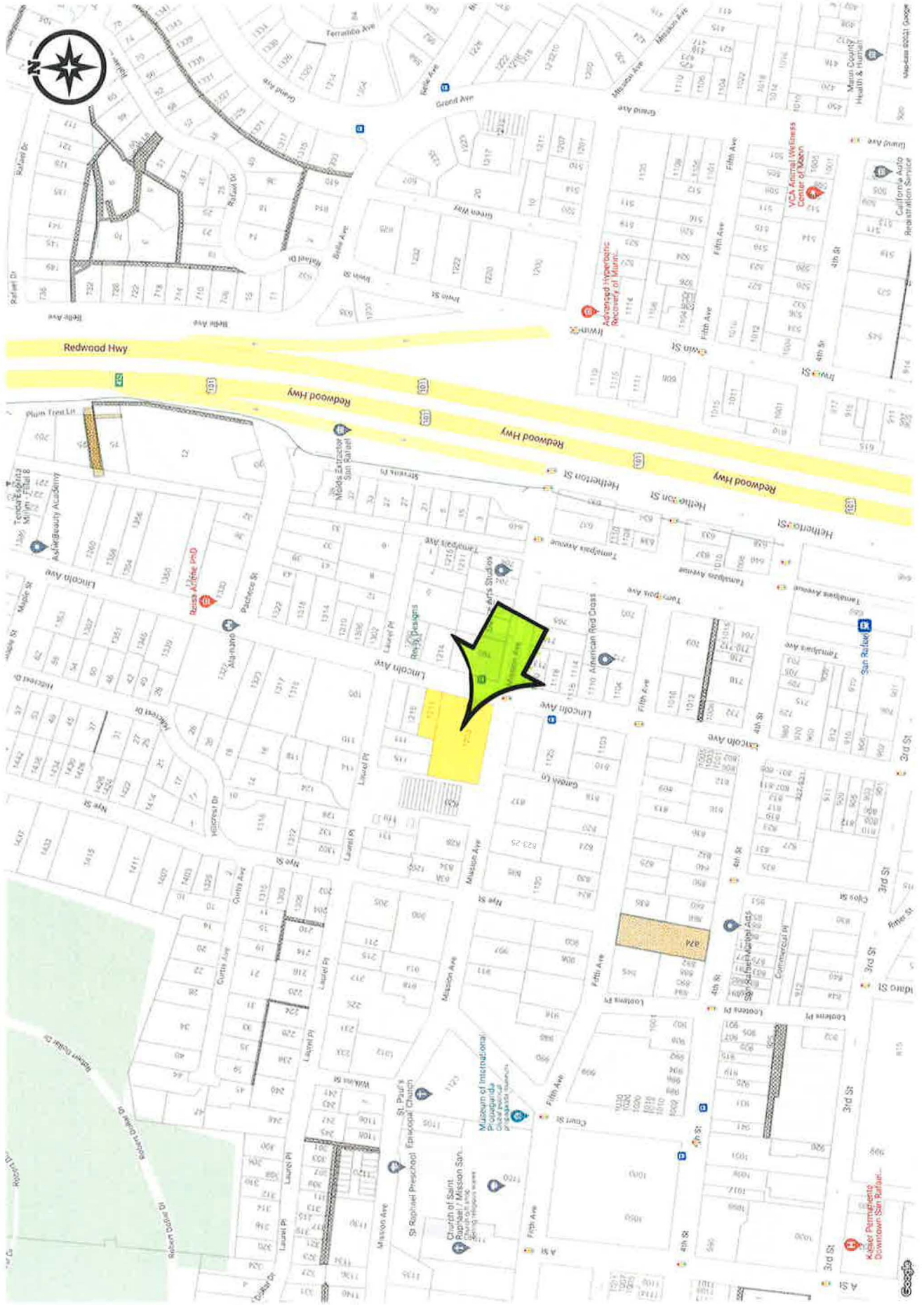
EXHIBITS

1. Vicinity Map

2. Project Narrative
3. Parking Summary
4. Public Comments Since June 8, 2021 DRB Meeting
5. Approved Plans (9/04/18)
6. Prior Revised Plans (6/08/21)
7. Current Revised Plans (8/03/21)

cc: ASC San Rafael LLC – 415 118th Ave. SE; Bellevue, WA 98005
Geoff Forner – 1 Belvedere Pl.; Mill Valley, CA 94941

800 Mission Ave. Project Site





RE: 800 MISSION AVENUE – DESIGN REVIEW REVISION, JULY 9, 2021

THE PROPOSED DESIGN IS A 103-SUITE ASSISTED LIVING AND MEMORY CARE COMMUNITY TO BE DEVELOPED, OWNED AND OPERATED BY AEGIS LIVING. IT WILL PROVIDE ASSISTED LIVING (54 RESIDENT SUITES) AND MEMORY CARE (49 RESIDENT SUITES) SERVICES LICENSED BY THE STATE AS A RESIDENTIAL CARE FACILITY FOR THE ELDERLY. IT WILL EMPLOY APPROXIMATELY 100 PEOPLE OVER THREE SHIFTS, WITH THE MAXIMUM SHIFT HAVING APPROXIMATELY 35 STAFF. THE BUILDING WILL BE A FIVE-STORY STRUCTURE WITH PARKING IN A SUBTERRANEAN GARAGE TO BE LOCATED AT THE CORNER OF MISSION AND LINCOLN AVENUES AND IS WITHIN WALKING DISTANCE TO DOWNTOWN, THE RETAIL DISTRICT, THE TRANSIT CENTER AND THE SMART RAIL STATION.

THE LAYOUT OF THE BUILDING TAKES ADVANTAGE OF THE NATURAL SLOPE ACROSS THE SITE, GIVING STREET LEVEL ACCESS TO THE PUBLIC ENTRANCES AND COMMONS AMENITY SPACES PROVIDED FOR THE RESIDENTS: COMMONS SPACES ON THE GROUND LEVEL INCLUDE AMENITIES SUCH AS DINING VENUES, TERRACE, WELLNESS/FITNESS SUITE, AND CINEMA/AUDITORIUM. ADDITIONAL RESIDENT LOUNGES ARE LOCATED ON THE UPPER FLOORS OF THE BUILDING IN ADDITION TO A FIFTH FLOOR TERRACE.

THE BUILDING WILL HAVE A COMMERCIAL-GRADE KITCHEN THAT PROVIDES ALL RESIDENT MEALS IN THE DINING VENUES ON THE GROUND LEVEL. THE INDIVIDUAL RESIDENT SUITES HAVE A SMALL WET BAR AREA (CASEWORK, A BAR SINK AND A SMALL REFRIGERATOR), BUT THESE ARE NOT INTENDED FOR THE PRODUCTION OF MEALS.

THERE ARE TWO ENTRANCES AT THE STREET LEVEL: ONE PRIMARY PEDESTRIAN ENTRANCE FROM MISSION AND A COVERED VEHICULAR DROP OFF LINCOLN. THE STREET LEVEL ALSO PROVIDES MISSION AVENUE ACCESS TO THE PARKING GARAGE CONTAINING 37 SPACES TOTAL (INCLUDING 2 ADA SPACES) AS WELL AS A TURNOUT LANE FOR FIRE ACCESS ON MISSION AVENUE AND ANOTHER ON LINCOLN AVE FOR LOADING. THIS CONFIGURATION HAS BEEN PREVIOUSLY REVIEWED AND APPROVED AS PART OF THE ORIGINAL BUILDING PERMIT APPROVALS.

MEMORY CARE WILL BE LOCATED ON LEVELS 2 AND 3 OF THE BUILDING AND CONTAINS THE NEEDED INFRASTRUCTURE TO PROVIDE A SAFE, COMFORTABLE AND CARING ENVIRONMENT FOR THE RESIDENTS. THE EXISTING SLOPE ON THE SITE ALLOWS FOR THE ENTIRE NORTH FACE FAÇADE OF THE MEMORY CARE COMMONS SPACES TO OPEN ONTO A PRIVATE AND SECURED OUTDOOR TERRACE DEDICATED TO THE MEMORY CARE RESIDENTS (AND SPECIFICALLY DESIGNED TO ACCOMMODATE THEIR NEEDS). COMMON SPACES DEDICATED TO MEMORY CARE INCLUDE DINING ROOM, ACTIVITY ROOM/MUSIC ROOM, BATHTIQUE SPA, LOUNGES, AND A SERIES OF MEMORY-SKILL STATIONS.

THE FOURTH AND FIFTH RESIDENTIAL FLOORS (UPPER TWO) WILL BE DESIGNATED FOR ASSISTED LIVING TOTALING 49 SUITES. THESE WILL HAVE EXTERIOR BALCONY ACCESS FROM DESIGNATED SUITES ON THE MISSION AND LINCOLN AVENUE SIDES. THERE WILL ALSO BE ACCESS TO THE CORNER TOWER ROOF DECK FROM THE ELEVATOR LOBBY ADJACENT THE MAIN TOWER FEATURE.

IN ADDITION TO PROVIDING EXCELLENT DIRECT CARE FOR THEIR RESIDENTS, AEGIS TAKES EXTRAORDINARY CARE TO CREATE COHESIVE DESIGNS THAT RESONATE WITH THE COMMUNITIES THEY RESIDE, WHILE PROVIDING AN IMMERSIVE EXPERIENCE FOR THE OCCUPANTS OF THE BUILDING. THIS



WORKS NOT ONLY TO CREATE A SENSE OF PLACE FOR THE RESIDENTS, BUT ALSO RESULTS IN EASILY IDENTIFIABLE BUILDINGS THAT ARE ANCHORS OR ICONS WITHIN THE COMMUNITY. AS EACH OF THEIR PROPERTIES ARE UNIQUE, DESIGN ALWAYS BEGINS WITH AN UNDERSTANDING OF THE HISTORY OF A PLACE.

THE SAN RAFAEL PROJECT EMPLOYS A CALIFORNIA MISSION REVIVAL STYLE VOCABULARY INSPIRED BY THE NEARBY MISSION SAN RAFAEL. THIS BEGINS WITH THE SIMPLE STUCCO MASSING AND MONOCHROMATIC COLOR PALATE, USING DEEP OPENINGS AND LARGE OFFSETS/STEP-BACKS TO BREAK DOWN THE SCALE. DETAIL, COLOR AND ORNAMENT ARE RESERVED FOR LIMITED SPECIAL FEATURE AREAS ON THE BUILDING: AT THE PEDESTRIAN ENTRIES, THE ARCADES, THE 'BELL' TOWER, THE COVERED DROP OFF (MAIN VEHICULAR ENTRY), AND ALONG THE ROOF OVERHANGS. CONTRASTING 'TERRACOTTA' CLAY TILE ROOFS AND WOOD BEAMS ADD NOT ONLY DETAIL, BUT ALSO WARMTH TO THE PALATE.

THE DESIGN WAS REFINED FOR THIS SUBMITTAL TO REDUCE THE SENSE OF SCALE OF THE BUILDING, AS WELL AS CREATE A BETTER "HANDSHAKE" BETWEEN THE NEIGHBORING PROPERTIES. IN ESSENCE, THE PREVIOUS DESIGN PRESENTED IN MAY INSERTED A FLOOR BETWEEN LEVELS 2 AND 3 INTO THE HIGHLY REGARDED 2018 APPROVED DESIGN. WHILE THE APPROACH RETAINED MANY OF THE CHARACTERISTICS OF THE 2018 BUILDING, THE DRB FELT THE OVERALL RESULTING SCALE LOST THE GRANULARITY OF THE ORIGINAL SUBMITTAL AND WITH IT, THE ESSENCE OF THE ORIGINAL DESIGN.

THIS SUBMITTAL REPRESENTS A FUNDAMENTAL CHANGE IN THE DESIGN APPROACH. INSTEAD OF INSERTING A FLOOR BETWEEN 2 AND 3, THE APPROACH WAS TO DELICATELY ADD SPACE TO THE TOP OF THE BUILDING. THE BUILDING NOW LARGELY READS LIKE THE ORIGINAL PROPOSAL, BUT THE ADDITIONAL RENTABLE SPACE NECESSARY TO MAKE THE PROJECT AN REALITY ARE CAREFULLY FIT ONTO THE TOP FLOOR. THE DRB LAMENTED THE LOSS OF THE ROOFTOP AREA, WHICH WAS IMPROVED IN THIS VERSION BY ADDING A WALK OUT ROOF TERRACE AT THE CORNER OF THE FIFTH LEVEL. THIS WILL BE MUCH MORE WELCOMING FOR RESIDENTS AND COALESCES AROUND THE TOWER ELEMENT. FURTHER, BY ERODING THE UNITS FROM AROUND THE TOWER AND REPLACING WITH ROOF TERRACE, IT ALLOWS THE TOWER TO REGAIN ITS VISUAL PROMINENCE FROM THE GROUND LEVEL.

THE WALL PLANES ALONG MISSION AND LINCOLN WERE CAREFULLY REVIEWED, AND THE TOP FLOOR WAS DEEMPHASIZED BY A SOFT CHANGE OF COLOR AND DETAILS TO THE AWNING AND BALCONY RAIL. THE GABLED ROOF AT THE WEST END OF THE BUILDING WAS BROUGHT BACK TO THE FOURTH LEVEL, AND THE CORNER UNITS WERE FITTED WITH BALCONIES ON THE CORNERS TO FURTHER REDUCE THE SENSE OF SCALE. THE EYE NOW NATURALLY RESTS ON THE TOP OF LEVEL FOUR RATHER THAN TAKING IN THE ENTIRE FIVE LEVELS AS THE PREVIOUS SUBMITTAL. FURTHER, THE VIEWS TO THE BUILDING FROM THE NORTH AND WEST WERE REDESIGNED TO DEEMPHASIZE THE SENSE OF SCALE, AND TO CREATE SIMILAR PROPORTIONS TO THE ADJACENT BUILDINGS. USEABLE UNIT SPACE WAS REPLACED WITH BALCONY SPACE TO ELIMINATE THE WALLS AT THE TOP FLOOR CORNERS. THIS RESULTS IN EFFECTIVE CHANGES IN SCALE TO BOTH HORIZONTAL AND VERTICAL PLANES.

WE LOOK FORWARD TO DISCUSSING IN FURTHER DETAIL THE REVISED AEGIS SAN RAFAEL SUBMITTAL AT THE CONTINUANCE MEETING OF THE DRB.

Parking Summary – Aegis Living 1203 Lincoln San Rafael

How was the proposed parking need (or demand) calculated?

Estimating future parking demands for new development are typically based on parking studies of similar land uses. The *Parking Generation Manual* is the most robust and widely used source of parking data that is published by the Institute of Transportation Engineers (ITE). This manual provides data and information collected for a variety of land uses and is a trusted resource within the transportation industry.

Transpo Group has completed many transportation studies for Aegis Living facilities throughout the region and have found that they have similar transportation characteristics to the ITE Nursing Home land use. These facilities have skilled nurses and staff present 24 hours a day and residents generally do not drive or own a vehicle. The ITE data set presents peak parking demand rates for nursing homes located within suburban areas based on the number of beds within the facility.

What is the estimated peak parking need for the proposal?

Table 1 provides a summary of the parking need for the current proposal and the previously approved project.

Table 1. Aegis Living San Rafael Parking Need

Land Use	Size	Weekday		Weekend	
		Rate ¹	Demand	Rate ^{1,2}	Demand
Current Proposal	105 beds	0.35 per bed	37 vehicles	0.26 per bed	27 vehicles
Previous Approval	88 beds	0.35 per bed	31 vehicles	0.26 per bed	23 vehicles
<i>Difference</i>	<i>17 beds</i>		<i>6 vehicles</i>		<i>4 vehicles</i>

1. Based on the peak weekday parking demand rate for nursing home land use (#620) in the ITE Parking Generation (4th Edition, 2010) consistent with the May 2018 and February 2021 traffic studies.
 2. The weekend trip rate was based off the highest parking demand rate for Saturday or Sunday for nursing home land use from ITE *Parking Generation*.

The peak parking demand for the current proposal is 37 vehicles and would occur during the weekday.

Is there enough parking to meet the peak demands?

The proposed project is providing 40 parking spaces, which will accommodate the anticipated peak parking demand of 37 vehicles.

Why is the calculated parking needs reasonable?

- Maximum of 34 staff are anticipated per shift
- If all staff drive alone to the site there would be 6 spaces for visitors
- Aegis is required to have a transportation management program (TMP) to encourage staff to not drive alone to work so parking needs will be reduced
- Visitors are spread throughout the day and visits are typically less than 1 hour
- Not all residents have visitors every day (similar to a nursing home)

Steve Stafford

From: walden valen [REDACTED]
Sent: Friday, July 23, 2021 3:11 PM
To: Steve Stafford; 820 Mission HOA
Subject: Project: 800 Mission ave. (Aegis Living San Rafael)

Mr. Stafford:

The following are some concerns, questions, facts and corrections from the last Design Review Board meeting on June 8th. Please forward these to the appropriate Committees, Commissions, or Boards as needed.

Traffic / Parking: In the latest proposal package from Aegis Living, the traffic study does not mention any dates beyond 2018 except as a Memorandum of March 3, 2021. It seems to refer back to a study of two Aegis Living Facilities in Washington State done in 2014. There does not seem to be anything that updates it to today except a large number of charts and tables projections. Did anyone from Trans Po Group actually come out to the site with pencil, paper and clicker to witness present traffic conditions?

Since that study the SMART Commuter Rail has begun regular service through San Rafael, and at times, creating traffic back-ups westbound on Mission Ave. and onto the off ramp from 101 Highway. Even with Covid lockdown traffic has increased significantly since 2018 on our Mission Ave..

During the last meeting Mr. Geoff Former made at least one false statement. In justifying the 37% increase in suites from 77 to 106 suites without increasing the number of parking spaces, he said that there was public transportation on both Lincoln and on Mission Ave. In fact there is no public transit on Mission Ave.

Here at 820 Mission Ave., we have 13 Units in the building. There are 2 parking spaces per unit Underground, 5 visitor parking spaces out front (Oh yes, our building is set back 30+ feet from the street), and 2 extra parking spaces up in back by our storage area. This makes 33 off street parking spaces for our complex.

Next door at 828 Mission Ave., a Victorian converted to office spaces (10), which is For Sale, the City has required them to provide 26 off street parking spaces plus 1 handicap space.

How does a 37% (77 to 106 suites) or now a 34% (77 to 103 suites) not increase their required off street parking (37 spaces plus 3 dual purpose - ADA / Short Term spaces)??**** Actually in their new proposal Dated: July 9, 2021 Aegis is proposing to only have 37 off street parking spaces, including two designated ADA. **** So now they are not only asking to increase the number of suites by 34%, but also asking to decrease the the parking by another 8%

Other Questions /Concerns: At the last meeting someone asked about Story Poles. Is Aegis required to put them up because of this new proposed height ??

The General Plan and Zoning Ordinance Design Policies and Criteria require Projects to harmonize with the natural environment and surrounding area. When arriving to our City the proposed Aegis Living structure does not meet the criteria. Even with their newest proposal it is still a large blocky structure that does not harmonize with the surrounding area. Our building at 820 Mission Ave. and the Vicitorian building next door are more harmonizing and inviting focal points to our City.

Please compare the set-backs (front and side) between the Aegis Living proposal and the next two buildings on Mission Ave. I know Aegis is conforming to the laws, but it makes the addition to the structure look even more Blocky and Imposing - - not an invitation to the City.

In response to a statement made by the representative from Aegis who spoke toward the end of the meeting and said that "this project did not pencil in without the added floor". (profit) We would like to respond "this project does not pencil in for us with the added floor". (Growth in our equities)

We also are wondering what is going on at the Aegis property with the temporary fencing and large drilling ??

One last personal concern. The Planting Plan for the Aegis project includes *Gelsemium sempervirens* 'Margarita' Carolina Jasmine. All parts of this species are poisonous if ingested. I know this plant is widely used and maybe without any incidents, but I do want to make that caution.

Thank you, for your consideration in this matter. I am looking forward to attending the online meeting on August 3.

Walden Valen, Interim President
820 Mission Ave. HOA Board of Directors

[REDACTED]
[REDACTED]

Steve Stafford

From: Rosemarie Klahn [REDACTED]
Sent: Sunday, July 25, 2021 2:03 PM
To: Steve Stafford
Subject: 800 Mission

Mr. Stafford,

I am in favor of senior housing, though I support Aging in Place as the first line of effort, but this project is fraught with issues.

Foremost, imo, is the architectural style. While consistent with San Rafael's history, the problem is...that it's consistent with San Rafael's history! That is, Mission/Colonial style is as much anathema to our indigenous peoples as Antebellum mansions are to descendants of Enslaved Peoples.

Also, the ever-ratcheting up of stories is an old investor's practice. Limit here at downtown and invest elsewhere. Where?

I'd like to see Senior Living built into the upper floors at Northgate Mall, opened up to the sky. And to truly make it multigenerational, support a daycare and library there. Design similar to Emeryville or in Leesburg, VA. I lived for nearly two decades at The Golden Gateway, near The Embarcadero Center in SF. Many Seniors chose to age there because it provided a good walk-friendly lifestyle, imperative for years after the ability to drive is past.

We can do better.

Thank you,

Rosie Klahn
[REDACTED]
San Rafael, CA 94901
[REDACTED]

Steve Stafford

From: Michael Alexin [REDACTED]
Sent: Tuesday, July 27, 2021 7:59 AM
To: Steve Stafford
Subject: Senior Housing Project on Lincoln

Dear Steve:

I am a property owner and resident of San Rafael. I am writing in FAVOR of this project, and feel that it is in the City's and residents' best interests that this be approved. First, we need more housing for seniors. Secondly, the design of the proposed building is attractive and in keeping with San Rafael's Spanish roots. Third, the influx of new residents should help revitalize a dirty and unattractive section of our downtown. I am also in favor of allowing additional height, as this building can function as a landmark for our city.

Sincerely,
Michael Alexin
[REDACTED]

Sent from my iPad

Steve Stafford

From: T. Farley <[REDACTED]>
Sent: Tuesday, July 27, 2021 5:29 AM
To: Steve Stafford
Subject: 800 Mission Senior Facility

I urge you to support this drastically needed facility and building. It is a sensible development.

Sincerely,

Thomas Farley
[REDACTED]
San Rafael, CA 94901

Steve Stafford

From: Susan Bradford <[REDACTED]>
Sent: Monday, July 26, 2021 5:40 PM
To: Steve Stafford; planning; Mayor Kate
Subject: Re: 800 Mission Senior Facility

Dear Steve, Kate Colin and Planning Dept,

I will get right to the point to comment on the proposed senior facility building at 800 Mission.

I am an elder myself and I pray that no one ever puts me in a place like that!

It looks like an "institution". It is too tall for our city and especially for where it is located. Our elders deserve and need to be where there is easy access to the outdoors and a beautiful park-like setting with nature to view, not narrow sidewalks with swiftly moving traffic on both streets that the building is proposed to sit on.

The elders need a place where even if in a wheelchair they can be taken outside for fresh air, sunlight and a peaceful setting. This offers none of that...only a concrete, glass and metal hermetically-sealed high rise. Who would want to spend the rest of their lives in a place like that?

In the past I have worked in a number of long-term care facilities so I do have some insight into what is meaningful and important for the people who have to live in them. I would like to see the city of San Rafael planning board take into deep consideration what aspects are really of the greatest importance to honor and respect our elders in their last years.

How can you create a home that will give our city's elders some well-deserved enjoyment and pleasure in their final home?

Thank you,

Susan Bradford

Steve Stafford

From: Carol Galloway <[REDACTED]>
Sent: Monday, July 26, 2021 9:41 AM
To: Steve Stafford
Subject: Building on Lincoln & Mission

To Mr. Steve Stafford,

I would like to see a much smaller building be built on the corner of Lincoln & Mission St than the latest drawing that was presented. The new plan doesn't look any smaller than the previous one. That corner is a very busy corner and having a monster building there would look so out of place. Our lovely city is being overdone with huge buildings all over San Rafael. I don't like it.

Thank you,

Carol Galloway

Steve Stafford

From: Ms Angela Gott <[REDACTED]>
Sent: Monday, July 26, 2021 7:42 AM
To: Steve Stafford
Subject: Re: 800 Mission re-design to 62 ft tall

What I do not like is that there is no place on the proposed building for the residents to be able to sit outside and enjoy the sun, some plants, trees, nature, bird feeders, humming birds, etc. Old people enjoy the outdoors and sunshine on pretty days. All of this went by the wayside-- Originally there was supposed to be a rooftop terrace or garden right? So this got scrapped to make room for more beds.

People are going to be confined indoors all the time with no way to get fresh air. How is this building being designed to limit the spread of COVID?

We all know that COVID is here to stay and the importance of fresh air, windows that open , etc. So to me, to confine these people indoors 24/7 is more like a prison. People coming to visit are not going to want to be indoors with all the COVID either.

There needs to be some alternative to being indoors now more than ever-- It is not healthy to limit these folks to an indoor environment all the time-- so the design needs to incorporate measures to limit the spread of COVID.

Make these developers design a site that is mindful of the new COVID world we are now living in and put in some place for the residents to be able to enjoy the outdoors.

Thank you.
Angela Gott

Steve Stafford

From: carol duke [REDACTED]
Sent: Monday, July 26, 2021 2:19 PM
To: Steve Stafford
Cc: carol duke
Subject: Ugly ,fake building 800 mission

carol lee

• Kent Flats

I sent a comment saying it is too big too ugly and looks like it is trying to be something that it isn't , Caroline Beyer said it best.... I agree with Caroline BeyerIt would be different if this building were well-designed. Instead, it violates every rule of architectural aesthetics, with its jumbled sight lines, ridiculous columns and towers, and gratuitously cluttered facade. It evokes images of a downscale theme park, and would add to the embarrassing provincialism of our town. I hate to see yet another squandered opportunity for a sophisticated, elegant addition to San Rafael.

Just now

Like

Reply

Share

Steve Stafford

From: carol duke [REDACTED]
Sent: Monday, July 26, 2021 2:13 PM
To: Steve Stafford
Cc: carol duke
Subject: 800 mission street

800 Mission Senior facility NEW design. Too big and too ugly. Trying to look like something it is not....

although we desperately need senior housing, we do not have enough water for new hookups.

all projects should be on hold until we see what this year's rainy season brings.

I live in kentfield and I lived in marin in the mid 70's when we had extreme drought conditions.

Thank you, carol duke

[REDACTED]

Steve Stafford

From: J [REDACTED]
Sent: Sunday, July 25, 2021 8:26 PM
To: Steve Stafford
Subject: 800 Mission Avenue project

I am a lifelong, third generation San Rafael resident. I love the "mission" feel to the design but 5 stories will be completely overwhelming in size. There are no 5 story buildings in the area therefore it will overpower the whole area. Again, the styling fits the mission city but 5 stories is way too much for the neighborhood and is just too tall. I couldn't imagine being in the houses behind it, it will block out any views. 5 stories seems too high even if it was in the Bank of America block. Mission and Lincoln is not the place for a 5 story building.

Jeanne

Steve Stafford

From: Lynne Law [REDACTED] >
Sent: Sunday, July 25, 2021 3:46 PM
To: Steve Stafford
Subject: New Design for 800 Mission

I have seen the drawing for the first time of this proposed project.

To me, the design reminds me of a former orphanage - definitely believe it could be improved to look more contemporary and attractive for our downtown. Definitely, the height is excessive for the neighborhood.

Lynne Law

Steve Stafford

From: Karen Carlson [REDACTED]
Sent: Sunday, July 25, 2021 12:55 PM
To: Steve Stafford
Subject: project at Lincoln and Mission

Dear Mr. Stafford

I am writing in regard to the new Memory Care facility soon to be constructed at Lincoln and Mission.

I understand that the developer is currently petitioning to erect the building at a height of **62 feet**? A structure of this size is utterly incongruent to the Lincoln Hill neighborhood. Even at a height of 51 feet, this building is objectionable, but an additional 9 feet?

And I assume that this height change would also increase the population density of the proposed facility?

How could this possibly be justified? I am praying that our city officials will reconsider, due to:

TRAFFIC this area is already chronically gridlocked to an extent which exceeds inconvenience--it is often unsafe. The City should be working on ways to alleviate the current situation, rather than continually compounding it (e.g., SMART train).

PARKING residents of this neighborhood already struggle to find parking. Instead of improving this situation, the City is choosing to worsen it? Where will the staff and guests of this new facility park their vehicles?

WATER adding to our water burden is an unconscionable choice. Our current historic drought is being caused by circumstances which will only worsen over time. Meanwhile, we are constructing a gigantic hotel downtown. We do not have the resources to support this usage.

DESIGN I find it shocking that this design could have been approved by our planning department. It is an extremely unsightly building, and recent redesigns have not improved it. It violates every rule of architectural aesthetics, with its jumbled sight lines, ridiculous columns and towers, and gratuitously cluttered facade. It evokes images of a downscale theme park, and would add to the embarrassing provincialism of our town. I hate to see yet another squandered opportunity for a sophisticated, elegant addition to San Rafael.

In my 35 years as a resident, I have felt as if the City increasingly disregards the opinions of its citizens. I hold hope that this time might be different.

Sincerely,
Karen Carlson
[REDACTED]

Sent: Saturday, July 24, 2021 4:04 PM

To: planning <planning@cityofsanrafael.org>

Subject: Project No.: UP21-006 and ED21-022

Hello,

I am a neighbor to this project. It appears we are either being duped or lied to. The drawing for the project to be reviewed on 8/3/21 represents a 62' high structure according to the design shown below.

Please explain why the City of San Rafael Planning Department is listening to this developer with such plans being 62' vs. 47'.

Your website tells me:

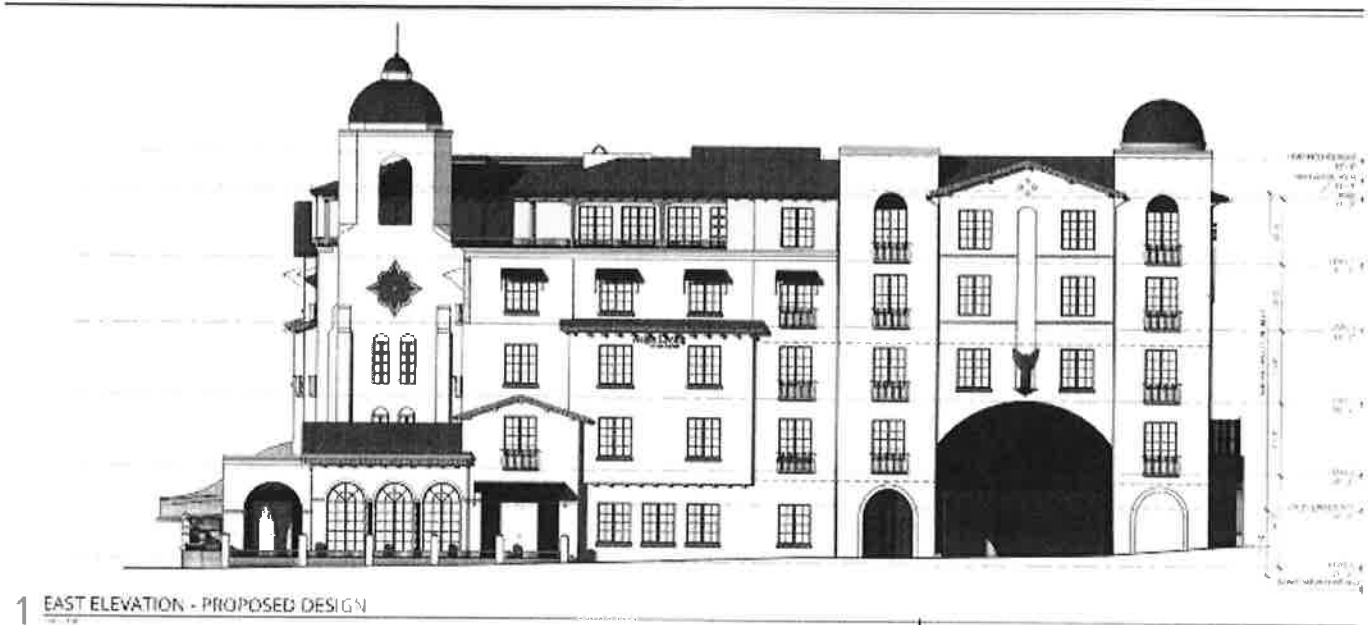
The previously approved project was a four-story assisted living facility building with 77 assisted living bedrooms or suites (studio and one-bedroom unit layouts) and 88 beds over 40 garage parking spaces. The project was approved with one floor of memory care services.

Proposed amendment of the approved project to allow a requested height bonus. **Project is requesting a 11' 2" height bonus** where a maximum 12' height bonus is allowed by the General Plan and Zoning Ordinance. The proposed height would increase from 36' to 47' 2". The number of rooms would increase from 77 suites to 103 suites. The additional height would allow the memory care services to expand from one floor to two. No other design changes or modifications are proposed.

Older Rejected Plan/Design:



New Proposal/Design to be heard August 3, 2021



Thanks,

Mark Comin | [REDACTED] | San Rafael, CA 94901

From: Ravi <[REDACTED]>
Sent: Saturday, July 24, 2021 6:11 PM
To: planning <planning@cityofsanrafael.org>
Subject: mission and lincoln project

Hello,

The new plan looks just like the old plan.

Height looks the same.

What about the traffic impact on Mission?

It's the back road to San Anselmo as you guys ruined the traffic with the smart train which has so few riders even before covid.

It's like you are in a city planning cult that emanates from academia and not real world practicality.

Who do you work for?

Clearly not the tax payers.

Ravi

Steve Stafford

From: [REDACTED]
Sent: Tuesday, July 27, 2021 1:25 PM
To: Steve Stafford
Subject: 800 Mission
Attachments: P1050360.JPG

Hi Steve,

Regarding the senior facility. NO, NO, NO. It's way to big, sterile and especially not an inviting place to want to live. San Rafael is starting to build way to many 3, 4 or more storied buildings. What happened to our nice little town? It's getting over run by developers who are building out of place buildings. This corner is a nice little residential area. Keep it to two stories max with a nice park area for seniors to enjoy the outside.

Marty



Marty Komitopoulos

[REDACTED]
[REDACTED]
[REDACTED]

Steve Stafford

From: Esther Wanning <[REDACTED]>
Sent: Thursday, July 29, 2021 12:52 PM
To: Steve Stafford
Subject: New Senior Center

It looks fine to me.

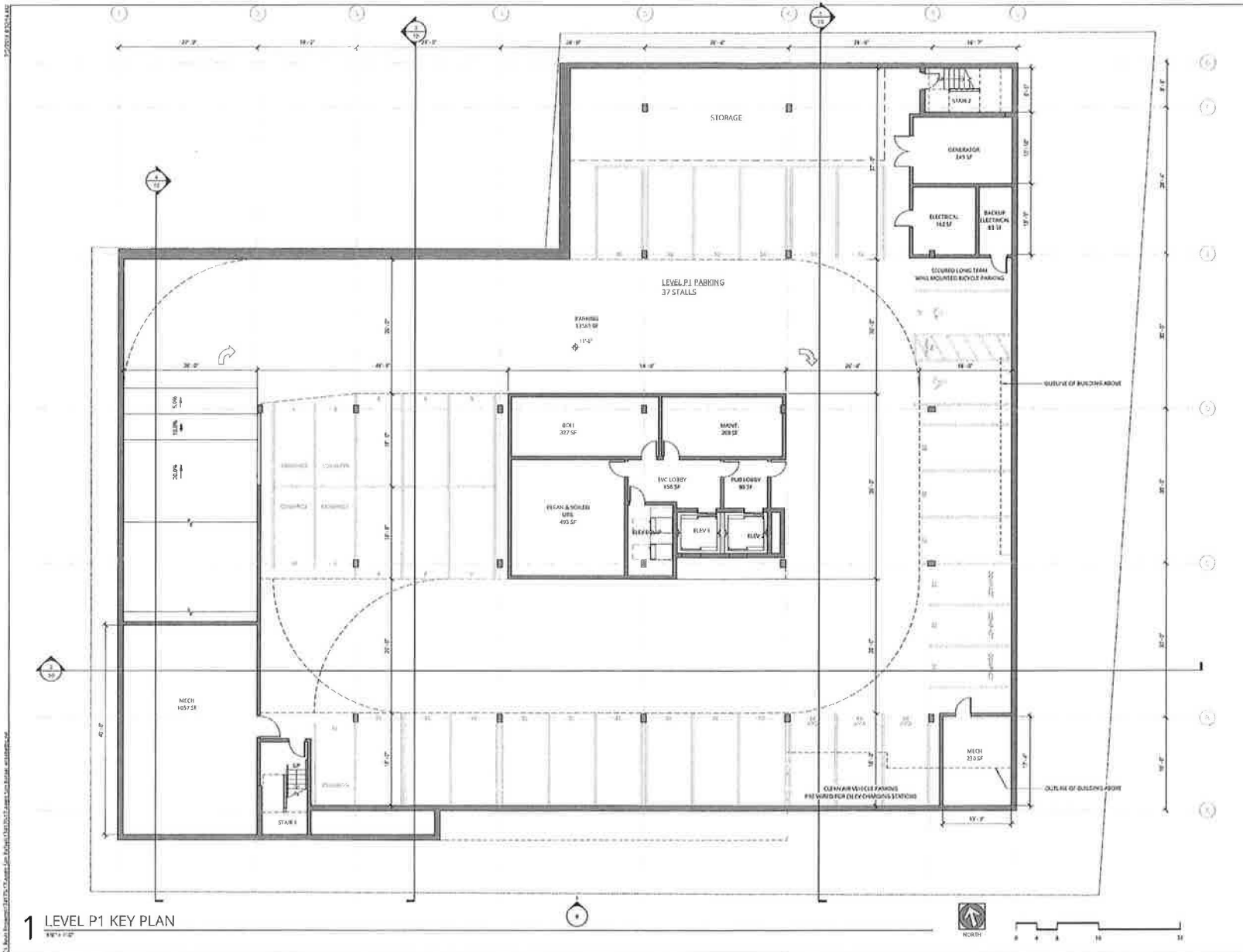
Esther Wanning
[REDACTED]
San Rafael, CA 94901

Sent from my iPhone



APPROVED
SAN RAFAEL PLANNING DEPT
By: CC DENIAL OF PC APPROVAL APPEAL
Date: 9/4/18
File No: APIS-002; E01 APPEAL
CITY OF S.F. 010-UPIT-050

1



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Ankrom Moisan
 35 NORTHWEST DAMS SUITE 300
 PORTLAND, OR 97209
 503.245.7100

1505 5TH AVE., SUITE 300
 SEATTLE, WA 98101
 206.476.1600

1014 HOWARD STREET
 SAN FRANCISCO, CA 94103
 415.552.7063
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ASC SAN RAFAEL LLC

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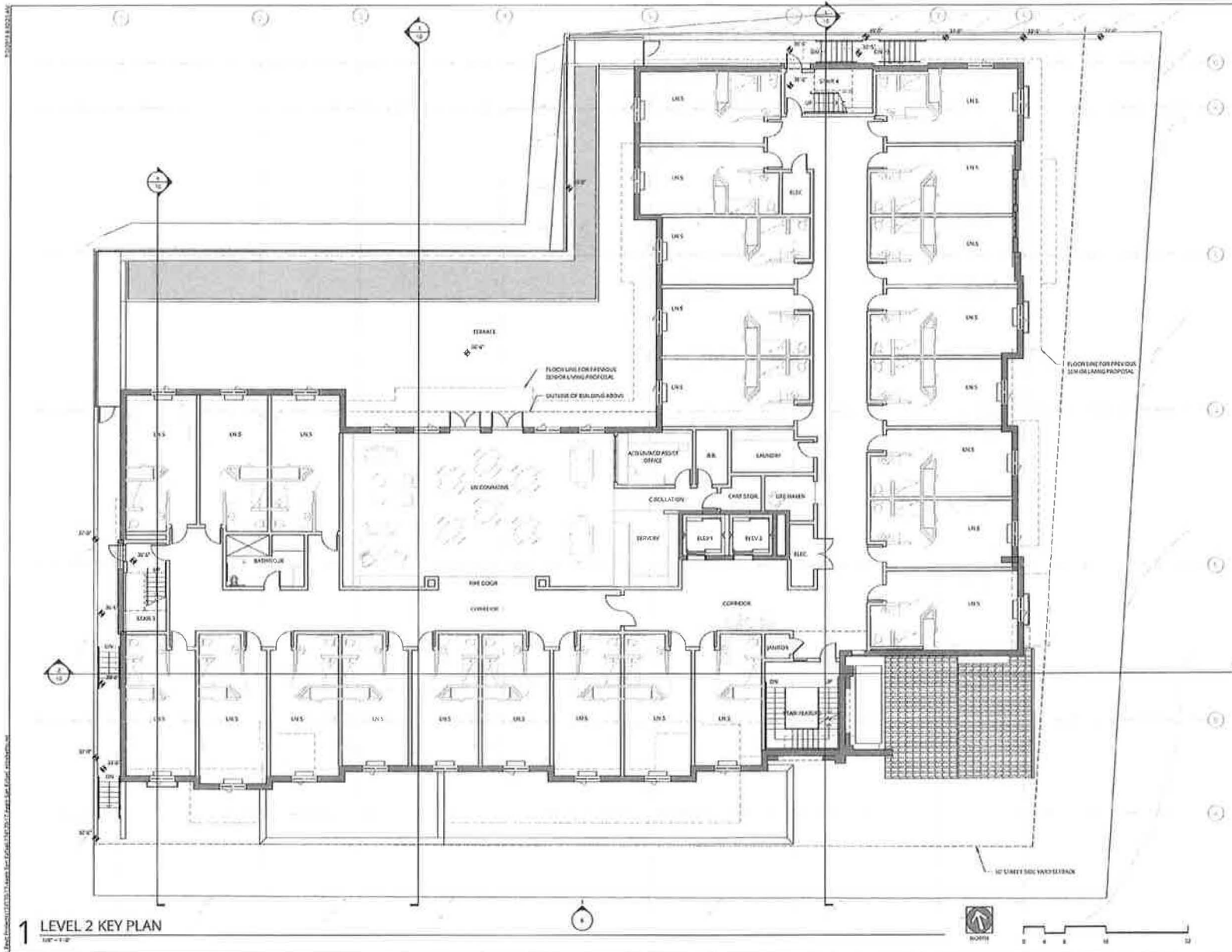
LOWER GARAGE PLAN

DATE	PROJECT NUMBER
05.30.2018	174170

174170 NUMBER

2

3



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VENUE/HARVEST ESTATES, SUITE 300
1000 AVENUE OF THE ARTS
SEATTLE, WA 98101
206.526.1600
1044 EDWARDS STREET
SAN FRANCISCO, CA 94103
415.213.7003
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ASC SAN RAFAEL LLC

REVISION	DATE	REASON FOR REVISION

**FIRST FLOOR
RESIDENTIAL PLAN**

DATE 05.30.2018	PROJECT NUMBER 174170
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CONSTRUCTION**



34 NORTHWEST DAVIS, SUITE 300
PORTLAND, OR 97209
503.245.8820
1515 NE 45TH AVE, SUITE 100
SEATTLE, WA 98105
206.576.1600
1004 HUGHES STREET
SAN FRANCISCO, CA 94103
415.252.7058
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800 MISSION AVENUE SAN RAFAEL, CA 94901

AEC SAN RAFAEL LLC

REVISION	DATE	REASON FOR FILE

**SECOND FLOOR
RESIDENTIAL PLAN**

DATE: 05.30.2018 PROJECT NUMBER: 174170
SHEET NUMBER:



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CONSTRUCTION**



38 NORTHWEST DAVIS, SUITE 300
PORTLAND, OR 97209
503.848.9500

1405 STEVENS, SUITE 300
SEATTLE, WA 98101
206.536.1600

1014 HOWARD STREET
SAN FRANCISCO, CA 94103
415.262.3043

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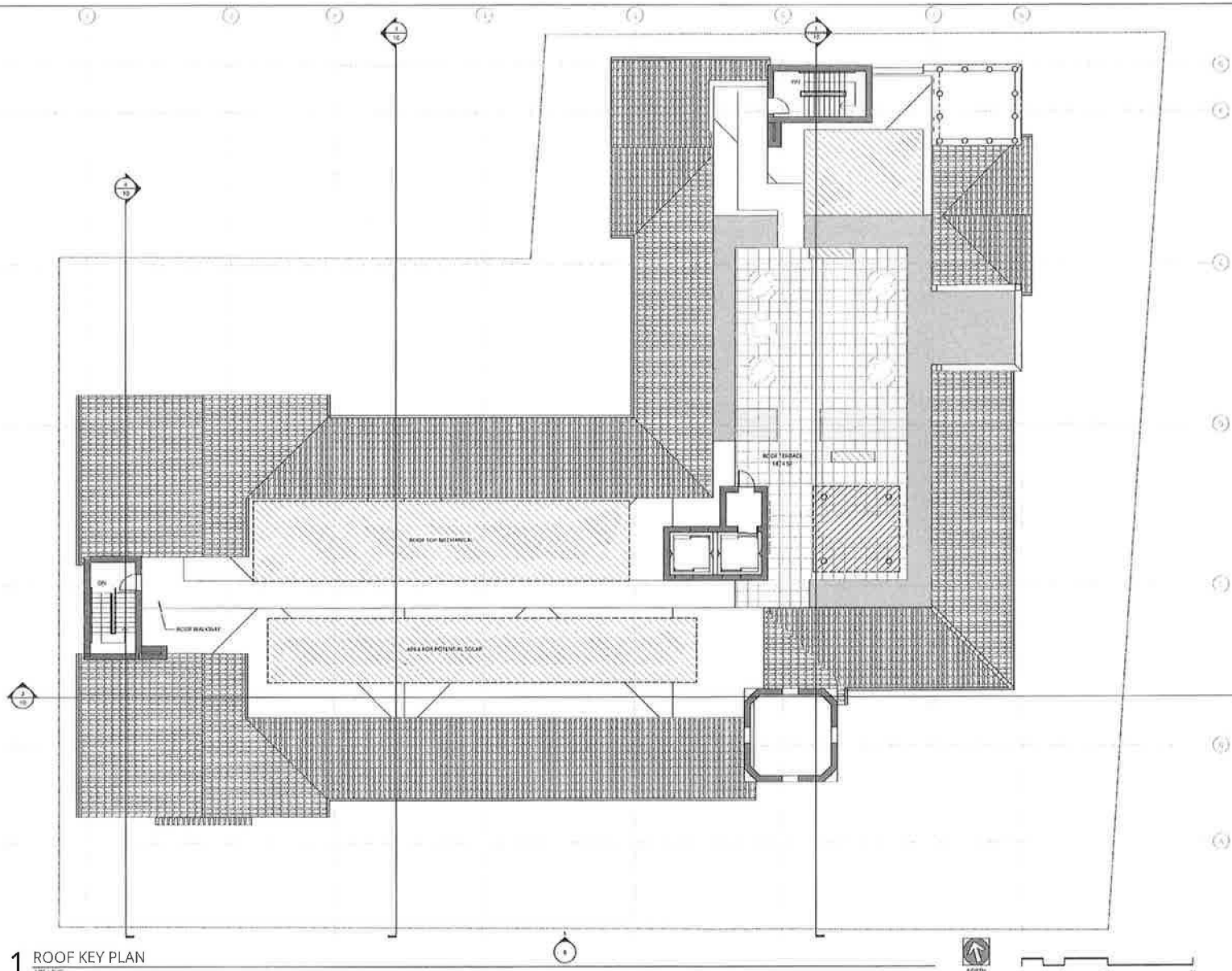
AEGIS SAN RAFAEL
800 MISSION AVENUE SAN RAFAEL, CA 94901

AEGIS SAN RAFAEL LLC

REVISION	DATE	REASON FOR CHANGE

**THIRD FLOOR
RESIDENTIAL PLAN**

DATE: 05.30.2018 PROJECT NUMBER: 174170
SHEET NUMBER: 6



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AN ANKROM MOISAN DESIGN
100 NORTHWEST DRUGS, 10000 100
PORTLAND, OR 97209
503.845.1100
1000 STEWART, SUITE 300
SEASIDE, WA 98138
206.575.8800
1014 FOWARD STREET
SAN FRANCISCO, CA 94103
415.532.5568
@ANKROMMOISANARCHITECTS, INC.

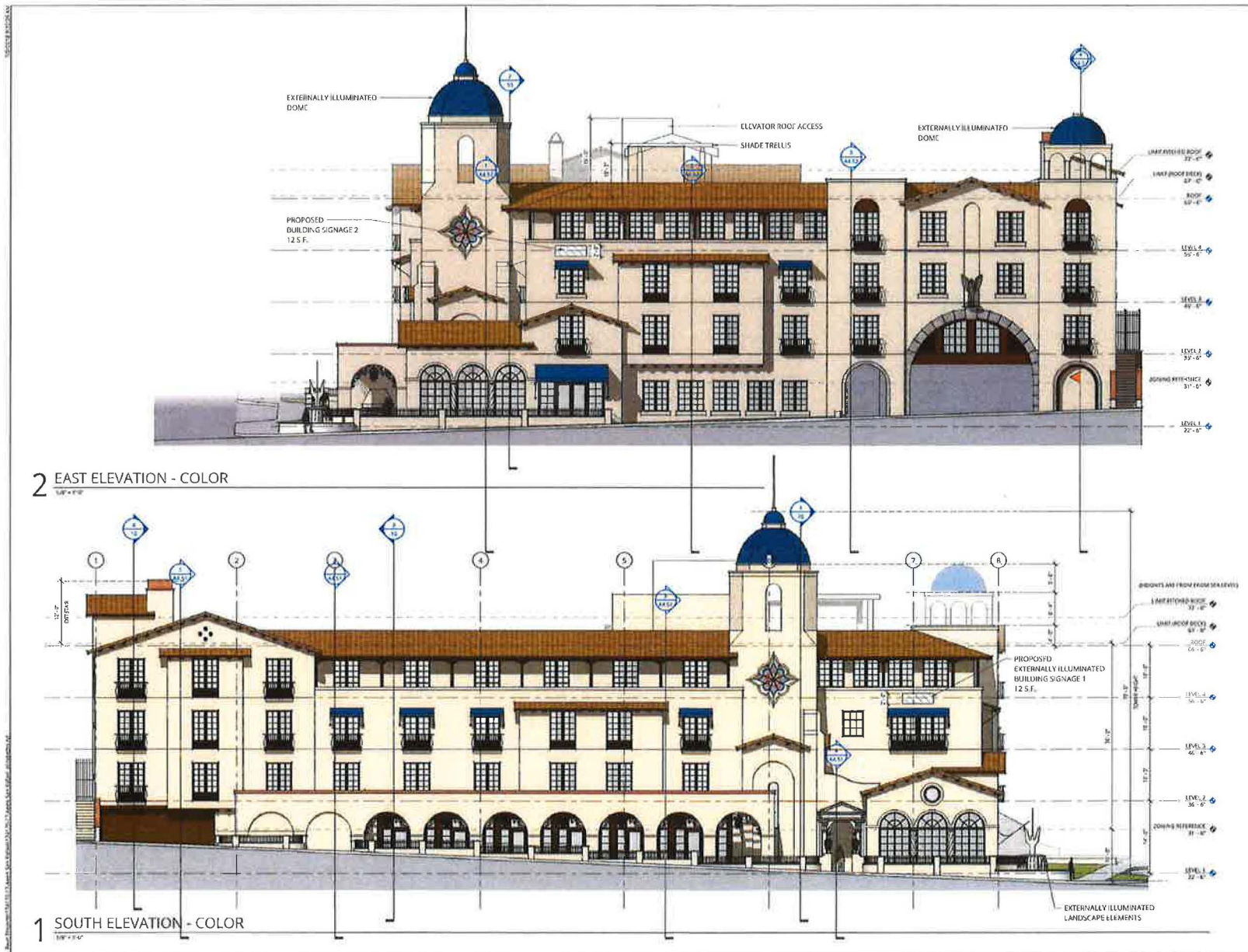
AEGIS SAN RAFAEL
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ASC SAN RAFAEL LLC

REVISION	DATE	BY	REASON FOR CHANGE

ROOF PLAN

DATE: 05.30.2018 PROJECT NUMBER: 174170
SHEET NUMBER: 7



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BY AGREEMENT WITH SUPPLY, NORTH 3000
 KIRKLAND, WA 98201
 4105 35th AVE, SUITE 300
 SEATTLE, WA 98101
 206.526.1400
 1014 HOWARD STREET
 SAN FRANCISCO, CA 94103
 415.754.2141
 DIANA ROMERO SAN ARCHITECTS, INC.

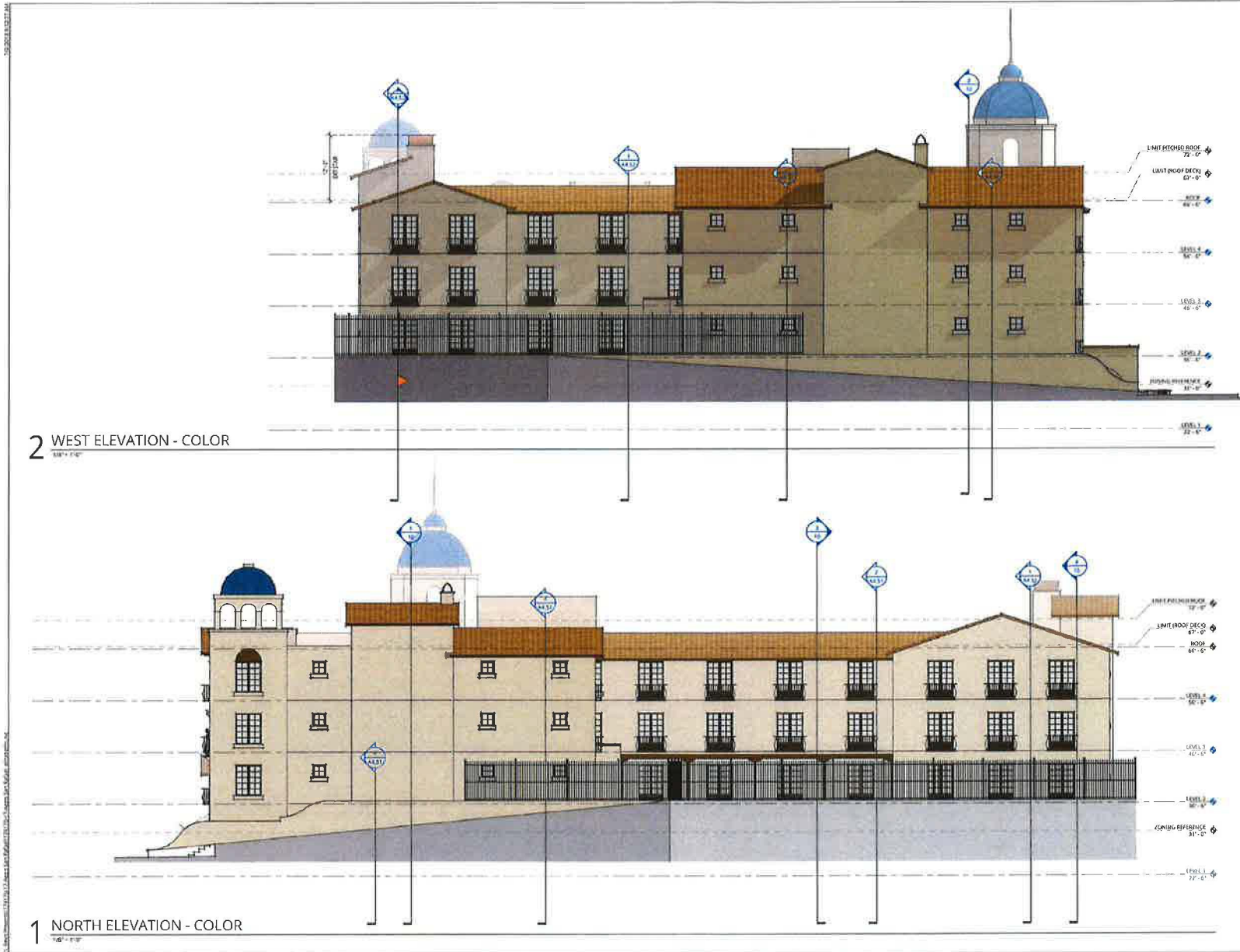
AGIS SAN RAFAEL
 800 MISSION AVENUE SAN RAFAEL, CA 94901

ASC SAN RAFAEL LLC

DATE	DATE	REVISION

EXTERIOR ELEVATIONS

DATE: 05.30.2018 PROJECT NUMBER: 174170
 5/31/2018



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30 NORTHWEST DAMS, SUITE 300
 PORTLAND, OR 97209
 503.45.7100
 1205 5TH AVE, SUITE 300
 SEATTLE, WA 98101
 206.536.1600
 1014 HOWARD STREET
 SAN FRANCISCO, CA 94103
 415.252.3003
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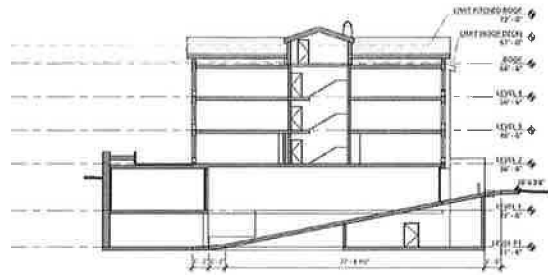
AEGIS SAN RAFAEL
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ASC SAN RAFAEL, LLC

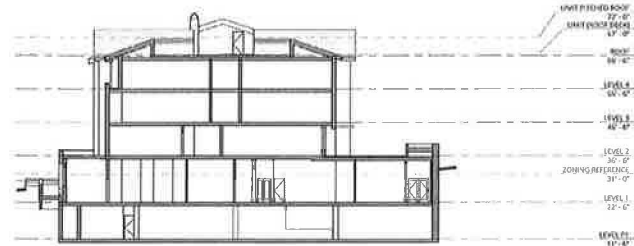
REVISION	DATE	REASON FOR ISSUE

EXTERIOR
ELEVATIONS

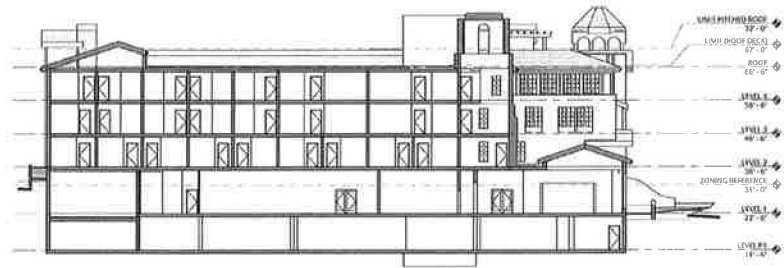
DATE 05.30.2018	PROJECT NUMBER 174170
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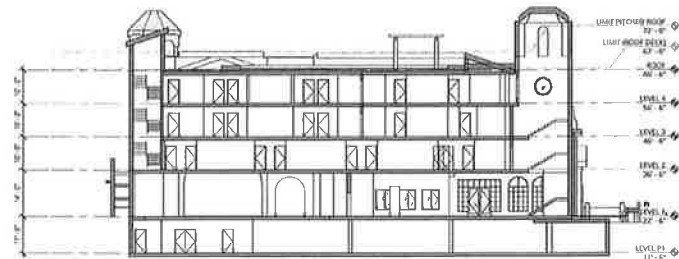
4 BUILDING SECTION AT PARKING RAMP
5/16" = 1'-0"



3 BUILDING SECTION 3
1/32" = 1'-0"



2 BUILDING SECTION 2
1/32" = 1'-0"



1 BUILDING SECTION 1
1/32" = 1'-0"

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CONSTRUCTION



38 BORTON STREET, SUITE 100
PORTLAND, OR 97209
503.245.7100
1405 5TH AVE, SUITE 100
SEATTLE, WA 98101
206.376.1600
1014 HOWARD STREET
SAN FRANCISCO, CA 94103
415.323.7063
@ANIKROM MOISAN ARCHITECTS, INC.

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800 MISSION AVENUE SAN RAFAEL CA 94901

ASC SAN RAFAEL LLC

SECTION	DATE	REASON FOR ISSUE

SECTIONS

DATE: 05.30.2018 PROJECT NUMBER: 174170

10

BUILDING MATERIALS, COLOR AND DETAILS



1. TILE ROOF



2. BLUE ROOF TILE



3. TIMBER DETAILING



4. WROUGHT IRON

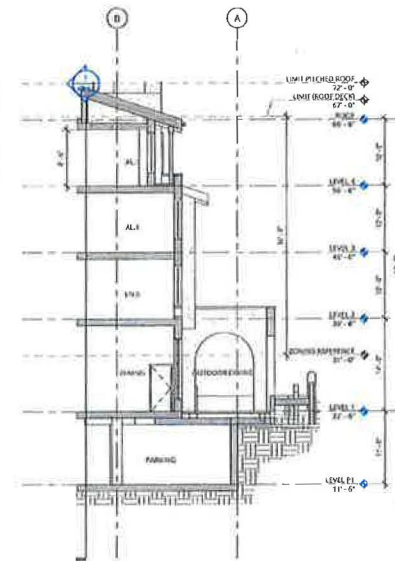


5. STUCCO



6. FABRIC AWNINGS

GENERAL BUILDING CONSTRUCTION



1 WALL SECTION
1/8" = 1'-0"

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CONSTRUCTION



38 INDEPENDENT DRIVE, SUITE 100
FARMINGTON, CT 06030
503.245.7100
1905 5TH AVE, SUITE 300
SEATTLE, WA 98101
206.525.1400
1841 ECHOWARD STREET
SAN FRANCISCO, CA 94103
415.252.7063
WWW.ANKRUMMOISAN.COM

AEGIS SAN RAFAEL
800 MISSION AVENUE SAN RAFAEL CA 94901

ASC SAN RAFAEL LLC

REVISION	DATE	REASON FOR ISSUE

DETAILS

DATE 05.30.2018	PROJECT NUMBER 174170
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PROJECT INFORMATION

GENERAL

ZONING: HR-1
MULTIFAMILY RESIDENTIAL
(HIGH DENSITY)
1,000 SF LAND PER DWELLING UNIT

MAX. BUILDING HEIGHT: 48'
PROPOSED BUILDING HEIGHT: 47'

MIN. USABLE OUTDOOR AREA: 100 SF
PROPOSED USABLE OUTDOOR AREA: 3,970 SF

AP NUMBERS: 11-184-09, -08

UNITS PROPOSED: 106

BEDS: 114

UNIT SCHEDULE		
UNIT TYPE	COUNT	AREA TOTAL
LEVEL 5		
AL.1	3	2004
AL.S	24	8747
	27	10751
LEVEL 4		
AL.1	2	1388
AL.S	25	9652
	27	11040
LEVEL 3		
LN.S	26	8931
	26	8931
LEVEL 2		
LN.S	26	8969
	26	8969
Grand total	106	39691

PROJECT DIRECTORY

GENERAL

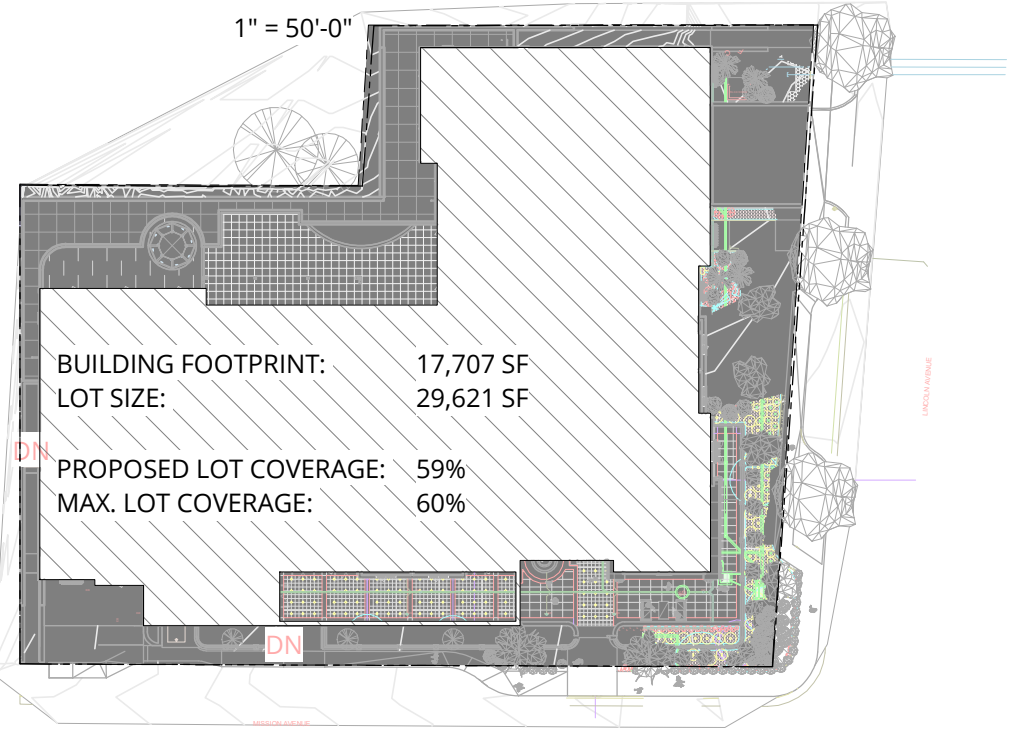
APPLICANT

AEGIS SENIOR COMMUNITIES
415 118TH AVE SE
BELLEVUE, WA 98005
CONTACT: WALTER BRAUN
BRYON ZIEGLER
PHONE: (425) 861-9993
EMAIL: walter.braun@aegisliving.com
bryon.ziegler@aegisliving.com

ARCHITECT

ANKROM MOISAN ARCHITECTS
38 NEW DAVIS STREET, SUITE 300
PORTLAND, OR 97209
CONTACT: RYAN MIYAHIRA
LAURIE LINVILLE-GREGSTON
(503)245-7100
EMAIL: ryanm@ankrommoisan.com
laurieg@ankrommoisan.com

LOT COVERAGE DIAGRAM



DESIGN DESCRIPTION

PROPOSED OCCUPANCY: R2.1
MULTIFAMILY RESIDENTIAL
(HIGH DENSITY)

THE PROPOSED DESIGN IS AN 106 UNIT, FIVE STORY BUILDING WITH SUBTERRANEAN GARAGE. THE LOCATION IS AT THE CORNER OF MISSION AND LINCOLN IN SAN RAFAEL. IT IS WALKING DISTANCE TO DOWNTOWN, THE TRANSIT CENTER, AND FUTURE SMART RAIL STATION. THE FIRST AND SECOND FLOORS OF RESIDENTIAL LIVING, LOCATED ONE LEVEL ABOVE STREET, WILL HOUSE 54 UNITS DEDICATED TO MEMORY CARE RESIDENTS. THE UPPER TWO FLOORS WILL HOUSE 52 UNITS OF ASSISTED LIVING RESIDENTS. THE GROUND FLOOR PORT COCHERE WILL CONTAIN 2 ADA SPACES, 1 AEGIS VAN PARKING SPACE AND LOADING AREA. THERE ARE 2 STREET PULLOUTS PROPOSED FOR FIRE ACCESS AND LOADING. ONE AT MISSION AVE AND ONE AT LINCOLN AVE.

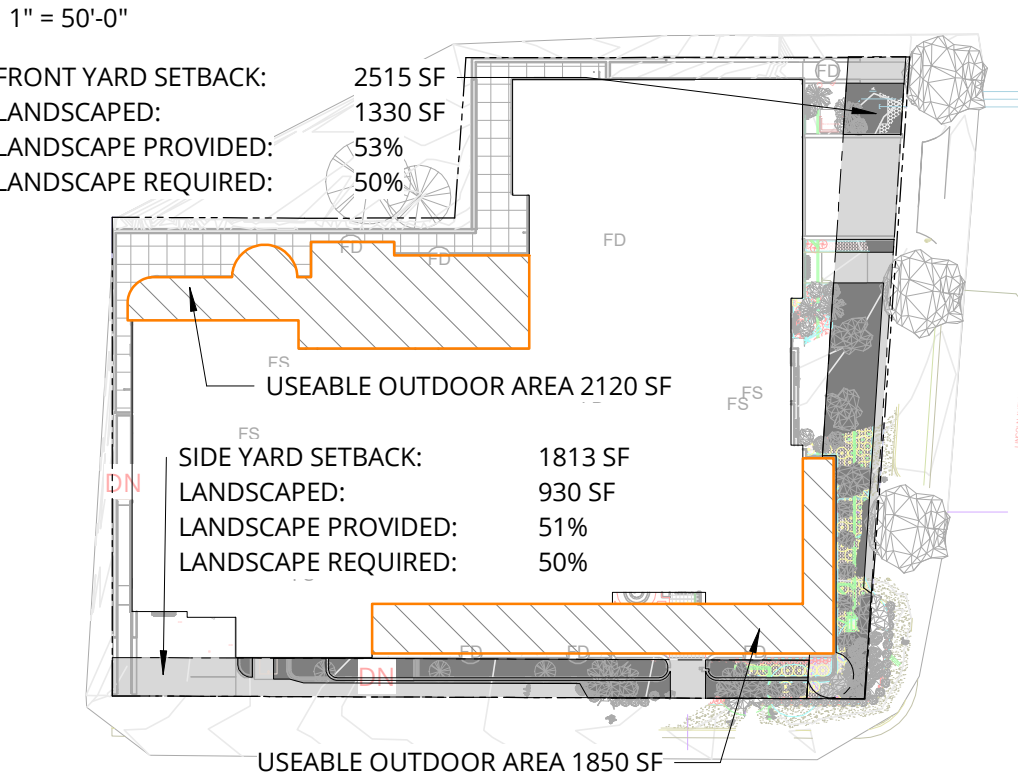
THE SUBTERRANEAN GARAGE WILL CONTAIN 32 SPACES TOTAL (INCLUDING 2 ADA SPACES). THE PARKING TOTAL FOR THE COMPLEX WILL INCLUDE 40 DEDICATED SPACES (INCLUDING THE 4 ADA SPACES). ENTRANCE AND EXIT TO SUBTERRANEAN GARAGE WILL BE LOCATED OFF MISSION. ENTRANCE AND EXIT TO GROUND LEVEL GARAGE WILL BE LOCATED OFF LINCOLN.

PROJECT CONTAINS A MIX OF 1 BEDROOM & STUDIO UNITS. FIRST AND SECOND LEVELS OF RESIDENTIAL (ONE LEVEL UP FROM STREET), WILL BE DESIGNATED FOR MEMORY CARE USE. THE UNITS ON THIS FLOOR WILL HAVE NON OPERATIONAL DOORS TO 'FALSE BALCONY'S'. THERE WILL BE ONE CONTROLLED ACCESS POINT FOR GARDENING PURPOSES ON THIS FLOOR. THE FORTH AND FIFTH RESIDENTIAL FLOORS (UPPER TWO) WILL BE DESIGNATED FOR ASSISTED LIVING AND WILL HAVE EXTERIOR BALCONY ACCESS FROM DESIGNATED UNITS ON THE MISSION AND LINCOLN SIDES.

SETBACKS

THE SETBACKS OF THE ORIGINAL APPROVED DESIGN ARE MAINTAINED TO INCLUDE 5' SETBACKS ON THE REAR AND SIDES OF THE FOOTPRINT, AS WELL AS A 10' SETBACK FROM MISSION AND A 15' SETBACK FROM LINCOLN. PROPOSED BUILDING FACADES/ARTICULATIONS EMULATE APPROVED DESIGN.

LANDSCAPE DIAGRAM



VICINITY MAP



SHEET INDEX

SHEET NUMBER	SHEET NAME
1	TITLE SHEET
2.1	LEVEL P1 FLOOR PLAN
3	MAIN LEVEL FLOOR PLAN
4.1	SECOND FLOOR - RESIDENTIAL PLAN
4.2	THIRD FLOOR PLAN
5.1	FOURTH FLOOR PLAN - FORMERLY L3
6.1	FIFTH FLOOR PLAN - FORMERLY L4
7.1	ROOF PLAN
8.1	EXTERIOR ELEVATIONS
8.2	EXTERIOR ELEVATIONS - DESIGN EVOLUTION
9.1	EXTERIOR ELEVATIONS
9.2	EXTERIOR ELEVATIONS - DESIGN EVOLUTION
10	SECTIONS
11	DETAILS
12	MAIN LEVEL - PLANTING PLAN
13	SECOND FLOOR LANDSCAPE PLAN
15	PLANT MATERIAL SCHEDULE
16	PLANT MATERIAL IMAGERY
17	SITE PLAN - LIGHTING
18	SECOND FLOOR PLAN - LIGHTING PLAN
19	OVERALL ROOF - LIGHTING PLAN



PROJECT NORTH

NOT FOR CONSTRUCTION
THESE DOCUMENTS ARE INTENDED
ONLY TO ILLUSTRATE GENERAL
DESIGN ELEMENTS.

DEVIATIONS MAY EXIST BETWEEN
THESE DOCUMENTS AND
DOCUMENTS THAT HAVE BEEN
REVIEWED AND APPROVED BY THE
CITY OF SAN RAFAEL PLANNING
AUTHORITIES.

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38 NORTHWEST DAVIS, SUITE 300
PORTLAND, OR 97209
503.245.7100

1505 5TH AVE, SUITE 300
SEATTLE, WA 98101
206.576.1600

1014 HOWARD STREET
SAN FRANCISCO, CA 94103
415.252.7063

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800 MISSION AVENUE SAN RAFAEL CA 94901

ASC SAN RAFAEL LLC

REVISION	DATE	REASON FOR ISSUE

TITLE SHEET

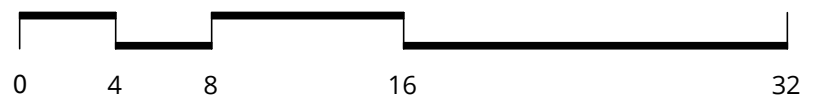
PLANNING

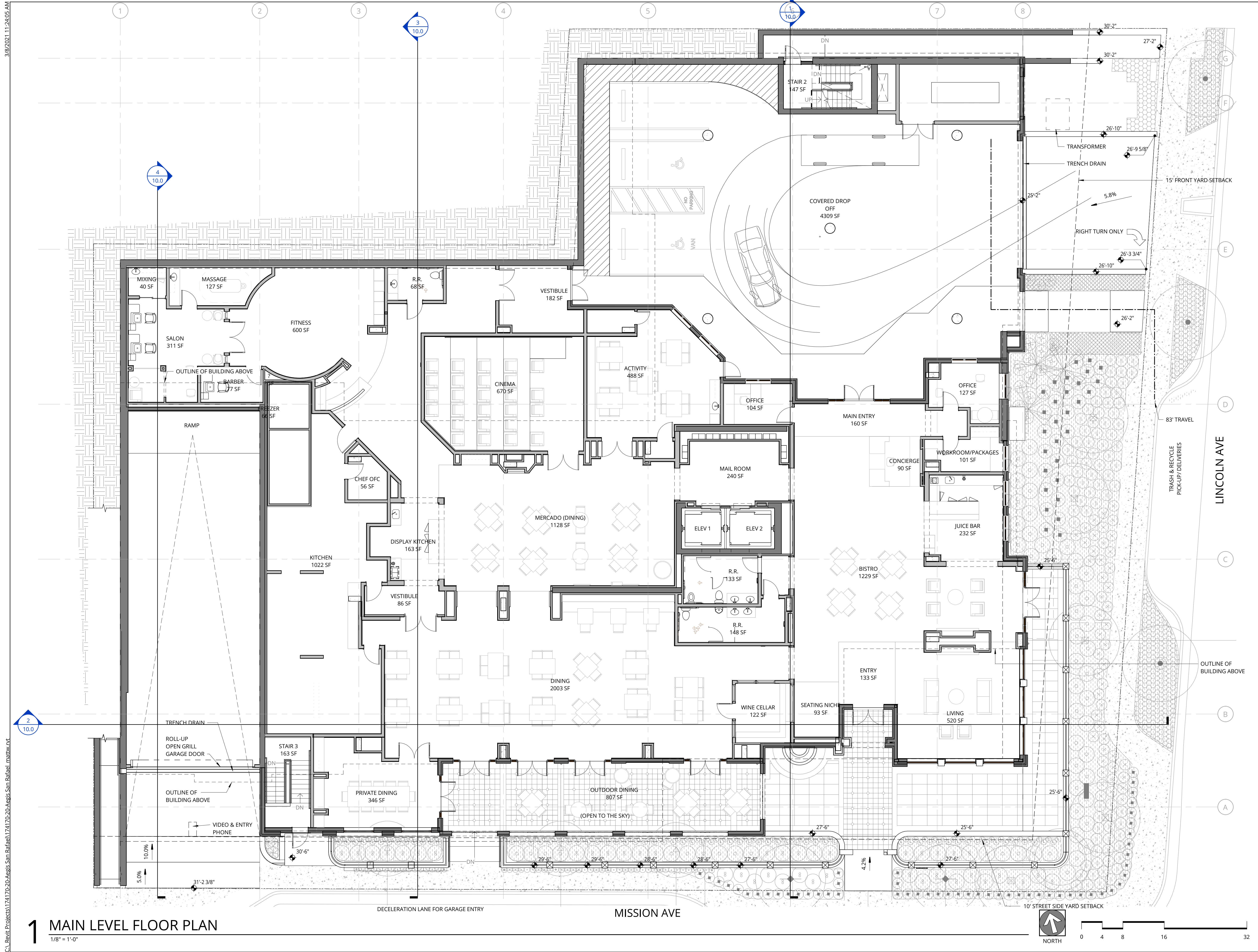
DATE MAR 3, 2021	PROJECT NUMBER 174170
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SHEET NUMBER



2.1





1 MAIN LEVEL FLOOR PLAN
1/8" = 1'-0"

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38 NORTHWEST DAVIS, SUITE 300
PORTLAND, OR 97209
503.245.7100

1505 5TH AVE, SUITE 300
SEATTLE, WA 98101
206.576.1600

1014 HOWARD STREET
SAN FRANCISCO, CA 94103
415.252.7063

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MAIN LEVEL FLOOR
PLAN

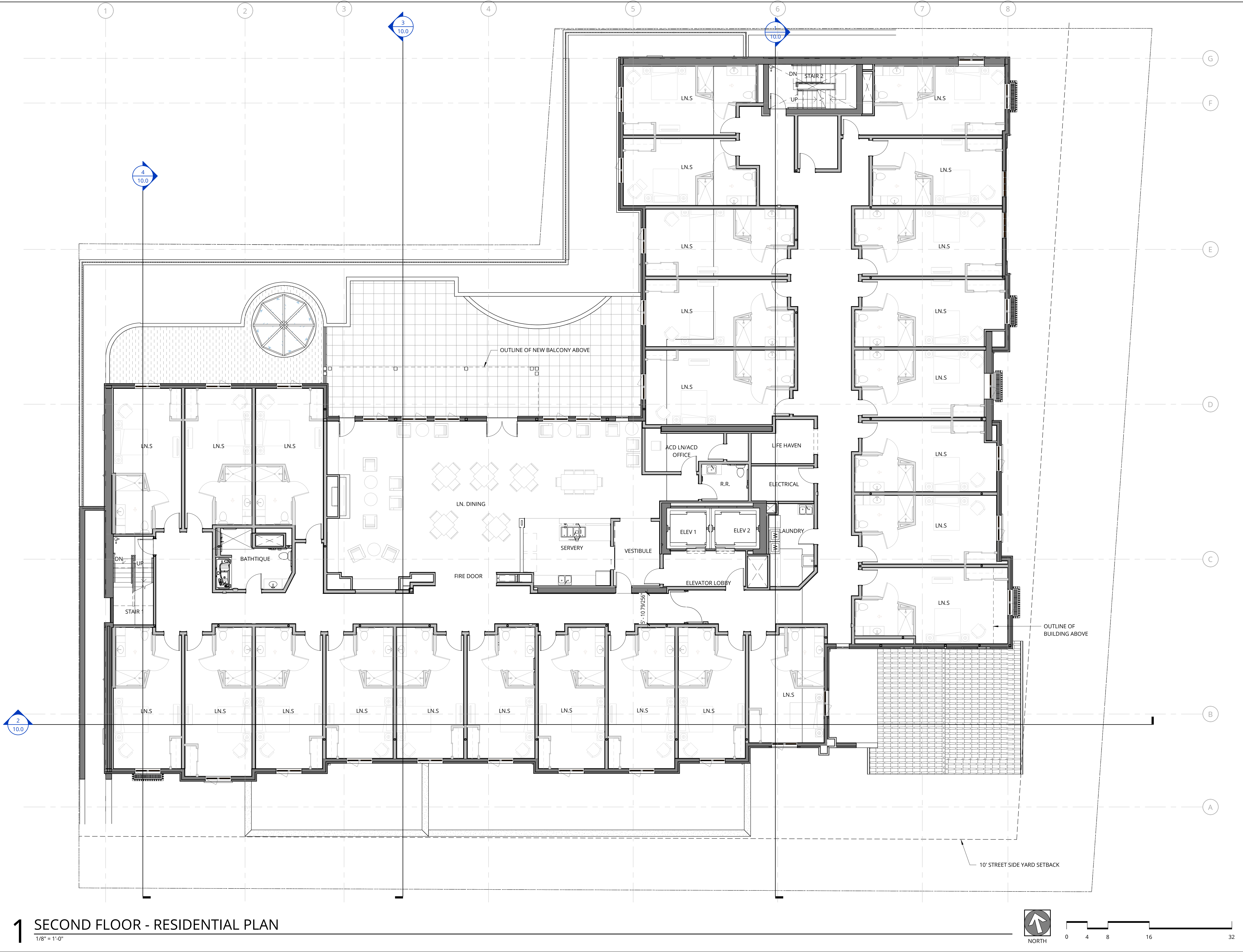
PLANNING

DATE MAR 3, 2021	PROJECT NUMBER 174170
SHEET NUMBER	

3.1

3/8/2021 11:24:10 AM

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1 SECOND FLOOR - RESIDENTIAL PLAN
1/8" = 1'-0"

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38 NORTHWEST DAVIS, SUITE 300
PORTLAND, OR 97209
503.245.7100

1505 5TH AVE, SUITE 300
SEATTLE, WA 98101
206.576.1600

1014 HOWARD STREET
SAN FRANCISCO, CA 94103
415.252.7063

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REVISION	DATE	REASON FOR ISSUE

**SECOND FLOOR -
RESIDENTIAL PLAN**

PLANNING

DATE MAR 3, 2021	PROJECT NUMBER 174170
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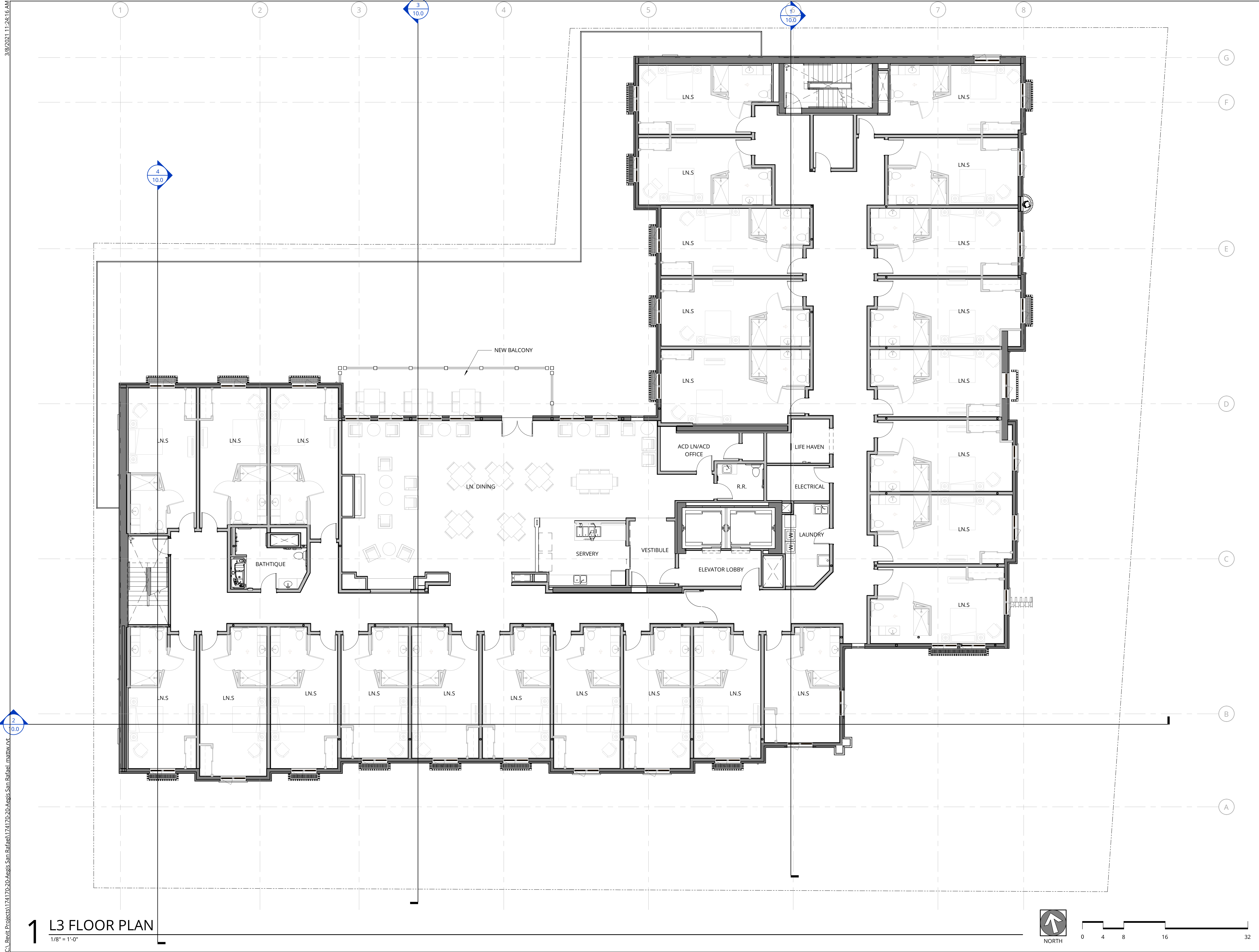
SHEET NUMBER

4.1

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3/8/2021 11:24:16 AM

1 L3 FLOOR PLAN
1/8" = 1'-0"



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CONSTRUCTION



38 NORTHWEST DAVIS, SUITE 300
PORTLAND, OR 97209
503.245.7100

1505 5TH AVE, SUITE 300
SEATTLE, WA 98101
206.576.1600

1014 HOWARD STREET
SAN FRANCISCO, CA 94103
415.252.7063

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ASC SAN RAFAEL LLC

REVISION	DATE	REASON FOR ISSUE

L3 FLOOR PLAN

PLANNING

DATE MAR 3, 2021	PROJECT NUMBER 174170
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SHEET NUMBER

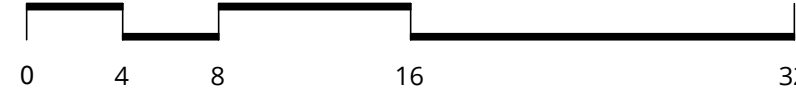
4.2

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3/8/2021 11:24:21 AM



1 L4 FLOOR PLAN
1/8" = 1'-0"



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CONSTRUCTION**



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PORTLAND, OR 97209
503.245.7100

1505 5TH AVE, SUITE 300
SEATTLE, WA 98101
206.576.1600

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L4 FLOOR PLAN

PLANNING

DATE MAR 3, 2021	PROJECT NUMBER 174170
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SHEET NUMBER

5.1

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3/8/2021 11:24:26 AM



1 L5 FLOOR PLAN
1/8" = 1'-0"



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206.576.1600

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L5 FLOOR PLAN

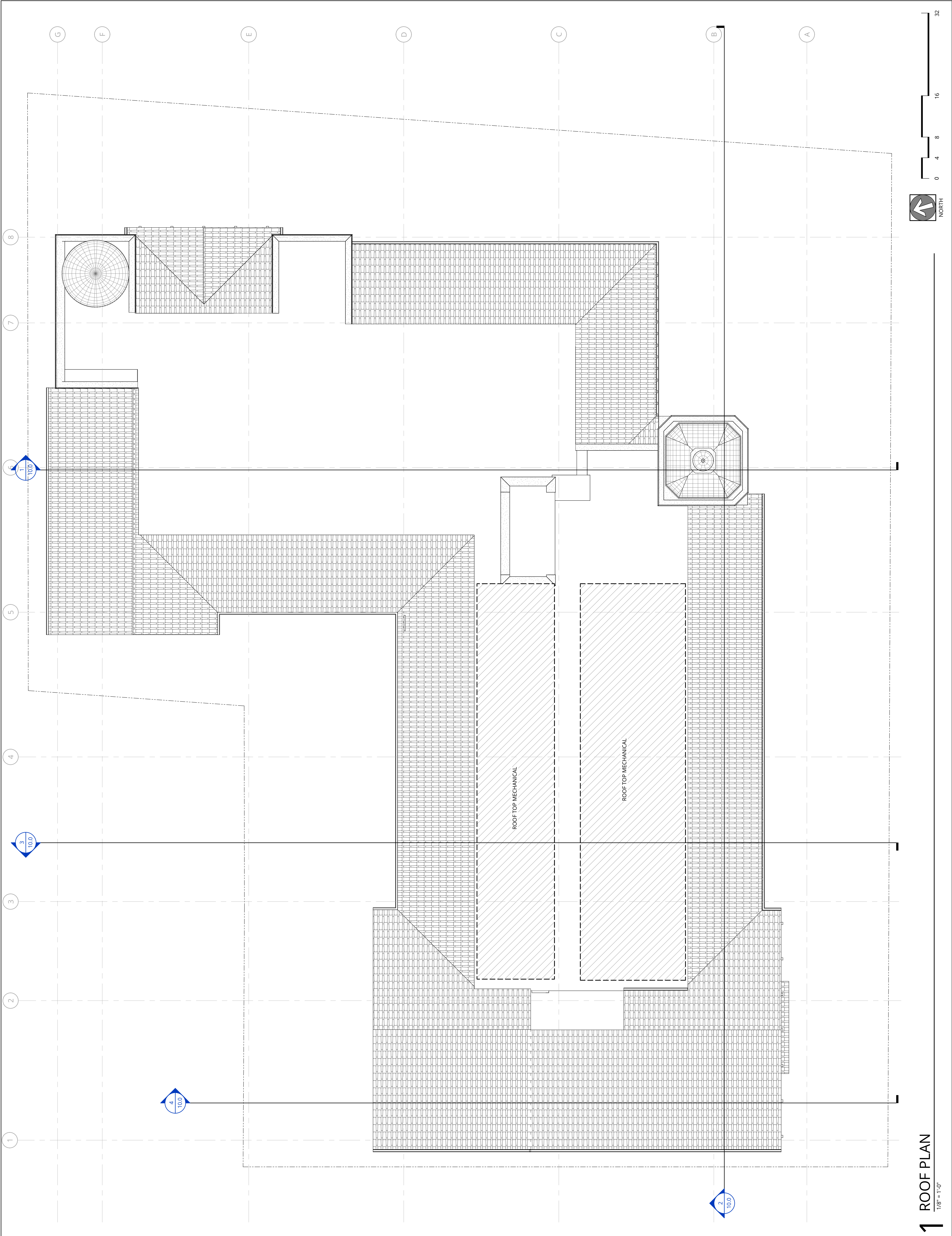
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DATE
MAR 3, 2021

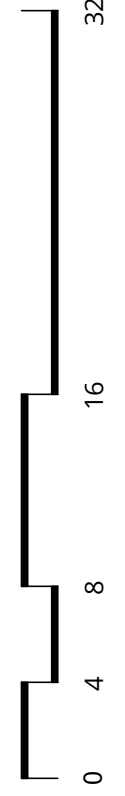
PROJECT NUMBER
174170

SHEET NUMBER

6.1



1 ROOF PLAN
1/8" = 1'-0"



DATE	PROJECT NUMBER	SHEET NUMBER
MAR 3, 2021	174170	7.1

PLANNING

ROOF PLAN

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REVISION	DATE	REASON FOR ISSUE

EXTERIOR
ELEVATIONS

PLANNING

DATE
MAR 3, 2021

PROJECT NUMBER
174170

SHEET NUMBER

8.1



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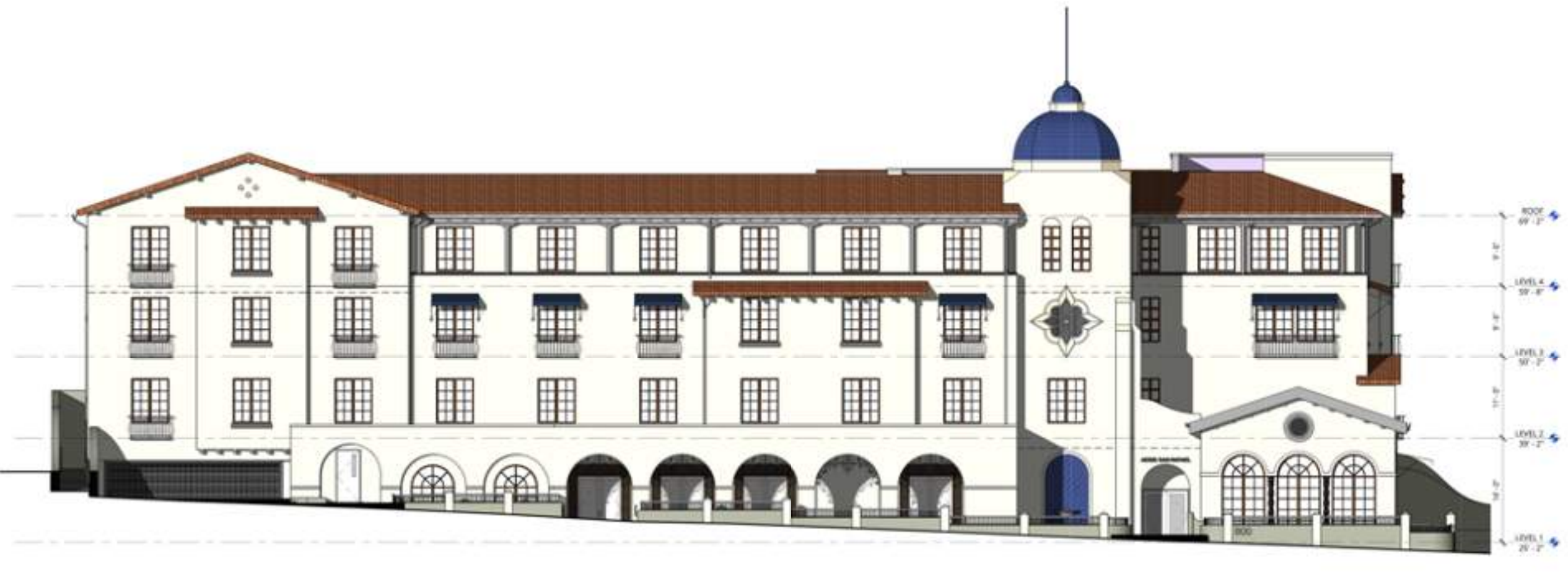
1 EAST ELEVATION - APPROVED BY DRB IN 2019
1/16"=1'-0"



SOUTH ELEVATION - APPROVED BY DRB IN 2019
1/16"=1'-0"



2 EAST ELEVATION - BUILDING PERMITTED IN 2020
1/16"=1'-0"



SOUTH ELEVATION - BUILDING PERMITTED IN 2020
1/16"=1'-0"



3 EAST ELEVATION - PROPOSED DRB DESIGN
1/16"=1'-0"



SOUTH ELEVATION - PROPOSED DRB DESIGN
1/16"=1'-0"

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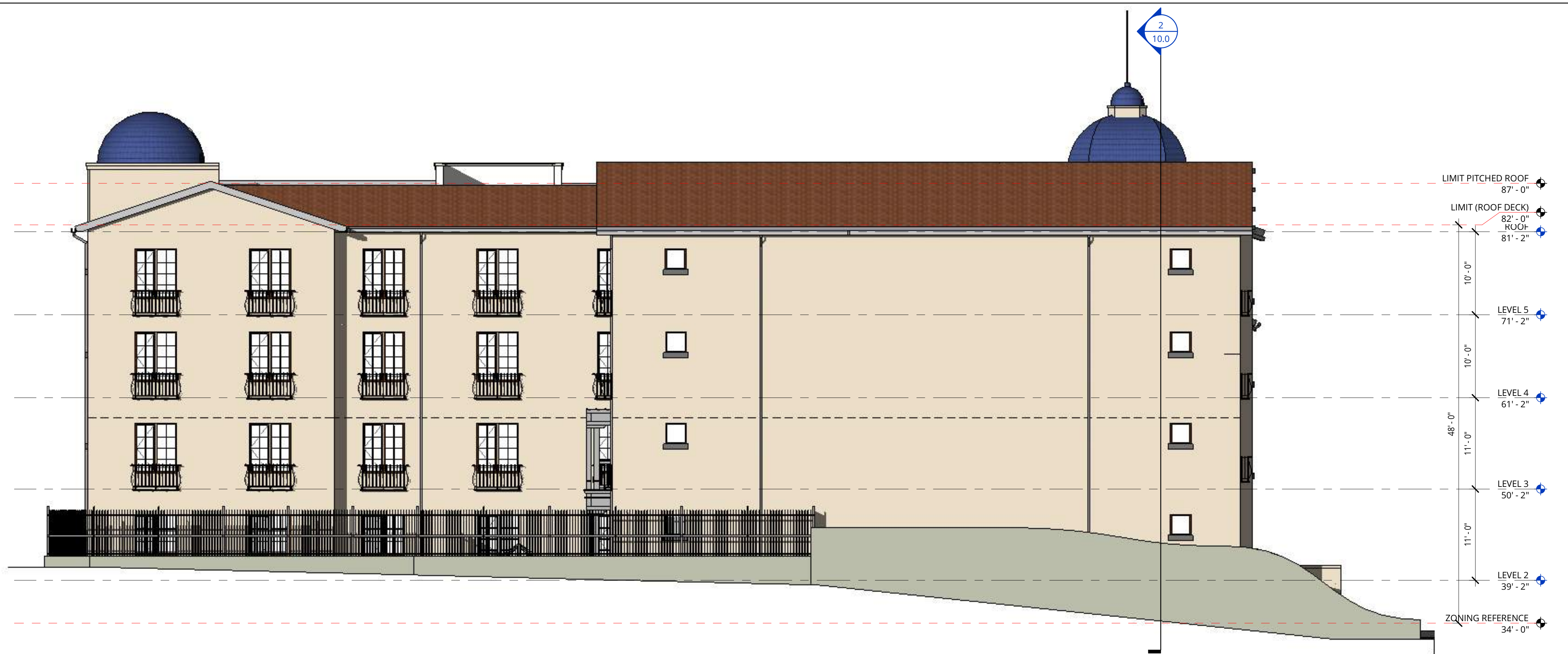
REVISION	DATE	REASON FOR ISSUE

EXTERIOR
ELEVATIONS -
DESIGN EVOLUTION
PLANNING

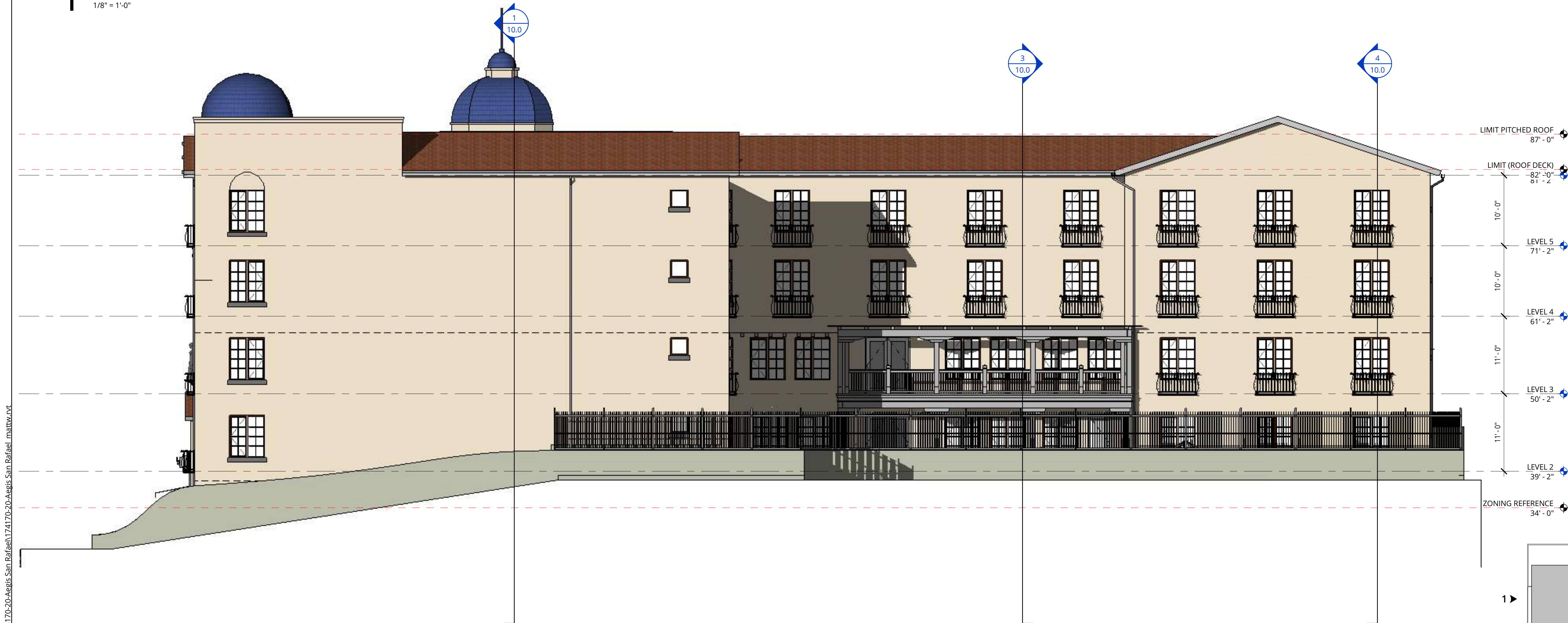
DATE MAR 3, 2021	PROJECT NUMBER 174170
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SHEET NUMBER
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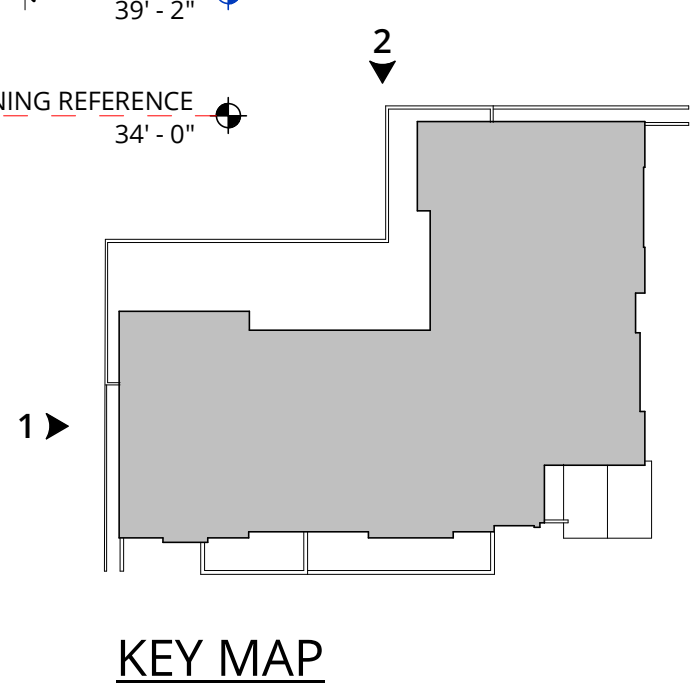
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1 WEST ELEVATION - PROPOSED
1/8" = 1'-0"



2 NORTH ELEVATION - PROPOSED
1/8" = 1'-0"



KEY MAP

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EXTERIOR
ELEVATIONS

PLANNING

DATE MAR 3, 2021	PROJECT NUMBER 174170
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SHEET NUMBER

9.1

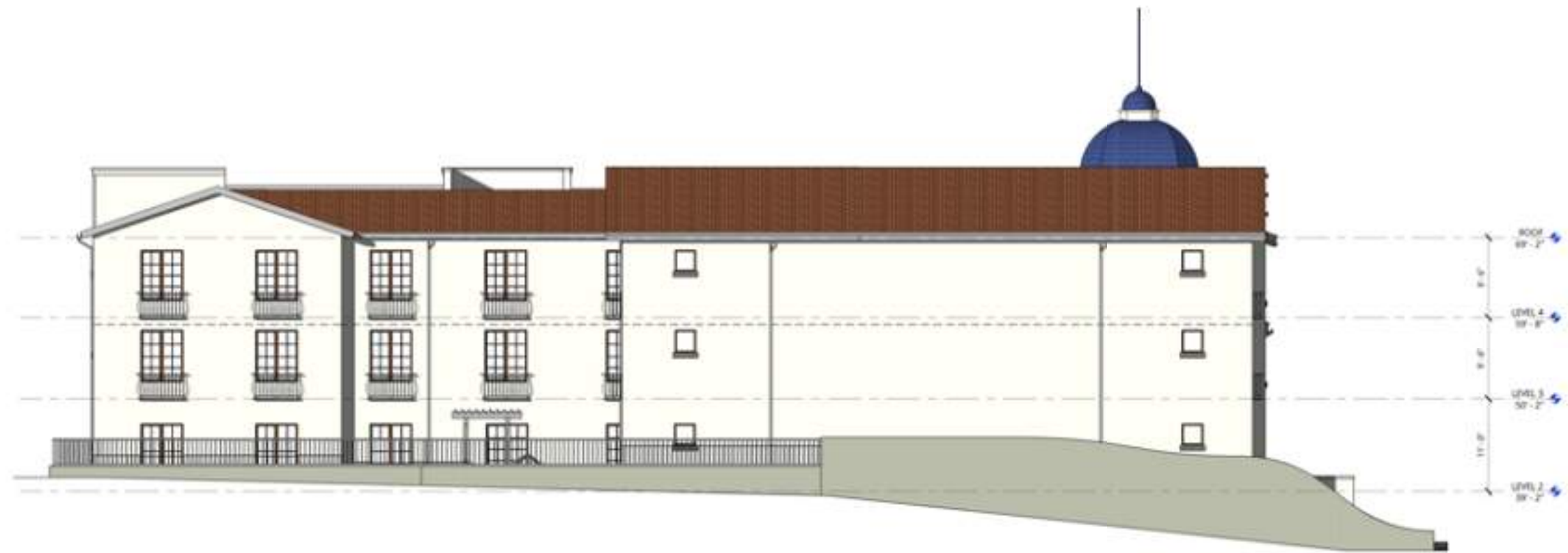
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1 WEST ELEVATION - APPROVED BY DRB IN 2019
1/16"=1'-0"



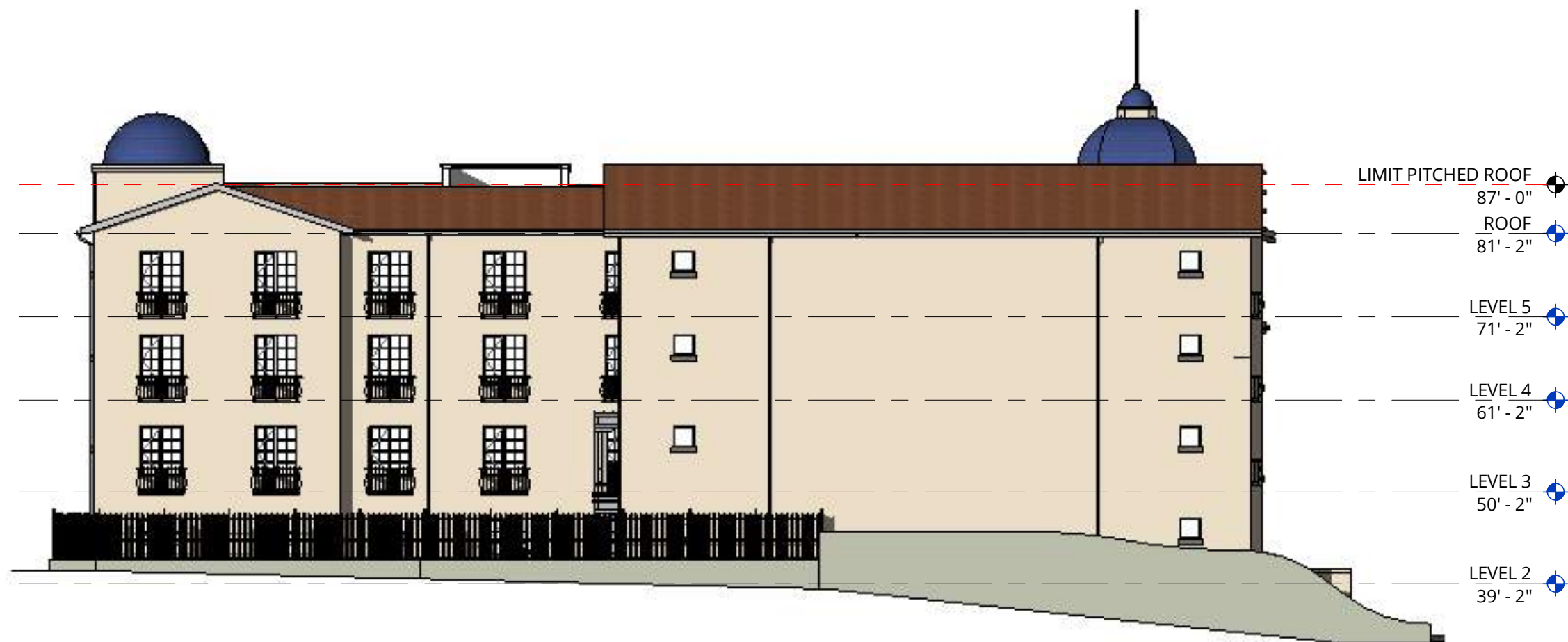
4 NORTH ELEVATION - APPROVED BY DRB IN 2019
1/16"=1'-0"



2 WEST ELEVATION - PERMITTED IN 2020
1/16"=1'-0"



5 NORTH ELEVATION - PERMITTED IN 2020
1/16"=1'-0"



3 WEST ELEVATION - PROPOSED DRB DESIGN
1/16"=1'-0"



6 NORTH ELEVATION - PROPOSED DRB DESIGN
1/16"=1'-0"

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REVISION	DATE	REASON FOR ISSUE

EXTERIOR
ELEVATIONS -
DESIGN EVOLUTION
PLANNING

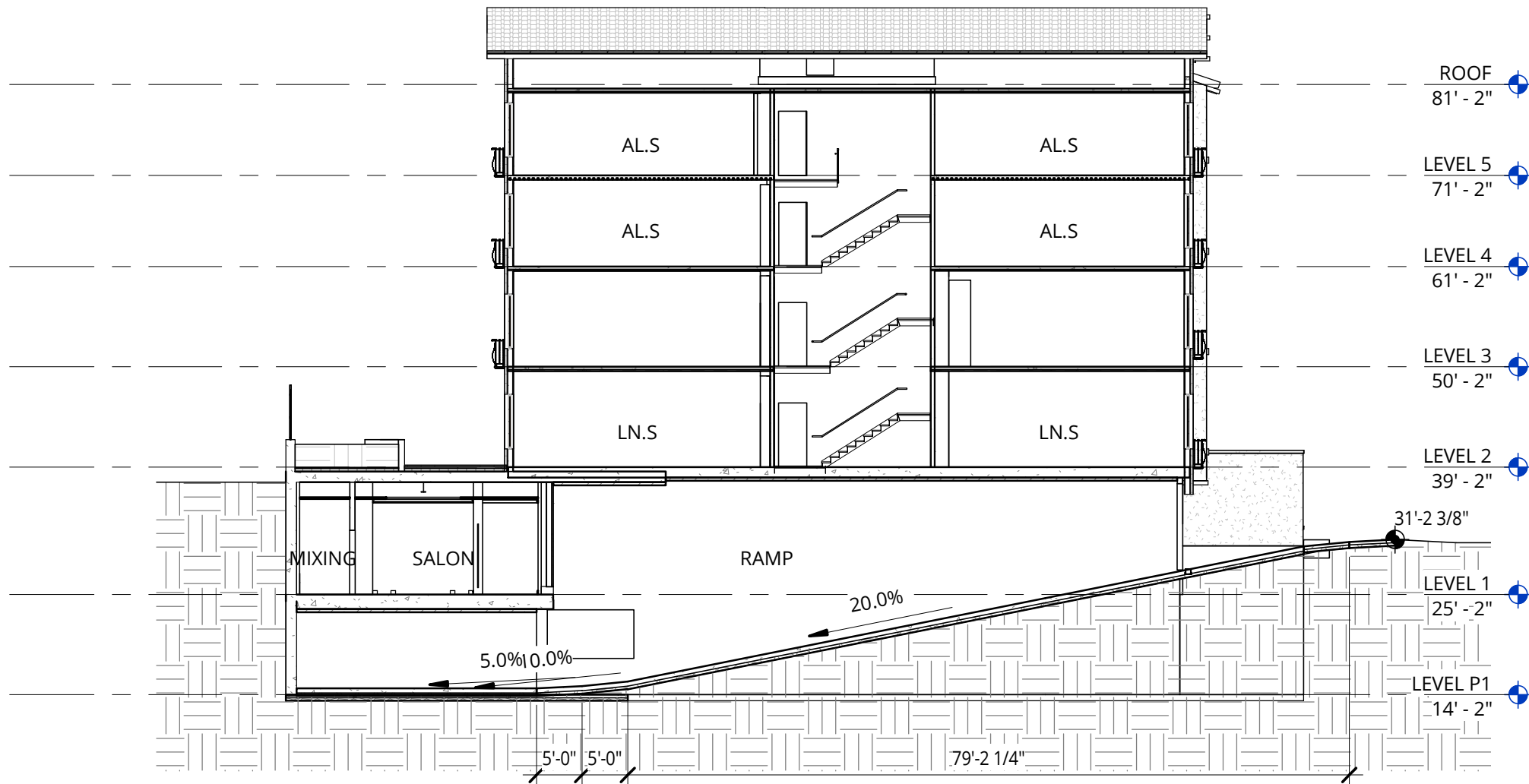
DATE
MAR 3, 2021

PROJECT NUMBER
174170

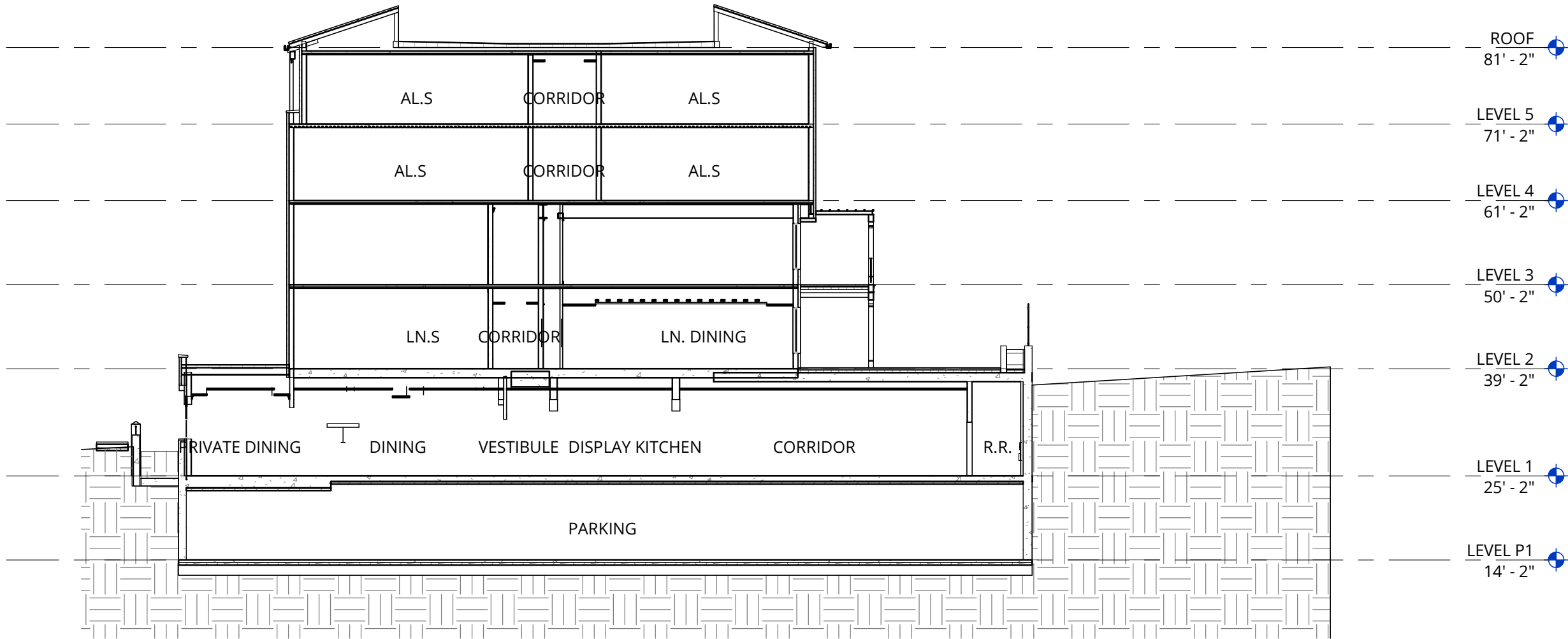
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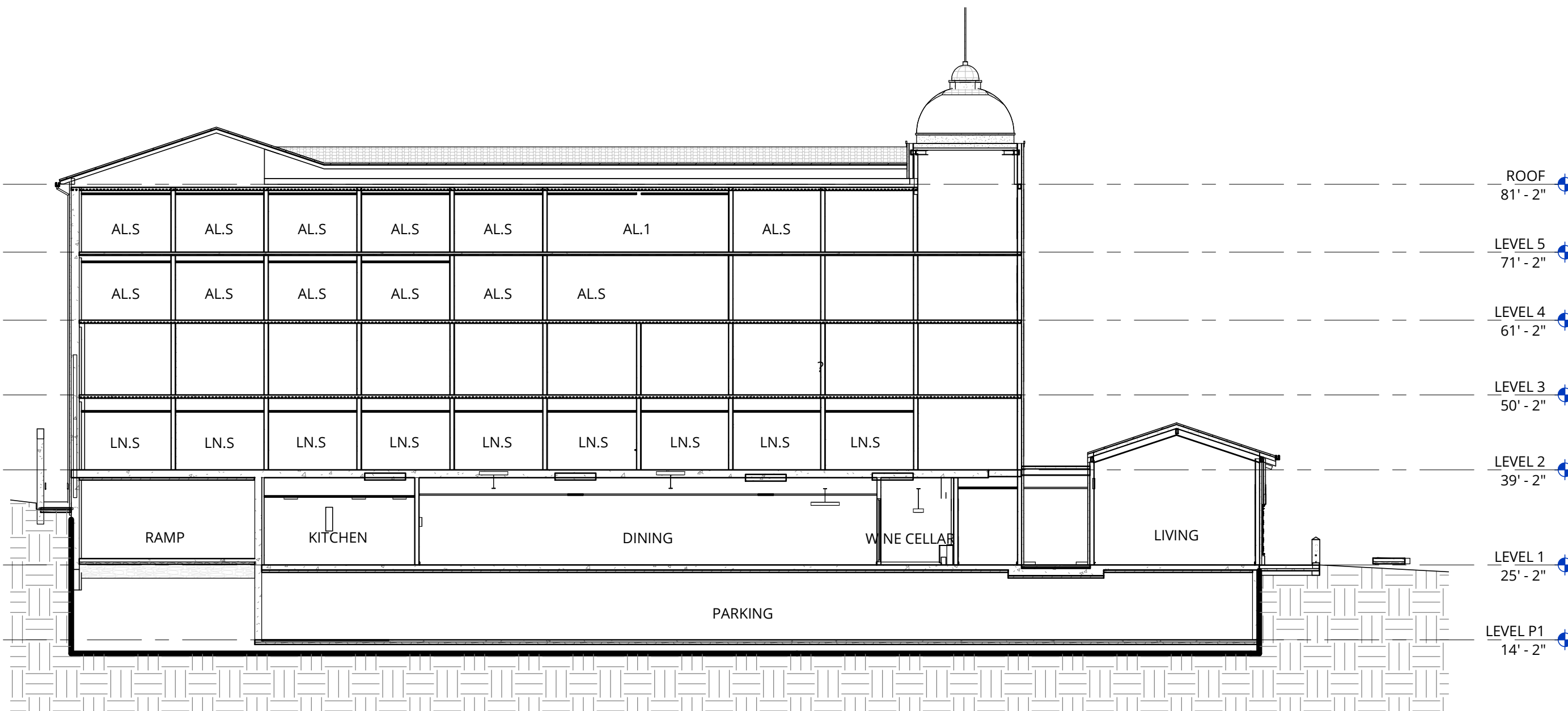
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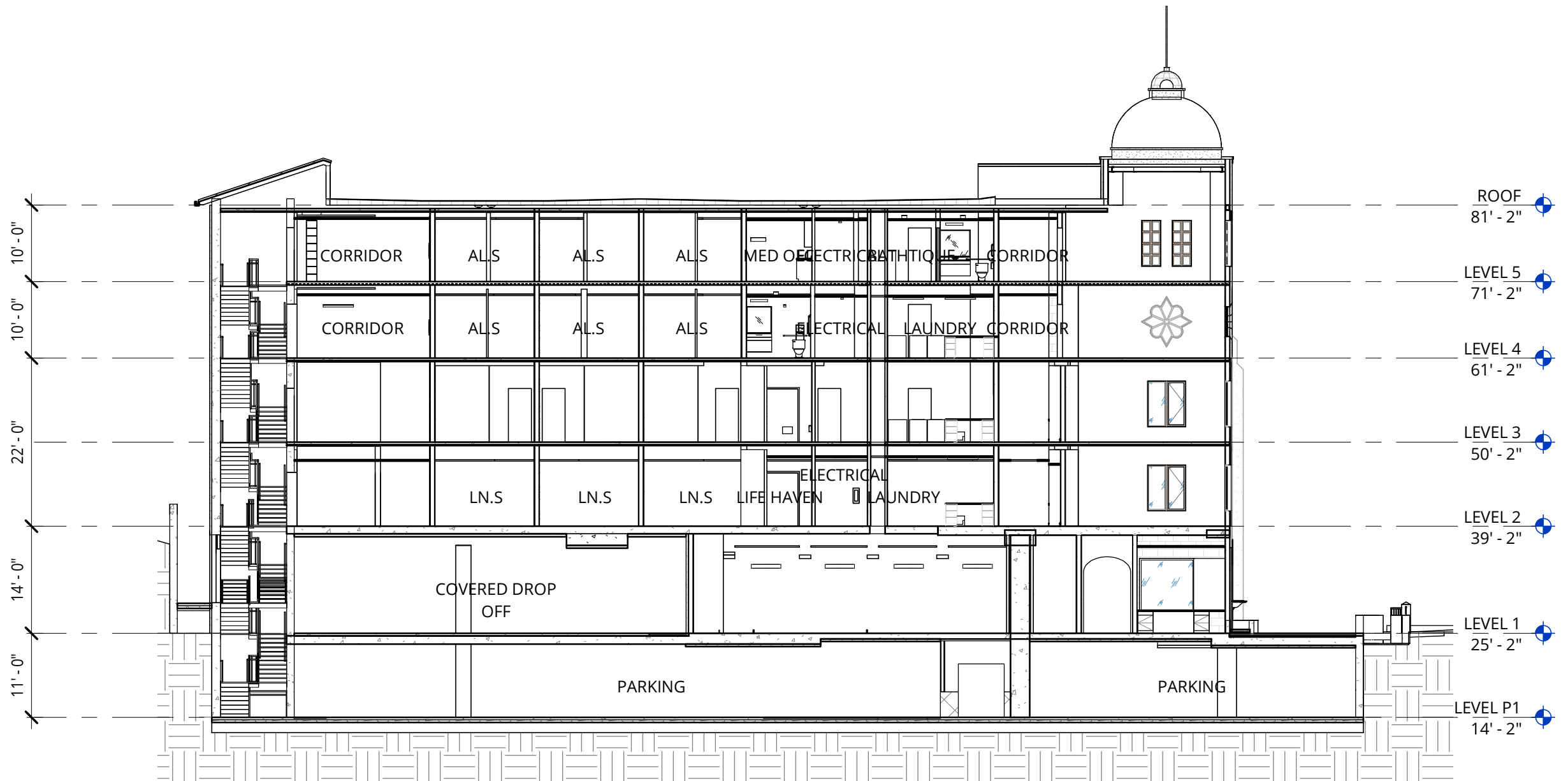
4 BUILDING SECTION AT PARKING RAMP
1/16" = 1'-0"



3 BUILDING SECTION 3
1/16" = 1'-0"



2 BUILDING SECTION 2
1/16" = 1'-0"



1 BUILDING SECTION 1
1/16" = 1'-0"

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SECTIONS

PLANNING

DATE
MAR 3, 2021

PROJECT NUMBER
174170

SHEET NUMBER

10.0

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1. TILE ROOF



2. BLUE ROOF TILE



3. TIMBER DETAILING



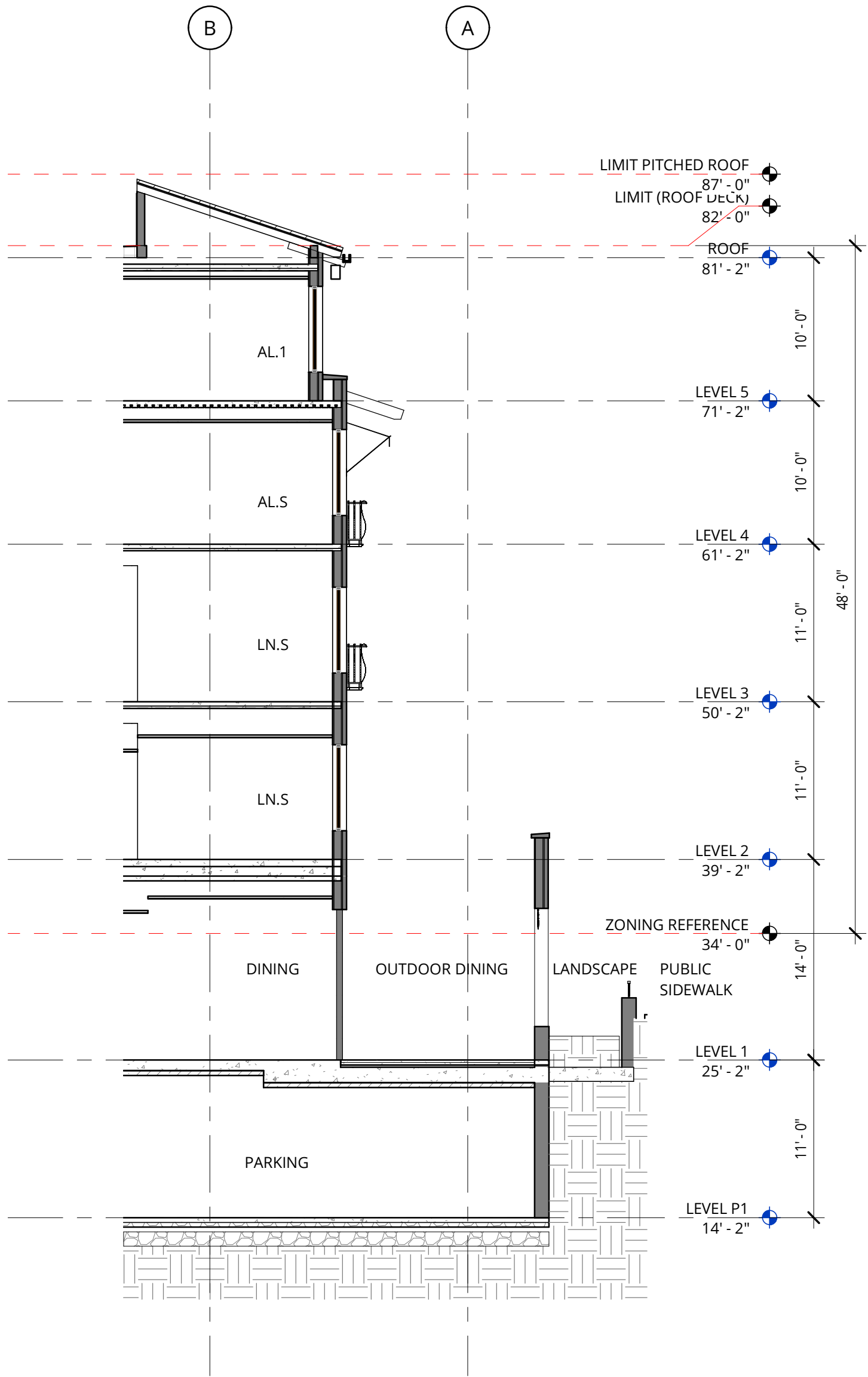
4. WROUGHT IRON



5. STUCCO



6. FABRIC AWNINGS



1 WALL SECTION
1/8" = 1'-0"

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DETAILS

PLANNING

DATE MAR 3, 2021	PROJECT NUMBER 174170
SHEET NUMBER 11.0	

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PLANT MATERIAL SCHEDULE						
ABBREV	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	MATURE SIZE/ PLANT TYPE	WUCOLS RATING
TREES						
ACE APO	ACER SACCHARUM 'APOLLO'	APOLLO MAPLE	36" BOX	PER PLANS	30'/ DECIDUOUS	LOW
MUS BAS	MUSA BASJOO	JAPANESE BANANA	24" BOX	4' O.C.	12'/ HERBACEOUS	MEDIUM
OLE EUR	OLEA EUROPAEA 'SWAN HILL'	FRUITLESS OLIVE - TREE FORM	36" BOX	PER PLANS	25'+ / EVERGREEN	VERY LOW
PHO DAC	PHOENIX DACTYLIFERA	DATE PALM	12' BTH	30' O.C.	30'+ / EVERGREEN	LOW
PIS CHI	PISTACIA CHINENSIS	CHINESE PISTACHE	36" BOX	PER PLANS	30'/ DECIDUOUS	LOW
SHRUBS, GROUNDCOVERS & VINES						
BUX GRE	BUXUS M. VAR JAPONICA 'GREEN BEAUTY'	DWARF BOXWOOD	5 GAL	1'-0"	2'/ EVERGREEN	LOW
CAR DIV	CAREX DIVULSA	BERKELEY SEDGE	1 GAL	1'-8"	12" / EVERGREEN	VERY LOW
DIA REV	DIANELLA REVOLUTA 'LITTLE REV'	LITTLE REV FLAX LILY	1 GAL	1'-6"	18" / EVERGREEN	LOW
GEL SEM	GELSEMIUM SEPERVIRENS 'MARGARITA'	CAROLINA JESSIMINE	1 GAL	PER PLANS	12' + / EVERGREEN	LOW
GER MAC	GERANIUM MACRORRHIZUM	BIG ROOT GERANIUM	1 GAL	1'-6"	8" / SEMI-EVERGREEN	MEDIUM
LAM WHI	LAMIUM MACULATUM 'WHITE NANCY'	WHITE NANCY DEADNETTLE	1 GAL	1'-6"	6" / SEMI-EVERGREEN	MEDIUM
LIR MUS	LIRIOPE MUSCARI	BLUE LILY TURF	1 GAL	1'-0"	12" / EVERGREEN	MEDIUM
LOM BRE	LOMANDRA LONGIFOLIA 'BREEZE'	DWARF MAT RUSH	1 GAL	2'-6"	2' / EVERGREEN	LOW
LOM PLA	LOMANDRA LONGIFOLIA 'PLATINUM BEAUTY'	VARIEGATED DWARF MAT RUSH	1 GAL	2'-6"	2' / EVERGREEN	LOW
LON JAP	LONICERA JAPONICA	JAPANESE HONEYSUCKLE	1 GAL	3'-0"	2' / EVERGREEN	MEDIUM
LOR CHI	LOROPETALUM CHINENSE	FRINGE FLOWER	5 GAL	4'-6"	3'-6" / EVERGREEN	LOW
PHI XAN	PHILODENDRON XANADU	PHILODENDRON	5 GAL	3'-0"	2' / EVERGREEN	MEDIUM
RHA CAL	RHAMNUS CALIFORNICA	COFFEEBERRY	5 GAL	PER PLANS	6'-8' / EVERGREEN	LOW
ROS SPP	ROSA SPECIES CARPET ROSE	GROUNDCOVER CARPET ROSE 'PINK'	1 GAL	3'-0"	18" TO 2' / SEMI-EVERGREEN	LOW
STR REG	STRELITZIA REGINAE	BIRD OF PARADISE	5 GAL	4'	4' TO 6' / EVEGREEN	LOW
BIOFILTRATION PLANTS						
ACE CIR	ACER CIRCINATUM	VINE MAPLE	15 GAL	PER PLANS	10'+ / DECIDUOUS	LOW
ACH MIL	ACHILLEA MILLEFOLIUM	COMMON YARROW	1 GAL	2'-0"	1'-6" / PERENNIAL	LOW
CAR DIV	CAREX DIVULSA	BERKELEY SEDGE	1 GAL	1'-6"	12" / EVERGREEN	LOW
CHO TEC	CHONDROPETALUM TECTORUM	SMALL CAPE RUSH	1 GAL	2'-0"	2' / EVERGREEN	LOW
IRI DOU	IRIS DOUGLASIANA	DOUGLAS IRIS	1 GAL	2'-0"	2' / EVERGREEN	LOW
LOB CAR	LOBELIA CARDINALIS	CARDINAL FLOWER	1 GAL	2'-0"	3' / PERENNIAL	LOW
RHA CAL	RHAMNUS CALIFORNICA	COFFEEBERRY	5 GAL	PER PLANS	6'-8' / EVERGREEN	LOW

NOTE: PLANTER MATERIAL IN THE LEVEL 2 INDIVIDUAL PLANTER POTS WILL BE SEASONAL AND CONSIST MAINLY OF FLOWERING PLANTS. THIS PLANTING AREA HAS BEEN ADDED TO THE IRRIGATION AND IS PART OF THE WATER USE CALCS.

PLANT MATERIAL IMAGERY
TREES



ACER SACCHARUM 'APOLLO'



MUSA BASJOO



OLEA EUROPAEA 'SWAN HILL'



PHOENIX DACTYLIFERA



PISTACIA CHINENSIS (Street Trees)

SHRUBS, GROUNDCOVERS & VINES



BUXUS M. VAR JAPONICA 'GREEN BEAUTY'



CAREX DIVULSA



DIANELLA REVOLUTA 'LITTLE REV'



GELSEMIUM SEMPERVIRENS 'MARGARITA'



GERANIUM MACRORRHIZUM



LAMIUM MACULATUM 'WHITE NANCY'



LIRIOPE MUSCARI



LOMANDRA LONGIFOLIA 'BREEZE'



LOMANDRA LONGIFOLIA 'PLATINUM BEAUTY'



LONICERA JAPONICA



LOROPETALUM CHINENSE



PHILODENDRON XANADU



RHAMNUS CALIFORNICA



ROSA SPECIES



STRELITZIA REGINAE

BIOFILTRATION PLANTS



ACER CIRCINATUM



ACHILLEA MILLEFOLIUM



CAREX DIVULSA



CHONDROPETALUM TECTORUM



IRIS DOUGLASIANA



LOBELIA CARDINALIS



RHAMNUS CALIFORNICA

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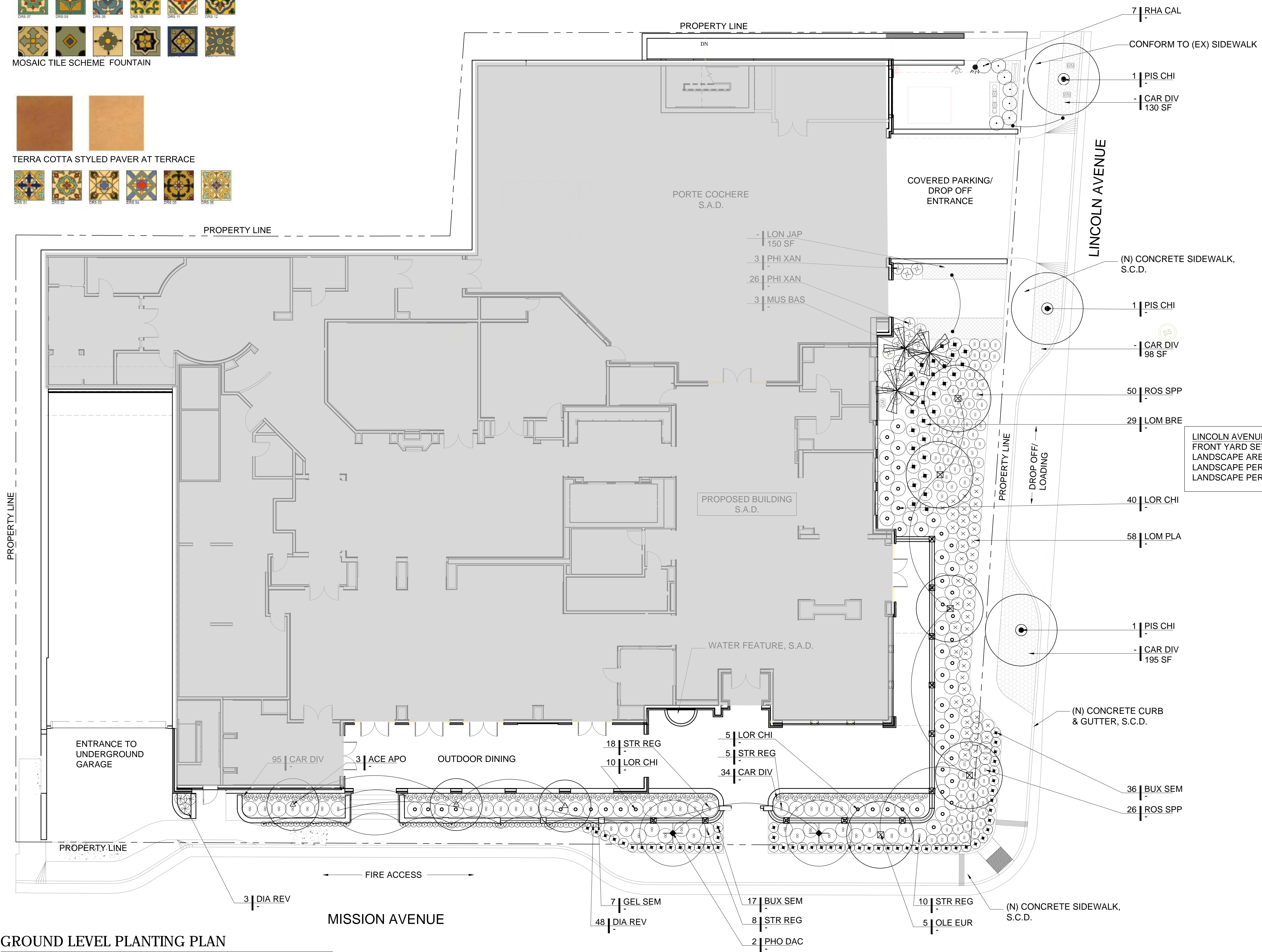
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REVISION	DATE	REASON FOR ISSUE

PLANT MATERIAL
SCHEDULE
& IMAGERY

PLANNING

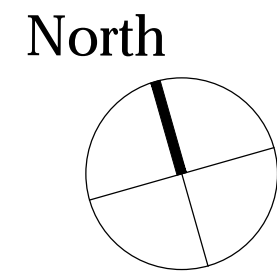
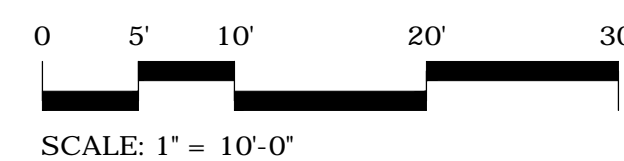
DATE MAR 3, 2021	PROJECT NUMBER 174170
SHEET NUMBER 16	



01 GROUND LEVEL PLANTING PLAN

MISSION AVENUE LANDSCAPE:
SIDE YARD SETBACK AREA: 1,813 SF
LANDSCAPE AREA: 910 SF
LANDSCAPE PERCENTAGE PROVIDED: 50%
LANDSCAPE PERCENTAGE REQUIRED: 50%

NOTE:
1. SEE SHEET 16 FOR PLANT MATERIAL SCHEDULE & IMAGERY.



LINCOLN AVENUE LANDSCAPE:
FRONT YARD SETBACK AREA: 2,515 SF
LANDSCAPE AREA: 1,299 SF
LANDSCAPE PERCENTAGE PROVIDED: 52%
LANDSCAPE PERCENTAGE REQUIRED: 50%



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www.studiogreen.com

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GROUND LEVEL PLANTING PLAN

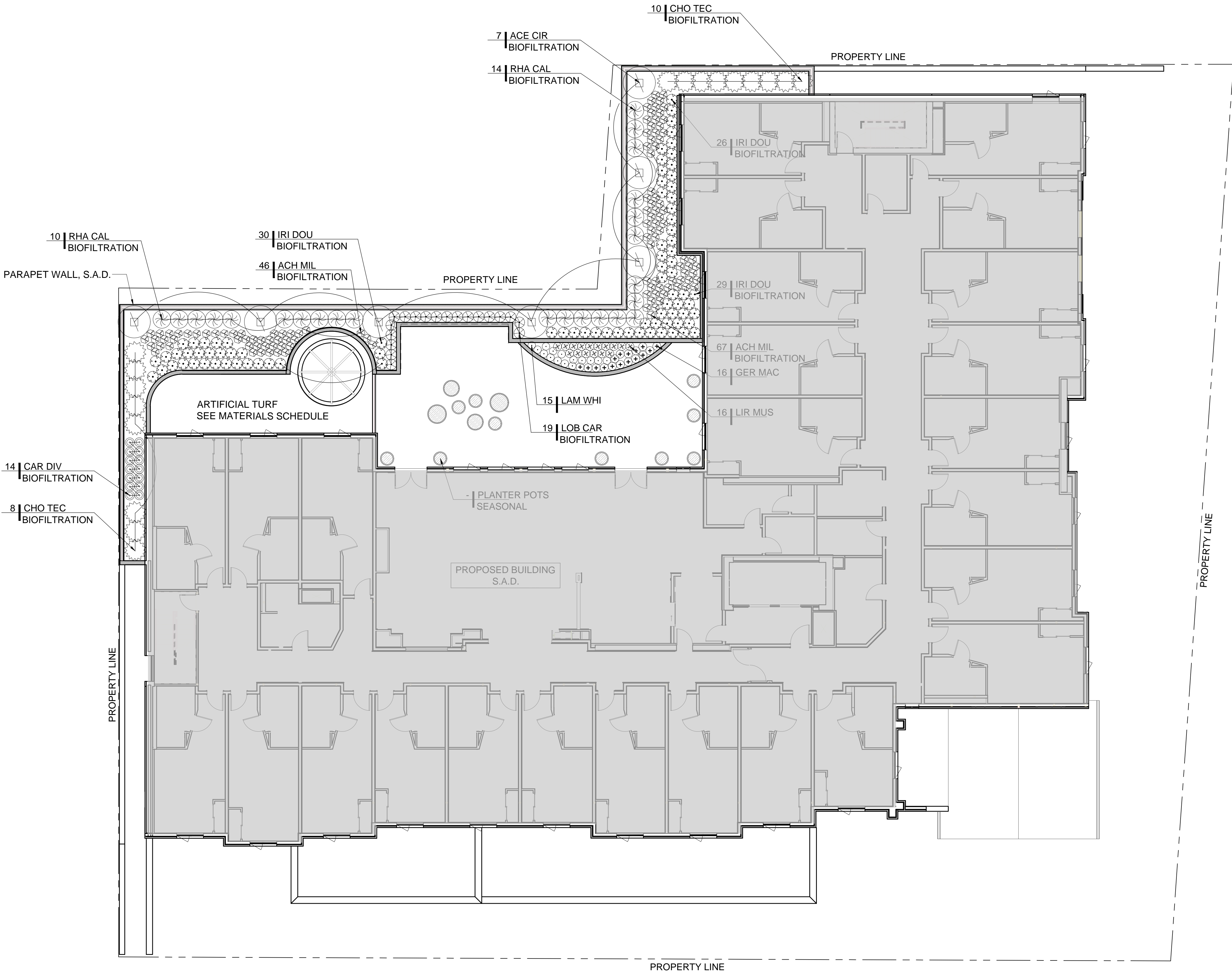
PLANNING

DATE MAR 3, 2021	PROJECT NUMBER 174170
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SHEET NUMBER
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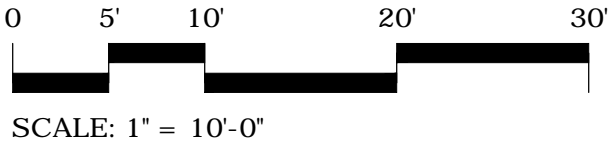
PEDESTAL PAVING SYSTEM- NEUTRAL COLORS TO COMPLIMENT THE MISSION STYLE OF THE ARCHITECTURE



WOOD TRELLIS WITH BRONZE HARDWARE

01 LEVEL 2 PLANTING PLAN

NOTE:
1. SEE SHEET 16 FOR PLANT MATERIAL SCHEDULE & IMAGERY.



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REVISION	DATE	REASON FOR ISSUE

LEVEL 2
PLANTING PLAN

PLANNING

DATE MAR 3, 2021	PROJECT NUMBER 174170
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SHEET NUMBER 13

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PLANT MATERIAL SCHEDULE - AEGIS LIVING						
ABBREV	BOTANICAL	COMMON NAME	SIZE	SPACING	MATURE SIZE/ PLANT TYPE	WUCOLS RATING
TREES						
CAR BET	CARPINUS BETULUS 'FASTIGIATA'	AMERICAN HORNBEAM	24" BOX		"BLEACHED"/DECIDUOUD	MEDIUM
MUS BAS	MUSA BASJOO	JAPANESE BANANA	25 GAL	4' O.C.	12'/ HERBACEOUS	MEDIUM
OLE EUR	OLEA EUROPAEA 'SWAN HILL'	SWAN HILL OLIVE TREE	36" BOX		15'+/EVERGREEN	LOW
PHO DAC	PHOENIX DACTYLIFERA	DATE PALM	10' BROWN TRUNK	30' O.C.	30'+ /EVERGREEN	MEDIUM
PIS CHI	PISTACIA CHINENSIS	CHINESE PISTACHE	36" BOX	PER PLANS	30'/ DECIDUOUS	LOW
SHRUBS & GRASSES						
ALS SPP.	ALSTROEMERIA SPECIES	PERUVIAN LILY	1 GAL	1'		
ANG SPP.	ANIGOZANTHOS SPECIES	KANGAROO PAWS	1 GAL	2'-0"		
AST SPP.	ASTER SPECIES	ASTER	1 GAL	1'-0"		
BUX SEM	BUXUS SEMPERVIRENS 'SUFFRUTICOSA'	DWARF BOXWOOD	1 GAL	1'-0"	2'/ EVERGREEN	MEDIUM
BUX TOP	BUXUS SEMPERVIRENS 'TOPIARY'	TOPAIRY BOXWOOD	15 GAL +	-		
CAR DIV	CAREX DIVULSA	BERKELEY SEDGE	1 GAL	1'-8"	12"/ EVERGREEN	VERY LOW
DIA REV	DIANELLA REVOLUTA 'LITTLE REV'	LITTLE REV FLAX LILY	1 GAL	1'-6"	18" / EVERGREEN	LOW
ERY SPP.	ERYSIMUM 'BOWLES'S MAUVE'	WALLFLOWER	1 GAL	1'-6"		
IRI SPP.	IRIS SPECIES	BEARDED IRIS	1 GAL	1'-6"		
LIR GIG	LIRIOPE GIGANTEA	GIANT LILY TURF	1 GAL	1'-6"	18"/ EVERGREEN	MEDIUM
LIR MUS	LIRIOPE MUSCARI	BLUE LILY TURF	1 GAL	1'-0"	12"/ EVERGREEN	MEDIUM
LOM LON	LOMANDRA LONGIFOLIA 'BREEZE'	DWARF MAT RUSH	1 GAL	2'-6"	2' / EVERGREEN	LOW
LON JAP	LONICERA JAPONICA	JAPANESE HONEYSUCKLE	1 GAL	3'-0"	2' / EVERGREEN	MEDIUM
LOR CHI	LOROPETALUM CHINENSE	FRINGE FLOWER	5 GAL	4'-6"	3'-6' / EVERGREEN	LOW
LYC COR	LYCHNIS CORONARIA	ROSE CAMPION	1 GAL	1'-0"		
NIC SPP.	NICOTIANA SPECIES	TOBACCO PLANT	1 GAL	1'-0"		
PAP BOL	PAPAVER ORIENTALE 'BOLERO'	ORIENTAL POPPY	1 GAL	1'-0"		
PAP BUR	PAPAVER ORIENTALE 'BURNING HAERT'	ORIENTAL POPPY	1 GAL	1'-0"		
PHI XAN	PHILODENDRON XANADU	PHILODENDRON	1 GAL	3'-0"	2' / EVERGREEN	MEDIUM
ROS SPP	ROSA SPECIES	GROUNDCOVER CARPET ROSE 'PINK'	1 GAL	3'-0"	18" TO 2' / SEMI-EVERGREEN	MEDIUM
STR REG	STRELITZIA REGINAE	BIRD OF PARADISE	5 GAL	4'	4' TO 6' / EVEGREEN	MEDIUM
TEU LUC	TEUCRIUM X LUCIDRYS	GERMANDER	1 GAL	1'		
VINES						
GEL SEM	GELSEMIUM SEMPERVIRENS 'MARGARITA'	HARDY CAROLINA JASMINE	1 GAL	4'-0	6'-8' TRAILING/EVERGREEN	MEDIUM

BIO-FILTRATION PLANT SCHEDULE - AEGIS LIVING						
ABBREV	BOTANICAL	COMMON NAME	SIZE	SPACING	MATURE SIZE/ PLANT TYPE	WUCOLS RATING
BIO-FILTRATION						
ACE CIR	ACER CIRCINATUM	VINE MAPLE	5 GAL	-	DECIDUOUS	MEDIUM
ACH MIL	ACHILLEA MILLEFOLIUM	COMMON YARROW	1 GAL	1'-0"	PERENNIAL	MEDIUM
CHO TEC	CHONDROPETALUM TECTORUM	SMALL CAPE RUSH	1 GAL	2'-0"	2' / EVERGREEN	LOW
CAR DIV	CAREX DIVULSA	BERKELEY SEDGE	1 GAL	1'-6"	EVERGREEN	LOW
FRA CHI	FRAGARIA CHILOENSIS	BEACH STRAWBERRY	1 GAL	1'	EVERGREEN PERENNIAL	MEDIUM
IRI CAN	IRIS DOUGLASIANA 'CANYON SNOW'	DOUGLAS IRIS	1 GAL	1'-0"	PERENNIAL	MEDIUM
IRI DOU	IRIS DOUGLASIANA	DOUGLAS IRIS	1 GAL	1'	PERENNIAL	MEDIUM
LOB CAR	LOBELIA CARDINALIS	CARDINAL FLOWER	1 GAL	1'-0"		MED
RHA CAL	RHAMNUS CALIFORNICA 'EVE CASE'	COFFEEBERRY	5 GAL	4'-0"	EVERGREEN	LOW
ROS CAL	ROSA CALIFORNICA	CALIFORNIA WILD ROSE	1 GAL	1'	DECIDUOUS	MEDIUM

*PLANT LIST PER THE MARIN COUNTY STORMWATER POLLUTION PREVENTION PROGRAM , BIORETENTION FACILITY PLANT MATRIX, JUNE,2014

TYPICAL SEASONAL ANNUALS & PERENNIALS @ L2 & ROOF DECK PLANTERS						
ABBREV	BOTANICAL	COMMON NAME	SIZE	SPACING	MATURE SIZE/ PLANT TYPE	WUCOLS RATING
ALS SPP.	ALSTROEMERIA SPECIES	PERUVIAN LILY	1 GAL			
BAC SPP.	BACOPA SPECIES	BACOPA	1 GAL			
DIG SPP.	DIGITALIS SPECIES	COMMON FOXGLOVE	1 GAL			
LOB SPP.	LOBELIA SPECIES	LOBELIA	1 GAL			
PAP BOL	PAPAVER ORIENTALE 'BOLERO'	ORIENTAL POPPY	1 GAL			
PAP BUR	PAPAVER ORIENTALE 'BURNING HEART'	ORIENTAL POPPY	1 GAL			
PRI SPP.	PRIMULA SPECIES	PRIMROSE	1 GAL			
VIO SPP.	VOILA SPECIES	VIOLA	1 GAL			

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ASC SAN RAFAEL LLC

REVISION	DATE	REASON FOR ISSUE
	09.17.19	LANDSCAPE LIGHTING

PLANT MATERIAL
SCHEDULE

SHEET TITLE

PLANNING

DATE 05.30.2018	PROJECT NUMBER 164890
--------------------	--------------------------

SHEET NUMBER

PLANT CHARACTER IMAGERY

TREES & PALMS



CARPINUS BETULUS 'FASTIGIATA'



MUSA BASJOO



PHOENIX DACTYLIFERA



PISTACIA CHINENSIS
(STREET TREE ALONG LINCOLN)



OLEA EUROPAEA

SHRUBS & GROUND COVER



BUXUS SEMPERVIRENS 'SUFFRUTICOSA'



BUXUS SEMPERVIRENS 'TOIARY'



CAREX DIVULSA



DIANELLA REVOLUTA
'LITTLE REV'



LIRIOPE GIGANTEA



LIRIOPE MUSCARI



LOMANDRA LONGIFOLIA
'BREEZE'



LONICERA JAPONICA



LOROPETALUM CHINENSE



PHILODENDRON XANADU



ROSA SPECIES



STRELITZIA REGINAE



TEUCRIUM X LUCIDRYS



ALSTROEMERIA SPECIES



ANIGOZANTHOS SPECIES



ASTER SPECIES



ERYSIMUM 'BOWLES'S MAUVE'



IRIS SPECIES



LYCHNIS CORONARIA



NICOTIANA SPECIES



PAPAVER ORIENTALE 'BOLERO'



PAPAVER ORIENTALE 'BURNING HAERT'

VINES



GELSEMIUM SEMPERVIRENS
'MARGARITA'



ACER CIRCINATUM



ACHILLEA MILLEFOLIUM



CHONDROPETALUM TECTORUM



CAREX DIVULSA



FRAGARIA CHILOENSIS



IRIS DOUGLASIANA 'CANYON SNOW'



IRIS DOUGLASIANA



LOBELIA CARDINALIS



RHAMNUS CALIFORNICA 'EVE CASE'



ROSA CALIFORNICA

BIO-FILTRATION PLANT MATERIAL

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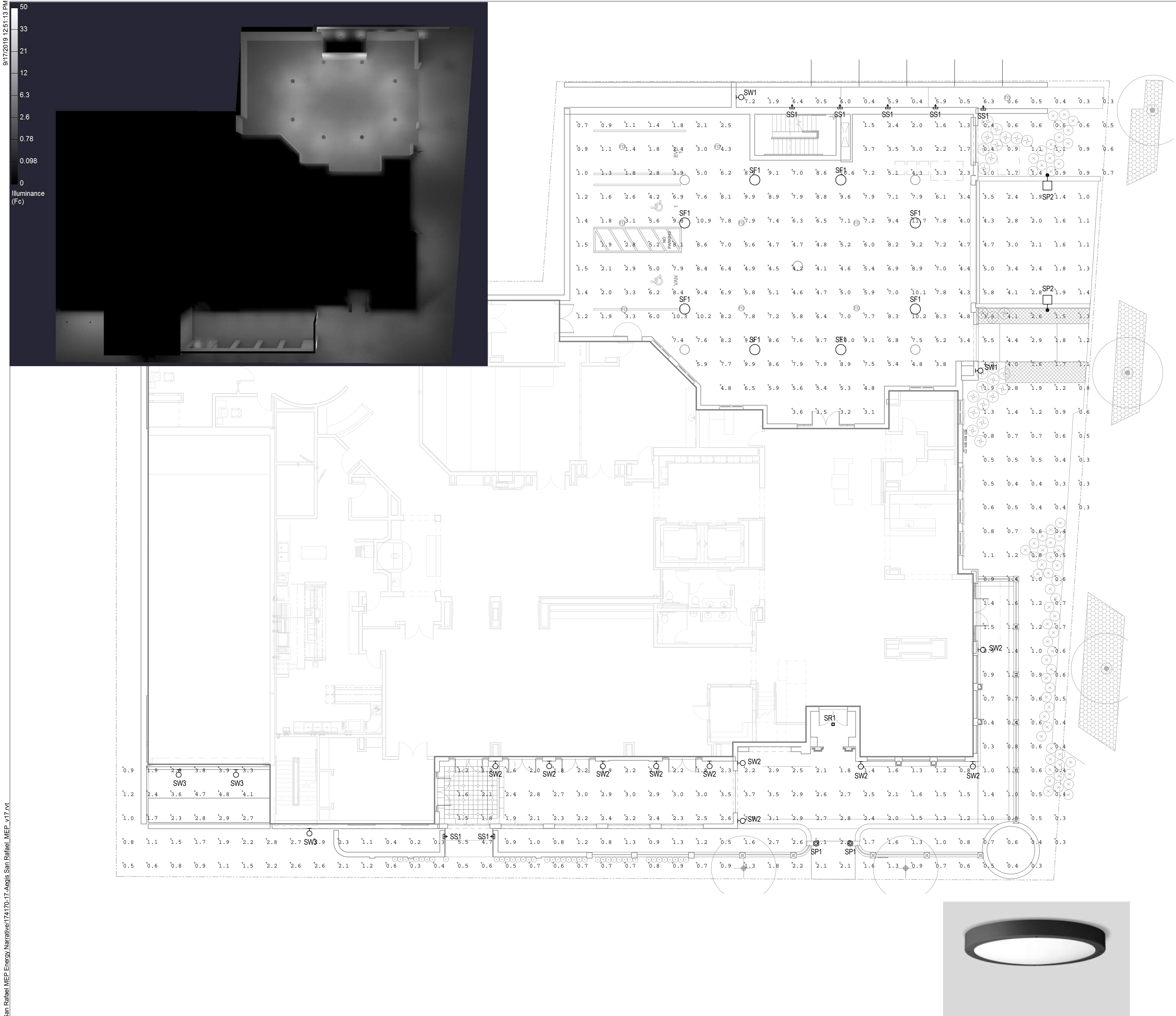
REVISION	DATE	REASON FOR ISSUE
	09.17.19	LANDSCAPE LIGHTING

PLANT MATERIAL
IMAGERY

SHEET TITLE

PLANNING

DATE 05.30.2018	PROJECT NUMBER 164890
SHEET NUMBER	



1 SITE PLAN - LIGHTING
SCALE: 1" = 10'-0"



SP1, SP2
30" AND 19" TALL DECORATIVE
POLE-TOP LUMINAIRES WITH
LED CANDELABRA BASE
LAMPS IN WARM WHITE
COLOR TEMPERATURE(2700K)
AT MAIN ENTRY AND DRIVE
ENTRY TO COVERED PARKING



SS1
RECESSED STEPLIGHT AT
PATHWAYS



SW1, SW2
19" AND 30" TALL DECORATIVE
WALL SCONCES WITH LED
CANDELABRA BASE LAMPS IN
WARM WHITE COLOR
TEMPERATURE(2700K)



SF1
CEILING MOUNTED LIGHTING
FOR COVERED PARKING AREA



SW3
WALL PACK FOR SECURITY AND
EGRESS LIGHTING AT BUILDING
EXITS

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Project Manager: Adam Leingang
Job No.: 05.19.00126

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REVISION	DATE	REASON FOR ISSUE
	09.17.19	LANDSCAPE LIGHTING

**SITE PLAN -
LIGHTING**

PLANNING

DATE	PROJECT NUMBER
05.30.2018	174170

SHEET NUMBER



SW4
TRELLIS-MOUNT DOWNLIGHT
SCONCE



SS1
RECESSED STEPLIGHT



SW1
19" TALL DECORATIVE WALL
SCONCES WITH LED
CANDELABRA BASE LAMPS IN
WARM WHITE COLOR
TEMPERATURE(2700K)

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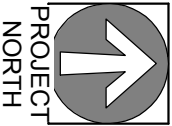
REVISION	DATE	REASON FOR ISSUE
	09.17.19	LANDSCAPE LIGHTING

LEVEL 2 FLOOR
PLAN - LIGHTING
PLAN

PLANNING

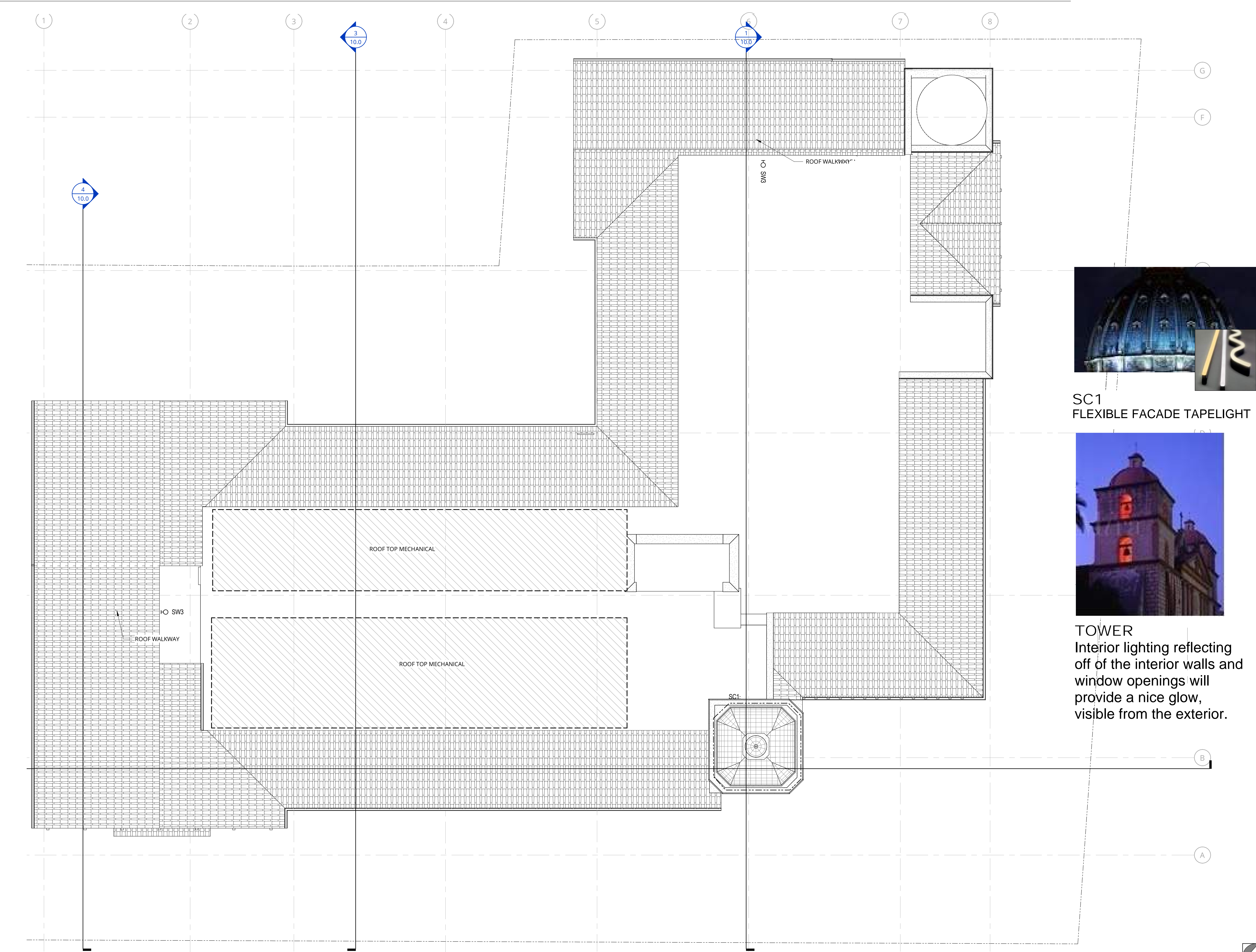
DATE	PROJECT NUMBER
05.30.2018	174170

SHEET NUMBER



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SC1
FLEXIBLE FACADE TAPELIGHT



TOWER
Interior lighting reflecting
off of the interior walls and
window openings will
provide a nice glow,
visible from the exterior.

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REVISION	DATE	REASON FOR ISSUE
	09.17.19	LANDSCAPE LIGHTING

OVERALL ROOF
PLAN - LIGHTING
PLAN

PLANNING

DATE	PROJECT NUMBER
05.30.2018	174170

SHEET NUMBER

UNIT SCHEDULE		
UNIT TYPE	COUNT	AREA TOTAL
LEVEL 5		
AL 1	5	2915
AL 5	19	6902
	24	9817
LEVEL 4		
AL 1	2	1374
AL 5	25	9398
	27	10771
LEVEL 3		
LN 5	26	8935
	26	8935
LEVEL 2		
LN 5	26	8972
	26	8972
Grand total	103	38496

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DEVIATIONS MAY EXIST BETWEEN
THESE DOCUMENTS AND
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TITLE SHEET

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SHEET NUMBER



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2.1



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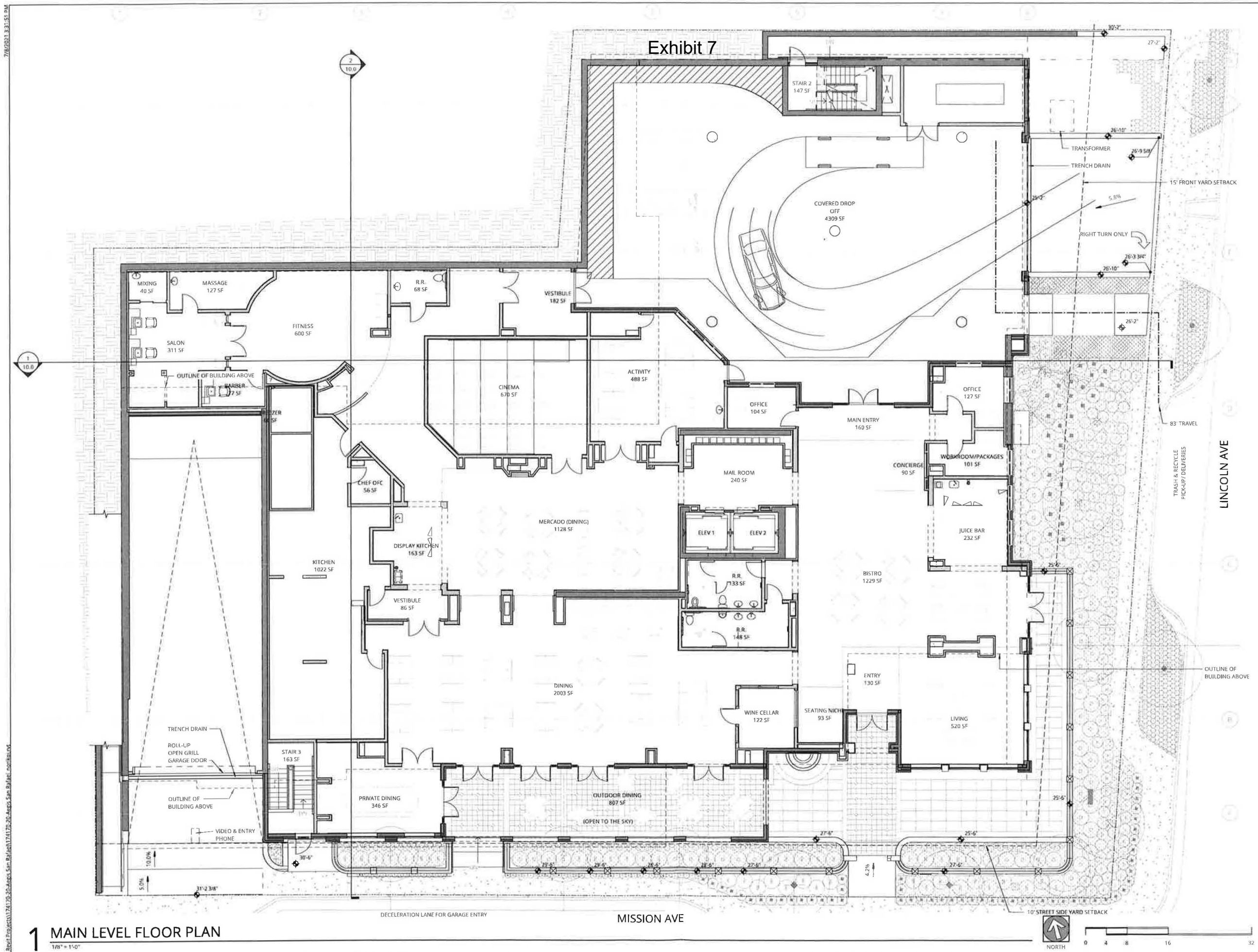
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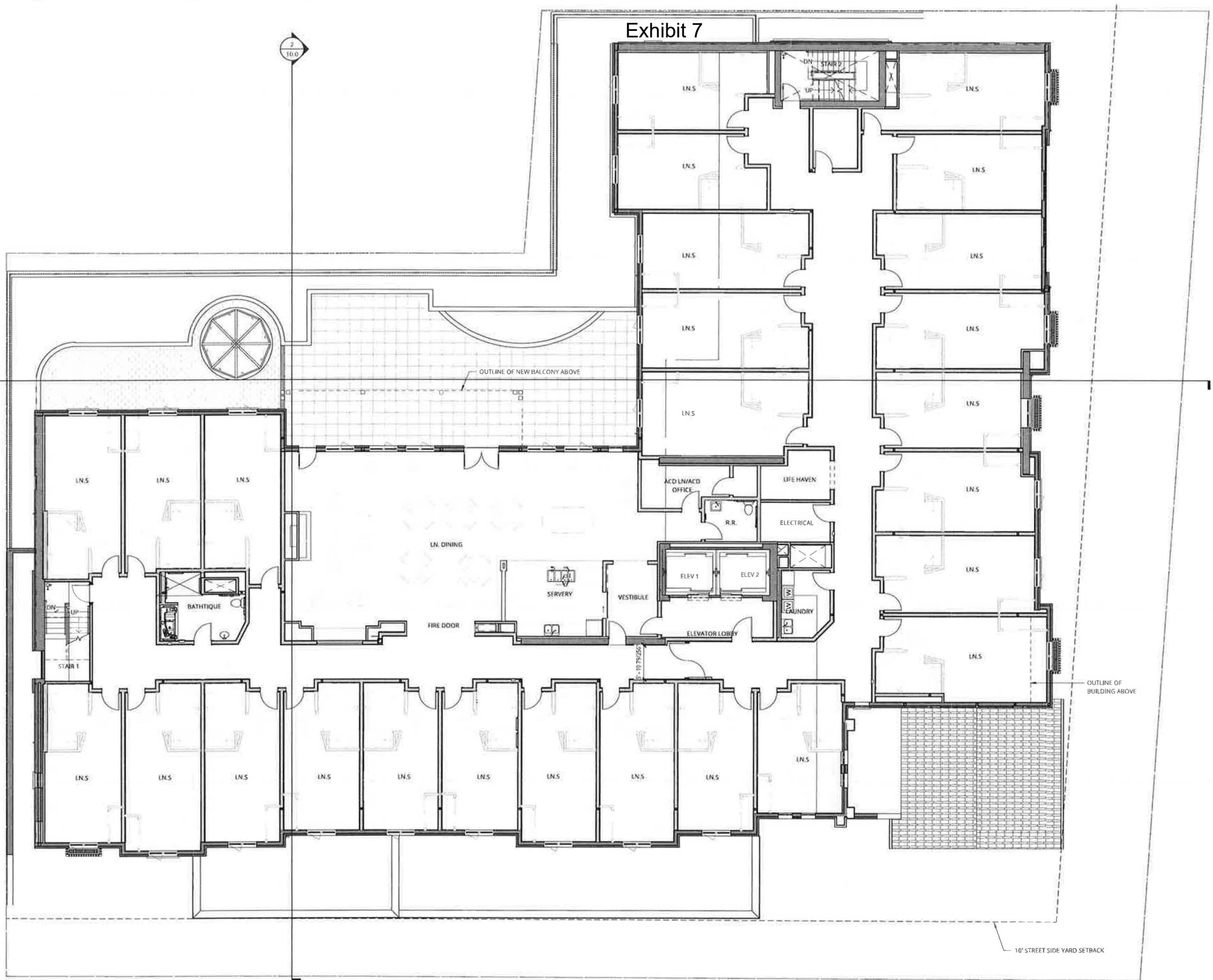
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DATE JULY 9, 2021	PROJECT NUMBER 174170
SHEET NUMBER	

3.1



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1 SECOND FLOOR - RESIDENTIAL PLAN
1/8" = 1'-0"

Exhibit 7

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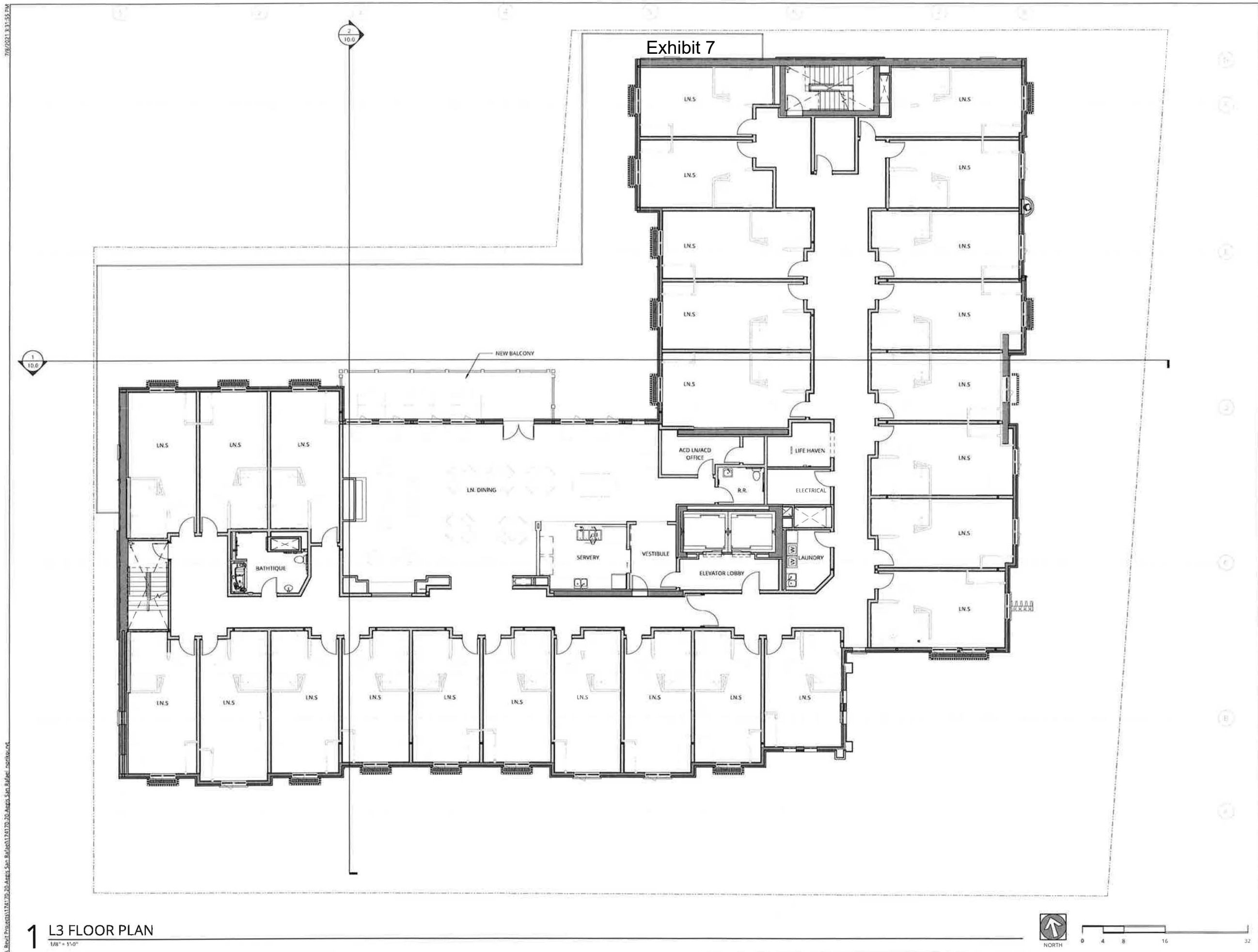
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SECOND FLOOR -
RESIDENTIAL PLAN

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1/8" = 1'-0"

1 L3 FLOOR PLAN

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L3 FLOOR PLAN

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1 L4 FLOOR PLAN
1/8" = 1'-0"

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L4 FLOOR PLAN

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5.1

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1 L5 FLOOR PLAN
1/8" = 1'-0"

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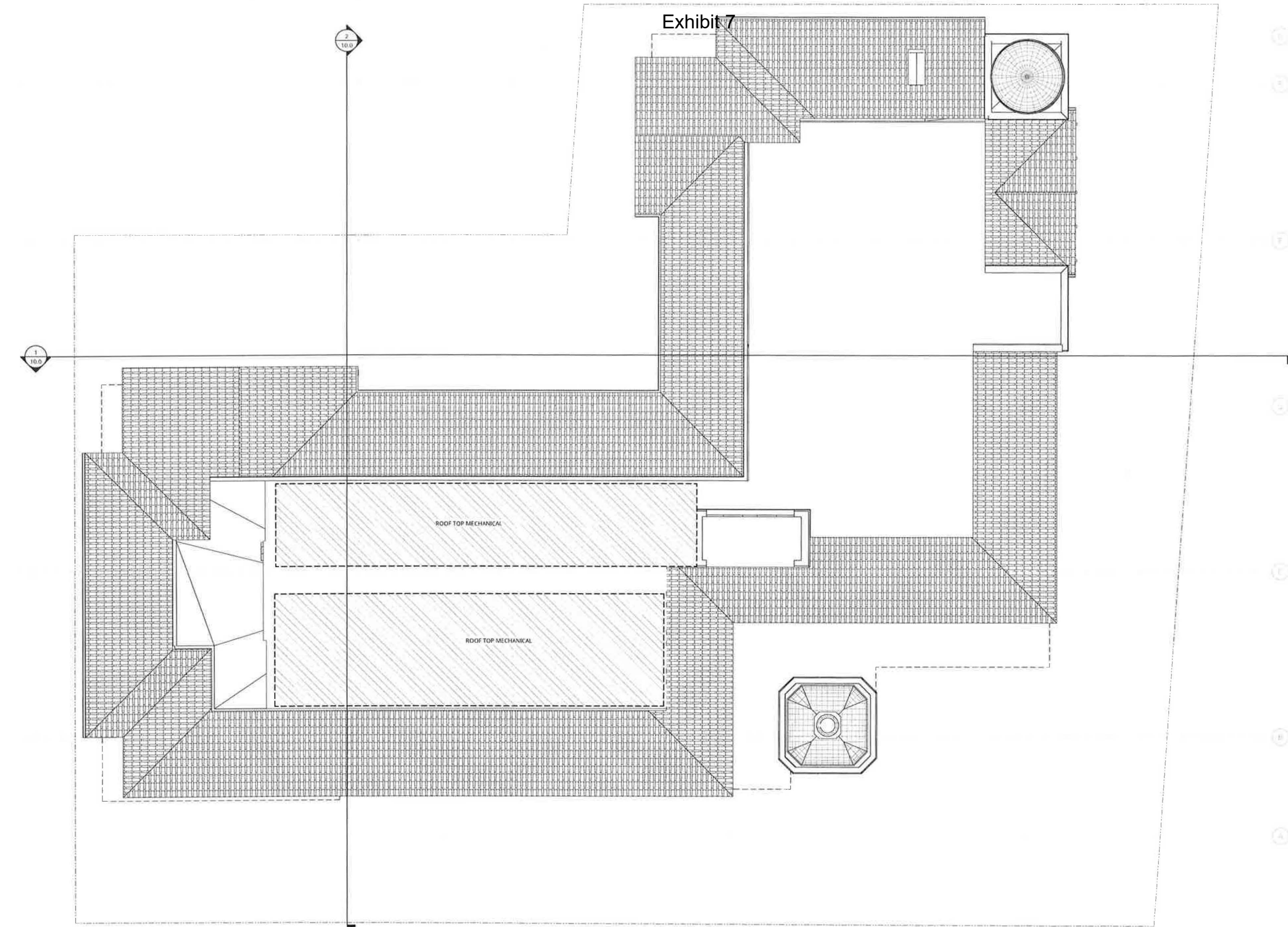
L5 FLOOR PLAN

DRB

DATE JULY 9, 2021	PROJECT NUMBER 174170
SHEET NUMBER	

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1 ROOF PLAN
1/8" = 1'-0"

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ROOF PLAN

DRB

DATE
JULY 9, 2021

PROJECT NUMBER
174170

SHEET NUMBER

7.1

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Exhibit 7



VIEW FROM INTERSECTION - MID DAY



VIEW FROM INTERSECTION - NIGHT TIME



VIEW FROM SOUTHWEST

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EXTERIOR
RENDERINGS

DRB

DATE JULY 9, 2021	PROJECT NUMBER 174170
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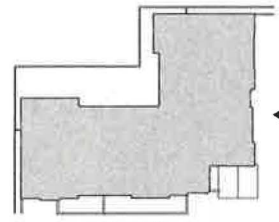
Exhibit 7



1 EAST ELEVATION - PROPOSED DESIGN
1/8" = 1'-0"



2 SOUTH ELEVATION - PROPOSED DESIGN
1/8" = 1'-0"



KEY MAP

NOT FOR
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EXTERIOR
ELEVATIONS

DRB

DATE JULY 9, 2021	PROJECT NUMBER 174170
SHEET NUMBER	8.1

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Exhibit 7



1 EAST ELEVATION - DRB IN MAY 2021
1/16" = 1'-0"



SOUTH ELEVATION - DRB IN MAY 2021
1/16" = 1'-0"



2 EAST ELEVATION - PROPOSED DRB DESIGN
1/16" = 1'-0"



SOUTH ELEVATION - PROPOSED DRB DESIGN
1/16" = 1'-0"

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EXTERIOR
ELEVATIONS -
DESIGN EVOLUTION
DRB

DATE JULY 9, 2021	PROJECT NUMBER 174170
SHEET NUMBER	

Exhibit 7



VIEW FROM SOUTHEAST



VIEW FROM NORTHEAST

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EXTERIOR
RENDERINGS

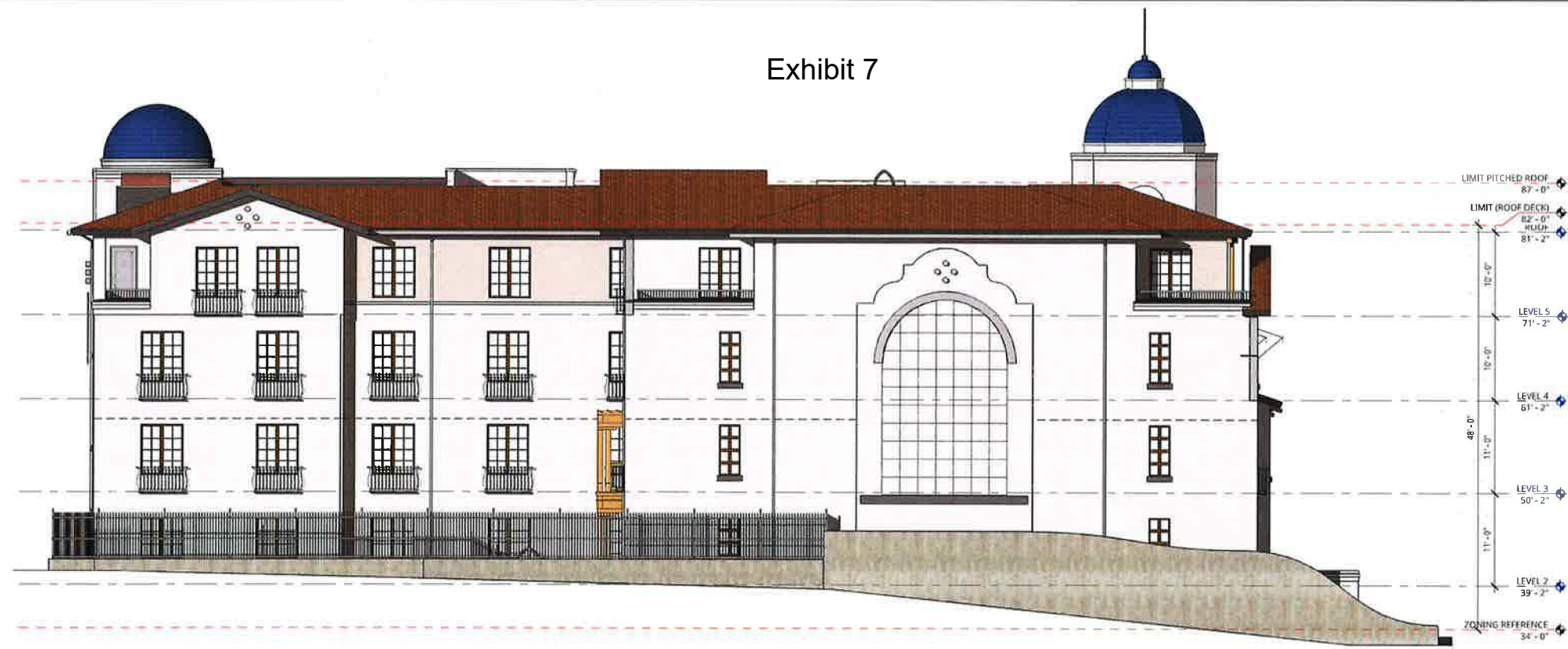
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DATE JULY 9, 2021	PROJECT NUMBER 174170
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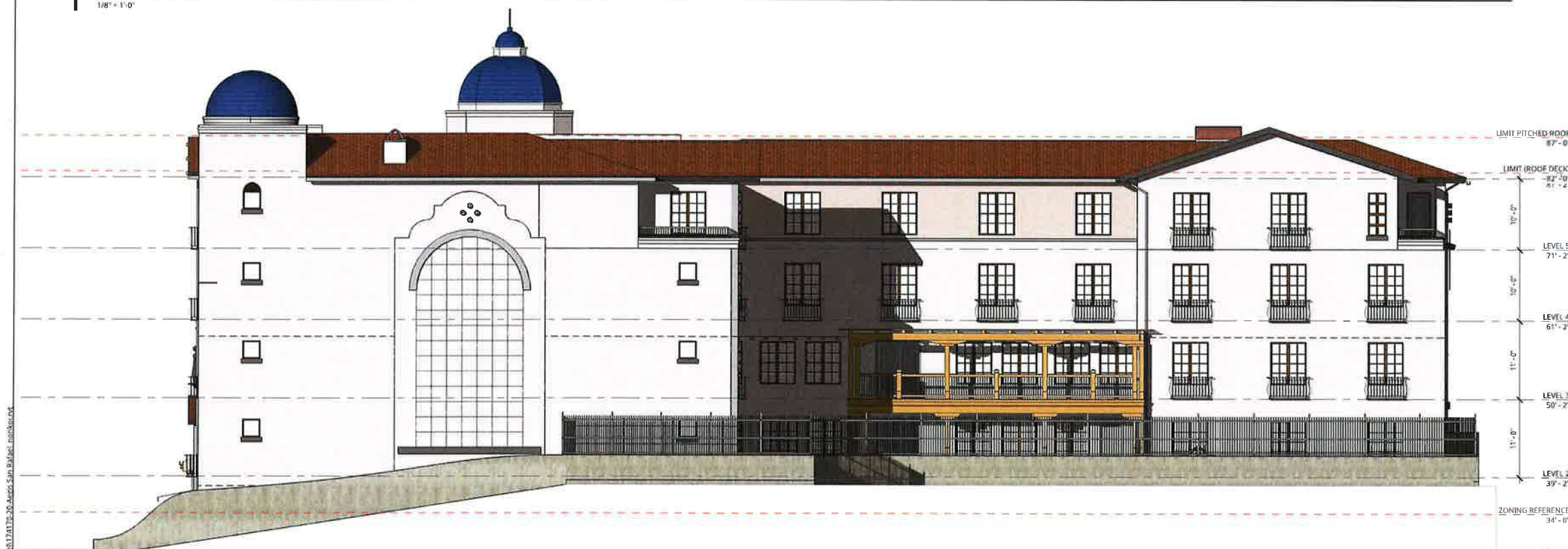
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Exhibit 7



1 WEST ELEVATION - PROPOSED
1/8" = 1'-0"



2 NORTH ELEVATION - PROPOSED
1/8" = 1'-0"



KEY MAP

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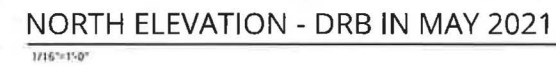
EXTERIOR
ELEVATIONS

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DATE JULY 9, 2021	PROJECT NUMBER 174170
SHEET NUMBER	

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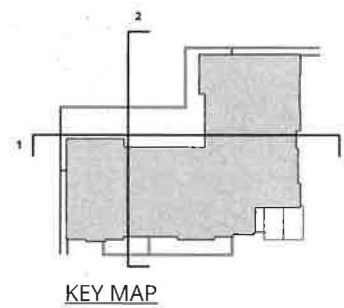
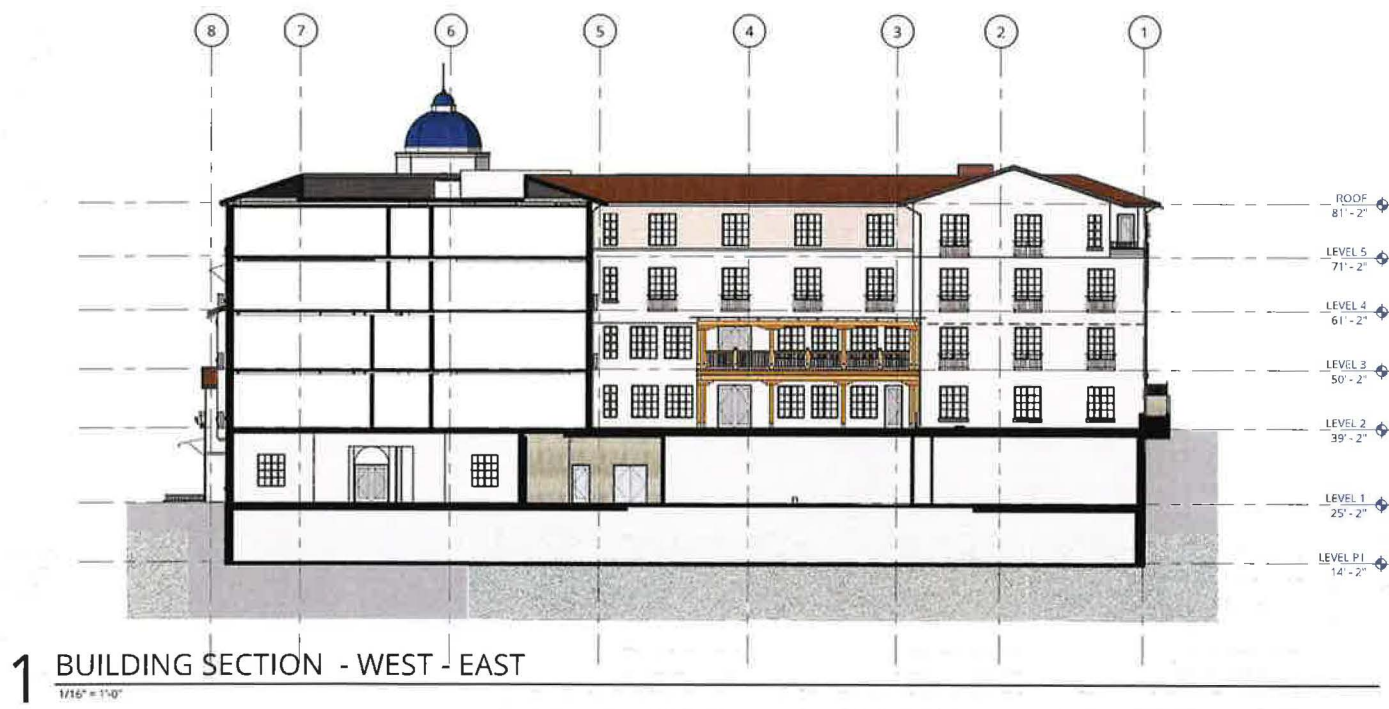
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SECTIONS

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DATE JULY 9, 2021	PROJECT NUMBER 174170
SHEET NUMBER	

10.0

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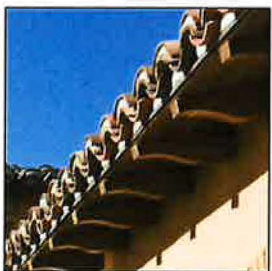
Exhibit 7



1. TILE ROOF



2. BLUE ROOF TILE



3. TIMBER DETAILING



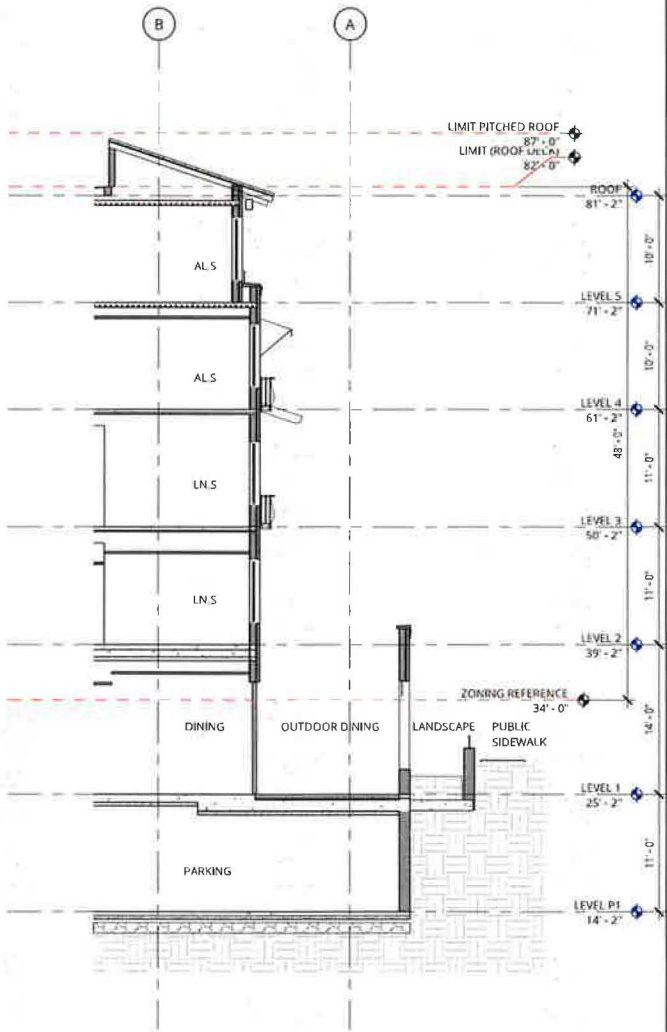
4. WROUGHT IRON



5. STUCCO



6. FABRIC AWNINGS



1 WALL SECTION
1/8" = 1'-0"

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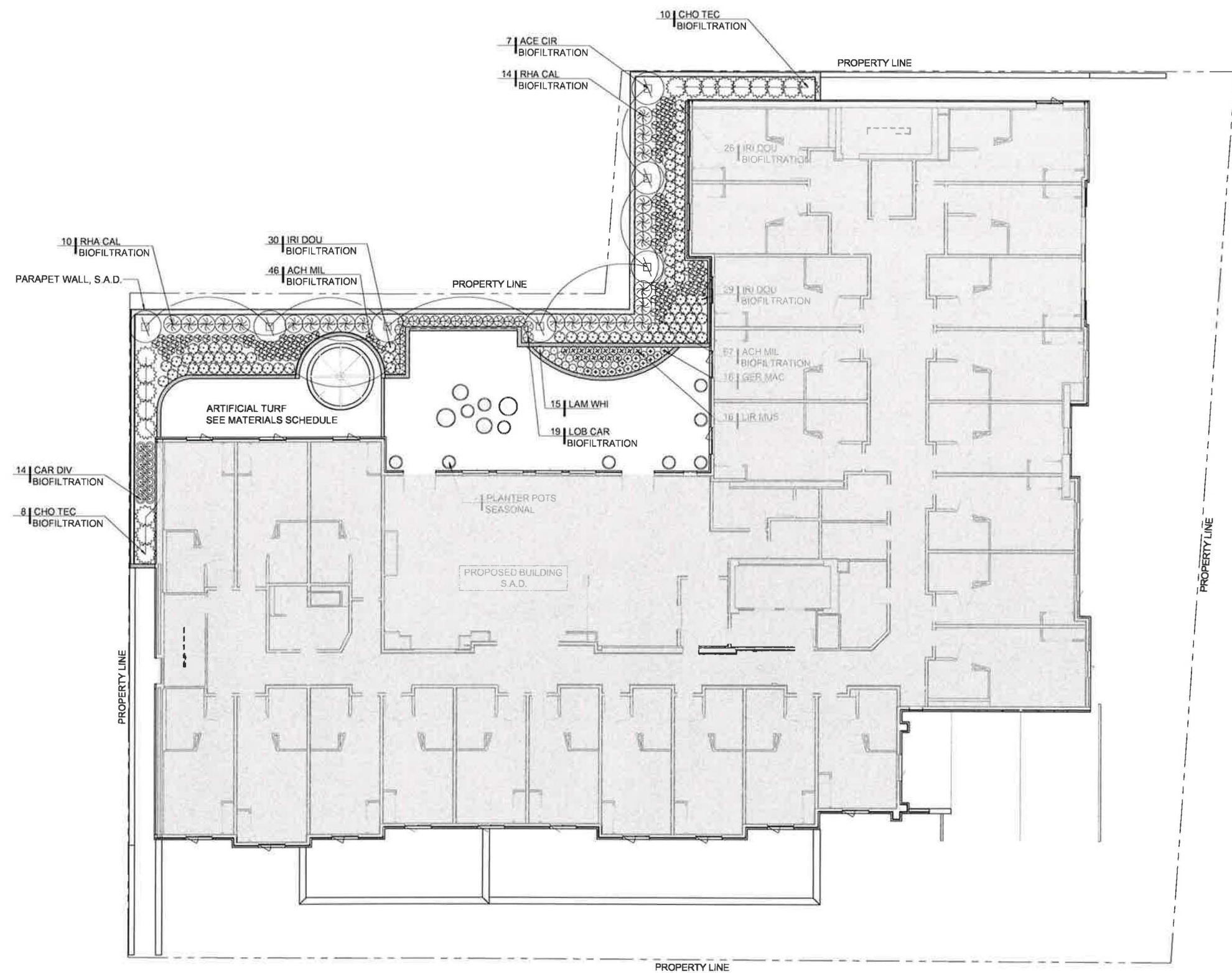
REVISION	DATE	REASON FOR ISSUE

DETAILS

DRB

DATE JULY 9, 2021	PROJECT NUMBER 174170
SHEET NUMBER	

Exhibit 7



PEDESTAL PAVING SYSTEM- NEUTRAL COLORS TO COMPLIMENT THE MISSION STYLE OF THE ARCHITECTURE



WOOD TRELLIS WITH BRONZE HARDWARE



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LEVEL 2
PLANTING PLAN

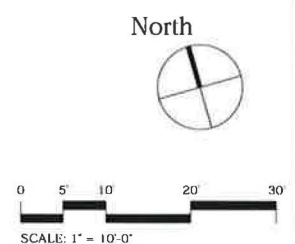
PLANNING

DATE
JULY 9, 2021

PROJECT NUMBER
174170

01 LEVEL 2 PLANTING PLAN

NOTE:
1. SEE SHEET 16 FOR PLANT MATERIAL SCHEDULE & IMAGERY.



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C:\Users\Project\17170-20\Drawings\San Rafael\17170-20\Drawings\San Rafael\17170-20.dwg San Rafael - north.dwg

01 FIFTH FLOOR MATERIALS PLAN
1/8" = 1'-0"



Exhibit 7

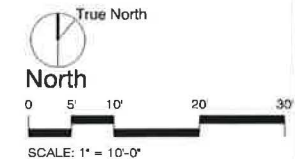


DECORATIVE PAVING
EXAMPLE - NEUTRAL
COLORS



VEGETABLE PLANTERS

NOTE:
1. SEE SHEET 15 & 16 FOR PLANTING SCHEDULE &
PLANT IMAGERY.
2. SEE SHEET 17 FOR PLANTING DETAILS ASSOCIATED
TO ALL FLOOR LEVELS.



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	09.17.19	LANDSCAPE LIGHTING

**MATERIALS
PLAN**

SHEET TITLE

PLANNING

DATE
JULY 9, 2021
PROJECT NUMBER
164890

SHEET NUMBER
14

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Exhibit 7

PLANT MATERIAL SCHEDULE - AEGIS LIVING						
ABBREV	BOTANICAL	COMMON NAME	SIZE	SPACING	MATURE SIZE/ PLANT TYPE	WUCOLS RATING
TREES						
CAR BET	CARPINUS BETULUS 'FASTIGIATA'	AMERICAN HORNBEAM	24" BOX		"BLEACHED"/DECIDUOUD	MEDIUM
MUS BAS	MUSA BASJOO	JAPANESE BANANA	25 GAL	4' O.C.	12' HERBACEOUS	MEDIUM
OLE EUR	OLEA EUROPAEA 'SWAN HILL'	SWAN HILL OLIVE TREE	36" BOX		15'+/EVERGREEN	LOW
PHO DAC	PHOENIX DACTYLIFERA	DATE PALM	10' BROWN TRUNK	30' O.C.	30'+ /EVERGREEN	MEDIUM
PIS CHI	PISTACIA CHINENSIS	CHINESE PISTACHE	36" BOX	PER PLANS	30'/ DECIDUOUS	LOW
SHRUBS & GRASSES						
ALS SPP.	ALSTROEMERIA SPECIES	PERUVIAN LILY	1 GAL	1'		
ANG SPP.	ANIGOZANTHOS SPECIES	KANGAROO PAWS	1 GAL	2'-0"		
AST SPP.	ASTER SPECIES	ASTER	1 GAL	1'-0"		
BUX SEM	BUXUS SEMPERVIRENS 'SUFFRUTICOSA'	DWARF BOXWOOD	1 GAL	1'-0"	2' / EVERGREEN	MEDIUM
BUX TOP	BUXUS SEMPERVIRENS 'TOPIARY'	TOPAIRY BOXWOOD	15 GAL +	-		
CAR DIV	CAREX DIVULSA	BERKELEY SEDGE	1 GAL	1'-8"	12" / EVERGREEN	VERY LOW
DIA REV	DIANELLA REVOLUTA 'LITTLE REV'	LITTLE REV FLAX LILY	1 GAL	1'-6"	18" / EVERGREEN	LOW
ERY SPP.	ERYSIMUM 'BOWLES'S MAUVE'	WALLFLOWER	1 GAL	1'-6"		
IRI SPP.	IRIS SPECIES	BEARDED IRIS	1 GAL	1'-6"		
LIR GIG	LIRIOPE GIGANTEA	GIANT LILY TURF	1 GAL	1'-6"	18" / EVERGREEN	MEDIUM
LIR MUS	LIRIOPE MUSCARI	BLUE LILY TURF	1 GAL	1'-0"	12" / EVERGREEN	MEDIUM
LOM LON	LOMANDRA LONGIFOLIA 'BREEZE'	DWARF MAT RUSH	1 GAL	2'-6"	2' / EVERGREEN	LOW
LON JAP	LONICERA JAPONICA	JAPANESE HONEYSUCKLE	1 GAL	3'-0"	2' / EVERGREEN	MEDIUM
LOR CHI	LOROPETALUM CHINENSE	FRINGE FLOWER	5 GAL	4'-6"	3'-6' / EVERGREEN	LOW
LYC COR	LYCHNIS CORONARIA	ROSE CAMPION	1 GAL	1'-0"		
NIC SPP.	NICOTIANA SPECIES	TOBACCO PLANT	1 GAL	1'-0"		
PAP BOL	PAPAVER ORIENTALE 'BOLERO'	ORIENTAL POPPY	1 GAL	1'-0"		
PAP BUR	PAPAVER ORIENTALE 'BURNING HAERT'	ORIENTAL POPPY	1 GAL	1'-0"		
PHI XAN	PHILODENDRON XANADU	PHILODENDRON	1 GAL	3'-0"	2' / EVERGREEN	MEDIUM
ROS SPP	ROSA SPECIES	GROUNDCOVER CARPET ROSE 'PINK'	1 GAL	3'-0"	18" TO 2' / SEMI-EVERGREEN	MEDIUM
STR REG	STRELITZIA REGINAE	BIRD OF PARADISE	5 GAL	4'	4' TO 6' / EVEGREEN	MEDIUM
TEU LUC	TEUCRIUM X LUCIDRYS	GERMANDER	1 GAL	1'		
VINES						
GEL SEM	GELSEMIUM SEMPERVIRENS 'MARGARITA'	HARDY CAROLINA JASMINE	1 GAL	4'-0	6'-8' TRAILING/EVERGREEN	MEDIUM

BIO-FILTRATION PLANT SCHEDULE - AEGIS LIVING						
ABBREV	BOTANICAL	COMMON NAME	SIZE	SPACING	MATURE SIZE/ PLANT TYPE	WUCOLS RATING
BIO-FILTRATION						
ACE CIR	ACER CIRCINATUM	VINE MAPLE	5 GAL	-	DECIDUOUS	MEDIUM
ACH MIL	ACHILLEA MILLEFOLIUM	COMMON YARROW	1 GAL	1'-0"	PERENNIAL	MEDIUM
CHO TEC	CHONDROPETALUM TECTORUM	SMALL CAPE RUSH	1 GAL	2'-0"	2' / EVERGREEN	LOW
CAR DIV	CAREX DIVULSA	BERKELEY SEDGE	1 GAL	1'-6"	EVERGREEN	LOW
FRA CHI	FRAGARIA CHILOENSIS	BEACH STRAWBERRY	1 GAL	1'	EVERGREEN PERENNIAL	MEDIUM
IRI CAN	IRIS DOUGLASIANA 'CANYON SNOW'	DOUGLAS IRIS	1 GAL	1'-0"	PERENNIAL	MEDIUM
IRI DOU	IRIS DOUGLASIANA	DOUGLAS IRIS	1 GAL	1'	PERENNIAL	MEDIUM
LOB CAR	LOBELIA CARDINALIS	CARDINAL FLOWER	1 GAL	1'-0"		MED
RHA CAL	RHAMNUS CALIFORNICA 'EVE CASE'	COFFEEBERRY	5 GAL	4'-0"	EVERGREEN	LOW
ROS CAL	ROSA CALIFORNICA	CALIFORNIA WILD ROSE	1 GAL	1'	DECIDUOUS	MEDIUM

*PLANT LIST PER THE MARIN COUNTY STORMWATER POLLUTION PREVENTION PROGRAM , BIORETENTION FACILITY PLANT MATRIX, JUNE,2014

TYPICAL SEASONAL ANNUALS & PERENNIALS @ L2 & ROOF DECK PLANTERS						
ABBREV	BOTANICAL	COMMON NAME	SIZE	SPACING	MATURE SIZE/ PLANT TYPE	WUCOLS RATING
ALS SPP.	ALSTROEMERIA SPECIES	PERUVIAN LILY	1 GAL			
BAC SPP.	BACOPA SPECIES	BACOPA	1 GAL			
DIG SPP.	DIGITALIS SPECIES	COMMON FOXGLOVE	1 GAL			
LOB SPP.	LOBELIA SPECIES	LOBELIA	1 GAL			
PAP BOL	PAPAVER ORIENTALE 'BOLERO'	ORIENTAL POPPY	1 GAL			
PAP BUR	PAPAVER ORIENTALE 'BURNING HEART'	ORIENTAL POPPY	1 GAL			
PRI SPP.	PRIMULA SPECIES	PRIMROSE	1 GAL			
VIO SPP.	VOILA SPECIES	VIOLA	1 GAL			

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REVISION	DATE	REASON FOR ISSUE

PLANT MATERIAL
SCHEDULE

SHEET TITLE

PLANNING

DATE JULY 9, 2021	PROJECT NUMBER 164890
SHEET NUMBER:	

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PLANT CHARACTER IMAGERY

TREES & PALMS

Exhibit 7



CARPINUS BETULUS 'FASTIGIATA'



MUSA BASJOO



PHOENIX DACTYLIFERA



PISTACIA CHINENSIS
(STREET TREE ALONG LINCOLN)



OLEA EUROPAEA

SHRUBS & GROUNDCOVER



BUXUS SEMPERVIRENS 'SUFFRUTICOSA'



BUXUS SEMPERVIRENS 'TOIARY'



CAREX DIVULSA



DIANELLA REVOLUTA
'LITTLE REV'



LIRIOPE GIGANTEA



LIRIOPE MUSCARI



LOMANDRA LONGIFOLIA
'BREEZE'



LONICERA JAPONICA



LOROPETALUM CHINENSE



PHILODENDRON XANADU



ROSA SPECIES



STRELITZIA REGINAE



TEUCRIMUM X LUCIDRYS



ALSTROEMERIA SPECIES



ANIGOZANTHOS SPECIES



ASTER SPECIES



ERYSIMUM 'BOWLES'S MAUVE'



IRIS SPECIES



LYCHNIS CORONARIA



NICOTIANA SPECIES



PAPAVER ORIENTALE 'BOLERO'



PAPAVER ORIENTALE 'BURNING HEART'

VINES



GELSEMIUM SEMPERVIRENS
'MARGARITA'

BIO-FILTRATION PLANT MATERIAL



ACER CIRCINATUM



ACHILLEA MILLEFOLIUM



CHONDROPETALUM TECTORUM



CAREX DIVULSA



FRAGARIA CHILOENSIS



IRIS DOUGLASIANA 'CANYON SNOW'



IRIS DOUGLASIANA



LOBELIA CARDINALIS



RHAMNUS CALIFORNICA 'EVE CASE'



ROSA CALIFORNICA

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PLANT MATERIAL
IMAGERY

SHEET TITLE

PLANNING

DATE JULY 9, 2021	PROJECT NUMBER 164890
SHEET NUMBER	

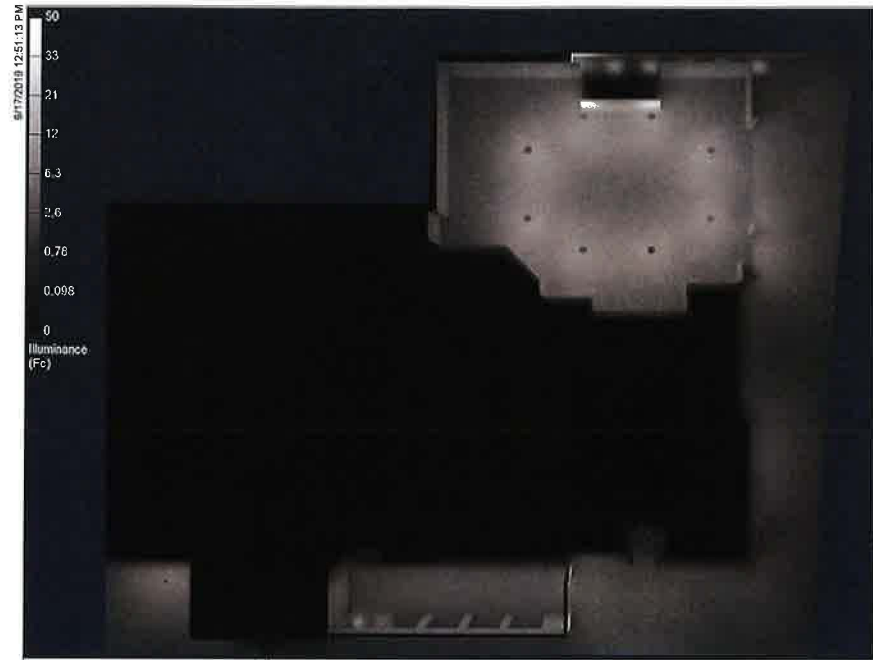


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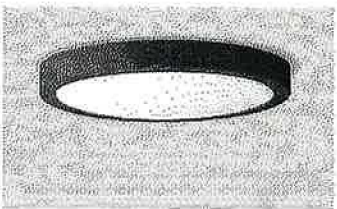
SP1, SP2
30" AND 19" TALL DECORATIVE POLE-TOP LUMINAIRES WITH LED CANDELABRA BASE LAMPS IN WARM WHITE COLOR TEMPERATURE(2700k) AT MAIN ENTRY AND DRIVE ENTRY TO COVERED PARKING



SS1
RECESSED STEPLIGHT AT PATHWAYS



SW1, SW2
19" AND 30" TALL DECORATIVE WALL SCONCES WITH LED CANDELABRA BASE LAMPS IN WARM WHITE COLOR TEMPERATURE(2700k)



SF1
CEILING MOUNTED LIGHTING FOR COVERED PARKING AREA



SW3
WALL PACK FOR SECURITY AND EGRESS LIGHTING AT BUILDING EXITS

1 SITE PLAN - LIGHTING
SCALE: 1" = 10'-0"

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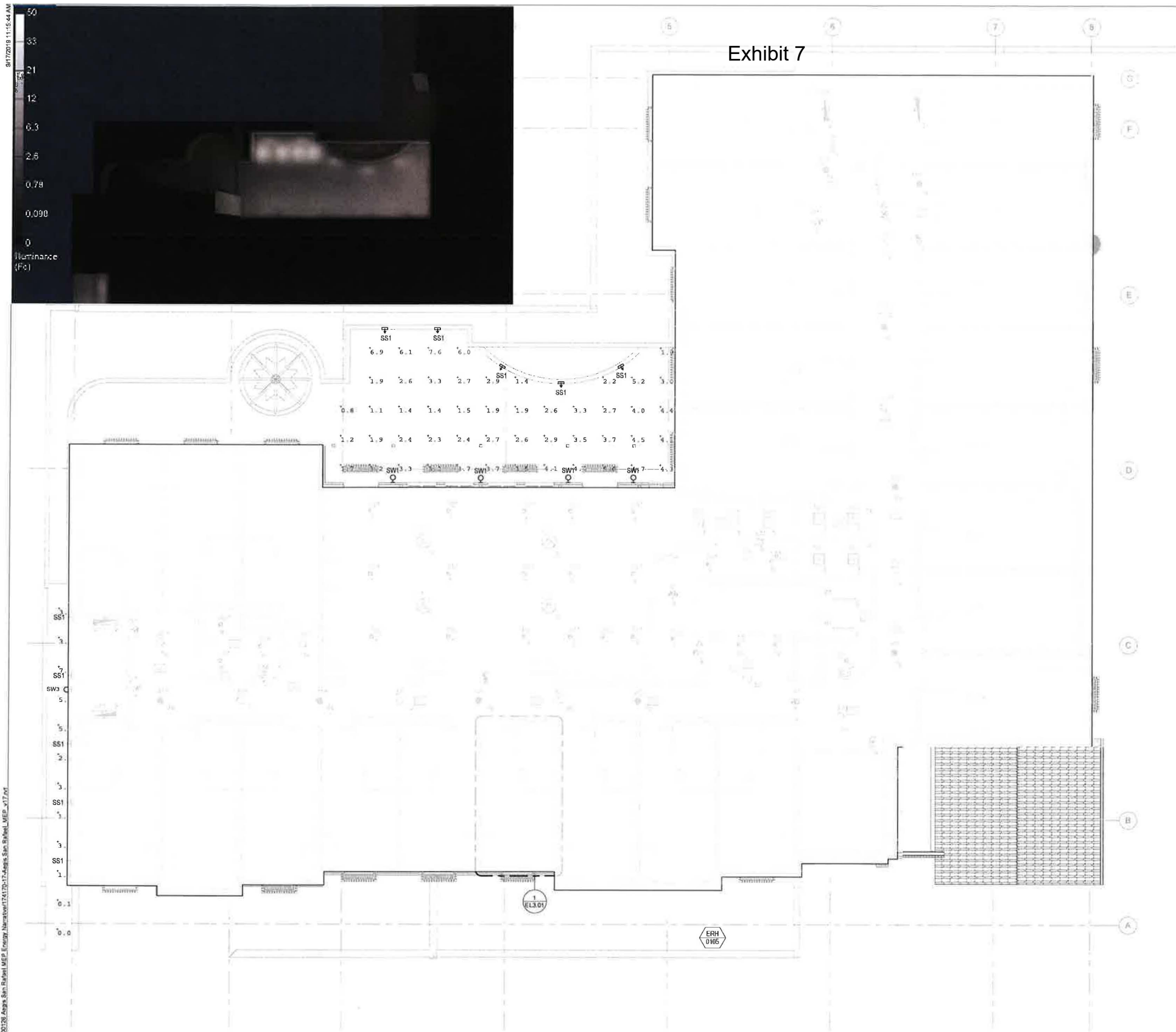
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SITE PLAN - LIGHTING

PLANNING

DATE JULY 9, 2021	PROJECT NUMBER 174170
SHEET NUMBER	



SW4
TRELLIS-MOUNT DOWNLIGHT
SCONCE



SS1
RECESSED STEPLIGHT



SW1
19" TALL DECORATIVE WALL
SCONCES WITH LED
CANDELABRA BASE LAMPS IN
WARM WHITE COLOR
TEMPERATURE(2700K)

1 LEVEL 2 - FLOOR PLAN - LIGHTING
SCALE: 1/8" = 1'-0"



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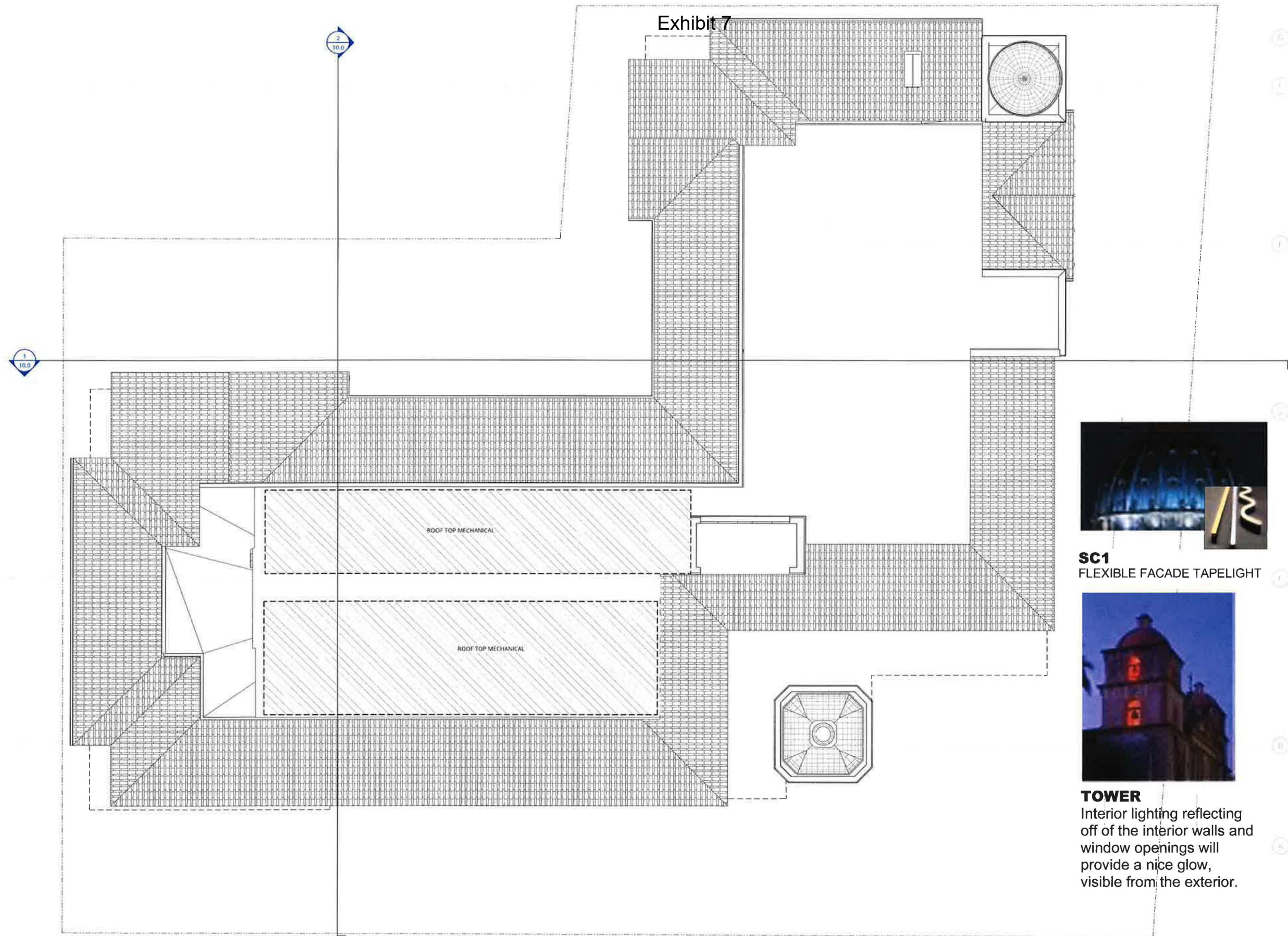
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**LEVEL 2 FLOOR
PLAN - LIGHTING
PLAN**

PLANNING

DATE
JULY 9, 2021
PROJECT NUMBER
174170

SHEET NUMBER
18



1 ROOF - FLOOR PLAN - LIGHTING
SCALE: 1/8" = 1'-0"

SCALE: 1/8" = 1'-0"



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REVISION	DATE	REASON FOR ISSUE

OVERALL ROOF
PLAN - LIGHTING
PLAN

PLANNING

DATE
JULY 9, 2021

PROJECT NUMBER	174170
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SHEET NUMBER

19