



**San Rafael Design Review Board  
Regular Meeting  
Tuesday, August 3, 2021, 7:00 P.M.  
AGENDA**

**Virtual Meeting**

**Watch on Webinar: <https://tinyurl.com/drb-2021-08-03>**

**Telephone: (669) 900-9128**

**ID: 835 3174 3214**

Members of the public may speak on Agenda items.

**CALL TO ORDER**

**STAFF COMMUNICATION**

**BOARD COMMUNICATION**

**CONSENT CALENDAR**

1. **Approval of the Design Review Board Meeting Minutes of February 17, 2021, May 4, 2021 and June 8, 2021**  
*Recommended Action – Approve as submitted*

**DISCUSSION ITEMS**

2. **800 Mission Ave. (“Aegis Living San Rafael”)** – Request amendment of Use Permit and an Environmental and Design Review Permit approvals to allow a 11’ 2” height bonus for a previously approved senior assisted living and memory care facility on two vacant Downtown parcels with 29,885 sq. ft. of combined area. Amendment of the approvals would increase the height of the building from 36’ to 47’ 2” and increase the unit count from 77 suites to 103 suites. The remainder of the approved site and building design would remain unchanged; APNS: 011-184-08 & -09; Multifamily Residential – High Density (HR1) District Zone; Geoff Forner, Applicant; ASC San Rafael LLC, Owner; Downtown Neighborhood.  
**Project Planner:** Steve Stafford  
*Recommended Action – Review and recommend approval of site and building design*
3. **292 Fairhills Drive** – Request for an Environmental and Design Review Permit to construct a new 12” – 48”, 997 sq. ft. deck that requires a reduction of the front yard setback by one-half the required 20 ft. front setback (10ft.), and construction of approximately 78 ft. of 5 ft. retaining wall within the Hillside Development Overlay District; APN: 010-142-04; R20-H Zone; Samina Saude, Applicant; Tim Cornwell, Owner.  
**Project Planner:** Renee Nickenig  
*Recommended Action – Review and recommend approval of site and building design*

## **BOARD COMMUNICATION**

### **ADJOURNMENT:**

*Any records relating to an agenda item, received by a majority or more of the Board less than 72 hours before the meeting, shall be available for inspection online. Sign Language interpreters may be requested by calling (415) 485-3066 (voice), emailing [Lindsay.lara@cityofsanrafael.org](mailto:Lindsay.lara@cityofsanrafael.org) or using the California Telecommunications Relay Service by dialing "711", at least 72 hours in advance of the meeting. Copies of documents are available in accessible formats upon request.*

MINUTES



San Rafael Design Review Board  
Regular Meeting  
Wednesday, February 17, 2021, 7:00 P.M.

Virtual Meeting

Watch on Webinar: <https://tinyurl.com/Drb-2021-02-17>

Telephone: (669) 900-9128

Meeting ID: 897-5942-0487#

Present: Chair Pro Tem Paul  
Chair Kent  
Member Rege  
Member Summers

Absent: Member Blayney

Also Present: Steve Stafford, Senior Planner  
Ali Giudice, Planning Manager  
Michele Ginn, Permit Services Coordinator  
Paul Jensen, Community Development Director  
Barry Miller, General Plan Project Planner

**CALL TO ORDER**

The meeting was called to order at 7:03 p.m. All Board members were present, except for Member Blayney. The Board is currently operating without a replacement for former Member Samina Saude, who is now a Planning Commissioner.

**STAFF COMMUNICATION**

Staff received the following public comments after the distribution of Staff Reports, which were forwarded to the Board as separate emails-

Responsible Growth Marin provided the following comments on Agenda Item #2:

- Language on what qualifies for DRAC review needs further refinement
- Language on the membership of the DRAC needs further refinement

Victoria DeWitt (West End neighborhood resident) provided the following comments on Agenda Items #1 and #2:

- Requests amendment of 11/04/20 DRB meeting minutes to reflect her previously submitted comments on the proposed DRAC
- Authority for the DRAC needs further refinement
- Membership on DRAC needs further refinement

Sustainable San Rafael provided the following comments on Agenda Item #3:

- Provided specific miscellaneous recommendations for improving the DPP

**BOARD COMMUNICATION**

None

## **PUBLIC NOTIFICATION OF MEETING PROCEDURES**

Chair Pro Tem Paul invited Senior Planner Steve Stafford who informed the community that members of the public would provide public comment either on the telephone or through Zoom. He explained the process for community participation on the telephone and Zoom.

Chair Pro Tem Paul reviewed the procedures for the meeting.

## **CONSENT CALENDAR**

### **1. Approval of the Design Review Board Meeting Minutes of November 4, 2020**

*Recommended Action – Approve as submitted*

Staff withdraws November 4, 2020 meeting minutes to allow staff to improve the record.

## **DISCUSSION ITEM**

### **2. Report on Possible Changes to Design Review Board Structure and Processes**

Review and solicit feedback on proposed pilot program creating a Design Review Advisory Committee (DRAC)

Project Planners: Paul Jensen and Ali Giudice

*Recommended Action – Accept report and provide feedback to staff*

Alicia Giudice, Planning Manager presented the Staff Report.

Staff responded to questions from the Board members.

#### **Correspondence in real-time on telephone or Zoom:**

Jay Hubert, President of Dominican Neighborhood Association, Victoria DeWitt, Shirley Fischer, Terra Linda Homeowners Association, Kate Powers, Grace Geraghty, Claire Halenbeck

Staff responded to public comment.

Staff responded to further questions from the Board members.

No vote taken, only feedback requested. Board provided the following comments:

- The membership of the DRAC should be increased from two DRB members to three DRB members
- The public should be included in the DRAC process
- A flowchart clearly showing those projects, which would go to the DRAC and which would go to the full DRB would be helpful

## PUBLIC HEARING

### 3. **Draft Downtown San Rafael Precise Plan**

The Design Review Board (DRB) will hold a public hearing on the Draft Downtown Precise Plan, including the Draft Form Based Code (FBC). The purpose of the hearing is to update the DRB on the proposed Plan and FBC and provide an opportunity for comments from DRB members and the public.

Case Nos.: GPA16-001 & P16-013

Project Planner: Barry Miller

*Recommended Action – Accept report*

Ali Giudice, Planning Manager introduced Stefan Pellegrini, Opticos Design who presented the Staff Report.

Staff responded to questions from the Board members.

#### **Correspondence in real-time on telephone or Zoom:**

Kate Powers, Binky, Brad Sears, Claire Halenbeck

Staff responded to further questions from the Board members.

No vote taken, only feedback requested. Board provided the following comments:

The form-based code approach to site development makes sense in the Downtown. More attention should be given to areas susceptible to projected sea level rise. Concern expressed with proposed increased building heights at the ‘bookends’ to West End Village neighborhood of Downtown, at the westernmost borders (convergence of Fourth and Second Streets) and the easternmost borders (Fourth and E Streets). The Board believes the West End Village neighborhood is a transition area, which should have lower building heights. Concern expressed with proposed increased building heights adjacent to U.S. Highway 101 and the potential result of a wall of building and loss of views of Downtown and surrounding hills. Concern that taller buildings will result in reduced solar access along Downtown streets and request solar studies to ensure the pedestrian experience is not impacted.

## OTHER AGENDA ITEM

### 4. **Annual Meeting of Design Review Board**

Preparation in advance of Annual Meeting of Design Review Board to include: a) Distribution of Design Review Board “Rules of Order” for review before annual meeting; and b) Election of Officers for 2021 Design Review Board meetings.

Project Planner: Steve Stafford

*Recommended Action – Accept report*

Steve Stafford presented the Staff Report.

Member Summers moved and Member Kent seconded to adopt the existing Rules of Order as presented in the Staff Report.

AYES: Members: Kent, Rege, Summers & Chair Pro Tem Paul

NOES: Members: None

ABSENT: Members: Blayney

ABSTAIN: Members: None

Motion carried 4-0-1

*Adopted the existing Rules of Order as presented in the Staff Report*

Member Summers moved and Member Kent seconded to elect Vice Chair Paul to Chair and Member Rege to Vice Chair

AYES: Members: Kent, Rege, Summers & Chair Pro Tem Paul

NOES: Members: None

ABSENT: Members: Blayney

ABSTAIN: Members: None

Motion carried 4-0-1

*Elected Vice Chair Paul to Chair and Member Rege to Vice Chair*

**ADJOURNMENT:**

Chair Pro Tem Paul adjourned the meeting at 9:49 p.m.

\_\_\_\_\_  
LINDSAY LARA, City Clerk

APPROVED THIS \_\_\_\_ DAY OF \_\_\_\_\_, 2021

\_\_\_\_\_  
Jeff Kent, Chair

MINUTES



San Rafael Design Review Board  
Regular Meeting  
Tuesday, May 4, 2021, 7:00 P.M.

Virtual Meeting

Watch on Webinar: <https://tinyurl.com/DRB-2021-05-04>

Telephone: (669) 900-9128

Meeting ID: 897-5606-9694#

Present: Chair Paul  
Member Kent  
Vice Chair Rege  
Member Summers

Absent: Member Blayney

Also Present: Steve Stafford, Senior Planner  
Dave Hogan, Contract Planner

**CALL TO ORDER**

The meeting was called to order at 7:03 p.m. All current Board members were present, except for Member Donald Blayney.

Staff requested to continue the review of both discussion items on the Agenda tonight to a date certain of Tuesday, May 18, 2021.

Member Kent moved and Member Summers seconded to continue this meeting to the next scheduled Design Review Board meeting to be held on Tuesday, May 18, 2021.

AYES: Members: Kent, Rege, Summers & Chair Paul  
NOES: Members: None  
ABSENT: Members: Blayney  
ABSTAIN: Members: None

Motion carried 4-0-1

*Meeting continued to Tuesday, May 18, 2021*

**DISCUSSION ITEMS**

1. **33/41 Ross Street Terrace**

Request for a Lot Line Adjustment for property line adjustment, Exception, and Environmental and Design Review Permits to allow: (1) Construction of a 2,842 square-foot, single-family residence on vacant hillside Lot 59; (2) Construction of a 2,885 square foot residence on vacant hillside Lot 60; and (3) Construction of a two lane access driveway approximately 480 feet in length within the undeveloped Ross Street Terrace right-of-way; APN: 012-141-59 and 012-141-60; Single-family Residential (R7.5) District; Coby Freidman, applicant. File No(s): LLA19-008/ED19-090/ED19-091/EX20-006.

Project Planners: Dave Hogan and Ali Giudice

*Recommended Action – Review and recommend approval of site and building design*

**2. 800 Mission Ave. (“Aegis Living San Rafael”)**

Request Request amendment of Use Permit and an Environmental and Design Review Permit approvals to allow a 11’ 2” height bonus for a previously approved senior assisted living and memory care facility on two vacant Downtown parcels with 29,885 sq. ft. of combined area. Amendment of the approvals would increase the height of the building from 36’ to 47’ 2” and increase the unit count from 77 suites to 106 suites. The remainder of the approved site and building design would remain unchanged; APNS: 011-184-08 & -09; Multifamily Residential – High Density (HR1) District Zone; Geoff Forner, Applicant; ASC San Rafael LLC, Owner; File No(s): UP21-006/ED21-022; Downtown Neighborhood.

Project Planners: Steve Stafford

*Recommended Action – Review and recommend approval of site and building design*

**ADJOURNMENT:**

Chair Paul adjourned the meeting at 7:18 p.m.

\_\_\_\_\_  
LINDSAY LARA, City Clerk

APPROVED THIS \_\_\_\_ DAY OF \_\_\_\_\_, 2021

\_\_\_\_\_  
Larry Paul, Chair



## MINUTES



**San Rafael Design Review Board  
Regular Meeting  
Tuesday, June 8, 2021, 7:00 P.M.**

**Virtual Meeting**

**Watch on Webinar: <https://tinyurl.com/drb-2021-6-8>**

**Telephone: (669) 900-9128**

**ID: 847-5414-6598#**

**Present:** Chair Paul  
Member Blayney  
Vice Chair Rege  
Member Summers  
Planning Commission Liaison Prevatali

**Absent:** Member Kent

**Also Present:** Shawna Brekke-Read, Interim Planning Manager  
Steve Stafford, Senior Planner  
Michele Ginn, Permit Services Coordinator  
Krystle Rizzi, Project Planner  
Dave Hogan, Project Planner

### **CALL TO ORDER**

The meeting was called to order at 7:01 p.m. All board members were present, except for Member Kent.

### **STAFF COMMUNICATION**

- Change to Consent Calendar – Minutes of February 17, 2021 and May 4, 2021 were removed from the Consent Calendar due to the absence of Member Kent
- Shawna Brekke-Read was introduced as the Interim Planning Manager/DRB Staff Liaison
- Progress update provided to Design Review Board on the General Plan 2040, Downtown Precise Plan and Final Environmental Impact Review

### **BOARD COMMUNICATION**

- No plans for in-person Design Review Board meetings at this time
- Chair Paul proposed to change the order of the Agenda items to put last Discussion Item (16 De Luca Place) to be heard as the first Discussion Item. Member Summers agreed, but also announced that he would recuse himself from this item, since it involves his office

**AYES:** Members: Blayney, Rege, Summers & Chair Paul

**NOES:** Members: None

**ABSENT:** Members: Kent

**ABSTAIN:** Members: None

Motion carried 4-0-1

## **PUBLIC NOTIFICATION OF MEETING PROCEDURES**

Chair Paul invited Interim Planning Manager Shawna Brekke-Read who informed the community that members of the public would provide public comment either on the telephone or through Zoom. She explained the process for community participation on the telephone and Zoom.

Chair Paul reviewed the procedures for the meeting.

## **CONSENT CALENDAR**

During Staff Communication, the Minutes of February 17, 2021 and May 4, 2021 were removed from the Consent Calendar due to the absence of Member Kent.

Member Summers moved and Member Rege seconded to approve the Consent Calendar.

- 1. Approval of the Design Review Board Meeting Minutes of November 4, 2020**  
*Approved as submitted*

AYES: Members: Blayney, Rege, Summers & Chair Paul  
NOES: Members: None  
ABSENT: Members: Kent  
ABSTAIN: Members: None

Motion carried 4-0-1

## **DISCUSSION ITEMS**

- 2. 16 De Luca Place**

Request for Conceptual Design Review to demolish an existing one-story industrial building and construct a new two-story, 7,774 square foot building. The building will contain primarily storage/factory spaces with ancillary office space not exceeding 25 percent of the overall building square footage.; APN: 013-081-04; Industrial (I), Zoning District; Mark and Kathleen Barger, Owner; Stewart Summers, SKS Architects, Applicant; File No.: CDR21-001  
Project Planners: Krystle Rizzi

During Board Communication, this item was moved to be heard as the first Discussion Item, rather than remain as the third Discussion Item.

Member Summers recused himself from this Item since it involves his office. He left the meeting before this Item at 7:12 p.m.

Krystle Rizzi, Project Planner presented the Staff Report.

Staff responded to questions from the Members.

Applicant Steve Murch gave a presentation.

Applicant responded to questions from the Members.

Chair Paul invited public comment; however, there was none.

Members provided feedback including:

- Question regarding ADA parking and clarification on the use
- No issue with colors and materials
- Window awnings on different elevations could use reworking
- Consider skylights
- Landscaping concerns, discussion of vertical landscaping, introduce more to bring it up to 10%, eliminate a parking space in front for landscaping?
- Concerns on the number of containers on site
- Siding and awnings could improve the design if done right
- Building location shift due to use continuing on the neighboring lot, Allied Heating owns both sites
- Primary use is factory

Member Summers returned to the meeting after this item at 7:52 p.m.

3. **33/41 Ross Street Terrace**

Request for a Lot Line Adjustment for property line adjustment, Exception, and Environmental and Design Review Permits to allow: (1) Construction of a 2,842 square-foot, single-family residence on vacant hillside Lot 59; (2) Construction of a 2,885 square foot residence on vacant hillside Lot 60; and (3) Construction of a two lane access driveway approximately 480 feet in length within the undeveloped Ross Street Terrace right-of-way; APN: 012-141-59 and 012-141-60; Single-family Residential (R7.5) District; Coby Freidman, applicant. File No(s): LLA19-008/ED19-090/ED19-091/EX20-006.

Project Planner: Dave Hogan

Dave Hogan, Project Planner presented the Staff Report.

Staff responded to questions from the Members.

Applicant Steve Carter gave a presentation.

Applicant responded to questions from the Members.

Chair Paul invited public comment.

**Correspondence in real-time on telephone or Zoom:**

Len Rifkind, Amy and Joe Likover, Valerie Wells, Katie Chamberlin, Victor Kunin, Dan Hughes, Jonathan Toste, Jessica Yarnall Loarie, Katherine Foehr, Susan Miltner and Marco Berti, Jonathan Steel, Emily Foehr, Jeanne and David Campbell, Leslie Burnside, Katherine Foehr, Padmarao, Bryan, Melinda Benedict, Peter Marks

Members provided feedback.

Interim Planning Manager Shawna Brekke-Read summarized the Members' feedback:

- General consensus that the number of parking spaces needs to be increased to meet the two guests spaces on each individual site
- Explore ways to reduce the massing or appearance of the walls, either through landscaping or some other height reduction
- The applicant to explore ways to reduce the overall use of the sight with pervious surface and explore either impervious surfaces if it's acceptable with the Fire Department for the access area, as well as, possibly with the driveway
- Access, in general, acknowledged as the biggest issue, also identified that the property owner has the right to construct homes on the individual lots
- Mixture of comments about the natural state - On one hand there is the sentiment that the natural state requirement is antiquated, and on the other hand, that the amount of natural state that's retained could be increased
- Consensus that the Fire Department and City Staff provides the information regarding safety, and if the Fire Department believes that they can make it up Ross that there is a trust in that recommendation
- Comments about looking for judicious ways to prune the size of the house and entry and find ways to soften the appearance of the house and the retaining wall and also to increase the amount of space that is left in some sort of landscaped fashion
- Comment related to elevations for the second level, terraces and looking for ways to provide access to the landscaping and the first level

Member Blayney moved and Member Summers seconded to continue this item.

AYES: Members: Blayney, Rege, Summers & Chair Paul

NOES: Members: None

ABSENT: Members: Kent

ABSTAIN: Members: None

Motion carried 4-0-1

*Item continued*

**BREAK: 9:55 p.m. to 10:00 p.m.**

**4. 800 Mission Ave. ("Aegis Living San Rafael")**

Request amendment of Use Permit and an Environmental and Design Review Permit approvals to allow a 11' 2" height bonus for a previously approved senior assisted living and memory care facility on two vacant Downtown parcels with 29,885 sq. ft. of combined area. Amendment of the approvals would increase the height of the building from 36' to 47' 2" and increase the unit count from 77 suites to 106 suites. The remainder of the approved site and building design would remain unchanged; APNS: 011-184-08 & -09; Multifamily Residential – High Density (HR1) District Zone; Geoff Forner, Applicant; ASC San Rafael LLC, Owner; Downtown Neighborhood. Project Planners: Steve Stafford

Steve Stafford, Senior Planner presented the Staff Report.

Staff responded to questions from the Members.

Applicant Geoff Forner and Architect Laurie Linville-Gregston gave a presentation.

Applicant responded to questions from the Members.

Chair Paul invited public comment.

**Correspondence in real-time on telephone or Zoom:**

Eric Holm, Nina Lilienthal-Murphy, Name withheld, Name withheld, Name withheld, Name withheld, Name withheld, Name withheld, Name withheld, Ross Dryer, Name withheld

Applicant responded to questions from the Members.

Members provided feedback.

Interim Planning Manager Shawna Brekke-Read summarized the Members' feedback:

- General consensus that the original design met with the Design Review Board's expectations and hit the California Mission style, and that adding the level significantly degrades the California Mission style
- Scale and massing has lost its appeal and character
- Height bonus might be possible, but not necessarily on the whole floor
- The elimination of the towers through an administrative approval was a disappointment previously with eliminating a tower – there is a general agreement of adding the towers back in, but they need to stand proud of the mission walls
- Question about what the height bonus means now and in the future
- General direction to do some stepping back and some articulation if indeed a floor is added
- Comment regarding the loss of the roof deck is disappointing
- Comments regarding whether parking is adequate

Applicant provided comments.

Members provided comments.

Member Blayney moved and Member Summers seconded to continue this item.

AYES: Members: Blayney, Rege, Summers & Chair Paul

NOES: Members: None

ABSENT: Members: Kent

ABSTAIN: Members: None

Motion carried 4-0-1

*Item continued*

**BOARD COMMUNICATION**

None

**ADJOURNMENT:**

Chair Paul adjourned the meeting at 11:26 p.m.

\_\_\_\_\_  
LINDSAY LARA, City Clerk

APPROVED THIS \_\_\_\_ DAY OF \_\_\_\_\_, 2021

\_\_\_\_\_  
Larry Paul, Chair

DRAFT



**REPORT TO DESIGN REVIEW BOARD**

**SUBJECT: 800 Mission Ave. (“Aegis Living San Rafael”)** – Request amendment of Use Permit and an Environmental and Design Review Permit approvals to allow a 11’ 2” height bonus for a previously approved senior assisted living and memory care facility on two vacant Downtown parcels with 29,885 sq. ft. of combined area. **Amendment of the approvals would increase the height of the building from 36’ to 47’ 2” and increase the unit count from 77 suites to 103 suites.** The remainder of the approved site and building design would remain unchanged; APNS: 011-184-08 & -09; Multifamily Residential – High Density (HR1) District Zone; Geoff Forner, Applicant; ASC San Rafael LLC, Owner; Downtown Neighborhood.

**\*\*\*Continued from the June 8, 2021 Design Review Board Meeting\*\*\***

**PROPERTY FACTS**

<b>Location</b>	<b>General Plan Designation</b>	<b>Zoning Designation</b>	<b>Existing Land-Use</b>
<i>Project Site:</i>	<b>High-Density Residential (HDR)</b>	<b>HR1</b>	<b>Vacant Lot</b>
North:	HDR	HR1	SFR
South:	5/M R/O	5/M R/O	Apartment Buildings
East:	5/M R/O	5/M R/O	Service Station w/Mini-Mart
West:	HDR	HR1	Office
<b>Lot Size</b>		<b>Lot Coverage (Max.)</b>	
Required: 29,885 sf		Allowed: 60% (17,931 sf)	
Proposed: 6,000 sf		Proposed: 59% (17,720 sf)	
<b>Height</b>		<b>Density (Max.)</b>	
Allowed: 36’		Allowed: 29 units (1 unit per 1,000 sf of gross lot area)	
Proposed: 47’ 2” (includes height bonus; excludes domes, trellis elevator and staircase protruding features)		Proposed: None (‘efficiency kitchens’ only for assisted care units only)	
<b>Parking</b>		<b>Usable Outdoor Area (Min.)</b>	
Required: 53 parking spaces		Required: None (Recommended 100 sf per unit)	
Proposed: 40 parking spaces		Proposed: 6,248 sf (common indoor and outdoor recreational area)	
<b>Landscaping (Min.)</b>		<b>Setbacks</b>	
Required: 50% of Front and Street Side Setback (2,164 sf)		<u>Required</u>	<u>Existing</u>
Proposed: 51% of Front and Street Side Setback (2,209 sf)		Front: 15’	n/a
		Side(s):	15’
		Street: 10’	n/a
		Interior: 5’	10’
		Rear: 5’	5’
			5’

**Tree Removal**

Total(No./Species): 6 (4 'mature') + 5 Street Trees (1 'mature')

Requirement: None (15 Replacement Trees Encouraged)

Proposed: 13 Replacement Trees (includes 3 Street Trees)

**Grading**

Total: 14,000 CYDS

Cut: 13,000 CYDS

Fill: 1,000 CYDS

Off-Haul: 13,000 CYDS

**BACKGROUND & DISCUSSION**

The project is being referred to the Design Review Board (Board) for review of proposed amendments to an approved project. On September 4, 2018, the City Council denied an appeal (City Council Resolution No. 14575) and upheld the Planning Commission's July 10, 2018 conditional approval of a new assisted living facility with memory care services and 40 garage parking spaces, located at 800 Mission Ave. (previously 1203-1211 Lincoln Ave.). The proposed project requests a height bonus of 11' 2", increasing the overall height, from 36' to 47' 2". The proposed height bonus would allow for an additional (fifth) floor and would also increase the capacity of the project, from 77 resident 'suites' to 103 'resident' suites and allow the project to increase the number of floors dedicated to memory care, from one to two.

The Planning Commission will determine whether the requested height bonus is supported by findings. The requested height bonus results in a change to scale/mass of the approved project, which requires Design Review Board review. The Board unanimously recommended the Planning Commission approve the California Mission Revival architecture on June 5, 2018.

On June 8, 2021, the Board reviewed the proposed amended project design. At that time, the Board continued their review (Blayney motion, Summers 2<sup>nd</sup>, 4-0 vote with Kent absent) to a 'date uncertain' with the following recommendations: 1) The design needs to provide a greater distinction between the dome tower element and the building to better maintain the California Mission Revival architecture; 2) The proposed additional floor needs to better relate to the design of the building with greater articulation and explore stepping back the upper-story; and 3) The rooftop deck, which had been previously removed as a cost-saving measure, should be added back into the project design. (A video recording of the meeting is available for review on the City's website at <http://www.cityofsanrafael.org/meetings/>). The Board's recommendations are provided below in **bold**, followed by staff's comments:

- **Provide greater distinction between the dome tower element and the building to better maintain the California Mission Revival architecture.**

The project design has been revised to enhance the dome tower element, located at the corner of Mission and Lincoln Avenues, by both stepping back the upper-story and increasing slightly the height of the tower itself. The proposed project revisions include increasing the height of the dome tower, located at the corner of Mission and Lincoln Avenues, three feet (3'), from 71' 3" to 74' 3". The upper-story is pulled-back 10'-15' away from the dome tower. Both proposed design changes have the effect of focusing greater attention on the dome tower, a significant architectural feature of the project.

- **Provide greater articulation and explore stepping back the upper-story to provide greater relationship throughout the building design.**

The project design has been revised by stepping back portions of the upper-story along all of the building elevations. The upper-story is pulled-back on average six feet (6') at many of the building corners and 10'-15' away from the dome tower, located at the corner of Mission and Lincoln Avenue. The objective is to reduce massing or building bulk at the corner of Mission and Lincoln Avenues. Additionally, the project design along the west elevation has been revised to step-back the corners while also providing articulation to a previous blank wall by proposing to install a



projecting architectural metalwork screen. Revisions to the north elevation façade are also proposed to match those on the west elevation by stepping back strategic portions of the upper-story and replicating the projecting architectural metalwork screen. The effect of these design revisions reduced massing or building bulk along all building elevations of the project design. These proposed design revisions would result in the reduction of residential 'suites' from previously 106 to 103.

- **The rooftop deck should return to the project design.**

The project design previously included an 1,874 sq. ft. roof terrace located behind the mansard roof parapet along the Lincoln Avenue elevation. The project design has been revised to relocate a slightly reduced outside terrace around the dome tower along both the Mission and Lincoln Avenue elevations. Conditions of approval would require finishes, amenities and landscaping at this new rooftop terrace to match those approved for the larger outdoor terrace approved for the rear of the building on the second floor.

## **NEIGHBORHOOD CORRESPONDENCE**

Notice of the continued hearing for the amended project was conducted in accordance with noticing requirements contained in Chapter 29 of the Zoning Ordinance. A Notice of Public Hearing was mailed to all property owners and occupants within a 300-foot radius of the subject site, the appropriate neighborhood groups (Lincoln/San Rafael Hill Neighborhood Association and the Federation of San Rafael Neighborhoods), and all other interested parties, a minimum of 15 calendar days prior to the date of this continued Board meeting. Additionally, notice was posted on the site at the corner of Lincoln and Mission Avenues, a minimum of 15 calendar days prior to the date of this continued Board meeting.

At the time of the distribution of staff's report to the Board, staff had received 16 written comments as a result of this noticing; 13 comments opposed to the project and three (3) comments in support.

The comments opposed to the proposed height bonus state, generally, that the additional building height is excessive, the site and use requires comprehensive redesign and the perceived traffic, parking and water impacts require mitigation.

The comments in support of the proposed height bonus state that the project would continue to promote an attractive, California Mission Revival architecture design, on the site, even as a taller building.

All public comments received on the amended project are attached as Exhibit 3.

## **CONCLUSION**

Staff finds the revised project design responds well to the direction provided by the Board to reduce the scale of the project, particularly the upper-stories. This reduction in perceived mass of the building is accompanied by an increase in articulation along all building elevations. Planning staff recommends support of the scale/mass of the requested height bonus, and believes it adequately relates to the predominant four- and three-story scale of existing development immediately adjacent to the project site. Planning staff also believe that the expanded project retains the California Mission Revival architecture, which the Board unanimously recommended for approval to the Planning Commission in 2018. No other changes to the approved design of the project are proposed.

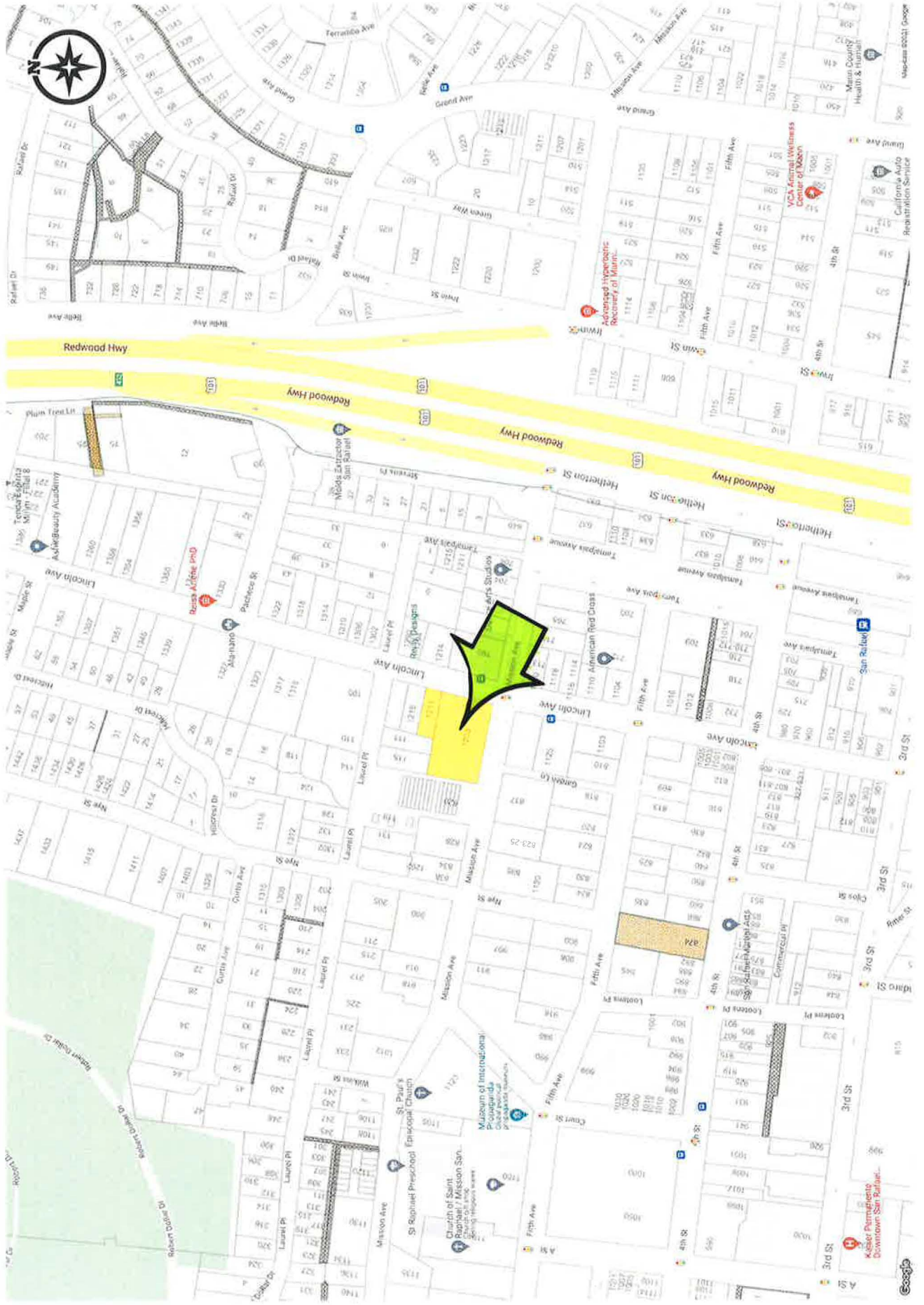
## **EXHIBITS**

1. Vicinity Map

2. Project Narrative
3. Parking Summary
4. Public Comments Since June 8, 2021 DRB Meeting
5. Approved Plans (9/04/18)
6. Prior Revised Plans (6/08/21)
7. Current Revised Plans (8/03/21)

cc: ASC San Rafael LLC – 415 118<sup>th</sup> Ave. SE; Bellevue, WA 98005  
Geoff Forner – 1 Belvedere Pl.; Mill Valley, CA 94941

800 Mission Ave. Project Site





RE: 800 MISSION AVENUE – DESIGN REVIEW REVISION, JULY 9, 2021

THE PROPOSED DESIGN IS A 103-SUITE ASSISTED LIVING AND MEMORY CARE COMMUNITY TO BE DEVELOPED, OWNED AND OPERATED BY AEGIS LIVING. IT WILL PROVIDE ASSISTED LIVING (54 RESIDENT SUITES) AND MEMORY CARE (49 RESIDENT SUITES) SERVICES LICENSED BY THE STATE AS A RESIDENTIAL CARE FACILITY FOR THE ELDERLY. IT WILL EMPLOY APPROXIMATELY 100 PEOPLE OVER THREE SHIFTS, WITH THE MAXIMUM SHIFT HAVING APPROXIMATELY 35 STAFF. THE BUILDING WILL BE A FIVE-STORY STRUCTURE WITH PARKING IN A SUBTERRANEAN GARAGE TO BE LOCATED AT THE CORNER OF MISSION AND LINCOLN AVENUES AND IS WITHIN WALKING DISTANCE TO DOWNTOWN, THE RETAIL DISTRICT, THE TRANSIT CENTER AND THE SMART RAIL STATION.

THE LAYOUT OF THE BUILDING TAKES ADVANTAGE OF THE NATURAL SLOPE ACROSS THE SITE, GIVING STREET LEVEL ACCESS TO THE PUBLIC ENTRANCES AND COMMONS AMENITY SPACES PROVIDED FOR THE RESIDENTS: COMMONS SPACES ON THE GROUND LEVEL INCLUDE AMENITIES SUCH AS DINING VENUES, TERRACE, WELLNESS/FITNESS SUITE, AND CINEMA/AUDITORIUM. ADDITIONAL RESIDENT LOUNGES ARE LOCATED ON THE UPPER FLOORS OF THE BUILDING IN ADDITION TO A FIFTH FLOOR TERRACE.

THE BUILDING WILL HAVE A COMMERCIAL-GRADE KITCHEN THAT PROVIDES ALL RESIDENT MEALS IN THE DINING VENUES ON THE GROUND LEVEL. THE INDIVIDUAL RESIDENT SUITES HAVE A SMALL WET BAR AREA (CASEWORK, A BAR SINK AND A SMALL REFRIGERATOR), BUT THESE ARE NOT INTENDED FOR THE PRODUCTION OF MEALS.

THERE ARE TWO ENTRANCES AT THE STREET LEVEL: ONE PRIMARY PEDESTRIAN ENTRANCE FROM MISSION AND A COVERED VEHICULAR DROP OFF LINCOLN. THE STREET LEVEL ALSO PROVIDES MISSION AVENUE ACCESS TO THE PARKING GARAGE CONTAINING 37 SPACES TOTAL (INCLUDING 2 ADA SPACES) AS WELL AS A TURNOUT LANE FOR FIRE ACCESS ON MISSION AVENUE AND ANOTHER ON LINCOLN AVE FOR LOADING. THIS CONFIGURATION HAS BEEN PREVIOUSLY REVIEWED AND APPROVED AS PART OF THE ORIGINAL BUILDING PERMIT APPROVALS.

MEMORY CARE WILL BE LOCATED ON LEVELS 2 AND 3 OF THE BUILDING AND CONTAINS THE NEEDED INFRASTRUCTURE TO PROVIDE A SAFE, COMFORTABLE AND CARING ENVIRONMENT FOR THE RESIDENTS. THE EXISTING SLOPE ON THE SITE ALLOWS FOR THE ENTIRE NORTH FACE FAÇADE OF THE MEMORY CARE COMMONS SPACES TO OPEN ONTO A PRIVATE AND SECURED OUTDOOR TERRACE DEDICATED TO THE MEMORY CARE RESIDENTS (AND SPECIFICALLY DESIGNED TO ACCOMMODATE THEIR NEEDS). COMMON SPACES DEDICATED TO MEMORY CARE INCLUDE DINING ROOM, ACTIVITY ROOM/MUSIC ROOM, BATHIQUE SPA, LOUNGES, AND A SERIES OF MEMORY-SKILL STATIONS.

THE FOURTH AND FIFTH RESIDENTIAL FLOORS (UPPER TWO) WILL BE DESIGNATED FOR ASSISTED LIVING TOTALING 49 SUITES. THESE WILL HAVE EXTERIOR BALCONY ACCESS FROM DESIGNATED SUITES ON THE MISSION AND LINCOLN AVENUE SIDES. THERE WILL ALSO BE ACCESS TO THE CORNER TOWER ROOF DECK FROM THE ELEVATOR LOBBY ADJACENT THE MAIN TOWER FEATURE.

IN ADDITION TO PROVIDING EXCELLENT DIRECT CARE FOR THEIR RESIDENTS, AEGIS TAKES EXTRAORDINARY CARE TO CREATE COHESIVE DESIGNS THAT RESONATE WITH THE COMMUNITIES THEY RESIDE, WHILE PROVIDING AN IMMERSIVE EXPERIENCE FOR THE OCCUPANTS OF THE BUILDING. THIS



WORKS NOT ONLY TO CREATE A SENSE OF PLACE FOR THE RESIDENTS, BUT ALSO RESULTS IN EASILY IDENTIFIABLE BUILDINGS THAT ARE ANCHORS OR ICONS WITHIN THE COMMUNITY. AS EACH OF THEIR PROPERTIES ARE UNIQUE, DESIGN ALWAYS BEGINS WITH AN UNDERSTANDING OF THE HISTORY OF A PLACE.

THE SAN RAFAEL PROJECT EMPLOYS A CALIFORNIA MISSION REVIVAL STYLE VOCABULARY INSPIRED BY THE NEARBY MISSION SAN RAFAEL. THIS BEGINS WITH THE SIMPLE STUCCO MASSING AND MONOCHROMATIC COLOR PALATE, USING DEEP OPENINGS AND LARGE OFFSETS/STEP-BACKS TO BREAK DOWN THE SCALE. DETAIL, COLOR AND ORNAMENT ARE RESERVED FOR LIMITED SPECIAL FEATURE AREAS ON THE BUILDING: AT THE PEDESTRIAN ENTRIES, THE ARCADES, THE 'BELL' TOWER, THE COVERED DROP OFF (MAIN VEHICULAR ENTRY), AND ALONG THE ROOF OVERHANGS. CONTRASTING 'TERRACOTTA' CLAY TILE ROOFS AND WOOD BEAMS ADD NOT ONLY DETAIL, BUT ALSO WARMTH TO THE PALATE.

THE DESIGN WAS REFINED FOR THIS SUBMITTAL TO REDUCE THE SENSE OF SCALE OF THE BUILDING, AS WELL AS CREATE A BETTER "HANDSHAKE" BETWEEN THE NEIGHBORING PROPERTIES. IN ESSENCE, THE PREVIOUS DESIGN PRESENTED IN MAY INSERTED A FLOOR BETWEEN LEVELS 2 AND 3 INTO THE HIGHLY REGARDED 2018 APPROVED DESIGN. WHILE THE APPROACH RETAINED MANY OF THE CHARACTERISTICS OF THE 2018 BUILDING, THE DRB FELT THE OVERALL RESULTING SCALE LOST THE GRANULARITY OF THE ORIGINAL SUBMITTAL AND WITH IT, THE ESSENCE OF THE ORIGINAL DESIGN.

THIS SUBMITTAL REPRESENTS A FUNDAMENTAL CHANGE IN THE DESIGN APPROACH. INSTEAD OF INSERTING A FLOOR BETWEEN 2 AND 3, THE APPROACH WAS TO DELICATELY ADD SPACE TO THE TOP OF THE BUILDING. THE BUILDING NOW LARGELY READS LIKE THE ORIGINAL PROPOSAL, BUT THE ADDITIONAL RENTABLE SPACE NECESSARY TO MAKE THE PROJECT AN REALITY ARE CAREFULLY FIT ONTO THE TOP FLOOR. THE DRB LAMENTED THE LOSS OF THE ROOFTOP AREA, WHICH WAS IMPROVED IN THIS VERSION BY ADDING A WALK OUT ROOF TERRACE AT THE CORNER OF THE FIFTH LEVEL. THIS WILL BE MUCH MORE WELCOMING FOR RESIDENTS AND COALESCES AROUND THE TOWER ELEMENT. FURTHER, BY ERODING THE UNITS FROM AROUND THE TOWER AND REPLACING WITH ROOF TERRACE, IT ALLOWS THE TOWER TO REGAIN IT'S VISUAL PROMINENCE FROM THE GROUND LEVEL.

THE WALL PLANES ALONG MISSION AND LINCOLN WERE CAREFULLY REVIEWED, AND THE TOP FLOOR WAS DEEMPHASIZED BY A SOFT CHANGE OF COLOR AND DETAILS TO THE AWNING AND BALCONY RAIL. THE GABLED ROOF AT THE WEST END OF THE BUILDING WAS BROUGHT BACK TO THE FOURTH LEVEL, AND THE CORNER UNITS WERE FITTED WITH BALCONIES ON THE CORNERS TO FURTHER REDUCE THE SENSE OF SCALE. THE EYE NOW NATURALLY RESTS ON THE TOP OF LEVEL FOUR RATHER THAN TAKING IN THE ENTIRE FIVE LEVELS AS THE PREVIOUS SUBMITTAL. FURTHER, THE VIEWS TO THE BUILDING FROM THE NORTH AND WEST WERE REDESIGNED TO DEEMPHASIZE THE SENSE OF SCALE, AND TO CREATE SIMILAR PROPORTIONS TO THE ADJACENT BUILDINGS. USEABLE UNIT SPACE WAS REPLACED WITH BALCONY SPACE TO ELIMINATE THE WALLS AT THE TOP FLOOR CORNERS. THIS RESULTS IN EFFECTIVE CHANGES IN SCALE TO BOTH HORIZONTAL AND VERTICAL PLANES.

WE LOOK FORWARD TO DISCUSSING IN FURTHER DETAIL THE REVISED AEGIS SAN RAFAEL SUBMITTAL AT THE CONTINUANCE MEETING OF THE DRB.

## Parking Summary – Aegis Living 1203 Lincoln San Rafael

### How was the proposed parking need (or demand) calculated?

Estimating future parking demands for new development are typically based on parking studies of similar land uses. The *Parking Generation Manual* is the most robust and widely used source of parking data that is published by the Institute of Transportation Engineers (ITE). This manual provides data and information collected for a variety of land uses and is a trusted resource within the transportation industry.

Transpo Group has completed many transportation studies for Aegis Living facilities throughout the region and have found that they have similar transportation characteristics to the ITE Nursing Home land use. These facilities have skilled nurses and staff present 24 hours a day and residents generally do not drive or own a vehicle. The ITE data set presents peak parking demand rates for nursing homes located within suburban areas based on the number of beds within the facility.

### What is the estimated peak parking need for the proposal?

Table 1 provides a summary of the parking need for the current proposal and the previously approved project.

**Table 1. Aegis Living San Rafael Parking Need**

Land Use	Size	Weekday		Weekend	
		Rate <sup>1</sup>	Demand	Rate <sup>1,2</sup>	Demand
Current Proposal	105 beds	0.35 per bed	37 vehicles	0.26 per bed	27 vehicles
Previous Approval	88 beds	0.35 per bed	31 vehicles	0.26 per bed	23 vehicles
<i>Difference</i>	<i>17 beds</i>		<i>6 vehicles</i>		<i>4 vehicles</i>

1. Based on the peak weekday parking demand rate for nursing home land use (#620) in the ITE Parking Generation (4th Edition, 2010) consistent with the May 2018 and February 2021 traffic studies.  
 2. The weekend trip rate was based off the highest parking demand rate for Saturday or Sunday for nursing home land use from ITE *Parking Generation*.

The peak parking demand for the current proposal is 37 vehicles and would occur during the weekday.

### Is there enough parking to meet the peak demands?

The proposed project is providing 40 parking spaces, which will accommodate the anticipated peak parking demand of 37 vehicles.

### Why is the calculated parking needs reasonable?

- Maximum of 34 staff are anticipated per shift
- If all staff drive alone to the site there would be 6 spaces for visitors
- Aegis is required to have a transportation management program (TMP) to encourage staff to not drive alone to work so parking needs will be reduced
- Visitors are spread throughout the day and visits are typically less than 1 hour
- Not all residents have visitors every day (similar to a nursing home)

## Steve Stafford

---

**From:** walden valen [REDACTED]  
**Sent:** Friday, July 23, 2021 3:11 PM  
**To:** Steve Stafford; 820 Mission HOA  
**Subject:** Project: 800 Mission ave. (Aegis Living San Rafael)

Mr. Stafford:

The following are some concerns, questions, facts and corrections from the last Design Review Board meeting on June 8th. Please forward these to the appropriate Committees, Commissions, or Boards as needed.

**Traffic / Parking:** In the latest proposal package from Aegis Living, the traffic study does not mention any dates beyond 2018 except as a Memorandum of March 3, 2021. It seems to refer back to a study of two Aegis Living Facilities in Washington State done in 2014. There does not seem to be anything that updates it to today except a large number of charts and tables projections. Did anyone from Trans Po Group actually come out to the site with pencil, paper and clicker to witness present traffic conditions?

Since that study the SMART Commuter Rail has begun regular service through San Rafael, and at times, creating traffic back-ups westbound on Mission Ave. and onto the off ramp from 101 Highway. Even with Covid lockdown traffic has increased significantly since 2018 on our Mission Ave..

During the last meeting Mr. Geoff Former made at least one false statement. In justifying the 37% increase in suites from 77 to 106 suites without increasing the number of parking spaces, he said that there was public transportation on both Lincoln and on Mission Ave. In fact there is no public transit on Mission Ave.

Here at 820 Mission Ave., we have 13 Units in the building. There are 2 parking spaces per unit Underground, 5 visitor parking spaces out front (Oh yes, our building is set back 30+ feet from the street), and 2 extra parking spaces up in back by our storage area. This makes 33 off street parking spaces for our complex.

Next door at 828 Mission Ave., a Victorian converted to office spaces (10), which is For Sale, the City has required them to provide 26 off street parking spaces plus 1 handicap space.

How does a 37% (77 to 106 suites) or now a 34% (77 to 103 suites) not increase their required off street parking (37 spaces plus 3 dual purpose - ADA / Short Term spaces)??\*\*\*\* Actually in their new proposal Dated: July 9, 2021 Aegis is proposing to only have 37 off street parking spaces, including two designated ADA. \*\*\*\* So now they are not only asking to increase the number of suites by 34%, but also asking to decrease the the parking by another 8%

**Other Questions /Concerns:** At the last meeting someone asked about Story Poles. Is Aegis required to put them up because of this new proposed height ??

The General Plan and Zoning Ordinance Design Policies and Criteria require Projects to harmonize with the natural environment and surrounding area. When arriving to our City the proposed Aegis Living structure does not meet the criteria. Even with their newest proposal it is still a large blocky structure that does not harmonize with the surrounding area. Our building at 820 Mission Ave. and the Vicitorian building next door are more harmonizing and inviting focal points to our City.

Please compare the set-backs (front and side) between the Aegis Living proposal and the next two buildings on Mission Ave. I know Aegis is conforming to the laws, but it makes the addition to the structure look even more Blocky and Imposing - - not an invitation to the City.

In response to a statement made by the representative from Aegis who spoke toward the end of the meeting and said that "this project did not pencil in without the added floor". (profit) We would like to respond "this project does not pencil in for us with the added floor". (Growth in our equities).

We also are wondering what is going on at the Aegis property with the temporary fencing and large drilling ??

One last personal concern. The Planting Plan for the Aegis project includes *Gelsemium sempervirens* 'Margarita' Carolina Jasmine. All parts of this species are poisonous if ingested. I know this plant is widely used and maybe without any incidents, but I do want to make that caution.

Thank you, for your consideration in this matter. I am looking forward to attending the online meeting on August 3.

Walden Valen, Interim President  
820 Mission Ave. HOA Board of Directors

[Redacted signature]



## Steve Stafford

---

**From:** Rosemarie Klahn [REDACTED]  
**Sent:** Sunday, July 25, 2021 2:03 PM  
**To:** Steve Stafford  
**Subject:** 800 Mission

Mr. Stafford,

I am in favor of senior housing, though I support Aging in Place as the first line of effort, but this project is fraught with issues.

Foremost, imo, is the architectural style. While consistent with San Rafael's history, the problem is...that it's consistent with San Rafael's history! That is, Mission/Colonial style is as much anathema to our indigenous peoples as Antebellum mansions are to descendants of Enslaved Peoples.

Also, the ever-ratcheting up of stories is an old investor's practice. Limit here at downtown and invest elsewhere. Where?

I'd like to see Senior Living built into the upper floors at Northgate Mall, opened up to the sky. And to truly make it multigenerational, support a daycare and library there. Design similar to Emeryville or in Leesburg, VA. I lived for nearly two decades at The Golden Gateway, near The Embarcadero Center in SF. Many Seniors chose to age there because it provided a good walk-friendly lifestyle, imperative for years after the ability to drive is past.

We can do better.

Thank you,

Rosie Klahn  
[REDACTED]  
San Rafael, CA 94901  
[REDACTED]

## Steve Stafford

---

**From:** Michael Alexin [REDACTED]  
**Sent:** Tuesday, July 27, 2021 7:59 AM  
**To:** Steve Stafford  
**Subject:** Senior Housing Project on Lincoln

Dear Steve:

I am a property owner and resident of San Rafael. I am writing in FAVOR of this project, and feel that it is in the City's and residents' best interests that this be approved. First, we need more housing for seniors. Secondly, the design of the proposed building is attractive and in keeping with San Rafael's Spanish roots. Third, the influx of new residents should help revitalize a dirty and unattractive section of our downtown. I am also in favor of allowing additional height, as this building can function as a landmark for our city.

Sincerely,  
Michael Alexin  
[REDACTED]

Sent from my iPad

## Steve Stafford

---

**From:** T. Farley <[REDACTED]>  
**Sent:** Tuesday, July 27, 2021 5:29 AM  
**To:** Steve Stafford  
**Subject:** 800 Mission Senior Facility

I urge you to support this drastically needed facility and building. It is a sensible development.

Sincerely,

Thomas Farley  
[REDACTED]  
San Rafael, CA 94901

## Steve Stafford

---

**From:** Susan Bradford <[REDACTED]>  
**Sent:** Monday, July 26, 2021 5:40 PM  
**To:** Steve Stafford; planning; Mayor Kate  
**Subject:** Re: 800 Mission Senior Facility

Dear Steve, Kate Colin and Planning Dept,

I will get right to the point to comment on the proposed senior facility building at 800 Mission.

I am an elder myself and I pray that no one ever puts me in a place like that!

It looks like an "institution". It is too tall for our city and especially for where it is located. Our elders deserve and need to be where there is easy access to the outdoors and a beautiful park-like setting with nature to view, not narrow sidewalks with swiftly moving traffic on both streets that the building is proposed to sit on.

The elders need a place where even if in a wheelchair they can be taken outside for fresh air, sunlight and a peaceful setting. This offers none of that...only a concrete, glass and metal hermetically-sealed high rise. Who would want to spend the rest of their lives in a place like that?

In the past I have worked in a number of long-term care facilities so I do have some insight into what is meaningful and important for the people who have to live in them. I would like to see the city of San Rafael planning board take into deep consideration what aspects are really of the greatest importance to honor and respect our elders in their last years.

How can you create a home that will give our city's elders some well-deserved enjoyment and pleasure in their final home?

Thank you,

Susan Bradford

## Steve Stafford

---

**From:** Carol Galloway <[REDACTED]>  
**Sent:** Monday, July 26, 2021 9:41 AM  
**To:** Steve Stafford  
**Subject:** Building on Lincoln & Mission

To Mr. Steve Stafford,

I would like to see a much smaller building be built on the corner of Lincoln & Mission St than the latest drawing that was presented. The new plan doesn't look any smaller than the previous one. That corner is a very busy corner and having a monster building there would look so out of place. Our lovely city is being overdone with huge buildings all over San Rafael. I don't like it.

Thank you,

Carol Galloway

## Steve Stafford

---

**From:** Ms Angela Gott <[REDACTED]>  
**Sent:** Monday, July 26, 2021 7:42 AM  
**To:** Steve Stafford  
**Subject:** Re: 800 Mission re-design to 62 ft tall

What I do not like is that there is no place on the proposed building for the residents to be able to sit outside and enjoy the sun, some plants, trees, nature, bird feeders, humming birds, etc. Old people enjoy the outdoors and sunshine on pretty days. All of this went by the wayside-- Originally there was supposed to be a rooftop terrace or garden right? So this got scrapped to make room for more beds.

People are going to be confined indoors all the time with no way to get fresh air. How is this building being designed to limit the spread of COVID?

We all know that COVID is here to stay and the importance of fresh air, windows that open, etc. So to me, to confine these people indoors 24/7 is more like a prison. People coming to visit are not going to want to be indoors with all the COVID either.

There needs to be some alternative to being indoors now more than ever-- It is not healthy to limit these folks to an indoor environment all the time-- so the design needs to incorporate measures to limit the spread of COVID.

Make these developers design a site that is mindful of the new COVID world we are now living in and put in some place for the residents to be able to enjoy the outdoors.

Thank you.  
Angela Gott

## Steve Stafford

---

**From:** carol duke [REDACTED]  
**Sent:** Monday, July 26, 2021 2:19 PM  
**To:** Steve Stafford  
**Cc:** carol duke  
**Subject:** Ugly ,fake building 800 mission

**carol lee**

• Kent Flats

I sent a comment saying it is too big too ugly and looks like it is trying to be something that it isn't , Caroline Beyer said it best.... I agree with Caroline Beyer .....It would be different if this building were well-designed. Instead, it violates every rule of architectural aesthetics, with its jumbled sight lines, ridiculous columns and towers, and gratuitously cluttered facade. It evokes images of a downscale theme park, and would add to the embarrassing provincialism of our town. I hate to see yet another squandered opportunity for a sophisticated, elegant addition to San Rafael.

Just now

**Like**

**Reply**

**Share**

**Steve Stafford**

---

**From:** carol duke [REDACTED]  
**Sent:** Monday, July 26, 2021 2:13 PM  
**To:** Steve Stafford  
**Cc:** carol duke  
**Subject:** 800 mission street

**800 Mission Senior facility NEW design. Too big and too ugly. Trying to look like something it is not....**

**although we desperately need senior housing, we do not have enough water for new hookups.**

**all projects should be on hold until we see what this year's rainy season brings.**

**I live in kentfield and I lived in marin in the mid 70's when we had extreme drought conditions.**

**Thank you, carol duke**

[REDACTED]



## Steve Stafford

---

**From:** J [REDACTED]  
**Sent:** Sunday, July 25, 2021 8:26 PM  
**To:** Steve Stafford  
**Subject:** 800 Mission Avenue project

I am a lifelong, third generation San Rafael resident. I love the "mission" feel to the design but 5 stories will be completely overwhelming in size. There are no 5 story buildings in the area therefore it will overpower the whole area. Again, the styling fits the mission city but 5 stories is way too much for the neighborhood and is just too tall. I couldn't imagine being in the houses behind it, it will block out any views. 5 stories seems too high even if it was in the Bank of America block. Mission and Lincoln is not the place for a 5 story building.

Jeanne

## Steve Stafford

---

**From:** Lynne Law [REDACTED] >  
**Sent:** Sunday, July 25, 2021 3:46 PM  
**To:** Steve Stafford  
**Subject:** New Design for 800 Mission

I have seen the drawing for the first time of this proposed project.  
To me, the design reminds me of a former orphanage - definitely believe it could be improved to look more contemporary and attractive for our downtown. Definitely, the height is excessive for the neighborhood.

Lynne Law

## Steve Stafford

---

**From:** Karen Carlson [REDACTED]  
**Sent:** Sunday, July 25, 2021 12:55 PM  
**To:** Steve Stafford  
**Subject:** project at Lincoln and Mission

Dear Mr. Stafford

I am writing in regard to the new Memory Care facility soon to be constructed at Lincoln and Mission.

I understand that the developer is currently petitioning to erect the building at a height of **62 feet**? A structure of this size is utterly incongruent to the Lincoln Hill neighborhood. Even at a height of 51 feet, this building is objectionable, but an additional 9 feet?

And I assume that this height change would also increase the population density of the proposed facility?

How could this possibly be justified? I am praying that our city officials will reconsider, due to:

**TRAFFIC** this area is already chronically gridlocked to an extent which exceeds inconvenience--it is often unsafe. The City should be working on ways to alleviate the current situation, rather than continually compounding it (e.g., SMART train).

**PARKING** residents of this neighborhood already struggle to find parking. Instead of improving this situation, the City is choosing to worsen it? Where will the staff and guests of this new facility park their vehicles?

**WATER** adding to our water burden is an unconscionable choice. Our current historic drought is being caused by circumstances which will only worsen over time. Meanwhile, we are constructing a gigantic hotel downtown. We do not have the resources to support this usage.

**DESIGN** I find it shocking that this design could have been approved by our planning department. It is an extremely unsightly building, and recent redesigns have not improved it. It violates every rule of architectural aesthetics, with its jumbled sight lines, ridiculous columns and towers, and gratuitously cluttered facade. It evokes images of a downscale theme park, and would add to the embarrassing provincialism of our town. I hate to see yet another squandered opportunity for a sophisticated, elegant addition to San Rafael.

In my 35 years as a resident, I have felt as if the City increasingly disregards the opinions of its citizens. I hold hope that this time might be different.

Sincerely,  
Karen Carlson  
[REDACTED]

**Sent:** Saturday, July 24, 2021 4:04 PM  
**To:** planning <planning@cityofsanrafael.org>  
**Subject:** Project No.: UP21-006 and ED21-022

Hello,

I am a neighbor to this project. It appears we are either being duped or lied to. The drawing for the project to be reviewed on 8/3/21 represents a 62' high structure according to the design shown below.

Please explain why the City of San Rafael Planning Department is listening to this developer with such plans being 62' vs. 47'.

**Your website tells me:**

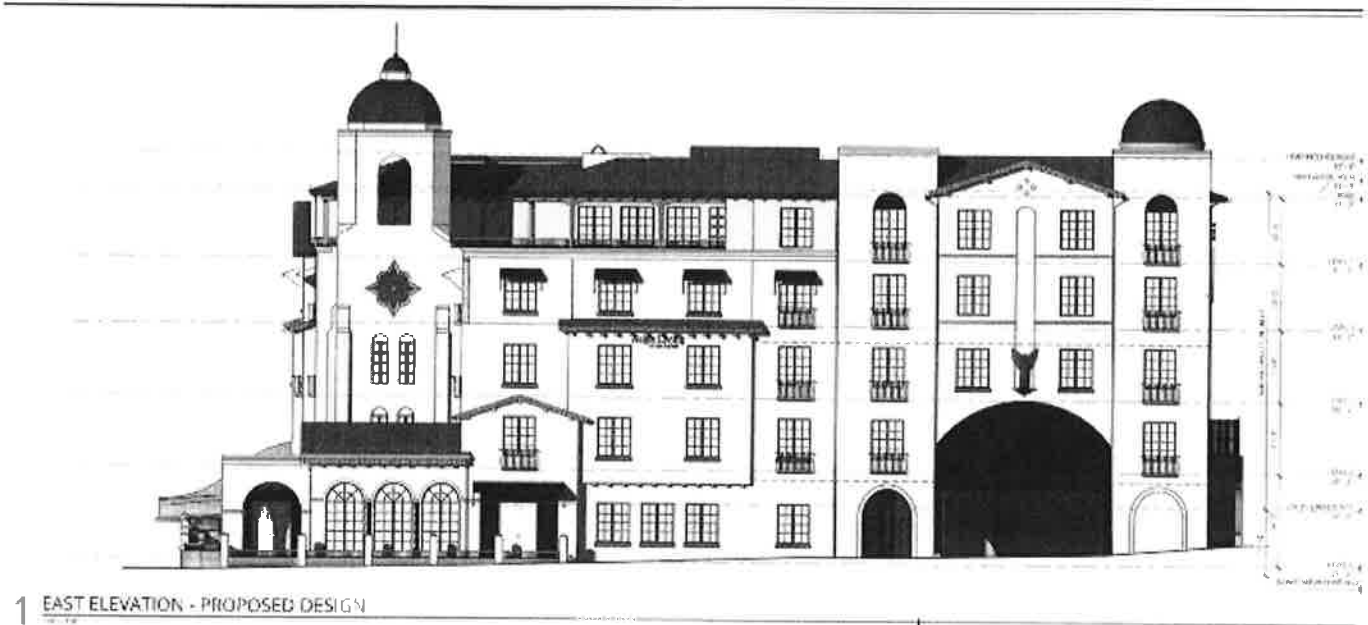
The previously approved project was a four-story assisted living facility building with 77 assisted living bedrooms or suites (studio and one-bedroom unit layouts) and 88 beds over 40 garage parking spaces. The project was approved with one floor of memory care services.

Proposed amendment of the approved project to allow a requested height bonus. **Project is requesting a 11' 2" height bonus** where a maximum 12' height bonus is allowed by the General Plan and Zoning Ordinance. The proposed height would increase from 36' to 47' 2". The number of rooms would increase from 77 suites to 103 suites. The additional height would allow the memory care services to expand from one floor to two. No other design changes or modifications are proposed.

**Older Rejected Plan/Design:**



**New Proposal/Design to be heard August 3, 2021**



Thanks,

Mark Comin | [REDACTED] | San Rafael, CA 94901

**From:** Ravi <[REDACTED]>  
**Sent:** Saturday, July 24, 2021 6:11 PM  
**To:** planning <[planning@cityofsanrafael.org](mailto:planning@cityofsanrafael.org)>  
**Subject:** mission and lincoln project

Hello,

The new plan looks just like the old plan.

Height looks the same.

What about the traffic impact on Mission?

It's the back road to San Anselmo as you guys ruined the traffic with the smart train which has so few riders even before covid.

It's like you are in a city planning cult that emanates from academia and not real world practicality.

Who do you work for?

Clearly not the tax payers.

Ravi

**Steve Stafford**

---

**From:** [REDACTED]  
**Sent:** Tuesday, July 27, 2021 1:25 PM  
**To:** Steve Stafford  
**Subject:** 800 Mission  
**Attachments:** P1050360.JPG

Hi Steve,

Regarding the senior facility. NO, NO, NO. It's way to big, sterile and especially not an inviting place to want to live. San Rafael is starting to build way to many 3, 4 or more storied buildings. What happened to our nice little town? It's getting over run by developers who are building out of place buildings. This corner is a nice little residential area. Keep it to two stories max with a nice park area for seniors to enjoy the outside.

Marty



**Marty Komitopoulos**

[REDACTED]  
[REDACTED]  
[REDACTED]

## Steve Stafford

---

**From:** Esther Wanning <[REDACTED]>  
**Sent:** Thursday, July 29, 2021 12:52 PM  
**To:** Steve Stafford  
**Subject:** New Senior Center

It looks fine to me.

Esther Wanning  
[REDACTED]  
San Rafael, CA 94901

Sent from my iPhone





NOT FOR CONSTRUCTION



38 NORTHWEST EMERALD SUITE 300  
PORTLAND, OREGON  
503.243.7300  
1105 5TH AVE, SUITE 200  
SEATTLE, WA 98101  
206.376.1600  
1615 HOWARD STREET  
SACRAMENTO, CA 95818  
916.312.7063  
© ANKROM MOISAN ARCHITECTS, INC.

FILE COPY  
DO NOT REMOVE

APPROVED  
SAN RAFAEL PLANNING DEPARTMENT  
By: CC DENVER PC, APPROVAL APPROVAL  
Date: 9/4/18  
File No: AP18-002, 1011-010, UPT-030

**PROJECT INFORMATION**

**GENERAL**  
ZONING: JRB-1  
MULTIFAMILY RESIDENTIAL  
HIGH DENSITY  
800' PLANDER BUILDING UNIT  
MAX. BUILDING HEIGHT: 35'  
PROPOSED BUILDING HEIGHT: 35'-6"  
MIN. USEABLE OUTDOOR AREA: 100 SF  
PROPOSED USEABLE OUTDOOR AREA: 3,555 SF  
AP NUMBER: 18-184-01-00  
UNITS PROPOSED: 77  
MISC. #8

**PROJECT DIRECTORY**

**APPLICATOR**  
AL SEVEN CAPITAL PARTNERS LLC  
1101 JEFFERSON AVENUE, SUITE 400  
SAN RAFAEL, CA 94901  
**CONTACT:** BOB BISHOP/ALAN  
GEORGEY FORNER  
PHONE: 415-556-0000  
EMAIL: bob@alseven.com  
alan@alseven.com  
**ARCHITECT**  
ANKROM MOISAN ARCHITECTS  
1505 5TH AVENUE, SUITE 300  
SEATTLE, WA 98101  
CONTACT: JEFFREY SCHEIDT/LAIRD  
PHONE: 206-276-1600  
EMAIL: jeff@ankrommoisan.com  
laird@ankrommoisan.com

**DESIGN DESCRIPTION**

PROPOSED OCCUPANCY: D0-2  
MULTIFAMILY RESIDENTIAL (HIGH DENSITY)  
THE PROPOSED DESIGN IS A 17 UNIT, FOUR STORY BUILDING WITH SUBTERRANEAN GARAGE. THE LOCATION IS AT THE CORNER OF MISSION AND LINCOLN IN SAN RAFAEL. IT IS WALKING DISTANCE TO DOWNTOWN, THE TRANSIT CENTER, ANTI-FUNING SUJARI RAIL STATION. THE FIRST FLOOR OF RESIDENTIAL LIVING LOCATED ONE LEVEL ABOVE STREET, WILL HOUSE 23 UNITS WITH ACCESS TO MEMORY CARE RESIDENTS. THE UPPER TWO FLOORS WILL HOUSE 52 UNITS OF ASSISTED LIVING RESIDENTS. THE GARAGE/FIT CENTER PLANT COVERAGE WILL CONTAIN 2 ADA SPACES, 1 ADA VAN PARKING SPACE AND LOADING AREA. THESE ARE 7 STAFF PARKING SPACES PROVIDED FOR THE ACCESS AND LOGGING, ONE AT RECEPTION AND ONE AT RECEPTION.  
THE SUBTERRANEAN GARAGE WILL CONTAIN 22 SPACES TOTAL (INCLUDING 2 ADA SPACES). THE PARKING TOTAL FOR THE COMPLEX WILL INCLUDE 22 DEDICATED SPACES (INCLUDING 2 ADA SPACES) ENTRANCE AND EXIT TO SUBTERRANEAN GARAGE WILL BE LOCATED OFF MISSION. ENTRANCE AND EXIT TO GROUND LEVEL GARAGE WILL BE LOCATED OFF LINCOLN.  
PROJECT CONTAINS A MIX OF 1 BEDROOM & 2 BATH UNITS. FIRST LEVEL OF RESIDENTIAL (ONE LEVEL UP FROM STREET) WILL BE DESIGNATED FOR MEMORY CARE USE. THE UNITS ON THIS FLOOR WILL HAVE NON OPERATIONAL DOORS TO FALSE BALCONY'S. THERE WILL BE ONE CONTROLLED ACCESS PLANT FOR GARDENING PURPOSES ON THIS LEVEL. THE SECOND AND THIRD RESIDENTIAL FLOORS UPPER TWO WILL BE DESIGNATED FOR ASSISTED LIVING AND WILL HAVE EXTERIOR BALCONY ACCESS FROM DESIGNATED UNITS ON THE MISSION AND LINCOLN SIDES.  
THE ARCHITECTURAL EDGES OF THE BUILDING LEVELS ARE TO CREATE A VARYING ARCHITECTURE. EACH BUILDING ELEVATION WILL BE SIMILAR, INCLUDING RELATING TO THE EXISTING HISTORIC ARCHITECTURE OF SAN RAFAEL. FROM THE STREET, A RECEPTION ENTRANCE PORCH, COURT WITH WALK LEVEL, STAGGERED ROOFING ON INTERIOR BALCONIES AND A TOWER TOWER WITH ARCHITECTURE. SEPARATED BUILDING SECTIONS PROVISIONS AN INTERIOR LEVEL OF COORDINATED DESIGN. APPEAR, VERTICAL EXPRESSION THROUGHOUT THE BUILDING, THE ARCHITECTURAL, AND THE BUILDING, SEPARATIONS FROM VERTICAL MOVEMENT - POINTS, SHADOWS AND TYPICAL ARCHITECTURAL DETAILS AND PROPORTIONS, OR BEING OUTLINE. BASED ON GENERAL, THE SITE WILL BE MAINTAINED TO PROTECT REMAINING AND EXISTING, JAVEL.

**LANDSCAPE DIAGRAM**



**SHEET INDEX**

SHEET NUMBER	SHEET NAME
1	TITLE SHEET
2	LOWER GARAGE PLAN
3	MAIN LEVEL PLAN
4	SECOND FLOOR RESIDENTIAL PLAN
5	THIRD FLOOR RESIDENTIAL PLAN
6	ROOF PLAN
7	EXTERIOR ELEVATIONS
8	EXTERIOR ELEVATIONS
9	SECTION
10	SECTION
11	DETAILS
C-01	SITE SURVEY
C-02	GRAVEL DRAINAGE AND UTILITY PLAN
C-03	STORMWATER CONTROL PLAN
C-04	STORMWATER CONTROL, DETAILS AND TABLE
L-01	LANDSCAPE
L-02	PLANTING PLAN
L-03	PLANT - SCHEDULE
L-04	PLANTING DETAILS

**VICINITY MAP**



NOT FOR CONSTRUCTION  
THESE DOCUMENTS ARE BEING PROVIDED ONLY TO ILLUSTRATE GENERAL DESIGN INTENTIONS  
DISCREPANCIES MAY EXIST BETWEEN THESE DOCUMENTS AND DOCUMENTS THAT HAVE BEEN REVIEWED AND APPROVED BY THE CITY OF SAN RAFAEL PLANNING AUTHORITY.

**LOT COVERAGE DIAGRAM**

LEVEL #	UNIT TYPE	COUNT	AREA (SQ FT)
LEVEL 1	AL-1	18	1,004
	AL-2	13	897
LEVEL 2	AL-1	3	209
	AL-2	17	1,023
LEVEL 3	AL-1	26	1,029
	AL-2	17	1,023
TOTAL	AL-1	65	3,517
	AL-2	63	3,517
Overall Total		128	7,034

**LOT COVERAGE DIAGRAM**



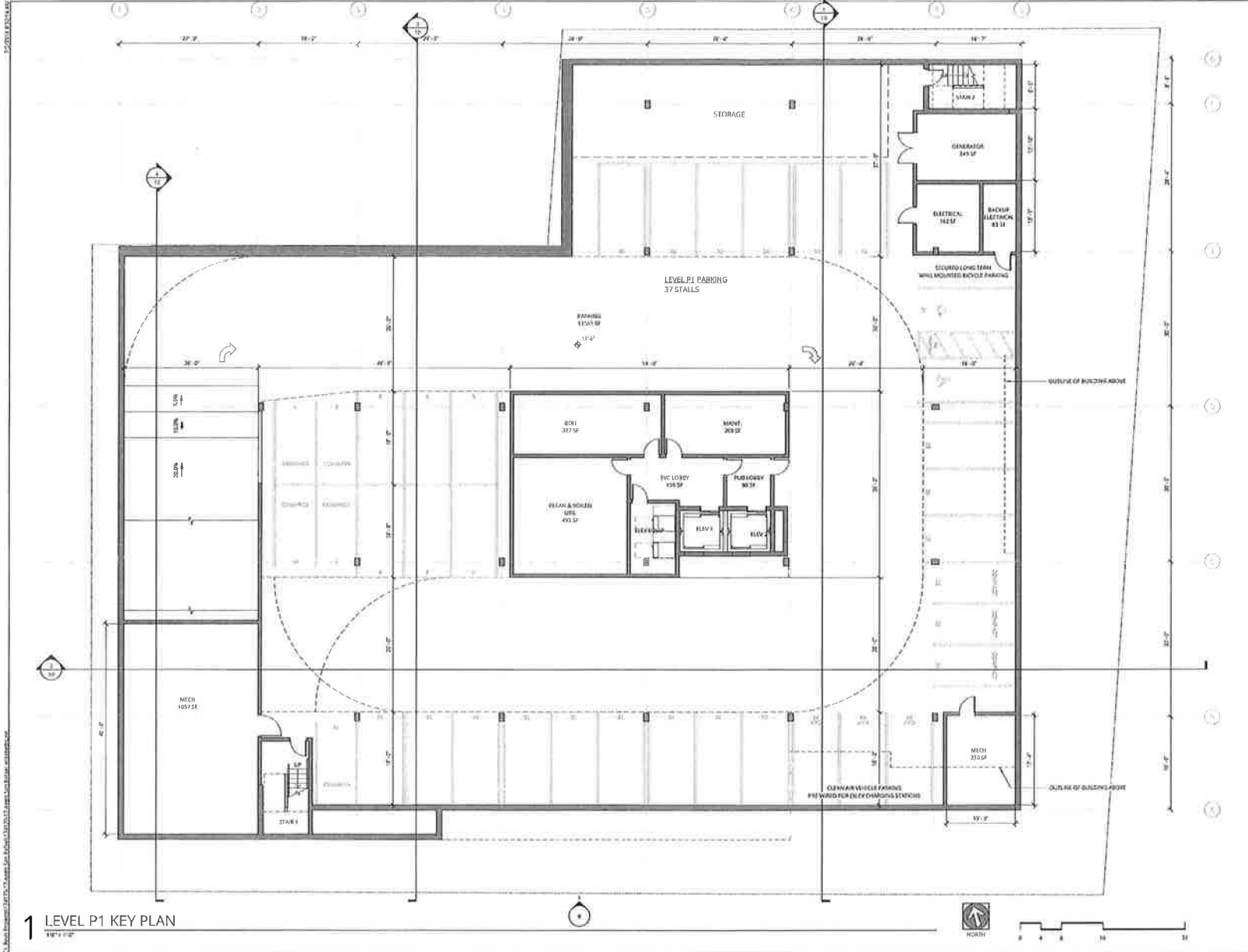
**SETBACKS**

THE SETBACKS OF THE ORIGINAL APPROVED EX-G-8 ARE MAINTAINED TO INCLUDE 15' SIDE SETBACKS ON THE REAR AND SIDES OF THE FOOTPRINT, AS WELL AS A 15' SETBACK FROM MISSION AND A 15' SETBACK FROM LINCOLN. PROPOSED BUILDING FACADES (SAN RAFAEL) SHALL MAINTAIN APPROVED DIS CS.

REVISION	DATE	REASON FOR REVISION

RECEIVED  
JUL 03 2018  
PLANNING  
TITLE SHEET

DATE: 05.30.2018 PROJECT NUMBER: 174170  
SHEET NUMBER: 1



**NOT FOR CONSTRUCTION**

**Ankrom Moisan**  
 35 NORTHWEST DAMS SUITE 300  
 PORTLAND, OR 97209  
 503.245.7100  
 1505 5TH AVE, SUITE 300  
 SEATTLE, WA 98101  
 206.776.1600  
 1014 HOWARD STREET  
 SAN FRANCISCO, CA 94103  
 415.552.7043  
 © ANKROM MOISAN ARCHITECTS, INC.

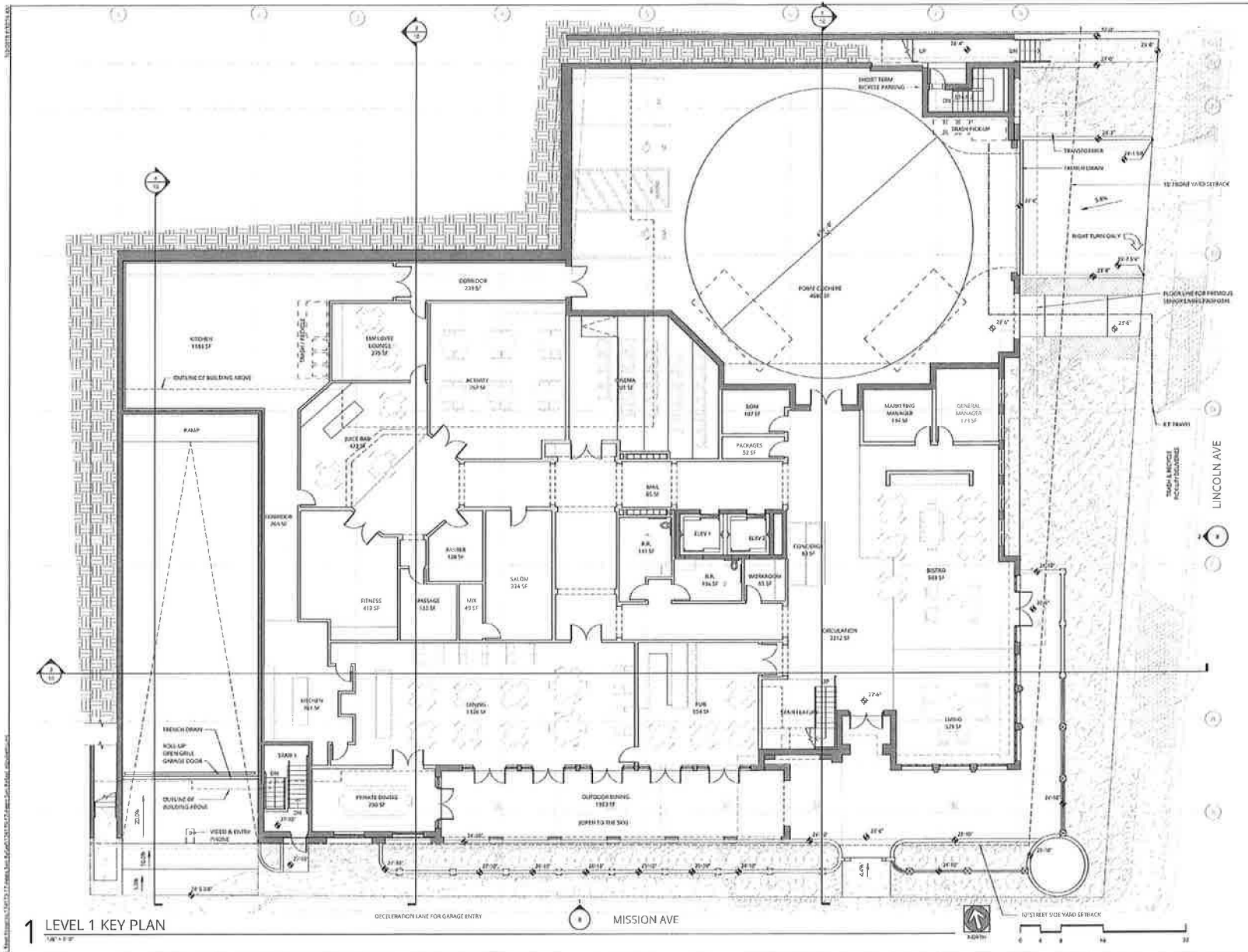
**AEGIS SAN RAFAEL**  
 800 MISSION AVENUE SAN RAFAEL CA 94901  
 ASC SAN RAFAEL LLC

REVISION	DATE	REASON FOR ISSUE

**LOWER GARAGE PLAN**

DATE 05.30.2018	PROJECT NUMBER 174170
SHEET NUMBER 2	

1 LEVEL P1 KEY PLAN



1 LEVEL 1 KEY PLAN  
1/8" = 1'-0"

**NOT FOR CONSTRUCTION**



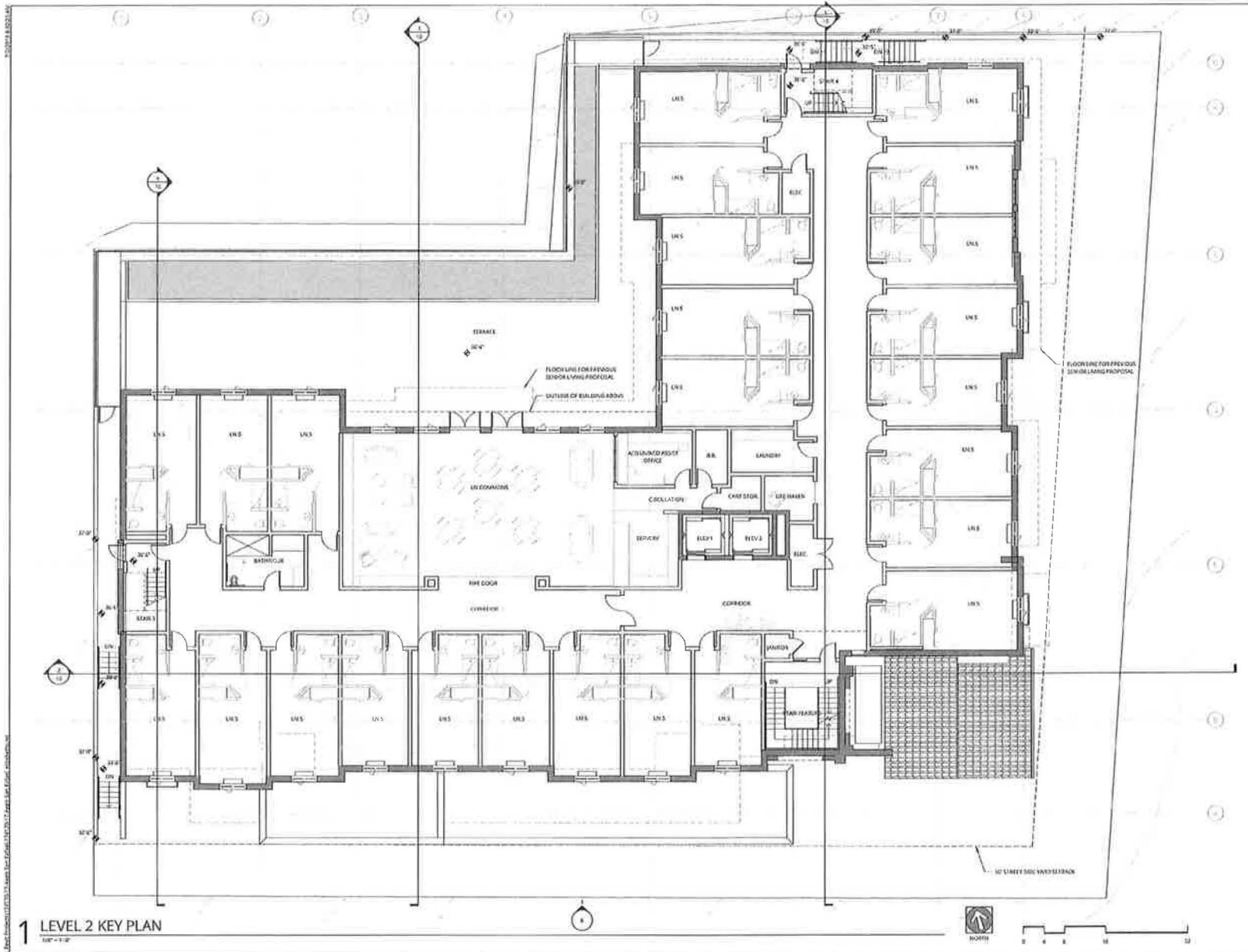
ANKROM MOISAN ARCHITECTS, INC.  
 25 BERTHMEYER DRIVE, SUITE 200  
 PORTLAND, OR 97209  
 503.245.7100  
 1525 5TH AVE, SUITE 300  
 SEATTLE, WA 98101  
 206.326.7600  
 884 HOWARD STREET  
 SAN FRANCISCO, CA 94103  
 415.252.7003  
 © ANKROM MOISAN ARCHITECTS, INC.

**AEGIS SAN RAFAEL**  
 800 MISSION AVENUE SAN RAFAEL CA 94901  
 ASC SAN RAFAEL LLC

REVISION	DATE	REVISION/ISSUE

MAIN LEVEL PLAN

DATE: 05.30.2018 PROJECT NUMBER: 174170  
 SHEET NUMBER: 3



1 LEVEL 2 KEY PLAN  
1/8" = 1'-0"

**NOT FOR CONSTRUCTION**



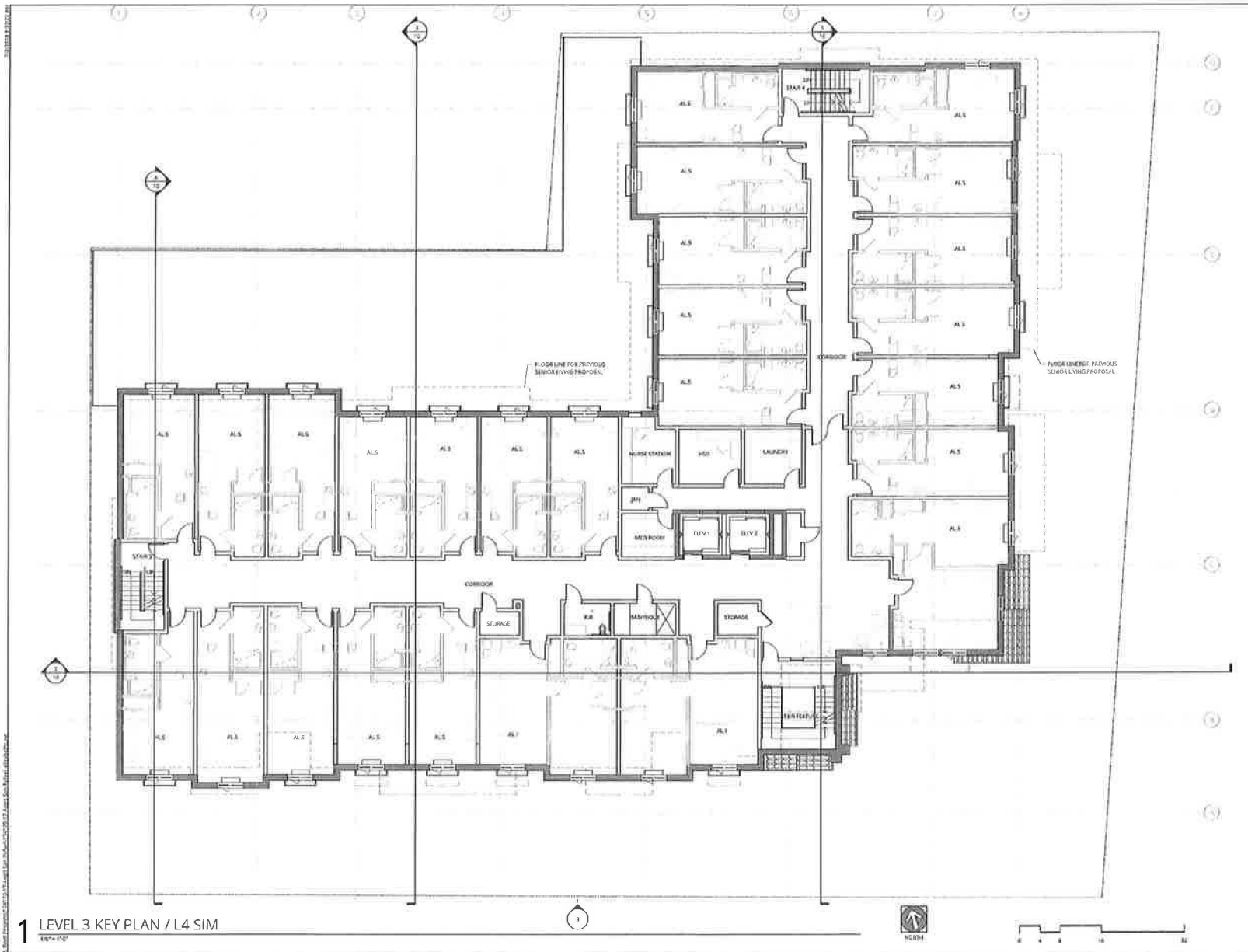
ANKROM MOISAN ARCHITECTS, INC.  
 18 NORTHWEST 84TH, SUITE 300  
 PORTLAND, OREGON 97205  
 503.243.7150  
 1305 5TH AVE., 5TH FLOOR, 100  
 SEATTLE, WA 98101  
 206.574.1600  
 1044 EDWARD STREET  
 SAN FRANCISCO, CA 94103  
 415.217.7063  
 © ANKROM MOISAN ARCHITECTS, INC.

**AEGIS SAN RAFAEL**  
 800 MISSION AVENUE SAN RAFAEL, CA 94901  
 AEGIS SAN RAFAEL LLC

REVISION	DATE	REASON FOR REVISION

FIRST FLOOR  
 RESIDENTIAL PLAN

DATE: 05.30.2018 PROJECT NUMBER: 174170  
 SHEET NUMBER: 4



1 LEVEL 3 KEY PLAN / L4 SIM  
8/8" = 1'-0"

**NOT FOR  
CONSTRUCTION**



34 NORTHWEST DAVIS, SUITE 300  
PORTLAND, OR 97209  
503.243.8520

1325 5TH AVE, SUITE 300  
SEATTLE, WA 98101  
206.576.1600

1004 HOWARD STREET  
SAN FRANCISCO, CA 94103  
415.252.3038

© ANKROM MOISAN ARCHITECTS, INC.

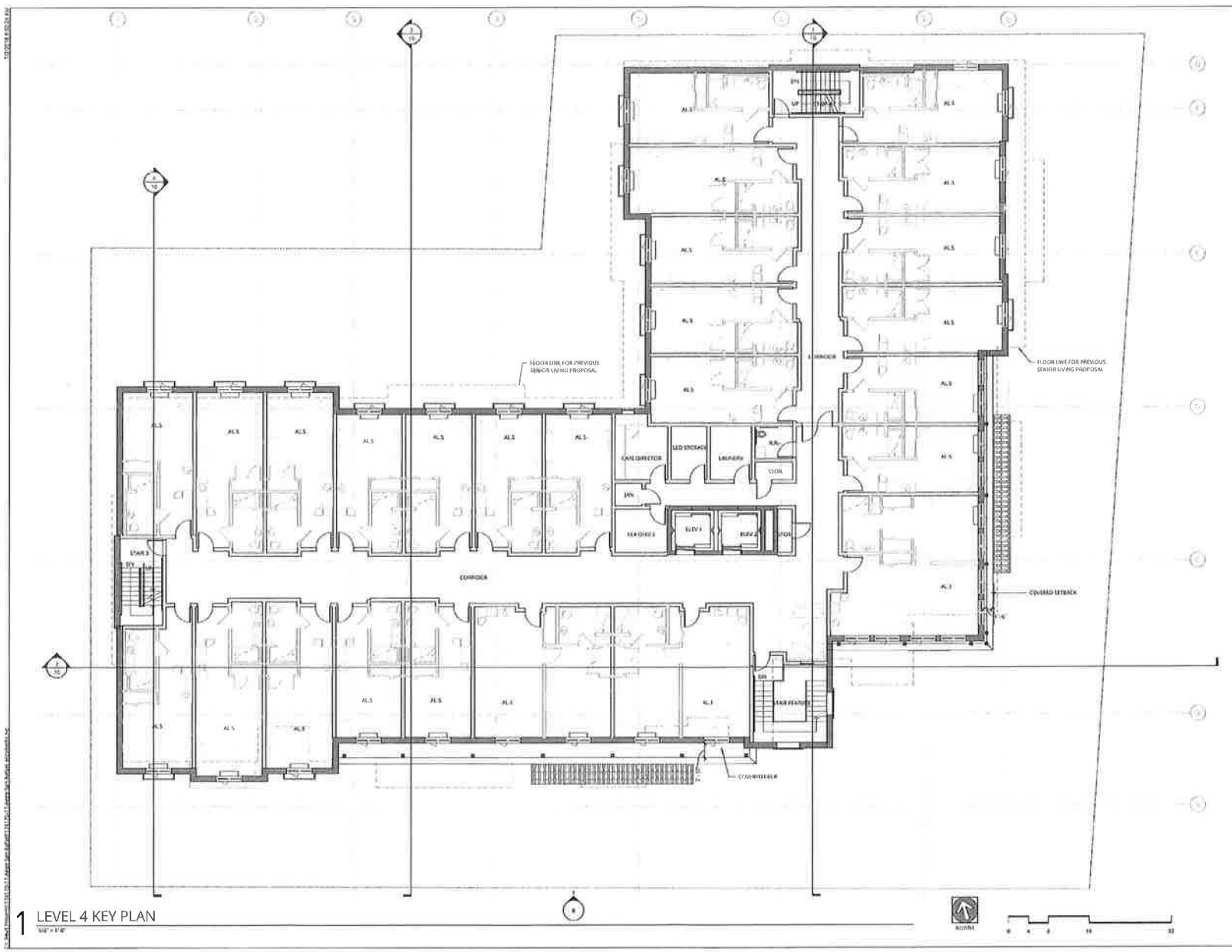
**AEGIS SAN RAFAEL**  
800 MISSION AVENUE SAN RAFAEL, CA 94901

AESC SAN RAFAEL LLC

REVISION	DATE	REASON / PCB FILED

**SECOND FLOOR  
RESIDENTIAL PLAN**

DATE: 05.30.2018 PROJECT NUMBER: 174170  
SHEET NUMBER:



1 LEVEL 4 KEY PLAN  
1/4" = 1'-0"

**NOT FOR CONSTRUCTION**

**Ankrom Moisan**  
38 NORTHWEST DAVIS, SUITE 300  
PORTLAND, OR 97209  
503.885.9500

1505 5TH AVE, SUITE 300  
SEATTLE, WA 98101  
206.576.1600

1014 HOWARD STREET  
SAN FRANCISCO, CA 94103  
415.252.3043  
© ANKROM MOISAN ARCHITECTS, INC.

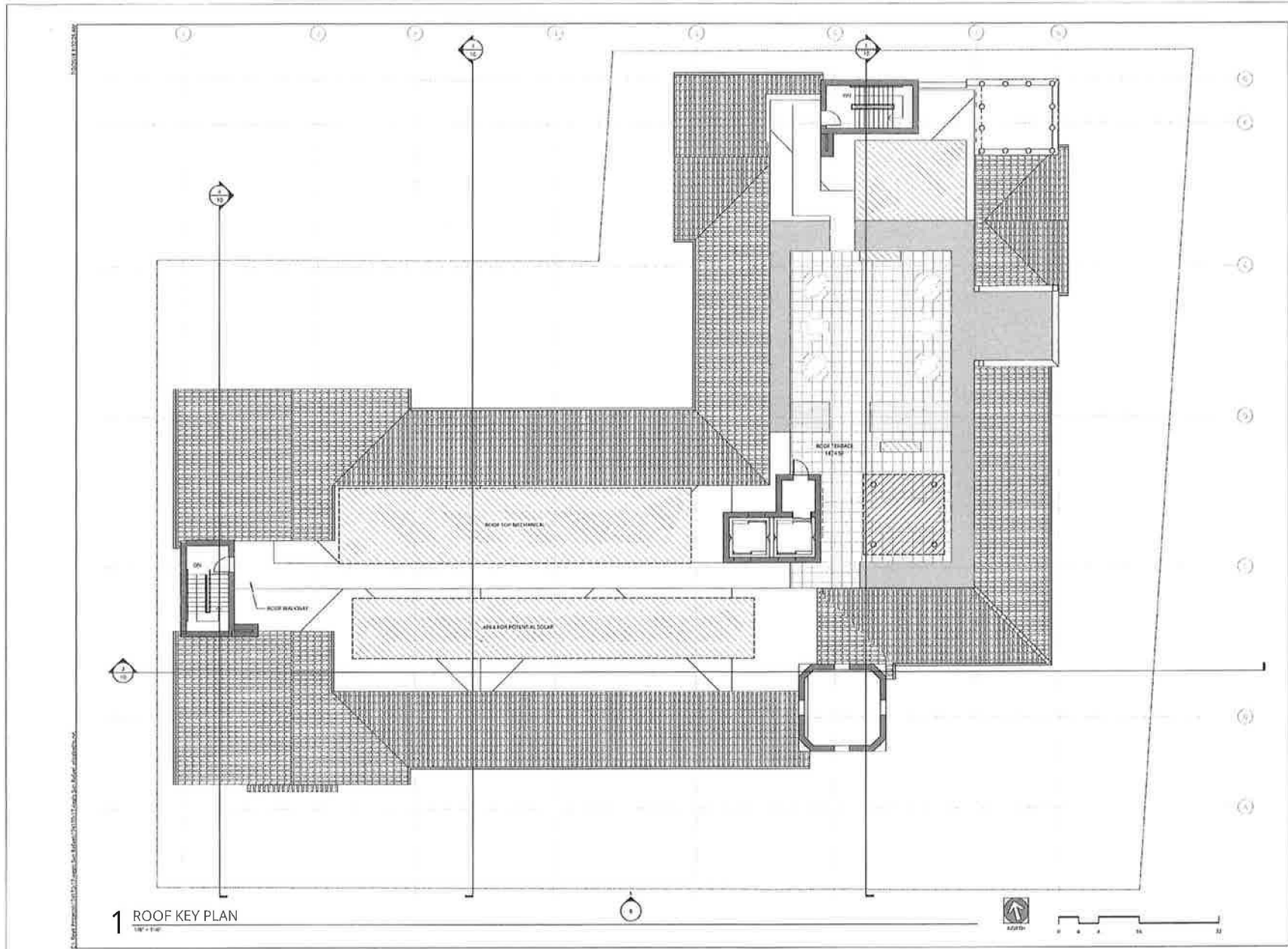
**AEGIS SAN RAFAEL**  
800 MISSION AVENUE SAN RAFAEL, CA 94901

ASC SAN RAFAEL LLC

REVISION	DATE	REASON FOR CHANGE

**THIRD FLOOR RESIDENTIAL PLAN**

DATE 05.30.2018	PROJECT NUMBER 174170
SHEET NUMBER 6	



**NOT FOR CONSTRUCTION**

**Ankrom Moisan**  
 24 NORTHWEST DRIVE, SUITE 300  
 PORTLAND, OREGON 97209  
 503.862.8100

1205 5TH AVE, SUITE 300  
 SEATTLE, WA 98188  
 206.576.8000

1014 FOWARD STREET  
 SAN FRANCISCO, CA 94103  
 415.532.5568

BLANKINSHIP MOISAN ARCHITECTS, INC.

---

**AEGIS SAN RAFAEL**  
 800 MISSION AVENUE SAN RAFAEL, CA 94901

ASC SAN RAFAEL LLC

REVISION	DATE	BY	NO.	DESCRIPTION

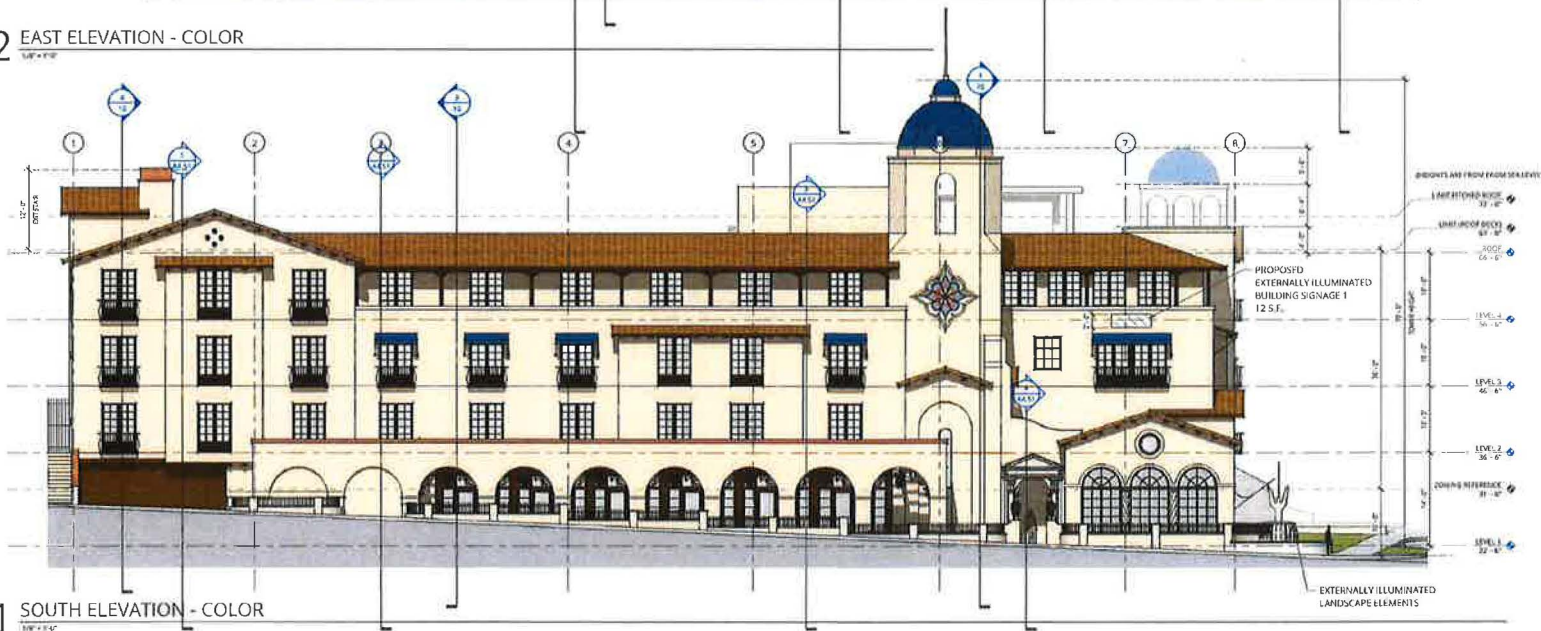
**ROOF PLAN**

DATE 05.30.2018	PROJECT NUMBER 174170
--------------------	--------------------------

7



2 EAST ELEVATION - COLOR  
1/8" = 1'-0"



1 SOUTH ELEVATION - COLOR  
1/8" = 1'-0"

NOT FOR  
CONSTRUCTION



ANKROM MOISAN ARCHITECTS, INC.  
1105 5TH AVE, SUITE 300  
SEATTLE, WA 98101  
206.526.1600  
1014 HOWARD STREET  
SAN FRANCISCO, CA 94103  
415.261.6141  
DIANA ROMERO@ANKROMMOISANARCHITECTS.COM

AEGIS SAN RAFAEL  
800 MISSION AVENUE SAN RAFAEL, CA 94901

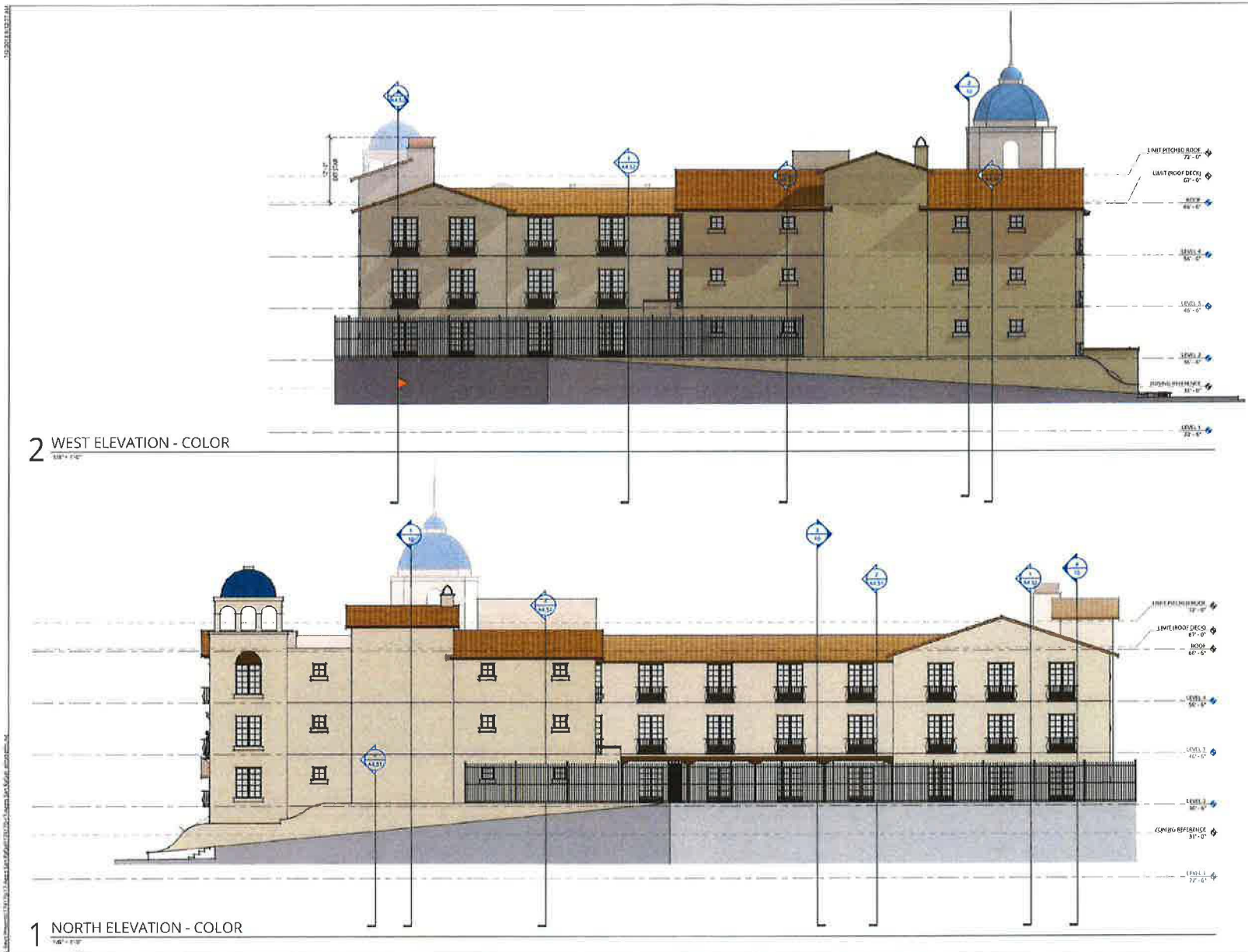
ASC SAN RAFAEL LLC

REVISION	DATE	REASON FOR CHANGE

EXTERIOR  
ELEVATIONS

DATE 05.30.2018	PROJECT NUMBER 174170
--------------------	--------------------------





2 WEST ELEVATION - COLOR  
1/8" = 1'-0"

1 NORTH ELEVATION - COLOR  
1/8" = 1'-0"

**NOT FOR  
CONSTRUCTION**



30 NORTHWEST DAMS, SUITE 300  
PORTLAND, OR 97209  
503.45.7100  
1700 5th AVE, SUITE 800  
SEATTLE, WA 98101  
206.576.1600  
1014 HOWARD STREET  
SAN FRANCISCO, CA 94103  
415.252.7003  
© ANKROM MOISAN ARCHITECTS, INC.

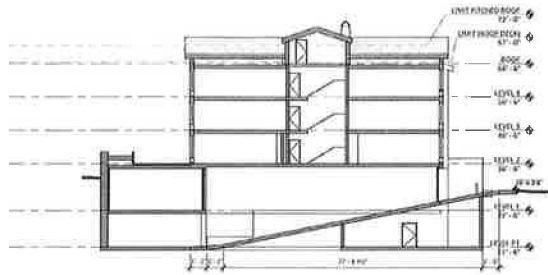
AEGIS SAN RAFAEL  
800 MISSION AVENUE SAN RAFAEL, CA 94901

ASC SAN RAFAEL, LLC

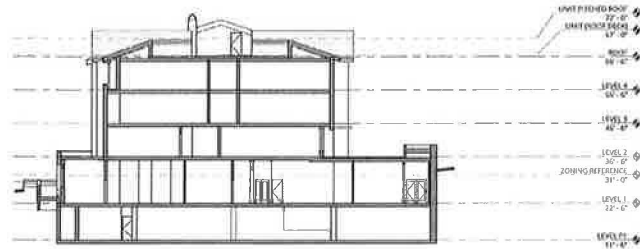
VERSION	DATE	REASON FOR ISSUE

EXTERIOR  
ELEVATIONS

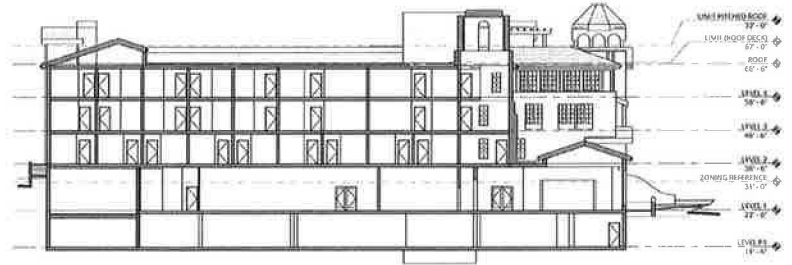
DATE 05.30.2018	PROJECT NUMBER 174170
--------------------	--------------------------



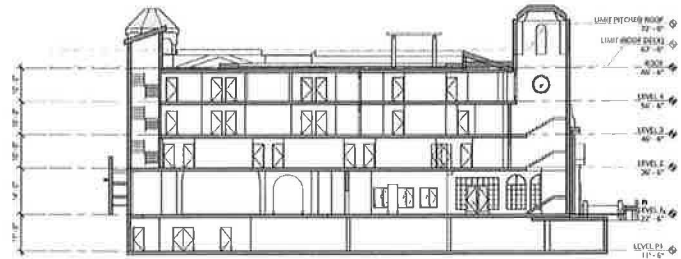
4 BUILDING SECTION AT PARKING RAMP  
1/8" = 1'-0"



3 BUILDING SECTION 3  
1/8" = 1'-0"



2 BUILDING SECTION 2  
1/8" = 1'-0"



1 BUILDING SECTION 1  
1/8" = 1'-0"

NOT FOR CONSTRUCTION



38 BORTONWEST DAMS, SUITE 200  
PORTLAND, OR 97209  
503.245.7100  
1405 5TH AVE, SUITE 300  
SEATTLE, WA 98101  
206.376.1600  
1014 HOWARD STREET  
SAN FRANCISCO, CA 94103  
415.332.7063  
DANNON MOISAN ARCHITECTS, INC.

AGIS SAN RAFAEL  
800 MISSION AVENUE SAN RAFAEL CA 94901

ASC SAN RAFAEL LLC

SECTION	DATE	REASON FOR ISSUE

SECTIONS

DATE 05.30.2018	PROJECT NUMBER 174170
--------------------	--------------------------

DATE PLOTTED

BUILDING MATERIALS, COLOR AND DETAILS



1. TILE ROOF



2. BLUE ROOF TILE



3. TIMBER DETAILING



4. WROUGHT IRON

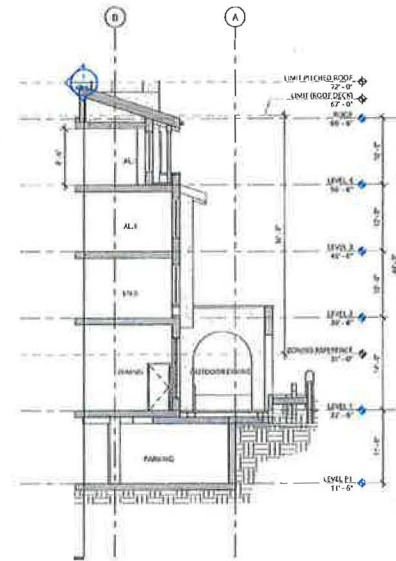


5. STUCCO



6. FABRIC AWNINGS

GENERAL SUBSTITUTIONS SHOULD BE APPROVED BY ARCHITECT



1 WALL SECTION  
1/8" = 1'-0"

NOT FOR CONSTRUCTION



38 ANKROM STREET, SUITE 400  
PORTLAND, OR 97208  
503.245.7100  
1505 5TH AVE, SUITE 300  
SEATTLE, WA 98101  
206.526.1600  
1841 HODDING STREET  
SAN FRANCISCO, CA 94103  
415.252.7063  
© ANKROM MOISAN ARCHITECTS, INC.

AEGIS SAN RAFAEL  
800 MISSION AVENUE SAN RAFAEL CA 94901

ASC SAN RAFAEL LLC

REVISION	DATE	REASON FOR ISSUE

DETAILS

DATE 05.30.2018	PROJECT NUMBER 174170
--------------------	--------------------------



**NOT FOR CONSTRUCTION**



38 NORTHWEST DAVIS, SUITE 300  
PORTLAND, OR 97209  
503.245.7100

1505 5TH AVE, SUITE 300  
SEATTLE, WA 98101  
206.576.1600

1014 HOWARD STREET  
SAN FRANCISCO, CA 94103  
415.252.7063

© ANKROM MOISAN ARCHITECTS, INC.

**AEGIS SAN RAFAEL**  
800 MISSION AVENUE SAN RAFAEL CA 94901

ASC SAN RAFAEL LLC

REVISION	DATE	REASON FOR ISSUE

**TITLE SHEET**

**PLANNING**

DATE: **MAR 3, 2021** PROJECT NUMBER: **174170**

SHEET NUMBER: **1**

**PROJECT INFORMATION**

GENERAL

ZONING: HR-1  
MULTIFAMILY RESIDENTIAL  
(HIGH DENSITY)  
1,000 SF LAND PER DWELLING UNIT

MAX. BUILDING HEIGHT: 48'  
PROPOSED BUILDING HEIGHT: 47'

MIN. USABLE OUTDOOR AREA: 100 SF  
PROPOSED USABLE OUTDOOR AREA: 3,970 SF

AP NUMBERS: 11-184-09, -08

UNITS PROPOSED: 106

BEDS: 114

UNIT SCHEDULE		
UNIT TYPE	COUNT	AREA TOTAL
LEVEL 5		
AL.1	3	2004
AL.S	24	8747
	27	10751
LEVEL 4		
AL.1	2	1388
AL.S	25	9652
	27	11040
LEVEL 3		
LN.S	26	8931
	26	8931
LEVEL 2		
LN.S	26	8969
	26	8969
Grand total	106	39691

**PROJECT DIRECTORY**

GENERAL

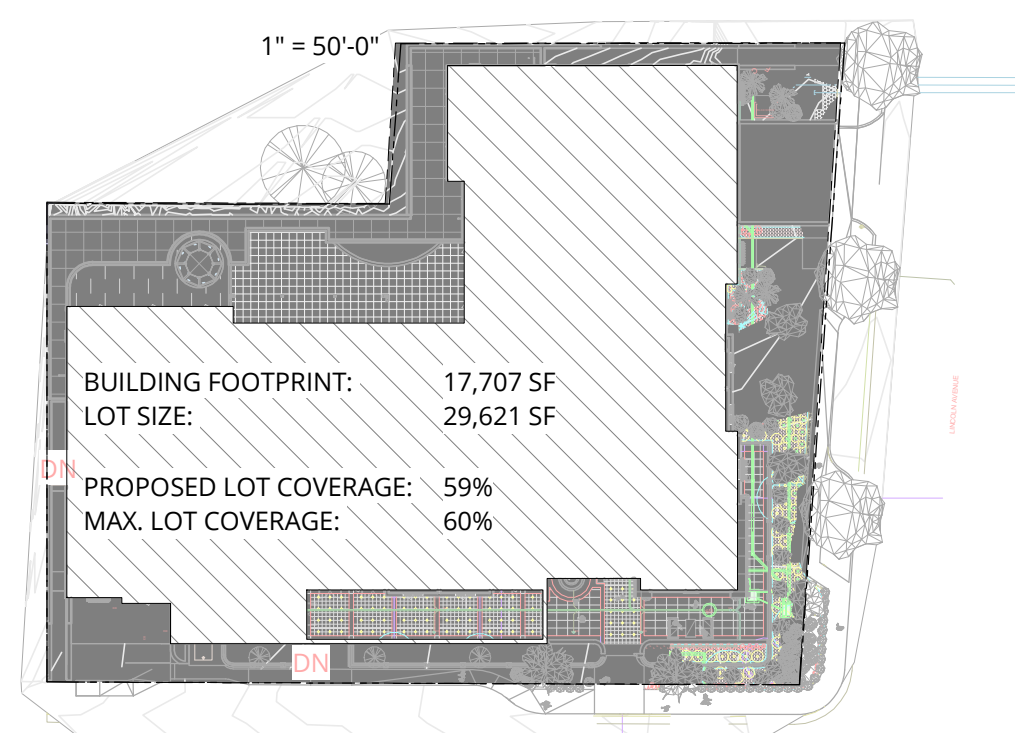
**APPLICANT**

AEGIS SENIOR COMMUNITIES  
415 118TH AVE SE  
BELLEVUE, WA 98005  
CONTACT: WALTER BRAUN  
BRYON ZIEGLER  
PHONE: (425) 861-9993  
EMAIL: walter.braun@aegisliving.com  
bryon.ziegler@aegisliving.com

**ARCHITECT**

ANKROM MOISAN ARCHITECTS  
38 NEW DAVIS STREET, SUITE 300  
PORTLAND, OR 97209  
CONTACT: RYAN MIYAHIRA  
LAURIE LINVILLE-GREGSTON  
PHONE: (503)245-7100  
EMAIL: ryanm@ankrommoisan.com  
laurieg@ankrommoisan.com

**LOT COVERAGE DIAGRAM**



**DESIGN DESCRIPTION**

PROPOSED OCCUPANCY: R2.1  
MULTIFAMILY RESIDENTIAL  
(HIGH DENSITY)

THE PROPOSED DESIGN IS AN 106 UNIT, FIVE STORY BUILDING WITH SUBTERRANEAN GARAGE. THE LOCATION IS AT THE CORNER OF MISSION AND LINCOLN IN SAN RAFAEL. IT IS WALKING DISTANCE TO DOWNTOWN, THE TRANSIT CENTER, AND FUTURE SMART RAIL STATION. THE FIRST AND SECOND FLOORS OF RESIDENTIAL LIVING, LOCATED ONE LEVEL ABOVE STREET, WILL HOUSE 54 UNITS DEDICATED TO MEMORY CARE RESIDENTS. THE UPPER TWO FLOORS WILL HOUSE 52 UNITS OF ASSISTED LIVING RESIDENTS. THE GROUND FLOOR PORT COCHERE WILL CONTAIN 2 ADA SPACES, 1 AEGIS VAN PARKING SPACE AND LOADING AREA. THERE ARE 2 STREET PULLOUTS PROPOSED FOR FIRE ACCESS AND LOADING. ONE AT MISSION AVE AND ONE AT LINCOLN AVE.

THE SUBTERRANEAN GARAGE WILL CONTAIN 32 SPACES TOTAL (INCLUDING 2 ADA SPACES). THE PARKING TOTAL FOR THE COMPLEX WILL INCLUDE 40 DEDICATED SPACES (INCLUDING THE 4 ADA SPACES). ENTRANCE AND EXIT TO SUBTERRANEAN GARAGE WILL BE LOCATED OFF MISSION. ENTRANCE AND EXIT TO GROUND LEVEL GARAGE WILL BE LOCATED OFF LINCOLN.

PROJECT CONTAINS A MIX OF 1 BEDROOM & STUDIO UNITS. FIRST AND SECOND LEVELS OF RESIDENTIAL (ONE LEVEL UP FROM STREET), WILL BE DESIGNATED FOR MEMORY CARE USE. THE UNITS ON THIS FLOOR WILL HAVE NON OPERATIONAL DOORS TO 'FALSE BALCONYS'. THERE WILL BE ONE CONTROLLED ACCESS POINT FOR GARDENING PURPOSES ON THIS FLOOR. THE FORTH AND FIFTH RESIDENTIAL FLOORS (UPPER TWO) WILL BE DESIGNATED FOR ASSISTED LIVING AND WILL HAVE EXTERIOR BALCONY ACCESS FROM DESIGNATED UNITS ON THE MISSION AND LINCOLN SIDES.

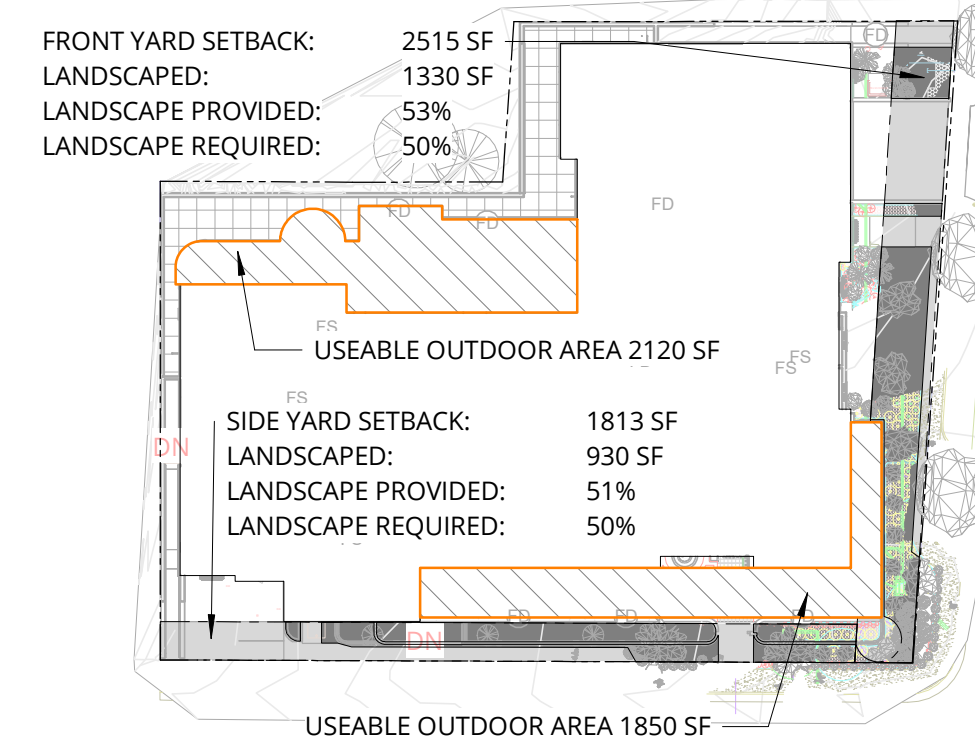
THE ARCHITECTURAL GOALS OF THE GROUND LEVEL ARE TO CREATE A VERY AESTHETICALLY RICH, INVITING ENVIRONMENT WHILE SIMULTANEOUSLY RELATING TO THE EXISTING HISTORIC ARCHITECTURE OF SAN RAFAEL FROM THE STREET, A DEDICATED ENTRANCE FACADE, COUPLED WITH MULTI LEVEL, STAGGERED ROOFING ON EXTERIOR BALCONIES AND A FOCAL TOWER, WITH ARCHITECTURALLY SEPARATED BUILDING SECTIONS PROVIDES AN INTERESTING VIEW CONTAINING DESIRED CURB APPEAL. VISUAL DEPTH IS ACHIEVED THROUGH THE BALCONYS, THE ROOF SEPARATIONS, AND THE BUILDING SEPARATIONS FROM VERTICAL MOVEMENT POINTS. SHADOWS AND DEPTH PREVENT MONOTONOUS WALLS AND BORING PLANES, OR BORING OVERALL MASSING IN GENERAL. THE SITE WILL BE LANDSCAPED TO PROVIDE SCREENING AND NATURAL APPEAL.

**SETBACKS**

THE SETBACKS OF THE ORIGINAL APPROVED DESIGN ARE MAINTAINED TO INCLUDE 5' SETBACKS ON THE REAR AND SIDES OF THE FOOTPRINT, AS WELL AS A 10' SETBACK FROM MISSION AND A 15' SETBACK FROM LINCOLN. PROPOSED BUILDING FACADES/ARTICULATIONS EMULATE APPROVED DESIGN.

**LANDSCAPE DIAGRAM**

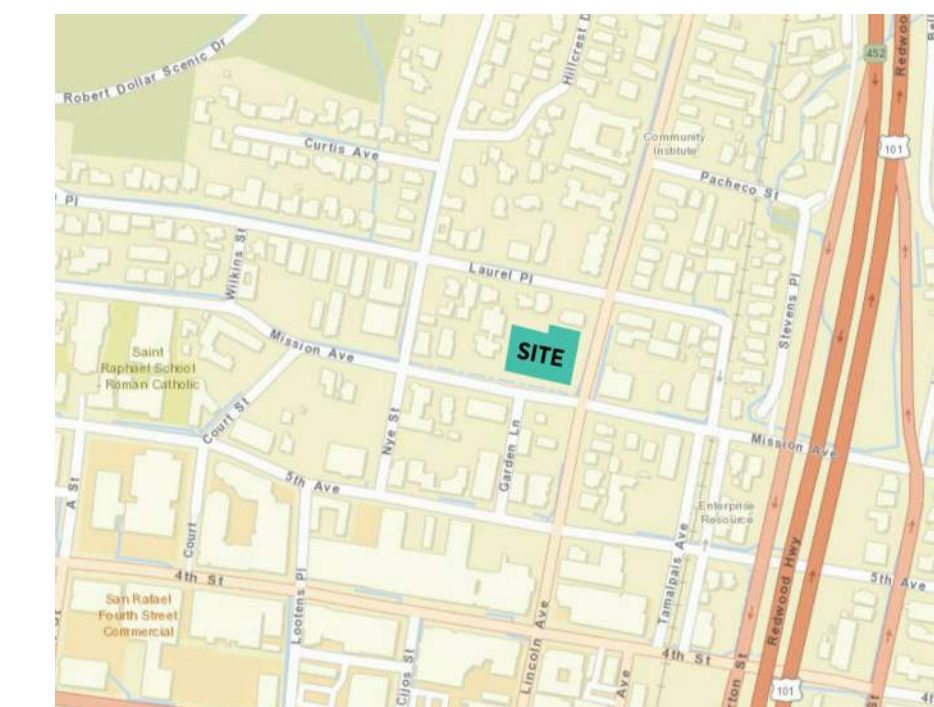
1" = 50'-0"



**SHEET INDEX**

SHEET NUMBER	SHEET NAME
1	TITLE SHEET
2.1	LEVEL P1 FLOOR PLAN
3	MAIN LEVEL FLOOR PLAN
4.1	SECOND FLOOR - RESIDENTIAL PLAN
4.2	THIRD FLOOR PLAN
5.1	FOURTH FLOOR PLAN - FORMERLY L3
6.1	FIFTH FLOOR PLAN - FORMERLY L4
7.1	ROOF PLAN
8.1	EXTERIOR ELEVATIONS
8.2	EXTERIOR ELEVATIONS - DESIGN EVOLUTION
9.1	EXTERIOR ELEVATIONS
9.2	EXTERIOR ELEVATIONS - DESIGN EVOLUTION
10	SECTIONS
11	DETAILS
12	MAIN LEVEL - PLANTING PLAN
13	SECOND FLOOR LANDSCAPE PLAN
15	PLANT MATERIAL SCHEDULE
16	PLANT MATERIAL IMAGERY
17	SITE PLAN - LIGHTING
18	SECOND FLOOR PLAN - LIGHTING PLAN
19	OVERALL ROOF - LIGHTING PLAN

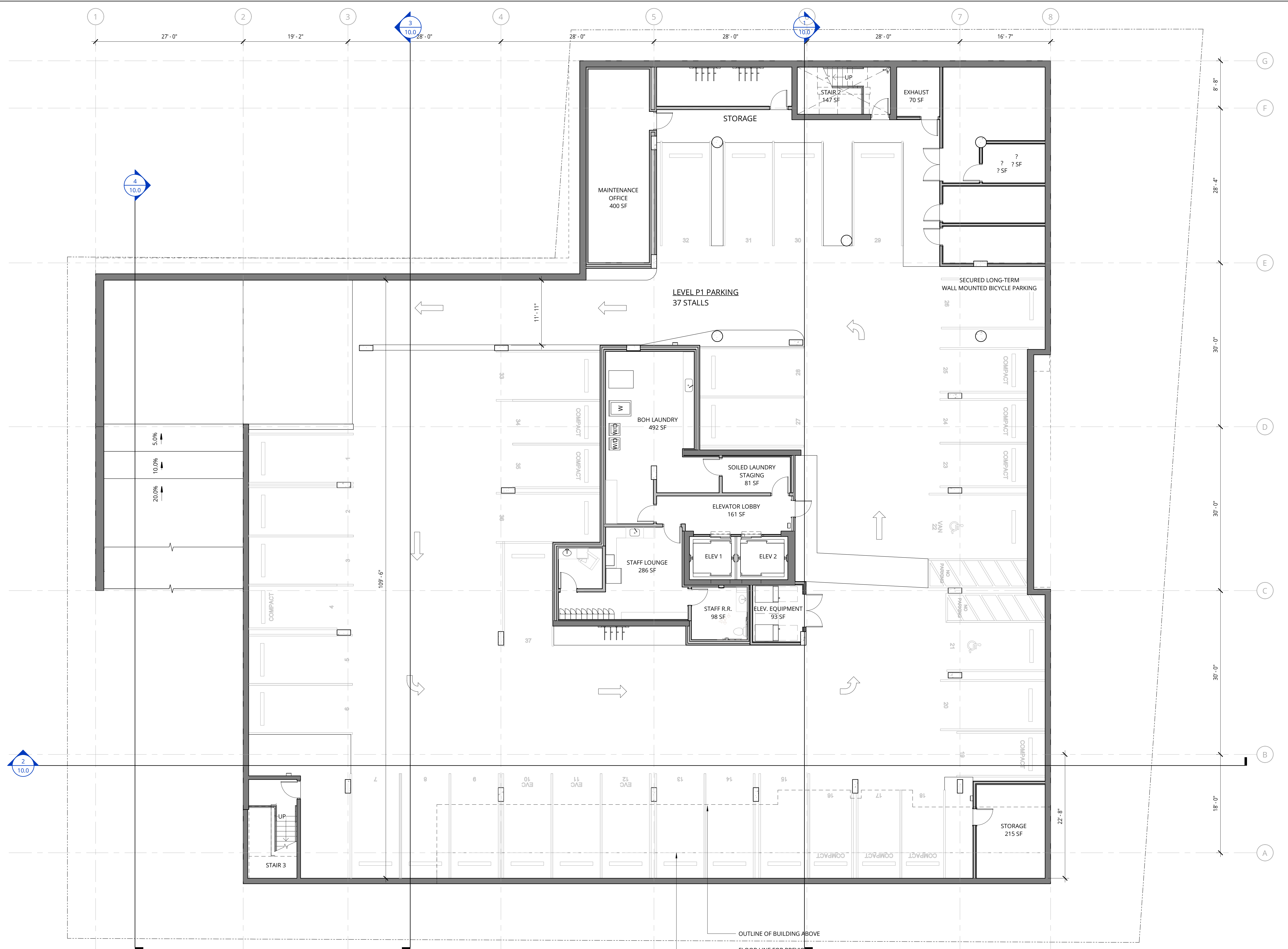
**VICINITY MAP**



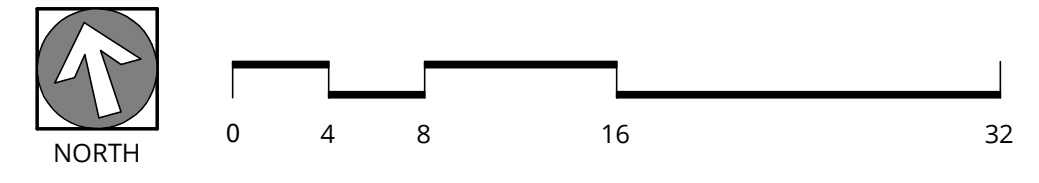
**NOT FOR CONSTRUCTION**  
THESE DOCUMENTS ARE INTENDED ONLY TO ILLUSTRATE GENERAL DESIGN ELEMENTS.

DEVIATIONS MAY EXIST BETWEEN THESE DOCUMENTS AND DOCUMENTS THAT HAVE BEEN REVIEWED AND APPROVED BY THE CITY OF SAN RAFAEL PLANNING AUTHORITIES.

3/6/2021 11:23:59 AM



**1 LOWER GARAGE PLAN**  
1/8" = 1'-0"



**NOT FOR CONSTRUCTION**



38 NORTHWEST DAVIS, SUITE 300  
PORTLAND, OR 97209  
503.245.7100

1505 5TH AVE, SUITE 300  
SEATTLE, WA 98101  
206.576.1600

1014 HOWARD STREET  
SAN FRANCISCO, CA 94103  
415.252.7063  
© ANKROM MOISAN ARCHITECTS, INC.

**AEGIS SAN RAFAEL**  
800 MISSION AVENUE SAN RAFAEL CA 94901

ASC SAN RAFAEL LLC

REVISION	DATE	REASON FOR ISSUE

**LOWER GARAGE PLAN**

PLANNING

DATE MAR 3, 2021	PROJECT NUMBER 174170
---------------------	--------------------------

SHEET NUMBER  
**2.1**

**NOT FOR CONSTRUCTION**



38 NORTHWEST DAVIS, SUITE 300  
PORTLAND, OR 97209  
503.245.7100

1505 5TH AVE, SUITE 300  
SEATTLE, WA 98101  
206.576.1600

1014 HOWARD STREET  
SAN FRANCISCO, CA 94103  
415.252.7063

© ANKROM MOISAN ARCHITECTS, INC.

**AEGIS SAN RAFAEL**  
800 MISSION AVENUE SAN RAFAEL CA 94901

ASC SAN RAFAEL LLC

REVISION	DATE	REASON FOR ISSUE

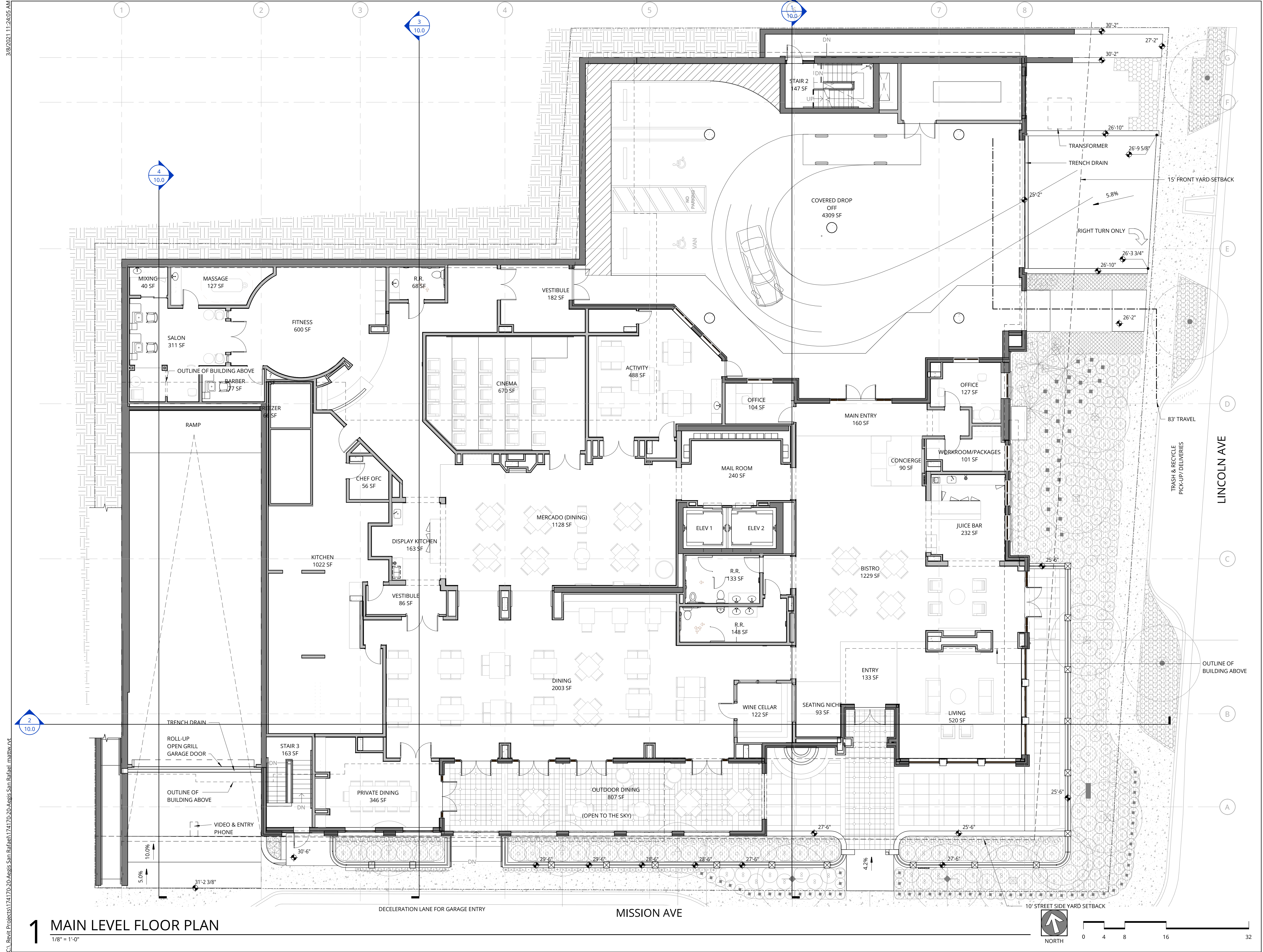
**MAIN LEVEL FLOOR PLAN**

**PLANNING**

DATE	PROJECT NUMBER
MAR 3, 2021	174170

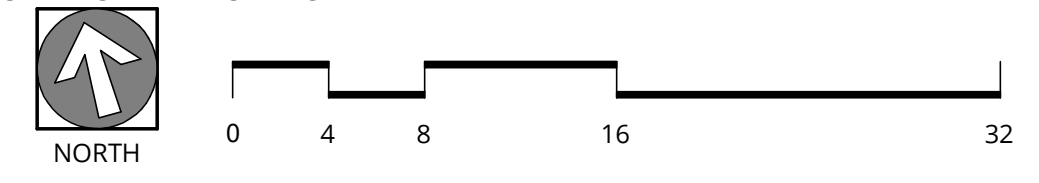
SHEET NUMBER

**3.1**



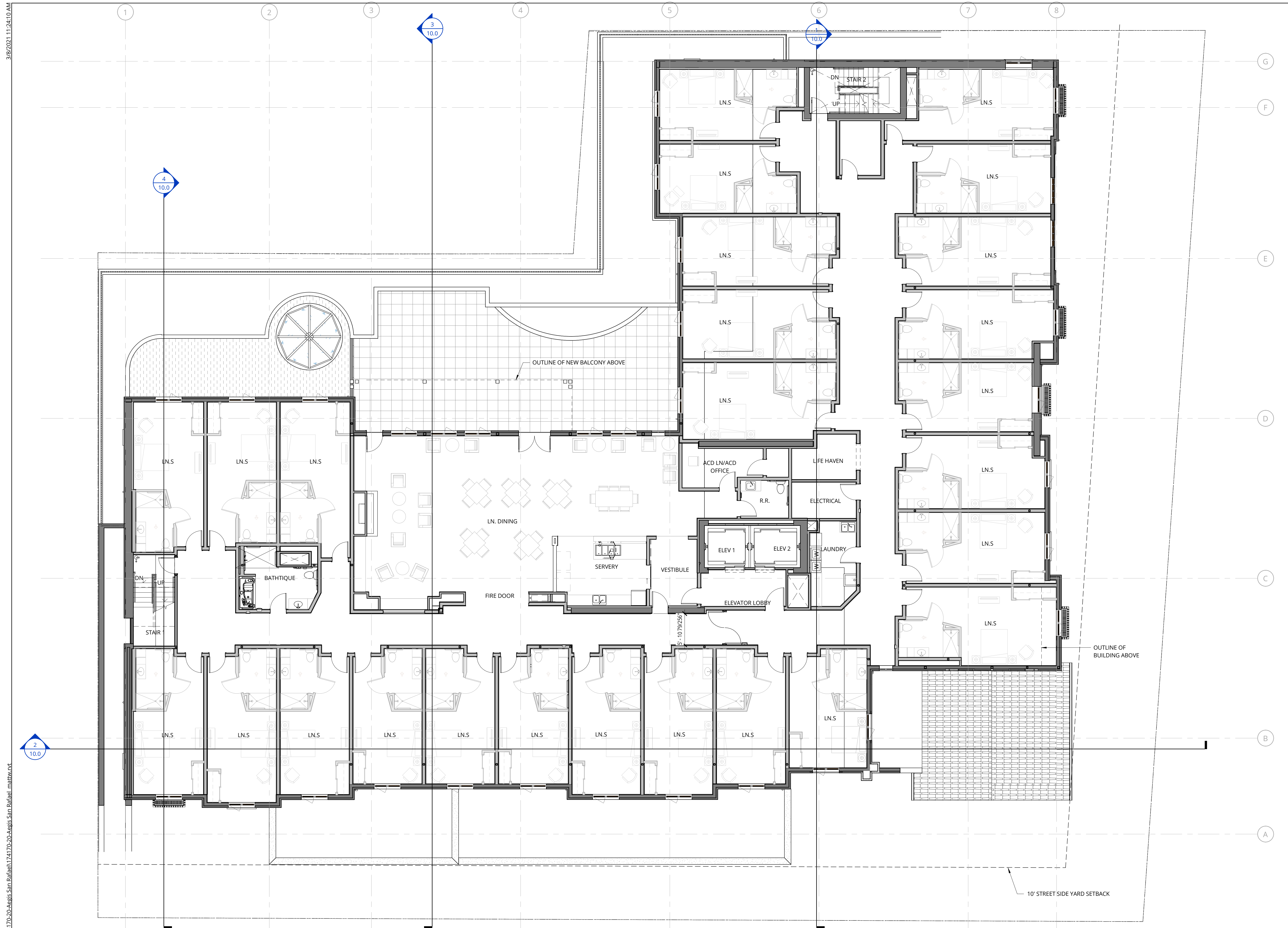
**1 MAIN LEVEL FLOOR PLAN**

1/8" = 1'-0"



3/8/2021 11:26:05 AM

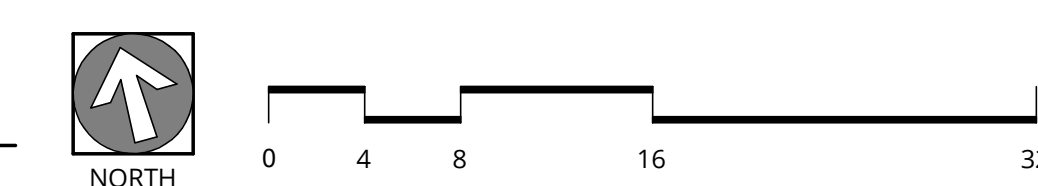
C:\Revit Projects\174170-AEGIS San Rafael\174170-20-AEGIS San Rafael.mxd



3/8/2021 11:24:10 AM

C:\Revit Projects\174170-20-Aegis San Rafael\174170-20-Aegis San Rafael.mxd

**1 SECOND FLOOR - RESIDENTIAL PLAN**  
1/8" = 1'-0"



**NOT FOR CONSTRUCTION**

**Ankrom Moisan**  
 38 NORTHWEST DAVIS, SUITE 300  
 PORTLAND, OR 97209  
 503.245.7100  
 1505 5TH AVE, SUITE 300  
 SEATTLE, WA 98101  
 206.576.1600  
 1014 HOWARD STREET  
 SAN FRANCISCO, CA 94103  
 415.252.7063  
 © ANKROM MOISAN ARCHITECTS, INC.

**AGIS SAN RAFAEL**  
 800 MISSION AVENUE SAN RAFAEL CA 94901  
 ASC SAN RAFAEL LLC

REVISION	DATE	REASON FOR ISSUE

**SECOND FLOOR - RESIDENTIAL PLAN**

**PLANNING**

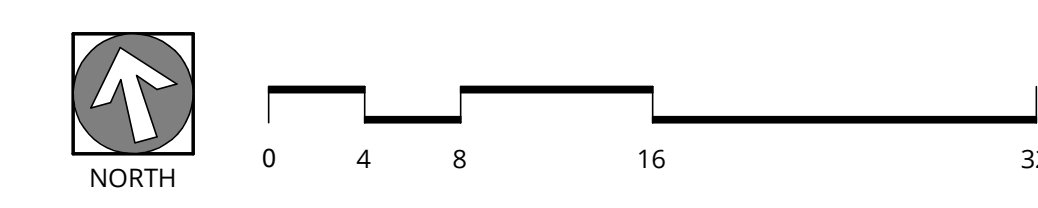
DATE MAR 3, 2021	PROJECT NUMBER 174170
---------------------	--------------------------

SHEET NUMBER  
**4.1**



C:\Revit\Projects\174170-20-Aegis San Rafael\174170-20-Aegis San Rafael.mxd  
 3/8/2021 11:26:16 AM  
 2/0.0

**1** L3 FLOOR PLAN  
1/8" = 1'-0"



**NOT FOR CONSTRUCTION**



38 NORTHWEST DAVIS, SUITE 300  
PORTLAND, OR 97209  
503.245.7100

1505 5TH AVE, SUITE 300  
SEATTLE, WA 98101  
206.576.1600

1014 HOWARD STREET  
SAN FRANCISCO, CA 94103  
415.252.7063  
© ANKROM MOISAN ARCHITECTS, INC.

**AEGIS SAN RAFAEL**  
800 MISSION AVENUE SAN RAFAEL CA 94901

ASC SAN RAFAEL LLC

REVISION	DATE	REASON FOR ISSUE

L3 FLOOR PLAN

PLANNING

DATE MAR 3, 2021	PROJECT NUMBER 174170
---------------------	--------------------------

SHEET NUMBER  
**4.2**



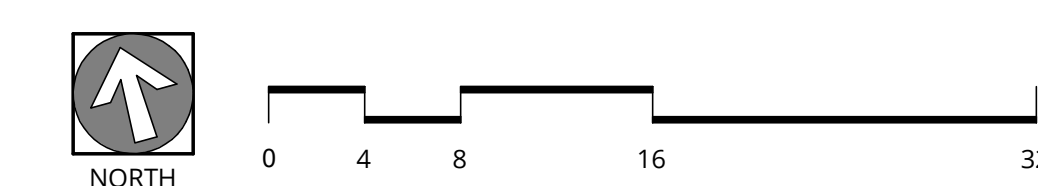
Exhibit 6



3/8/2021 11:26:21 AM

C:\Revit Projects\174170-20-Aegis San Rafael\174170-20-Aegis San Rafael.mxd

**1** L4 FLOOR PLAN  
1/8" = 1'-0"



**NOT FOR CONSTRUCTION**



38 NORTHWEST DAVIS, SUITE 300  
PORTLAND, OR 97209  
503.245.7100

1505 5TH AVE, SUITE 300  
SEATTLE, WA 98101  
206.576.1600

1014 HOWARD STREET  
SAN FRANCISCO, CA 94103  
415.252.7063  
© ANKROM MOISAN ARCHITECTS, INC.

**AGIS SAN RAFAEL**  
800 MISSION AVENUE SAN RAFAEL CA 94901

ASC SAN RAFAEL LLC

REVISION	DATE	REASON FOR ISSUE

L4 FLOOR PLAN

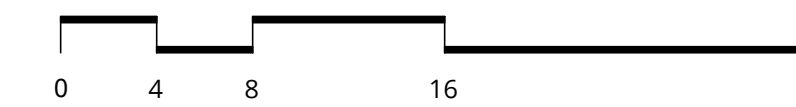
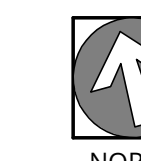
PLANNING

DATE MAR 3, 2021	PROJECT NUMBER 174170
---------------------	--------------------------

SHEET NUMBER  
**5.1**



**1 L5 FLOOR PLAN**  
1/8" = 1'-0"



**NOT FOR CONSTRUCTION**



38 NORTHWEST DAVIS, SUITE 300  
PORTLAND, OR 97209  
503.245.7100

1505 5TH AVE, SUITE 300  
SEATTLE, WA 98101  
206.576.1600

1014 HOWARD STREET  
SAN FRANCISCO, CA 94103  
415.252.7063

© ANKROM MOISAN ARCHITECTS, INC.

**AEGIS SAN RAFAEL**  
800 MISSION AVENUE SAN RAFAEL CA 94901

ASC SAN RAFAEL LLC

REVISION	DATE	REASON FOR ISSUE

**L5 FLOOR PLAN**

**PLANNING**

DATE: MAR 3, 2021 PROJECT NUMBER: 174170

SHEET NUMBER

**6.1**

**NOT FOR  
CONSTRUCTION**



38 NORTHWEST DAVIS, SUITE 300  
PORTLAND, OR 97209  
503.245.7100  
1505 5TH AVE, SUITE 300  
SEATTLE, WA 98101  
206.576.1600  
1014 HOWARD STREET  
SAN FRANCISCO, CA 94103  
415.252.7063  
© ANKROM MOISAN ARCHITECTS, INC.

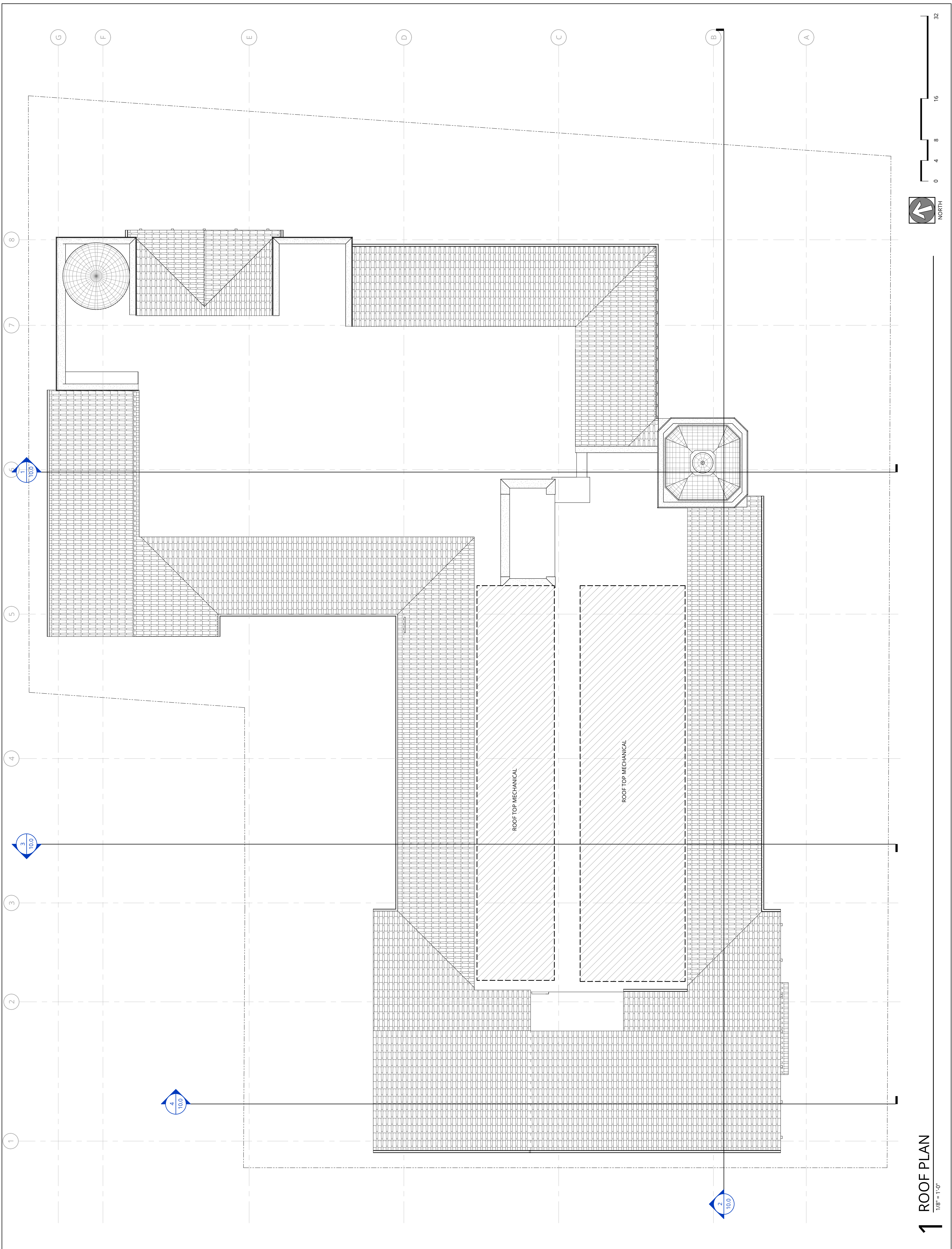
**AEGIS SAN RAFAEL**  
800 MISSION AVENUE SAN RAFAEL, CA 94901  
ASC SAN RAFAEL LLC

REVISION	DATE	REASON FOR ISSUE

**ROOF PLAN**

**PLANNING**

DATE: MAR 3, 2021  
PROJECT NUMBER: 174170  
SHEET NUMBER: 7.1



**1 ROOF PLAN**  
1/8" = 1'-0"

3/8/2021 11:25:21 AM

**NOT FOR CONSTRUCTION**



38 NORTHWEST DAVIS, SUITE 300  
PORTLAND, OR 97209  
503.245.7100

1505 5TH AVE, SUITE 300  
SEATTLE, WA 98101  
206.576.1600

1014 HOWARD STREET  
SAN FRANCISCO, CA 94103  
415.252.7063  
© ANKROM MOISAN ARCHITECTS, INC.

**AEGIS SAN RAFAEL**  
800 MISSION AVENUE SAN RAFAEL CA 94901

ASC SAN RAFAEL LLC

REVISION	DATE	REASON FOR ISSUE

EXTERIOR ELEVATIONS

PLANNING

DATE: MAR 3, 2021 PROJECT NUMBER: 174170

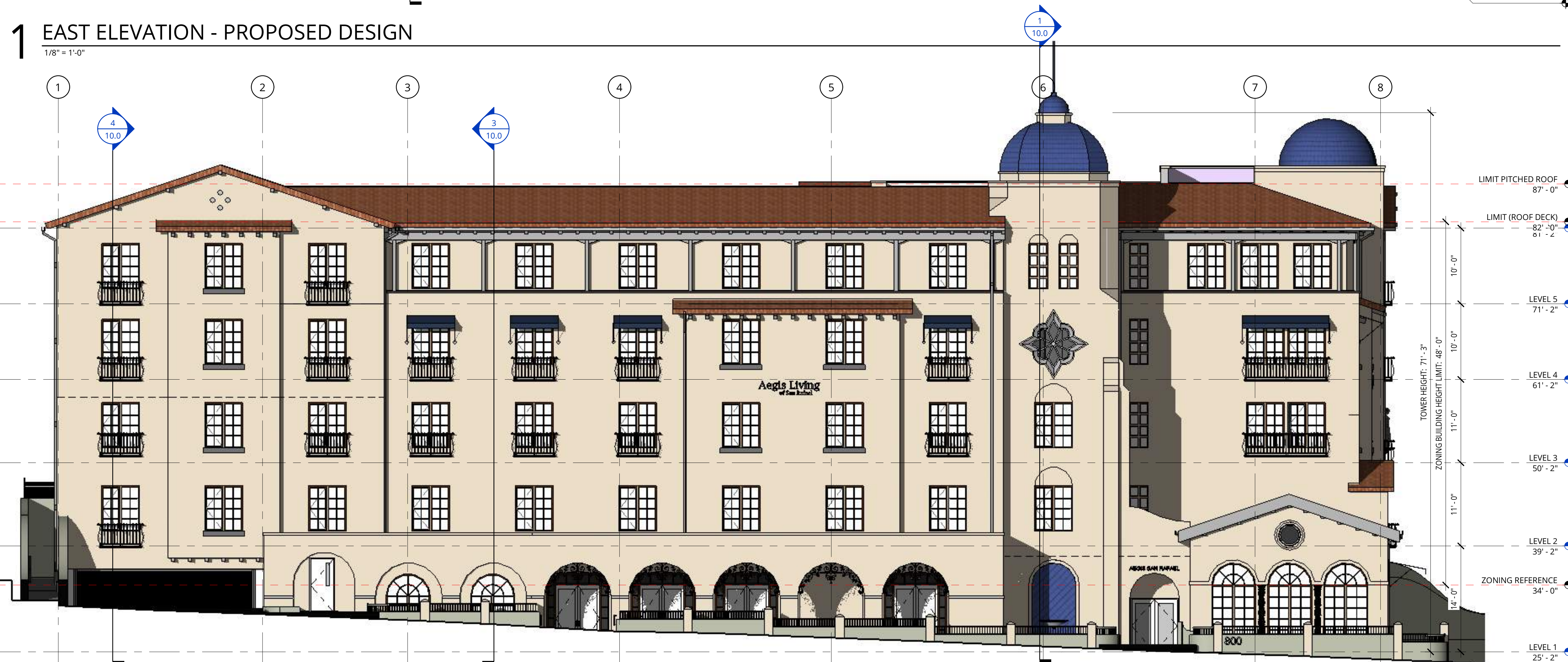
SHEET NUMBER

8.1



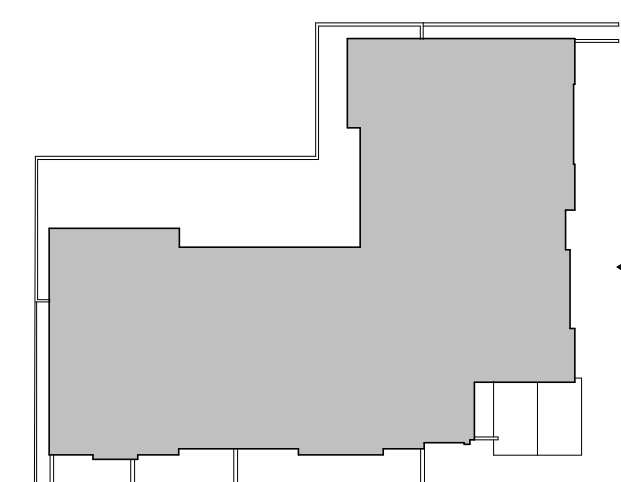
**1 EAST ELEVATION - PROPOSED DESIGN**

1/8" = 1'-0"



**2 SOUTH ELEVATION - PROPOSED DESIGN**

1/8" = 1'-0"

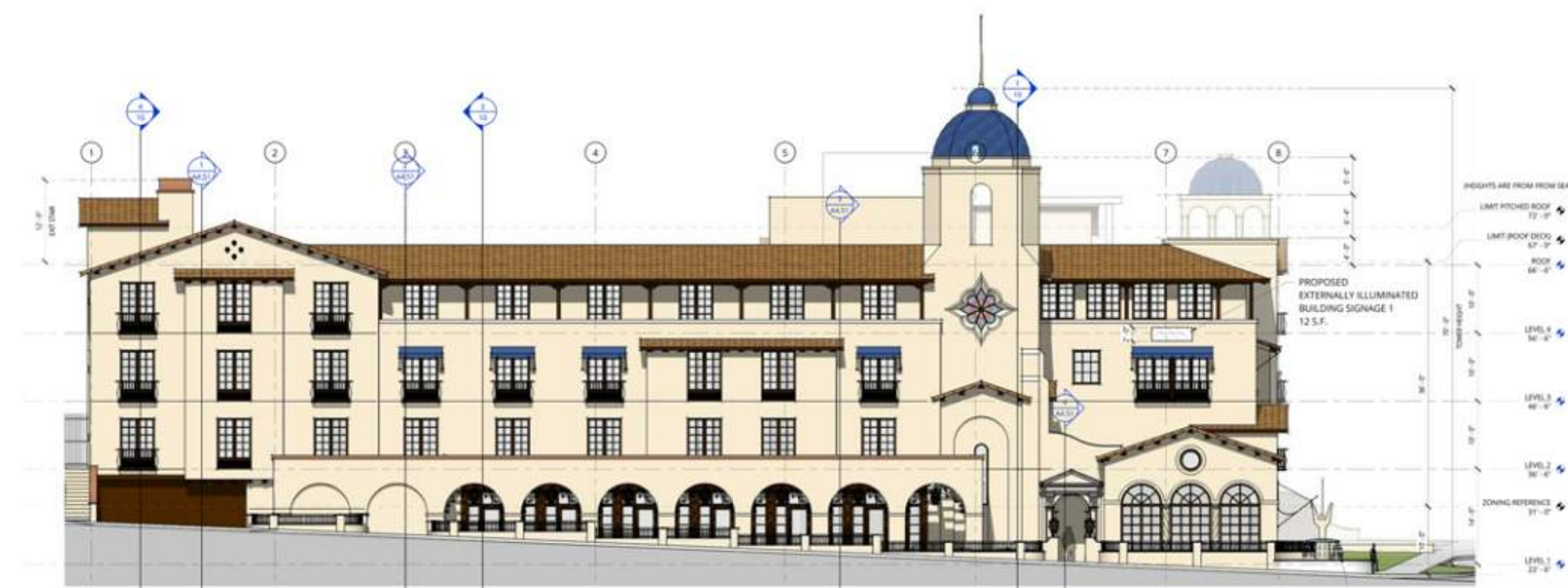


KEY MAP

C:\Revit Projects\174170-20-Aegis San Rafael\174170-20-Aegis San Rafael.mxd



**1** EAST ELEVATION - APPROVED BY DRB IN 2019  
1/16"=1'-0"



**SOUTH ELEVATION - APPROVED BY DRB IN 2019**  
1/16"=1'-0"



**2** EAST ELEVATION - BUILDING PERMITTED IN 2020  
1/16"=1'-0"



**SOUTH ELEVATION - BUILDING PERMITTED IN 2020**  
1/16"=1'-0"



**3** EAST ELEVATION - PROPOSED DRB DESIGN  
1/16" = 1'-0"



**SOUTH ELEVATION - PROPOSED DRB DESIGN**  
1/16" = 1'-0"

**NOT FOR CONSTRUCTION**



38 NORTHWEST DAVIS, SUITE 300  
PORTLAND, OR 97209  
503.245.7100

1505 5TH AVE, SUITE 300  
SEATTLE, WA 98101  
206.576.1600

1014 HOWARD STREET  
SAN FRANCISCO, CA 94103  
415.252.7063  
© ANKROM MOISAN ARCHITECTS, INC.

**AGIS SAN RAFAEL**  
800 MISSION AVENUE SAN RAFAEL CA 94901

ASC SAN RAFAEL LLC

REVISION	DATE	REASON FOR ISSUE

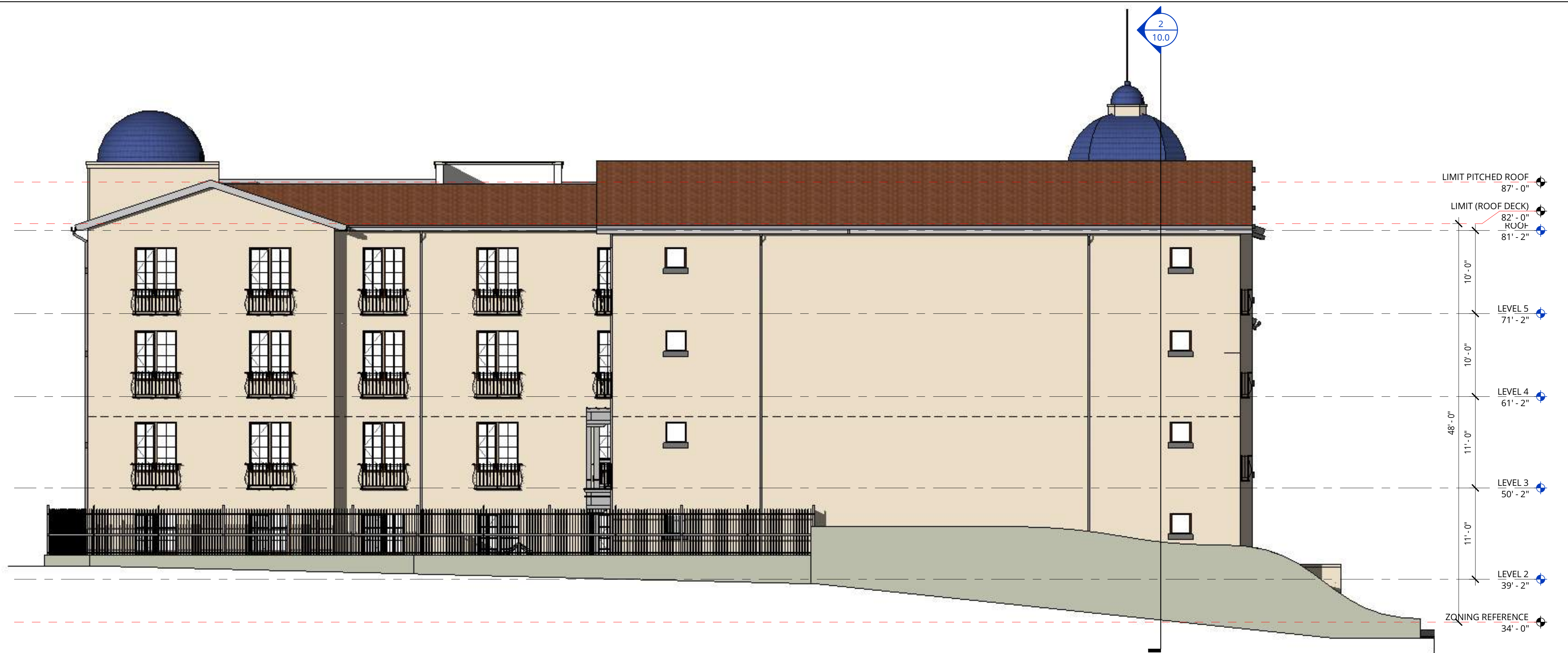
**EXTERIOR ELEVATIONS - DESIGN EVOLUTION PLANNING**

DATE MAR 3, 2021	PROJECT NUMBER 174170
---------------------	--------------------------

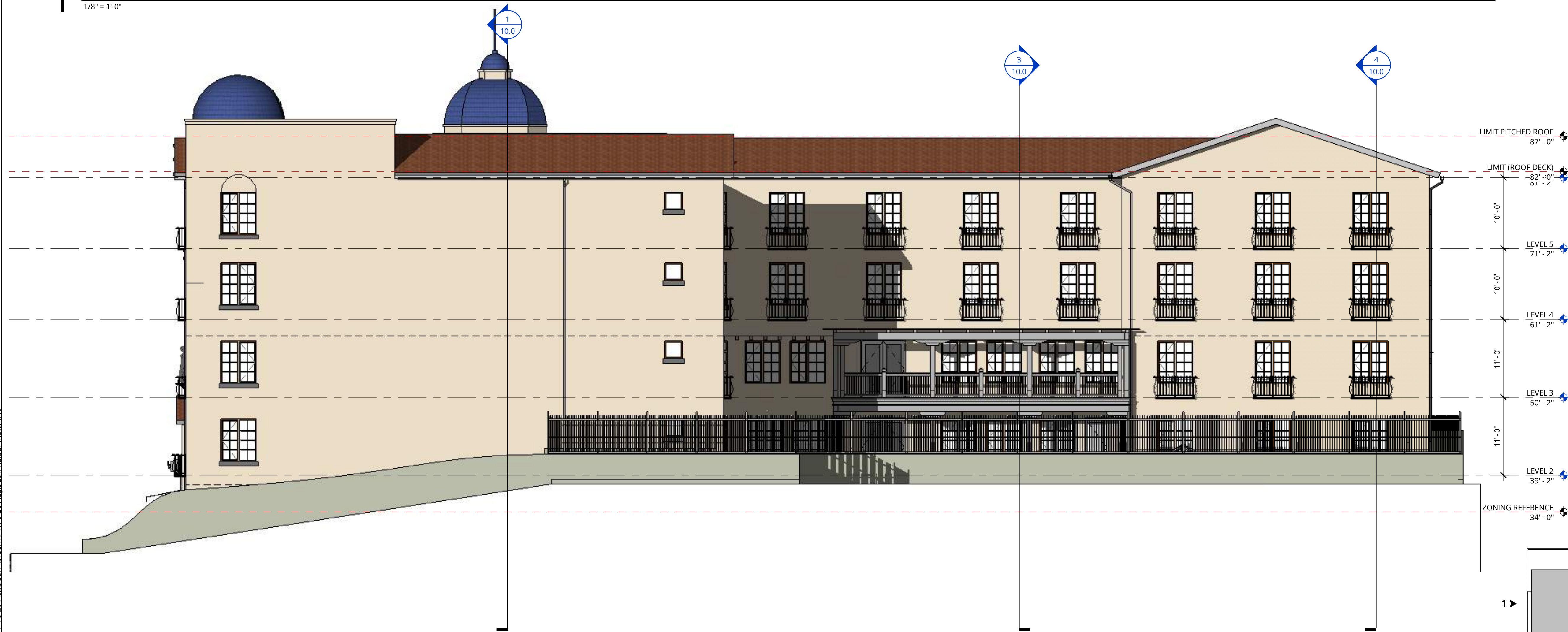
SHEET NUMBER

**8.2**

3/8/2021 11:26:42 AM



**1 WEST ELEVATION - PROPOSED**  
1/8" = 1'-0"



**2 NORTH ELEVATION - PROPOSED**  
1/8" = 1'-0"

**NOT FOR CONSTRUCTION**



38 NORTHWEST DAVIS, SUITE 300  
PORTLAND, OR 97209  
503.245.7100

1505 5TH AVE, SUITE 300  
SEATTLE, WA 98101  
206.576.1600

1014 HOWARD STREET  
SAN FRANCISCO, CA 94103  
415.252.7063

© ANKROM MOISAN ARCHITECTS, INC.

**AEGIS SAN RAFAEL**  
800 MISSION AVENUE SAN RAFAEL CA 94901

ASC SAN RAFAEL LLC

REVISION	DATE	REASON FOR ISSUE

EXTERIOR ELEVATIONS

PLANNING

DATE: MAR 3, 2021 PROJECT NUMBER: 174170

SHEET NUMBER

**9.1**

C:\Becht\Projects\174170-20-Aegis San Rafael\174170-20-Aegis San Rafael.mxd

**NOT FOR  
CONSTRUCTION**



38 NORTHWEST DAVIS, SUITE 300  
PORTLAND, OR 97209  
503.245.7100

1505 5TH AVE, SUITE 300  
SEATTLE, WA 98101  
206.576.1600

1014 HOWARD STREET  
SAN FRANCISCO, CA 94103  
415.252.7063

© ANKROM MOISAN ARCHITECTS, INC.

**AGIS SAN RAFAEL**  
800 MISSION AVENUE SAN RAFAEL CA 94901

ASC SAN RAFAEL LLC

REVISION	DATE	REASON FOR ISSUE

**EXTERIOR  
ELEVATIONS -  
DESIGN EVOLUTION  
PLANNING**

DATE  
MAR 3, 2021

PROJECT NUMBER  
174170

SHEET NUMBER

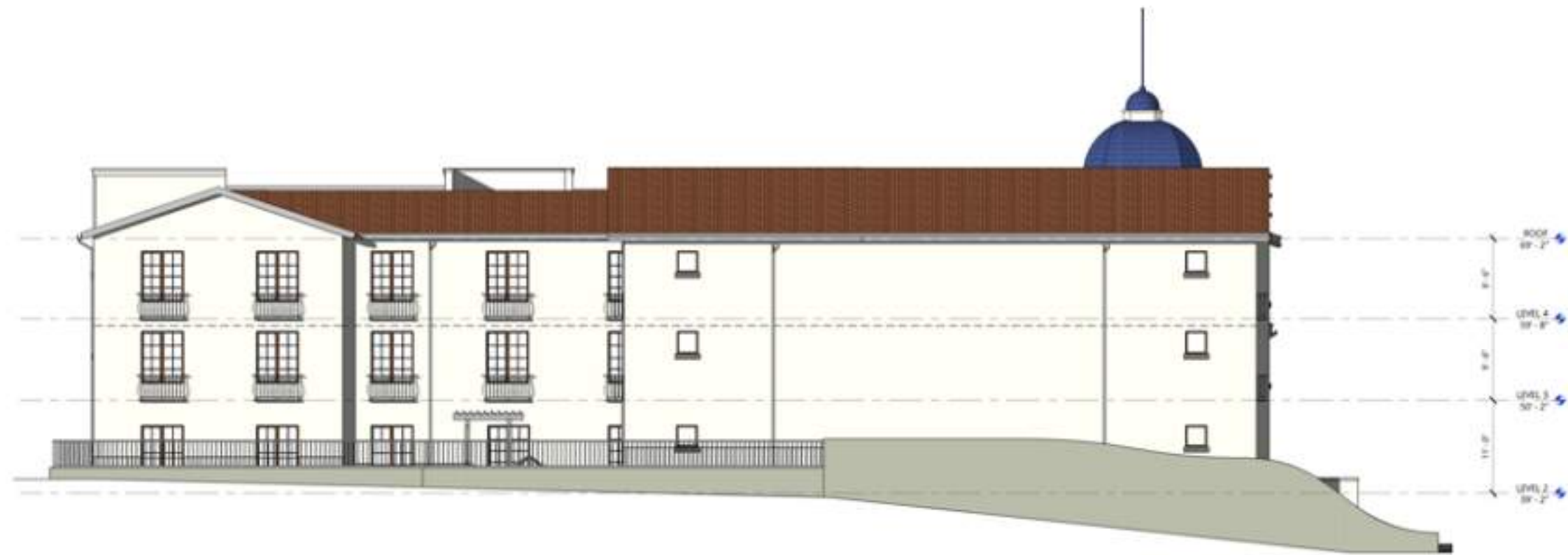
**9.2**



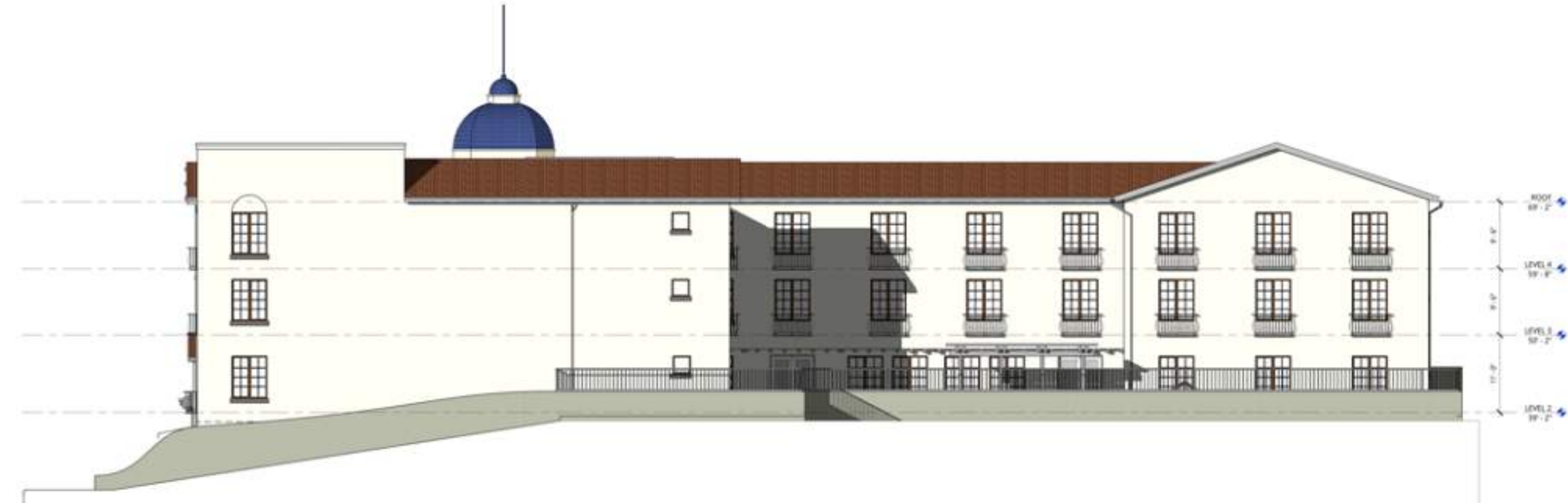
**1 WEST ELEVATION - APPROVED BY DRB IN 2019**  
1/16"=1'-0"



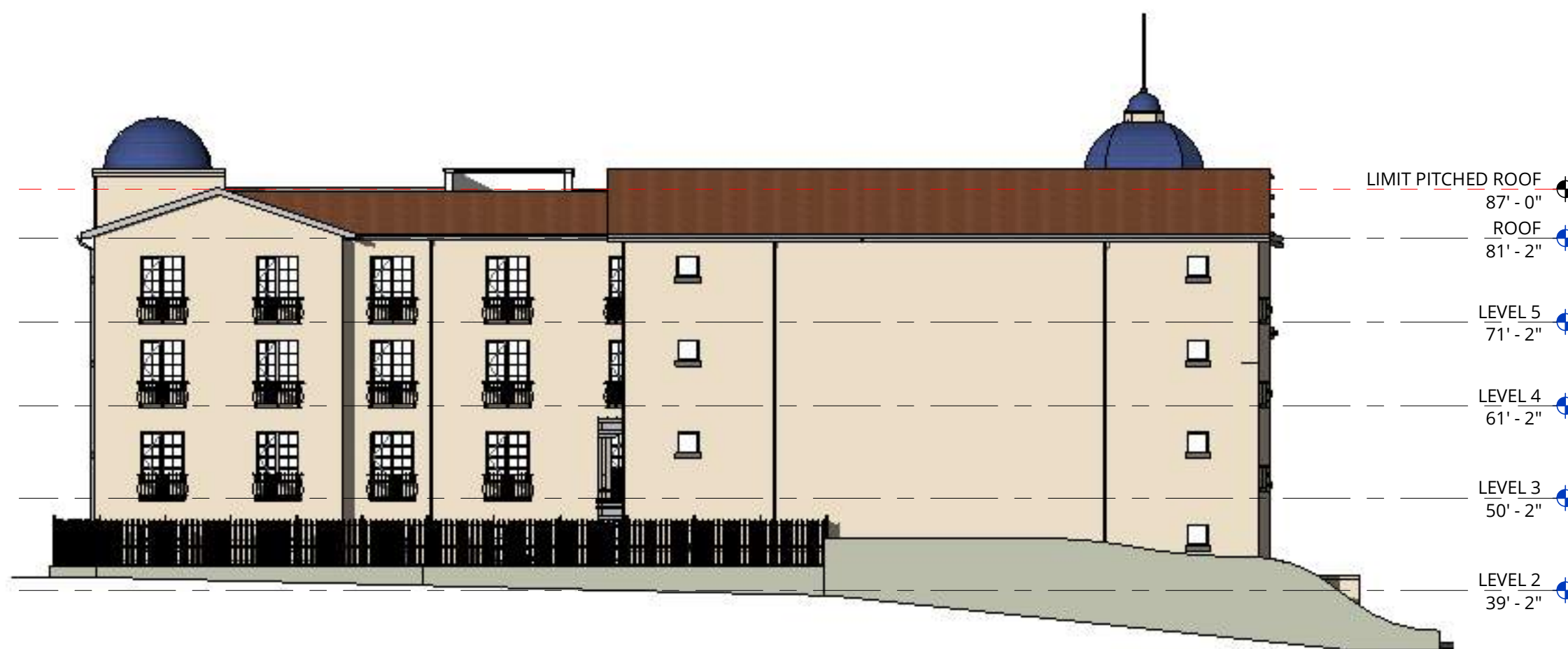
**4 NORTH ELEVATION - APPROVED BY DRB IN 2019**  
1/16"=1'-0"



**2 WEST ELEVATION - PERMITTED IN 2020**  
1/16"=1'-0"



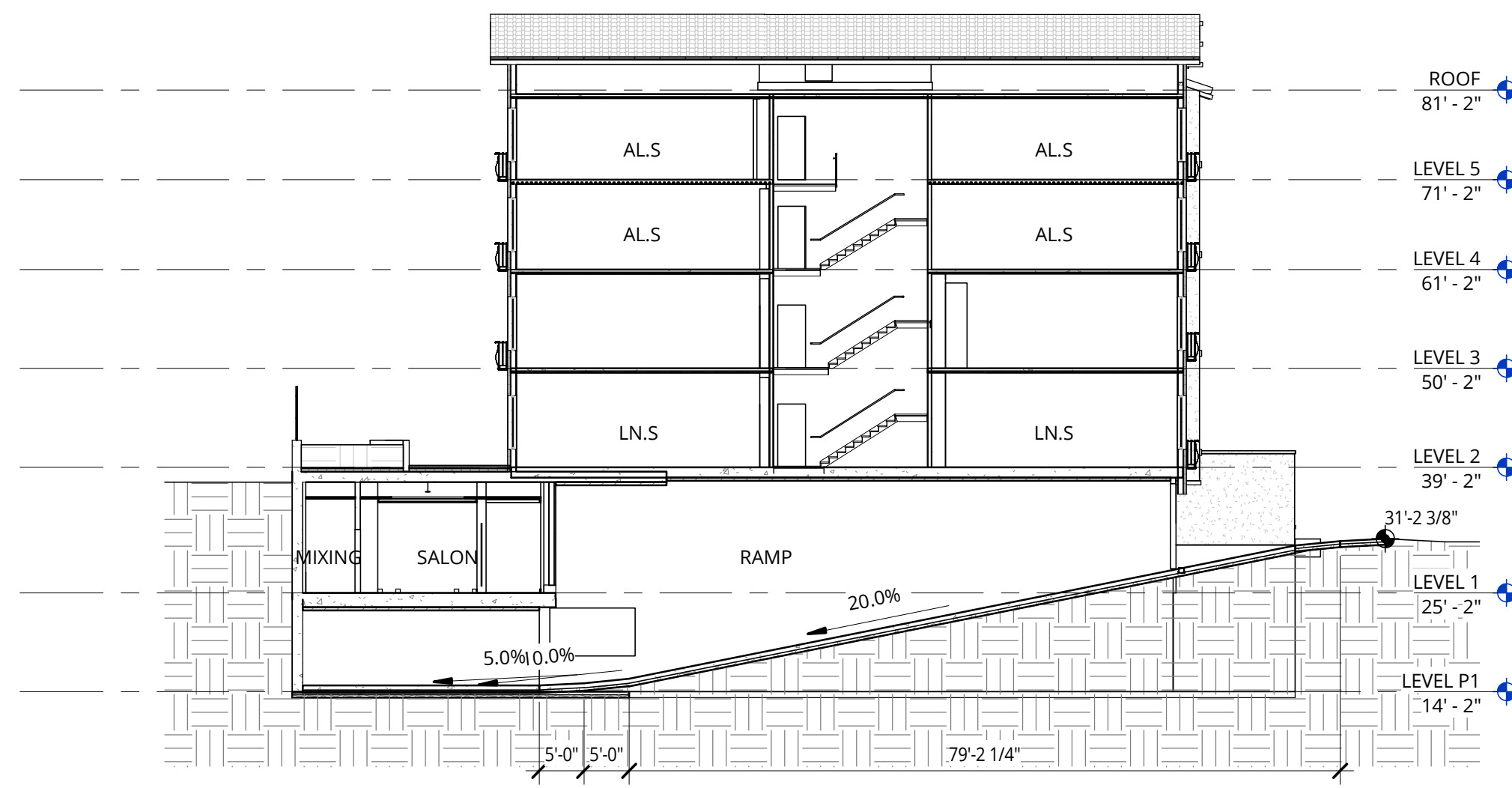
**5 NORTH ELEVATION - PERMITTED IN 2020**  
1/16"=1'-0"



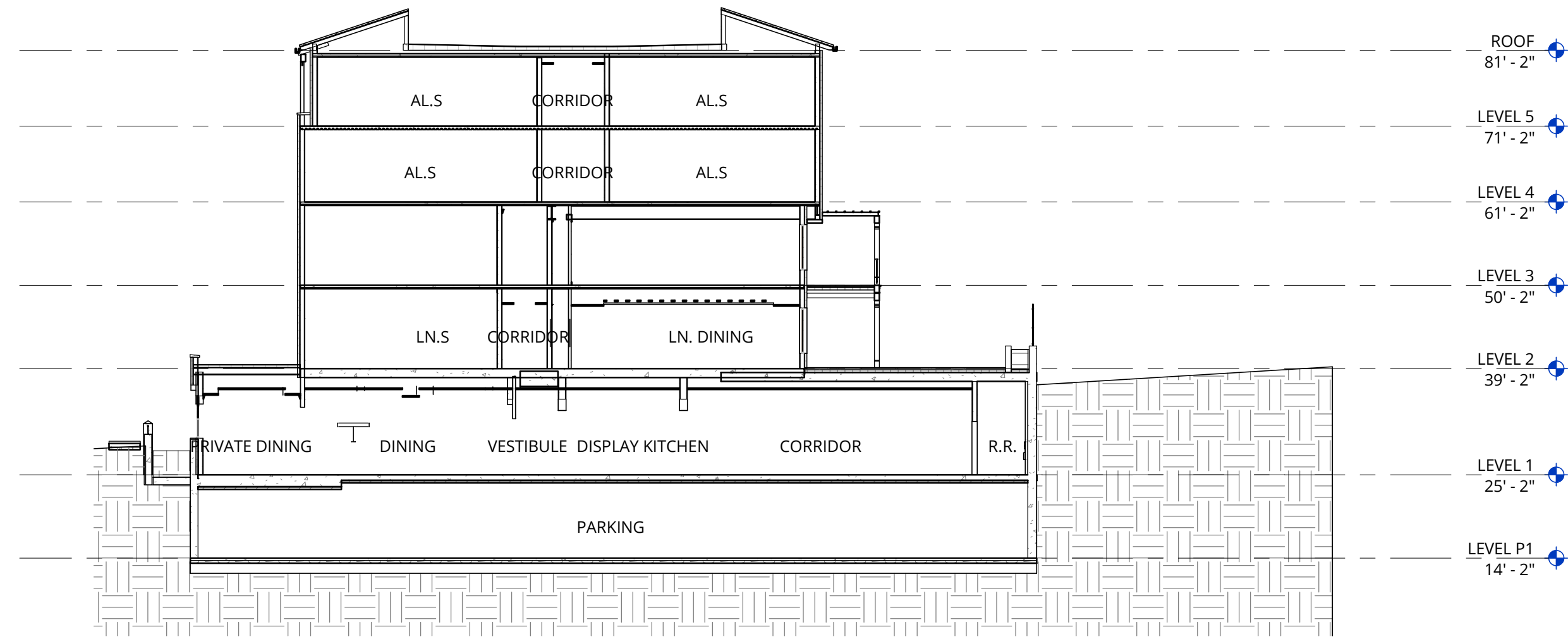
**3 WEST ELEVATION - PROPOSED DRB DESIGN**  
1/16"=1'-0"



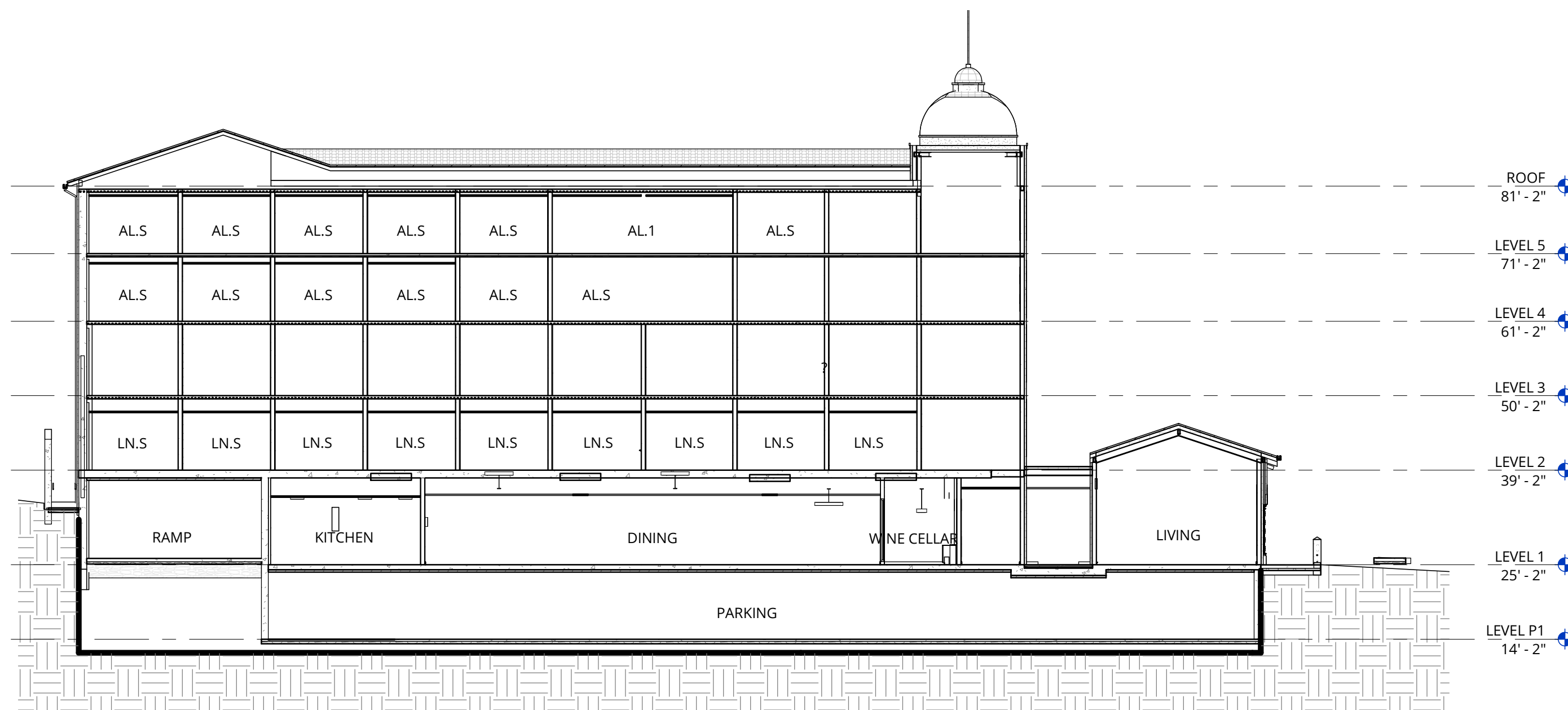
**6 NORTH ELEVATION - PROPOSED DRB DESIGN**  
1/16"=1'-0"



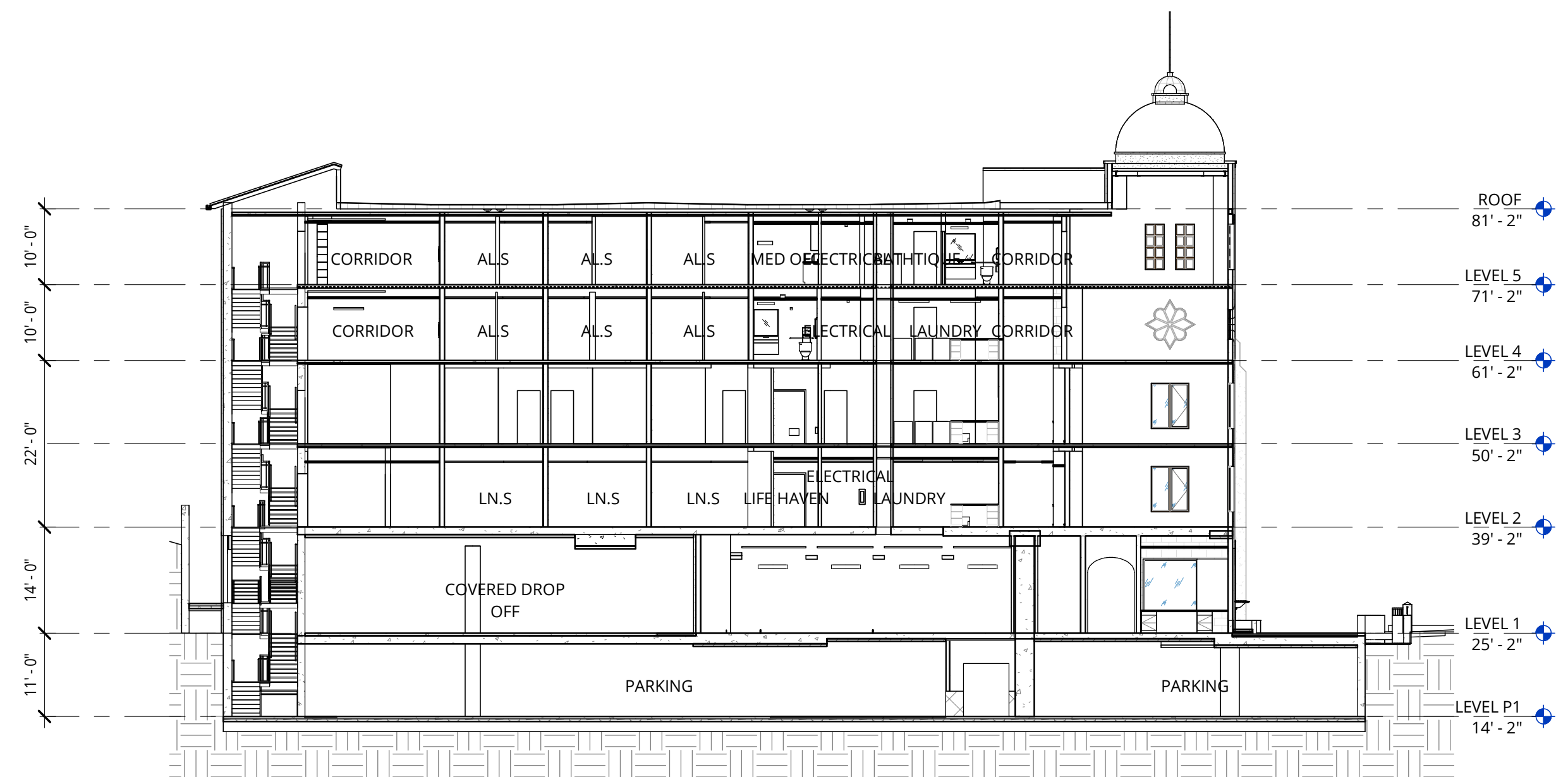
**4** BUILDING SECTION AT PARKING RAMP  
1/16" = 1'-0"



**3** BUILDING SECTION 3  
1/16" = 1'-0"



**2** BUILDING SECTION 2  
1/16" = 1'-0"



**1** BUILDING SECTION 1  
1/16" = 1'-0"

**NOT FOR CONSTRUCTION**



38 NORTHWEST DAVIS, SUITE 300  
PORTLAND, OR 97209  
503.245.7100

1505 5TH AVE, SUITE 300  
SEATTLE, WA 98101  
206.576.1600

1014 HOWARD STREET  
SAN FRANCISCO, CA 94103  
415.252.7063  
© ANKROM MOISAN ARCHITECTS, INC.

**AEGIS SAN RAFAEL**  
800 MISSION AVENUE SAN RAFAEL CA 94901

ASC SAN RAFAEL LLC

REVISION	DATE	REASON FOR ISSUE

SECTIONS

PLANNING

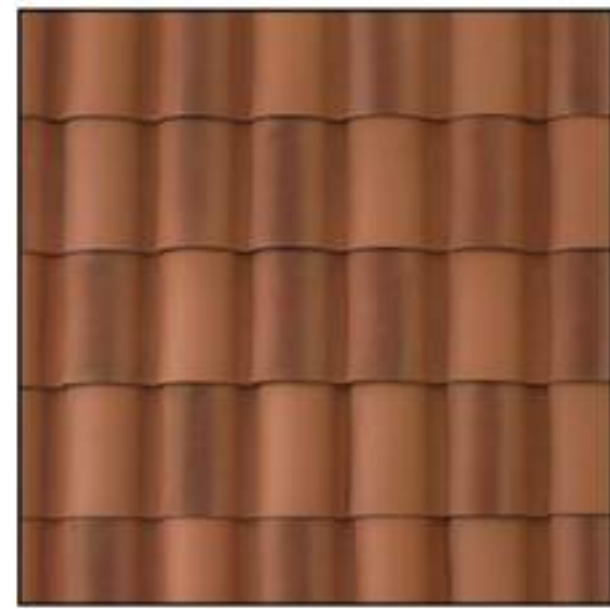
DATE  
MAR 3, 2021

PROJECT NUMBER  
174170

SHEET NUMBER

**10.0**





1. TILE ROOF



2. BLUE ROOF TILE



3. TIMBER DETAILING



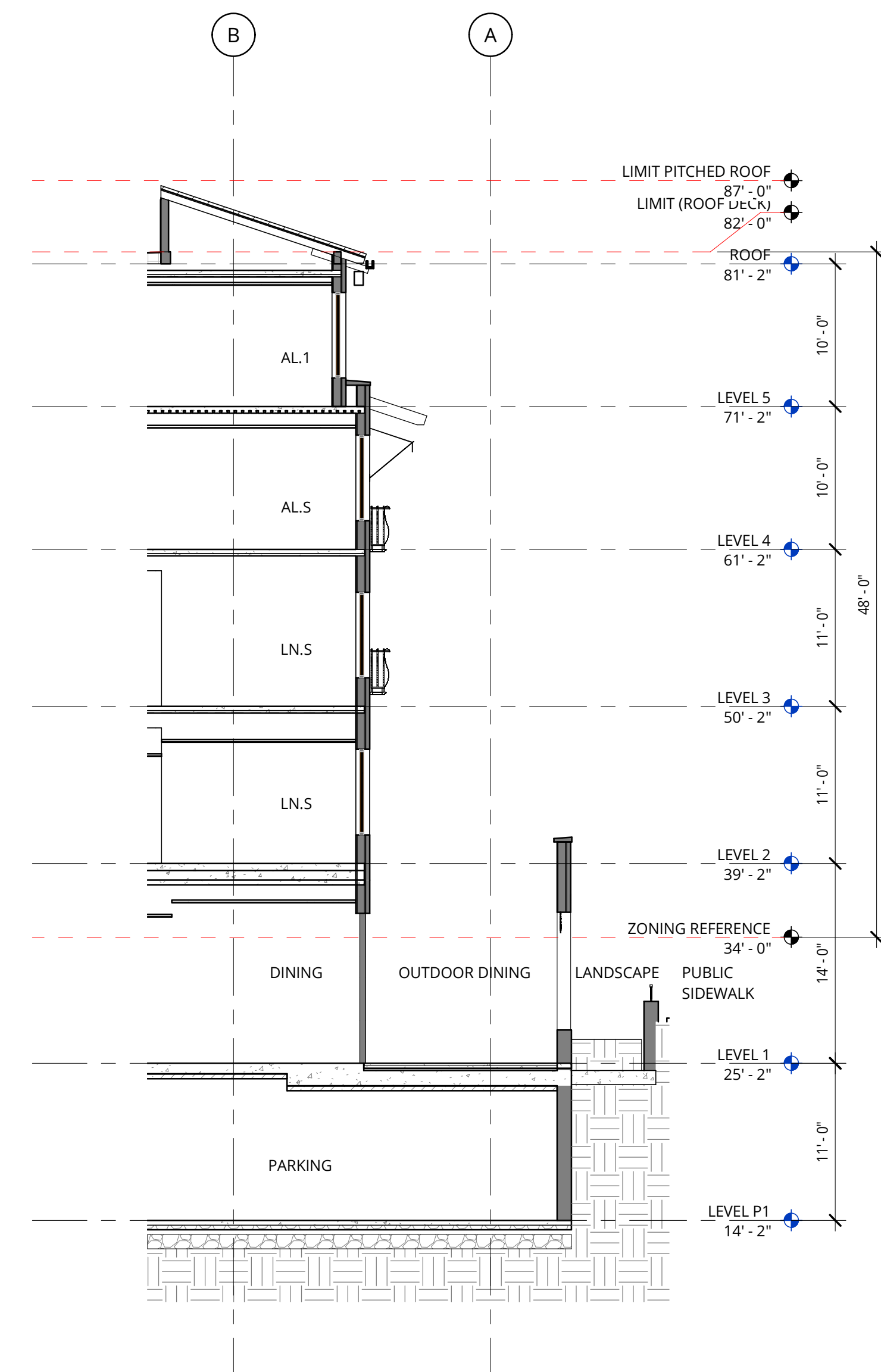
4. WROUGHT IRON



5. STUCCO



6. FABRIC AWNINGS



1 WALL SECTION  
1/8" = 1'-0"

**NOT FOR  
CONSTRUCTION**



38 NORTHWEST DAVIS, SUITE 300  
PORTLAND, OR 97209  
503.245.7100

1505 5TH AVE, SUITE 300  
SEATTLE, WA 98101  
206.576.1600

1014 HOWARD STREET  
SAN FRANCISCO, CA 94103  
415.252.7063

© ANKROM MOISAN ARCHITECTS, INC.

**AGIS SAN RAFAEL**  
800 MISSION AVENUE SAN RAFAEL CA 94901

ASC SAN RAFAEL LLC

REVISION	DATE	REASON FOR ISSUE

DETAILS

PLANNING

DATE: MAR 3, 2021 PROJECT NUMBER: 174170

SHEET NUMBER

11.0

2/27/2018 2:59:04 PM

**PLANT MATERIAL SCHEDULE**

ABBREV	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	MATURE SIZE/ PLANT TYPE	WUCOLS RATING
<b>TREES</b>						
ACE APO	ACER SACCHARUM 'APOLLO'	APOLLO MAPLE	36" BOX	PER PLANS	30'/ DECIDUOUS	LOW
MUS BAS	MUSA BASJOO	JAPANESE BANANA	24" BOX	4' O.C.	12'/ HERBACEOUS	MEDIUM
OLE EUR	OLEA EUROPAEA 'SWAN HILL'	FRUITLESS OLIVE - TREE FORM	36" BOX	PER PLANS	25'+ / EVERGREEN	VERY LOW
PHO DAC	PHOENIX DACTYLIFERA	DATE PALM	12' BTH	30' O.C.	30'+ / EVERGREEN	LOW
PIS CHI	PISTACIA CHINENSIS	CHINESE PISTACHE	36" BOX	PER PLANS	30'/ DECIDUOUS	LOW
<b>SHRUBS, GROUNDCOVERS &amp; VINES</b>						
BUX GRE	BUXUS M. VAR JAPONICA 'GREEN BEAUTY'	DWARF BOXWOOD	5 GAL	1'-0"	2'/ EVERGREEN	LOW
CAR DIV	CAREX DIVULSA	BERKELEY SEDGE	1 GAL	1'-8"	12" / EVERGREEN	VERY LOW
DIA REV	DIANELLA REVOLUTA 'LITTLE REV'	LITTLE REV FLAX LILY	1 GAL	1'-6"	18" / EVERGREEN	LOW
GEL SEM	GELSEMIUM SEPERVIRENS 'MARGARITA'	CAROLINA JESSIMINE	1 GAL	PER PLANS	12' + / EVERGREEN	LOW
GER MAC	GERANIUM MACRORRHIZUM	BIG ROOT GERANIUM	1 GAL	1'-6"	8" / SEMI-EVERGREEN	MEDIUM
LAM WHI	LAMIUM MACULATUM 'WHITE NANCY'	WHITE NANCY DEADNETTLE	1 GAL	1'-6"	6" / SEMI-EVERGREEN	MEDIUM
LIR MUS	LIRIOPE MUSCARI	BLUE LILY TURF	1 GAL	1'-0"	12" / EVERGREEN	MEDIUM
LOM BRE	LOMANDRA LONGIFOLIA 'BREEZE'	DWARF MAT RUSH	1 GAL	2'-6"	2' / EVERGREEN	LOW
LOM PLA	LOMANDRA LONGIFOLIA 'PLATINUM BEAUTY'	VARIEGATED DWARF MAT RUSH	1 GAL	2'-6"	2' / EVERGREEN	LOW
LON JAP	LONICERA JAPONICA	JAPANESE HONEYSUCKLE	1 GAL	3'-0"	2' / EVERGREEN	MEDIUM
LOR CHI	LOROPETALUM CHINENSE	FRINGE FLOWER	5 GAL	4'-6"	3'-6" / EVERGREEN	LOW
PHI XAN	PHILODENDRON XANADU	PHILODENDRON	5 GAL	3'-0"	2' / EVERGREEN	MEDIUM
RHA CAL	RHAMNUS CALIFORNICA	COFFEEBERRY	5 GAL	PER PLANS	6'-8" / EVERGREEN	LOW
ROS SPP	ROSA SPECIES CARPET ROSE	GROUNDCOVER CARPET ROSE 'PINK'	1 GAL	3'-0"	18" TO 2' / SEMI-EVERGREEN	LOW
STR REG	STRELITZIA REGINAE	BIRD OF PARADISE	5 GAL	4'	4' TO 6' / EVEGREEN	LOW
<b>BIOFILTRATION PLANTS</b>						
ACE CIR	ACER CIRCINATUM	VINE MAPLE	15 GAL	PER PLANS	10'+ / DECIDUOUS	LOW
ACH MIL	ACHILLEA MILLEFOLIUM	COMMON YARROW	1 GAL	2'-0"	1'-6" / PERENNIAL	LOW
CAR DIV	CAREX DIVULSA	BERKELEY SEDGE	1 GAL	1'-6"	12" / EVERGREEN	LOW
CHO TEC	CHONDROPETALUM TECTORUM	SMALL CAPE RUSH	1 GAL	2'-0"	2' / EVERGREEN	LOW
IRI DOU	IRIS DOUGLASIANA	DOUGLAS IRIS	1 GAL	2'-0"	2' / EVERGREEN	LOW
LOB CAR	LOBELIA CARDINALIS	CARDINAL FLOWER	1 GAL	2'-0"	3' / PERENNIAL	LOW
RHA CAL	RHAMNUS CALIFORNICA	COFFEEBERRY	5 GAL	PER PLANS	6'-8" / EVERGREEN	LOW

NOTE: PLANTER MATERIAL IN THE LEVEL 2 INDIVIDUAL PLANTER POTS WILL BE SEASONAL AND CONSIST MAINLY OF FLOWERING PLANTS. THIS PLANTING AREA HAS BEEN ADDED TO THE IRRIGATION AND IS PART OF THE WATER USE CALCS.

**PLANT MATERIAL IMAGERY  
TREES**



ACER SACCHARUM 'APOLLO' MUSA BASJOO OLEA EUROPAEA 'SWAN HILL' PHOENIX DACTYLIFERA PISTACIA CHINENSIS (Street Trees)

**SHRUBS, GROUNDCOVERS & VINES**



BUXUS M. VAR JAPONICA 'GREEN BEAUTY' CAREX DIVULSA DIANELLA REVOLUTA 'LITTLE REV' GELSEMIUM SEMPERVIRENS 'MARGARITA' GERANIUM MACRORRHIZUM LAMIUM MACULATUM 'WHITE NANCY'



LIRIOPE MUSCARI LOMANDRA LONGIFOLIA 'BREEZE' LOMANDRA LONGIFOLIA 'PLATINUM BEAUTY' LONICERA JAPONICA LOROPETALUM CHINENSE



PHILODENDRON XANADU RHAMNUS CALIFORNICA ROSA SPECIES STRELITZIA REGINAE

**BIOFILTRATION PLANTS**



ACER CIRCINATUM ACHILLEA MILLEFOLIUM CAREX DIVULSA CHONDROPETALUM TECTORUM IRIS DOUGLASIANA



LOBELIA CARDINALIS RHAMNUS CALIFORNICA



38 NORTHWEST DAVIS, SUITE 300  
PORTLAND, OR 97209  
503.245.7100

1505 5TH AVE. SUITE 300  
SEATTLE, WA 98101  
206.578.1600

1014 HOWARD STREET  
SAN FRANCISCO, CA 94103  
415.252.7063  
© ANKROM MOISAN ARCHITECTS, INC.

**STUDIO GREEN**

Landscape Architecture  
232 Sir Francis Drake Blvd.  
San Anselmo, CA 94960  
Phone: (415) 721-0905  
Fax: (415) 721-0910  
Email: info@studiogreen.com  
www.studiogreen.com

**AEGIS SAN RAFAEL**  
800 MISSION AVENUE SAN RAFAEL CA 94549

ASC SAN RAFAEL LLC

REVISION	DATE	REASON FOR ISSUE

**PLANT MATERIAL  
SCHEDULE  
& IMAGERY**

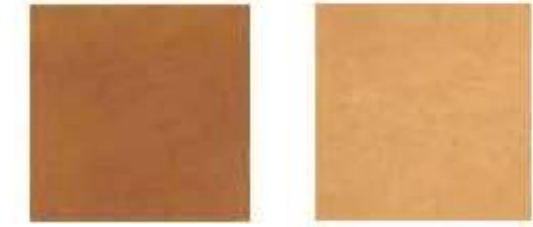
**PLANNING**

DATE MAR 3, 2021	PROJECT NUMBER 174170
---------------------	--------------------------

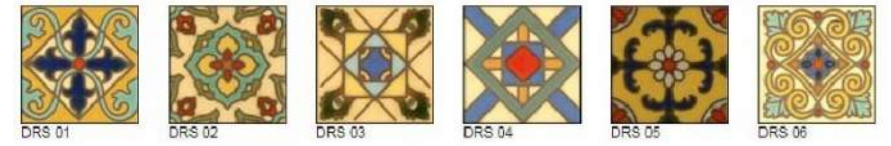
C:\\_Revit Projects\174170-17-Aegis San Rafael\174170-17-Aegis San Rafael.sanrafc.rvt



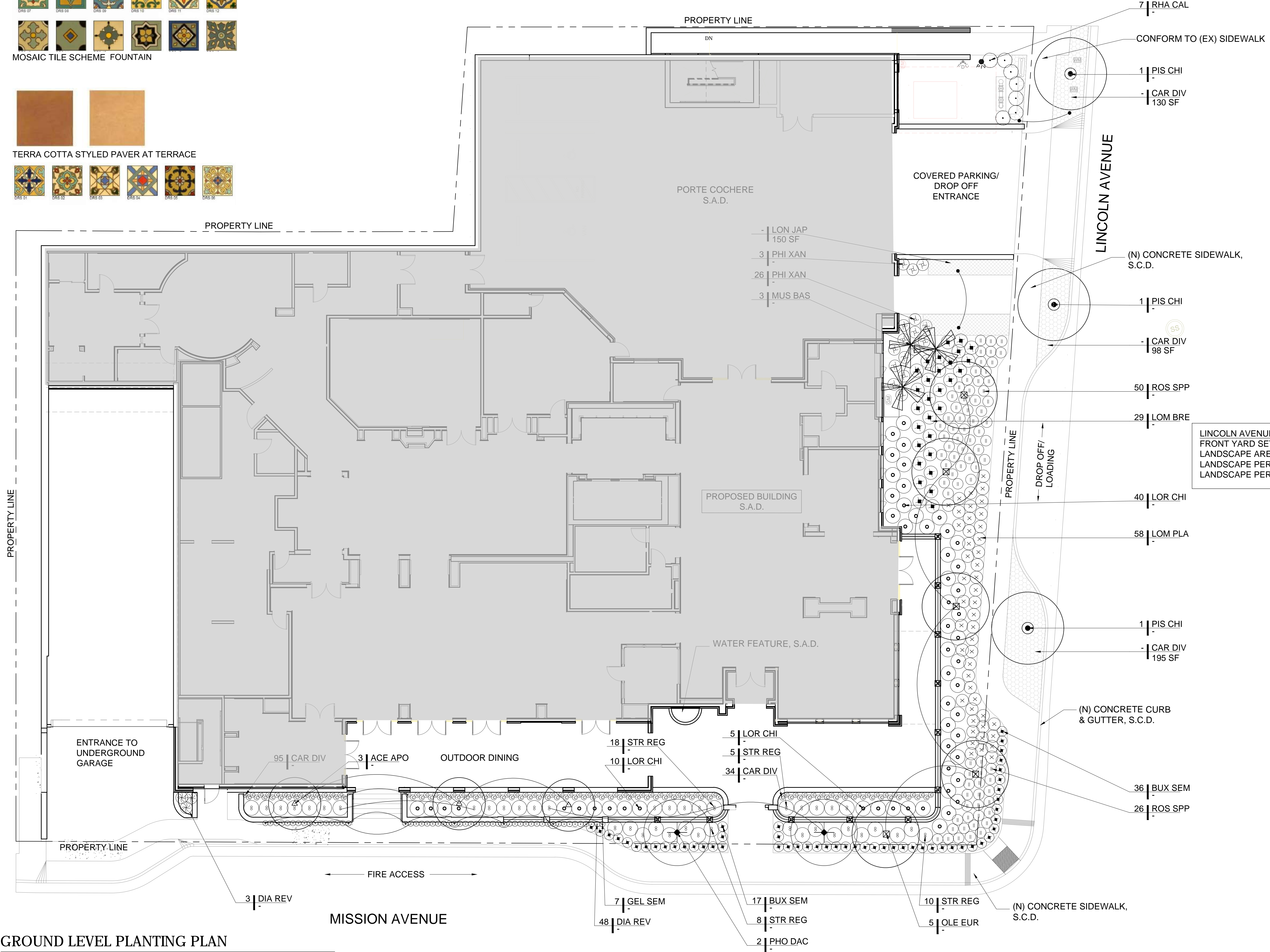
MOSAIC TILE SCHEME FOUNTAIN



TERRA COTTA STYLED PAVER AT TERRACE



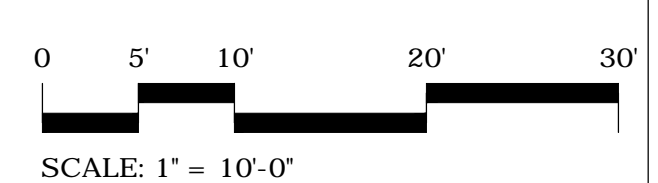
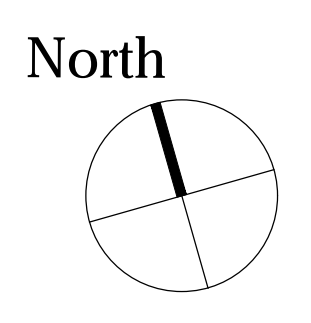
PROPERTY LINE



LINCOLN AVENUE LANDSCAPE:  
FRONT YARD SETBACK AREA: 2,515 SF  
LANDSCAPE AREA: 1,299 SF  
LANDSCAPE PERCENTAGE PROVIDED: 52%  
LANDSCAPE PERCENTAGE REQUIRED: 50%

MISSION AVENUE LANDSCAPE:  
SIDE YARD SETBACK AREA: 1,813 SF  
LANDSCAPE AREA: 910 SF  
LANDSCAPE PERCENTAGE PROVIDED: 50%  
LANDSCAPE PERCENTAGE REQUIRED: 50%

NOTE:  
1. SEE SHEET 16 FOR PLANT MATERIAL SCHEDULE & IMAGERY.



01 GROUND LEVEL PLANTING PLAN



38 NORTHWEST DAVIS, SUITE 300  
PORTLAND, OR 97209  
503.245.7100

1505 5TH AVE. SUITE 300  
SEATTLE, WA 98101  
206.578.1600

1014 HOWARD STREET  
SAN FRANCISCO, CA 94103  
415.252.7063

© ANKROM MOISAN ARCHITECTS, INC.

STUDIO GREEN

Landscape Architecture  
232 Sir Francis Drake Blvd.  
San Anselmo, CA 94960  
Phone: (415) 721-0905  
Fax: (415) 721-0910  
Email: info@studiogreen.com  
www.studiogreen.com

AEGIS SAN RAFAEL  
800 MISSION AVENUE SAN RAFAEL CA 94549

ASC SAN RAFAEL LLC

REVISION	DATE	REASON FOR ISSUE

GROUND LEVEL PLANTING PLAN

PLANNING

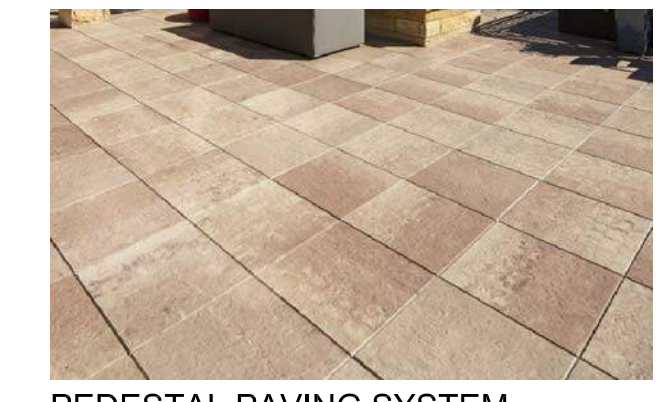
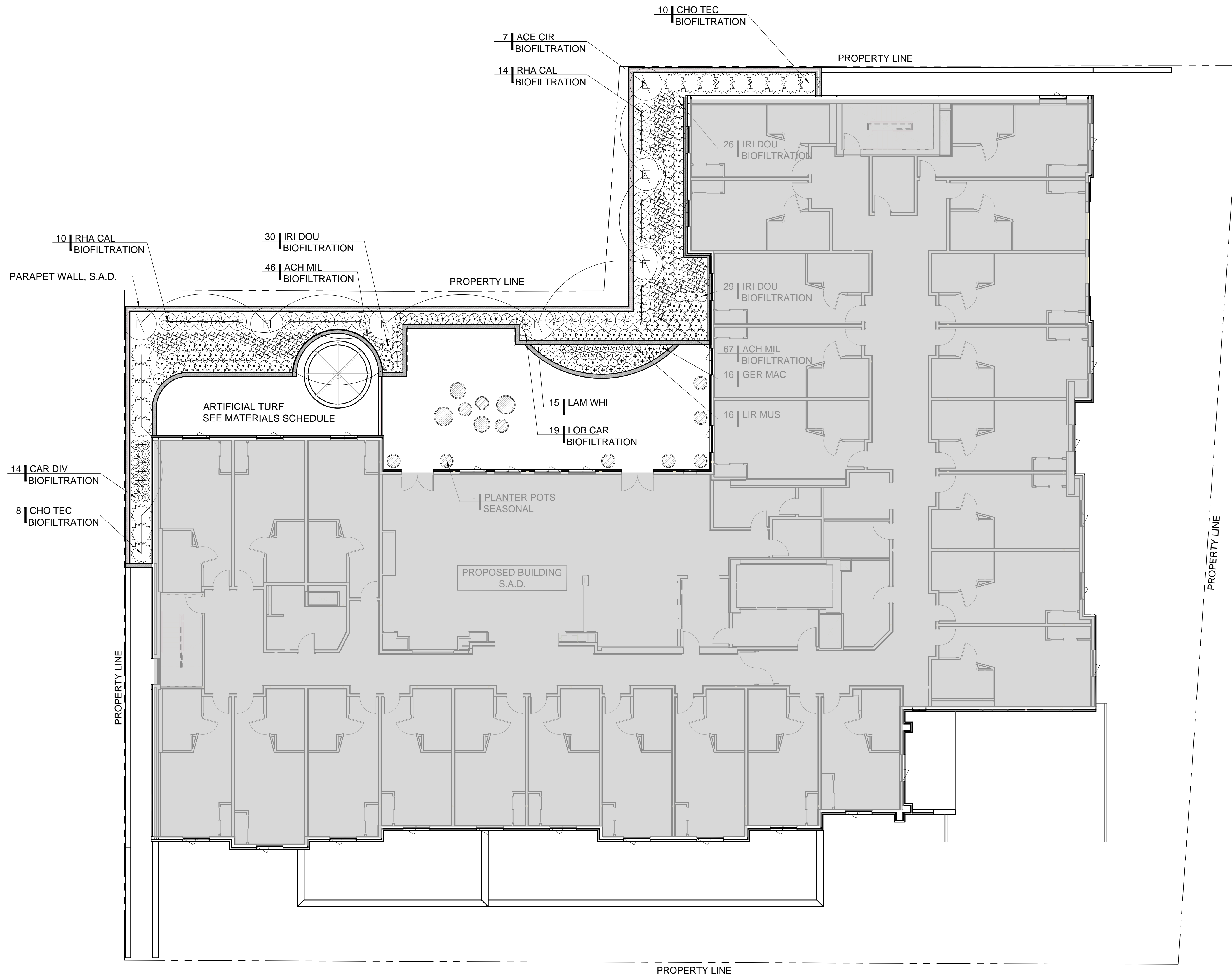
DATE MAR 3, 2021	PROJECT NUMBER 174170
---------------------	--------------------------

SHEET NUMBER  
12

2/27/2018 2:59:04 PM  
C:\Revit\Projects\174170-17-Aegis San Rafael\174170-17-Aegis San Rafael.rvt

2/27/2018 2:59:04 PM

C:\\_Revit Projects\174170-17-Aegis San Rafael\174170-17-Aegis San Rafael.sanrafc.rvt

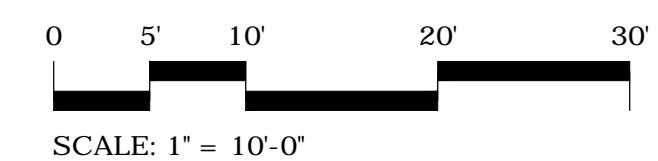
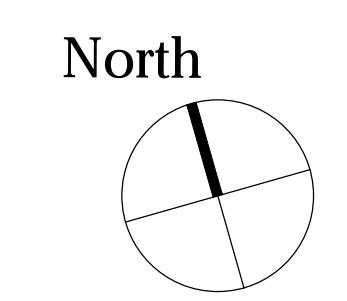


PEDESTAL PAVING SYSTEM- NEUTRAL COLORS TO COMPLIMENT THE MISSION STYLE OF THE ARCHITECTURE



WOOD TRELLIS WITH BRONZE HARDWARE

01 LEVEL 2 PLANTING PLAN



NOTE:  
1. SEE SHEET 16 FOR PLANT MATERIAL SCHEDULE & IMAGERY.



38 NORTHWEST DAVIS, SUITE 300  
PORTLAND, OR 97209  
503.243.7100  
  
1505 5TH AVE. SUITE 300  
SEATTLE, WA 98101  
206.578.1600  
  
1014 HOWARD STREET  
SAN FRANCISCO, CA 94103  
415.252.7063  
© ANKROM MOISAN ARCHITECTS, INC.

**STUDIO GREEN**  
  
Landscape Architecture  
232 Sir Francis Drake Blvd.  
San Anselmo, CA 94960  
Phone: (415) 721-0905  
Fax: (415) 721-0910  
Email: info@studiogreen.com  
www.studiogreen.com

**AEGIS SAN RAFAEL**  
800 MISSION AVENUE SAN RAFAEL CA 94549  
  
ASC SAN RAFAEL LLC

REVISION	DATE	REASON FOR ISSUE

LEVEL 2  
PLANTING PLAN

PLANNING

DATE  
MAR 3, 2021

PROJECT NUMBER  
174170

SHEET NUMBER  
**13**

2/27/2018 2:59:04 PM

PLANT MATERIAL SCHEDULE - AEGIS LIVING						
ABBREV	BOTANICAL	COMMON NAME	SIZE	SPACING	MATURE SIZE/ PLANT TYPE	WUCOLS RATING
<b>TREES</b>						
CAR BET	CARPINUS BETULUS 'FASTIGIATA'	AMERICAN HORNBEAM	24" BOX		"BLEACHED"/DECIDUOUS	MEDIUM
MUS BAS	MUSA BASJOO	JAPANESE BANANA	25 GAL	4' O.C.	12'/ HERBACEOUS	MEDIUM
OLE EUR	OLEA EUROPAEA 'SWAN HILL'	SWAN HILL OLIVE TREE	36" BOX		15'+/EVERGREEN	LOW
PHO DAC	PHOENIX DACTYLIFERA	DATE PALM	10' BROWN TRUNK	30' O.C.	30'+ /EVERGREEN	MEDIUM
PIS CHI	PISTACIA CHINENSIS	CHINESE PISTACHE	36" BOX	PER PLANS	30'/ DECIDUOUS	LOW
<b>SHRUBS &amp; GRASSES</b>						
ALS SPP.	ALSTROEMERIA SPECIES	PERUVIAN LILY	1 GAL	1'		
ANG SPP.	ANIGOZANTHOS SPECIES	KANGAROO PAWS	1 GAL	2'-0"		
AST SPP.	ASTER SPECIES	ASTER	1 GAL	1'-0"		
BUX SEM	BUXUS SEMPERVIRENS 'SUFFRUTICOSA'	DWARF BOXWOOD	1 GAL	1'-0"	2'/ EVERGREEN	MEDIUM
BUX TOP	BUXUS SEMPERVIRENS 'TOPIARY'	TOPAIRY BOXWOOD	15 GAL +	-		
CAR DIV	CAREX DIVULSA	BERKELEY SEDGE	1 GAL	1'-8"	12'/ EVERGREEN	VERY LOW
DIA REV	DIANELLA REVOLUTA 'LITTLE REV'	LITTLE REV FLAX LILY	1 GAL	1'-6"	18" / EVERGREEN	LOW
ERY SPP.	ERYSIMUM 'BOWLES'S MAUVE'	WALLFLOWER	1 GAL	1'-6"		
IRI SPP.	IRIS SPECIES	BEARDED IRIS	1 GAL	1'-6"		
LIR GIG	LIRIOPE GIGANTEA	GIANT LILY TURF	1 GAL	1'-6"	18'/ EVERGREEN	MEDIUM
LIR MUS	LIRIOPE MUSCARI	BLUE LILY TURF	1 GAL	1'-0"	12'/ EVERGREEN	MEDIUM
LOM LON	LOMANDRA LONGIFOLIA 'BREEZE'	DWARF MAT RUSH	1 GAL	2'-6"	2' / EVERGREEN	LOW
LON JAP	LONICERA JAPONICA	JAPANESE HONEYSUCKLE	1 GAL	3'-0"	2' / EVERGREEN	MEDIUM
LOR CHI	LOROPETALUM CHINENSE	FRINGE FLOWER	5 GAL	4'-6"	3'-6' / EVERGREEN	LOW
LYC COR	LYCHNIS CORONARIA	ROSE CAMPION	1 GAL	1'-0"		
NIC SPP.	NICOTIANA SPECIES	TOBACCO PLANT	1 GAL	1'-0"		
PAP BOL	PAPAVER ORIENTALE 'BOLERO'	ORIENTAL POPPY	1 GAL	1'-0"		
PAP BUR	PAPAVER ORIENTALE 'BURNING HAERT'	ORIENTAL POPPY	1 GAL	1'-0"		
PHI XAN	PHILODENDRON XANADU	PHILODENDRON	1 GAL	3'-0"	2' / EVERGREEN	MEDIUM
ROS SPP.	ROSA SPECIES	GROUNDCOVER CARPET ROSE 'PINK'	1 GAL	3'-0"	18" TO 2' / SEMI-EVERGREEN	MEDIUM
STR REG	STRELITZIA REGINAE	BIRD OF PARADISE	5 GAL	4'	4' TO 6' / EVERGREEN	MEDIUM
TEU LUC	TEUCRIUM X LUCIDRYS	GERMANDER	1 GAL	1'		
<b>VINES</b>						
GEL SEM	GELSEMIUM SEMPERVIRENS 'MARGARITA'	HARDY CAROLINA JASMINE	1 GAL	4'-0"	6'-8' TRAILING/EVERGREEN	MEDIUM

BIO-FILTRATION PLANT SCHEDULE - AEGIS LIVING						
ABBREV	BOTANICAL	COMMON NAME	SIZE	SPACING	MATURE SIZE/ PLANT TYPE	WUCOLS RATING
<b>BIO-FILTRATION</b>						
ACE CIR	ACER CIRCINATUM	VINE MAPLE	5 GAL	-	DECIDUOUS	MEDIUM
ACH MIL	ACHILLEA MILLEFOLIUM	COMMON YARROW	1 GAL	1'-0"	PERENNIAL	MEDIUM
CHO TEC	CHONDROPETALUM TECTORUM	SMALL CAPE RUSH	1 GAL	2'-0"	2' / EVERGREEN	LOW
CAR DIV	CAREX DIVULSA	BERKELEY SEDGE	1 GAL	1'-6"	EVERGREEN	LOW
FRA CHI	FRAGARIA CHILOENSIS	BEACH STRAWBERRY	1 GAL	1'	EVERGREEN PERENNIAL	MEDIUM
IRI CAN	IRIS DOUGLASIANA 'CANYON SNOW'	DOUGLAS IRIS	1 GAL	1'-0"	PERENNIAL	MEDIUM
IRI DOU	IRIS DOUGLASIANA	DOUGLAS IRIS	1 GAL	1'	PERENNIAL	MEDIUM
LOB CAR	LOBELIA CARDINALIS	CARDINAL FLOWER	1 GAL	1'-0"		MED
RHA CAL	RHAMNUS CALIFORNICA 'EVE CASE'	COFFEEBERRY	5 GAL	4'-0"	EVERGREEN	LOW
ROS CAL	ROSA CALIFORNICA	CALIFORNIA WILD ROSE	1 GAL	1'	DECIDUOUS	MEDIUM

\*PLANT LIST PER THE MARIN COUNTY STORMWATER POLLUTION PREVENTION PROGRAM , BIORETENTION FACILITY PLANT MATRIX, JUNE,2014

TYPICAL SEASONAL ANNUALS & PERENNIALS @ L2 & ROOF DECK PLANTERS						
ABBREV	BOTANICAL	COMMON NAME	SIZE	SPACING	MATURE SIZE/ PLANT TYPE	WUCOLS RATING
ALS SPP.	ALSTROEMERIA SPECIES	PERUVIAN LILY	1 GAL			
BAC SPP.	BACOPA SPECIES	BACOPA	1 GAL			
DIG SPP.	DIGITALIS SPECIES	COMMON FOXGLOVE	1 GAL			
LOB SPP.	LOBELIA SPECIES	LOBELIA	1 GAL			
PAP BOL	PAPAVER ORIENTALE 'BOLERO'	ORIENTAL POPPY	1 GAL			
PAP BUR	PAPAVER ORIENTALE 'BURNING HEART'	ORIENTAL POPPY	1 GAL			
PRI SPP.	PRIMULA SPECIES	PRIMROSE	1 GAL			
VIO SPP.	VOILA SPECIES	VIOLA	1 GAL			

C:\Revt Projects\174170-17-Aegis San Rafael\174170-17-Aegis San Rafael\_samr.ctb

**NOT FOR CONSTRUCTION**



38 NORTHWEST DAVIS, SUITE 300  
PORTLAND, OR 97209  
503.245.7100

1505 5TH AVE, SUITE 300  
SEATTLE, WA 98101  
206.576.1600

1014 HOWARD STREET  
SAN FRANCISCO, CA 94103  
415.252.7063

© ANKROM MOISAN ARCHITECTS, INC.



Landscape Architecture  
232 Sir Francis Drake Blvd.  
San Anselmo, CA 94960  
Phone: (415) 721-0905  
Fax: (415) 721-0910  
Email: info@studiogreen.com  
www.studiogreen.com

AEGIS SAN RAFAEL  
800 MISSION AVENUE SAN RAFAEL CA 94549

ASC SAN RAFAEL LLC

REVISION	DATE	REASON FOR ISSUE
	09.17.19	LANDSCAPE LIGHTING

**PLANT MATERIAL SCHEDULE**

SHEET TITLE

PLANNING

DATE: 05.30.2018 PROJECT NUMBER: 164890

SHEET NUMBER

# PLANT CHARACTER IMAGERY

## TREES & PALMS



CARPINUS BETULUS 'FASTIGIATA'



MUSA BASJOO



PHOENIX DACTYLIFERA



PISTACIA CHINENSIS (STREET TREE ALONG LINCOLN )

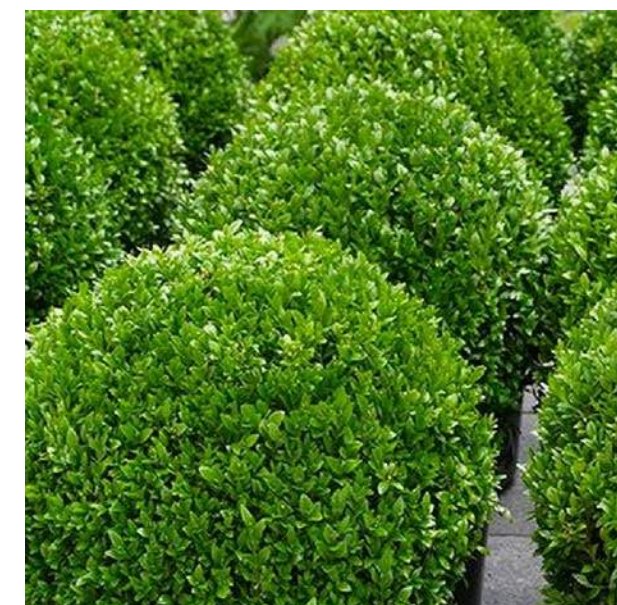


OLEA EUROPAEA

## SHRUBS & GROUND COVER



BUXUS SEMPERVIRENS 'SUFFRUTICOSA'



BUXUS SEMPERVIRENS 'TOPIARY'



CAREX DIVULSA



DIANELLA REVOLUTA 'LITTLE REV'



LIRIOPE GIGANTEA



LIRIOPE MUSCARI



LOMANDRA LONGIFOLIA 'BREEZE'



LONICERA JAPONICA



LOROPETALUM CHINENSE



PHILODENDRON XANADU



ROSA SPECIES



STRELITZIA REGINAE



TEUCRUM X LUCIDRYS



ALSTROEMERIA SPECIES



ANIGOZANTHOS SPECIES



ASTER SPECIES



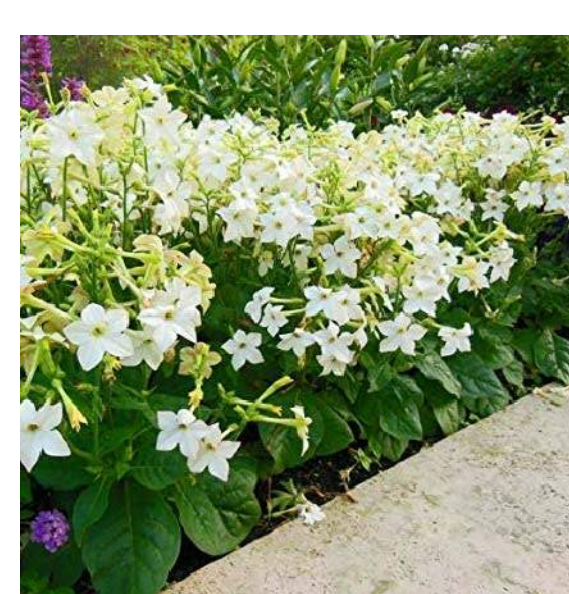
ERYSIMUM 'BOWLES'S MAUVE'



IRIS SPECIES



LYCHNIS CORONARIA



NICOTIANA SPECIES



PAPAVER ORIENTALE 'BOLERO'



PAPAVER ORIENTALE 'BURNING HAERT'

## VINES



GELSEMIUM SEMPERVIRENS 'MARGARITA'



ACER CIRCINATUM



ACHILLEA MILLEFOLIUM



CHONDROPETALUM TECTORUM



CAREX DIVULSA



FRAGARIA CHILOENSIS



IRIS DOUGLASIANA 'CANYON SNOW'



IRIS DOUGLASIANA



LOBELIA CARDINALIS



RHAMNUS CALIFORNICA 'EVE CASE'



ROSA CALIFORNICA

## BIO-FILTRATION PLANT MATERIAL

**NOT FOR CONSTRUCTION**



38 NORTHWEST DAVIS, SUITE 300  
PORTLAND, OR 97209  
503.245.7100

1505 5TH AVE, SUITE 300  
SEATTLE, WA 98101  
206.576.1600

1014 HOWARD STREET  
SAN FRANCISCO, CA 94103  
415.252.7063

© ANKROM MOISAN ARCHITECTS, INC.



Landscape Architecture  
232 Sr Francis Drake Blvd.  
San Anselmo, CA 94960  
Phone: (415) 721-0905  
Fax: (415) 721-0910  
Email: info@studiogreen.com  
www.studiogreen.com

AEGIS SAN RAFAEL  
800 MISSION AVENUE SAN RAFAEL CA 94549

ASC SAN RAFAEL LLC

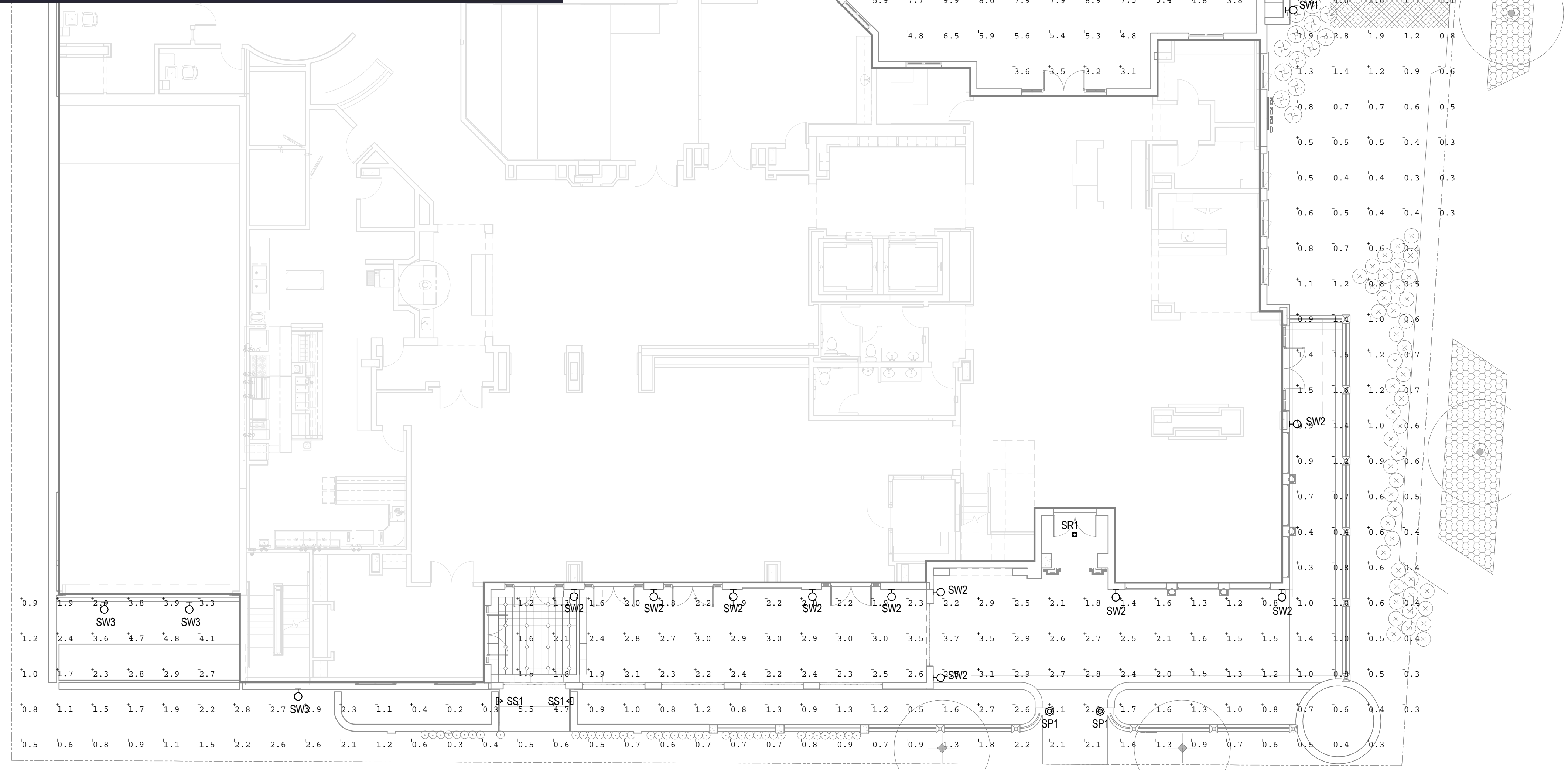
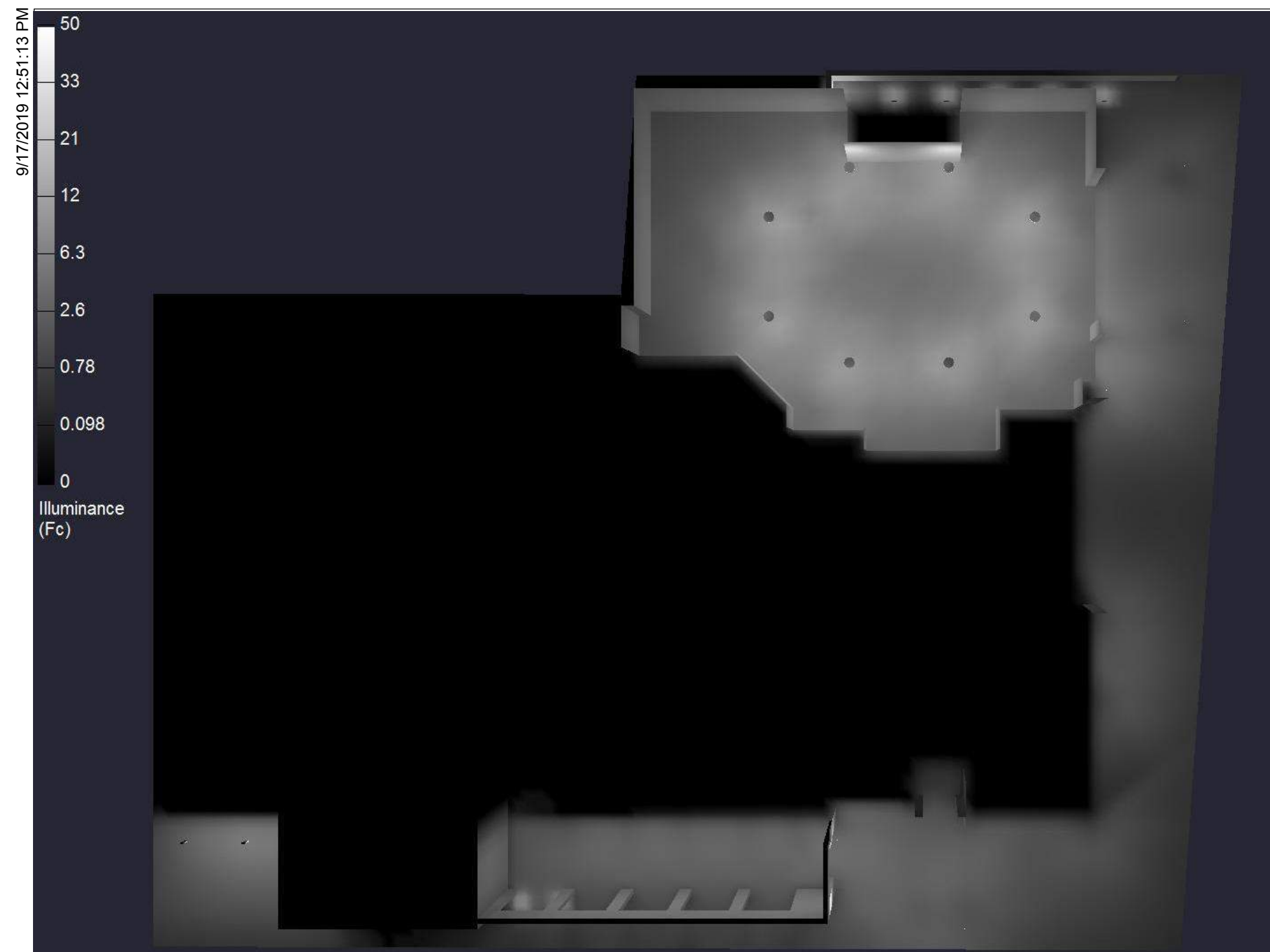
REVISION	DATE	REASON FOR ISSUE
	09.17.19	LANDSCAPE LIGHTING

## PLANT MATERIAL IMAGERY

SHEET TITLE

PLANNING

DATE 05.30.2018	PROJECT NUMBER 164890
SHEET NUMBER	



**1 SITE PLAN - LIGHTING**  
SCALE: 1" = 10'-0"



**SP1, SP2**  
30" AND 19" TALL DECORATIVE POLE-TOP LUMINAIRES WITH LED CANDELABRA BASE LAMPS IN WARM WHITE COLOR TEMPERATURE(2700K) AT MAIN ENTRY AND DRIVE ENTRY TO COVERED PARKING



**SS1**  
RECESSED STEPLIGHT AT PATHWAYS



**SW1, SW2**  
19" AND 30" TALL DECORATIVE WALL SCNCES WITH LED CANDELABRA BASE LAMPS IN WARM WHITE COLOR TEMPERATURE(2700K)



**SF1**  
CEILING MOUNTED LIGHTING FOR COVERED PARKING AREA



**SW3**  
WALL PACK FOR SECURITY AND EGRESS LIGHTING AT BUILDING EXITS

**NOT FOR CONSTRUCTION**



38 NORTHWEST DAVIS, SUITE 300  
PORTLAND, OR 97209  
503.245.7100  
1505 5TH AVE, SUITE 300  
SEATTLE, WA 98101  
206.576.1600  
1014 HOWARD STREET  
SAN FRANCISCO, CA 94103  
415.252.7063

© ANKROM MOISAN ARCHITECTS, INC.

**GLUMAC**  
engineers for a sustainable future

1601 Fifth Ave., Suite 2210  
Seattle, WA 98101  
www.glumac.com  
T: 206.262.1010 F: 206.262.9865  
Project Manager: Adam Leung  
Job No.: 05-19-00126

**AEGIS SAN RAFAEL**  
800 MISSION AVENUE SAN RAFAEL CA 94901

ASC SAN RAFAEL LLC

REVISION	DATE	REASON FOR ISSUE
	09.17.19	LANDSCAPE LIGHTING

**SITE PLAN - LIGHTING**

PLANNING

DATE 05.30.2018	PROJECT NUMBER 174170
--------------------	--------------------------

SHEET NUMBER



**1** LEVEL 2 - FLOOR PLAN - LIGHTING

SCALE: 1/8" = 1'-0"



**SW4**  
TRELLIS-MOUNT DOWNLIGHT  
SCENCE



**SS1**  
RECESSED STEPLIGHT



**SW1**  
19" TALL DECORATIVE WALL  
SCENCES WITH LED  
CANDELABRA BASE LAMPS IN  
WARM WHITE COLOR  
TEMPERATURE(2700K)

**NOT FOR  
CONSTRUCTION**



38 NORTHWEST DAVIS, SUITE 300  
PORTLAND, OR 97209  
503.245.7100  
503.245.7100  
1905 5TH AVE, SUITE 300  
SEASIDE, CA 94101  
209.578.1500  
209.578.1500  
1014 HOWARD STREET  
SAN FRANCISCO, CA 94103  
415.252.7053

© ANKROM MOISAN ARCHITECTS, INC.

**GLUMAC**

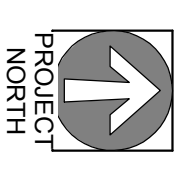
engineers for a sustainable future  
1601 First Ave., Suite 2210  
Seattle, WA 98101  
T: 206.262.0100 F: 206.262.8865  
Project Manager: Adam Longmire  
P: 206.262.9150

**AEGIS SAN RAFAEL**  
800 MISSION AVENUE SAN RAFAEL CA 94901  
  
ASC SAN RAFAEL LLC

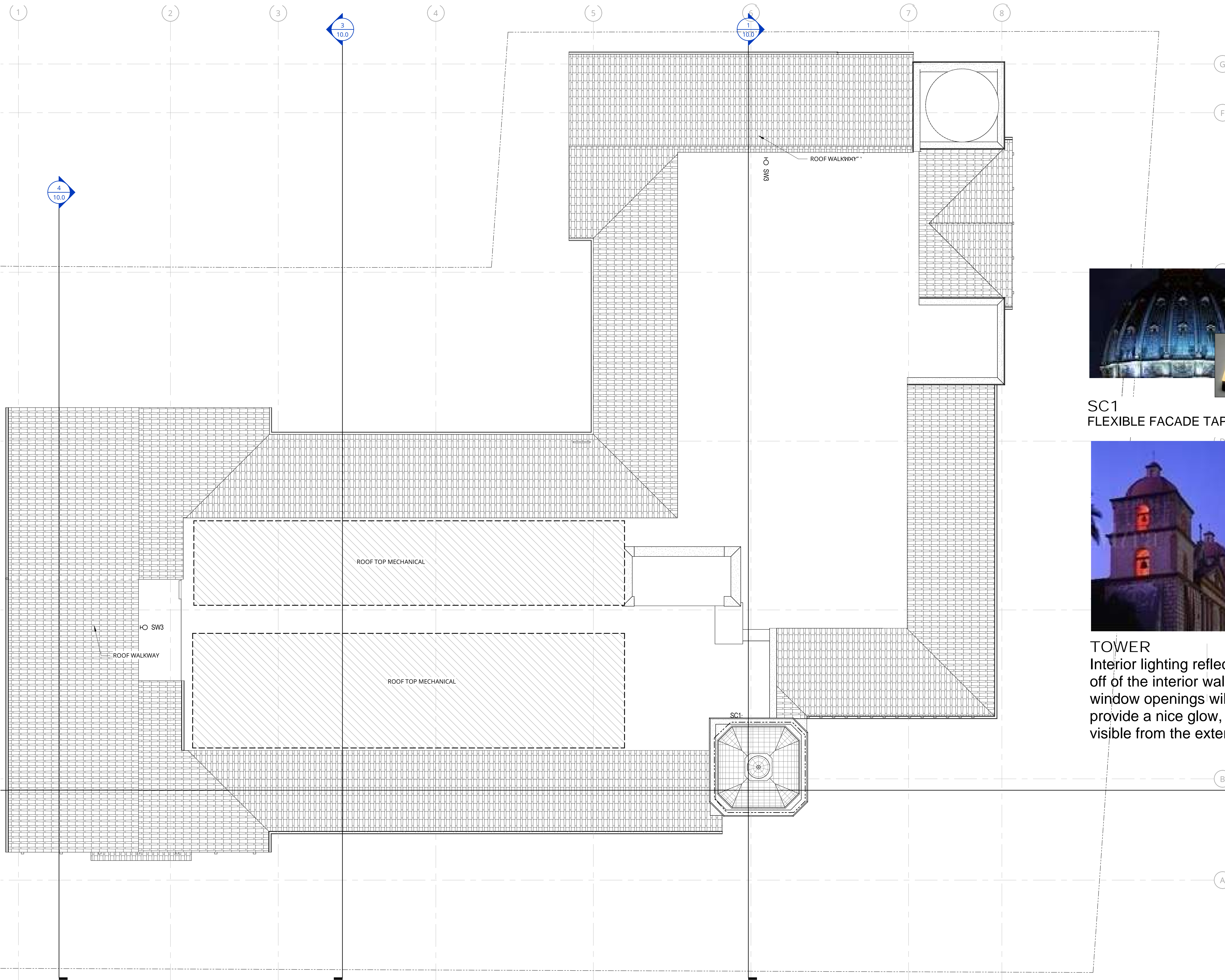
REVISION	DATE	REASON FOR ISSUE
	09.17.19	LANDSCAPE LIGHTING

LEVEL 2 FLOOR  
PLAN - LIGHTING  
PLAN  
PLANNING

DATE	PROJECT NUMBER
05.30.2018	174170
SHEET NUMBER	<b>18</b>







SC1  
FLEXIBLE FACADE TAPELIGHT



TOWER  
Interior lighting reflecting off of the interior walls and window openings will provide a nice glow, visible from the exterior.

**NOT FOR CONSTRUCTION**



38 NORTHWEST DAVIS, SUITE 300  
PORTLAND, OR 97209  
503.245.7100  
1505 5TH AVE, SUITE 300  
SEATTLE, WA 98101  
206.576.1600  
1014 HOWARD STREET  
SAN FRANCISCO, CA 94103  
415.252.7063

© ANKROM MOISAN ARCHITECTS, INC.

**GLUMAC**

engineers for a sustainable future

1601 Fifth Ave., Suite 2210  
Seattle, WA 98101  
www.glumac.com  
T. 206.262.1010 F. 206.262.9865  
Project Manager: Adam Leingang  
Job No.: 05.19.00126

**AGIS SAN RAFAEL**  
800 MISSION AVENUE SAN RAFAEL CA 94901

ASC SAN RAFAEL LLC

REVISION	DATE	REASON FOR ISSUE
	09.17.19	LANDSCAPE LIGHTING

OVERALL ROOF  
PLAN - LIGHTING  
PLAN

PLANNING

DATE 05.30.2018	PROJECT NUMBER 174170
--------------------	--------------------------

SHEET NUMBER

19



**1 ROOF - FLOOR PLAN - LIGHTING**

SCALE: 1/8" = 1'-0"

7/26/2021 5:11:19 PM

# Exhibit 7



## DESIGN DESCRIPTION

PROPOSED OCCUPANCY: R2.1, MULTIFAMILY RESIDENTIAL (HIGH DENSITY)

THE PROPOSED DESIGN IS A 103-SUITE ASSISTED LIVING AND MEMORY CARE COMMUNITY TO BE DEVELOPED, OWNED AND OPERATED BY AEGIS LIVING. IT WILL PROVIDE ASSISTED LIVING (54 RESIDENT SUITES) AND MEMORY CARE (49 RESIDENT SUITES) SERVICES LICENSED BY THE STATE AS A RESIDENTIAL CARE FACILITY FOR THE ELDERLY. IT WILL EMPLOY APPROXIMATELY 100 PEOPLE OVER THREE SHIFTS, WITH THE MAXIMUM SHIFT HAVING APPROXIMATELY 34 STAFF. THE BUILDING WILL BE A FIVE-STORY STRUCTURE WITH PARKING IN A SUBTERRANEAN GARAGE TO BE LOCATED AT THE CORNER OF MISSION AND LINCOLN AVENUES AND IS WITHIN WALKING DISTANCE TO DOWNTOWN, THE RETAIL DISTRICT, THE TRANSIT CENTER AND THE SMART RAIL STATION.

THE PROPOSED DESIGN IS A 103-SUITE ASSISTED LIVING AND MEMORY CARE COMMUNITY TO BE DEVELOPED, OWNED AND OPERATED BY AEGIS LIVING. IT WILL PROVIDE ASSISTED LIVING (54 RESIDENT SUITES) AND MEMORY CARE (49 RESIDENT SUITES) SERVICES LICENSED BY THE STATE AS A RESIDENTIAL CARE FACILITY FOR THE ELDERLY. IT WILL EMPLOY APPROXIMATELY 100 PEOPLE OVER THREE SHIFTS, WITH THE MAXIMUM SHIFT HAVING APPROXIMATELY 35 STAFF. THE BUILDING WILL BE A FIVE-STORY STRUCTURE WITH PARKING IN A SUBTERRANEAN GARAGE TO BE LOCATED AT THE CORNER OF MISSION AND LINCOLN AVENUES AND IS WITHIN WALKING DISTANCE TO DOWNTOWN, THE RETAIL DISTRICT, THE TRANSIT CENTER AND THE SMART RAIL STATION.

THE LAYOUT OF THE BUILDING TAKES ADVANTAGE OF THE NATURAL SLOPE ACROSS THE SITE, GIVING STREET LEVEL ACCESS TO THE PUBLIC ENTRANCES AND COMMONS AMENITY SPACES PROVIDED FOR THE RESIDENTS. COMMONS SPACES ON THE GROUND LEVEL INCLUDE AMENITIES SUCH AS DINING VENUES, TERRACE, WELLNESS/FITNESS SUITE, AND CINEMA/AUDITORIUM. ADDITIONAL RESIDENT LOUNGES ARE LOCATED ON THE UPPER FLOORS OF THE BUILDING IN ADDITION TO A FIFTH FLOOR TERRACE.

THE BUILDING WILL HAVE A COMMERCIAL-GRADE KITCHEN THAT PROVIDES ALL RESIDENT MEALS IN THE DINING VENUES ON THE GROUND LEVEL. THE INDIVIDUAL RESIDENT SUITES HAVE A SMALL WET BAR AREA (CASEWORK, A BAR SINK AND A SMALL REFRIGERATOR), BUT THESE ARE NOT INTENDED FOR THE PRODUCTION OF MEALS.

THERE ARE TWO ENTRANCES AT THE STREET LEVEL: ONE PRIMARY PEDESTRIAN ENTRANCE FROM MISSION AND A COVERED VEHICULAR DROP OFF ON LINCOLN. THE STREET LEVEL ALSO PROVIDES MISSION AVENUE ACCESS TO THE PARKING GARAGE (CONTAINING 32 SPACES TOTAL, INCLUDING 2 ADA SPACES) AS WELL AS A TURNOUT LANE FOR FIRE ACCESS ON MISSION AVENUE AND ANOTHER ON LINCOLN AVE FOR LOADING. THIS CONFIGURATION HAS BEEN PREVIOUSLY REVIEWED AND APPROVED AS PART OF THE ORIGINAL BUILDING PERMIT APPROVALS. THERE IS A TOTAL OF 40 PARKING SPACES.

MEMORY CARE WILL BE LOCATED ON LEVELS 2 AND 3 OF THE BUILDING AND CONTAINS THE NEEDED INFRASTRUCTURE TO PROVIDE A SAFE, COMFORTABLE AND CARING ENVIRONMENT FOR THE RESIDENTS. THE EXISTING SLOPE ON THE SITE ALLOWS FOR THE ENTIRE NORTH FACE FAÇADE OF THE MEMORY CARE COMMONS SPACES TO OPEN ONTO A PRIVATE AND SECURED OUTDOOR TERRACE DEDICATED TO THE MEMORY CARE RESIDENTS (AND SPECIFICALLY DESIGNED TO ACCOMMODATE THEIR NEEDS). COMMON SPACES DEDICATED TO MEMORY CARE INCLUDE DINING ROOM, ACTIVITY ROOM/MUSIC ROOM, BATHIQUE SPA, LOUNGES, AND A SERIES OF MEMORY-SKILL STATIONS.

THE FORTH AND FIFTH RESIDENTIAL FLOORS (UPPER TWO) WILL BE DESIGNATED FOR ASSISTED LIVING TOTALING 49 SUITES. THESE WILL HAVE EXTERIOR BALCONY ACCESS FROM DESIGNATED SUITES ON THE MISSION AND LINCOLN AVENUE SIDES. THERE WILL ALSO BE ACCESS TO THE CORNER TOWER ROOF DECK FROM THE ELEVATOR LOBBY ADJACENT TO THE MAIN TOWER FEATURE.

IN ADDITION TO PROVIDING EXCELLENT DIRECT CARE FOR THEIR RESIDENTS, AEGIS TAKES EXTRAORDINARY CARE TO CREATE COHESIVE DESIGNS THAT RESONATE WITH THE COMMUNITIES WITHIN WHICH THEY RESIDE, WHILE PROVIDING AN IMMERSIVE EXPERIENCE FOR THE OCCUPANTS OF THE BUILDING. THIS WORKS NOT ONLY TO CREATE A SENSE OF PLACE FOR THE RESIDENTS, BUT ALSO RESULTS IN EASILY IDENTIFIABLE BUILDINGS THAT ARE ANCHORS OR ICONS WITHIN THE COMMUNITY. AS EACH OF THEIR PROJECTS ARE UNIQUE, DESIGN ALWAYS BEGINS WITH AN UNDERSTANDING OF THE HISTORY OF A PLACE.

THIS PROJECT EMPLOYS A CALIFORNIA MISSION REVIVAL ARCHITECTURAL STYLE FOUND IN THE NEARBY MISSION SAN RAFAEL. IT BEGINS WITH SIMPLE MASSING, DEEP OPENINGS, OFFSETS IN PLANES, AND SETBACKS TO BREAK DOWN THE SCALE. ENTRIES, THE ARCADES, THE BLUE TILED BUTTRESSED "BELL" TOWER, THE ARCHED COVERED DROP OFF (MAIN VEHICULAR ENTRY) ARE ARTICULATED WITH CORNICES, ACCENTS AND SIMPLE FORM CHANGES. THE EAVE LINE AT THE TOP OF THE BUILDING IS COMPOSED OF WOODEN BEAMS AND RAFTERS SUPPORTING THE CONTRASTING CLAY TILE ROOF.

THE DESIGN WAS REFINED FOR THIS SUBMITTAL TO REDUCE THE SENSE OF SCALE OF THE BUILDING, AS WELL AS TO CREATE A BETTER "HANDSHAKE" BETWEEN THE NEIGHBORING PROPERTIES. IN ESSENCE, THE PREVIOUS DESIGN PRESENTED IN MAY INSERTED A FLOOR BETWEEN LEVELS 2 AND 3 INTO THE HIGHLY REGARDED 2018 APPROVED DESIGN. WHILE THE APPROACH RETAINED MANY OF THE CHARACTERISTICS OF THE 2018 SUBMITTAL AND WITH IT, THE ESSENCE OF THE ORIGINAL DESIGN.

THIS SUBMITTAL REPRESENTS A FUNDAMENTAL CHANGE IN THE DESIGN APPROACH. INSTEAD OF INSERTING A FLOOR BETWEEN 2 AND 3, THE APPROACH WAS TO DELICATELY ADD SPACE TO THE TOP OF THE BUILDING. THE BUILDING NOW LARGELY READS LIKE THE ORIGINAL PROPOSAL, BUT THE ADDITIONAL RENTABLE SPACE NECESSARY TO MAKE THE PROJECT A REALITY ARE CAREFULLY FIT ONTO THE TOP FLOOR. THE DRB LAMENTED THE LOSS OF THE ROOFTOP AREA, WHICH WAS IMPROVED IN THIS VERSION BY ADDING A WALK OUT ROOF TERRACE AT THE CORNER OF THE FIFTH LEVEL. THIS WILL BE MUCH MORE WELCOMING FOR RESIDENTS AND COALESCE AROUND THE TOWER ELEMENT. FURTHER, BY ERODING THE UNITS FROM AROUND THE TOWER AND SURROUNDING IT WITH A ROOF TERRACE, IT ALLOWS THE TOWER TO REGAIN ITS VISUAL PROMINENCE FORM THE GROUND LEVEL.

THE WALL PLANES ALONG MISSION AND LINCOLN WERE CAREFULLY REVIEWED, AND THE TOP FLOOR WAS DE-EMPHASIZED BY A SUBTLE CHANGE OF COLOR AND THROUGH REFINED, ARCHITECTURAL DETAILING AT THE EAVES AND BALCONY RAIL. THE GABLED ROOF AT THE WEST END OF THE BUILDING WAS BROUGHT BACK TO THE FOURTH LEVEL, AND THE CORNER UNITS WERE FITTED WITH BALCONIES ON THE CORNERS TO FURTHER REDUCE THE SENSE OF SCALE. THE EYE NOW NATURALLY RESTS ON THE TOP OF LEVEL FOUR RATHER THAN TAKING IN THE ENTIRE FIVE LEVELS AS IN THE PREVIOUS SUBMITTAL. FURTHER, THE VIEWS TO THE BUILDING FROM THE NORTH AND WEST WERE REDESIGNED TO DE-EMPHASIZE THE SENSE OF SCALE AND TO CREATE SIMILAR PROPORTIONS TO THE ADJACENT BUILDINGS. USEABLE UNIT SPACE WAS REPLACED WITH BALCONY SPACE TO ELIMINATE THE WALLS AT THE TOP FLOOR CORNERS. THIS RESULTS IN EFFECTIVE CHANGES IN SCALE TO BOTH HORIZONTAL AND VERTICAL PLANES. WE LOOK FORWARD TO DISCUSSING IN FURTHER DETAIL THE REVISED AEGIS SAN RAFAEL SUBMITTAL AT THE CONTINUANCE MEETING OF THE DRB.

**NOT FOR CONSTRUCTION**



38 NORTHWEST DAVIS, SUITE 300  
PORTLAND, OR 97209  
503.245.7100

1505 5TH AVE, SUITE 300  
SEATTLE, WA 98101  
206.576.1600

1014 HOWARD STREET  
SAN FRANCISCO, CA 94103  
415.252.7063

© ANKROM MOISAN ARCHITECTS, INC.

**AEGIS SAN RAFAEL**  
800 MISSION AVENUE SAN RAFAEL CA 94901

ASC SAN RAFAEL LLC

REVISION	DATE	REASON FOR ISSUE

**NOT FOR CONSTRUCTION**  
THESE DOCUMENTS ARE INTENDED ONLY TO ILLUSTRATE GENERAL DESIGN ELEMENTS.

DEVIATIONS MAY EXIST BETWEEN THESE DOCUMENTS AND DOCUMENTS THAT HAVE BEEN REVIEWED AND APPROVED BY THE CITY OF SAN RAFAEL PLANNING AUTHORITIES.

## TITLE SHEET

DRB

DATE: JULY 9, 2021 PROJECT NUMBER: 174170

SHEET NUMBER: 1

## PROJECT INFORMATION

**GENERAL**

ZONING: HR-1  
MULTIFAMILY RESIDENTIAL (HIGH DENSITY)  
1,000 SF LAND PER DWELLING UNIT

MAX. BUILDING HEIGHT: 48'  
PROPOSED BUILDING HEIGHT: 47'

MIN. USABLE OUTDOOR AREA: 100 SF  
PROPOSED USABLE OUTDOOR AREA: 3,970 SF

AP NUMBERS: 11-184-09, -08

UNITS PROPOSED: 103

## PROJECT DIRECTORY

**GENERAL**

**APPLICANT**

AEGIS SENIOR COMMUNITIES  
415 1181TH AVE SE  
BELLEVUE, WA 98005  
CONTACT: WALTER BRAUN  
BRYON ZIEGLER  
PHONE: (425) 861-9993  
EMAIL: walter.braun@aegisliving.com  
bryon.ziegler@aegisliving.com

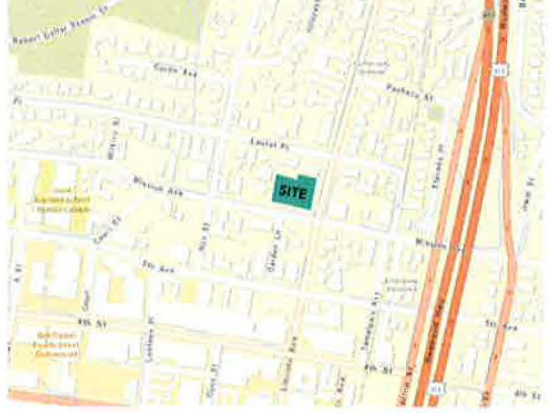
**ARCHITECT**

ANKROM MOISAN ARCHITECTS  
38 NEW DAVIS STREET, SUITE 300  
PORTLAND, OR 97209  
CONTACT: RYAN MYAHIRA  
LAURIE UNVILLE-GREGSTON  
PHONE: (503) 245-7100  
EMAIL: ryanm@ankrommoisan.com  
laurieg@ankrommoisan.com

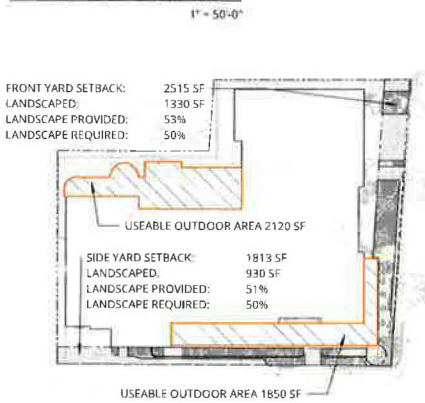
## VICINITY IMAGE



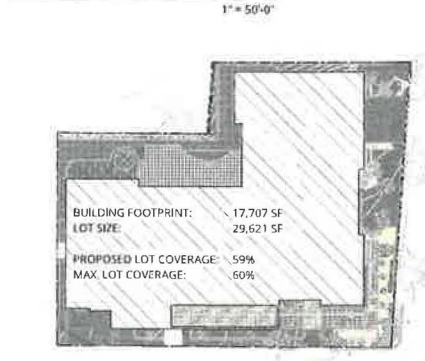
## VICINITY MAP



## LANDSCAPE DIAGRAM



## LOT COVERAGE DIAGRAM



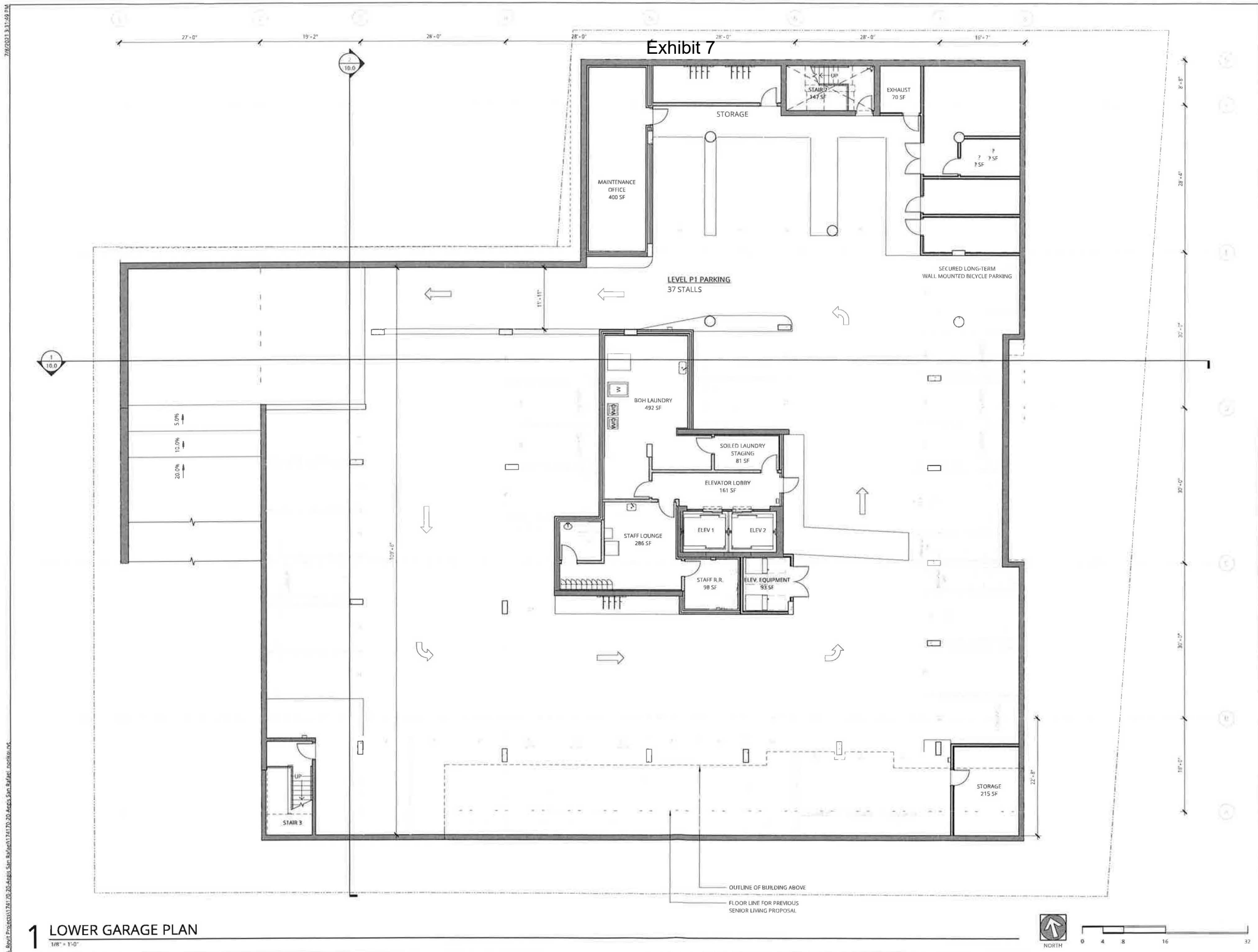
## SETBACKS

THE SETBACKS OF THE ORIGINAL APPROVED DESIGN ARE MAINTAINED TO INCLUDE 5' SETBACKS ON THE REAR AND SIDES OF THE FOOTPRINT, AS WELL AS A 10' SETBACK FROM MISSION AND A 15' SETBACK FROM LINCOLN. PROPOSED BUILDING FAÇADES & ARTICULATIONS EMULATE APPROVED DESIGN.

## SHEET INDEX

SHEET NUMBER	SHEET NAME
1	TITLE SHEET
2.1	LOWER GARAGE PLAN
3	MAIN LEVEL FLOOR PLAN
4.1	SECOND FLOOR - RESIDENTIAL PLAN
4.2	THIRD FLOOR PLAN
5.1	FOURTH FLOOR PLAN
6.1	FIFTH FLOOR PLAN
7.1	ROOF PLAN
8.0	EXTERIOR RENDERINGS
8.1	EXTERIOR ELEVATIONS
8.2	EXTERIOR ELEVATIONS - DESIGN EVOLUTION
9.0	EXTERIOR RENDERINGS
9.1	EXTERIOR ELEVATIONS
9.2	EXTERIOR ELEVATIONS - DESIGN EVOLUTION
10.0	SECTIONS
11.0	DETAILS
12	GROUND LEVEL - PLANTING PLAN
13	LEVEL 2 PLANTING PLAN
14	LEVEL 5 MATERIALS PLAN
15	PLANT MATERIAL SCHEDULE
16	PLANT MATERIAL IMAGERY
17	SITE PLAN - LIGHTING
18	LEVEL 2 FLOOR PLAN - LIGHTING PLAN
19	OVERALL ROOF PLAN - LIGHTING PLAN

C:\Users\p201401\OneDrive\Documents\San Rafael\AEGIS SAN RAFAEL\AEGIS SAN RAFAEL.dwg



**NOT FOR CONSTRUCTION**

**Ankrom Moisan**  
 38 NORTHWEST DAVIS, SUITE 300  
 PORTLAND, OR 97209  
 503.245.7100  
 1505 5TH AVE. SUITE 300  
 SEATTLE, WA 98101  
 206.576.1600  
 1014 HOWARD STREET  
 SAN FRANCISCO, CA 94103  
 415.252.7063  
 © ANKROM MOISAN ARCHITECTS, INC.

**AEGIS SAN RAFAEL**  
 800 MISSION AVENUE SAN RAFAEL CA 94901  
 ASC SAN RAFAEL LLC

REVISION	DATE	REASON FOR ISSUE

**LOWER GARAGE PLAN**

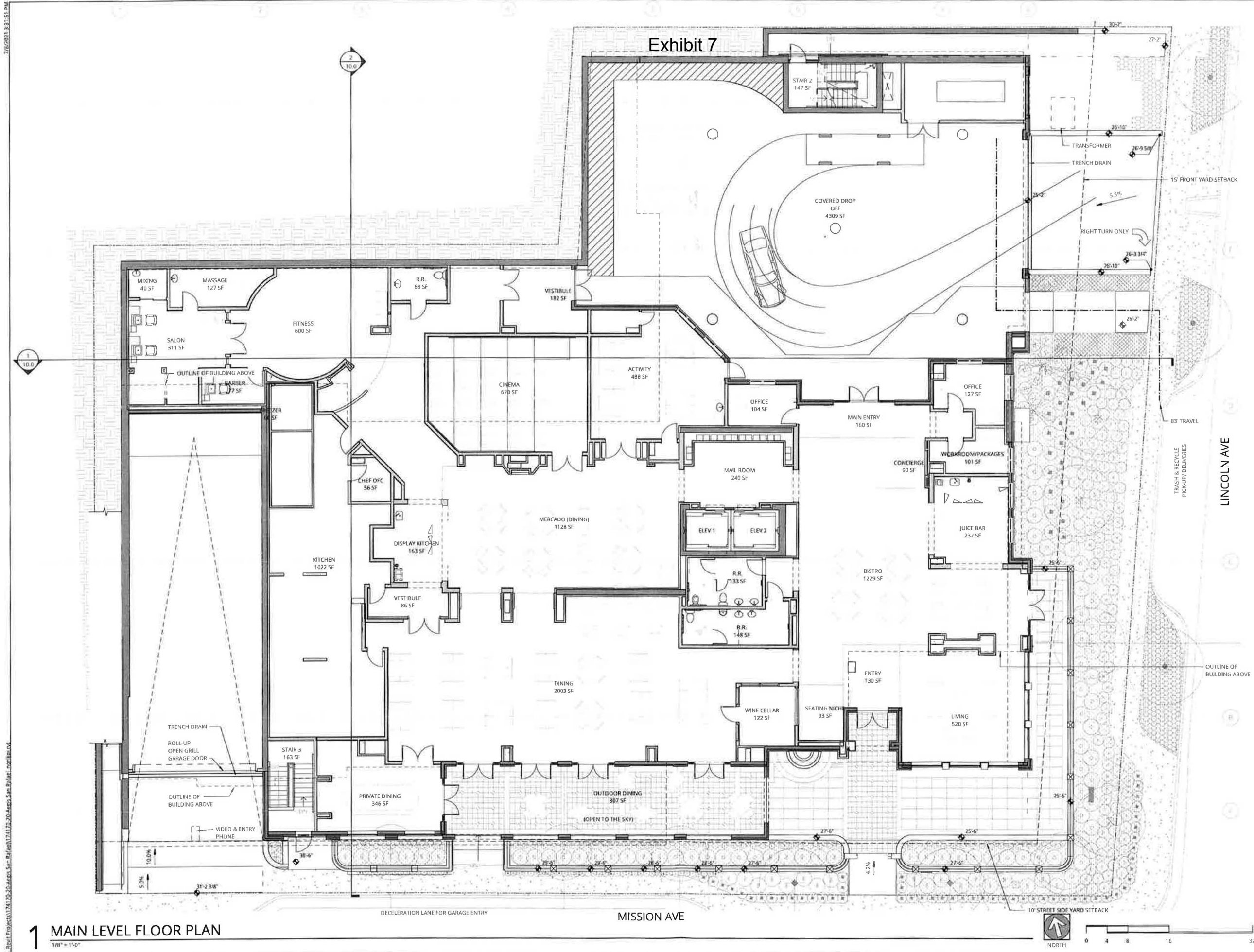
DRB

DATE: JULY 9, 2021 PROJECT NUMBER: 174170

SHEET NUMBER: 2.1

**1 LOWER GARAGE PLAN**  
 1/8" = 1'-0"

C:\Users\Projects\174170\_20\_Aegis\_San\_Rafael\174170\_20\_Aegis\_San\_Rafael\_174170.dwg  
 7/9/2021 3:11:09 PM



**NOT FOR  
CONSTRUCTION**



38 NORTHWEST DAVIS, SUITE 300  
PORTLAND, OR 97209  
503.245.7100

1505 5TH AVE, SUITE 300  
SEATTLE, WA 98101  
206.576.1600

1014 HOWARD STREET  
SAN FRANCISCO, CA 94103  
415.252.7063

© ANKROM MOISAN ARCHITECTS, INC.

**AEGIS SAN RAFAEL**  
800 MISSION AVENUE SAN RAFAEL CA 94901

ASC SAN RAFAEL LLC

REVISION	DATE	REASON FOR ISSUE

**MAIN LEVEL FLOOR  
PLAN**

DRB

DATE JULY 9, 2021	PROJECT NUMBER 174170
SHEET NUMBER	

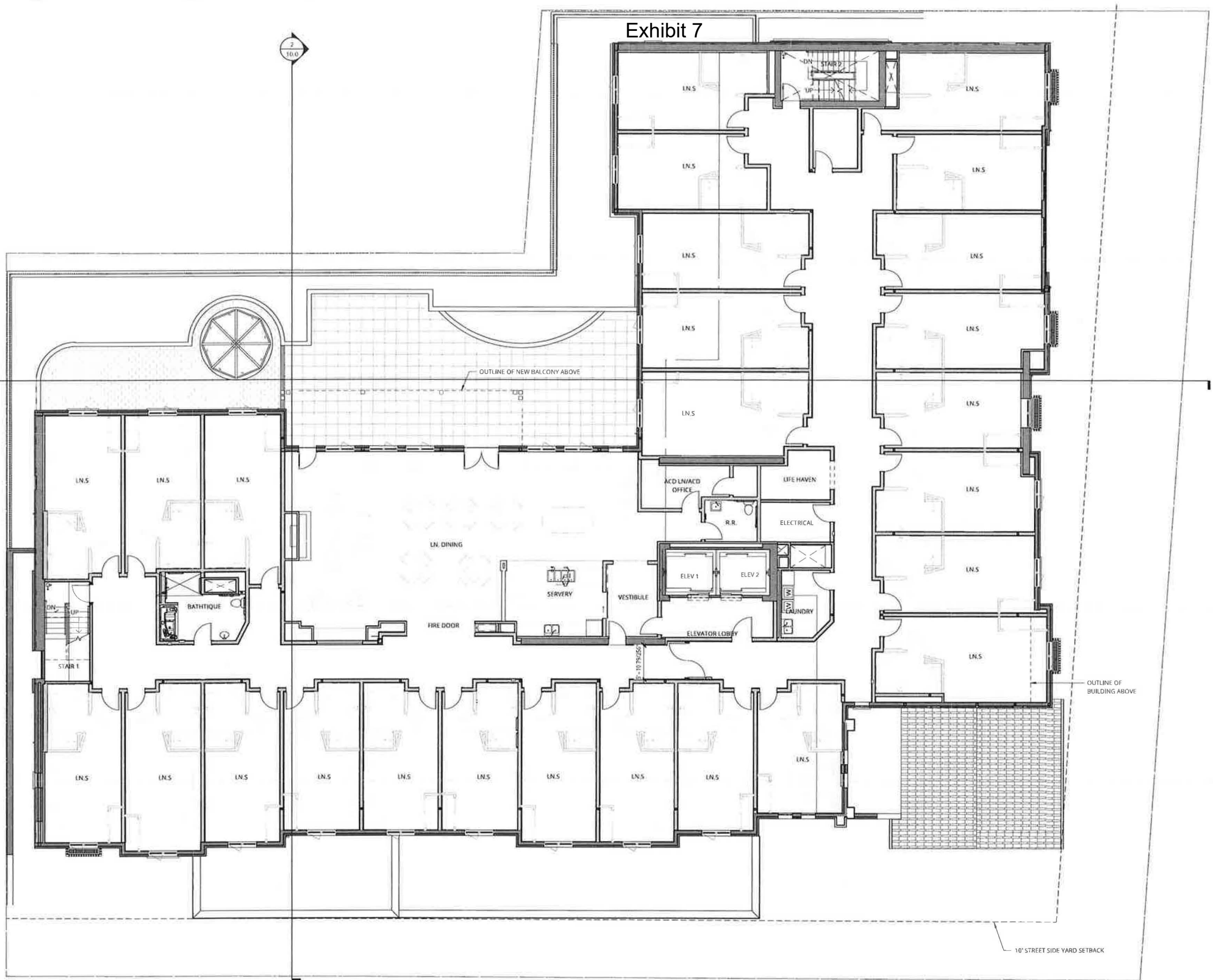
**3.1**

**1 MAIN LEVEL FLOOR PLAN**  
1/8" = 1'-0"

7/8/2021 3:31:51 PM  
C:\Users\Project\174170\_00\Aegis\_San\_Rafael\174170\_00\_Aegis\_San\_Rafael.dwg

7/8/2021 3:15 PM

C:\Users\p174170-20\Documents\Bridges\174170-20\Aegis San Rafael\residential.ctb



**1 SECOND FLOOR - RESIDENTIAL PLAN**  
1/8" = 1'-0"

**NOT FOR CONSTRUCTION**



38 NORTHWEST DAVIS, SUITE 300  
PORTLAND, OR 97209  
503.245.7100

1505 5TH AVE, SUITE 300  
SEATTLE, WA 98101  
206.576.1600

1014 HOWARD STREET  
SAN FRANCISCO, CA 94103  
415.252.7063

© ANKROM MOISAN ARCHITECTS, INC.

**AGIS SAN RAFAEL**  
800 MISSION AVENUE SAN RAFAEL CA 94901

ASC SAN RAFAEL LLC

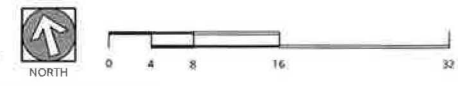
REVISION	DATE	REASON FOR ISSUE

**SECOND FLOOR - RESIDENTIAL PLAN**

DRB

DATE: JULY 9, 2021 PROJECT NUMBER: 174170

SHEET NUMBER: 4.1



7/9/2021 3:31:55 PM

C:\Bent Projects\174170-20-Aegis San Rafael\174170-20-Aegis San Rafael - Architect

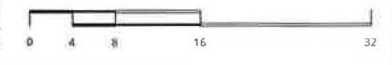


Exhibit 7

1  
10.0

2  
10.0

**1 L3 FLOOR PLAN**  
1/8" = 1'-0"



**NOT FOR CONSTRUCTION**



38 NORTHWEST DAVIS, SUITE 300  
PORTLAND, OR 97209  
503.245.7100

1505 5TH AVE, SUITE 300  
SEATTLE, WA 98101  
206.576.1600

1014 HOWARD STREET  
SAN FRANCISCO, CA 94103  
415.252.7063

© ANKROM MOISAN ARCHITECTS, INC.

**AEGIS SAN RAFAEL**  
800 MISSION AVENUE SAN RAFAEL CA 94901

ASC SAN RAFAEL LLC

REVISION	DATE	REASON FOR ISSUE

L3 FLOOR PLAN

DRB

DATE: JULY 9, 2021      PROJECT NUMBER: 174170  
SHEET NUMBER

4.2

7/8/2021 3:31:56 PM  
 C:\Bent\Projects\174170-Adapt\_San\_Rafael\174170-20-Adapt\_San\_Rafael\_moodle.dwg



**NOT FOR CONSTRUCTION**



38 NORTHWEST DAVIS, SUITE 300  
 PORTLAND, OR 97209  
 503.245.7100  
 1505 5TH AVE, SUITE 300  
 SEATTLE, WA 98101  
 206.576.1600  
 1014 HOWARD STREET  
 SAN FRANCISCO, CA 94103  
 415.252.7063  
 © ANKROM MOISAN ARCHITECTS, INC.

**AGIS SAN RAFAEL**  
 800 MISSION AVENUE SAN RAFAEL CA 94901

ASC SAN RAFAEL LLC

REVISION	DATE	REASON FOR ISSUE

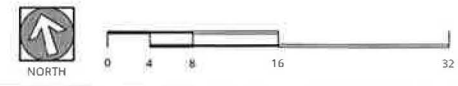
L4 FLOOR PLAN

DRB

DATE JULY 9, 2021	PROJECT NUMBER 174170
----------------------	--------------------------

SHEET NUMBER  
**5.1**

**1 L4 FLOOR PLAN**  
1/8" = 1'-0"

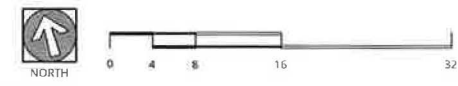


C:\Bent Project\174170\_20\_Aegis San Rafael\174170\_20\_Aegis San Rafael.dwg  
 7/9/2021 4:56:53 PM



Exhibit 7

**1 L5 FLOOR PLAN**  
1/8" = 1'-0"



**NOT FOR CONSTRUCTION**



38 NORTHWEST DAVIS, SUITE 300  
PORTLAND, OR 97209  
503.245.7100

1505 5TH AVE, SUITE 300  
SEATTLE, WA 98101  
206.576.1600

1014 HOWARD STREET  
SAN FRANCISCO, CA 94103  
415.252.7063

© ANKROM MOISAN ARCHITECTS, INC.

**AEGIS SAN RAFAEL**  
800 MISSION AVENUE SAN RAFAEL CA 94901

ASC SAN RAFAEL LLC

REVISION	DATE	REASON FOR ISSUE

L5 FLOOR PLAN

DRB

DATE: JULY 9, 2021 PROJECT NUMBER: 174170

SHEET NUMBER: 6.1



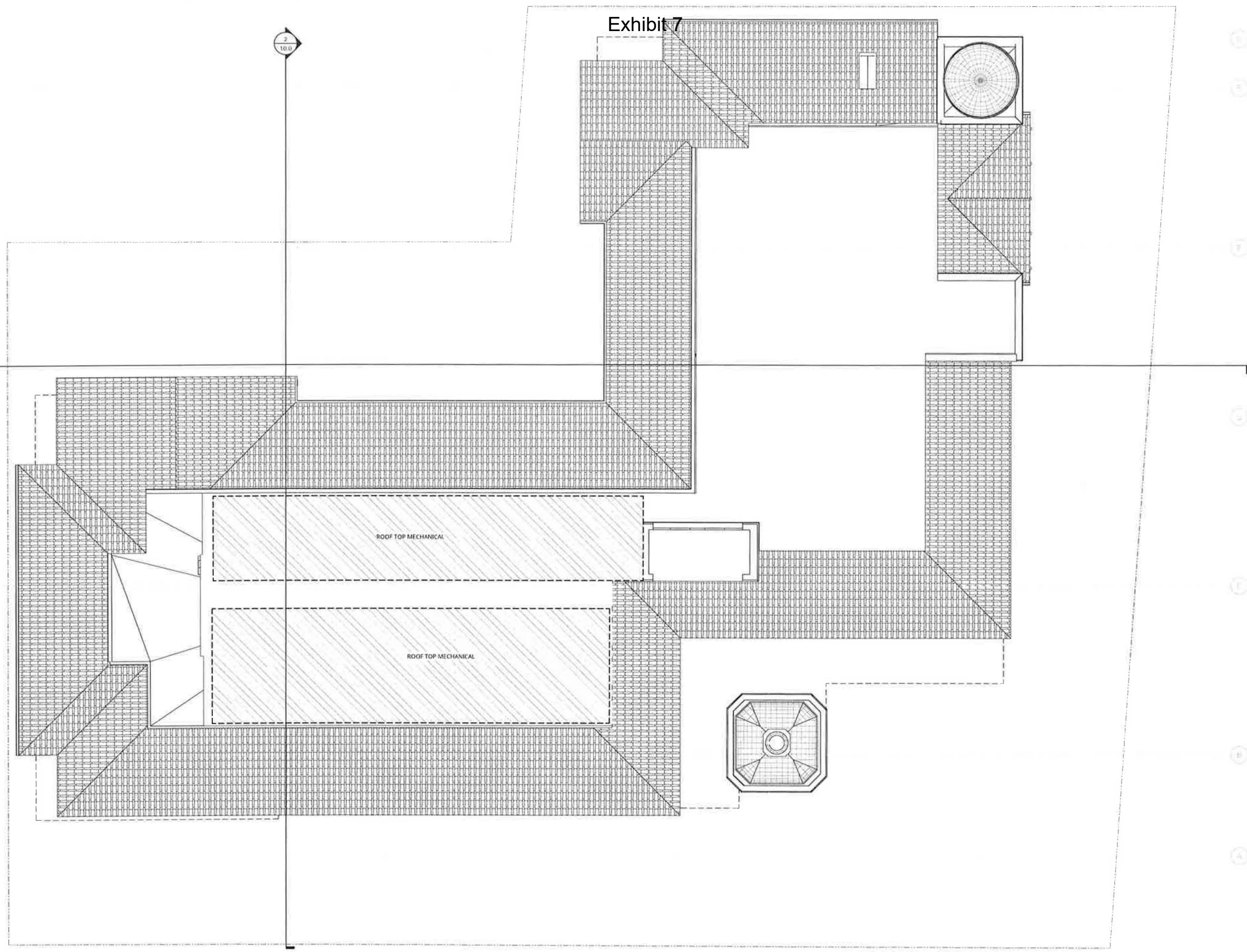
7/8/2021 3:31:58 PM

C:\\_sheet Projects\174170-AEGIS San Rafael\174170-AEGIS San Rafael - 10000.dwg

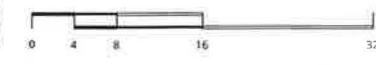
1  
10.0

2  
10.0

Exhibit 7



**1 ROOF PLAN**  
1/8" = 1'-0"



**NOT FOR  
CONSTRUCTION**



38 NORTHWEST DAVIS, SUITE 300  
PORTLAND, OR 97209  
503.245.7100

1505 5TH AVE, SUITE 300  
SEATTLE, WA 98101  
206.576.1600

1014 HOWARD STREET  
SAN FRANCISCO, CA 94103  
415.252.7063

© ANKROM MOISAN ARCHITECTS, INC.

**AEGIS SAN RAFAEL**  
800 MISSION AVENUE SAN RAFAEL CA 94901

ASC SAN RAFAEL LLC

REVISION	DATE	REASON FOR ISSUE

ROOF PLAN

DRB

DATE JULY 9, 2021	PROJECT NUMBER 174170
SHEET NUMBER	

**7.1**

7/23/2021 8:43:20 AM

### Exhibit 7

**NOT FOR  
CONSTRUCTION**



38 NORTHWEST DAVIS, SUITE 300  
PORTLAND, OR 97209  
503.245.7100

1505 5TH AVE, SUITE 300  
SEATTLE, WA 98101  
206.576.1600

1014 HOWARD STREET  
SAN FRANCISCO, CA 94103  
415.252.7063

© ANKROM MOISAN ARCHITECTS, INC.

**AEGIS SAN RAFAEL**  
800 MISSION AVENUE SAN RAFAEL CA 94901

ASC SAN RAFAEL LLC



VIEW FROM INTERSECTION - MID DAY



VIEW FROM INTERSECTION - NIGHT TIME



VIEW FROM SOUTHWEST

REVISION	DATE	REASON FOR ISSUE

EXTERIOR  
RENDERINGS

DRB

DATE JULY 9, 2021	PROJECT NUMBER 174170
----------------------	--------------------------

SHEET NUMBER

C:\Bentley\Projects\174170-20-Aegis San Rafael\174170-20-Aegis San Rafael.mxd

Exhibit 7



1 EAST ELEVATION - PROPOSED DESIGN  
1/8" = 1'-0"



2 SOUTH ELEVATION - PROPOSED DESIGN  
1/8" = 1'-0"

NOT FOR CONSTRUCTION



38 NORTHWEST DAVIS, SUITE 300  
PORTLAND, OR 97209  
503.245.7100

1505 5TH AVE., SUITE 300  
SEATTLE, WA 98101  
206.576.1600

1014 HOWARD STREET  
SAN FRANCISCO, CA 94103  
415.252.7063

© ANKROM MOISAN ARCHITECTS, INC.

REGIS SAN RAFAEL  
800 MISSION AVENUE SAN RAFAEL CA 94901

ASC SAN RAFAEL LLC

REVISION	DATE	REASON FOR ISSUE

EXTERIOR ELEVATIONS

DRB

DATE JULY 9, 2021	PROJECT NUMBER 174170
SHEET NUMBER	

8.1

Exhibit 7



1 EAST ELEVATION - DRB IN MAY 2021  
1/16" = 1'-0"



SOUTH ELEVATION - DRB IN MAY 2021  
1/16" = 1'-0"



2 EAST ELEVATION - PROPOSED DRB DESIGN  
1/16" = 1'-0"



SOUTH ELEVATION - PROPOSED DRB DESIGN  
1/16" = 1'-0"

NOT FOR CONSTRUCTION



38 NORTHWEST DAVIS, SUITE 300  
PORTLAND, OR 97209  
503.245.7100

1505 5TH AVE, SUITE 300  
SEATTLE, WA 98101  
206.576.1600

1014 HOWARD STREET  
SAN FRANCISCO, CA 94103  
415.252.7063

© ANKROM MOISAN ARCHITECTS, INC.

AGIS SAN RAFAEL  
800 MISSION AVENUE SAN RAFAEL CA 94901

ASC SAN RAFAEL LLC

REVISION	DATE	REASON FOR ISSUE

EXTERIOR ELEVATIONS - DESIGN EVOLUTION  
DRB

DATE JULY 9, 2021	PROJECT NUMBER 174170
SHEET NUMBER	

7/9/2021 1:03:02 PM

C:\Bent.Projects\174170-20-Agri-San-Rafael\174170-Agri-San-Rafael.mxd

Exhibit 7



VIEW FROM SOUTHEAST



VIEW FROM NORTHEAST

**NOT FOR  
CONSTRUCTION**



38 NORTHWEST DAVIS, SUITE 300  
PORTLAND, OR 97209  
503.245.7100

1505 5TH AVE, SUITE 300  
SEATTLE, WA 98101  
206.576.1600

1014 HOWARD STREET  
SAN FRANCISCO, CA 94103  
415.252.7063

© ANKROM MOISAN ARCHITECTS, INC.

**AEGIS SAN RAFAEL**  
800 MISSION AVENUE SAN RAFAEL CA 94901

ASC SAN RAFAEL LLC

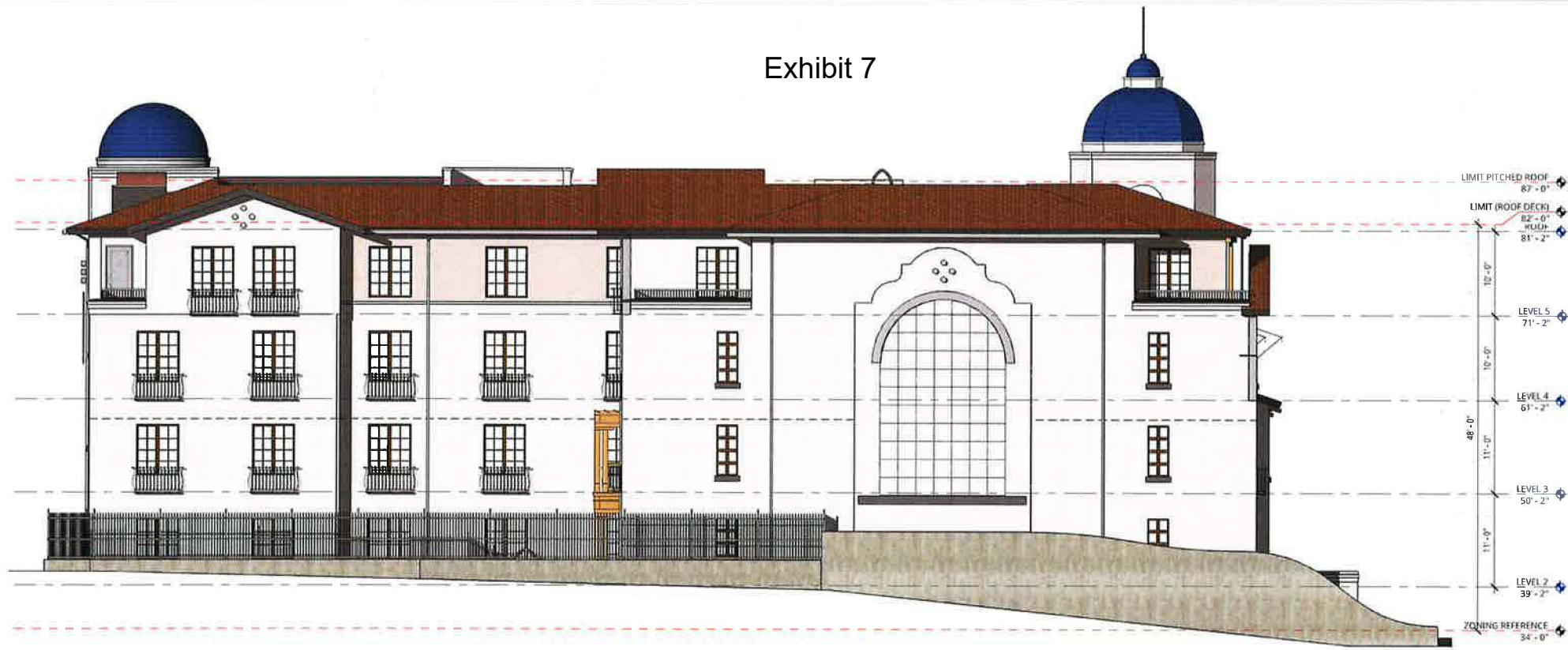
REVISION	DATE	REASON FOR ISSUE

EXTERIOR  
RENDERINGS

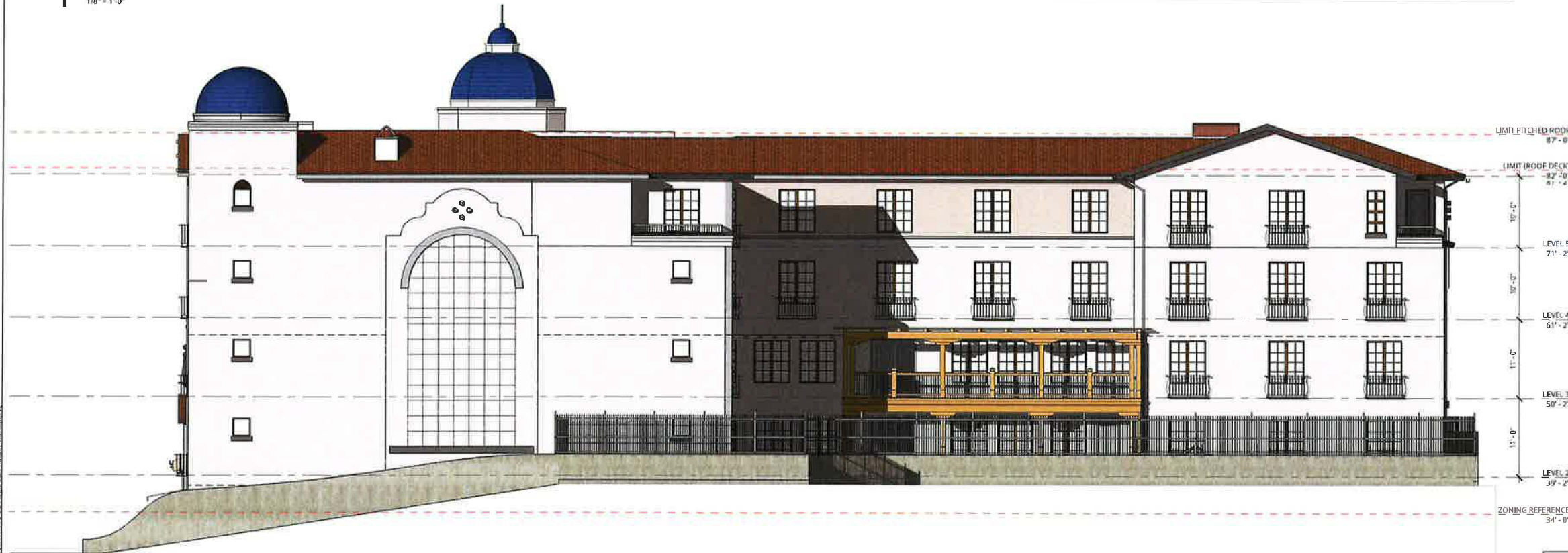
DRB

DATE JULY 9, 2021	PROJECT NUMBER 174170
SHEET NUMBER	

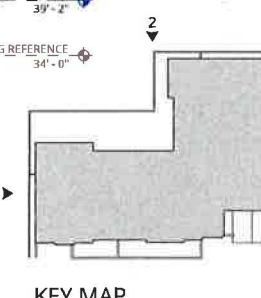
Exhibit 7



1 WEST ELEVATION - PROPOSED  
1/8" = 1'-0"



2 NORTH ELEVATION - PROPOSED  
1/8" = 1'-0"



KEY MAP

NOT FOR  
CONSTRUCTION



38 NORTHWEST DAVIS, SUITE 300  
PORTLAND, OR 97209  
503.245.7100

1505 5TH AVE, SUITE 300  
SEATTLE, WA 98101  
206.576.1600

1014 HOWARD STREET  
SAN FRANCISCO, CA 94103  
415.252.7063  
© ANKROM MOISAN ARCHITECTS, INC.

AEGIS SAN RAFAEL  
800 MISSION AVENUE SAN RAFAEL CA 94901

ASC SAN RAFAEL LLC

REVISION	DATE	REASON FOR ISSUE

EXTERIOR  
ELEVATIONS

DRB

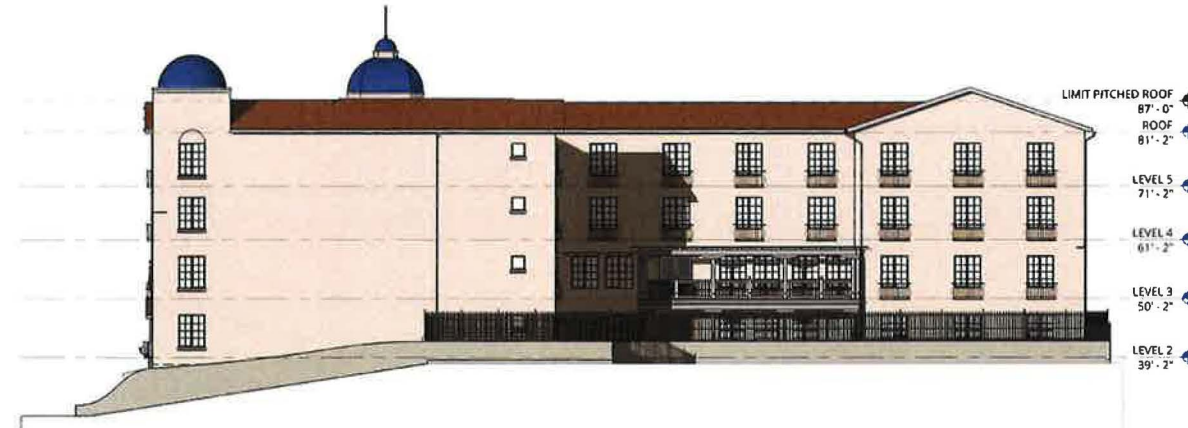
DATE: JULY 9, 2021 PROJECT NUMBER: 174170  
SHEET NUMBER

9.1

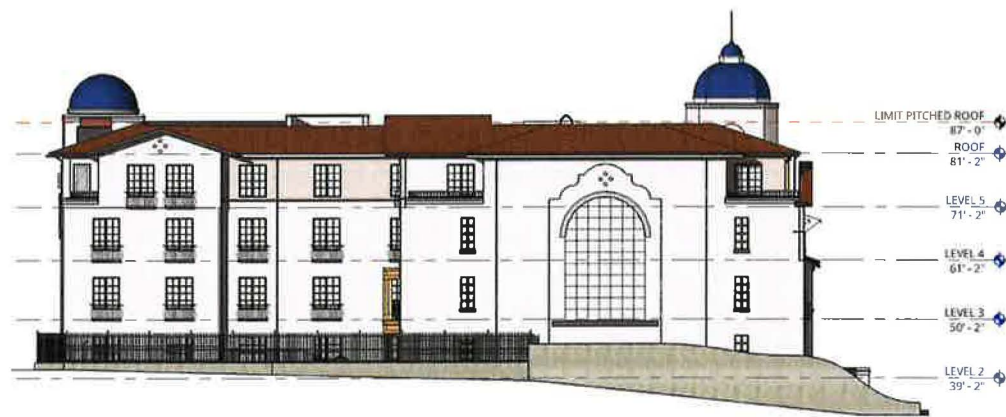
Exhibit 7



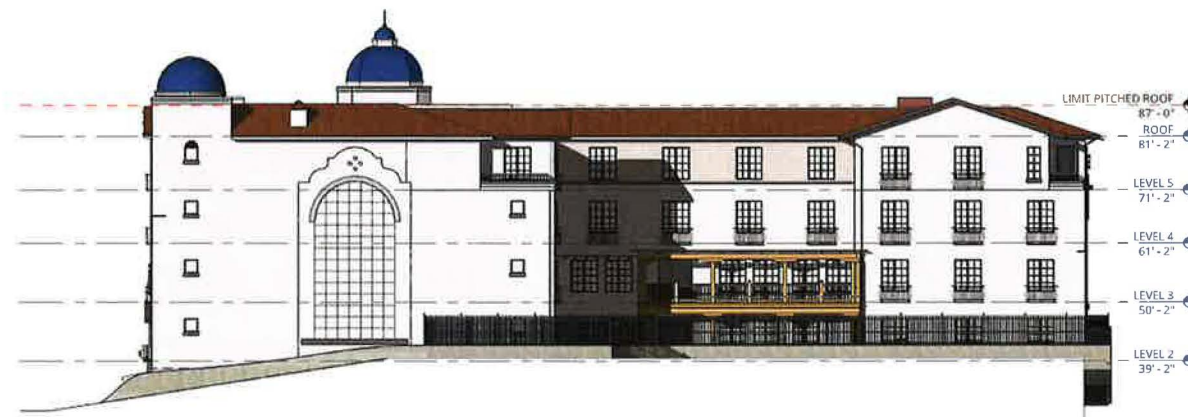
1 WEST ELEVATION - DRB IN MAY 2021  
1/16" = 1'-0"



NORTH ELEVATION - DRB IN MAY 2021  
1/16" = 1'-0"



2 WEST ELEVATION - PROPOSED DRB DESIGN  
1/16" = 1'-0"



NORTH ELEVATION - PROPOSED DRB DESIGN  
1/16" = 1'-0"

**NOT FOR  
CONSTRUCTION**



38 NORTHWEST DAVIS, SUITE 300  
PORTLAND, OR 97209  
503.245.7100

1505 5TH AVE, SUITE 300  
SEATTLE, WA 98101  
206.576.1600

1014 HOWARD STREET  
SAN FRANCISCO, CA 94103  
415.252.7063

© ANKROM MOISAN ARCHITECTS, INC.

**AEGIS SAN RAFAEL**  
800 MISSION AVENUE SAN RAFAEL CA 94901

ASC SAN RAFAEL LLC

REVISION	DATE	REASON FOR ISSUE

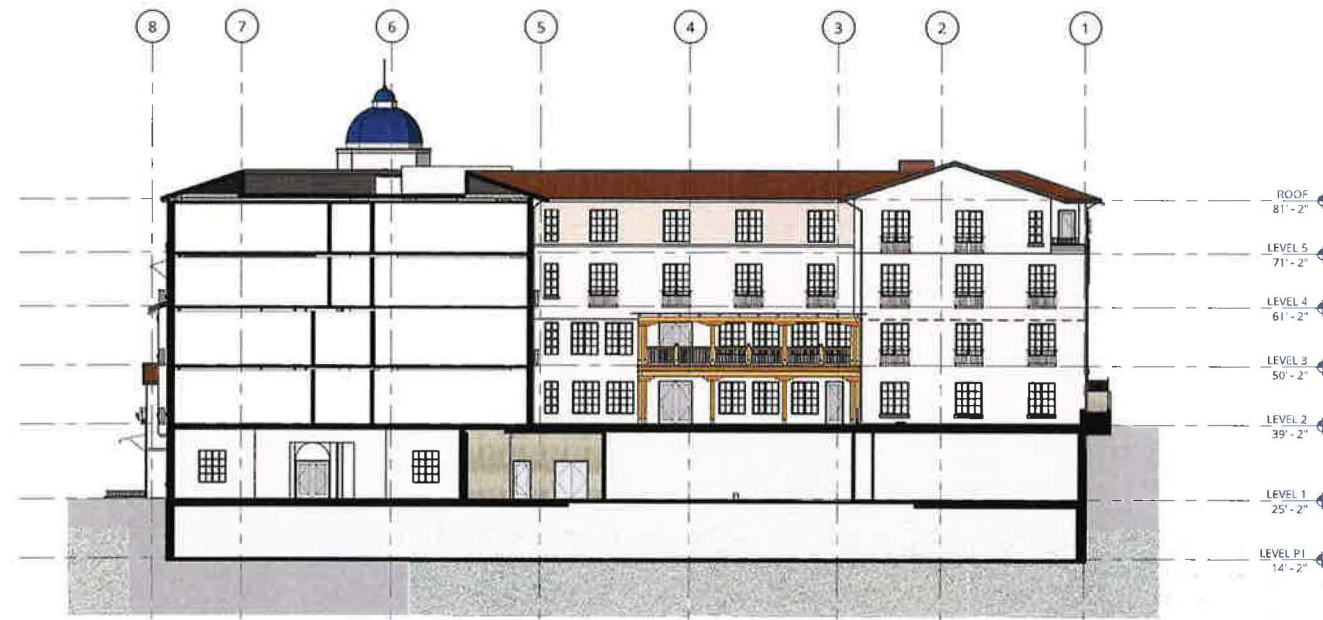
EXTERIOR  
ELEVATIONS -  
DESIGN EVOLUTION  
DRB

DATE JULY 9, 2021	PROJECT NUMBER 174170
SHEET NUMBER	

7/8/2021 3:34:15 PM

Co. Revit Project 174170 - Aegis San Rafael 174170 - Aegis San Rafael - mchmccoy

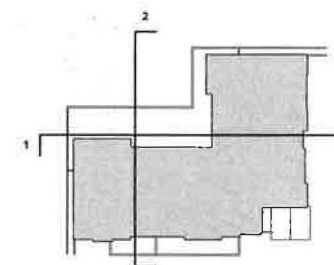
Exhibit 7



**1** BUILDING SECTION - WEST - EAST  
1/16" = 1'-0"



**2** BUILDING SECTION - NORTH - SOUTH  
1/16" = 1'-0"



KEY MAP

**NOT FOR  
CONSTRUCTION**



38 NORTHWEST DAVIS, SUITE 300  
PORTLAND, OR 97209  
503.245.7100

1505 5TH AVE. SUITE 300  
SEATTLE, WA 98101  
206.576.1600

1014 HOWARD STREET  
SAN FRANCISCO, CA 94103  
415.252.7063

© ANKROM MOISAN ARCHITECTS, INC.

**AEGIS SAN RAFAEL**  
800 MISSION AVENUE SAN RAFAEL CA 94901

ASC SAN RAFAEL LLC

REVISION	DATE	REASON FOR ISSUE

SECTIONS

DRB

DATE JULY 9, 2021	PROJECT NUMBER 174170
SHEET NUMBER	

**10.0**

C:\Users\jroberts\OneDrive\Documents\174170\_20-Arches San Rafael\174170\_20-Arches San Rafael.dwg 20:46:34 07/09/2021 3:54:38 PM



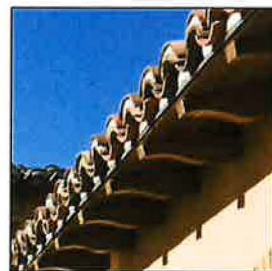
Exhibit 7



1. TILE ROOF



2. BLUE ROOF TILE



3. TIMBER DETAILING



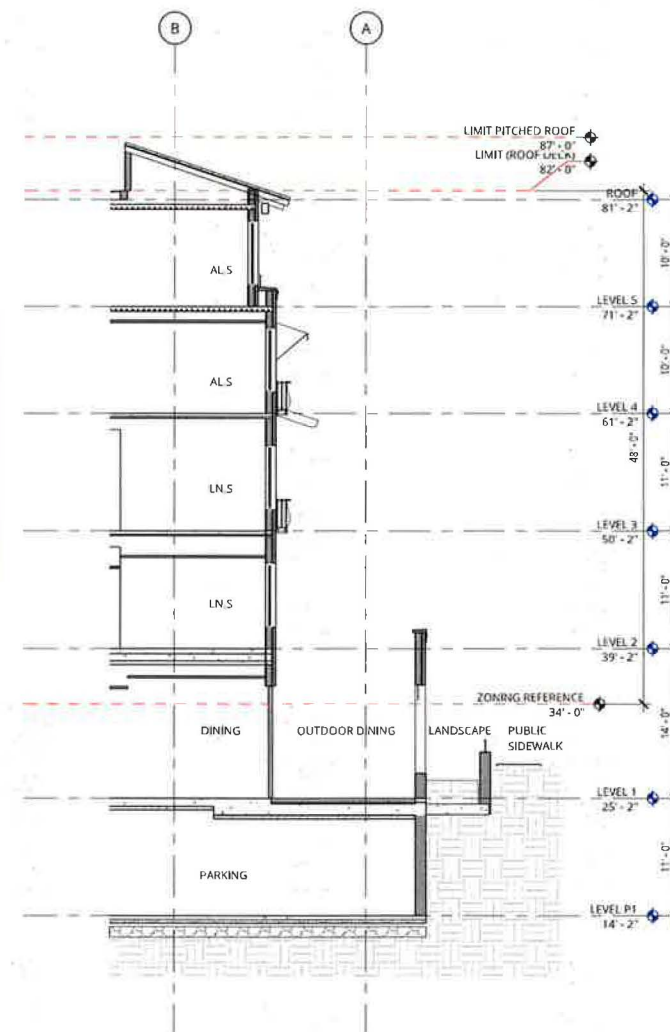
4. WROUGHT IRON



5. STUCCO



6. FABRIC AWNINGS



1 WALL SECTION  
1/8" = 1'-0"

NOT FOR  
CONSTRUCTION



38 NORTHWEST DAVIS, SUITE 300  
PORTLAND, OR 97209  
503.245.7100

1505 5TH AVE, SUITE 300  
SEATTLE, WA 98101  
206.576.1600

1014 HOWARD STREET  
SAN FRANCISCO, CA 94103  
415.252.7063

© ANKROM MOISAN ARCHITECTS, INC.

AEGIS SAN RAFAEL  
800 MISSION AVENUE SAN RAFAEL CA 94901

ASC SAN RAFAEL LLC

REVISION	DATE	REASON FOR ISSUE

DETAILS

DRB

DATE  
JULY 9, 2021

PROJECT NUMBER  
174170

SHEET NUMBER

11.0

7/9/2021 1:03:20 PM

C:\Bent Project\174170-Aegis San Rafael\174170-00-Aegis San Rafael - north.rvt

2/27/2021 8:59:04 PM  
C:\Users\Project\174170\_17\_Aegis\_San\_Rafael\174170\_17\_Aegis\_San\_Rafael\_sansrc.rvt

### Exhibit 7



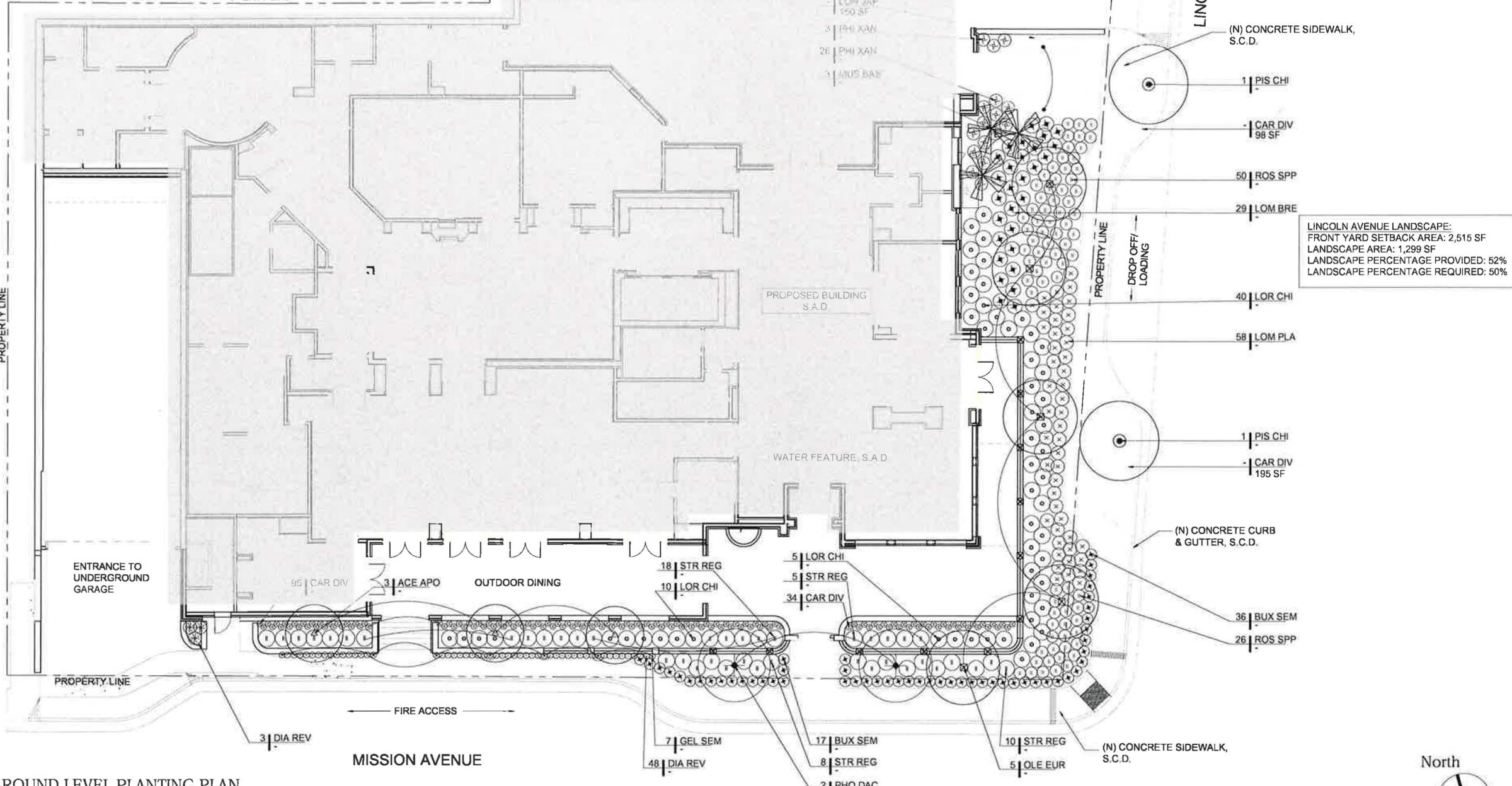
MOSAIC TILE SCHEME FOUNTAIN



TERRA COTTA STYLED PAVER AT TERRACE



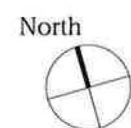
PROPERTY LINE



LINCOLN AVENUE LANDSCAPE:  
FRONT YARD SETBACK AREA: 2,515 SF  
LANDSCAPE AREA: 1,299 SF  
LANDSCAPE PERCENTAGE PROVIDED: 52%  
LANDSCAPE PERCENTAGE REQUIRED: 50%

MISSION AVENUE LANDSCAPE:  
SIDE YARD SETBACK AREA: 1,813 SF  
LANDSCAPE AREA: 910 SF  
LANDSCAPE PERCENTAGE PROVIDED: 50%  
LANDSCAPE PERCENTAGE REQUIRED: 50%

NOTE:  
1. SEE SHEET 16 FOR PLANT MATERIAL SCHEDULE & IMAGERY.



## 01 GROUND LEVEL PLANTING PLAN



38 NORTHWEST DAVIS, SUITE 300  
PORTLAND, OR 97209  
503 245 7100  
  
1505 5TH AVE, SUITE 300  
SEATTLE, WA 98101  
206 576 1600  
  
1014 HOWARD STREET  
SAN FRANCISCO, CA 94103  
415 252 7063

Landscape Architecture  
232 St. Francis Drive Blvd  
San Anselmo, CA 94960  
Phone: (415) 721 0905  
Fax: (415) 721 0910  
Email: info@studiogreen.com  
www.studiogreen.com

AEGIS SAN RAFAEL  
800 MISSION AVENUE SAN RAFAEL, CA 94549  
  
ASC SAN RAFAEL LLC

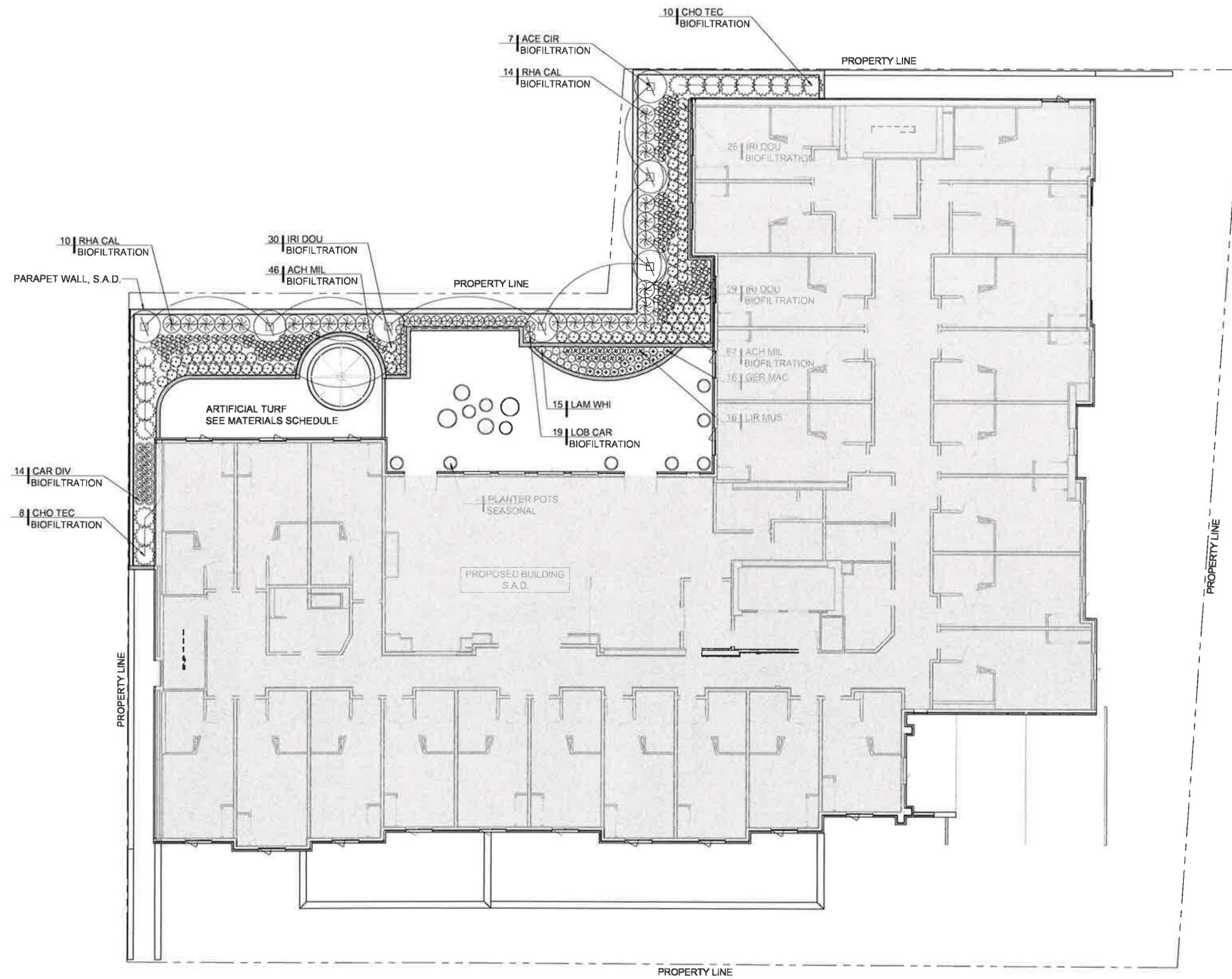
REVISION	DATE	REASON FOR ISSUE

### GROUND LEVEL PLANTING PLAN

### PLANNING

DATE: JULY 9, 2021  
PROJECT NUMBER: 174170

Exhibit 7



PEDESTAL PAVING SYSTEM- NEUTRAL COLORS TO COMPLIMENT THE MISSION STYLE OF THE ARCHITECTURE



WOOD TRELLIS WITH BRONZE HARDWARE



38 NORTHWEST DAVIS, SUITE 300  
PORTLAND, OR 97209  
503 245 7100  
1505 5TH AVE, SUITE 300  
SEATTLE, WA 98101  
206 576 1600  
1014 HOWARD STREET  
SAN FRANCISCO, CA 94103  
415 252 7063

Landscape Architecture  
222 St. Francis Drive Blvd  
San Anselmo, CA 94960  
Phone: (415) 721 9905  
Fax: (415) 721 0910  
Email: info@studiogreen.com  
www.studiogreen.com

AEGIS SAN RAFAEL  
800 MISSION AVENUE SAN RAFAEL CA 94549  
ASC SAN RAFAEL LLC

REVISION	DATE	REASON FOR ISSUE

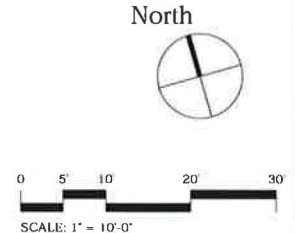
LEVEL 2  
PLANTING PLAN

PLANNING

DATE: JULY 9, 2021 PROJECT NUMBER: 174170

01 LEVEL 2 PLANTING PLAN

NOTE:  
1. SEE SHEET 16 FOR PLANT MATERIAL SCHEDULE & IMAGERY.



C:\Users\Project\174170\17\_Ancrom\_San\_Rafael\174170\_17\_Ancrom\_San\_Rafael\_SitePlan.dwg

7/9/2021 10:04:31 AM  
 C:\Bent Projects\17170-20\Drawings\San Rafael\17170-20-Drawings\San Rafael\17170-20-Drawings\San Rafael - materials.rvt



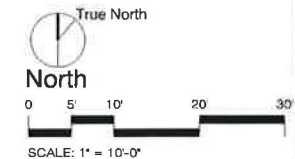
Exhibit 7

1  
10.0

2  
10.0

**01 FIFTH FLOOR MATERIALS PLAN**  
1/8" = 1'-0"

NOTE:  
 1. SEE SHEET 15 & 16 FOR PLANTING SCHEDULE & PLANT IMAGERY.  
 2. SEE SHEET 17 FOR PLANTING DETAILS ASSOCIATED TO ALL FLOOR LEVELS.



**NOT FOR CONSTRUCTION**



38 NORTHWEST DAVIS, SUITE 300  
 PORTLAND, OR 97209  
 503.245.7100

1505 5TH AVE, SUITE 300  
 SEATTLE, WA 98101  
 206.576.1600

1014 HOWARD STREET  
 SAN FRANCISCO, CA 94103  
 415.252.7063

© ANKROM MOISAN ARCHITECTS, INC.



Landscape Architecture  
 232 St Francis Drake Blvd  
 San Anselmo, CA 94960  
 Phone: (415) 721-0905  
 Fax: (415) 721-0910  
 Email: info@studiogreen.com  
 www.studiogreen.com

**AEGIS SAN RAFAEL**  
 800 MISSION AVENUE SAN RAFAEL CA 94549

ASC SAN RAFAEL LLC

REVISION	DATE	REASON FOR ISSUE
	09.17.19	LANDSCAPE LIGHTING

**MATERIALS PLAN**

SHEET TITLE

PLANNING

DATE: JULY 9, 2021 PROJECT NUMBER: 164890

SHEET NUMBER: 14

Exhibit 7

PLANT MATERIAL SCHEDULE - AEGIS LIVING

ABBREV	BOTANICAL	COMMON NAME	SIZE	SPACING	MATURE SIZE/ PLANT TYPE	WUCOLS RATING
<b>TREES</b>						
CAR BET	CARPINUS BETULUS 'FASTIGIATA'	AMERICAN HORNBEAM	24" BOX		"BLEACHED"/DECIDUOUS	MEDIUM
MUS BAS	MUSA BASJOO	JAPANESE BANANA	25 GAL	4' O.C.	12' HERBACEOUS	MEDIUM
OLE EUR	OLEA EUROPAEA 'SWAN HILL'	SWAN HILL OLIVE TREE	36" BOX		15'+/EVERGREEN	LOW
PHO DAC	PHOENIX DACTYLIFERA	DATE PALM	10' BROWN TRUNK	30' O.C.	30'+ /EVERGREEN	MEDIUM
PIS CHI	PISTACIA CHINENSIS	CHINESE PISTACHE	36" BOX	PER PLANS	30' / DECIDUOUS	LOW
<b>SHRUBS &amp; GRASSES</b>						
ALS SPP.	ALSTROEMERIA SPECIES	PERUVIAN LILY	1 GAL	1'		
ANG SPP.	ANIGOZANTHOS SPECIES	KANGAROO PAWS	1 GAL	2'-0"		
AST SPP.	ASTER SPECIES	ASTER	1 GAL	1'-0"		
BUX SEM	BUXUS SEMPERVIRENS 'SUFFRUTICOSA'	DWARF BOXWOOD	1 GAL	1'-0"	2' / EVERGREEN	MEDIUM
BUX TOP	BUXUS SEMPERVIRENS 'TOPIARY'	TOPIARY BOXWOOD	15 GAL +	-		
CAR DIV	CAREX DIVULSA	BERKELEY SEDGE	1 GAL	1'-8"	12' / EVERGREEN	VERY LOW
DIA REV	DIANELLA REVOLUTA 'LITTLE REV'	LITTLE REV FLAX LILY	1 GAL	1'-6"	18' / EVERGREEN	LOW
ERY SPP.	ERYSIMUM 'BOWLES'S MAUVE'	WALLFLOWER	1 GAL	1'-6"		
IRI SPP.	IRIS SPECIES	BEARDED IRIS	1 GAL	1'-6"		
LIR GIG	LIRIOPE GIGANTEA	GIANT LILY TURF	1 GAL	1'-6"	18" / EVERGREEN	MEDIUM
LIR MUS	LIRIOPE MUSCARI	BLUE LILY TURF	1 GAL	1'-0"	12" / EVERGREEN	MEDIUM
LOM LON	LOMANDRA LONGIFOLIA 'BREEZE'	DWARF MAT RUSH	1 GAL	2'-6"	2' / EVERGREEN	LOW
LON JAP	LONICERA JAPONICA	JAPANESE HONEYSUCKLE	1 GAL	3'-0"	2' / EVERGREEN	MEDIUM
LOR CHI	LOROPETALUM CHINENSE	FRINGE FLOWER	5 GAL	4'-6"	3'-6' / EVERGREEN	LOW
LYC COR	LYCHNIS CORONARIA	ROSE CAMPION	1 GAL	1'-0"		
NIC SPP.	NICOTIANA SPECIES	TOBACCO PLANT	1 GAL	1'-0"		
PAP BOL	PAPAVER ORIENTALE 'BOLERO'	ORIENTAL POPPY	1 GAL	1'-0"		
PAP BUR	PAPAVER ORIENTALE 'BURNING HAERT'	ORIENTAL POPPY	1 GAL	1'-0"		
PHI XAN	PHILODENDRON XANADU	PHILODENDRON	1 GAL	3'-0"	2' / EVERGREEN	MEDIUM
ROS SPP.	ROSA SPECIES	GROUNDCOVER CARPET ROSE 'PINK'	1 GAL	3'-0"	18" TO 2' / SEMI-EVERGREEN	MEDIUM
STR REG	STRELITZIA REGINAE	BIRD OF PARADISE	5 GAL	4'	4' TO 6' / EVERGREEN	MEDIUM
TEU LUC	TEUCRIUM X LUCIDRYS	GERMANDER	1 GAL	1'		
<b>VINES</b>						
GEL SEM	GELSEMIUM SEMPERVIRENS 'MARGARITA'	HARDY CAROLINA JASMINE	1 GAL	4'-0"	6'-8' TRAILING/EVERGREEN	MEDIUM

BIO-FILTRATION PLANT SCHEDULE - AEGIS LIVING

ABBREV	BOTANICAL	COMMON NAME	SIZE	SPACING	MATURE SIZE/ PLANT TYPE	WUCOLS RATING
<b>BIO-FILTRATION</b>						
ACE CIR	ACER CIRCINATUM	VINE MAPLE	5 GAL	-	DECIDUOUS	MEDIUM
ACH MIL	ACHILLEA MILLEFOLIUM	COMMON YARROW	1 GAL	1'-0"	PERENNIAL	MEDIUM
CHO TEC	CHONDROPETALUM TECTORUM	SMALL CAPE RUSH	1 GAL	2'-0"	2' / EVERGREEN	LOW
CAR DIV	CAREX DIVULSA	BERKELEY SEDGE	1 GAL	1'-6"	EVERGREEN	LOW
FRA CHI	FRAGARIA CHILOENSIS	BEACH STRAWBERRY	1 GAL	1'	EVERGREEN PERENNIAL	MEDIUM
IRI CAN	IRIS DOUGLASIANA 'CANYON SNOW'	DOUGLAS IRIS	1 GAL	1'-0"	PERENNIAL	MEDIUM
IRI DOU	IRIS DOUGLASIANA	DOUGLAS IRIS	1 GAL	1'	PERENNIAL	MEDIUM
LOB CAR	LOBELIA CARDINALIS	CARDINAL FLOWER	1 GAL	1'-0"		MED
RHA CAL	RHAMNUS CALIFORNICA 'EVE CASE'	COFFEEBERRY	5 GAL	4'-0"	EVERGREEN	LOW
ROS CAL	ROSA CALIFORNICA	CALIFORNIA WILD ROSE	1 GAL	1'	DECIDUOUS	MEDIUM

\*PLANT LIST PER THE MARIN COUNTY STORMWATER POLLUTION PREVENTION PROGRAM , BIORETENTION FACILITY PLANT MATRIX, JUNE, 2014

TYPICAL SEASONAL ANNUALS & PERENNIALS @ L2 & ROOF DECK PLANTERS

ABBREV	BOTANICAL	COMMON NAME	SIZE	SPACING	MATURE SIZE/ PLANT TYPE	WUCOLS RATING
ALS SPP.	ALSTROEMERIA SPECIES	PERUVIAN LILY	1 GAL			
BAC SPP.	BACOPA SPECIES	BACOPA	1 GAL			
DIG SPP.	DIGITALIS SPECIES	COMMON FOXGLOVE	1 GAL			
LOB SPP.	LOBELIA SPECIES	LOBELIA	1 GAL			
PAP BOL	PAPAVER ORIENTALE 'BOLERO'	ORIENTAL POPPY	1 GAL			
PAP BUR	PAPAVER ORIENTALE 'BURNING HEART'	ORIENTAL POPPY	1 GAL			
PRI SPP.	PRIMULA SPECIES	PRIMROSE	1 GAL			
VIO SPP.	VOILA SPECIES	VIOLA	1 GAL			

NOT FOR CONSTRUCTION



Ankrom Moisan

38 NORTHWEST DAVIS, SUITE 300  
PORTLAND, OR 97209  
503.245.7100

1505 5TH AVE, SUITE 300  
SEATTLE, WA 98101  
206.576.1600

1014 HOWARD STREET  
SAN FRANCISCO, CA 94103  
415.252.7063

© ANKROM MOISAN ARCHITECTS, INC.



Landscape Architecture  
232 St Francis Drive Blvd,  
San Anselmo, CA 94960  
Phone: (415) 721-0905  
Fax: (415) 721-0910  
Email: info@studiogreen.com  
www.studiogreen.com

AEGIS SAN RAFAEL  
800 MISSION AVENUE SAN RAFAEL CA 94549

ASC SAN RAFAEL LLC

REVISION	DATE	REASON FOR ISSUE

PLANT MATERIAL SCHEDULE

SHEET TITLE

PLANNING

DATE JULY 9, 2021	PROJECT NUMBER 164890
SHEET NUMBER	

# PLANT CHARACTER IMAGERY

## Exhibit 7

### TREES & PALMS



CARPINUS BETULUS 'FASTIGIATA'    MUSA BASJOO    PHOENIX DACTYLIFERA    PISTACIA CHINENSIS (STREET TREE ALONG LINCOLN)    OLEA EUROPAEA

### SHRUBS & GROUNDCOVER



BUXUS SEMPERVIRENS 'SUFFRUTICOSA'    BUXUS SEMPERVIRENS 'TOPIARY'    CAREX DIVULSA    DIANELLA REVOLUTA 'LITTLE REV'    LIRIOPE GIGANTEA    LIRIOPE MUSCARI  
 LOMANDRA LONGIFOLIA 'BREEZE'    LONICERA JAPONICA    LOROPETALUM CHINENSE    PHILODENDRON XANADU    ROSA SPECIES    STRELITZIA REGINAE    TEUCRIUM X LUCIDRYS



ALSTROEMERIA SPECIES    ANIGOZANTHOS SPECIES    ASTER SPECIES    ERYSIMUM 'BOWLES' MAUVE'    IRIS SPECIES    LYCHNIS CORONARIA    NICOTIANA SPECIES    PAPAVER ORIENTALE 'BOLERO'    PAPAVER ORIENTALE 'BURNING HAERT'

### VINES



GELSEMIUM SEMPERVIRENS 'MARGARITA'

### BIO-FILTRATION PLANT MATERIAL



ACER CIRCINATUM    ACHILLEA MILLEFOLIUM    CHONDROPETALUM TECTORUM    CAREX DIVULSA    FRAGARIA CHILOENSIS    IRIS DOUGLASIANA 'CANYON SNOW'    IRIS DOUGLASIANA    LOBELIA CARDINALIS    RHAMNUS CALIFORNICA 'EVE CASE'    ROSA CALIFORNICA

**NOT FOR CONSTRUCTION**



38 NORTHWEST DAVIS, SUITE 300  
 PORTLAND, OR 97209  
 503.245.7100  
 1505 5TH AVE, SUITE 300  
 SEATTLE, WA 98101  
 206.576.1600  
 1014 HOWARD STREET  
 SAN FRANCISCO, CA 94103  
 415.252.7063  
 © ANKROM MOISAN ARCHITECTS, INC.

**STUDIO GREEN**  
 Landscape Architecture  
 232 St Francis Drake Blvd  
 San Anselmo, CA 94960  
 Phone: (415) 721-9905  
 Fax: (415) 721-9919  
 Email: info@studiogreen.com  
 www.studiogreen.com

AEGIS SAN RAFAEL  
 800 MISSION AVENUE SAN RAFAEL CA 94549  
 ASC SAN RAFAEL LLC

REVISION	DATE	REASON FOR ISSUE

### PLANT MATERIAL IMAGERY

SHEET TITLE

PLANNING

DATE  
 JULY 9, 2021

PROJECT NUMBER  
 164890

SHEET NUMBER  
 16

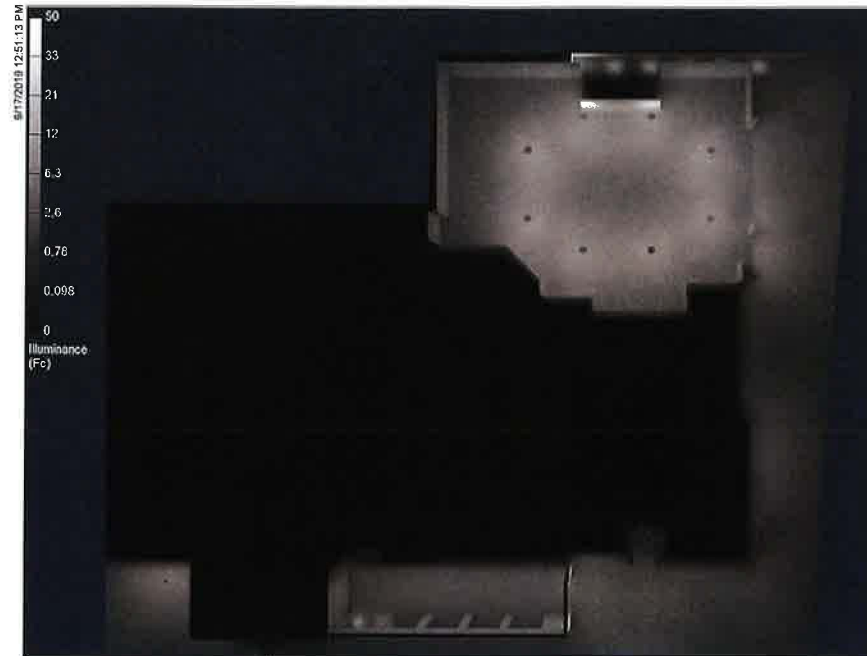
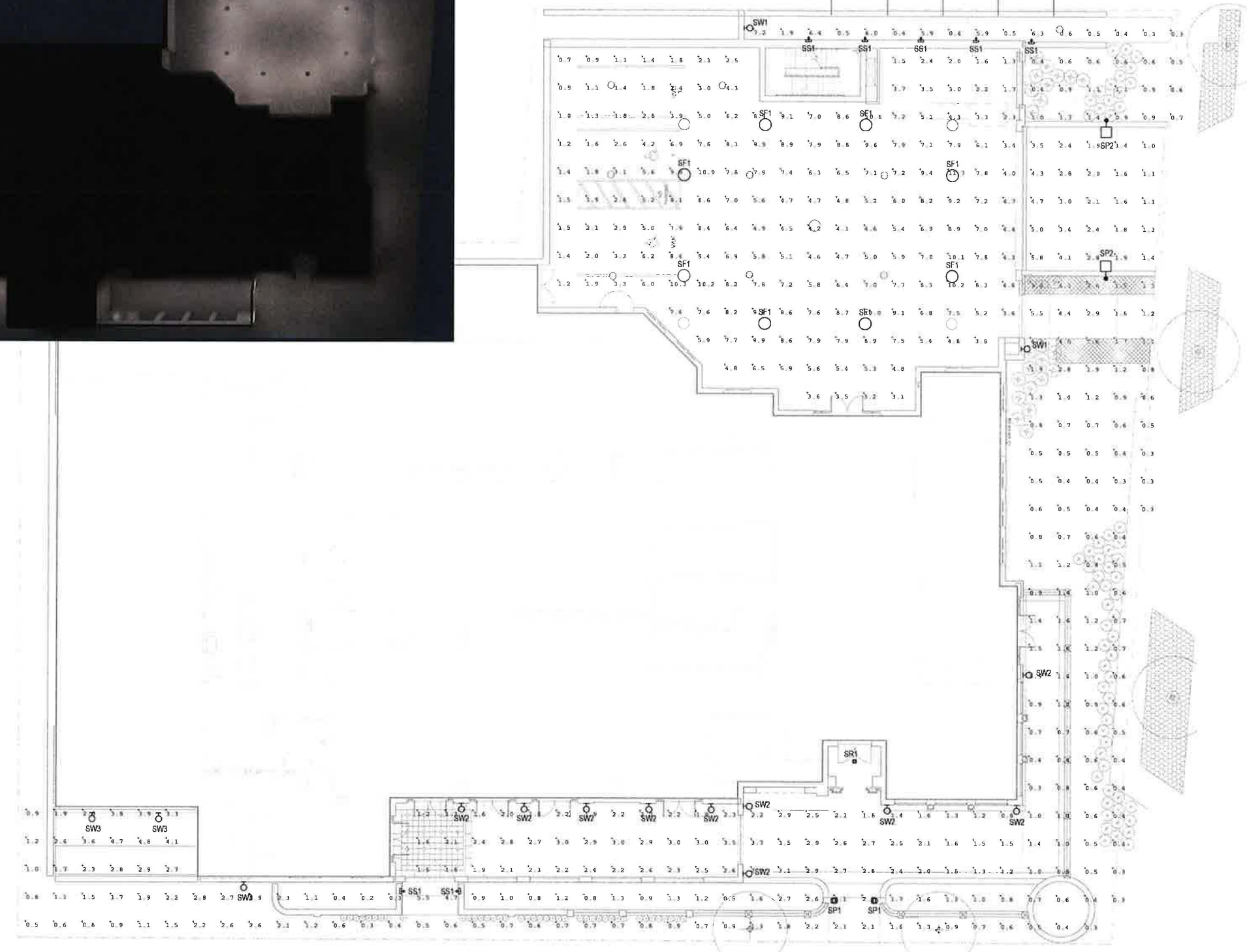


Exhibit 7



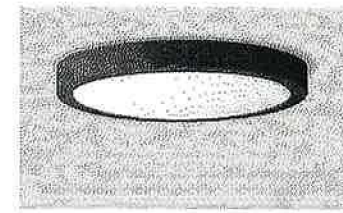
**SP1, SP2**  
30" AND 19" TALL DECORATIVE POLE-TOP LUMINAIRES WITH LED CANDELABRA BASE LAMPS IN WARM WHITE COLOR TEMPERATURE(2700k) AT MAIN ENTRY AND DRIVE ENTRY TO COVERED PARKING



**SS1**  
RECESSED STEPLIGHT AT PATHWAYS



**SW1, SW2**  
19" AND 30" TALL DECORATIVE WALL SCONCES WITH LED CANDELABRA BASE LAMPS IN WARM WHITE COLOR TEMPERATURE(2700k)



**SF1**  
CEILING MOUNTED LIGHTING FOR COVERED PARKING AREA



**SW3**  
WALL PACK FOR SECURITY AND EGRESS LIGHTING AT BUILDING EXITS

**1 SITE PLAN - LIGHTING**  
SCALE: 1" = 10'-0"

**NOT FOR CONSTRUCTION**



38 NORTHWEST DAVIS, SUITE 300  
PORTLAND, OR 97209  
503.245.7100  
1505 5TH AVE. SUITE 300  
SEATTLE, WA 98101  
206.576.1600  
1014 HOWARD STREET  
SAN FRANCISCO, CA 94103  
415.252.7063

**GLUMAC**

engineers for a sustainable future  
1601 F 1st Ave, Suite 2210  
Seattle, WA 98101  
www.glumac.com  
T: 206.262.1010 F: 206.262.9655  
Project Manager: Adam Langberg  
Job No. 03.19.00126

**AEGIS SAN RAFAEL**  
800 MISSION AVENUE SAN RAFAEL CA 94901

ASC SAN RAFAEL LLC

REVISION	DATE	REASON FOR ISSUE

**SITE PLAN - LIGHTING**

PLANNING

DATE JULY 9, 2021	PROJECT NUMBER 174170
----------------------	--------------------------

SHEET NUMBER  
**17**

R:\14\_2020\19\_00126 Aegis San Rafael MEP Echno Narrative\174170-17-Aegis San Rafael MEP - x17.dwg



**SW4**  
TRELLIS-MOUNT DOWNLIGHT  
SCONCE



**SS1**  
RECESSED STEPLIGHT



**SW1**  
19" TALL DECORATIVE WALL  
SCONCES WITH LED  
CANDELABRA BASE LAMPS IN  
WARM WHITE COLOR  
TEMPERATURE(2700k)

**1 LEVEL 2 - FLOOR PLAN - LIGHTING**  
SCALE: 1/8" = 1'-0"

**NOT FOR  
CONSTRUCTION**



38 NORTHWEST DAVIS, SUITE 300  
PORTLAND, OR 97209  
503.245.7100  
1505 5TH AVE, SUITE 300  
SEATTLE, WA 98101  
206.578.1600  
1014 HOWARD STREET  
SAN FRANCISCO, CA 94103  
415.252.7083

**GLUMAC**  
engineers for a sustainable future

1621 First Ave., Suite 2210  
Seattle, WA 98101  
www.glumac.com  
T: 206.342.1010 F: 206.342.3965  
Project Manager: Adam Langberg  
Job No: 05.19.00129

**AEGIS SAN RAFAEL**  
800 MISSION AVENUE SAN RAFAEL CA 94901

ASC SAN RAFAEL LLC

REVISION	DATE	REASON FOR ISSUE

**LEVEL 2 FLOOR  
PLAN - LIGHTING  
PLAN**

PLANNING

DATE: JULY 9, 2021 PROJECT NUMBER: 174170

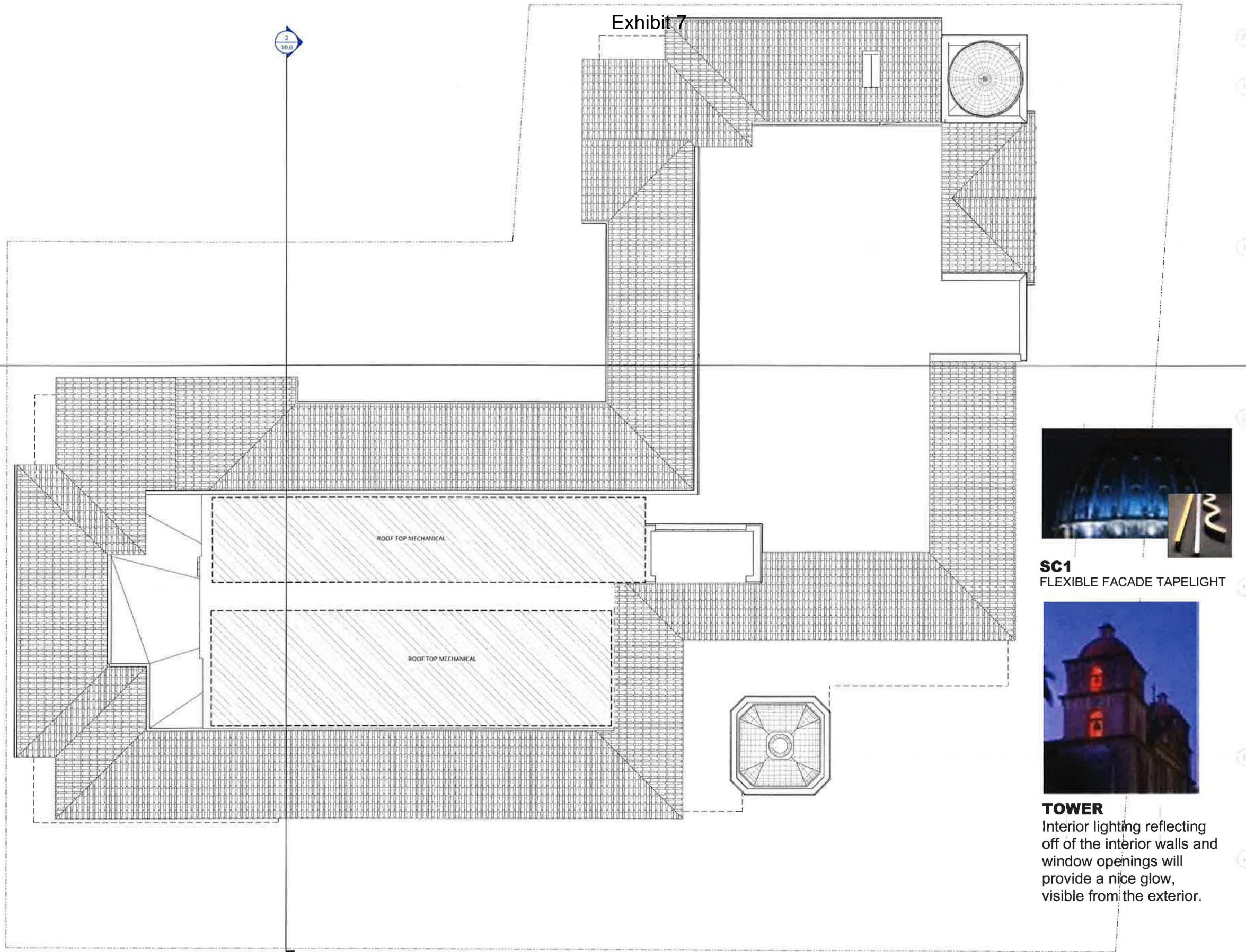
SHEET NUMBER: 18





07/20/21 11:45:32 AM

R:\300\_005\_19\_001\06\_Aegis\_San\_Rafael MEP\_Energy\_Namaste\174726-17\_Aegis\_San\_Rafael\_MEP\_v17.rvt



**1 ROOF - FLOOR PLAN - LIGHTING**  
SCALE: 1/8" = 1'-0"



**SC1**  
FLEXIBLE FACADE TAPELIGHT



**TOWER**  
Interior lighting reflecting off of the interior walls and window openings will provide a nice glow, visible from the exterior.

**NOT FOR CONSTRUCTION**



38 NORTHWEST DAVIS, SUITE 300  
PORTLAND, OR 97209  
503.245.7100

1505 5TH AVE, SUITE 300  
SEATTLE, WA 98101  
206.576.1600

1014 HOWARD STREET  
SAN FRANCISCO, CA 94103  
415.252.7063

© ANKROM MOISAN ARCHITECTS, INC.

**GLUMAC**

engineers for a sustainable future

1601 5th Ave. Suite 2210  
Seattle, WA 98101  
www.glumac.com  
T 206.282.1010 F 206.267.8855  
Project Manager: Adam Ljungberg  
Job No. 05.19.00126

**AEGIS SAN RAFAEL**  
800 MISSION AVENUE SAN RAFAEL CA 94901

ASC SAN RAFAEL LLC

REVISION	DATE	REASON FOR ISSUE

**OVERALL ROOF PLAN - LIGHTING PLAN**

PLANNING

DATE JULY 9, 2021	PROJECT NUMBER 174170
----------------------	--------------------------

SHEET NUMBER  
**19**





**REPORT TO DESIGN REVIEW BOARD**

**SUBJECT: 292 Fairhills Drive – Recommendation from Design Review Board on Environmental and Design Review Permit for a new 12” – 48”, 997 sq. ft. deck, including a request to reduce the front setback by one-half the required 20 ft. front setback (10ft.), and construction of approximately 78 ft. of 5 ft. retaining wall within the Hillside Development Overlay District; APN: 010-142-04; R20-H Zone; Samina Saude, Applicant; Tim Cornwell, Owner.**

**PROPERTY FACTS**

Location	General Plan Designation	Zoning Designation	Existing Land-Use	
<b>Project Site:</b>	<b>Hillside Residential (HR)</b>	<b>R20-H</b>	<b>Single-family residence</b>	
North:	HR	R1a-H	Single-family residence	
South:	HR	R20-H	Single-family residence	
East:	HR	R20-H, R1a-H	Single-family residence	
West:	HR	R20-H	Single-family residence	
<b>Lot Size</b>		<b>Lot Coverage (Max.) OR Natural State (Min.)</b>		
Required: 20,000 sf Proposed: 39,640 sf (existing)		Standard: 6,000 sf/30% max. lot coverage Proposed: 5,054 sf (79.3% natural state)		
<b>Grading</b>		<b>Setbacks</b>		
Total: 101 cu. yd. Cut: 85 cu. yd. (pool); 16 cu. yd. (spa)		<u>Required</u>	<u>Existing</u>	<u>Proposed</u>
		Front: 20 ft.	20 ft.	10 ft.
		Side(s): 12 ft. 6 in.	12 ft. 6 in.	12 ft. 6 in.
		Rear: 10 ft.	95’ – 241’ (from existing residence)	61’-6” – 102’-11” (from backyard additions)

**SUMMARY**

The project proposes to construct a deck (over 30” tall) located ten feet from the front property line, where a minimum 20 ft. front yard setback is required in the underlying R-20 District.

As the project site is located in the Hillside Development Overlay District, pursuant to Section 14.12.030(B) of the San Rafael Municipal Code (SRMC), a structure may encroach into a required yard or setback for a distance of not more than one-half (½) of the required yard or setback, subject to recommendation of the design review board that the decreased setback minimizes the impact of hillside development and grading. The Board’s recommendation will be applied the required administrative design review for a new deck higher than thirty inches (30”) on a residential hillside lot (SRMC Section 14.25.040(C)(1)).

Staff is seeking recommendation only on the proposed setback reduction for the deck structure. The remaining project features comply with the applicable zoning regulations and are not subject to discretionary Design Review Board review. Specifically, staff asks the Board to consider the following:

- Whether the decrease the front setback from 20 ft. to 10 ft. minimizes the impact to the hillside development and grading.

The project also proposes the construction of 5 ft. concrete retaining walls at the west and north sides of the project site. Pursuant to SRMC Section 14.16.140(A)(2)(a) retaining walls over 4 ft. tall on parcels within the Hillside Development Overlay District may be permitted with environmental and design review subject to recommendation from the Design Review Board. Specifically, staff asks the Board to consider the following:

- Whether the construction of the 5 ft. retaining wall is necessary to minimize grading and/or tree removal.

## **BACKGROUND**

### **Site Description & Setting:**

The subject lot is set on a hillside with a downward slope to the southwest. The polygonal lot is oriented to the south/southwest, with the residence at the lower quarter of the property. The majority of the property is sloped and covered with vegetation.

The front (southwest) property line faces Fairhills Drive, partially following the curve of the road. The property primary looks over the turn in the road and does not have a direct neighbor across the street. The surrounding neighbors are slightly upslope at the west, and downslope at the east and southeast. The neighbor at the north is significantly up the hill and looks down onto the hillside portion of the subject property.

## **PROJECT DESCRIPTION**

The project proposes installation of the following improvements in the south and western yard area of the lot: a new pool, an outdoor shower, a separate spa, a deck, garden walls/retaining walls, a concrete patio, a pergola, an outdoor kitchen, two planting areas, and artificial turf. The majority of the project aspects comply with the zoning ordinance, can be reviewed administratively, or do not require separate Planning review.

The new deck is proposed to be setback 10 ft. from the front property line at the closest point, which requires recommendation from the DRB to reduce the required setback by one-half (1/2). The new deck will be set on piers 12" to 48" above grade. IPE decking will be installed as the deck floor, with 42"-tall steel guardrails and cables.

Five (5) ft. retaining walls are proposed to partially frame the proposed outdoor shower, the spa, and the existing flagstone patio. In total approximately 77 ft.-8.75" on concrete retaining wall is proposed. The deck, patio and other improvements are located on a portion of the lot that is generally a flat area of dirt, but will result in some tree removal.

## **PLAN CONSISTENCY**

### **General Plan 2020 Consistency:**

The project is consistent with the General Plan 2020 policies in that: a) the project is being reviewed appropriately through design review and review of the Hillside Design Guidelines (*CON-12. Preservation of Hillsides; CON-12a. Hillside Design Guidelines*); and b) as proposed the project will preserve the unique qualities of the Fairhills Neighborhood (*CD-3. Neighborhoods*).

**Zoning Ordinance Consistency:**

The proposed 12” – 48”, 997 sq. ft. deck requires administrative design review as it is within the Hillside Development Overlay District (SRMC Section 14.25.040(C)). The portion of the deck that is within the side setback meets the required 3 ft. setback for uncovered decks over 12” (SRMC 14.16.020(E)(2)(b)). However, the deck is also proposed to encroach into the required 20 ft. front yard setback by one-half (1/2), which requires recommendation by the Design Review Board.

Chapter 14.12. – HILLSIDE DEVELOPMENT OVERLAY DISTRICT (-H)

*Section 14.12.030(B) – Setbacks*

The property is in the Hillside Development Overlay District, which allows structures to encroach into the required yard or setback for a distance not more than one-half (1/2) with recommendation from the Design Review Board that the decrease minimizes the impact of hillside development and grading. The underlying R20 district requires a 20 ft. front yard setback, and the project proposes a minimum 10 ft. front yard setback. This reduction is allowed with a recommendation of the design review board.

*Section 14.12.030(C) – Natural State*

Properties in the Hillside Development Overlay District are required to have a minimum natural state area, which is defined as all portions of lots that remain undeveloped and undisturbed. The required natural state is calculated as twenty-five percent (25%) of the lot area plus the percentage figure of average slope (not to exceed eighty-five percent (85%). The subject site therefore requires a minimum 67.2% of the lot to be in a natural state (25% + 42.19% average slope). The lot would retain 79.3% natural state area with this project, which complies with the standard.

**ANALYSIS**

**Grading**

The impact of grading for the proposed deck and front yard setback reduction will be minimal. Piers will be installed along the retaining wall to support the deck structure and minimize overall earthwork on the sloped portion of the site. The majority of the work planned will take place on existing flat portions of the site, and the proposed deck will cantilever over the hillside. The applicant is currently proposing only to cut a total of 101 cubic yards to accommodate the proposed pool and spa.

The 5 ft. retaining walls partially response to the steep slope at the rear of the property and will be along the edge of the existing flat proportion of the site.

**Hillside Design Guidelines**

The Hillside Design Guidelines provide minimal direction on decks but prescribe that overhanging decks or decks elevated on poles be avoided so as not to have the primary building seem more massive on downhill lots. In this case the deck will be minimally elevated but will not have a direct relationship to the primary residential structure.

**NEIGHBORHOOD CORRESPONDENCE**

Property owner and occupants within a 300 ft. radius were notified via mailing 15 prior to the hearing date. The hearing information has also been posted at the property. At the time of writing, no public comment has been received.

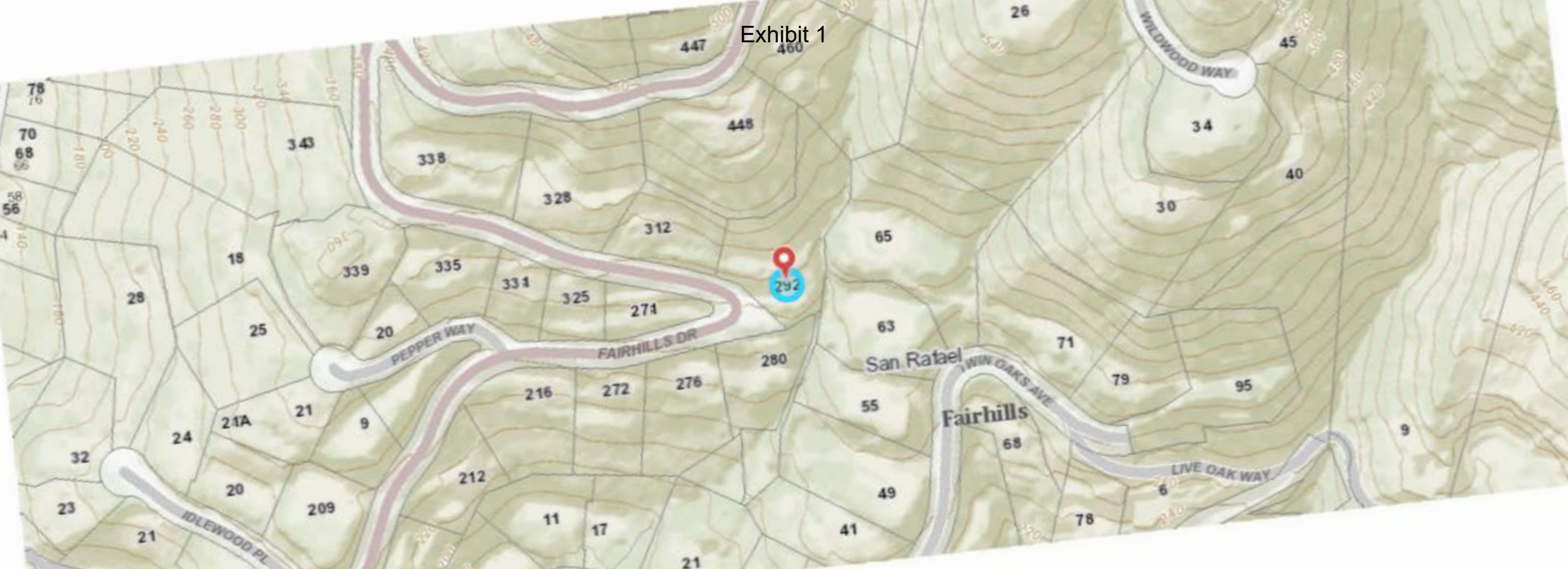
**RECOMMENDATION**

Staff recommends that the Board recommend approval for this project based on the items discussed above. Although the deck will be set within the required front yard setback, the supportive piers and utilization of existing flat land will minimize the impact of hillside development and grading at the site. The construction of the 5 ft. retaining walls will result in some tree removal but will minimize grading at the site by utilizing existing flat land.

## **EXHIBITS**

1. Vicinity Map
  2. Reduced Project Plans
- cc: Samina Saude, Applicant  
Tim & Sara Cornwell, Owners  
Fairhills Property Owners Association
- Leslie Mendez, Planning Manager

Exhibit 1



# Exhibit 2

# SSDC

SAMINA SAUDE  
DESIGN & CONSULTING  
samina@saude.com  
415.317.6303

## PROJECT DESCRIPTION

THE PROJECT IS AN UPDATE TO THE EXISTING BACKYARD INCLUDING THE ADDITION OF A NEW POOL, SPA, IPE DECK, GARDEN WALLS, RETAINING WALLS, A NEW PATIO, AN OUTDOOR SHOWER, AN OUTDOOR KITCHEN, TWO PLANTING AREAS AND ARTIFICIAL TURF.

THE WOOD DECK WILL BE SUPPORTED BY THE NEW RETAINING WALL TO THE SOUTHWEST AND PIERS THAT WILL EXTEND DOWN TO THE EXISTING GRADE.

THERE ARE NO MODIFICATIONS TO THE HOME, DRIVEWAY, GARAGE OR REMAINING NATURAL STATE OF PROPERTY.

## SITE & BUILDING DATA

AP: 010-142-04  
ZONING: R20-H  
LOT SIZE: 39,640 SF

EXISTING RESIDENCE: 2,858 SF  
EXISTING GARAGE: 453SF  
EXISTING DECK: 746 SF

EXISTING TOTAL: 4057 SF

EXISTING RESIDENCE: 2,858 SF  
EXISTING GARAGE: 453SF  
EXISTING DECK: 746 SF  
NEW DECK: 997 SF

TOTAL LOT COVERAGE: 5054 SF

NATURAL STATE  
31,445 SF PROPOSED (79.3%)

## SHEET INDEX

A 0.1	COVER SHEET
A 0.2	SITE PLAN
A 0.3	MATERIALS PALETTE
A 0.3	SITE PHOTOS

**CORNWELL RESIDENCE**  
292 FAIRHILLS  
SAN RAFAEL, CA 94901  
APN: 010-142-04

### REVISIONS:

01	03.12.2021	PLANNING RESPONSE
02	06.10.2021	PLANNING RESPONSE

SHEET TITLE:

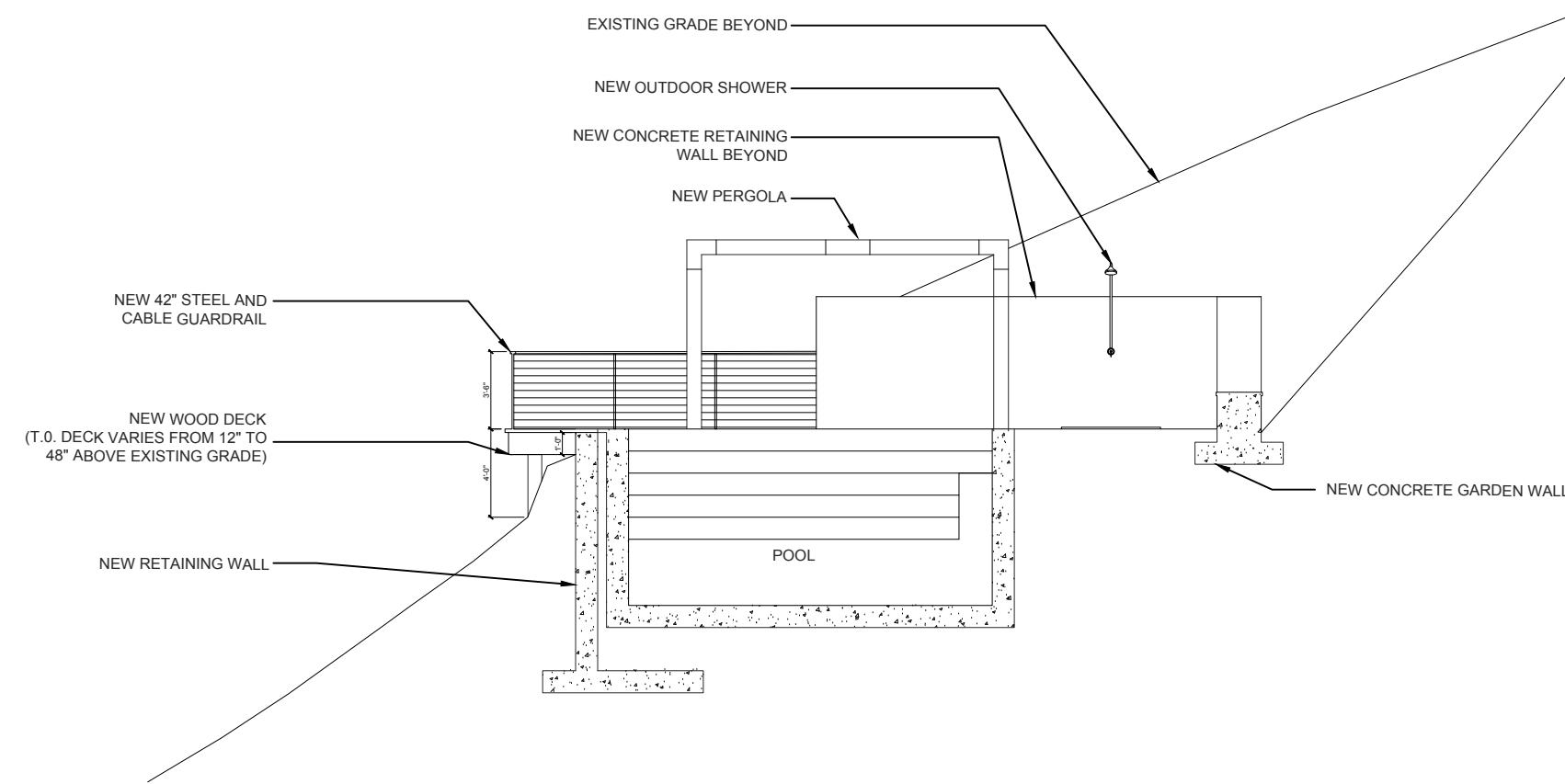
**PROJECT INFORMATION**

SCALE: 1/8" = 1'-0"

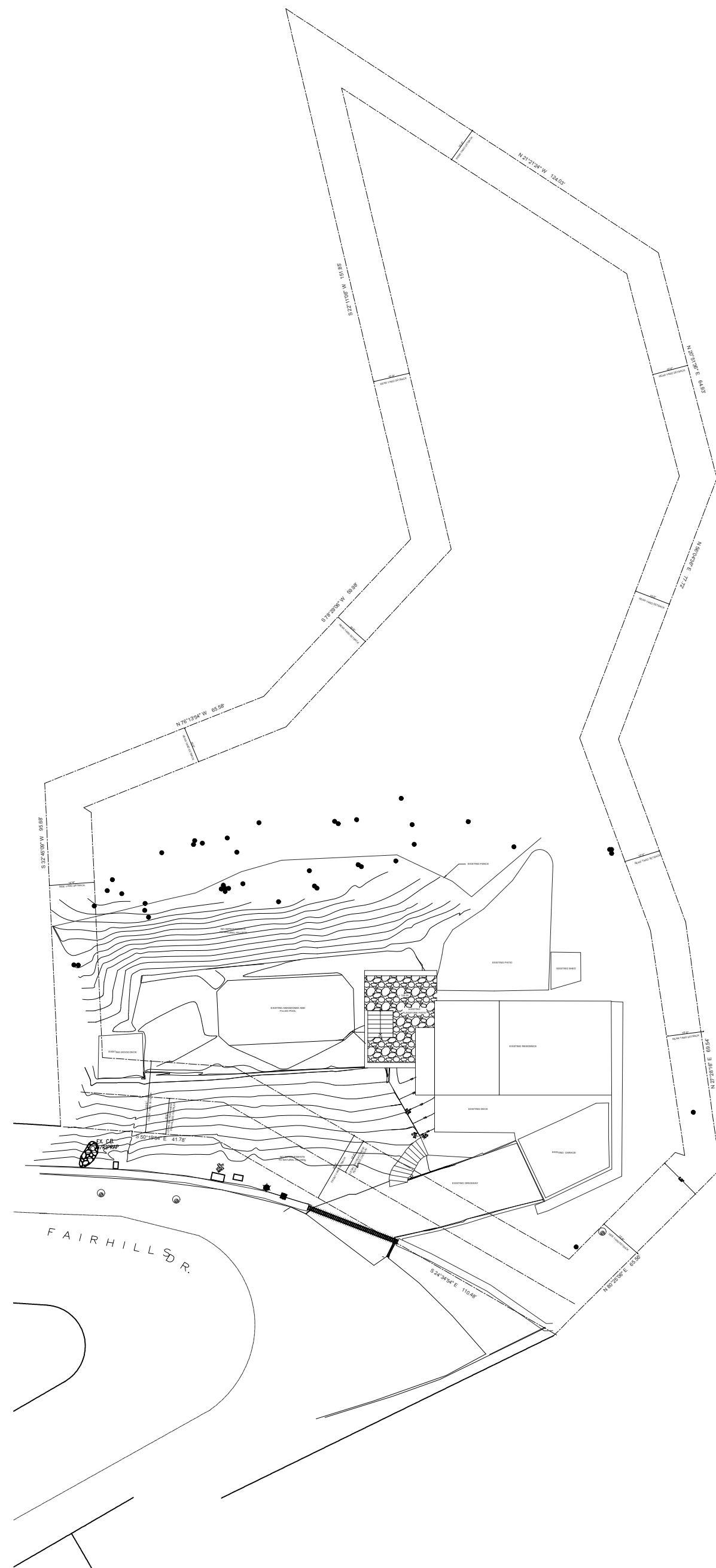
DATE: 02.03.2021

SHEET NUMBER:

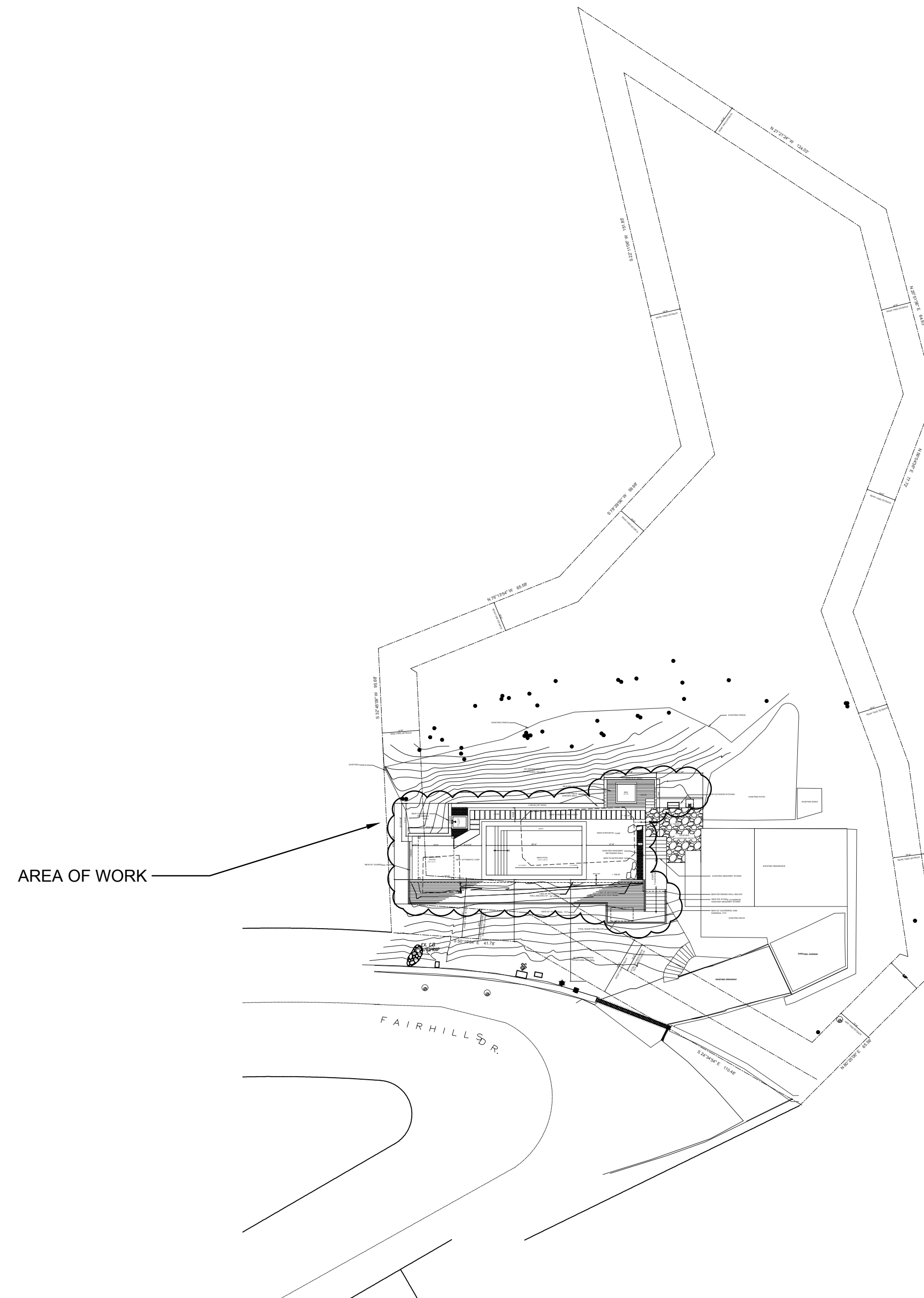
# A 0.1



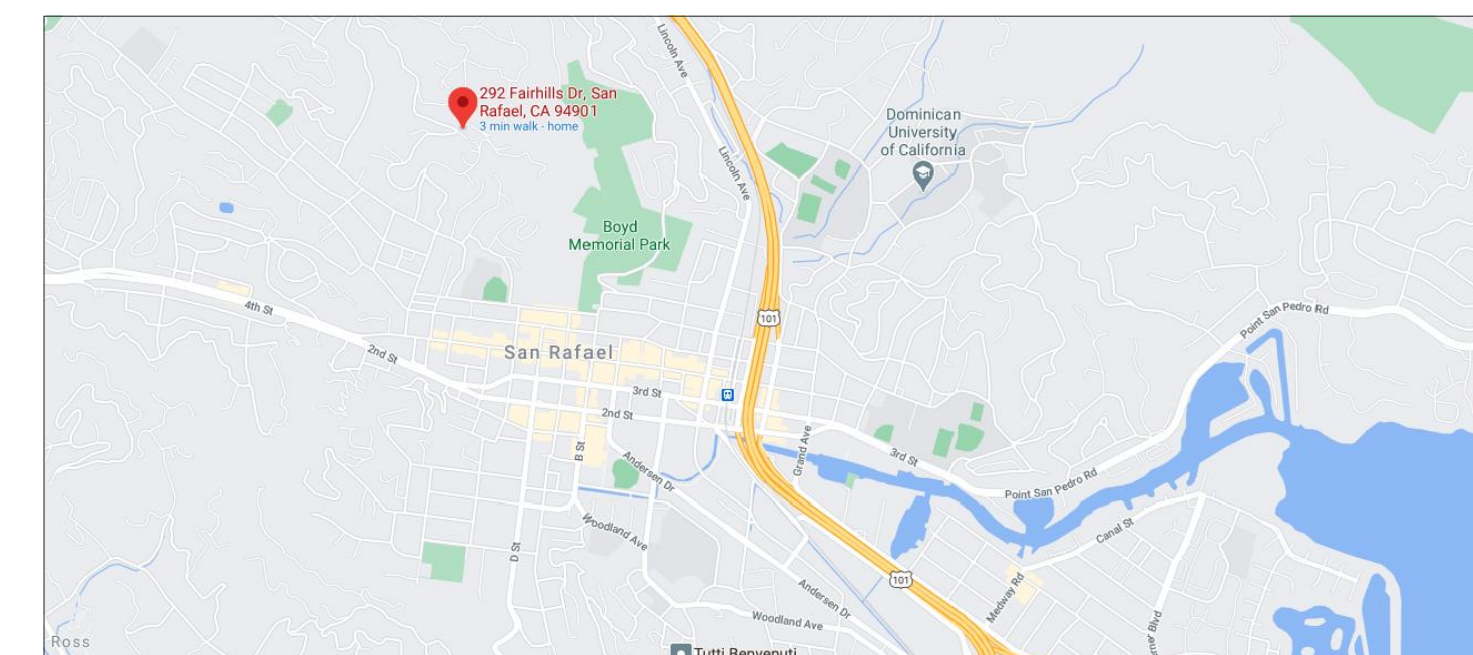
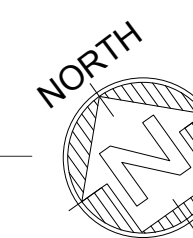
**3** PROPOSED SITE SECTION  
1/8" = 1'-0"



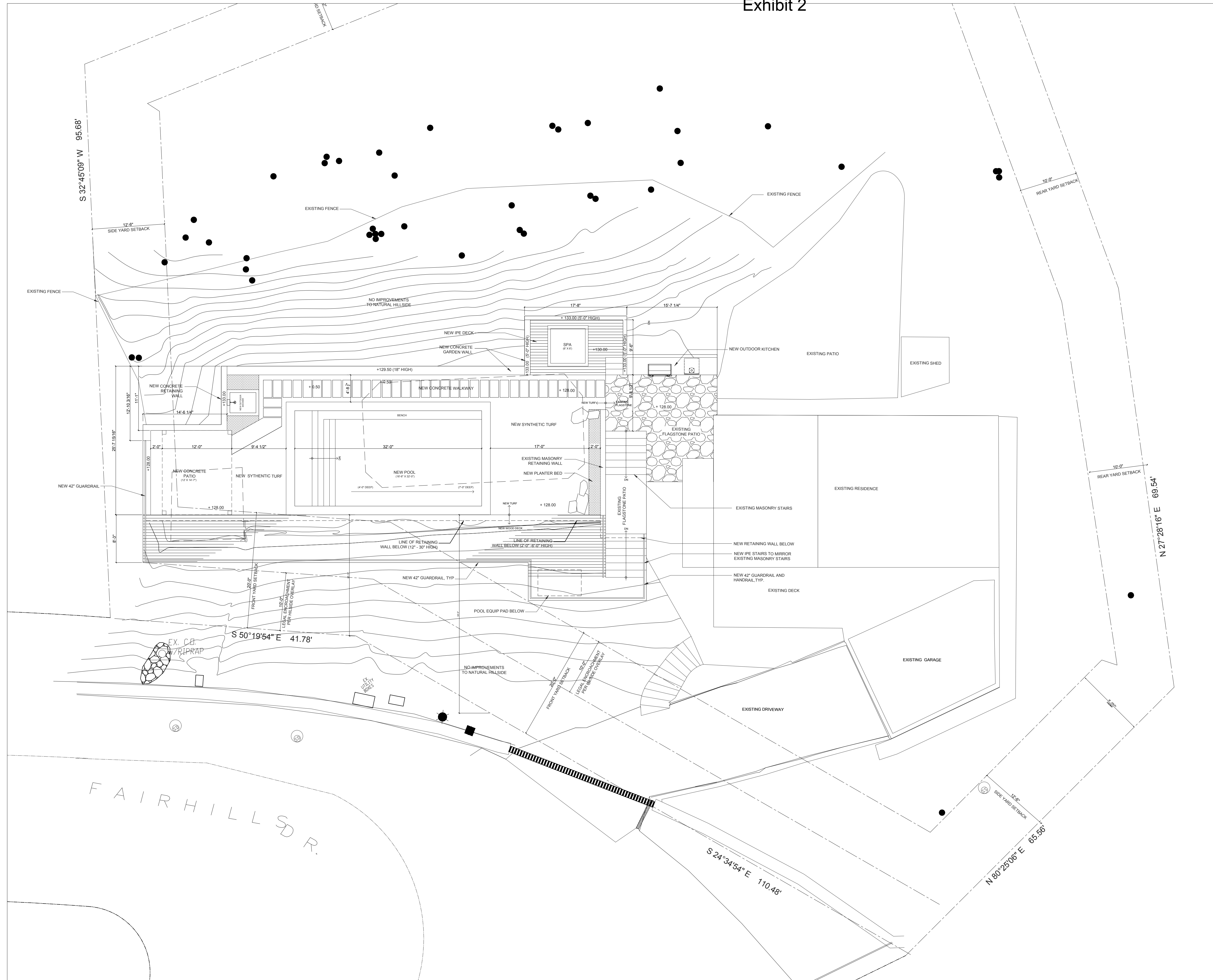
**3** EXISTING SITE PLAN  
1/32" = 1'-0"



**2** PROPOSED SITE PLAN  
1/32" = 1'-0"



**1** VICINITY PLAN  
NTS



**CORNWELL RESIDENCE**  
292 FAIRHILLS  
SAN RAFAEL, CA 94901  
APN: 010-142-04

REVISIONS:

01	03.12.2021	PLANNING RESPONSE
02	04.05.2021	DESIGN UPDATE

SHEET TITLE:

**SITE PLAN**

SCALE: 1/8" = 1'-0"

DATE: 02.03.2021

SHEET NUMBER:



**A 0.2**



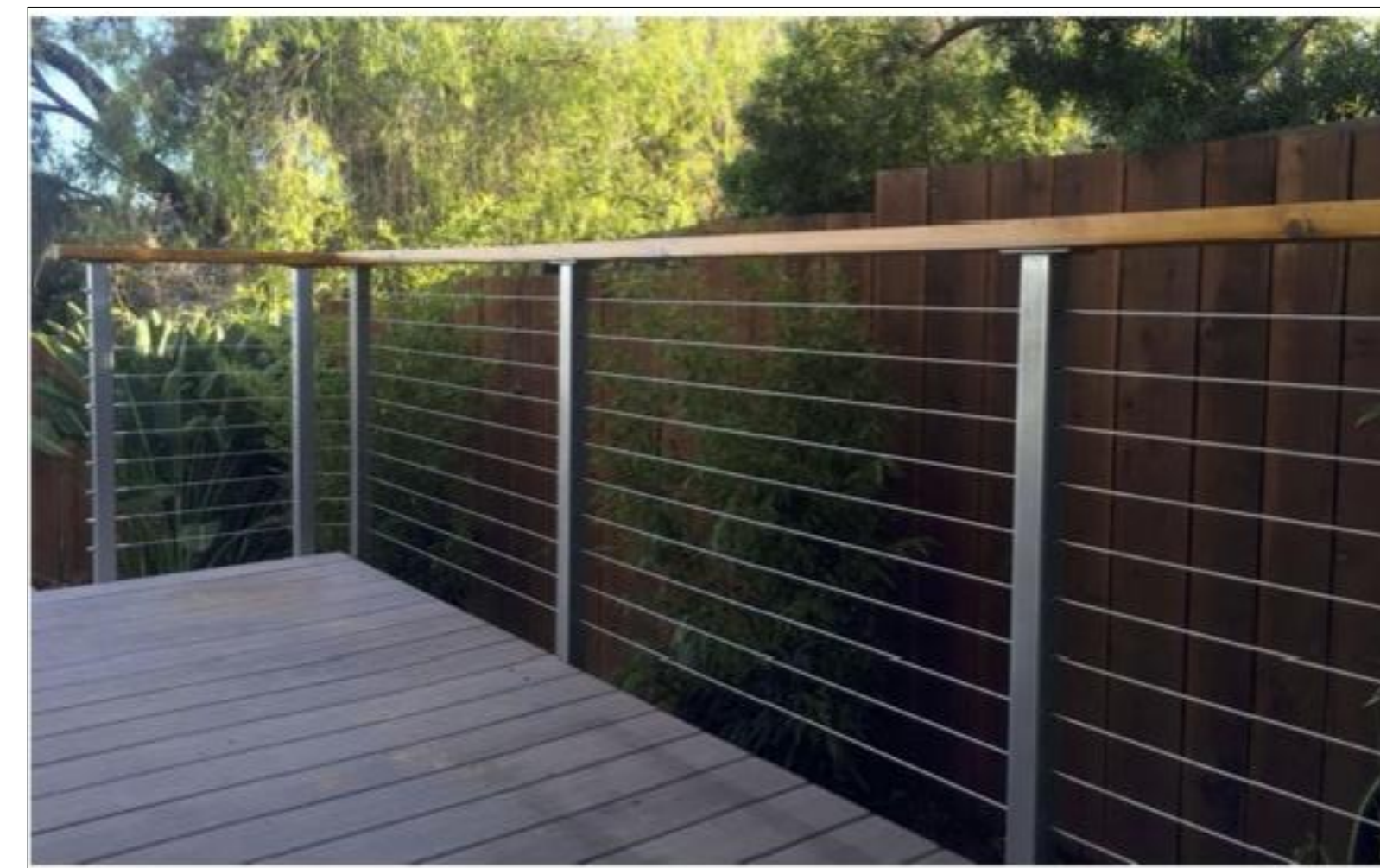
Exhibit 2



CONCRETE PAVERS



SYNTHETIC TURF



STEEL CABLE GUARDRAIL, IPE TOP CAP



IPE DECK



IPE POOL SURROUND



CONCRETE POOL COPING



CONCRETE OUTDOOR KITCHEN



CONCRETE SITE WALLS

**SSDC**

SAMINA SAUDE  
DESIGN & CONSULTING  
saminasaude@gmail  
415.317.6303

**CORNWELL RESIDENCE**  
292 FAIRHILLS  
SAN RAFAEL, CA 94901  
APN: 010-142-04

REVISIONS:

02	06.10.2021	PLANNING RESPONSE

SHEET TITLE:

**MATERIALS  
PALLETTE**

SCALE: 1/8" = 1'-0"

DATE: 02.03.2021

SHEET NUMBER:

**A 0.3**

Exhibit 2



AREA OF WORK



VIEW OF AREA OF WORK FROM EXISTING PATIO



STEEP SLOPE LOOKING UP FROM PATIO



FRONT YARD @ FAIRHILLS



FRONT YARD @ BOTTOM OF DRIVEWAY

**SSDC**

SAMINA SAUDE  
DESIGN & CONSULTING  
saminasaude@gmail  
415.317.6303

**CORNWELL RESIDENCE**  
292 FAIRHILLS  
SAN RAFAEL, CA 94901  
APN: 010-142-04

REVISIONS:

02	06.10.2021	PLANNING RESPONSE

SHEET TITLE:

**EXISTING PHOTOS**

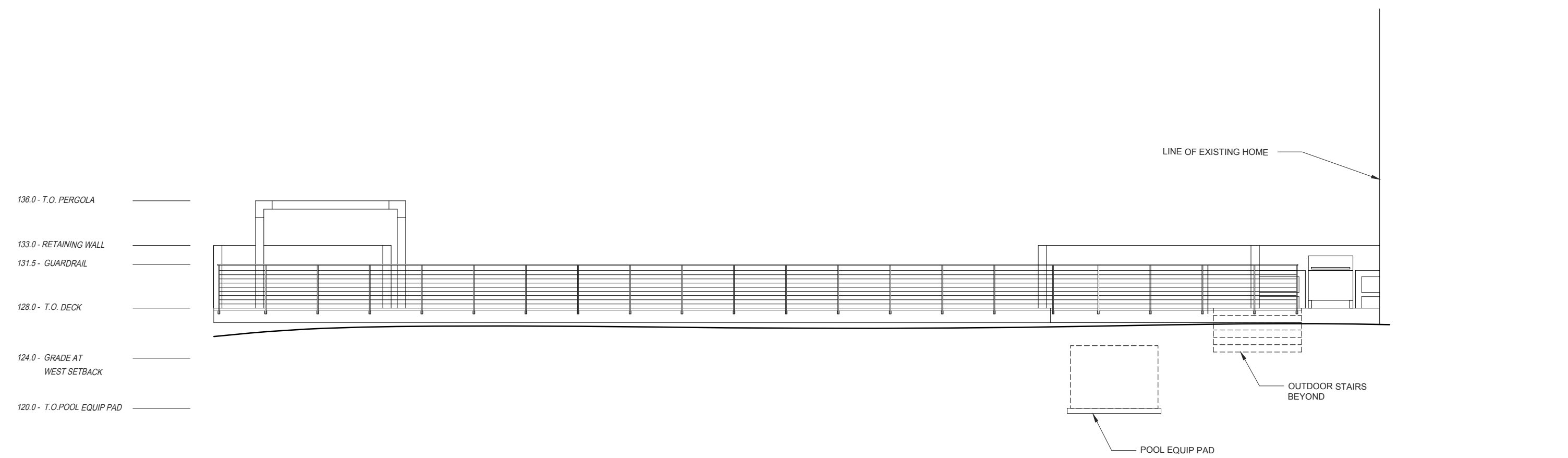
SCALE: 1/8"= 1'-0"

DATE: 02.03.2021

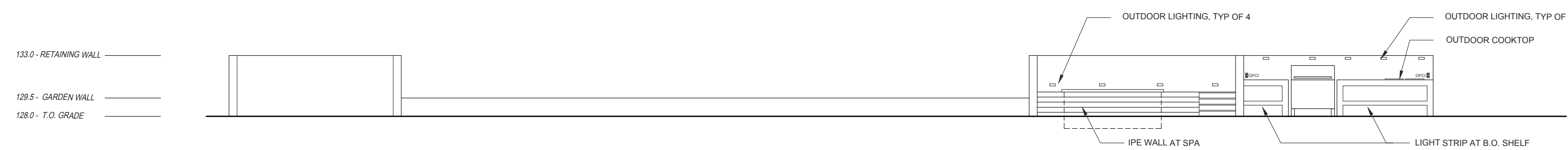
SHEET NUMBER:

**A 0.4**

**CORNWELL RESIDENCE**  
292 FAIRHILLS  
SAN RAFAEL, CA 94901  
APN: 010-142-04



**2 DECK ELEVATION**  
1/8" = 1'-0"



**1 SITE WALL ELEVATION**  
1/8" = 1'-0"

REVISIONS:


SHEET TITLE:

**ELEVATIONS**

SCALE: 1/8" = 1'-0"

DATE: 07.29.2021

SHEET NUMBER:

**A 0.5**