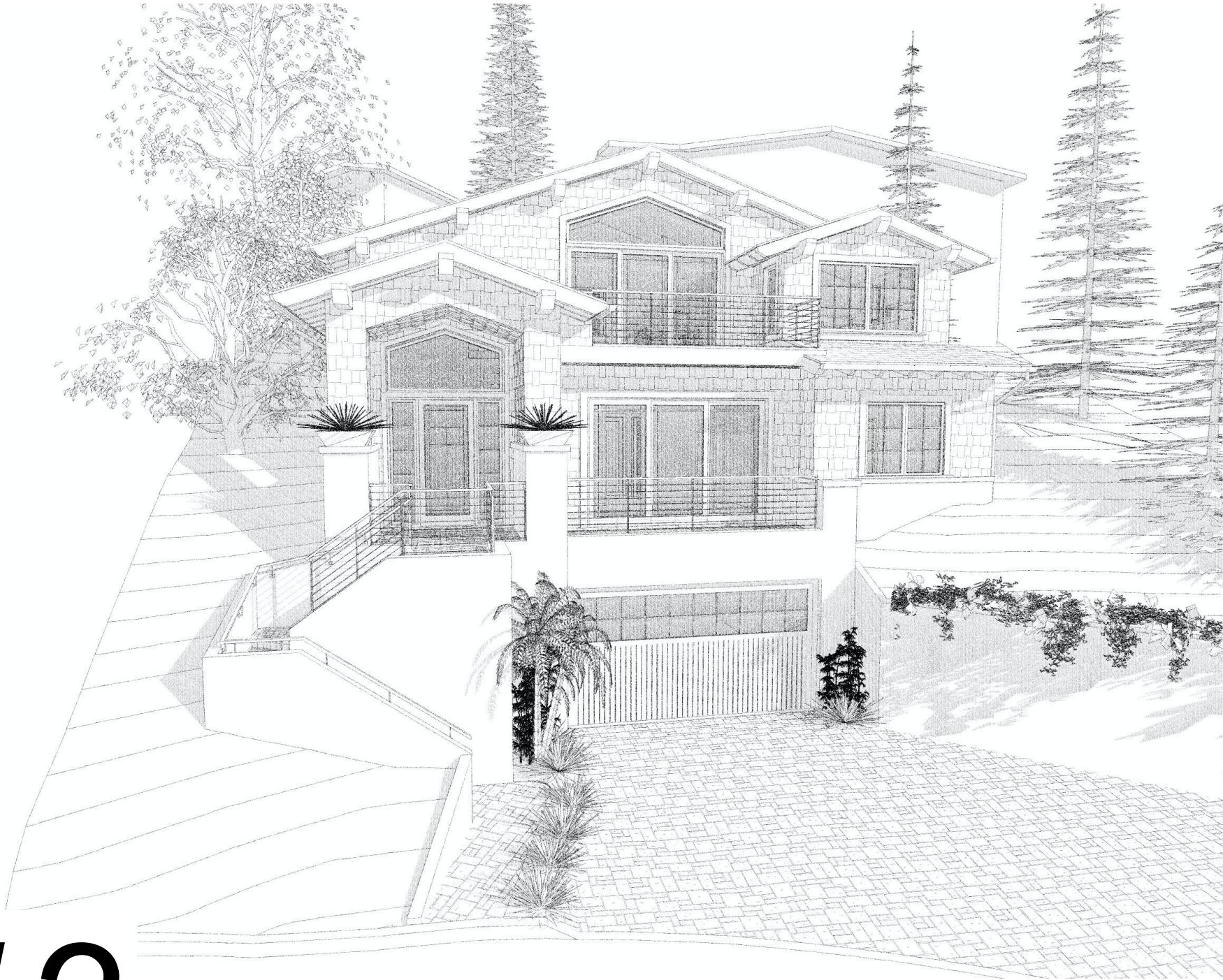



New Residence,
Residence Remodel with
New ADU & Lot Line
Adjustment For:

A.P.N 012-043-11 &12



CITY OF SAN RAFAEL REGULATIONS			APPLICABLE CODES	PROJECT TEAM	PROJECT DATA	SHEET INDEX	
<div>1. 2016 CALIFORNIA FIRE CODE: The design and construction of all site alterations shall comply with the 2019 California Fire Code (CFC), current NFPA Standards, and all applicable City of San Rafael Ordinances and Amendments.</div> <div>2. FIRE SPRINKLERS: Deferred submittals for the following fire protection systems shall be submitted to the Fire Prevention Bureau for approval and permitting prior to installation of the systems: Fire Sprinkler Plans (Deferred Submittal To The Fire Prevention Bureau)</div> <div>3. EROSION CONTROL: An erosion and sediment control plan shall be required prior to issuance of a grading or building permit. Erosion controls to be installed prior to work on the site, and maintained year round.</div>			All work shall conform to the 2019 editions of the California Building Code (CBC) : 2019 California Residential Code, 2019 California Plumbing and Mechanical Codes, 2019 California Green Code, 2019 California Energy Code and 2019 Electrical Code, complete with all applicable State of California amendments, codes and regulations for each edition including State of California Title 24, and San Rafael Municipal Code, and City of Sausalito Security Ordinance, and City of San Rafael Fire Ordinance.	<div>DESIGNER:</div> <div>Millard Arterberry Arterberry Design 495 Gate 5 Rd. Sausalito, CA 94965 (415) 944-5480 millard@arterberry-design.com</div> <div>CIVIL / LANDSCAPE:</div> <div>Gary Balcerak Balcerak Design Landscape Architecture & Urban Forestry 608 Beaver Street Santa Rosa, CA 95404 (707) 573-8234 Balcerak@sonic.net</div>	<div>OWNER</div> <div>Pacific Private Money Fund I, LLC Et Al c/ o Mark Hanf, Manager 1555 Grant Ave. Novato, CA 94945</div> <div>A.P.N.</div> <div>012-043-11 & 12</div> <div>ZONING</div> <div>R-10 + Hillside Overlay</div> <div>CONSTRUCTION TYPE</div> <div>V-B</div>	ID	Name
						G-000	COVER SHEET
						C1	GRADING & DRAINAGE PLAN
						C2	UTILITY PLAN
						L1	PLANTING PLAN
						L1.1	PLANTING PLAN
						T1	TREE PLAN
						VMP1	VEGETATION MANAGEMENT PLAN
						V00	SURVEY
						AS100	SITE PLAN
						AS101	SITE SECTION
						AS102	STORY POLE PLAN
						1A-100	BASEMENT FLOOR PLAN
						1A-101	FIRST FLOOR PLAN
						1A-102	SECOND FLOOR PLAN
						1A-103	ROOF PLAN
						1A-200	EXTERIOR ELEVATIONS
						1A-201	EXTERIOR ELEVATIONS
						1A-300	BUILDING SECTIONS
						2AD-200	DEMOLITION MAIN RESIDENCE (UPPER FLOOR)
						2AD-201	DEMOLITION MAIN RESIDENCE (LOWER FLOOR)
						2AD-202	EXISTING EXTERIOR ELEVATIONS
						2AD-203	EXISTING EXTERIOR ELEVATIONS
						2A-000	RENDERINGS
						2A-100	BASEMENT FLOOR PLAN - 54 FREMONT RD
						2A-101	FIRST FLOOR PLAN - 54 FREMONT RD
						2A-102	ROOF PLAN - 54 FREMONT RD
						2A-200	PROPOSED EXTERIOR ELEVATIONS
						2A-201	PROPOSED EXTERIOR ELEVATIONS

ABBREVIATIONS			SCOPE OF WORK	
<div>A.B. ANCHOR BOLT</div> <div>A.C.T. ACOUSTICAL CEILING TILE</div> <div>A.F.F. ABOVE FINISHED FLOOR</div> <div>AGGR. AGGREGATE</div> <div>AL. ALUMINUM</div> <div>ALT. ALTERNATE</div> <div>APPROX. APPROXIMATE</div> <div>ARCH. ARCHITECTURAL</div> <div>BD. BOARD</div> <div>BLDG. BUILDING</div> <div>BLK. BLOCK</div> <div>BLKG. BLOCKING</div> <div>BM. BEAM</div> <div>B.W. BOTTOM OF WALL</div> <div>BOT. BOTTOM</div> <div>BTWN. BETWEEN</div> <div>B.U.R. BUILT UP ROOF</div> <div>C.J. CONTROL JOINT</div> <div>C.L. CENTERLINE</div> <div>CLG. CEILING</div> <div>CLKG. CAULKING</div> <div>CLR. CLEAR</div> <div>C.M.U. CONCRETE MASONRY UNIT</div> <div>COL. COLUMN</div> <div>CONC. CONCRETE</div> <div>CONN. CONNECTION</div> <div>CONSTR. CONSTRUCTION</div> <div>CONT. CONTINUOUS</div> <div>C.T. CERAMIC TILE</div> <div>DEG. DEGREE</div> <div>D.T. DETAIL</div> <div>D.F. DRINKING FOUNTAIN</div> <div>DIA.G. DIAGONAL</div> <div>DIA. DIAMETER</div> <div>DN. DOWN</div> <div>D.S. DOWNSPOUT</div> <div>DWG. DRAWING</div> <div>(E) EXISTING</div> <div>EA. EACH</div> <div>E.J. EXPANSION JOINT</div> <div>ELEV. ELEVATION</div> <div>ELEC. ELECTRICAL</div> <div>EMER. EMERGENCY</div> <div>ENCL. ENCLOSURE</div> <div>EQ. EQUAL</div> <div>EQUIP. EQUIPMENT</div> <div>E.W. EACH WAY</div> <div>EXT. EXTERIOR</div> <div>F.A. FIRE ALARM</div> <div>F.D. FLOOR DRAIN</div> <div>F.D.C. FIRE DEPARTMENT CONNECTION</div> <div>FDN. FOUNDATION</div> <div>F.E. FIRE EXTINGUISHER</div> <div>F.E.C. FIRE EXTINGUISHER CABINET</div> <div>F.F. FINISH FLOOR</div> <div>F.H.C. FIRE HOSE CABINET</div> <div>FIN. FINISH</div> <div>F.L. FLOW LINE</div> <div>F.L.R. FLOOR</div> <div>F.O.S. FACE OF STUD</div> <div>F.O.C. FACE OF CONCRETE</div> <div>FRMG. FRAMING</div> <div>F.S. FULL SIZE</div> <div>FT. FOOT OR FEET</div> <div>FTG. FOOTING</div> <div>FURR. FURRING</div> <div>GA. GAUGE</div> <div>GALV. GALVANIZED</div> <div>G.C. GENERAL CONTRACTOR</div> <div>GL. GLASS</div> <div>GPF. GALLONS PER FLUSH</div> <div>GPM. GALLONS PER MINUTE</div> <div>GR. GRADE</div> <div>GYP. GYPSUM</div> <div>G.W.B. GYPSUM BOARD</div> <div>H.B. HOSE BIBB</div> <div>H.C. HOLLOW CORE</div> <div>HIC. HANDICAPPED</div> <div>HOWD. HARDWOOD</div> <div>H.M. HOLLOW METAL</div> <div>HR. HOUR</div> <div>HT. HEIGHT</div> <div>HVAC. HEATING, VENTILATION, AND AIR CONDITIONING</div> <div>I.D. INSIDE DIAMETER</div> <div>INSUL. INSULATION</div> <div>INT. INTERIOR</div> <div>JST. JOIST</div> <div>LAB. LABORATORY</div> <div>LAM. LAMINATE</div> <div>LAV. LAVATORY</div> <div>LT. LIGHT</div> <div>MAX. MAXIMUM</div> <div>MECH. MECHANICAL</div> <div>MEMB. MEMBRANE</div> <div>MFR. MANUFACTURER</div> <div>MIN. MINIMUM</div> <div>MISC. MISCELLANEOUS</div> <div>M.O. MASONRY OPENING</div> <div>MTL. METAL</div> <div>MUL. MULLION</div> <div>(N) NEW</div> <div>N.I.C. NOT IN CONTRACT</div> <div>NO. NUMBER</div> <div>NOM. NOMINAL</div> <div>N.T.S. NOT TO SCALE</div> <div>O.C. ON CENTER</div> <div>O.D. OUTSIDE DIAMETER</div> <div>O.H. OVERHEAD</div> <div>OPG. OPENING</div> <div>OPNG. OPENING</div> <div>OPP. OPPOSITE</div> <div>P.L. PROPERTY LINE</div> <div>PL. PLATE</div> <div>PLAS. PLASTER</div> <div>PLWD. PLYWOOD</div> <div>PR. PAIR</div> <div>PTD. PAINTED</div> <div>R. RISER</div> <div>R.D. RUN</div> <div>REFR. REFRIGERATOR</div> <div>REINF. REINFORCED</div> <div>RM. ROOM</div> <div>R.O. ROUGH OPENING</div> <div>RTG. RETAINING</div> <div>S.C. SOLID CORE</div> <div>SCHED. SCHEDULE</div> <div>SECT. SECTION</div> <div>S.F. SQUARE FEET</div> <div>SHT. SHEET</div> <div>SHTG. SHEATHING</div> <div>SM. SIMILAR</div> <div>SPEC. SPECIFICATION</div> <div>SQ. SQUARE</div> <div>S.S. STAINLESS STEEL</div> <div>S.S. STAGGERED</div> <div>STD. STANDARD</div> <div>STL. STEEL</div> <div>STRUC. STRUCTURAL</div> <div>SUSP. SUSPENDED</div> <div>TR. TREAD</div> <div>T&B. TOP AND BOTTOM</div> <div>T&G. TONGUE AND GROOVE</div> <div>THK. THICK</div> <div>T.W. TOP OF WALL</div> <div>TYP. TYPICAL</div> <div>U.O.N. UNLESS OTHERWISE NOTED</div> <div>V.C.T. VINYL COMPOSITION TILE</div> <div>VER. VERIFY IN FIELD</div> <div>VERT. VERTICAL</div> <div>W/ WITH</div> <div>W.C. WATER CLOSET</div> <div>WD. WOOD</div> <div>W/O WITHOUT</div>			Vicinity Map	



7 Princess St. Suite A
Sausalito, CA 94965
Phone: 415 944-5480

Millard@arterberry-design.com

Owner:
Pacific Private Money Fund I, LLC
Et Al c/o Mark Hanf, Manager
1555 Grant Ave.
Novato, CA 94945

A.P.N 012-043-11 &12

52/54 Fremont Street
San Rafael CA 94965
A.P.N.: 012-043-11 & 12

ISSUES	MARK	DATE	DESCRIPTION
		7/02/18	PLANNING SUBMISSION
		2/04/19	PLANNING SUBMISSION
		4/04/19	PLANNING SUBMISSION
		7/26/19	PLANNING SUBMISSION
		2/24/2020	PLANNING SUBMISSION
		9/24/2020	PLANNING SUBMISSION
		11/20/2020	PLANNING SUBMISSION

PROJECT #:

1805

CAD FILE

52/54 Fremont Road22 - Main - 11-20-2020

DRAWN BY:

MNA

CHECKED BY:

MNA

COPYRIGHT © 2018 ARTERBERRY DESIGN

COVER SHEET

G-000

DIVISION 1 - GENERAL REQUIREMENTS

GENERAL NOTES

1. RULES & REGULATIONS: All work shall conform to the 2016 editions of the California Building Code (CBC) : 2016 California Residential Code, 2016 California Plumbing and Mechanical Codes, 2016 California Green Building Standards Code, 2016 California Energy Code and 2016 Electrical Code, complete with all applicable State of California amendments, codes and regulations for each edition including State of California Title 24, and San Rafael Municipal Code.
2. CONTRACTOR Shall be responsible for construction in conformance with the approved plans, specifications, and all code requirements under which the plans and specifications were approved.
3. ARCHITECTURAL DRAWINGS AND SPECIFICATIONS: In the case of an inconsistency between Architectural Drawings, Specifications and Calculations or within either document, the inconsistency shall be reported to the Architect prior to the Contractor commencing work. The better quality or greater quantity of Work shall be provided in accordance with the Architect's interpretation.
4. ENGINEERING DRAWINGS AND SPECIFICATIONS: In the case of an inconsistency between Architectural Drawings, Specifications and Calculations and Engineering/Consultant Drawings, Specifications and Calculations, between different Engineering/Consultant Documents, or within any document, the inconsistency shall be reported to the Architect prior to the Contractor commencing work. The better quality or greater quantity of Work shall be provided in accordance with the Architect/Engineer/Consultant's interpretation.
5. MEASUREMENTS: Do not scale drawings. Contractor shall verify all dimensions shown on the drawings, any discrepancy shall be reported to the Architect prior to commencement of related work.
6. Protect annular spaces around pipes, electric cables, conduits at exterior walls against the passage of rodents. (4.406.1)

DEMOLITION NOTES

1. Contractor shall carefully check the stability of all elements of the building before doing any work on or demolition to the existing structure. The contractor shall brace or strengthen any portions of the structure that may be weakened by demolition or construction activities. The contractor shall be solely responsible for jobsite safety and preservation of existing construction not slated for demolition.
2. All demolition and removal work shall conform to all applicable codes and regulations. The Contractor shall bear sole responsibility for identifying, testing and disposing of any hazardous materials encountered in the demolition process in accordance with all applicable codes, ordinances and regulations.
3. Contractor shall verify with owner or architect any item to be salvaged and reused. Damage to any such item will be the sole responsibility of the contractor.
4. Removal of wall finishes, floor finishes, and ceiling finishes shall include all material down to framing, exterior sheathing or subfloor.

DUST MITIGATION PLAN

1. The Contractor shall submit a satisfactory construction dust mitigation plan to the City. This plan shall specify the methods of control that will be utilized, demonstrate the availability of needed equipment and personnel, and identify a responsible individual who can modify construction activities should complaints be received by the City.
2. The construction dust mitigation plan shall, at a minimum, include the following:
A. HIGH WINDS: Suspension of earthmoving or other dust-producing activities during periods of high winds when dust control measures are unable to avoid visible dust plumes.
B. DUST PLUMES: Provide equipment and staffing for watering of all portions of the site subject to vehicle or equipment travel or disturbance. An appropriate dust palliative or suppressant, added to water before application would vary according to the moisture level of the soils on the site, but should be frequent enough to avoid visible dust plumes.
C. STOCKPILES: Water or cover stockpiles of debris, soil, sand or other materials that can be blown by the wind.
D. SWEEP STREETS DAILY: of all mud and debris carried out from the site onto the adjacent road, since this material can be pulverized and later resuspended by vehicle traffic.
E. ALL MATERIALS TRANSPORTED BY TRCK shall be covered or wetted down prior to exiting the site.
F. FINAL GRADES shall be treated with an appropriate dust suppressant, covered or seeded as early as practical.

CONSTRUCTION MANAGEMENT PLAN

1. JOB SIGN: A sign shall be placed at the jobsite to notify the residence of the prime contractor and major subcontractor and related phone numbers.
2. CONSTRUCTION MANAGEMENT COORDINATOR: The name and phone number of a Construction Management Coordinator shall be posted at the site and shall be available to respond to complaints and questions from area residents.
3. HOURS OF OPERATION: Work at the site shall be limited to the hours of 8:00 AM to 4:30 PM, Mondays through Fridays, and 9:00 AM through 4:00 PM on Saturdays. No work shall be permitted on Sundays and Holidays without prior approval from the Community Development Agency.
4. CONSTRUCTION VEHICLES: All material deliveries and removal from the construction site shall follow a route, both to and from the site, agreed upon by the Community Development Agency and the Construction Management Coordinator. It is the Contractors responsibility to see that these locations and routes are adhered to.
5. TRAFFIC MANAGEMENT: vehicular traffic shall not be delayed for more than 5 minutes for more than four consecutive days. Access for emergency vehicles shall be maintained at all times (minimum 12-0 in width). Traffic management measures shall include the following: A. Traffic control measures such as flag persons, signage, etc. shall be utilized to ensure that vehicular traffic and pedestrian movement will continue to occur safely during construction periods. B. In the event of additional construction is occurring on the street it is the responsibility of both/all Contractors to coordinate all construction activities to avoid conflict in deliveries and/or construction activities. Coordination shall be made with the notification of the Public Works Department.
6. A minimum of 65% of the construction waste shall be diverted to recycling or salvage per Calgreen 4.106.3
7. Cover duct openings and other related air distribution component openings during construction (4.504.1)

RAILING NOTES

1. STAIRWAY HANDRAILS: Shall be mounted 34"-38" above the tread nosing and shall return to the wall or terminate into newel posts (CBC 1012.1). Handrail assemblies shall be able to resist a single concentrated load of 200 pounds (0.89 N), applied in any direction at any point along the top, and have attachment devices and supporting structure to transfer this loading to appropriate structural elements of the building. (CBC 1607.7.1.1).
2. GUARDRAILS shall be a minimum of 42" above walking surface and be in complete accordance with CBC 1013.2. Guardrail assemblies shall be able to resist a single concentrated load of 200 pounds (0.89 N), applied in any direction at any point along the top, and have attachment devices and supporting structure to transfer this loading to appropriate structural elements of the building. (CBC 1607.7.1.1).
3. PICKET SPACING: Open guards shall have balusters or ornamental patterns such that a 4 inch diameter sphere cannot pass through any opening. (CBC 1013.3)

STAIR NOTES

1. RISE AND RUN: The minimum tread dimension shall be 10 inches. The maximum riser shall be 7.75 inches with a maximum variation of 3/8 inch. (CBC 1009.3 1009.3.2)

GENERAL EXISTING CONDITION NOTES

1. EXISTING CONDITIONS: It is the contractors responsibility to verify all applicable existing conditions, including but not limited to water damage, termite damage, dry-rot, of any other framing or structural issues that may vary from those shown on the drawings, and report any discrepancies to the Architect prior to commencement of related work.

TREE PROTECTION NOTES

1. CONDITIONS OF APPROVAL FOR PROTECTING TREES DURING CONSTRUCTION: Adequate protection shall be provided during the construction period for any protected which are to remain standing. Measures deemed necessary by the reviewing agency in consideration of the size, species, condition & location of the protected trees to remain, may include any of the following:
2. PROTECTED PERIMETER: Before the start of clearing, excavation, construction or other work on the site, any "protected tree" deemed endangered by the work shall be securely fenced off at the "protected perimeter", which shall be either the outer limits of the branches of such protected tree (drip line) or such greater limits as may be established by the reviewing agency. Such fences shall remain in place for the duration of such work. All protected trees to be removed shall be clearly marked. A plan shall be established for the removal and disposal of logs, brush, earth and other debris which will avoid injury to any protected tree.
3. ENCROACHING ON THE PROTECTED PERIMETER: Where the proposed development or other site work will encroach upon the protected perimeter of any protected tree, special measures shall be taken to allow the roots to breathe and obtain water and nutrients. Any excavating, cutting, filling or compaction of the existing ground surface within the protected perimeter shall be minimized. No asphalt or other paving material shall be added. No change in the existing ground level shall occur within 4 feet of the base of any protected tree at any time. No burning or use of equipment with an open flame shall occur near or within the protected perimeter.
4. NO STORAGE OR DUMPING of oil, gas chemicals or other substances that may be harmful to trees shall occur within the protected perimeter of any protected tree, or any other location on site where the substances may enter the protected perimeter. No heavy construction equipment or construction materials shall be operated or stored within the protected perimeter. Wires shall not be attached to any protected tree, except as needed to support the tree. No sign, other than the tag showing the botanical classification, shall be attached to any protected tree.
5. BUILDUP OF DUST: Periodically during construction, the leaves of the protected trees shall be sprayed thoroughly with water to prevent buildup of dust of other pollution that would inhibit inspiration.
6. IF ANY DAMAGE TO PROTECTED TREE SHOULD OCCUR during or as a result of work on the site, the contractor, builder or owner shall promptly notify the city of such damage. If such protected tree cannot be preserved in a healthy state, the reviewing agency shall require the replacement of any protected tree removed with another tree or trees on the same site deemed adequate to compensate for the loss of the tree that is removed.
7. DEFINITION OF A PROTECTED TREE: Protect those trees listed below.
 1. On all property:
 - A. Coastal Live Oak (*Quercus Agrifolia*) measuring 12" C.B.H. or larger
 - B. Heritage Trees
 - C. Dedicated Trees
 2. On private underdeveloped property, a tree measuring 12" C.B.H. or larger
 3. All trees and shrubs on city owned property
 4. No undesirable tree is a protected tree
8. DEFINITION OF AN UNDESIRABLE TREE: One of the following.
 1. Blue Gum Eucalyptus (*Eucalyptus Globulus*)
 2. Monterey Pine (*Pinus Radiata*)
 3. Monterey Cypress (*Cupressus Macrocarpa*)
 4. Coast Redwood (*Sequoia Semervirens*)
 5. Blackwood Acacia (*Acacia Melanoxylon*)
 6. Bailey Acacia (*Acacia Baileyan*)
 7. Green Wattle (*Acacia Aecurrens*)

DIVISION 3 - CONCRETE

NOT USED

DIVISION 4 - MASONRY

NOT USED

DIVISION 5 - METALS

NOT USED

DIVISION 6 - WOOD, PLASTICS & COMPOSITES

FRAMING NOTES

1. TREATED LUMBER: All wood, including posts, within 6 inches of the ground shall be pressure treated or foundation-grade redwood.
2. PRESSURE TREATED : Any area framed with pressure treated material, the connection hardware must be hot-dipped zinc-coated. Fasteners in preservative treated wood must be approved silicon bronze, or copper, stainless steel or hot-dipped zinc-coated steel. This includes the foundation plates.
3. CUT OR NOTCHED WOOD: Any cut or notched wood shall be sealed with epoxy sealer.
4. SOLES AND PLATES: Where plumbing, heating or other pipes are placed in or partially placed in a partition, necessitating the cutting of soles or plates, a metal tie not less than 16 gauge galvanized and 1 1/2" wide shall be fastened to each plate across and to each side of the opening with not less than six 16d nails. FIRE BLOCKING: Provide fire blocking at ceilings, floors, furred down ceilings, showers, soffits, and at concealed draft openings not to exceed 10' maximum. CBC 708

DIVISION 7 - THERMAL & MOISTURE PROTECTION

INSULATION NOTES

1. INSULATION: Provide minimum R-13 insulation in all new walls and R-30 insulation in all new roofs.

FLASHING NOTES

1. METAL FLASHING shall be copper or galvanized steel, unless otherwise noted.

MOISTURE PROTECTION NOTES

1. VAPOR BARRIER shall be roll-on urethane membrane per Division7 (or approved equal).
2. TUB/SHOWER ENCLOSURE: Provide cement, fiber-cement or glass mat gypsum backers (non-absorbent surface) for tile base in showers & tubs per CBC 2509.2, to a height of 72" minimum above the drain inlet. CBC 807.1 and 2512 (Not required where integral fiberglass units extending 72" above drain inlet are clearly specified on the plans).
3. Install capillary break and vapor retarder at slab on grade foundations. (4.505.2)
4. Check moisture content of building materials used in wall and floor framing before enclosure. (4.505.3)

DIVISION 8 - OPENINGS

EGRESS NOTES

1. EGRESS WINDOW: Every sleeping room shall be provided with an emergency egress window or door per CBC 1026 :
 - a. minimum net clear opening height of 24 inches.
 - b. minimum net clear opening width of 20 inches.
 - c. minimum net clear operable area of 5.7 sq. ft.
 - d. maximum finished sill height of 44 inches.

GLASS NOTES

1. GLASS: All glass shall conform with human impact and safety requirements as per CBC. 2406

DIVISION 9 - FINISHES

GENERAL FINISH NOTES

1. TYPE "X" GYPSUM: Type "X" gypsum board is to be used at all walls and soffits of enclosed usable space under stairs.
2. PAINTING: Provide 1 coat primer and 2 finish coats of paint at all interior and exterior surfaces.
3. STUCCO: Provide 26-gauge (min) galvanized weep screed at the foundation plate line at all stucco walls.
4. A minimum of 80% of the floor area receiving resilient flooring shall comply with (Calgreen 4.504.4).
5. Adhesives, sealants and caulks shall be compliant with VOC and other toxic compound limits. (Calgreen 4.504.2.1)
6. Paints, stains and other coatings shall be compliant with VOC limits. (Calgreen 4.504.2.2)
7. Aerosol paints and coatings shall be compliant with product weighted MIR limits for ROC and other toxic compounds. (Calgreen 4.504.2.3) Verification of compliance shall be provided.
8. Carpet and carpet systems shall be compliant with VOC limits. (Calgreen 4.504.3)
9. Particleboard, medium density fiberboard (MDF) and hardwood plywood used in interior finish systems shall comply with low formaldehyde emission standards. (Calgreen 4.504.5)

DIVISION 10 - SPECIALTIES

NOT USED

DIVISION 11 - EQUIPMENT

NOT USED

DIVISION 12 - FURNISHINGS

NOT USED

DIVISION 13 - SPECIAL CONSTRUCTION

NOT USED

DIVISION 14 - CONVEYING EQUIPMENT

NOT USED

DIVISION 21 - FIRE SUPPRESSION

NOT USED

DIVISION 22 - PLUMBING

PLUMBING NOTES

1. FIXTURE LOCATIONS: Confirm location of all fixtures and outlets with Architect.
2. PLUMBING VENTS: All new plumbing vents shall terminate not less than 3'-0" from any property line. vents must also terminate at least 4' below, 1' above, and 4' horizontally from any door or operable window or air inlet.
3. RELIEF VALVE: Provide water heater pressure/temperature relief valve with drain to outside of building or other approved location. CPC 608 No part of drain may be installed where it would be subject to freezing. CPC 608.5
4. SHOWER VALVES: Provide shower and tub-shower combinations with individual control valves of the pressure balance or the thermostatic mixing valve type. CPC 420.0
5. BACKFLOW PREVENTION: Provide a non-removable backflow prevention device on all exterior hose bibbs and lawn sprinkler/irrigation systems. CPC 603.4
6. METAL WATER PIPING and other interior metal piping shall be bonded to the service equipment enclosure pursuant to CEC 250-80 (a) & (b). The points of attachments to the bonding jumper shall be accessible.
7. SEISMIC ANCHORAGE: Provide seismic anchorage for new and/or existing water heater tanks with straps within the upper and lower one-third of unit, with lower strap at least 4" above controls. CPC 510.5
8. NEW FIXTURE FLOW RATES per Calgreen 4.303.1:
 - a. water closets: 1.28 gal./flush
 - b. shower heads: 2.0 gal./min.
 - c. lavatory faucets: 1.2 gal./min.
 - d. kitchen faucets: 1.8 gal./min.

DIVISION 23 - HVAC

VENTILATION NOTES

1. BATHROOM EXHAUST FANS shall be connected directly to outside and be capable of 5 air changes per hour. (CBC 1203.3) TERMINATION of all environmental air ducts shall be a minimum of 3'-0" from any opening into the building. Exhaust air vent to have back draft damper.
2. PLUMBING VENTS: All new plumbing vents shall terminate not less than 3'-0" from any property line. vents must also terminate at least 4' below, 1' above, and 4' horizontally from any door or operable window or air inlet.

DUCTING NOTES

1. Duct systems to be sized and designed, and equipment selected per Calgreen 4.507.2. HVAC system installers must be trained and certified and special inspectors employed by the enforcing agency must be qualified per Calgreen 4.507.2.
3. VENT STRIP at roof-edge venting shall be Cor-a-vent RS-400, or equal.
4. INSECT SCREEN: All insect screen at eave vents shall be corrosion resistant metal mesh with mesh openings 1/4" in dimension, unless otherwise noted.



7 Princess St, Suite A
Sausalito, CA 94965
Phone: 415 944-5480

Millard@Arterberry-Design.com

Owner:
Pacific Private Money Fund I, LLC
Et/Al c/o Mark Hanf, Manager
1555 Grant Ave.
Novato, CA 94945

A.P.N 012-043-11 &12

52/54 Fremont Street
San Rafael CA 94965
A.P.N.: 012-043-11 & 12

MARK	DATE	ISSUES					
		DESCRIPTION					
	7/02/18	PLANNING SUBMISSION					
	2/04/19	PLANNING SUBMISSION					
	4/04/19	PLANNING SUBMISSION					
	7/26/19	PLANNING SUBMISSION					
	2/24/2020	PLANNING SUBMISSION					
	9/24/2020	PLANNING SUBMISSION					
	11/20/2020	PLANNING SUBMISSION					

PROJECT #:

CAD FILE

DRAWN BY:

CHECKED BY:

COPYRIGHT © 2018 ARTERBERRY DESIGN

1805

Remont Road22 - Main - 11-20-2020, 11:20:20

MNA

MNA

GENERAL NOTES

G-001

DIVISION 26 - ELECTRICAL

ELECTRICAL NOTES

1. GROUNDING ELECTRODE SYSTEM: Electrician shall provide and locate the grounding electrode system conforming to CEC 250-81.
2. SMOKE DETECTORS: Contractor shall verify the existence of or install smoke detectors and carbon monoxide detectors in accordance with state law, notes below, and drawings. Alarms shall receive their primary power from the building wiring and shall be equipped with a battery backup. Alarms in existing areas where access to the area of the ceiling is not possible may be powered by a D/C battery source.
3. KITCHEN CIRCUIT: Provide at least two separate 20 amp circuits for small appliances in kitchen, pantry, dining room and similar areas, with no other outlets on the circuits. CEC 210-11 (c)(1), 210-52 (b)
4. LAUNDRY CIRCUIT: Provide a dedicated 30-amp circuit serving dryer in addition to one separate 20-amp circuit serving other laundry appliances. CEC 220-4(c)
5. BATH OUTLETS: Provide at least one 20 amp circuit for bathroom outlets with no other outlets on the circuit. CEC 210-52(d).
6. CLOTHES CLOSET LAMPS. Light fixture clearances shall conform to CEC 410-8.
7. LUMINAIRE EFFICACY - All installed luminaires shall be high-efficacy. CENerC 150.0(k)1.A
8. The following table defines high efficacy lighting CENerC Table 150.0-A.

HIGH EFFICIENCY LIGHT SOURCES

- Light sources other than those installed in ceiling recessed downlight luminaires, are classified as high efficacy and are not required to comply with Reference Joint Appendix JA8.
1. Pin-based linear or compact fluorescent light sources using electronic ballasts
2. Pulse-start metal halide.
3. High pressure sodium
4. GU-24 sockets containing light sources other than LEDs
5. Luminaires with hardwired high frequency generator and induction lamp
6. Inseparable SSL luminaires that are installed outdoors
7. Inseparable SSL luminaires containing colored light sources that are installed to provide decorative lighting

- Light sources shall be certified to the Commission as High Efficacy Light Sources in accordance with Reference Joint Appendix JA8 and marked as meeting JA8.
8. All light sources in ceiling recessed downlight luminaires. Note that ceiling recessed downlight luminaires shall not have screw bases regardless of lamp type as described in Section 150.0(k)1.C.
9. GU-24 sockets containing LED light sources
10. Any light source not otherwise listed in the table and certified to the Commission as complying with Joint Appendix 8.

9. BATHROOMS, GARAGE, LAUNDRY & UTILITY ROOM LIGHTING - At least one luminaire in each of these spaces shall be controlled by a vacancy sensor CENerC 150.0(k)2.J.

10. RECESSED LIGHTING FIXTURES shall be rated as air-tight (AT) and, when installed in an insulated ceiling, shall have an approved zero clearance insulation cover (IC). (2013 CA Title 24 Section 150)

11. LIGHT FIXTURES in tub or shower enclosures or other wet/damp locations shall be labeled "suitable for damp locations". CEC 410-4(a)

12. OUTLETS: In every habitable room an electrical outlet shall be installed so that no point along the floor line in a wall space is more than six feet measured horizontally, from any outlet in that space, including any wall space two feet or more in width, the wall space occupied by fixed panels in exterior walls, and fixed room dividers. NEC Article 210-52.

13. NEW OUTLETS (including receptacles, switches, lighting, and hard-wired smoke detectors) in bedrooms, hallways, living rooms, dining rooms, kitchens, and similar areas must be on circuits protected with a combination arc-fault breaker. (2013 CEC 210.12)

14. RECEPTACLES installed in the following locations must be GFCI protected: exterior, garage, bathrooms, and above the kitchen countertop. (2013 CEC 210.12).

15. LOAD CALCLTATIONS: Contractor to submit electrical load calculations for the sizing of the electrical panels to the building department for approval prior to installation.

16. SMOKE DETECTORS: Smoke detectors shall be powered by building wiring with battery back-up. Provide smoke detectors in the following areas (as applicable): - at each story and basement. - within each bedroom and centrally located in the corridor or area giving access to each sleeping area. - in each room where non-bedroom ceiling heights exceed the hall ceiling height by more than 2'.

17. CARBON MONOXIDE alarms are to be installed outside each bedroom per CRC 315.2

18. ALL 125 volt, 15- and 20- ampere receptacle outlets shall be listed tamper resistant receptacles per CEC 406.11

DIVISION 31 - EARTHWORK

EXCAVATION NOTES

1. Refer to architectural and structural drawings for exact dimensions: details of foundation systems: floor plans, etc.
2. Utilities shown are diagrammatic and show only delivery to building, internal site utilities are not depicted. All work shall conform to respective utility company's specifications. Provide sleeve through walls as required to accommodate underground utilities.

GRADING NOTES


1. Contractor shall verify existing contours and general site conditions and report any discrepancies to architect prior to start of work.
2. Grading shall be performed as recommended by the geotechnical investigation.
3. Unless noted otherwise, all retaining walls shall have a waterproof membrane on the backside: back fill with crushed rock and place a minimum 4" diameter perforated pipe at bottom. Provide positive drainage to safe discharge away from building. Provide cleanouts at dead ends and at turns greater than 45 degrees.
4. Provide sleeves through walls as necessary to accommodate all underground utilities.
5. Provide slope of 5% (or 2% for impervious surfaces) within 10 feet of dwelling's foundations per CBC1804.3 and CGCB 4.106.3.

DIVISION 32 - EXTERIOR IMPROVEMENTS

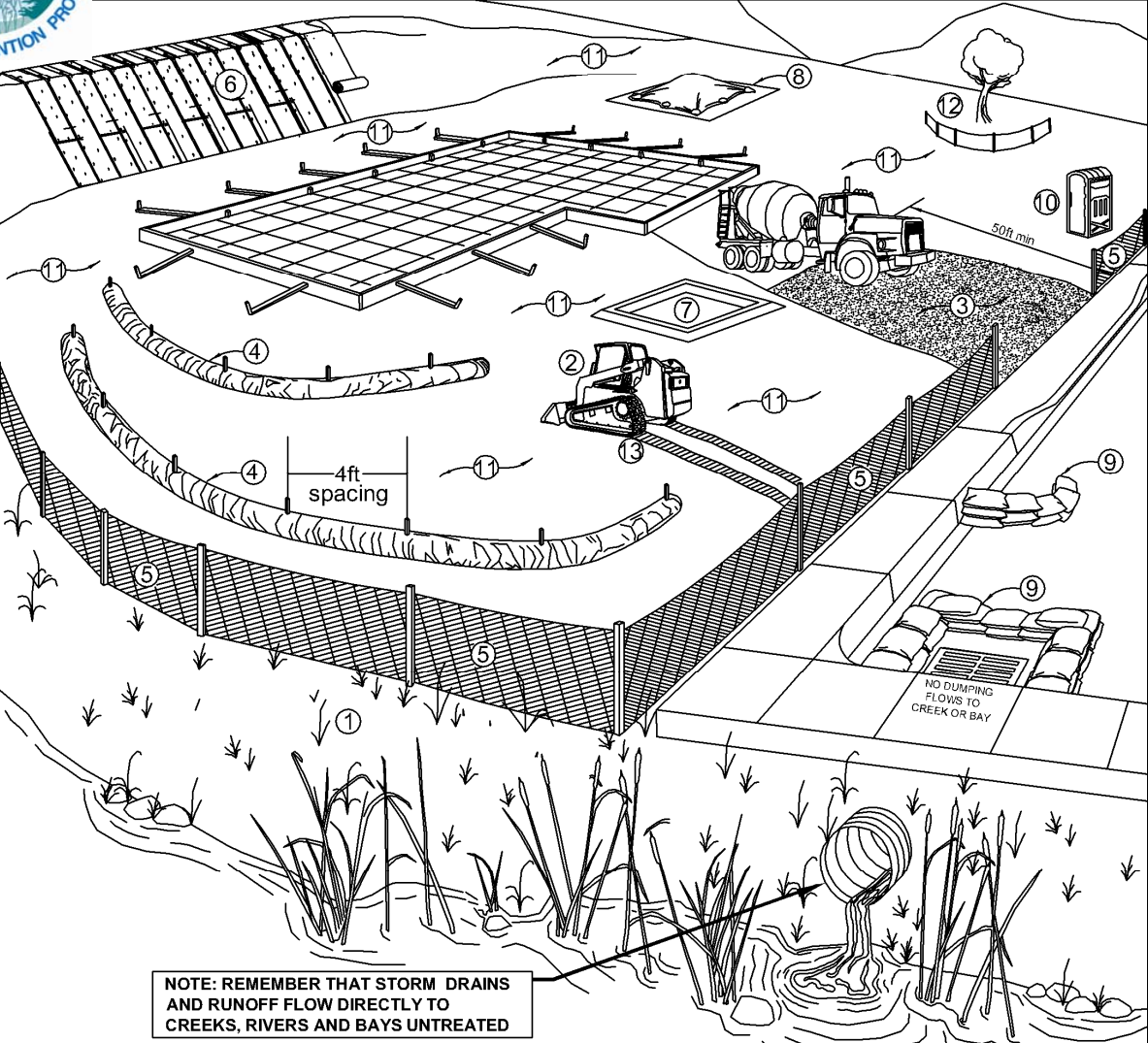
SITE DRAINAGE NOTES

1. DRAIN PIPE: Provide a 4 inch perforated pipe (holes down) Behind every retaining wall and perimeter footing set in drain rock. Provide clean-outs at dead ends and at turns greater than 45 degrees.

DIVISION 32 - EXTERIOR IMPROVEMENTS (continued)



Marin County Stormwater Pollution Prevention Program
Minimum Erosion/Sediment Control Measures
For Small Construction Projects



NOTE: REMEMBER THAT STORM DRAINS AND RUNOFF FLOW DIRECTLY TO CREEKS, RIVERS AND BAYS UNTREATED

(1) Check with your local Planning and Public Works departments for creek setback requirements. Grading and/or building may be limited within creekside buffers.

(2) During grading phase, track-walk up and down slopes (not parallel to them).

(3) Stabilize site entrance and temporary driveway – use 3-4" crushed rock for a minimum of 50' (or as far as possible) to prevent tracking soil offsite. This can be used in conjunction with a tire wash or rumble plates.

(4) Use straw wattles along contours of short slopes or slopes 3:1 or flatter, keyed into ground at least 3" deep (typically 25' apart).

(5) Install silt fence along contours as secondary measure to keep sediment onsite and to minimize vehicle and foot traffic beyond limits of site disturbance. Silt fencing must be keyed in.

(6) Install erosion control blankets (or equivalent) on any disturbed site with 3:1 slopes or steeper, keyed into the ground at least 3".

(7) Construct a concrete washout site adjacent to stabilized entrance. Clean as needed and remove at end of project.

(8) Cover all stockpiles and landscape material and burn properly with straw wattles or sand bags. Keep behind silt fence, away from water bodies. Hazardous materials must be kept in closed containers that are covered and utilize secondary containment, not directly on soil.

(9) Use pea-gravel bags, (or similar product) around drain inlets located both onsite and in gutter as a last line of defense.

(10) Place port-a-potty near stabilized site entrance, behind the curb and away from gutters, storm drain inlets, and water bodies.

(11) Cover all exposed soil with straw mulch and tackifier (or equivalent).

(12) Existing vegetation should be preserved as much as possible. Areas of disturbed soil/vegetation should be revegetated as soon as practical.

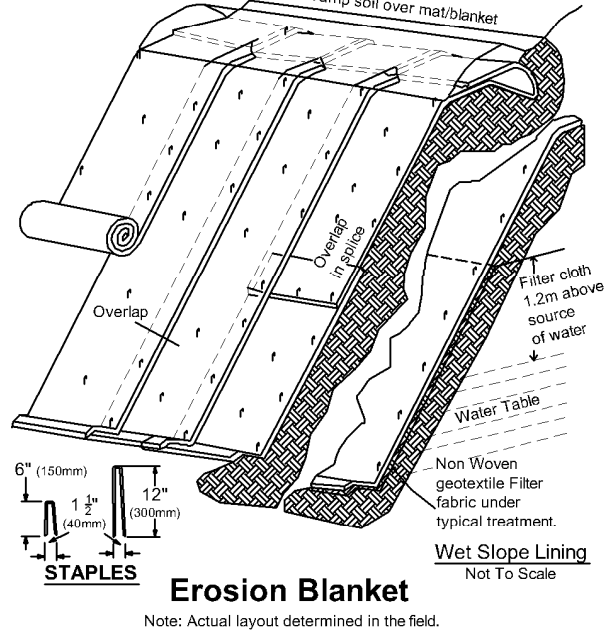
(13) Prevent equipment fluid leaks onto ground by placing drip pans or plastic tarps under equipment.

Note: Schedule construction activities to reduce erosion potential. Sediment and erosion control shall be continually maintained throughout the rainy season (October 15th – April 15th) and must remain effective through the construction and landscape phases. Inspect and maintain Best Management Practices (BMPs) before and after rain events. *See reverse for detail drawings. Visit www.mcostopp.org for more information on construction site management.

Notes:

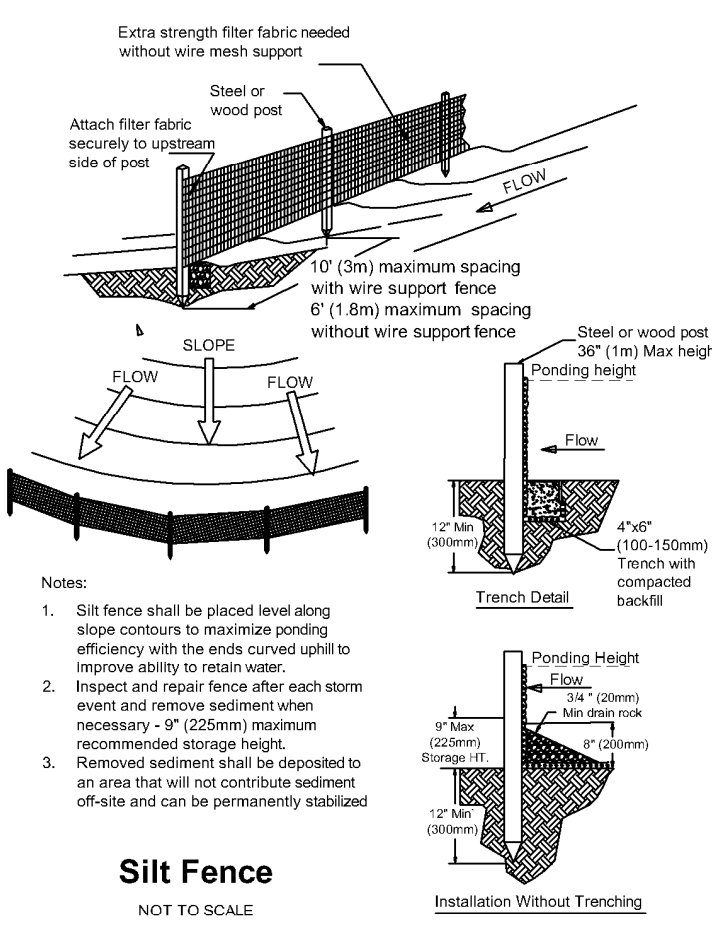
1. Manhole blankets should be installed vertically down slope.

2. Staple blankets sufficiently to ensure that material will maintain direct contact with soil.



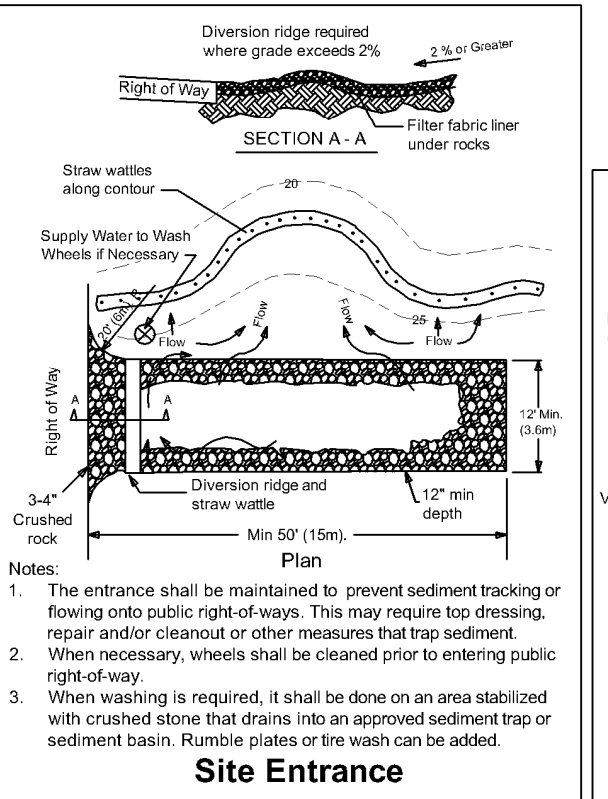
Erosion Blanket

Note: Actual layout determined in the field.



Silt Fence

NOT TO SCALE



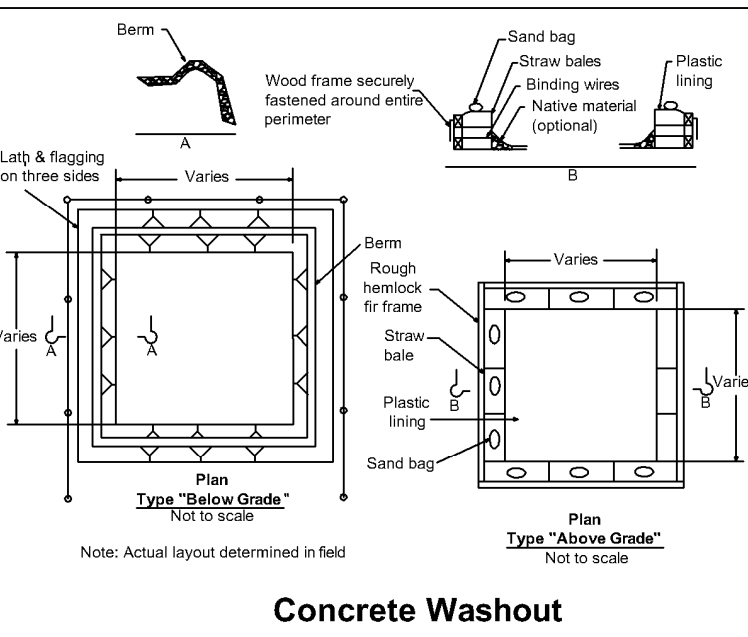
Site Entrance

Notes:

1. The entrance shall be maintained to prevent sediment tracking or flowing onto public right of ways. This may require top dressing, repair and/or cleanup or other measures that trap sediment.


2. When necessary, wheels shall be cleaned prior to entering public right of way.

3. When washing is required, it shall be done on an area stabilized with crushed stone that drains into an approved sediment trap or sediment basin. Rumble grids or tire wash can be added.



Concrete Washout

Note: Actual layout determined in field



Catch Basins with Gravel Bags

(preferable to sand bags near inlets)

If you require materials in alternative formats, please contact:
415-473-4381 voice/TTY or disabilityaccess@co.marin.ca.us

DIVISION 32 - EXTERIOR IMPROVEMENTS (continued)

A Guide to Straw Wattle Installation

Proper installation of the straw wattle is essential in order to insure the success of the product. Straw wattles are designed for low surface flows, not to exceed 1 cfs for small areas. While they work well on stream banks, they should not be placed in the path of high water flow. On slopes, wattles should be installed on contour with a slight downward angle at the end of the row in order to prevent ponding at the mid-section. No overall slope preparation is needed prior to installation; however, straw wattles should always be installed in shallow trenches according to the guidelines given below. Running lengths of wattles should be abutted firmly to ensure no leakage at the abutments. Guidelines regarding vertical spacing are given below. The wattles should be pinned securely to the ground according to instructions in order to insure their stability and the success of the installation.

SPACING - DOWNSLOPE

Vertical spacing for slope installations should be determined by site conditions: slope gradient and soil type are the main factors.

A good rule-of-thumb is:

- 1:1 slopes = 10 feet apart
- 2:1 slopes = 20 feet apart
- 3:1 slopes = 30 feet apart
- 4:1 slopes = 40 feet apart, etc.

However, adjustments may have to be made for the soil type:

- For soft, loamy soils - adjust the rows closer together.
- For hard, rocky soils - adjust the rows further apart.

TRENCHING

Use a hand tool such as a maddox or pick to score the ground. Using a shovel, dig the trench to the needed depth. Soil from excavating the trenches can be placed on the uphill, or flow side, of the trench to be used during installation.

- For soft, loamy soils: dig a 3-5 inch trench.
- For hard, rocky soils: dig a 2-3 inch trench.

INSTALLING

Lay the first straw wattle snugly in the trench. **No daylight should be seen under the wattle.** Pack soil from trenching against the wattle on the uphill side. When installing running lengths of straw wattles, you must butt the second wattle tightly against the first wattle. **DO NOT overlap the ends on top of each other.** Overlapping behind each other has been done with some success. Stake the straw wattles at each end and four foot on center.

For example:

- 25 foot wattle uses 6 stakes
- 20 foot wattle uses 5 stakes
- 12 foot wattle uses 4 stakes

Stakes should be driven through the middle of the wattle, leaving 2-3 inches of the stake protruding above the wattle. A heavy sediment load will tend to pick the wattle up and could pull it off the stakes if they are driven down too low. It may be necessary to make a hole in the wattle with the pick end of your maddox in order to get the stake through the straw. When straw wattles are used for flat ground applications, drive the stakes straight down; when installing wattles on slopes, drive the stakes perpendicular to the slope.

Drive the first end stake of the second wattle at an angle toward the first wattle in order to help abut them tightly together. If you have difficulty driving the stake into extremely hard or rocky slopes, a pilot bar may be needed to begin the stake hole.

1

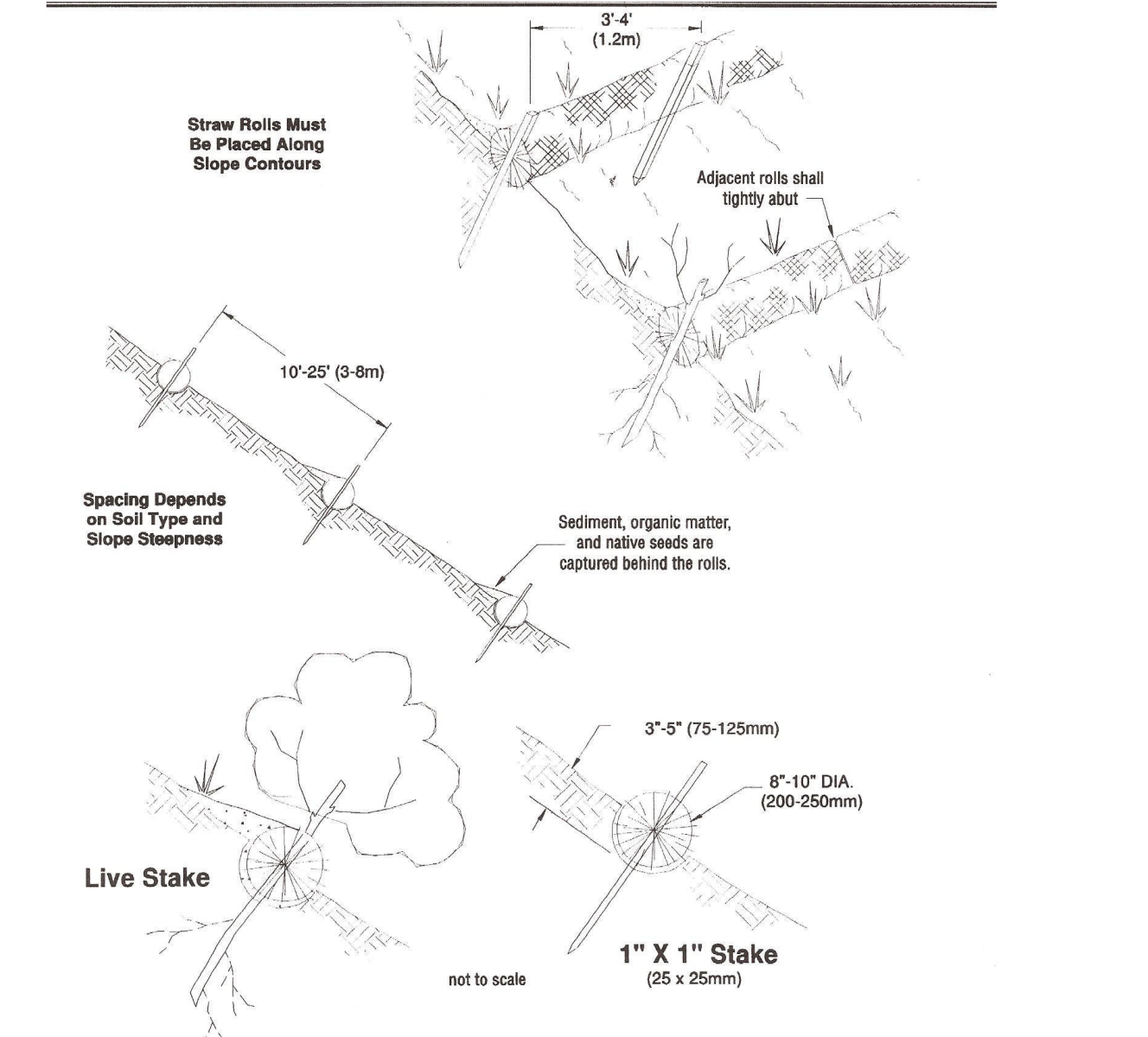
FLAT GROUND APPLICATIONS

For installations along sidewalks or behind curbs it may not be necessary to stake the wattles, however, trenches must still be dug. If you have not yet back-filled behind the sidewalk or curb, lay the wattle snugly against it first, then backfill behind the wattle. Your trench is done! For installations around storm drains and inlets, trenches and staking will be needed.

Fit wattle in trench snugly up against the sidewalk or curb. Around storm drains or inlets, the wattle should be back 1-1½ ft. and should direct water flow toward the angle of drainage. If all drainage angles into the inlet, snake the wattle all the way around the inlet, using more than one wattle if needed.

STAKING

We recommend using wood stakes or willow cuttings, rather than metal pins, to secure the straw wattles. Wood stakes will eventually bio-degrade, and willow cuttings will grow and provide extra stabilization. Be sure to use a stake that is long enough to protrude several inches above the wattle: 18" is a good length for hard, rocky soil. For soft, loamy soil use a 24" stake for greater security. The diameter of the stake should be approximately 1" for ease of driving through the wattle.



Straw Rolls Must Be Placed Along Slope Contours

Adjacent rolls shall tightly abut.

Spacing Depends on Soil Type and Slope Steepness

Sediment, organic matter, and native seeds are captured behind the rolls.

Live Stake

not to scale


3"-5" (75-125mm)

8"-10" DIA. (200-250mm)

1" X 1" Stake (25 x 25mm)

NOTE:

1. Straw roll installation requires the placement and secure staking of the roll in a trench, 3"-5" (75-125mm) deep, dug on contour. runoff must not be allowed to run under or around roll.



Arterberry
RESIDENTIAL DESIGN

7 Princess St, Suite A
Sausalito, CA 94965
Phone: 415 944-5480

Millard@Arterberry-Design.com

Owner:
Pacific Private Money Fund I, LLC
ETAI c/o Mark Hanf, Manager
1555 Grant Ave.
Novato, CA 94945

A.P.N 012-043-11 & 12
52/54 Fremont Street
San Rafael CA 94965
A.P.N.: 012-043-11 & 12

MARK	DATE	ISSUES				
		DESCRIPTION	PLANNING SUBMISSION	PLANNING SUBMISSION	PLANNING SUBMISSION	PLANNING SUBMISSION
	7/02/18	PLANNING SUBMISSION				
	2/04/19	PLANNING SUBMISSION				
	4/04/19	PLANNING SUBMISSION				
	7/26/19	PLANNING SUBMISSION				
	2/24/2020	PLANNING SUBMISSION				
	9/24/2020	PLANNING SUBMISSION				
	11/20/2020	PLANNING SUBMISSION				

PROJECT #:

1805

CAD FILE:

Remont Road22 - Main - 11-20-2020.rvt

DRAWN BY:

MNA

CHECKED BY:

MNA

COPYRIGHT © 2018 ARTERBERRY DESIGN

GENERAL NOTES

G-002

AB	ARCH	AGGREGATE BASE ARCHITECT (URAL)	HORZ	HORIZONTAL
BO		BOARD	INV	PIPE INVERT
BULD		BUILDING	JT	JOINT TRENCH
BLK		BLOCK		
BOT		BOTTOM	LF	LINEAR FOOT
BS		BACK OF SIDEWALK		
BTWN		BETWEEN	MWMD	MARIN MUNICIPAL WATER DISTRICT
BSL		BUILDING SETBACK LINE	MAX	MAXIMUM EXISTING
BW		BOTTOM OF WALL	MAX	MAXIMUM
			MIN	MINIMUM
CL		CENTERLINE		
CLR		CLEAR (ANCE)	NTS	NOT TO SCALE
CLN		CLEANOUT		
CONC		CONCRETE	OC	ON CENTER (S)
CONC		CONSTRUCTION		
CONT		CONTINUOUS OR CONTINUE	PERF	PERFORATE (D)
CY		CUBIC YARD	PL	PROPERTY LINE
DL		DRAINLINE	PT	POINT
DI		DROP INLET	PUE	PUBLIC UTILITY EASEMENT
DIM		DIMENSION	PVC	POLYVINYL CHLORIDE
DOS		DOWNSPOUT		
D/W		DRIVEWAY	RC	RELATIVE COMPACTION
DWG		DRAWING	RPBP	REDUCED PRESSURE BACKFLOW PREVENTER
EL		ELEVATION	S	SLOPE
EQ		EQUIPMENT	SCH	SCHEDULE
ESMT		EASEMENT	SQ	SQUARE FEET
EXIST		EXISTING	SHF	SHEET
EG		EXISTING GRADE	SQ	SQUARE
EXT		EXTERIOR	SS	SANITARY SEWER
			SSCO	SANITARY SEWER CLEANOUT
			STD	STANDARD
FF		FINISHED FLOOR		
FG		FINISHED GRADE	TC	TOP OF CURB
FL		FLOW LINE	TEL	TELEPHONE
FOUND		FOUNDATION	TG	TOP OF GRATE
FT		FOOT	TW	TOP OF WALL
			TYP	TYPICAL
HDR		HEADER		
HT		HEIGHT	UON	UNLESS OTHERWISE NOTED
HP		HIGH POINT		
			VERT	VERTICAL



52 FREMONT RD. LOT CALCULATIONS
AREA OF LOT: 6587 SQUARE FEET (0.15 ACRES)
AREA OF IMPERVIOUS COVERAGE: 2328 SQUARE FEET
PERCENTAGE OF IMPERVIOUS COVERAGE: 35.3%
DISTURBED AREA: 3046 SQUARE FEET (0.07 ACRES)

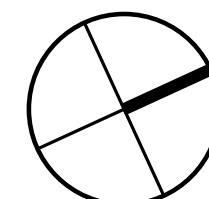
- GRADING NOTES:

1. ALL DOWNSPOUTS SHALL BE CONNECTED TO A 4" DRAIN LINE, WITH A MINIMUM SLOPE OF 1% AND DISCHARGED INTO BIO-RETENTION AREA.
2. STORM DRAIN PIPE SHALL BE RCP, PVC, OR HDPE (MEETING CALTRANS SECTION 64 SPECIFICATIONS)
3. CONTRACTOR SHALL VERIFY ALL QUANTITIES PRIOR TO BID.
4. REFER TO ANY GEOTECHNICAL RECOMMENDATIONS THAT MAY BE A PART OF THIS PROJECT.
5. ALL DISTURBED AREAS SHALL BE SEEDDED WITH EROSION CONTROL SEED MIX, SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION. VEGETATED SWALES SHALL USE THE SAME SEED MIX AND APPLICATION RATES.
6. QUANTITIES SHOWN ARE ESTIMATES ONLY. SITE CONDITIONS, RECOMMENDATIONS OF THE SOILS ENGINEER, MEANS AND METHODS, ETC. CAN RESULT IN SUBSTANTIALLY DIFFERENT VALUES. CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACTUAL VOLUME. EXCESS MATERIAL TO BE HAULED OFF TO AN APPROVED SITE.

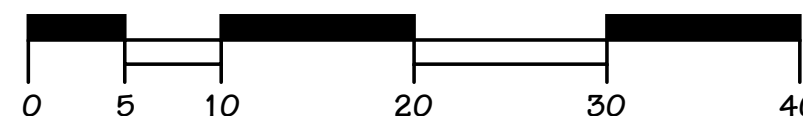
CUT	629 C.Y. CUT
FILL	5 C.Y. FILL
TOTAL	624 C.Y. CUT
7. PROVIDE POSITIVE DRAINAGE TO PREVENT PONDING OF WATER AT UNDER FLOOR AREA. USE 3" Ø SCH. 80 PVC DRAIN LINE THROUGH FOUNDATION FOOTING AT LOWEST CORNER WITH 1% MIN. SLOPE DISCHARGING INTO APPROPRIATE AREA. THESE DRAINS ARE SEPARATE FROM ANY FOUNDATION DRAINS.
8. SLOPE PAVING 2% MIN. AWAY FROM BUILDING.
9. PRIOR TO CONSTRUCTION VERIFY FOUNDATION SECTIONS WITH STRUCTURAL ENGINEERING PLANS.
10. THE CONTRACTOR SHALL VERIFY THE NUMBER AND LOCATION OF STEPS AND LANDINGS IN THE FIELD PRIOR TO CONSTRUCTION.
11. ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY REQUIRES AN EXCAVATION/ENCROACHMENT PERMIT.
12. THE PROPERTY OWNER SHALL MAINTAIN THE DRAINAGE SYSTEM SUCH THAT DRAINAGE SYSTEM SHALL NOT ADVERSELY IMPACT THE NEIGHBORING PROPERTIES OR ANY NATURAL WATER COURSE.

CUT	629 C.Y. CUT
FILL	5 C.Y. FILL
TOTAL	624 C.Y. CUT

STORM DRAIN SCHEDULE	
DI#1 & DI#2	OLDCASTLE MODEL DI-1212
DI#3 - DI#7	OLDCASTLE MODEL DI-1212 (NO BOTTOM, FILL WITH CLASS II AB)



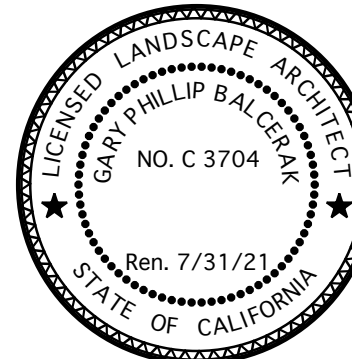
PRELIMINARY
NOT FOR CONSTRUCTION



This is an original unpublished work
and may not be copied or otherwise
used without written consent of
BALCERAK DESIGN

BALCERAK DESIGN
LANDSCAPE ARCHITECTURE • URBAN FORESTRY

608 Beaver Street Santa Rosa, CA 95404
Phone (707) 573-8234 email: balcerak@sonic.net



PRELIMINARY GRADING AND DRAINAGE PLAN

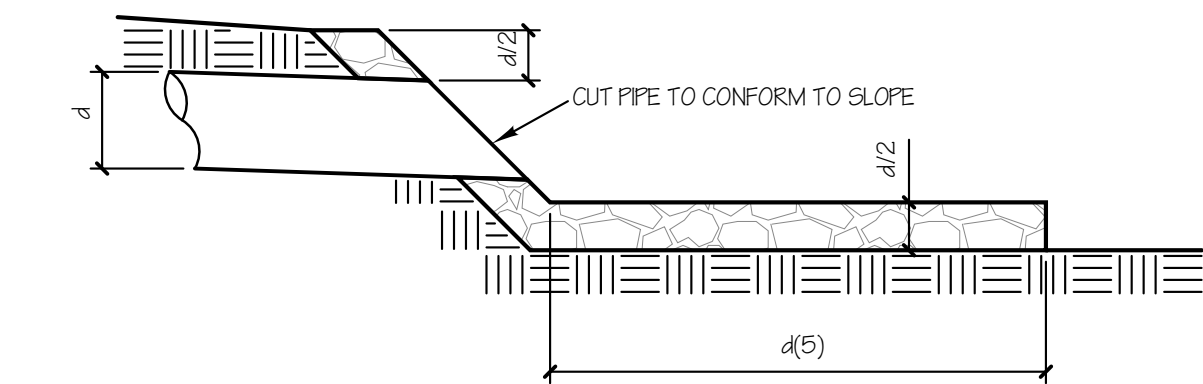
APN: 012-043-011 & 012
52/54 FREMONT ROAD
SAN RAFAEL, CALIFORNIA

Date	No.	Revision

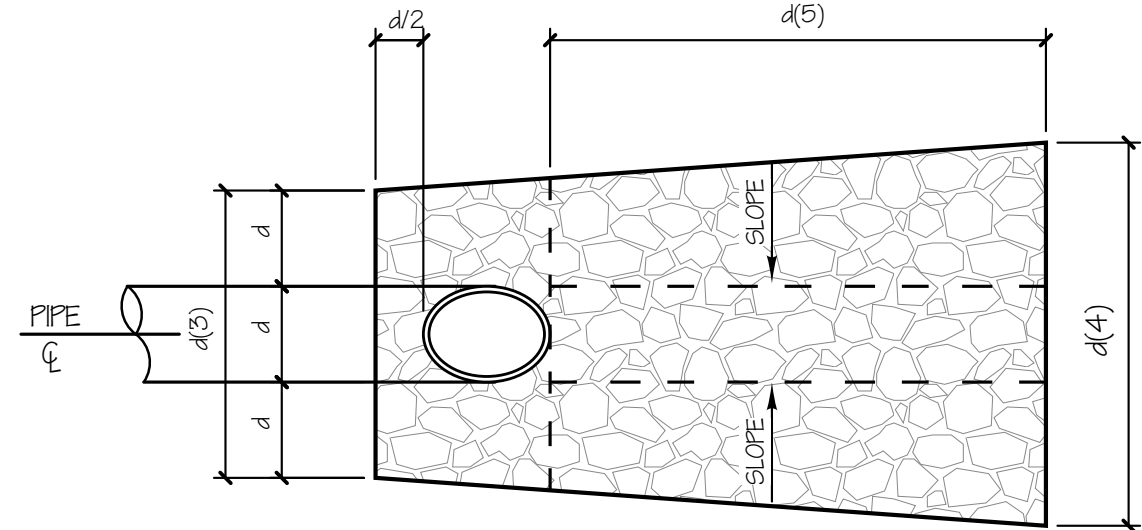
Date: 11 / 4 / 20
 Scale: 1" = 10'-0"
 Drawn: GPB
 Job: 1801
 Sheet

C1.0

Of Sheets



SECTION



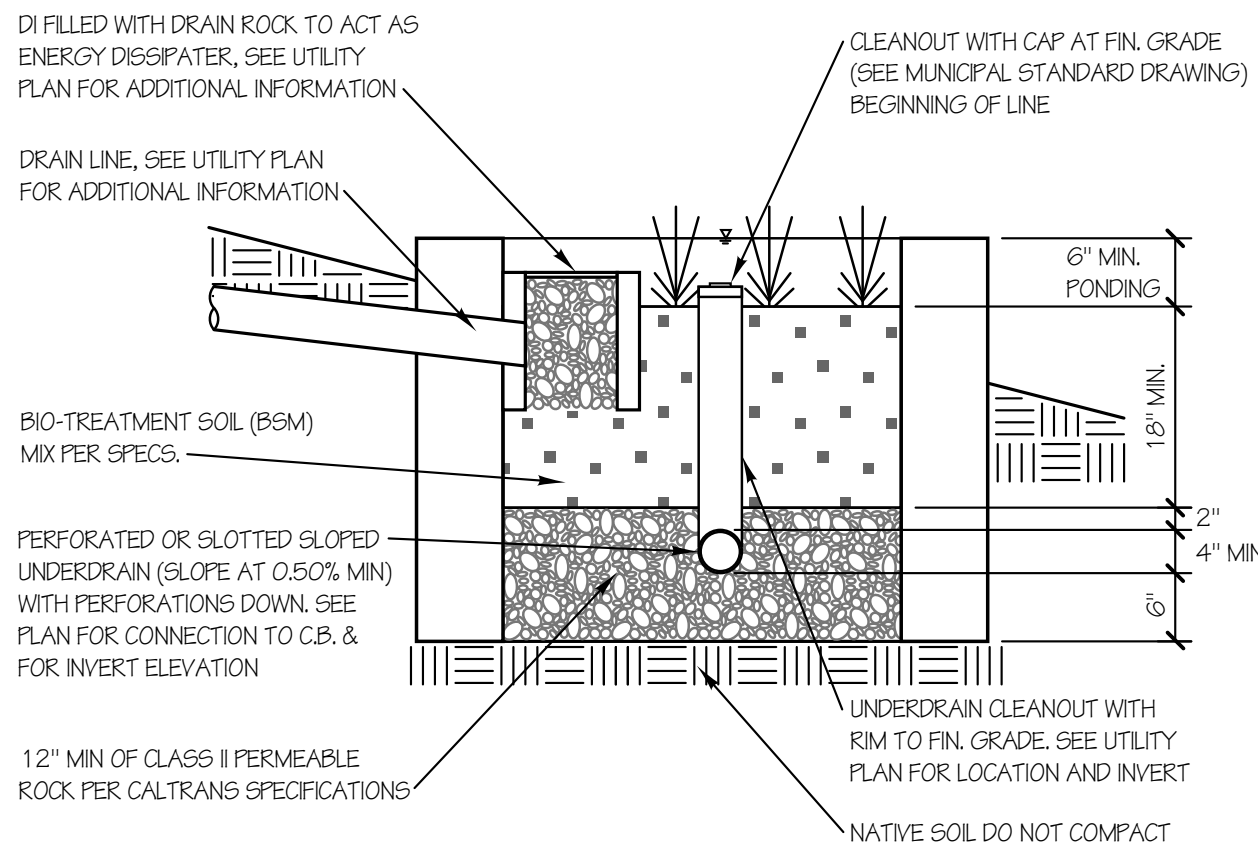
PLAN

- NOTES:
1. CLASS #3 ROCK, PLACE PER CALTRANS SECTION 72 METHOD B
 2. SLOPES SHALL BE 1:1 MAXIMUM

STORM DRAINLINE OUTFALL DETAIL

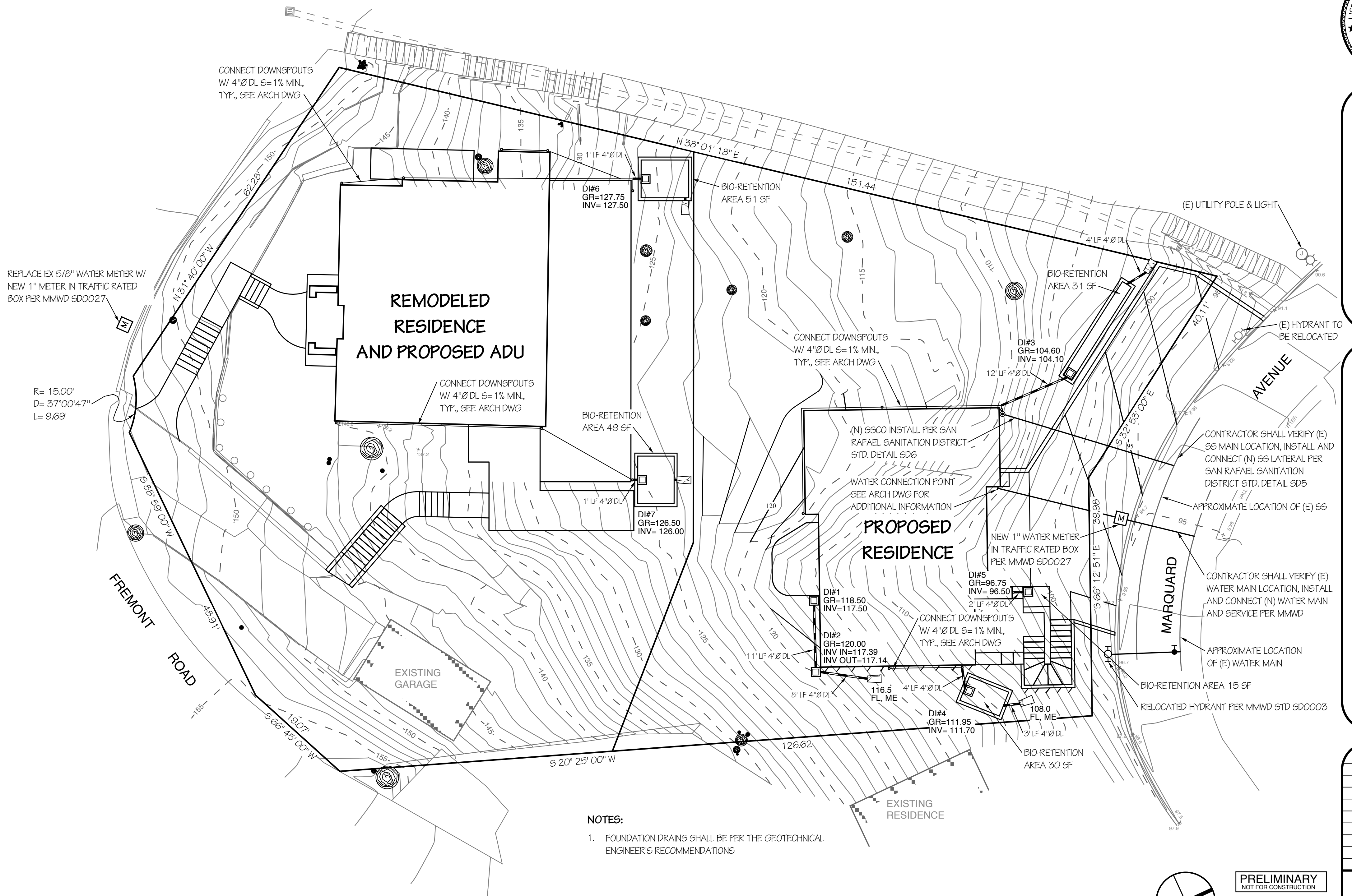
NOT TO SCALE

NOTE:
SURFACE AREA OF THE BIO-TREATMENT SOIL SHALL EQUAL 4% OF THE AREA OF THE SITE THAT DRAINS TO TREATMENT MEASURE, UNLESS SIZING CALCULATIONS ARE SUBMITTED DEMONSTRATING THAT PROVISION C.3 REQUIREMENTS ARE MET USING A SMALLER SURFACE AREA.

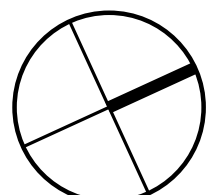


FLOW-THROUGH PLANTER DETAIL

NOT TO SCALE



- NOTES:
1. FOUNDATION DRAINS SHALL BE PER THE GEOTECHNICAL ENGINEER'S RECOMMENDATIONS



PRELIMINARY
NOT FOR CONSTRUCTION



UTILITY PLAN

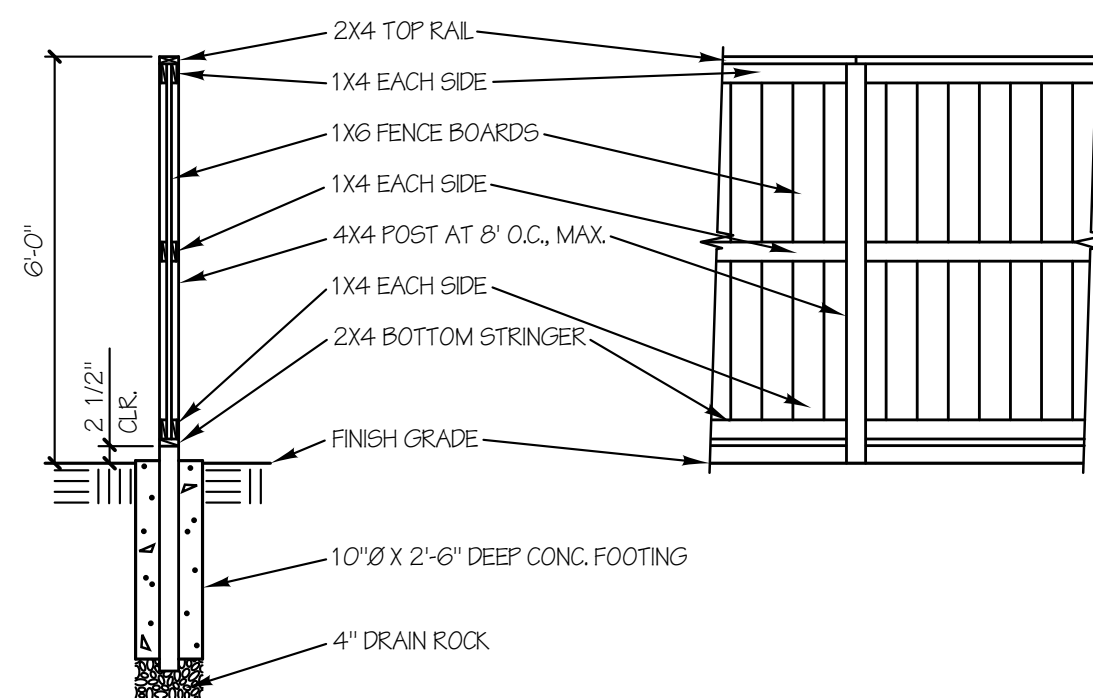
APN: 012-043-011 & 012
52/54 FREMONT ROAD
SAN RAFAEL, CALIFORNIA

Date	No.	Revision

Date: 11/4/20
Scale: 1" = 10'-0"
Drawn: GPB
Job: 1801
Sheet
C2.0
Of Sheets

Planting Legend					
Key	Size	Botanical Name	Common Name	Remarks	Water Use
		Trees			
CJS	#15	Corylus cornuta	Western Hazelnut		Low
		Shrubs			
CAL	*	Calycanthus occidentalis	Spice Bush		Medium
GSH	#5	Gaultheria shallon	Salal		Medium
RSS	*	Rubus spectabilis	Salmonberry		Medium
SYA	*	Symphoricarpos albus var. laevigatus	Snowberry		Low
VOV	*	Vaccinium ovatum	Evergreen Huckleberry		Medium
		Perennials			
COR	4" POT	Cotyledon orbiculata	Pig's Ear	6" O.C. Tri. Spacing	Low
EAG	4" POT	Echeveria agavoides	No Common Name	6" O.C. Tri. Spacing	Low
HMI	#1	Heuchera micrantha	Coral Bells		Medium
OOR	6" POT	Oxalis oregana	Redwood Sorrel		Medium
PMU	#1	Polystichum munitum	Sword Fern		Medium
SED	4" POT	Sedum adolphii	Golden Sedum	6" O.C. Tri. Spacing	Low
SGR	4" POT	Sedum grisebachii	Stone Crop	6" O.C. Tri. Spacing	Low
SEM	4" POT	Sempervivum tectorum	Common Houseleek	6" O.C. Tri. Spacing	Low
WFI	*	Woodwardia fimbriata	Giant Chain Fern		Medium
		Vines			
LGI	#5	Lonicera ciliosa	Western Trumpet Honeysuckle		Medium
		Groundcovers			
CPA	#1	Carex pansa	California Meadow Sedge	9" O.C. Tri. Spacing	Medium
JEF	#1	Juncus effusus	Soft Rush	2' O.C. Tri. Spacing	Medium
JFA	#1	Juncus patens	California Rush	2' O.C. Tri. Spacing	Low

NOTE:
ALL PROPOSED PLANTINGS SHALL BE FIRE RESISTANT AND IRRIGATED. NO PLANTS PROHIBITED BY THE SAN RAFAEL FIRE PROTECTION BUREAU STANDARD 100, THE MARIN MUNICIPAL WATER DISTRICT, OR THE CALIFORNIA INVASIVE PLANT COUNCIL SHALL BE USED. THE CONTROLLER FOR THE IRRIGATION SYSTEM SHALL BE HIGH-EFFICIENCY AND USE EVAPOTRANSPIRATION DATA.



SECTION

NOTE:

1. ALL WOOD SHALL BE REDWOOD, U.O.N.

ELEVATION

FENCE DETAIL

NOT TO SCALE

PLANTING NOTES:

1. A MINIMUM OF 8" OF NON-MECHANICALLY COMPACTED SOIL SHALL BE AVAILABLE FOR PLANT ABSORPTION AND ROOT GROWTH IN PLANTED AREAS.
2. INCORPORATE COMPOST INTO THE SOIL TO A MINIMUM DEPTH OF 8" AT A RATE OF 6 CUBIC YARDS PER 1000 SQUARE FEET IN ALL PLANTING AREAS. DO NOT TILL THE SOIL UNDER EXISTING TREES DESIGNATED TO REMAIN.
3. ALL PLANTING AREAS SHALL RECEIVE A MINIMUM OF 3" OF MULCH, EXCEPT IN TURF AREAS, CREEPING OR ROOTING GROUNDCOVERS AND DIRECT SEEDING APPLICATIONS.
4. AFTER THE GRADING OPERATIONS ARE COMPLETE AND PRIOR TO THE BEGINNING THE LANDSCAPE INSTALLATION SOIL SAMPLING SHALL OCCUR AND SAMPLES SENT TO A TESTING LABORATORY FOR ANALYSIS AND RECOMMENDATIONS. THE ANALYSIS SHALL, AT A MINIMUM, INCLUDE: SOIL TEXTURE, INFILTRATION RATE, PH, TOTAL SOLUBLE SALTS, SODIUM LEVEL, AND PERCENT OF ORGANIC MATTER. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION TO THE CITY (WITH THE CERTIFICATE OF COMPLETION) THAT THE RECOMMENDATIONS FROM THE SOIL ANALYSIS HAVE BEEN IMPLEMENTED.
5. THESE LANDSCAPE DESIGN PLANS COMPLY WITH THE CRITERIA OF THE WATER CONSERVATION ORDINANCE AND EFFICIENT USE OF WATER IN THE LANDSCAPE.

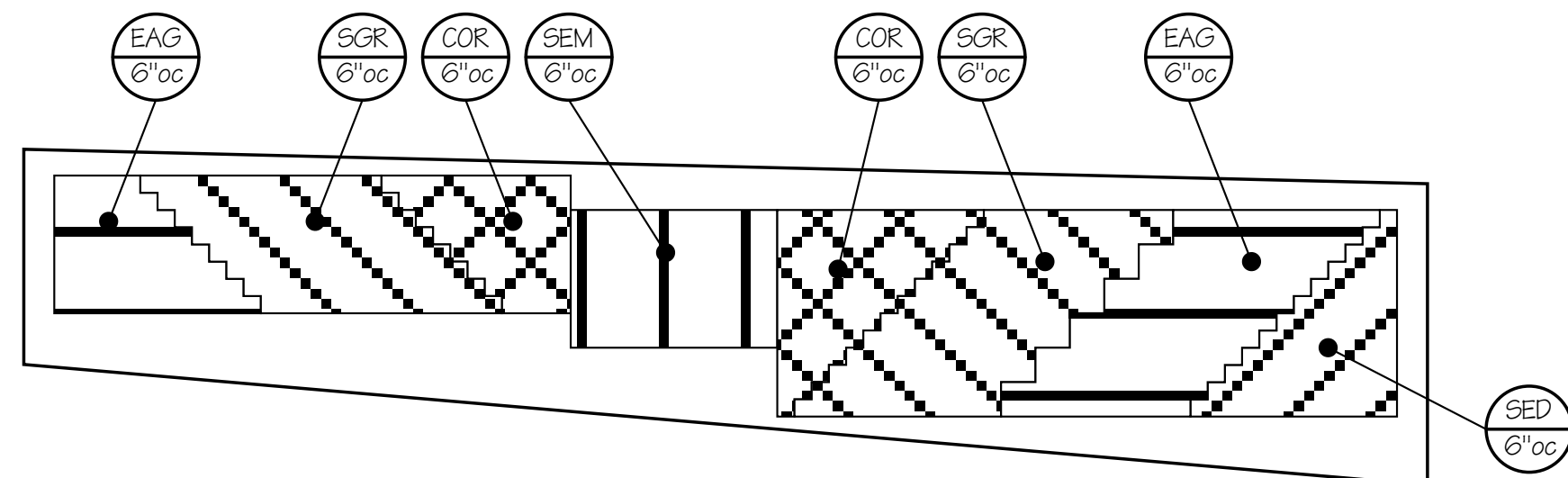
NATURAL STATE SEED MIX AND NOTES

ALL LANDSCAPE AREAS THAT ARE NOT MULCHED SHALL RECEIVE NATURAL STATE SEED MIX. ONLY MULCH SHALL BE PLACED WITHIN THE DRIPLINE OF EXISTING TREES TO REMAIN.

Botanical name	Common Name	Rate
<i>Achillea millefolium</i>	Yarrow	0.1
<i>Gilia achilleifolia</i>	Blue Gilia	0.1
<i>Lotus corniculatus</i>	Bird's-foot Trefoil	0.5
<i>Melica californica</i>	California Melic	2.7
<i>Hordeum brachyantherum</i>	Meadow Barley	1.1
<i>Carex tumulicola</i>	Foothill Sedge	1.5

Rate is given in ounces of Pure Live Seed per 1000 square feet.

1. Seeding shall be performed only after the soil is in a loose condition to a minimum depth of 6 inches. Soil clods shall not be larger than 2 inches in any dimension after cultivation. The areas to be cultivated must extend 12 inches beyond the outer limit of each planting area.
2. Rocks and debris encountered during soil preparation in planting areas must be brought to the ground surface and removed.
3. The seed shall be broadcast using hand held seeders such as "Whirlybird". While seeding, continually mix the seed to equally distribute the seeds throughout the mix. The seeds shall be raked to an average depth of 1/4 inch.
4. Seed must be tested for purity and germination by a seed laboratory certified by the Association of Official Seed Analysts or by a seed technologist certified by the Society of Commercial Seed Technologists. Tests must be performed within 12 months before application.
5. After seeds mix has been broadcast mulch with straw. Straw shall be dry and free of weed seeds. Straw must have not been used for stable bedding. Straw must be free of plastic, glass, metal, rocks, and refuse or other deleterious material. Spread at the rate of 50 pounds per 1000 square feet. Spread it uniformly by hand to a depth of one inch, or use a mechanical straw blower. Mulch shall not be applied during periods of high winds or other unfavorable conditions.
6. Planting areas that have been cultivated and become compacted for any reason shall be recultivated by the Contractor at the Contractor's expense.



NOTE:
PLANT SUPPORT SHALL BE "FLORAFELT PRO
SYSTEM MODULAR LIVING WALL KIT"

WALL ELEVATION A

 $1'' = 5' - 0''$

IRRIGATION STATEMENT

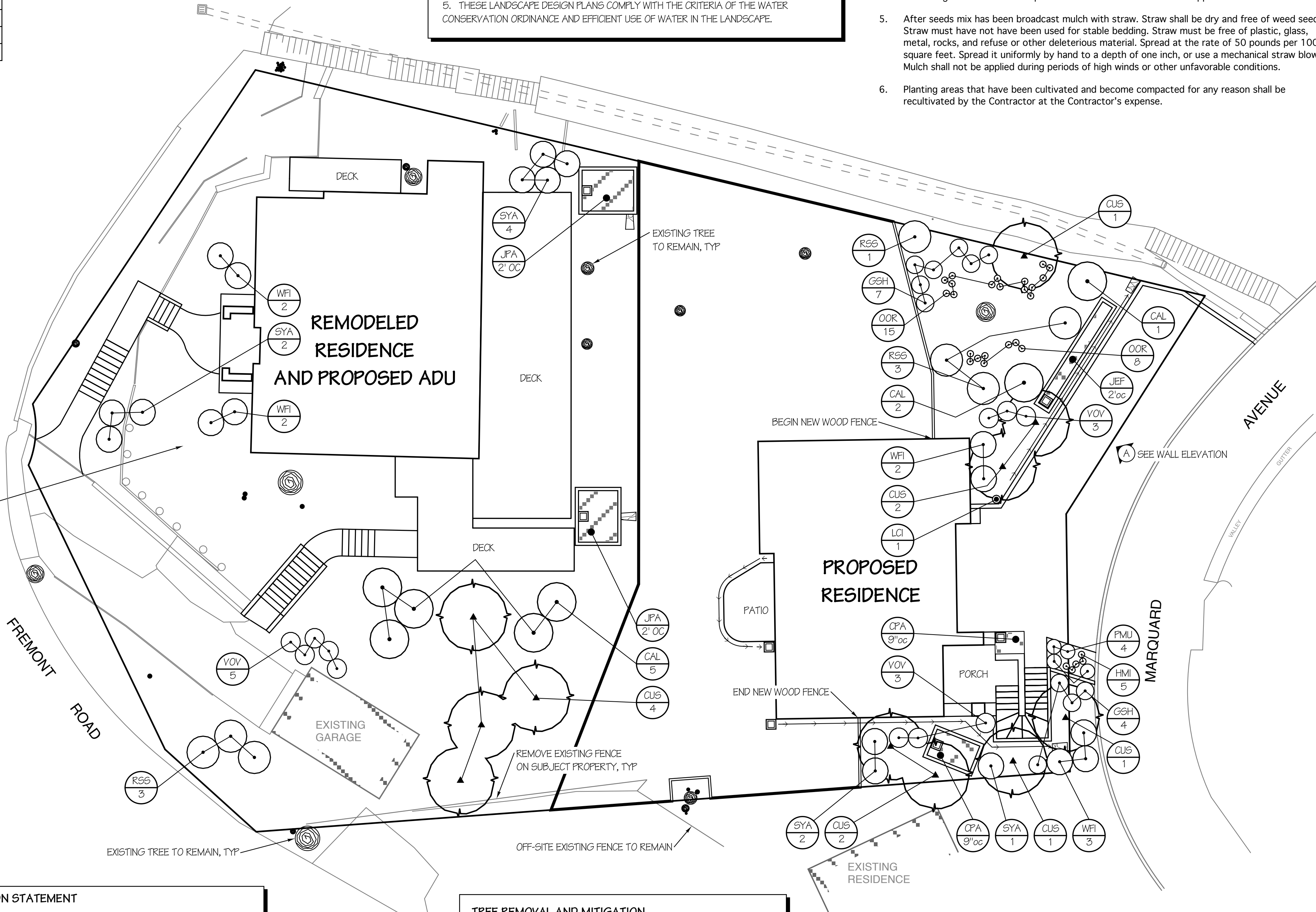
ALL PLANTING AREAS SHALL BE IRRIGATED BY AN AUTOMATIC IRRIGATION SYSTEM THAT MEETS THE REQUIREMENTS OF THE EFFICIENT USE OF WATER IN THE LANDSCAPE REQUIREMENTS.

THE IRRIGATION PLAN SHALL BE PREPARED AS PART OF THE BUILDING PERMIT SUBMITTAL. THE DRAWING SHALL INCLUDE ALL THE REQUIREMENTS OF THE EFFICIENT USE OF WATER IN THE LANDSCAPE INCLUDING STANDARD NOTES, IRRIGATION AUDIT, AND CERTIFICATE OF COMPLETION.

TREE REMOVAL AND MITIGATION

TREES REMOVED SHALL BE MITIGATED AT THE RATE OF 3:1. A TOTAL OF 14 TREES ARE PROPOSED FOR REMOVAL FOR THIS DEVELOPMENT PROPOSAL. THEREFORE, 42 TREES ARE REQUIRED AS MITIGATION.

THE PLANTING PLAN PROPOSES THE PLANTING OF 3 NEW TREES. THE REMAINING 39 TREES REQUIRED AS MITIGATION WILL BE SATISFIED BY THE PAYING OF IN-LIEU FEES.



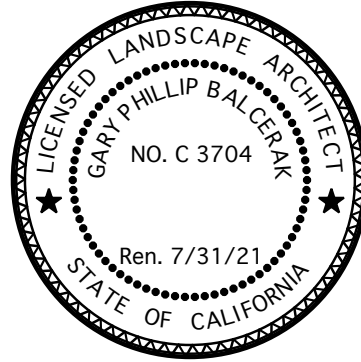
PRELIMINARY
NOT FOR CONSTRUCTION



This is an original unpublished work
and may not be copied or otherwise
used without written consent of
BALCERAK DESIGN

BALCERAK DESIGN
LANDSCAPE ARCHITECTURE • URBAN FOREST

608 Beaver Street Santa Rosa, CA 95404
Phone (707) 573-8234 email: balcerak@



PLANTING PLAN

APN: 012-043-011 & 012

52/54 FREMONT ROAD
SAN RAFAEL, CALIFORNIA

[illegible]

Date: 11 / 4 / 20
Scale: 1" = 10'-0"
Drawn: GPB
Job: 1801
Sheet

Of **L1.0** Sheets

LICENSED LANDSCAPE ARCHITECT
 GARY PHILLIP BALCERAK
 NO. C 3704
 Ren. 7/31/21
 STATE OF CALIFORNIA

MAWA
CALCULATIONS

APN: 012-043-011 & 012
52/54 FREMONT ROAD
SAN RAFAEL, CALIFORNIA

Date	No.	Revision

Date: 11/4/20
Scale: NONE
Drawn: GPB
Job: 1801
Sheet

L1.1

Of Sheets

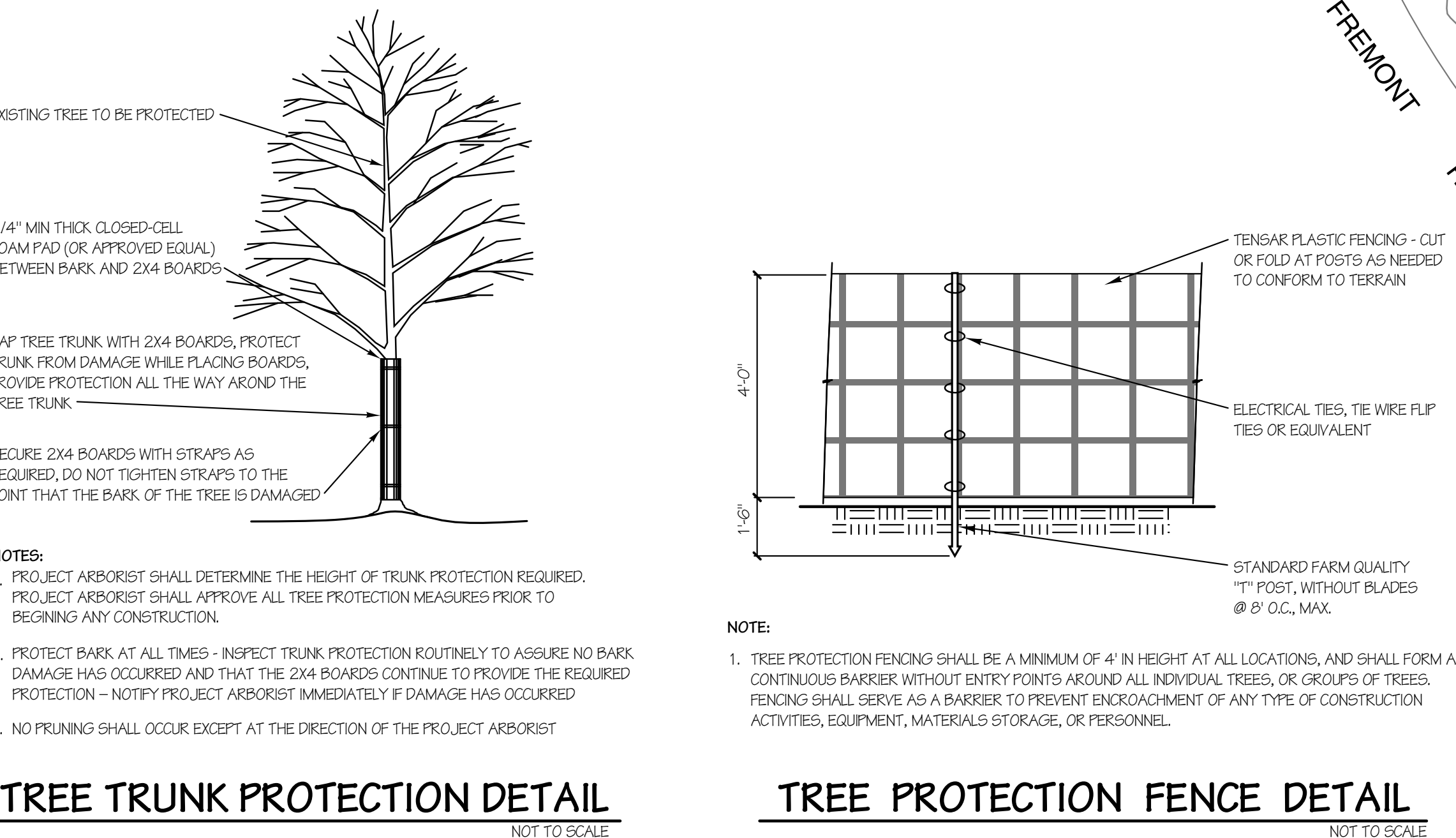
PRELIMINARY
NOT FOR CONSTRUCTION

Tree	Species	Diameter	Vigor	Structure	Status	Notes
5	Coast Redwood (<i>Sequoia sempervirens</i>)	37.3"	Good	Fair	Remove	Has ± 3' high by 2' wide fire scar on downslope side of tree. Cavity extends ± 1' to 2' inside, woundwood noted at edges of cavity. Tagged as #90.
6	Coast Redwood (<i>Sequoia sempervirens</i>)	17.0"	Good	Fair	Remove	This tree has a metal hook in the upper trunk with a bar through it and connects to tree #7, which also has a hook for the bar. Appears to have been an old swing.
7	Coast Redwood (<i>Sequoia sempervirens</i>)	18.8"	Good	Fair	Remove	Cavity noted on upslope side 2.5' high and 10" wide, ± 6" deep.
8	Coast Redwood (<i>Sequoia sempervirens</i>)	23.2"	Good	Good	Remove	Many suckers at base, common for the species. No overt defects noted. Tagged as #91.
9	Coast Redwood (<i>Sequoia sempervirens</i>)	19.5"	Good	Good	Remove	Many suckers at base, common for the species. No overt defects noted.
10	Coast Redwood (<i>Sequoia sempervirens</i>)	19.8"	Good	Good	Remove	Many suckers at base, common for the species. No overt defects noted. Tree has been used as a pole to attach old electrical wiring.
11	Coast Redwood (<i>Sequoia sempervirens</i>)	35.3"	Good	Good	Remove	Trunk bifurcates at ± 7' off steep grade. Many suckers at base, common for the species. Had a third trunk on the up slope side that was removed at ± 2.5' off grade, no decay evident. Old fire scar on downslope side of trunk, no decay evident.
13	Cherry Plum (<i>Prunus cerasifera</i>)	8.2"	Fair	Poor	Remove	Cal-IPC has identified this tree as a species of limited concern, and therefore removal is recommended.
14	Cherry Plum (<i>Prunus cerasifera</i>)	10.7" at 14" off grade	Fair	Poor	Remove	Cal-IPC has identified this tree as a species of limited concern, and therefore removal is recommended.
15	Cherry Plum (<i>Prunus cerasifera</i>)	5.2"	Good	Good	Remove	Cal-IPC has identified this tree as a species of limited concern, and therefore removal is recommended.
16	Cherry Plum (<i>Prunus cerasifera</i>)	5.6"	Fair	Fair	Remove	Cal-IPC has identified this tree as a species of limited concern, and therefore removal is recommended.
17	Coast Redwood (<i>Sequoia sempervirens</i>)	9.5"	Fair/Poor	Good	Remove	Suppressed by Tree #18. Many suckers at base, common for the species. No overt defects noted.
18	Coast Redwood (<i>Sequoia sempervirens</i>)	26.3"	Good	Good	Remove	No overt defects noted. Many suckers at base, common for the species.
19	California Bay (<i>Umbellularia californica</i>)	4.2"; 7.3"; 3.2"	Fair	Poor	Remove	Tree once had many more trunks most have been removed. Decay on downslope side of the trunk. Thinly foliated, largest trunk is growing towards proposed residence. This tree had been covered with Ivy, but is has been killed off.

1. THE TREE PROTECTION FENCING SHALL BE INSTALLED PRIOR TO STARTING ANY CONSTRUCTION ACTIVITY. THE TREE PROTECTION FENCE SHALL NOT BE ALTERED WITHOUT WRITTEN APPROVAL FROM THE PROJECT ARBORIST.
2. NO PRUNING OF THE EXISTING TREES IS ANTICIPATED FOR THE CONSTRUCTION OF THIS PROJECT. SHOULD PRUNING BE REQUIRED THE PROJECT ARBORIST SHALL BE NOTIFIED FOR APPROVAL PRIOR TO PERFORMING ANY PRUNING.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INFORMING ALL SUBCONTRACTORS AND INDIVIDUALS WHO WILL BE WORKING ON SITE OF THE TREE PROTECTION REQUIREMENTS AND CONDITIONS OF APPROVAL FOR THE PROJECT.

1. TREES LOCATED CLOSEST TO THE IMPROVEMENTS REQUIRE THE GREATEST CARE DURING CONSTRUCTION IF THEY ARE TO BE RETAINED LONG-TERM. TO PROVIDE THE GREATEST OPPORTUNITY TO PRESERVE THESE TREES, THE PROJECT ARBORIST SHOULD BE PRESENT WHEN THE EXCAVATION OCCURS, TO PROVIDE GUIDANCE TO THE CONTRACTOR AND TO OBSERVE THE EXTENT OF ROOT DAMAGE.
2. WHERE INDICATED ON THE PLAN THE ROOT MASS OF TREES DESIGNATED TO REMAIN SHALL BE SEVERED WITH A ROOT PRUNER MACHINE (WITH SHARP BLADES) TO A DEPTH DETERMINED BY PROJECT ARBORIST PRIOR TO GRADING.
3. TO PREVENT ROOT DESICCATION USE MOIST BURLAP, OR OTHER APPROVED MATERIAL, TO COVER THE EXPOSED SOIL SURFACE. THIS ROOT PROTECTION MATERIAL SHALL NOT BE ALLOWED TO DRY OUT AND SHALL REMAIN IN PLACE UNTIL FINAL BACKFILL OF THE SOIL OCCURS.
4. NO WOUND DRESSING OF ANY KIND SHALL BE APPLIED TO THE TREES.

1. SEE ARBORIST'S REPORT PREPARED BY BALCERAK DESIGN, REVISED FEBRUARY 17, 2020 FOR ADDITIONAL INFORMATION.
2. NO EXISTING TREE, DESIGNATED TO REMAIN, SHALL BE TRIMMED OR PRUNED WITHOUT PRIOR APPROVAL BY THE PROJECT ARBORIST.
3. NOTIFY PROJECT ARBORIST IN ANY CASE WHERE CONTRACTOR FEELS GRADING OR OTHER CONSTRUCTION CALLED FOR BY CONTRACT DOCUMENTS MAY DAMAGE EXISTING TREES THAT ARE SCHEDULED TO REMAIN.
4. FINAL LOCATION OF TREE PROTECTION FENCING SHALL BE DETERMINED BY FIELD STAKING OF THE IMPROVEMENTS, AND ADJUSTING FENCE TO PROVIDE MAXIMUM PROTECTION. FINAL LOCATION AND EXTENT OF FENCING SHALL BE APPROVED BY THE PROJECT ARBORIST. FENCING SHALL REMAIN INTACT AND SHALL ONLY BE ALTERED WITH THE APPROVAL OF THE PROJECT ARBORIST.



PLANTING LEGEND

KEY	SIZE	BOTANICAL NAME	COMMON NAME	REMARKS	WATER USE
CJS	#15	TREES			
		CORYLUS CORNUTA	WESTERN HAZELNUT		LOW
CAL	*	SHRUBS			
		CALYCANTHUS OCCIDENTALIS	SPICE BUSH		MEDIUM
GSH	#5	GAULTHERIA SHALLON	SALAL		MEDIUM
RSS	*	RUBUS SPECTABILIS	SALMONBERRY		MEDIUM
SYA	*	SYMPHORICARPOS ALBUS VAR. LAEVIGATUS	SNOWBERRY		LOW
VOV	*	VACCINIUM OVATUM	EVERGREEN HUCKLEBERRY		MEDIUM
COR	4" POT	PERENNIALS			
		COTYLEDON ORBICULATA	PIG'S EAR	6" O.C. TRI. SPACING	LOW
EAG	4" POT	ECHEVERIA AGAVOIDES	NO COMMON NAME	6" O.C. TRI. SPACING	LOW
HMI	#1	HEUCHERA MICRANTHA	CORAL BELLS		MEDIUM
OOR	6" POT	OXALIS OREGANA	REDWOOD SORREL		MEDIUM
PMU	#1	POLYSTICHUM MUNITUM	SWORD FERN		MEDIUM
SED	4" POT	SEDUM ADOLPHII	GOLDEN SEDUM	6" O.C. TRI. SPACING	LOW
SGR	4" POT	SEDUM GRISEBACHII	STONE CROP	6" O.C. TRI. SPACING	LOW
SEM	4" POT	SEMPERVIVUM TECTORUM	COMMON HOUSELEEK	6" O.C. TRI. SPACING	LOW
WFI	*	WOODWARDIA FIMBRIATA	GIANT CHAIN FERN		MEDIUM
LGI	#5	VINES			
		LONICERA CLIOSA	WESTERN TRUMPET HONEYSUCKLE		MEDIUM
CPA	#1	GROUNDCOVERS			
		CAREX PANSA	CALIFORNICA MEADOW SEDGE	9" O.C. TRI. SPACING	MEDIUM
JEF	#1	JUNCUS EFFUSUS	SOFT RUSH	2' O.C. TRI. SPACING	MEDIUM
JPA	#1	JUNCUS PATENS	CALIFORNIA RUSH	2' O.C. TRI. SPACING	LOW

NOTE:
PLANT SIZES NOTED WITH * SHALL BE #5 SIZE FOR 52 FREMONT ROAD AND #15 SIZE FOR 54 FREMONT ROAD.

NOTE:
ALL PROPOSED PLANTINGS SHALL BE FIRE RESISTANT AND IRRIGATED. NO PLANTS PROHIBITED BY THE SAN RAFAEL FIRE PROTECTION BUREAU STANDARD 100, THE MARIN MUNICIPAL WATER DISTRICT, OR THE CALIFORNIA INVASIVE PLANT COUNCIL SHALL BE USED. THE CONTROLLER FOR THE IRRIGATION SYSTEM SHALL BE HIGH-EFFICIENCY AND USE EVAPOTRANSPIRATION DATA.

NATURAL STATE SEED MIX AND NOTES

ALL LANDSCAPE AREAS THAT ARE NOT MULCHED SHALL RECEIVE NATURAL STATE SEED MIX. ONLY MULCH SHALL BE PLACED WITHIN THE DRIPLINE OF EXISTING TREES TO REMAIN.

Botanical name	Common Name	Rate
<i>Achillea millefolium</i>	Yarrow	0.1
<i>Gilia achilleifolia</i>	Blue Gilia	0.1
<i>Lotus corniculatus</i>	Bird's-foot Trefoil	0.5
<i>Melica californica</i>	California Melic	2.7
<i>Hordeum brachyantherum</i>	Meadow Barley	1.1
<i>Carex tumulicola</i>	Foothill Sedge	1.5

Rate is given in ounces of Pure Live Seed per 1000 square feet.

VEGETATION MANAGEMENT PLAN NARRATIVE

THIS SITE IS REMNANT OF A REDWOOD (SEQUOIA SEMPERVIRENS) FOREST, WITH CALIFORNIA BAY (UMBELLULARIA CALIFORNICA) AS AN ASSOCIATE. DUE TO THE SHADED THE UNDERSTORY CONSISTS OF GRASSES AND FORBS. THE SUBJECT PROPERTY HAS A NORTHEAST ASPECT SLOPE. IT APPEARS THAT THERE IS AMPLE SOIL MOISTURE AVAILABLE YEAR ROUND.

BECAUSE OF THE STAND OF TREES AND THE ASPECT ALL OF THE TREES HAVE NATURALLY LIMBED-UP THEIR CROWN, MOST TREES DO NOT EXHIBIT PERMANENT SCAFFOLD BRANCHES UNTIL ± 25' ABOVE NATURAL GRADE. SOME OF THE TREES EXPOSED TO MORE HAVE BRANCHES LOWER, BUT ARE STILL ± 10' ABOVE NATURAL GRADE.

THE LANDSCAPE DESIGN IS CONSISTENT WITH THE MARIN MUNICIPAL WATER DISTRICT REQUIREMENTS, AND THE CITY OF SAN RAFAEL, FOR LANDSCAPE DESIGN. TO PROVIDE A MORE TRADITIONAL SUBURBAN FRONT YARD ORNAMENTAL PLANTS INCLUDING TREES, SHRUBS, PERENNIALS, AND GROUNDCOVERS HAVE BEEN USED. NO LANDSCAPING IN THE REAR YARD IS PROPOSED AT THIS TIME, HOWEVER ALL FUTURE LANDSCAPING SHALL BE CONSISTENT WITH THE REQUIREMENTS OF THIS PLAN AND APPLICABLE FIRE STANDARDS.

LONG TERM MAINTENANCE SCHEDULES AND GOALS

ALL TREE LIMBS OVER 2" DIAMETER SHALL BE REMOVED 15'-20' ABOVE THE GROUND SURFACE.

ANY PORTION OF A TREE THAT IS WITHIN 10' OF A STOVEPIPE OR CHIMNEY SHALL BE REMOVED. NO DEAD OR DYING LIMBS SHALL BE ALLOWED TO OVERHANG ANY BUILDING. TREES THAT OVERHANG ROADWAYS SHALL BE PRUNED TO ASSURE A MINIMUM VERTICAL CLEARANCE OF 15'-0".

ALL COMBUSTIBLE DEBRIS, INCLUDING LEAVES, SHALL BE REMOVED FROM THE ROOF AND GUTTERS NO LESS THAN ONCE EVERY SIX MONTHS.

ALL WEEDS AND GRASSES SHALL BE MOWED REGULARLY; IN NO INSTANCE SHALL THEIR HEIGHT EXCEED 12".

ALL DEAD AND DYING VEGETATION WITHIN THE DEFENSIBLE SPACE ZONE SHALL BE REMOVED NO LESS THAN EVERY SIX MONTHS.

ALL MOTORIZED MAINTENANCE EQUIPMENT, INCLUDING SAWS AND MOWERS, SHALL BE EQUIPPED WITH SPARK ARRESTORS. EXERCISE CARE AND CHECK FOR ROCKS PRIOR TO MOWING TO PREVENT MOWER BLADES FROM SPARKING.

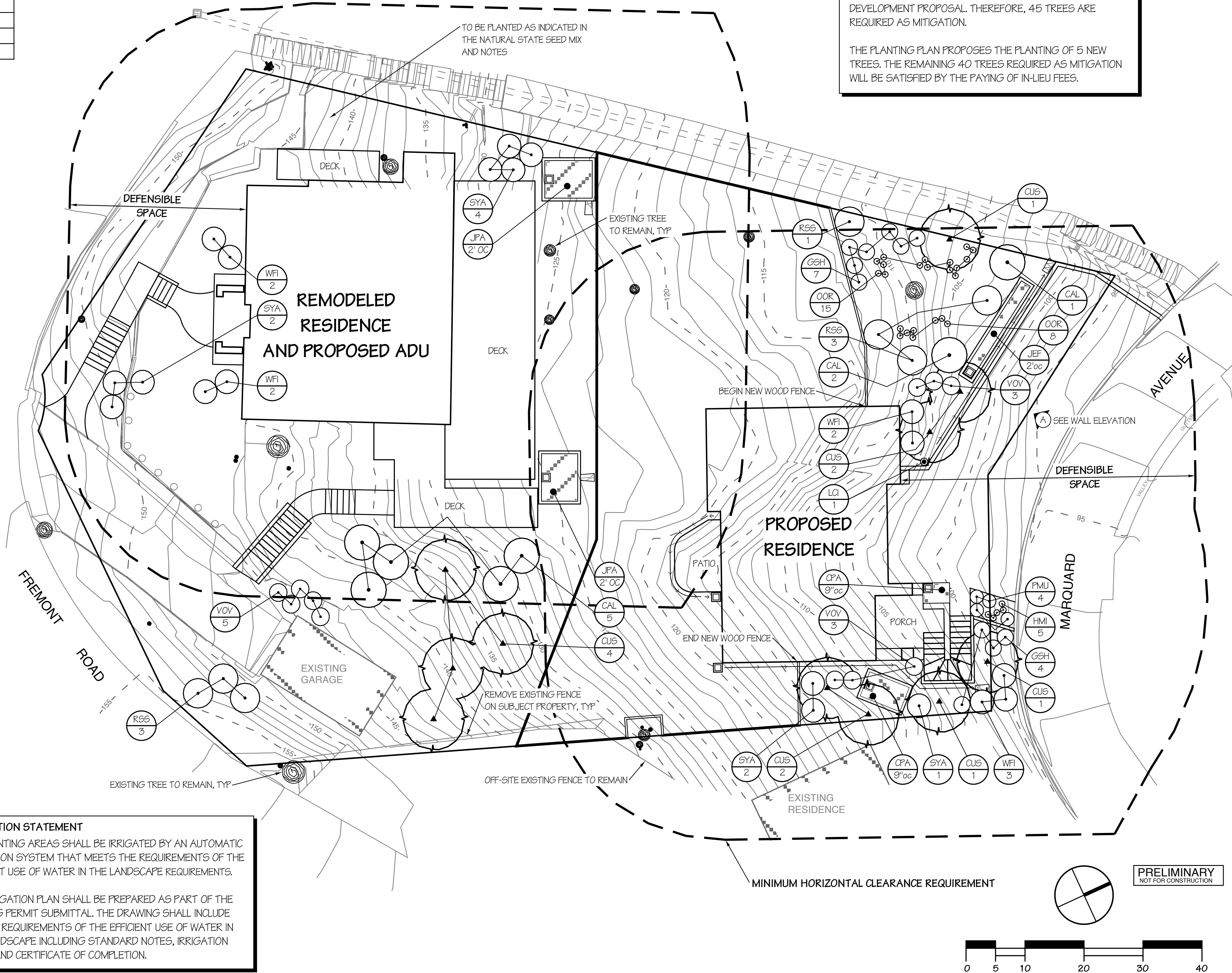
REFERENCES

KENT, D., 2005. *FIRESCAPING: CREATING FIRE-RESISTANT LANDSCAPES, GARDENS, AND PROPERTIES IN CALIFORNIA'S DIVERSE ENVIRONMENTS*. BERKELEY CA, WILDERNESS PRESS.

EAST BAY MUNICIPAL UTILITY DISTRICT, 2003. *FIRESCAPE: LANDSCAPING TO REDUCE FIRE HAZARD*. OAKLAND CA, ADMINISTRATION DEPARTMENT EBMUD.

PLANTING NOTES:

- A MINIMUM OF 8" OF NON-MECHANICALLY COMPACTED SOIL SHALL BE AVAILABLE FOR WATER ABSORPTION AND ROOT GROWTH IN PLANTED AREAS.
- INCORPORATE COMPOST INTO THE SOIL TO A MINIMUM DEPTH OF 8" AT A RATE OF 6 CUBIC YARDS PER 1000 SQUARE FEET IN ALL PLANTING AREAS. DO NOT TILL THE SOIL UNDER EXISTING TREES DESIGNATED TO REMAIN.
- ALL PLANTING AREAS SHALL RECEIVE A MINIMUM OF 3" OF MULCH, EXCEPT IN TURF AREAS, CREEPING OR ROOTING GROUNDCOVERS AND DIRECT SEEDING APPLICATIONS.
- AFTER THE GRADING OPERATIONS ARE COMPLETE AND PRIOR TO THE BEGINNING THE LANDSCAPE INSTALLATION SOIL SAMPLING SHALL OCCUR AND SAMPLES SENT TO A TESTING LABORATORY FOR ANALYSIS AND RECOMMENDATIONS. THE ANALYSIS SHALL, AT A MINIMUM, INCLUDE: SOIL TEXTURE, INFILTRATION RATE, pH, TOTAL SOLUBLE SALTS, SODIUM LEVEL, AND PERCENT OF ORGANIC MATTER. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION TO THE CITY (WITH THE CERTIFICATE OF COMPLETION) THAT THE RECOMMENDATIONS FROM THE SOIL ANALYSIS HAVE BEEN IMPLEMENTED.
- THESE LANDSCAPE DESIGN PLANS COMPLY WITH THE CRITERIA OF THE WATER CONSERVATION ORDINANCE AND EFFICIENT USE OF WATER IN THE LANDSCAPE.



IRRIGATION STATEMENT

ALL PLANTING AREAS SHALL BE IRRIGATED BY AN AUTOMATIC IRRIGATION SYSTEM THAT MEETS THE REQUIREMENTS OF THE EFFICIENT USE OF WATER IN THE LANDSCAPE REQUIREMENTS.

THE IRRIGATION PLAN SHALL BE PREPARED AS PART OF THE BUILDING PERMIT SUBMITTAL. THE DRAWING SHALL INCLUDE ALL THE REQUIREMENTS OF THE EFFICIENT USE OF WATER IN THE LANDSCAPE INCLUDING STANDARD NOTES, IRRIGATION AUDIT, AND CERTIFICATE OF COMPLETION.

HAZARD ASSESSMENT MATRIX									
Hazard Points	1	2	3	4	5	6	7	8	Points
Aspect	NE	NW, N	SE, W	S	SW				
Slope	0-10	11-20	21-30	31+					
Fuel 0-30	Specimen Garden	Hardw ood	Grass	Mostly Grass	Mostly Brush	Pyrophoric Hardwoods Chaparral	Conifer	Conifer w/brush understory	
Fuel 31-100	Grass, Mostly Grass	Mostly Brush		Pyrophoric Hardwoods Chaparral	Conifer with brush understory				

Total Hazard Points 11

Minimum Horizontal Clearance Requirement in feet 30' x 30' x 50'

Hazard Points:

1 2 3 4 5 6 7	8 9 10 11 12 13 14	15 16 17 18 19 20 21 22 23 24 25 >
30x30x30 ft.	30x30x50 ft.	50x50x100 ft.

TREE REMOVAL AND MITIGATION

TREES REMOVED SHALL BE MITIGATED AT THE RATE OF 3:1. A TOTAL OF 15 TREES ARE PROPOSED FOR REMOVAL FOR THIS DEVELOPMENT PROPOSAL. THEREFORE, 45 TREES ARE REQUIRED AS MITIGATION.

THE PLANTING PLAN PROPOSES THE PLANTING OF 5 NEW TREES. THE REMAINING 40 TREES REQUIRED AS MITIGATION WILL BE SATISFIED BY THE PAYING OF IN-LIEU FEES.

This is an original unpublished work and may not be copied or otherwise used without written consent of BALCERAK DESIGN

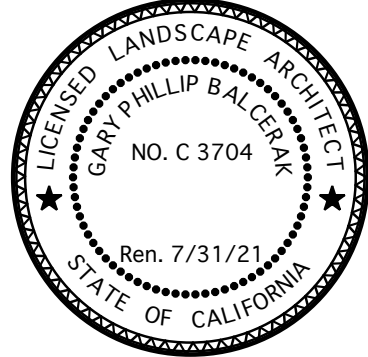
BALCERAK DESIGN

LANDSCAPE ARCHITECTURE • URBAN FORESTRY

608 Beaver Street Santa Rosa, CA 95404

email: balcerak@sonic.net

Phone (707) 573-8234



VEGETATION MANAGEMENT PLAN

APN: 012-043-011 & 012

52/54 FREMONT ROAD

SAN RAFAEL, CALIFORNIA

Date	No.	Revision

Date: 11/4/20

Scale: 1" = 10'-0"

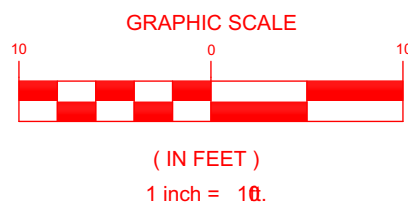
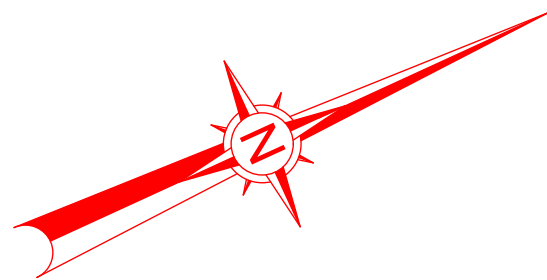
Drawn: GPB

Job: 1801

Sheet

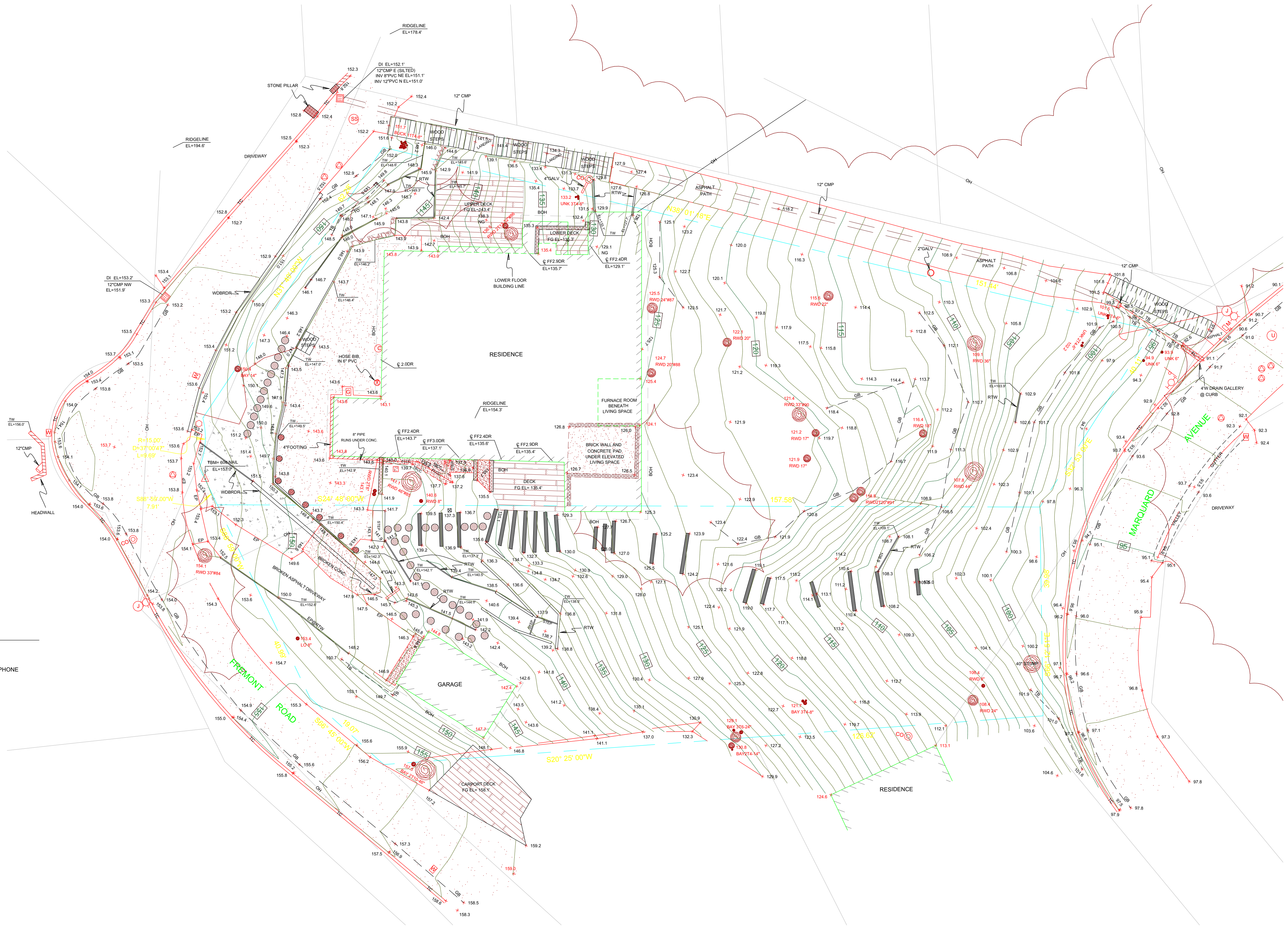
VMP 1.0

Of Sheets



LEGEND

	TBM-TEMPORARY BENCHMARK		SPOT ELEVATION
	WOOD FENCE		OVERHEAD POWER & TELEPHONE
	WIRE FENCE		TREE SYMBOL & DRIP LINE
	CONCRETE		UNK UNKNOWN SPECIES
	GRAVEL		BUCK BUCKEYE
	WOOD STEP, RAILROAD TIE		L.O. LIVE OAK
	CONCRETE WALL		RWD REDWOOD
	ROCK WALL		FF FINISHED FLOOR
	BRICK WALL		TC TOP OF CURB
	CONCRETE PILLAR		FL FLOWLINE
	STEPPING STONES		TW TOP OF WALL
	DRAIN INLET		BOH BUILDING OVERHANG
	SANITARY SEWER MANHOLE		NG NATURAL GROUND
	SANITARY SEWER CLEANOUT		GB GRADE BREAK
	FIRE HYDRANT		TO TOE OF BANK
	WATER VALVE		TB TOP OF BANK
	HOSE BIB		EP EDGE PAVING
	WATER METER		RTW WOOD RETAINING WALL
	GAS METER		WDBDRD WOOD BORDER
	UNKNOWN UTILITY (MANHOLE)		M MAILBOX
	CHIMNEY VENT, VERTICAL		STREET LIGHT
	JOINT UTILITY POLE		RD ROOF DRAIN
	GUY WIRE		B BOLLARD
	ELECTRIC METER		S SIGN
			VP VERTICAL PIPE, SIZE AS NOTED

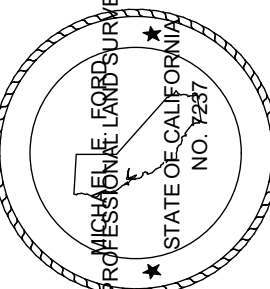


BENCHMARK:
CONTROL POINT #1 EL 153.00 (ASSUMED)

NOTE:
PARCEL INFORMATION SHOWN HEREON IS NOT THE RESULT OF A COMPREHENSIVE BOUNDARY ANALYSIS AND SURVEY AND SHOULD NOT BE RELIED UPON AS BEING FINAL OR ALL INCLUSIVE. THE PARCEL LINE INFORMATION WAS COMPILED FROM THE ASSESSOR'S PARCEL MAP(S) AND MAPS OF RECORD, IF ANY, ON FILE IN THE PUBLIC RECORDS. INCONSISTENCIES, AMBIGUITIES, AND APPARENT ENCROACHMENTS BETWEEN THE PARCEL LINES AND ACTUAL FIELD CONDITIONS WERE NEITHER CONSIDERED NOR RESOLVED.

BASIS OF BEARING:
RECORD OF SURVEY, FILED IN BOOK 2012 OF MAPS, AT PAGE 110, MARIN COUNTY RECORDS.

SURVEYOR STATEMENT
THIS MAP IS BASED ON A FIELD SURVEY MADE BY ME OR UNDER MY DIRECTION ON 02/23/2017 AND REPRESENTS THE VISUAL SURFACE CONDITIONS AS OF THE DATE OF SURVEY.



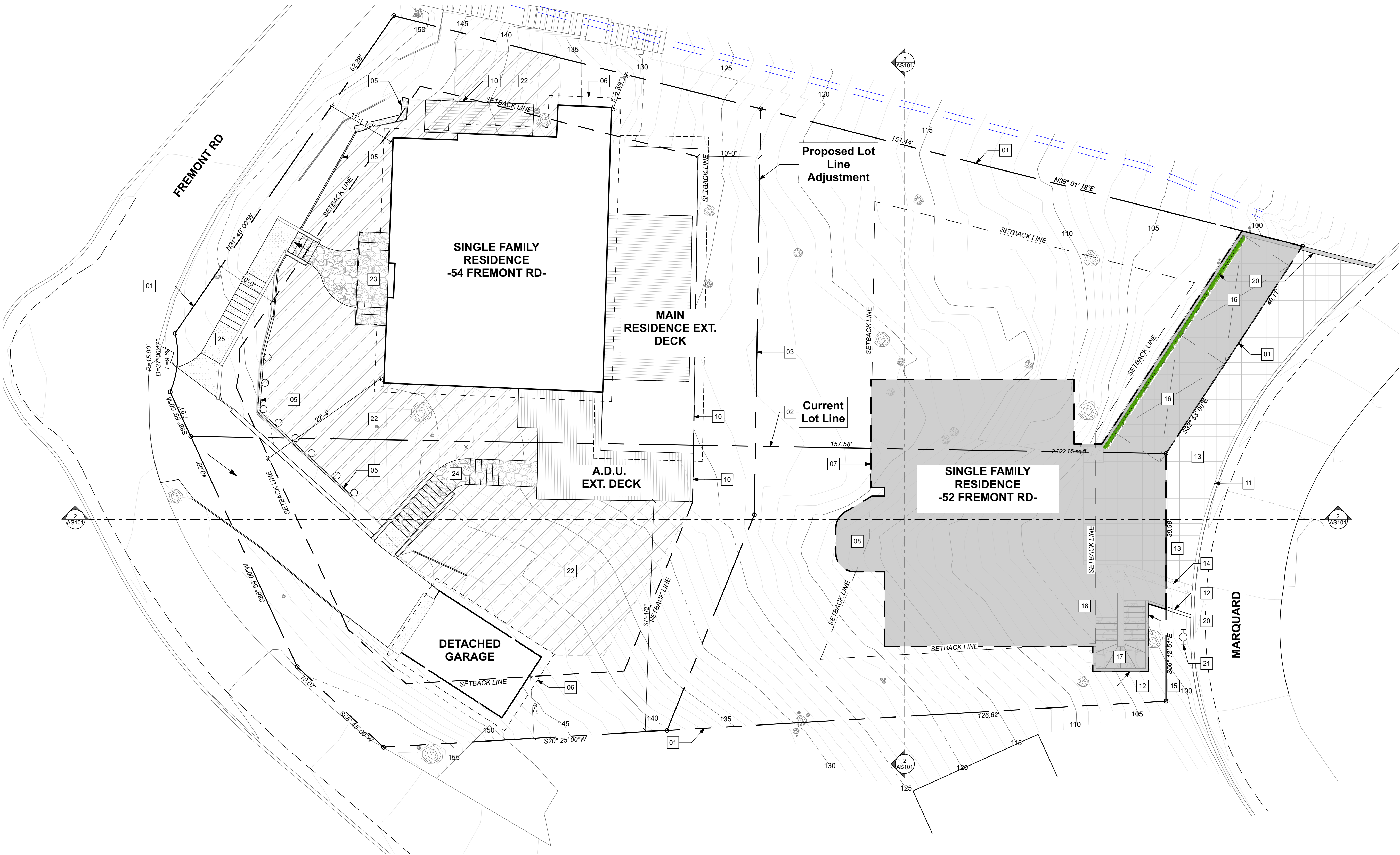
APN 012-043-11 & 012-043-12
52 & 54 FREMONT ROAD
SAN RAFAEL, CA

TOPOGRAPHIC MAP

REVISIONS:

DATE:	03/06/17
DRAWN BY:	DC
CHECKED BY:	MEF
SCALE:	1" = 10'
JOB NUMBER	172986
DWG. FILE	2986-TP.DWG
SHEET	

	Required	54 Fremont Rd. (Existing Lot)	New Fremont Rd. Frontage Lot	52 Fremont Rd. (Existing Lot)	New Marquard Ave. Frontage Lot
Zoning: R10 + Hillside Overlay Zone					
Lot Size	10,000 s.f. min.	8643 s.f.	8643 s.f.	6587 s.f.	6587 s.f. (same as old Fremont Rd)
Lot Coverage	40%	27.4% = 2368 s.f.	35.66% = 2899 s.f.	3.5% = 232 s.f.	30.3% = 1995.9 s.f.
Setbacks					
Front	20 ft.	11'-1" (non-conforming)	11'-1" (non-conforming)	13'-1"	20'-0"
Side Top	10 ft.	7" (non-conforming)	5'-7" (non-conforming)	24'-2"	17'-10"
Side Bottom	10 ft.	1'-1" Encroachment (non-conforming)	36'-9"	3'-8" (non-conforming)	10'-0"
Rear	10 ft.	76'-4"	9'-6" (non-conforming)	10'-0"	15'-7"
Gross Building Square Footage	2500 s.f. + 10% of Lot Area	Allowed: 2500 s.f. + (10% of 8643 s.f.) = 3364 s.f.; Current: 3072 s.f. Main Dwelling Upper Level: 1600 s.f. Main Dwelling Lower Level: 1240 s.f. Garage: 232 s.f.	Allowed: 2500 s.f. + (10% of 8643 s.f.) = 3364 s.f.; Proposed: 3130 s.f. Main Dwelling: 1554 s.f. Main Deck: 707 s.f. Garage: 232 s.f. ADU Deck: 296 s.f. ADU: 1104 s.f. Main Deck 2: 75 s.f. Carport: 240 s.f.	Allowed: 2500 s.f. + (10% of 6587 s.f.) = 3159 s.f.; Current: 231 s.f.	Allowed: 2500 s.f. + (10% of 6587 s.f.) = 3158 s.f.; Current: 2492 s.f. (complies) Basement: 196 s.f. (old-186 s.f.) Master Balcony: 53 s.f. First Floor: 1339 s.f. (old-1487 s.f.) Main Deck: 184 s.f. Second Floor: 957 s.f. (old- 1274 s.f.) Rear Patio: 85 s.f. Total: 2492 s.f. (old- 2947 s.f.)
Natural State Preservation of Lot	25% + Slope %	Minimum: 25% + 35.36% = 60.36% of 8643 s.f. = 5217 s.f.; Current: 57% = 4875 s.f.	Minimum: 25% + 40.69% = 65.69% of 8643 s.f. = 5678 s.f.; Proposed: 57% = 4933 s.f.	Minimum: 25% + 46.33% = 71.33% of 6587 s.f. Min= 4699 s.f.; Current: 6355 s.f. = 96%	Minimum: 25% + 39.42% = 64.42% of 6587 s.f. = 4243 sf s.f.; Proposed: 63.16% = 4264 s.f.
Height	30 ft. from natural grade to roof peak (20 ft. within 15 ft. of building envelope)	30'-11" (non-conforming)	23'-5"	10'-8"	26'-7"
Parking	2 covered + 2 additional (excluding driveway apron)	none	2 covered (1 Garage + 1 Carport)	1 covered (garage)	2 covered + 2 additional (excluding driveway apron)



SITE PLAN
SCALE: 1/8" = 1'-0"

- SITE PLAN GENERAL NOTES
- REFER TO "EXCAVATION NOTES", DIVISION 31, SHT. G-002, FOR CITY OF SAUSALITO EXCAVATION REQUIREMENTS.
 - REFER TO "GRADING NOTES", DIVISION 31, SHT. G-002, FOR GRADING REQUIREMENTS.
 - REFER TO "TREE PROTECTION NOTES", DIVISION 1, SHT. G-001, FOR MARIN COUNTY MANDATORY TREE PROTECTION MEASURES.
 - REFER TO "EROSION CONTROL NOTES", DIVISION 1, SHT. G-001, FOR MANDATORY EROSION CONTROL MEASURES.
 - REFER TO "DUST MITIGATION PLAN", DIVISION 1, SHT. G-001, FOR CITY OF SAUSALITO DUST MITIGATION REQUIREMENTS.
 - REFER TO "CONSTRUCTION MANAGEMENT PLAN", DIVISION 1, SHT. G-001, FOR CITY OF SAUSALITO CONSTRUCTION MANAGEMENT MEASURES.

- SITE PLAN SYMBOLS LEGEND
- +90'-3" BW
BOTTOM OF WALL SPOT ELEVATION PER SURVEY DATUM
 - +94'-0" TW
TOP OF WALL SPOT ELEVATION PER SURVEY DATUM
 - DWG. #
LAYOUT #
SITE SECTION CALLOUT
 - 100
TOPOGRAPHIC LINES @ 2'-0" INTERVAL
 - PROPERTY LINE
 - KEY NOTE CALLOUT - SEE "SITE PLAN KEYNOTES" BELOW
 - LOCATION OF DOWNSPOUT CONNECTION TO SUBSURFACE STORM DRAINAGE SYSTEM - SEE DRAINAGE PLANS

- SITE PLAN KEY NOTES
- (E) PROPERTY LINE TO REMAIN
 - (E) PROPERTY LINE TO BE VACATED
 - PROPOSED PROPERTY LINE
 - (E) STEPS / PATHSTONES TO REMAIN TYP.
 - (E) RET'G WALLS TO REMAIN TYP.
 - LINE OF ROOF OVERHANG ABOVE
 - PERIMETER LINE OF PROPOSED SINGLE FAMILY RESIDENCE
 - PROPOSED SLAB ON GRADE PATIO
 - PROPOSED DECK SUPPORT POST
 - LINE OF PROPOSED DECK ABOVE
 - EDGE OF DRIVEWAY
 - PROPOSED RET'G WALL
 - STAMPED CONC. DRIVEWAY
 - PLANTING STRIP
 - BIORETENTION BASIN
 - 10' X 20' GUEST PARKING SPACE
 - ENTRY STAIRS
 - ENTRY PORCH
 - LINE OF TRELLIS ABOVE TYP.
 - LIVING WALL "FLORAFELT" WALL SYSTEM OR SIM. (WALL EMBELLISHMENT)
 - RELOCALED HYDRANT
 - AREA OF FREMONT FRONTAGE LOT TO BE REVERTED TO NATURAL STATE - SHOWN WITH DIAGONAL DOUBLE LINE. SEE LANDSCAPE PLAN, SHEET L1.
 - PORCH
 - WALKWAY / STAIRS TO A.D.U.
 - WALKWAY / STAIRS TO RESIDENCE

Arterberry
RESIDENTIAL DESIGN

7 Princess St, Suite A
Sausalito, CA 94965
Phone: 415 944-5480

Millard@Arterberry-Design.com

Owner:
Pacific Private Money Fund I, LLC
Et Al c/o Mark Hanf, Manager
1555 Grant Ave.
Novato, CA 94945

A.P.N 012-043-11 & 12

52/54 Fremont Street
San Rafael CA 94965
A.P.N.: 012-043-11 & 12

ISSUES	
MARK	DESCRIPTION
	PLANNING SUBMISSION
	PLANNING SUBMISSION
	PLANNING SUBMISSION
	PLANNING SUBMISSION
	PLANNING SUBMISSION
	PLANNING SUBMISSION

PROJECT #:

1805

CAD FILE:

52/54 Fremont Road22 - Main - 11-20-2020

DRAWN BY:

MNA

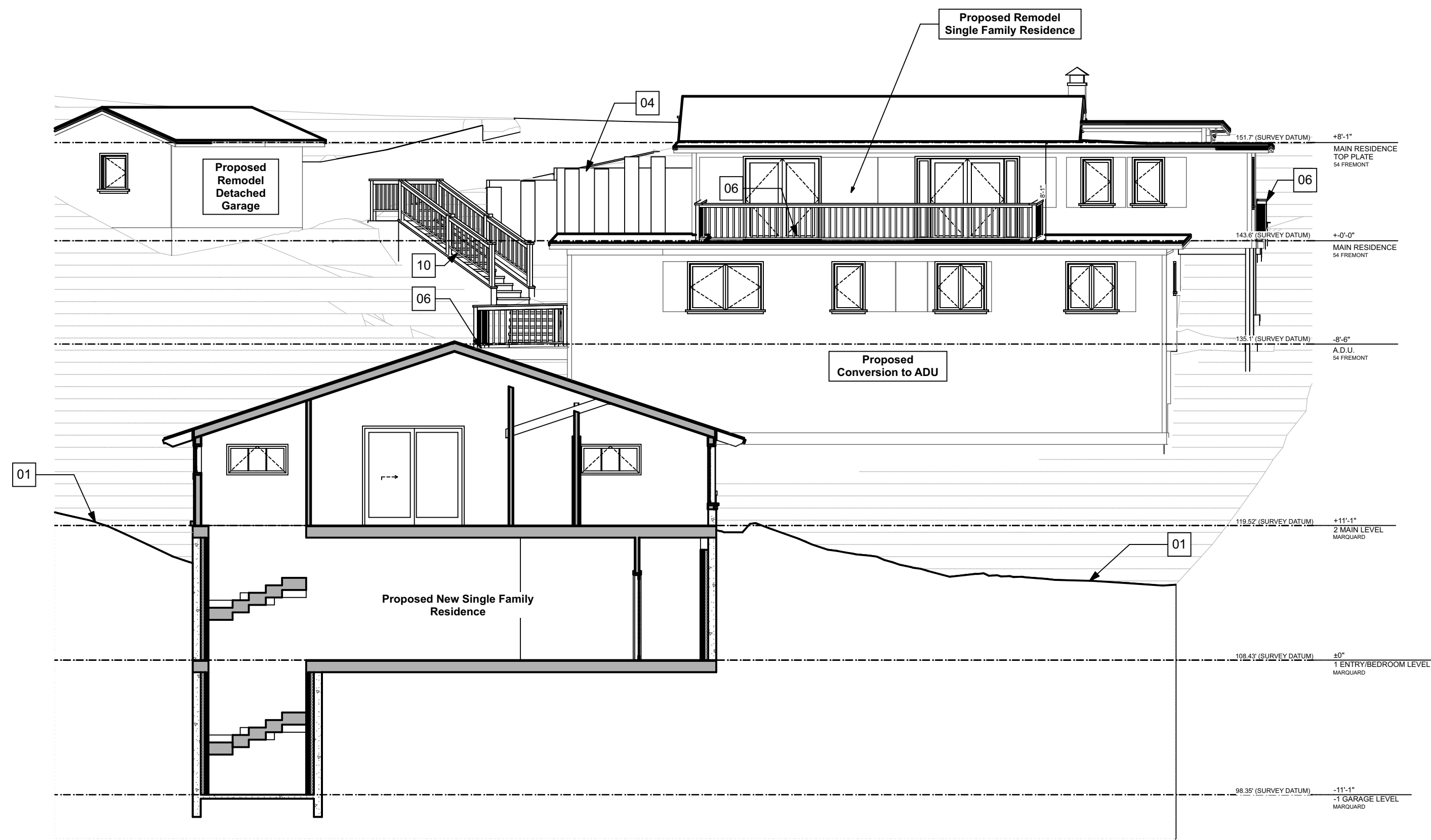
CHECKED BY:

MNA

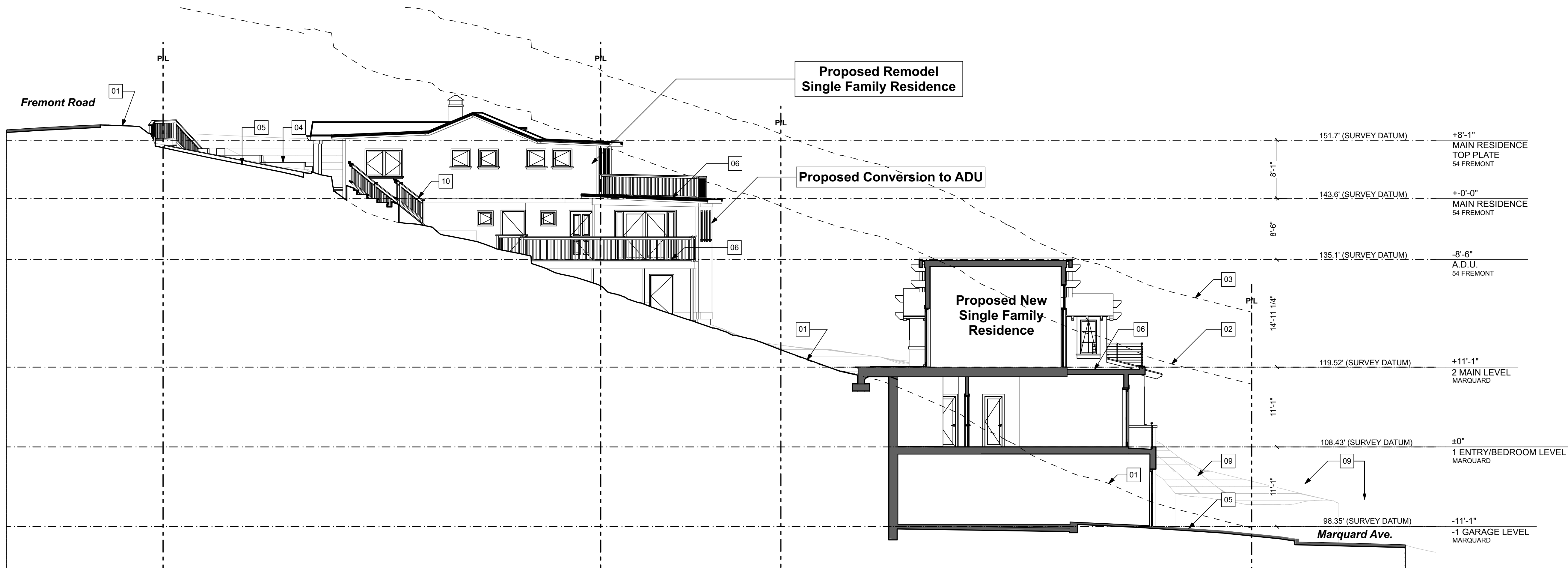
COPYRIGHT © 2018 ARTERBERRY DESIGN

SITE PLAN

AS100



1 Site Section
SCALE: 1/8" = 1'-0"



2 Site Section
SCALE: 1/8" = 1'-0"

SITE SECTION KEY NOTES	SECTION GENERAL NOTES
01 - NATURAL GRADE LINE 02 - 20 FT. "STEPBACK" HEIGHT LINE 03 - 30 FT. MAX. HEIGHT LINE 04 - CONCRETE RETAINING WALL 05 - DRIVEWAY 06 - (N) DECK 07 - (N) ON GRADE CONCRETE PATIO 08 - (N) PORCH 09 - (N) LIVING WALL FLORAFELT 10 - (N) SITE STAIRS/WALKWAY	<ul style="list-style-type: none">SEE TITLE 24 ENERGY REQUIREMENTS, SHT. E-000, FOR INSULATION REQUIREMENTS AND GENERAL NOTESSEE EXTERIOR ELEVATIONS FOR TYPICAL WALL FINISHREFER TO "GENERAL NOTES", SHT. G-001, FOR FURTHER INFORMATION.
SECTION SYMBOLS LEGEND	
KEY NOTE CALLOUT - SEE "FLOOR PLAN KEY NOTES" BELOW	
<div>1 A-500</div> <div>DWG. # LAYOUT #</div> <div>DETAIL CALLOUT</div>	



7 Princess St. Suite A
Sausalito, CA 94965
Phone: 415 944-5480
Millard@Arterberry-Design.com

Owner:
Pacific Private Money Fund I, LLC
Et Al c/o Mark Hanf, Manager
1555 Grant Ave.
Novato, CA 94945

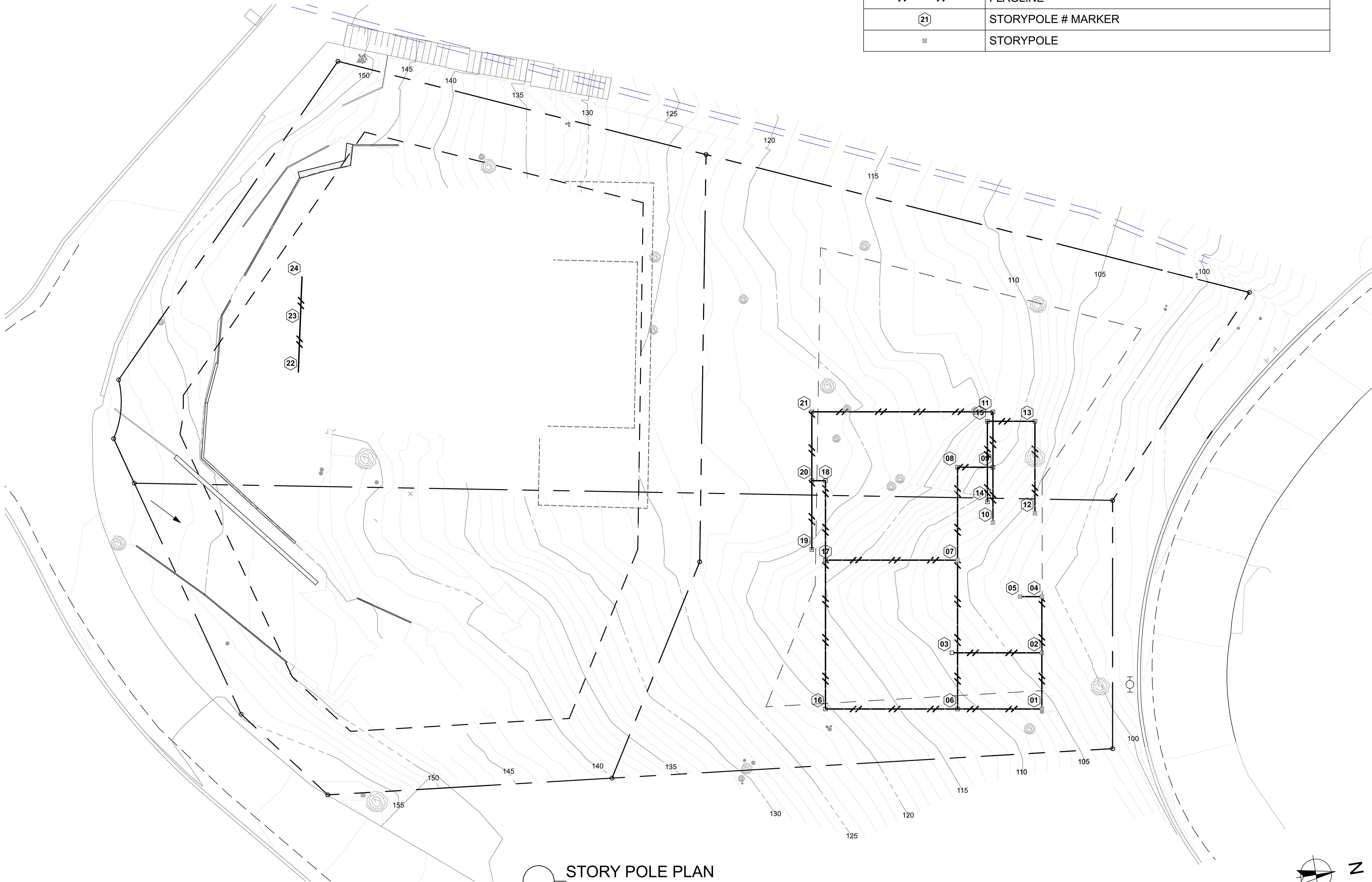
A.P.N 012-043-11 & 12
52/54 Fremont Street
San Rafael CA 94965
A.P.N.: 012-043-11 & 12

ISSUES	
MARK	DESCRIPTION
	PLANNING SUBMISSION
	PLANNING SUBMISSION
	PLANNING SUBMISSION
	PLANNING SUBMISSION
	PLANNING SUBMISSION
	PLANNING SUBMISSION

PROJECT #:	1805
CAD FILE:	Fremont Road22 - Main - 11-20-2020.dwg
DRAWN BY:	MNA
CHECKED BY:	MNA
COPYRIGHT © 2018 ARTERBERRY DESIGN	

SITE SECTION

AS101



LEGEND	
	FLAGLINE
	STORYPOLE # MARKER
	STORYPOLE

STORY POLES HEIGHTS

Pole #	Height
Pole # 01	16'-4 1/2"
Pole # 02	22'-8 1/2"
Pole # 03	16'-6"
Pole # 04	21'-5 3/4"
Pole # 05	20'-5 3/4"
Pole # 06	16'-7 1/4"
Pole # 07	29'-8 3/4"
Pole # 08	18'-6 1/4"
Pole # 09	20'-9"
Pole # 10	21'-4 1/2"
Pole # 11	15'-7 1/4"
Pole # 12	16'-6 1/4"
Pole # 13	11'-6 1/4"
Pole # 14	12'-7"
Pole # 15	9'-7"
Pole # 16	7'-7 1/4"
Pole # 17	18'-8 3/4"
Pole # 18	10'-5 3/4"
Pole # 19	8'-7 1/4"
Pole # 20	10'-5 3/4"
Pole # 21	6'-7 1/4"
Pole # 22	9'-3 3/4"
Pole # 23	11'-4"
Pole # 24	9'-3 3/4"

ISSUES	
MARK	DESCRIPTION
	PLANNING SUBMISSION
	PLANNING SUBMISSION
	PLANNING SUBMISSION
	PLANNING SUBMISSION
	PLANNING SUBMISSION
	PLANNING SUBMISSION

PROJECT #:	1805
CAD FILE:	Fremont Road22 - Main - 11-20-2020
DRAWN BY:	MNA
CHECKED BY:	MNA
COPYRIGHT © 2018 ARTERBERRY DESIGN	

STORY POLE PLAN

AS102

A.P.N 012-043-11 & 12

52/54 Fremont Street
San Rafael CA 94965
A.P.N.: 012-043-11 & 12

Owner:
Pacific Private Money Fund I, LLC
Et Al c/o Mark Hanf, Manager
1555 Grant Ave.
Novato, CA 94945



VIEW FROM MARQUARD AVENUE

ISSUES		
MARK	DATE	DESCRIPTION
	7/02/18	PLANNING SUBMISSION
	2/04/19	PLANNING SUBMISSION
	4/04/19	PLANNING SUBMISSION
	7/26/19	PLANNING SUBMISSION
	2/24/2020	PLANNING SUBMISSION
	9/24/2020	PLANNING SUBMISSION
	11/20/2020	PLANNING SUBMISSION

PROJECT #:	1805
CAD FILE:	Fremont Road22 - Main - 11-20-2020.dwg
DRAWN BY:	MNA
CHECKED BY:	MNA
COPYRIGHT © 2018 ARTERBERRY DESIGN	

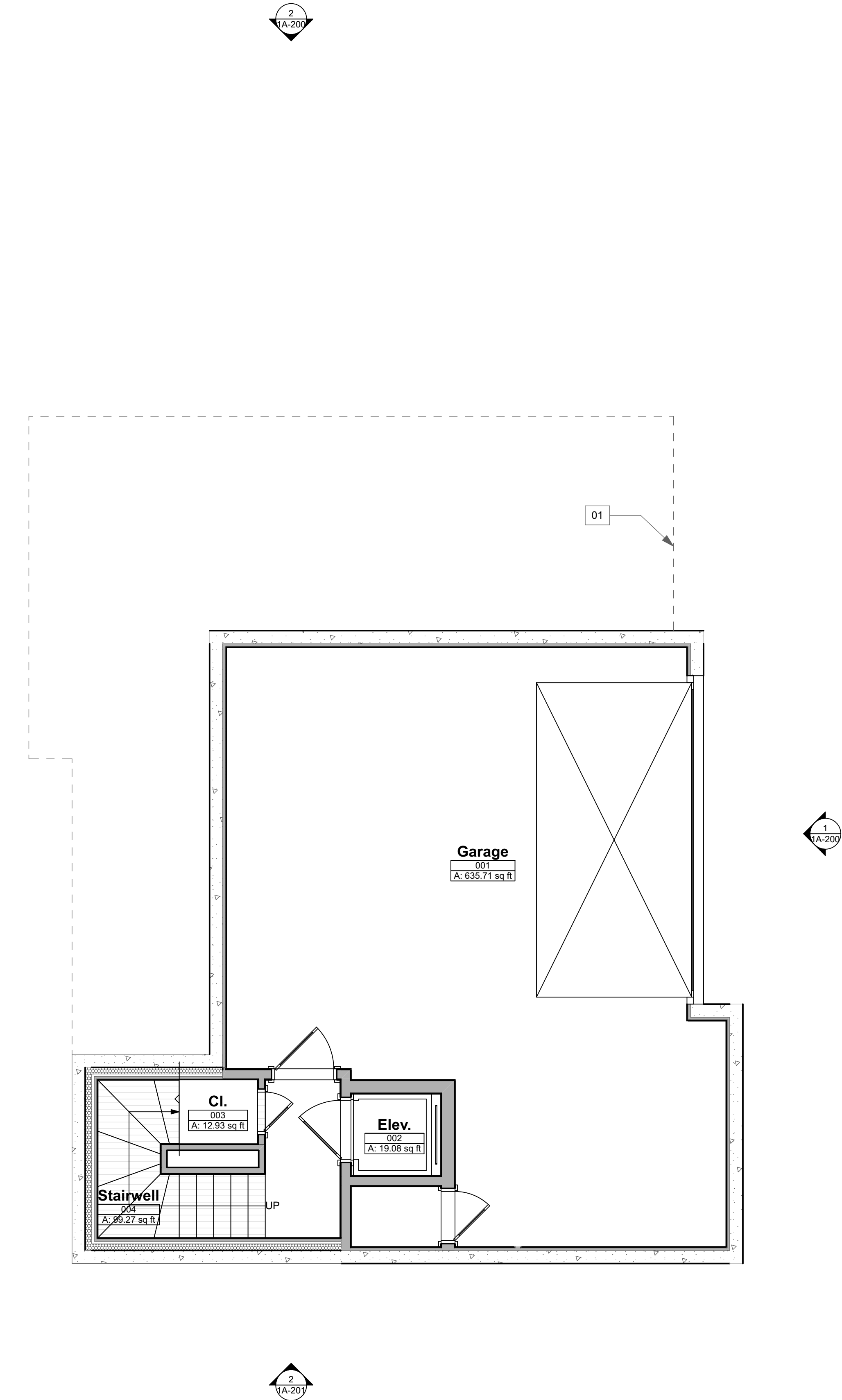
RENDERINGS

1A-000

A.P.N 012-043-11 & 12

52/54 Fremont Street
San Rafael CA 94965
A.P.N.: 012-043-11 & 12

Owner:
Pacific Private Money Fund I, LLC
Et Al c/o Mark Hanf, Manager
1555 Grant Ave.
Novato, CA 94945



GROSS BUILDING SQUARE FOOTAGE: 186 S.F.
SUBFLOOR LEVEL: +98.35'

BASEMENT FLOOR PLAN

SCALE: 1/4" = 1'-0"



FLOOR PLAN GENERAL NOTES

- REFER TO "GENERAL NOTES", SHT. G-001 & SHT. G-002, FOR FURTHER INFORMATION.

FLOOR PLAN SYMBOLS LEGEND

(E) EXTERIOR
CONCRETE/BRICK WALL

(E) INTERIOR WOOD FRAMED
WALL

(N) 2X4 WOOD FRAMED WALL -
SEE STRUCTURAL PLANS

NEW WINDOW CALLOUT -
SEE WINDOW SCHEDULE,
SHT. A-600

NEW DOOR CALLOUT - SEE
WINDOW SCHEDULE, SHT.
A-600

KEY NOTE CALLOUT - SEE
"FLOOR PLAN KEY NOTES"
BELOW

DWG. # ELEVATION
A-200 LAYOUT # CALLOUT

DWG. # SECTION
A-300 LAYOUT # CALLOUT

FLOOR PLAN KEY NOTES

01- LINE OF LEVEL ABOVE

ISSUES	
MARK	DESCRIPTION
	PLANNING SUBMISSION
	PLANNING SUBMISSION
	PLANNING SUBMISSION
	PLANNING SUBMISSION
	PLANNING SUBMISSION
	PLANNING SUBMISSION

PROJECT #:	1805
CAD FILE:	Fremont Road22 - Main - 11-20-2020
DRAWN BY:	MNA
CHECKED BY:	MNA
COPYRIGHT © 2018 ARTERBERRY DESIGN	

BASEMENT FLOOR
PLAN

1A-100

7 Princess St. Suite A
Sausalito, CA 94965
Phone: 415 944-5480
Millard@Arterberry-Design.com

Owner:
Pacific Private Money Fund I, LLC
Et Al c/o Mark Hanf, Manager
1555 Grant Ave.
Novato, CA 94945

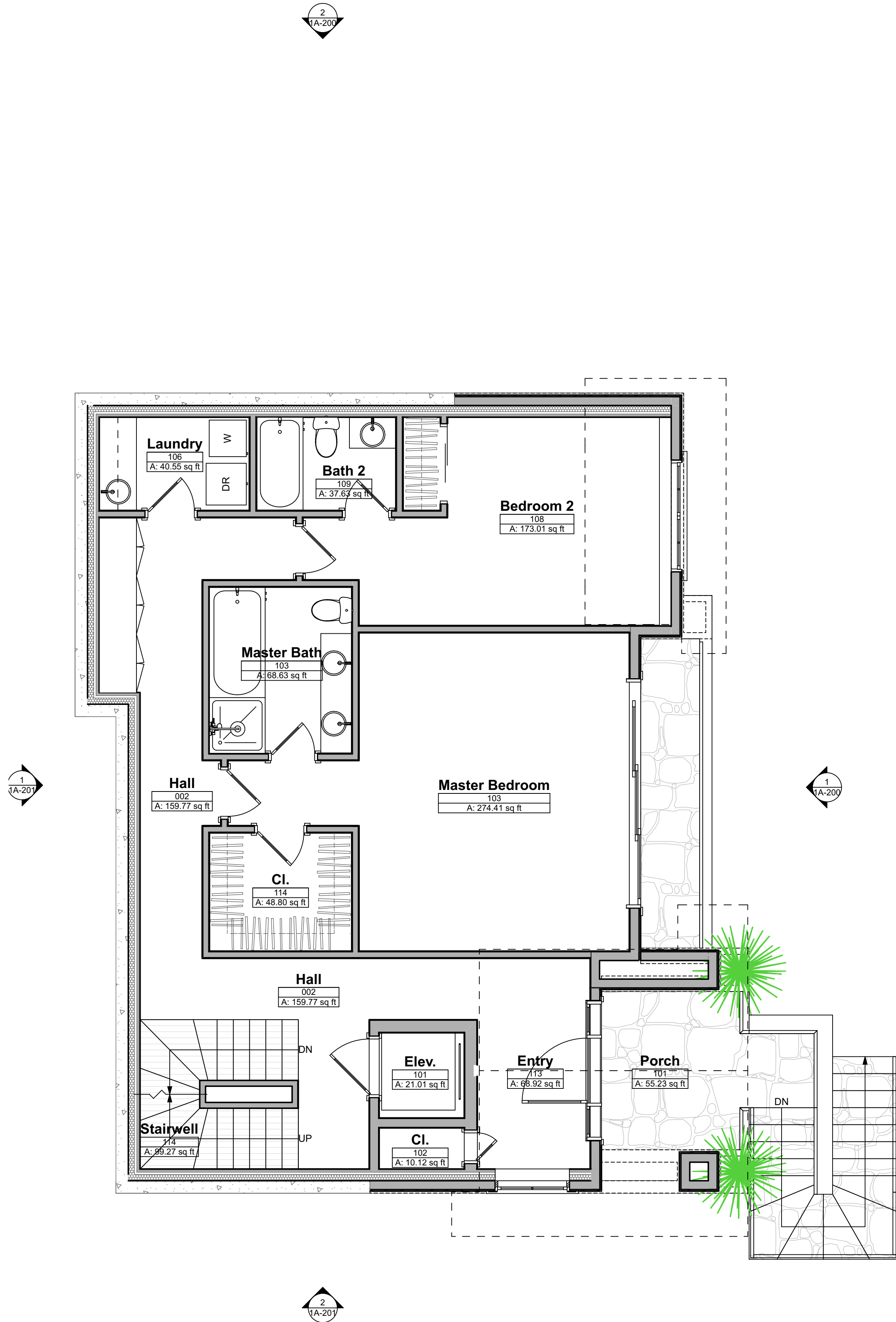
A.P.N 012-043-11 & 12
52/54 Fremont Street
San Rafael CA 94965
A.P.N.: 012-043-11 & 12

MARK	DATE	DESCRIPTION
	7/02/18	PLANNING SUBMISSION
	2/04/19	PLANNING SUBMISSION
	4/04/19	PLANNING SUBMISSION
	7/26/19	PLANNING SUBMISSION
	2/24/2020	PLANNING SUBMISSION
	9/24/2020	PLANNING SUBMISSION
	11/20/2020	PLANNING SUBMISSION

PROJECT #:	1805
CAD FILE:	Fremont Road22 - Main - 11-20-2020
DRAWN BY:	MNA
CHECKED BY:	MNA
COPYRIGHT © 2018 ARTERBERRY DESIGN	

BASEMENT FLOOR
PLAN

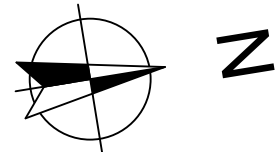
1A-100



GROSS BUILDING SQUARE FOOTAGE: 1487 S.F.
SUBFLOOR LEVEL: +111.43'

FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"



FLOOR PLAN GENERAL NOTES

- REFER TO "GENERAL NOTES", SHT. G-001 & SHT. G-002, FOR FURTHER INFORMATION.

FLOOR PLAN SYMBOLS LEGEND

- (E) EXTERIOR CONCRETE/BRICK WALL
- (E) INTERIOR WOOD FRAMED WALL
- (N) 2X4 WOOD FRAMED WALL - SEE STRUCTURAL PLANS
- NEW WINDOW CALLOUT - SEE WINDOW SCHEDULE, SHT. A-600
- NEW DOOR CALLOUT - SEE WINDOW SCHEDULE, SHT. A-600
- KEY NOTE CALLOUT - SEE "FLOOR PLAN KEY NOTES" BELOW
- DWG. # ELEVATION CALLOUT
- LAYOUT #
- DWG. # SECTION CALLOUT
- LAYOUT #

Owner:
Pacific Private Money Fund I, LLC
Et Al c/o Mark Hanf, Manager
1555 Grant Ave.
Novato, CA 94945

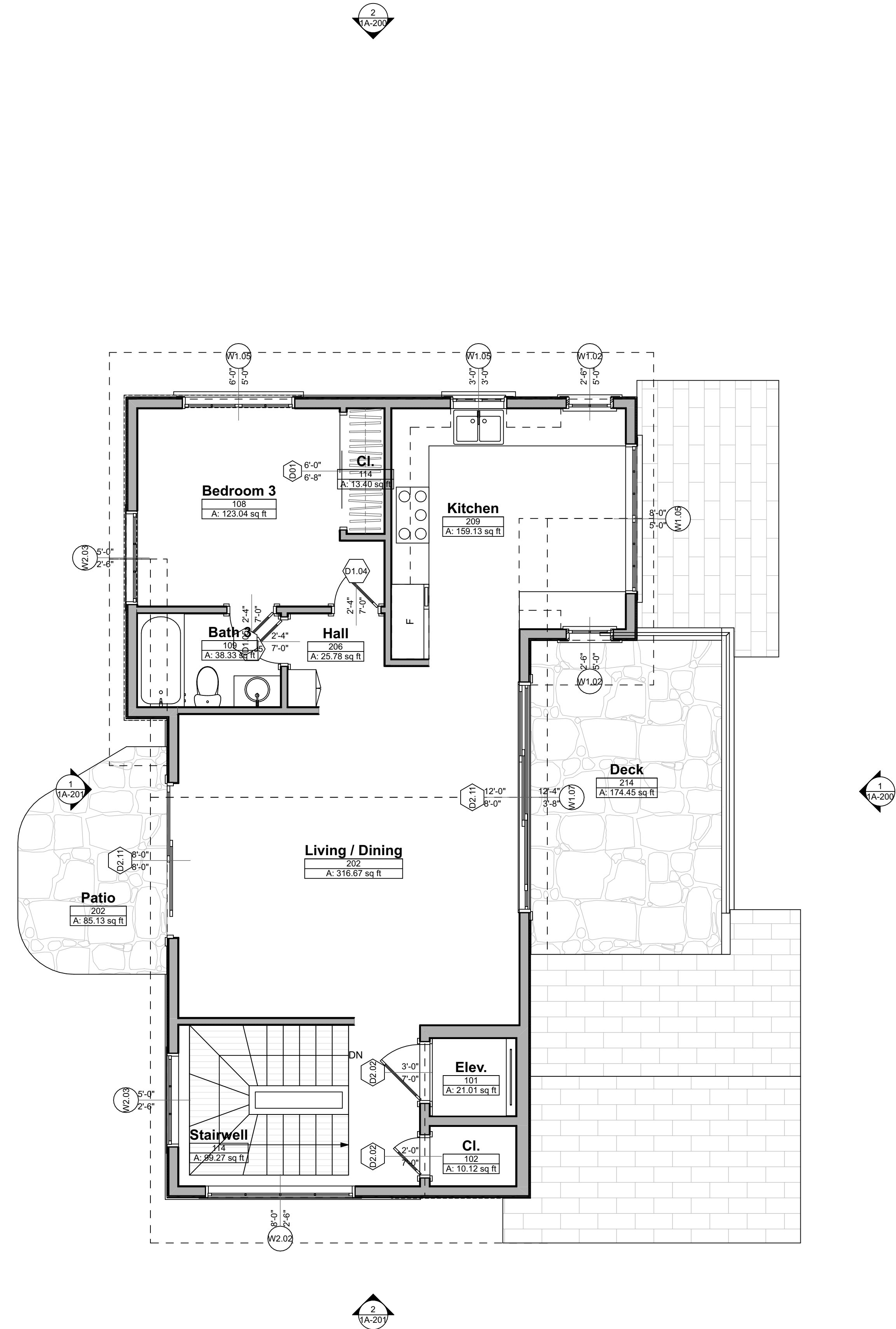
A.P.N 012-043-11 & 12
52/54 Fremont Street
San Rafael CA 94965
A.P.N.: 012-043-11 & 12

ISSUES	
MARK	DESCRIPTION
	PLANNING SUBMISSION
	PLANNING SUBMISSION
	PLANNING SUBMISSION
	PLANNING SUBMISSION
	PLANNING SUBMISSION
	PLANNING SUBMISSION

PROJECT #:	1805
CAD FILE:	Fremont Road22 - Main - 11-20-2020
DRAWN BY:	MNA
CHECKED BY:	MNA
COPYRIGHT © 2018 ARTERBERRY DESIGN	

FIRST FLOOR PLAN

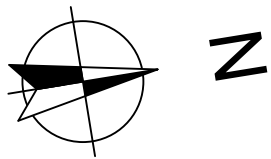
1A-101



GROSS BUILDING SQUARE FOOTAGE: 1274 S.F.
SUBFLOOR LEVEL: +122.52'

SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"



FLOOR PLAN GENERAL NOTES

- REFER TO "GENERAL NOTES", SHT. G-001 & SHT. G-002, FOR FURTHER INFORMATION.

FLOOR PLAN SYMBOLS LEGEND

- (E) EXTERIOR CONCRETE/BRICK WALL
- (E) INTERIOR WOOD FRAMED WALL
- (N) 2X4 WOOD FRAMED WALL - SEE STRUCTURAL PLANS
- NEW WINDOW CALLOUT - SEE WINDOW SCHEDULE, SHT. A-600
- NEW DOOR CALLOUT - SEE WINDOW SCHEDULE, SHT. A-600
- KEY NOTE CALLOUT - SEE "FLOOR PLAN KEY NOTES" BELOW
- DWG. # ELEVATION CALLOUT
- LAYOUT #
- DWG. # SECTION CALLOUT
- LAYOUT #

Owner:
Pacific Private Money Fund I, LLC
Et Al c/o Mark Hanf, Manager
1555 Grant Ave.
Novato, CA 94945

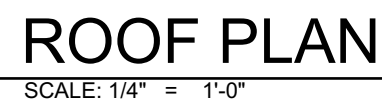
A.P.N 012-043-11 & 12
52/54 Fremont Street
San Rafael CA 94965
A.P.N.: 012-043-11 & 12

ISSUES	
MARK	DESCRIPTION
	PLANNING SUBMISSION
	PLANNING SUBMISSION
	PLANNING SUBMISSION
	PLANNING SUBMISSION
	PLANNING SUBMISSION
	PLANNING SUBMISSION

PROJECT #:	1805
CAD FILE:	22 - Main - 11-20-2020
DRAWN BY:	MNA
CHECKED BY:	MNA
COPYRIGHT © 2018 ARTERBERRY DESIGN	

SECOND FLOOR PLAN

1A-102



NEW WINDOW CALLOUT -
SEE WINDOW SCHEDULE,
SHT. A-600

NEW DOOR CALLOUT - SEE
WINDOW SCHEDULE, SHT.
A-600

KEY NOTE CALLOUT - SEE
"FLOOR PLAN KEY NOTES"
BELOW

ISSUES		MARK	DATE	DESCRIPTION
			7/02/18	PLANNING SUBMISSION
			2/04/19	PLANNING SUBMISSION
			4/04/19	PLANNING SUBMISSION
			7/26/19	PLANNING SUBMISSION
			2/24/2020	PLANNING SUBMISSION
			9/24/2020	PLANNING SUBMISSION
			11/20/2020	PLANNING SUBMISSION

PROJECT #:	1805
CAD FILE:	Remont Road22 - Main - 11-20
DRAWN BY:	MNA
CHECKED BY:	MNA
COPYRIGHT © 2018 ARTERBERRY DESIGN	

ROOF PLAN

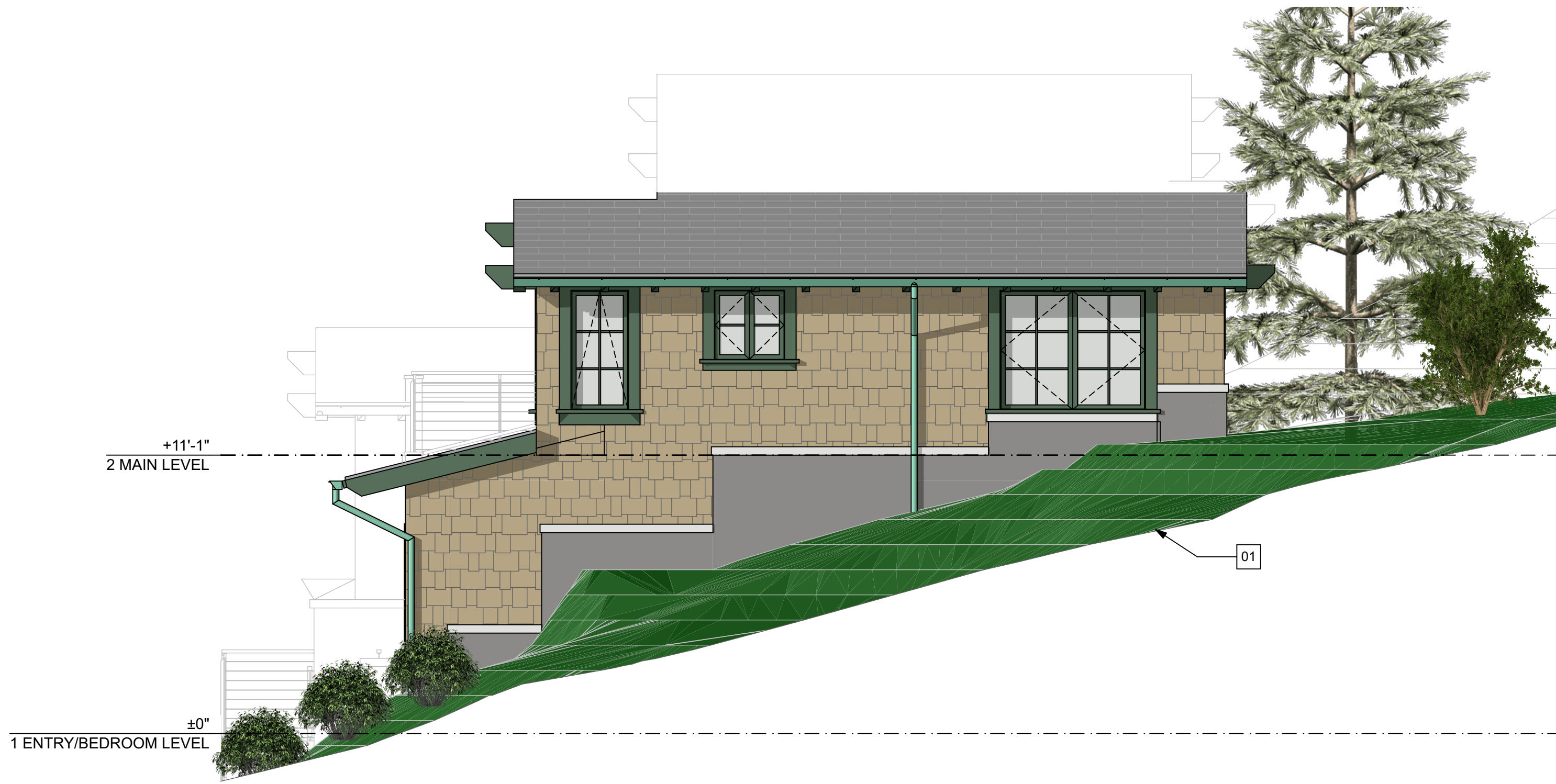
1A-103



Owner:
Pacific Private Money Fund I, LLC
Et Al c/o Mark Hanf, Manager
1555 Grant Ave.
Novato, CA 94945

A.P.N 012-043-11 & 12

7 Princess St. Suite A
Sausalito, CA 94965
Phone: 415 944-5480
Millard@Arterberry-Design.com



2 WEST ELEVATION
SCALE: 1/4" = 1'-0"



1 NORTH ELEVATION
SCALE: 1/4" = 1'-0"

EXTERIOR ELEVATION GENERAL NOTES

• REFER TO "GENERAL NOTES", SHT. G-001 & SHT. G-002, FOR FURTHER INFORMATION.

EXTERIOR ELEVATION SYMBOLS LEGEND

← 11

KEY NOTE CALLOUT - SEE "FLOOR PLAN KEY NOTES" BELOW

EXTERIOR ELEVATION KEY NOTES

01-

(E) GRADE LINE

02-

DRIVEWAY

03-

LIVING WALL (GREEN WALL)

04-

ENTRY STAIRS

05-

PORCH

06-

PATIO SLAB

07-

DECK

08-

UNCOVERED PARKING SPACE

Arterberry

RESIDENTIAL DESIGN

7 Princess St. Suite A
Sausalito, CA 94965
Phone: 415 944-5480
Millard@Arterberry-Design.com

Owner:

Pacific Private Money Fund I, LLC
Et Al c/o Mark Hanf, Manager
1555 Grant Ave.
Novato, CA 94945

A.P.N 012-043-11 & 12

52/54 Fremont Street
San Rafael CA 94965
A.P.N.: 012-043-11 & 12

ISSUES	
MARK	DESCRIPTION
	PLANNING SUBMISSION
	PLANNING SUBMISSION
	PLANNING SUBMISSION
	PLANNING SUBMISSION
	PLANNING SUBMISSION
	PLANNING SUBMISSION

PROJECT #:

1805

CAD FILE:

Fremont Road22 - Main - 11-20-2020.dwg

DRAWN BY:

MNA

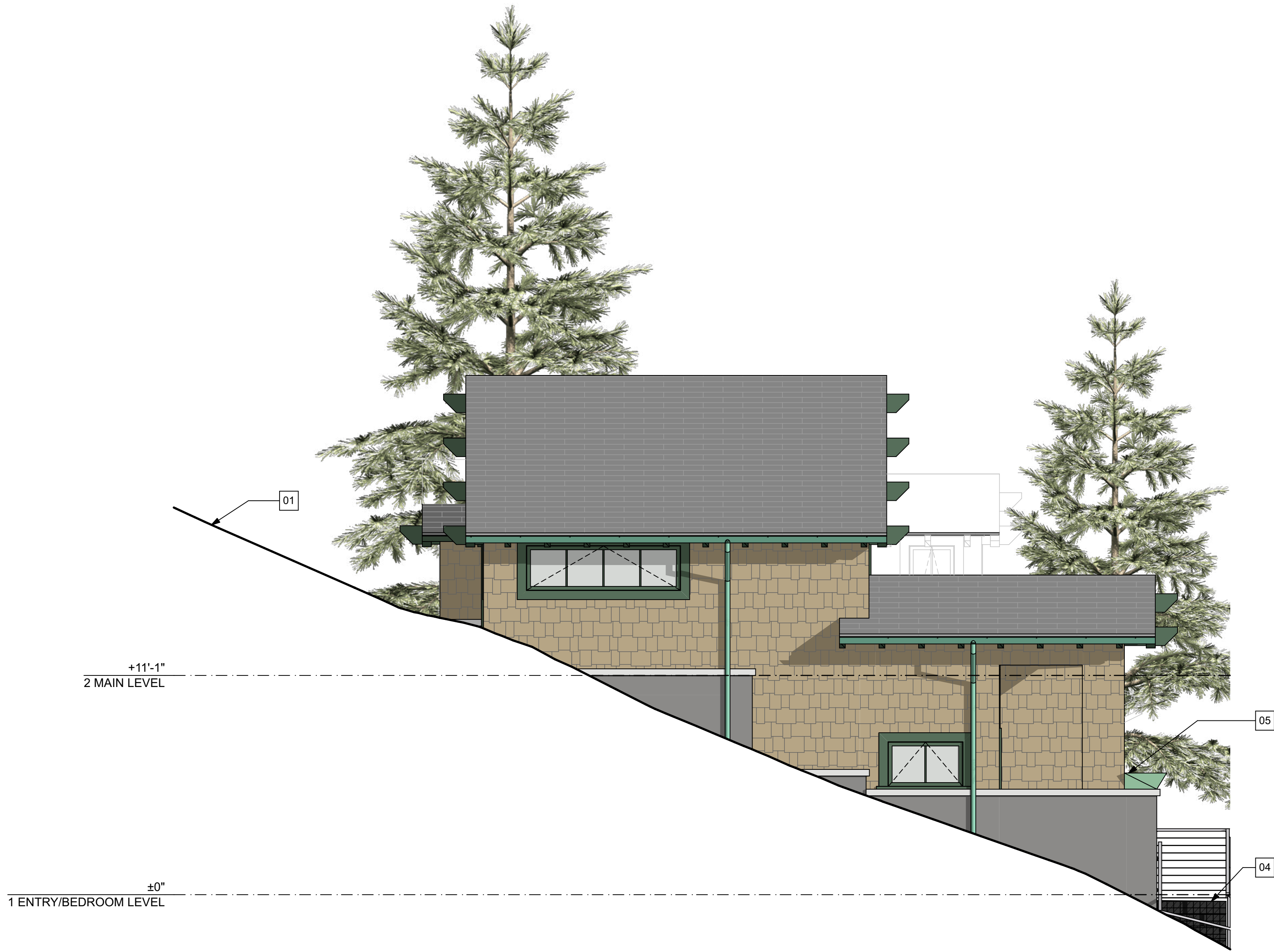
CHECKED BY:

MNA

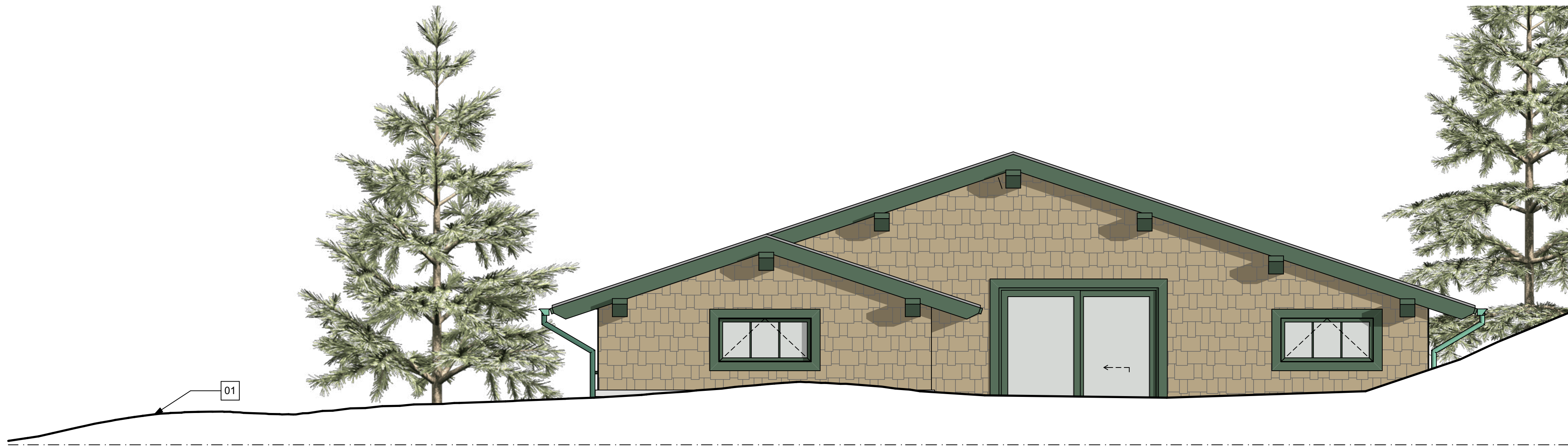
COPYRIGHT © 2018 ARTERBERRY DESIGN

EXTERIOR ELEVATIONS

1A-200



2 EAST ELEVATION
SCALE: 1/4" = 1'-0"



1 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

EXTERIOR ELEVATION GENERAL NOTES

• REFER TO "GENERAL NOTES", SHT. G-001 & SHT. G-002, FOR FURTHER INFORMATION.

EXTERIOR ELEVATION SYMBOLS LEGEND

← 11

KEY NOTE CALLOUT - SEE "FLOOR PLAN KEY NOTES" BELOW

EXTERIOR ELEVATION KEY NOTES

01- (E) GRADE LINE

02- DRIVEWAY

03- LIVING WALL (GREEN WALL)

04- ENTRY STAIRS

05- PORCH

06- PATIO SLAB

07- DECK

08- UNCOVERED PARKING SPACE

Arterberry
RESIDENTIAL DESIGN

7 Princess St. Suite A
Sausalito, CA 94965
Phone: 415 944-5480
Millard@Arterberry-Design.com

Owner:
Pacific Private Money Fund I, LLC
Et Al c/o Mark Hanf, Manager
1555 Grant Ave.
Novato, CA 94945

A.P.N 012-043-11 & 12
52/54 Fremont Street
San Rafael CA 94965
A.P.N.: 012-043-11 & 12

ISSUES	
MARK	DESCRIPTION
7/02/18	PLANNING SUBMISSION
2/04/19	PLANNING SUBMISSION
4/04/19	PLANNING SUBMISSION
7/26/19	PLANNING SUBMISSION
2/24/2020	PLANNING SUBMISSION
9/24/2020	PLANNING SUBMISSION
11/20/2020	PLANNING SUBMISSION

PROJECT #:

1805

CAD FILE:

Fremont Road22 - Main - 11-20-2020.dwg

DRAWN BY:

MNA

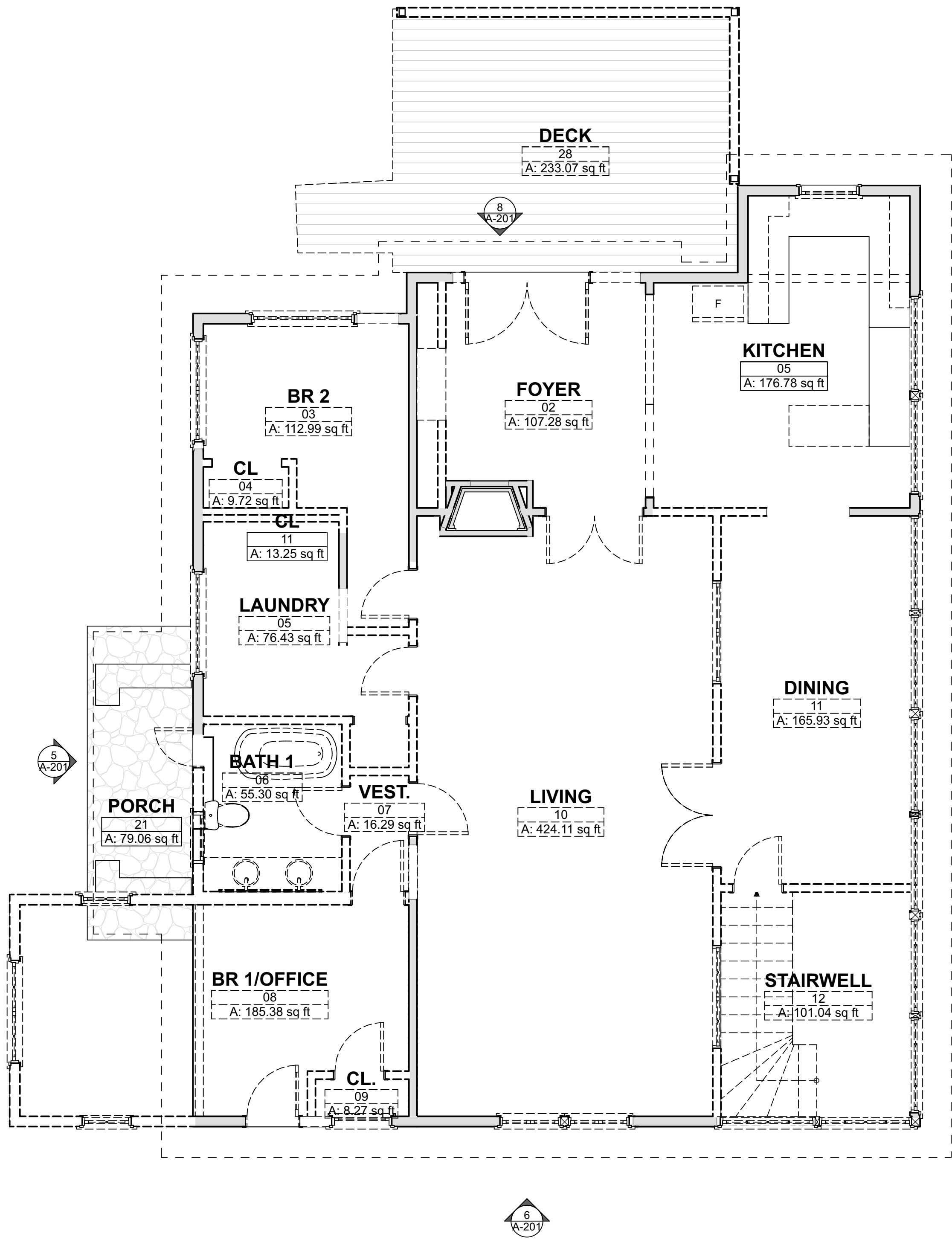
CHECKED BY:

MNA

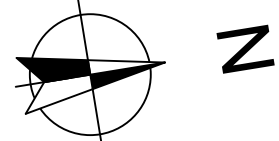
COPYRIGHT © 2018 ARTERBERRY DESIGN

EXTERIOR ELEVATIONS

1A-201



1 FIRST FLOOR DEMOLITION PLAN
SCALE: 1/4" = 1'-0"



DEMOLITION PLAN GENERAL NOTES

- REFER TO "DEMOLITION NOTES", DIVISION 1, SHT. G-001, FOR DEMOLITION REQUIREMENTS.

DEMOLITION PLAN SYMBOLS LEGEND

(E) EXTERIOR WALL TO REMAIN

(E) INTERIOR WALL TO REMAIN

(E) WALL TO BE DEMOLISHED

ELEMENTS SHOWN DASHED TO BE REMOVED

11

KEY NOTE CALLOUT - SEE "DEMOLITION PLAN KEY NOTES" BELOW

Arterberry

RESIDENTIAL DESIGN

7 Princess St. Suite A
Sausalito, CA 94965
Phone: 415 944-5480
Millard@Arterberry-Design.com

Owner:

Pacific Private Money Fund I, LLC
Et Al c/o Mark Hanf, Manager
1555 Grant Ave.
Novato, CA 94945

A.P.N 012-043-11 & 12

52/54 Fremont Street
San Rafael CA 94965
A.P.N.: 012-043-11 & 12

ISSUES	
MARK	DESCRIPTION
	PLANNING SUBMISSION
	PLANNING SUBMISSION
	PLANNING SUBMISSION
	PLANNING SUBMISSION
	PLANNING SUBMISSION
	PLANNING SUBMISSION

PROJECT #:

1805

CAD FILE:

Fremont Road22 - Main - 11-20-2020

DRAWN BY:

MNA

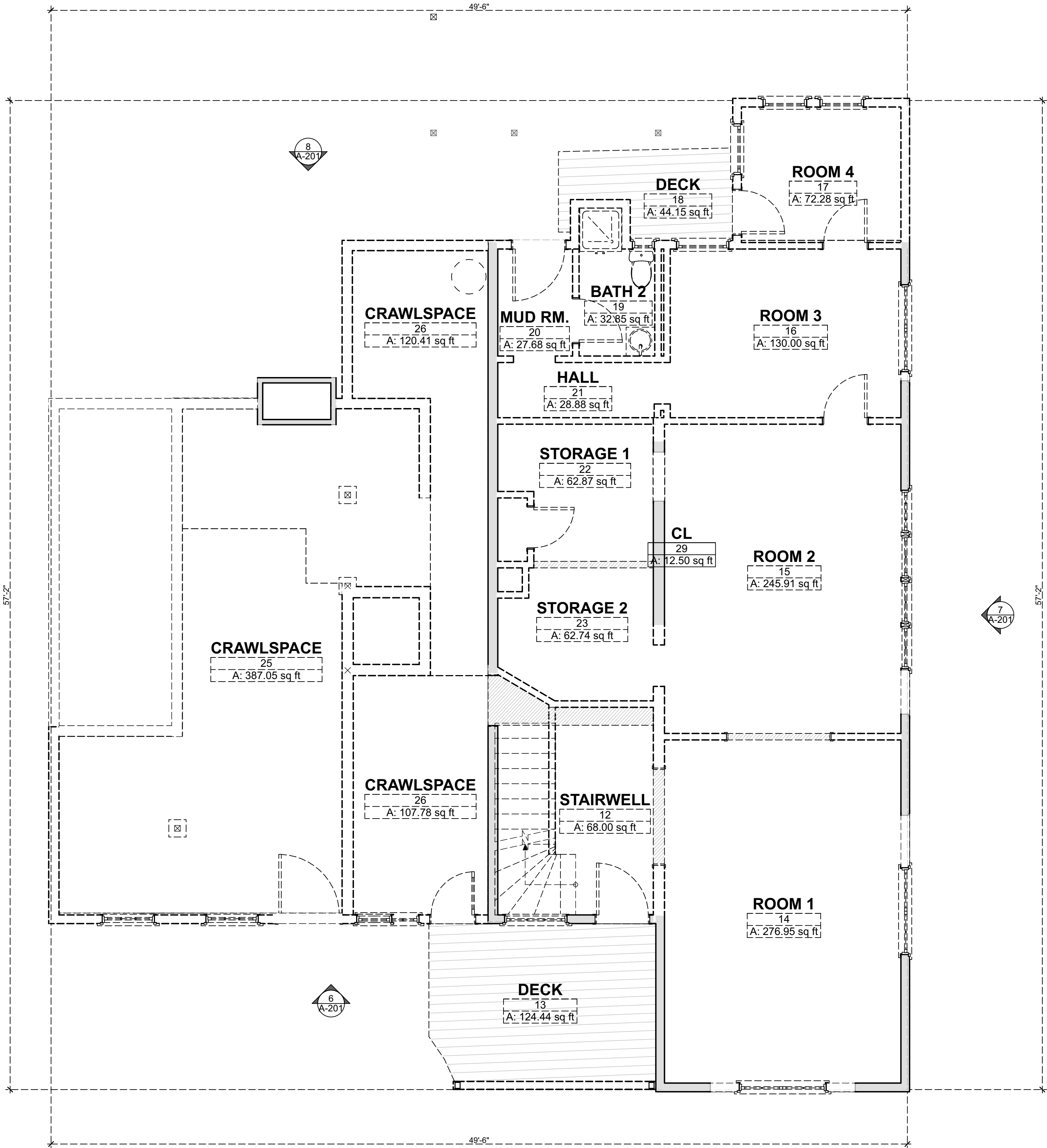
CHECKED BY:

MNA

COPYRIGHT © 2018 ARTERBERRY DESIGN

DEMOLITION MAIN
RESIDENCE (UPPER
FLOOR)

2AD-200



DEMOLITION PLAN GENERAL NOTES

- REFER TO "DEMOLITION NOTES", DIVISION 1, SHT. G-001, FOR DEMOLITION REQUIREMENTS.

DEMOLITION PLAN SYMBOLS LEGEND

(E) EXTERIOR WALL TO REMAIN

(E) INTERIOR WALL TO REMAIN

(E) WALL TO BE DEMOLISHED

ELEMENTS SHOWN DASHED TO BE REMOVED

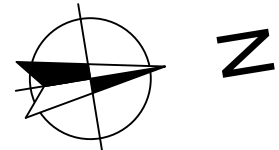
11

KEY NOTE CALLOUT - SEE "DEMOLITION PLAN KEY NOTES" BELOW

1

BASEMENT DEMOLITION PLAN

SCALE: 1/4" = 1'-0"



ISSUES	
MARK	DESCRIPTION
	PLANNING SUBMISSION
	PLANNING SUBMISSION
	PLANNING SUBMISSION
	PLANNING SUBMISSION
	PLANNING SUBMISSION
	PLANNING SUBMISSION

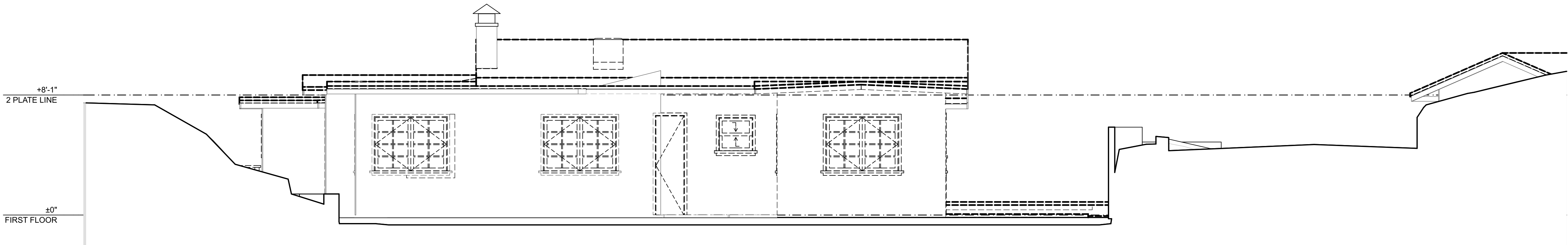
PROJECT #:	1805
CAD FILE:	Fremont Road22 - Main - 11-20-2020
DRAWN BY:	MNA
CHECKED BY:	MNA
COPYRIGHT © 2018 ARTERBERRY DESIGN	

DEMOLITION MAIN
RESIDENCE (LOWER
FLOOR)

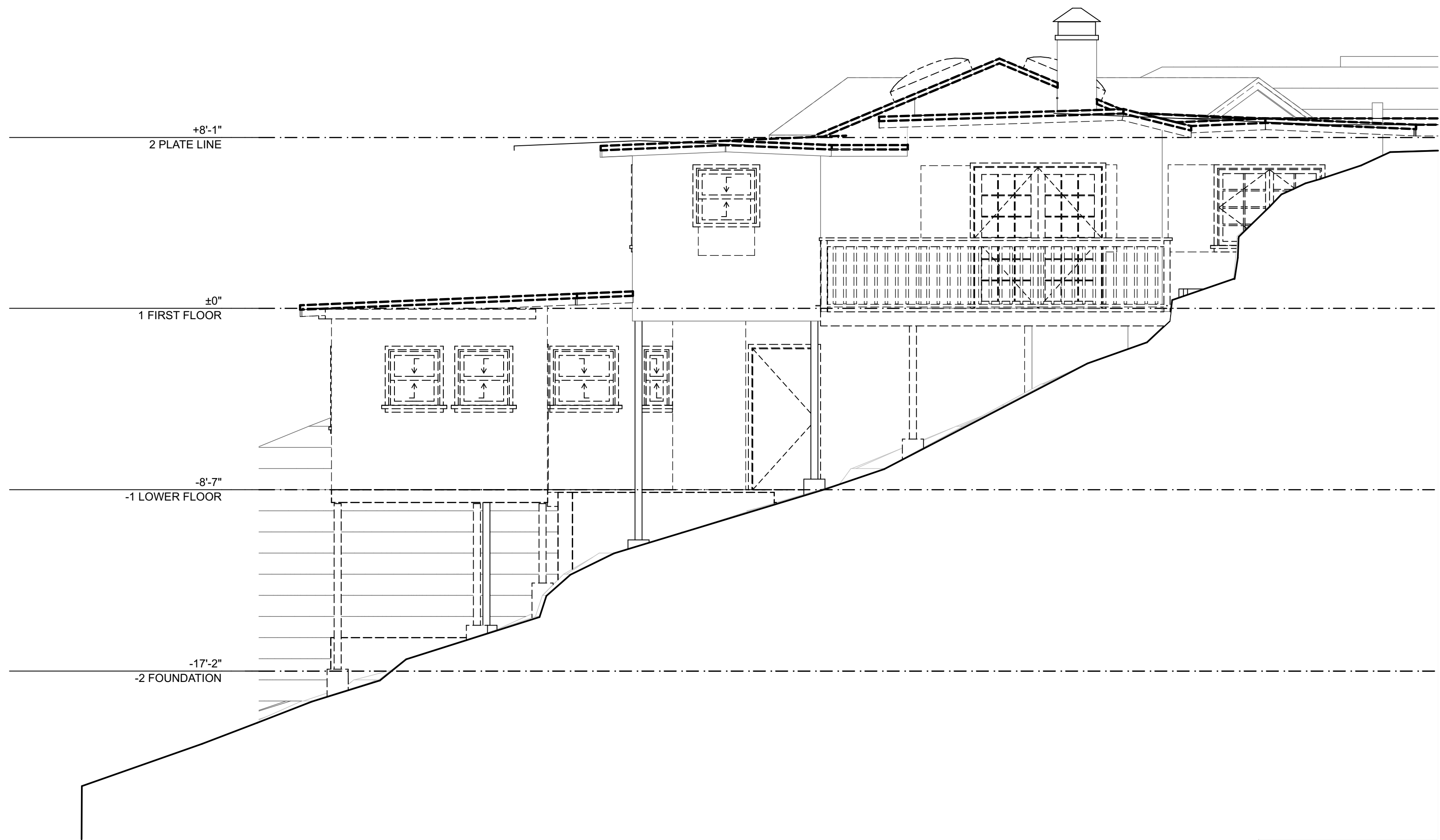
2AD-201

Owner:
Pacific Private Money Fund I, LLC
Et Al c/o Mark Hanf, Manager
1555 Grant Ave.
Novato, CA 94945

A.P.N 012-043-11 & 12
52/54 Fremont Street
San Rafael CA 94965
A.P.N.: 012-043-11 & 12



1 (E) SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



2 (E) WEST ELEVATION
SCALE: 1/4" = 1'-0"

EXISTING ELEVATION GENERAL NOTES

- REFER TO "DEMOLITION NOTES", DIVISION 1, SHT. G-001, FOR DEMOLITION REQUIREMENTS.

EXISTING ELEVATION SYMBOLS LEGEND

← 11 KEY NOTE CALLOUT - SEE "DEMOLITION PLAN KEY NOTES" BELOW



7 Princess St. Suite A
Sausalito, CA 94965
Phone: 415 944-5480

Millard@Arterberry-Design.com

Owner:
Pacific Private Money Fund I, LLC
Et Al c/o Mark Hanf, Manager
1555 Grant Ave.
Novato, CA 94945

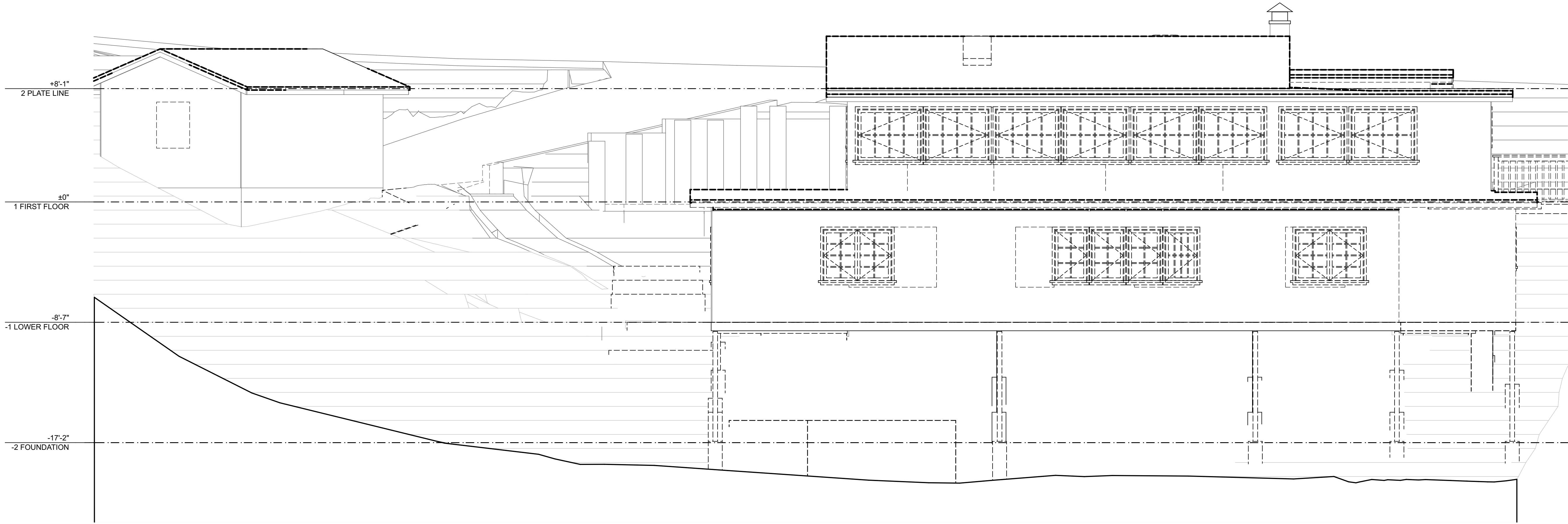
A.P.N 012-043-11 & 12
52/54 Fremont Street
San Rafael CA 94965
A.P.N.: 012-043-11 & 12

ISSUES	
MARK	DESCRIPTION
	PLANNING SUBMISSION
	PLANNING SUBMISSION
	PLANNING SUBMISSION
	PLANNING SUBMISSION
	PLANNING SUBMISSION
	PLANNING SUBMISSION

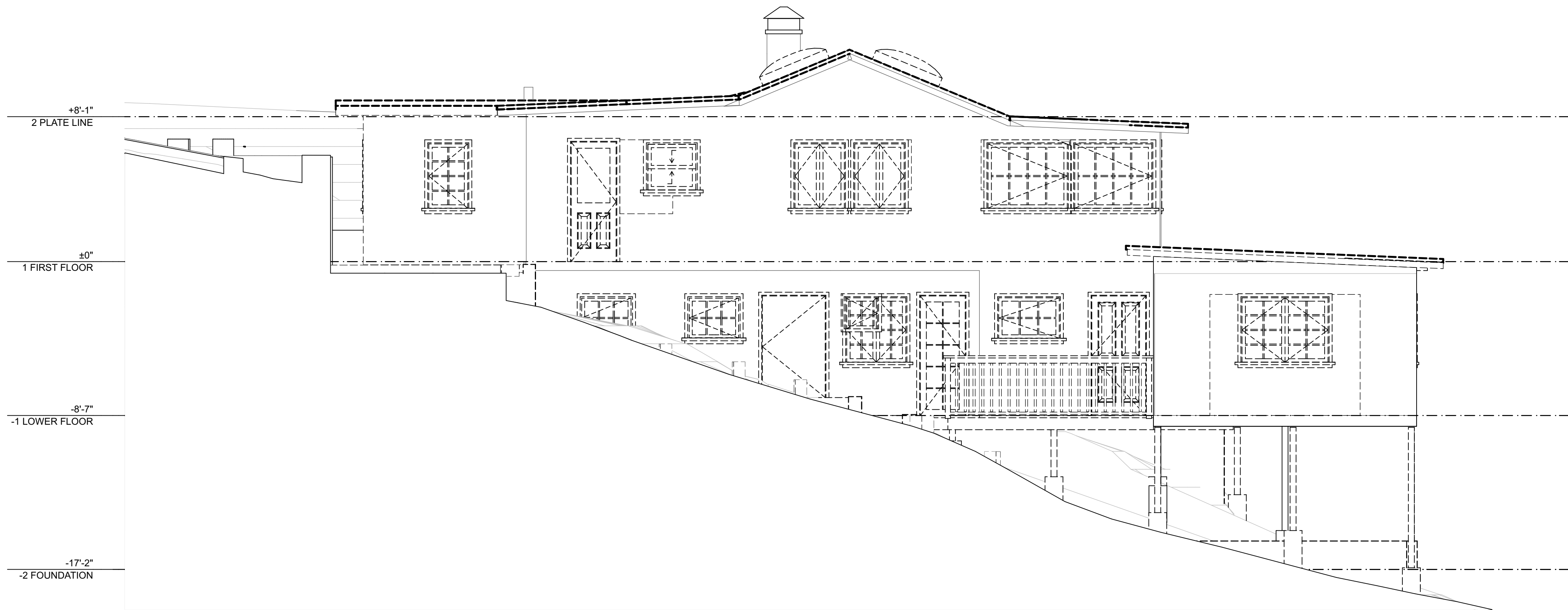
PROJECT #:	1805
CAD FILE:	Fremont Road22 - Main - 11-20-2020
DRAWN BY:	MNA
CHECKED BY:	MNA
COPYRIGHT © 2018 ARTERBERRY DESIGN	

EXISTING EXTERIOR
ELEVATIONS

2AD-202



1 (E) NORTH ELEVATION
SCALE: 1/4" = 1'-0"



2 (E) EAST ELEVATION
SCALE: 1/4" = 1'-0"

EXISTING ELEVATION GENERAL NOTES

- REFER TO "DEMOLITION NOTES", DIVISION 1, SHT. G-001, FOR DEMOLITION REQUIREMENTS.

EXISTING ELEVATION SYMBOLS LEGEND

← 11 KEY NOTE CALLOUT - SEE "DEMOLITION PLAN KEY NOTES" BELOW

Owner:
Pacific Private Money Fund I, LLC
Et Al c/o Mark Hanf, Manager
1555 Grant Ave.
Novato, CA 94945

A.P.N 012-043-11 & 12
52/54 Fremont Street
San Rafael CA 94965
A.P.N.: 012-043-11 & 12

ISSUES		
MARK	DATE	DESCRIPTION
	7/02/18	PLANNING SUBMISSION
	2/04/19	PLANNING SUBMISSION
	4/04/19	PLANNING SUBMISSION
	7/26/19	PLANNING SUBMISSION
	2/24/2020	PLANNING SUBMISSION
	9/24/2020	PLANNING SUBMISSION
	11/20/2020	PLANNING SUBMISSION

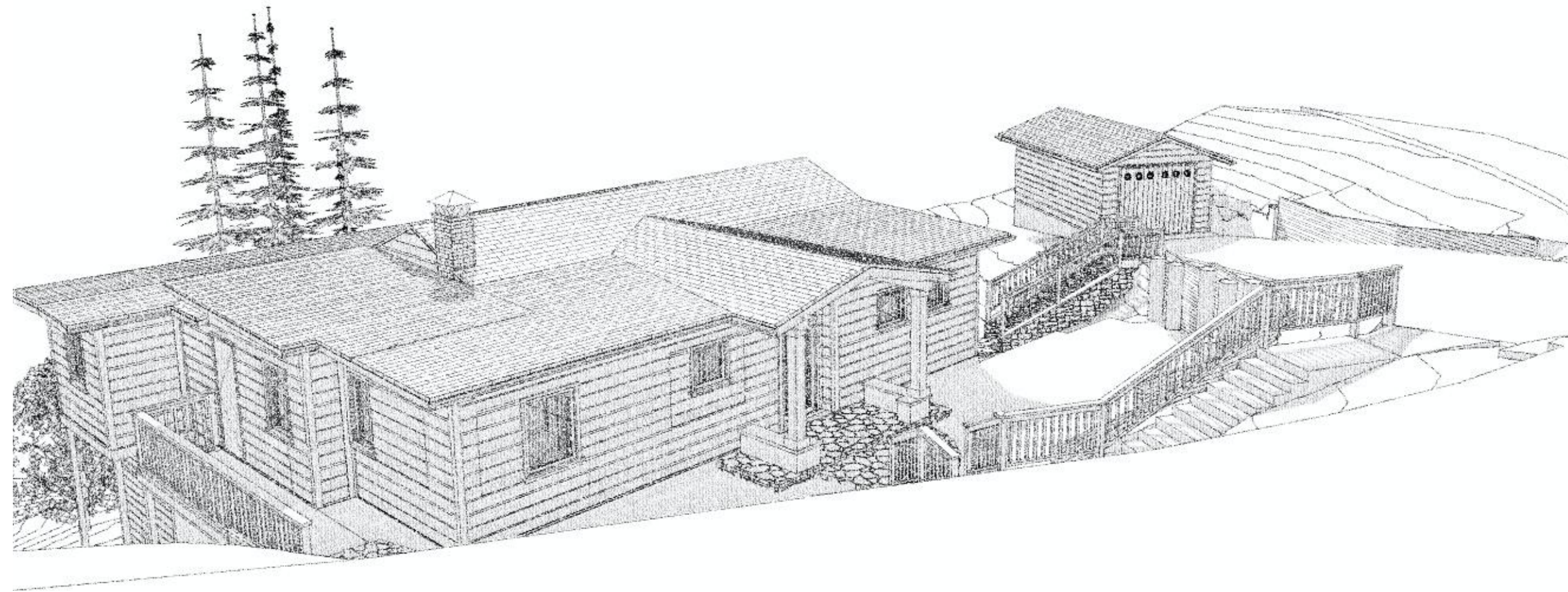
PROJECT #:	1805
CAD FILE:	52/54 Fremont Road22 - Main - 11-20-2020.dwg
DRAWN BY:	MNA
CHECKED BY:	MNA
COPYRIGHT © 2018 ARTERBERRY DESIGN	

EXISTING EXTERIOR
ELEVATIONS

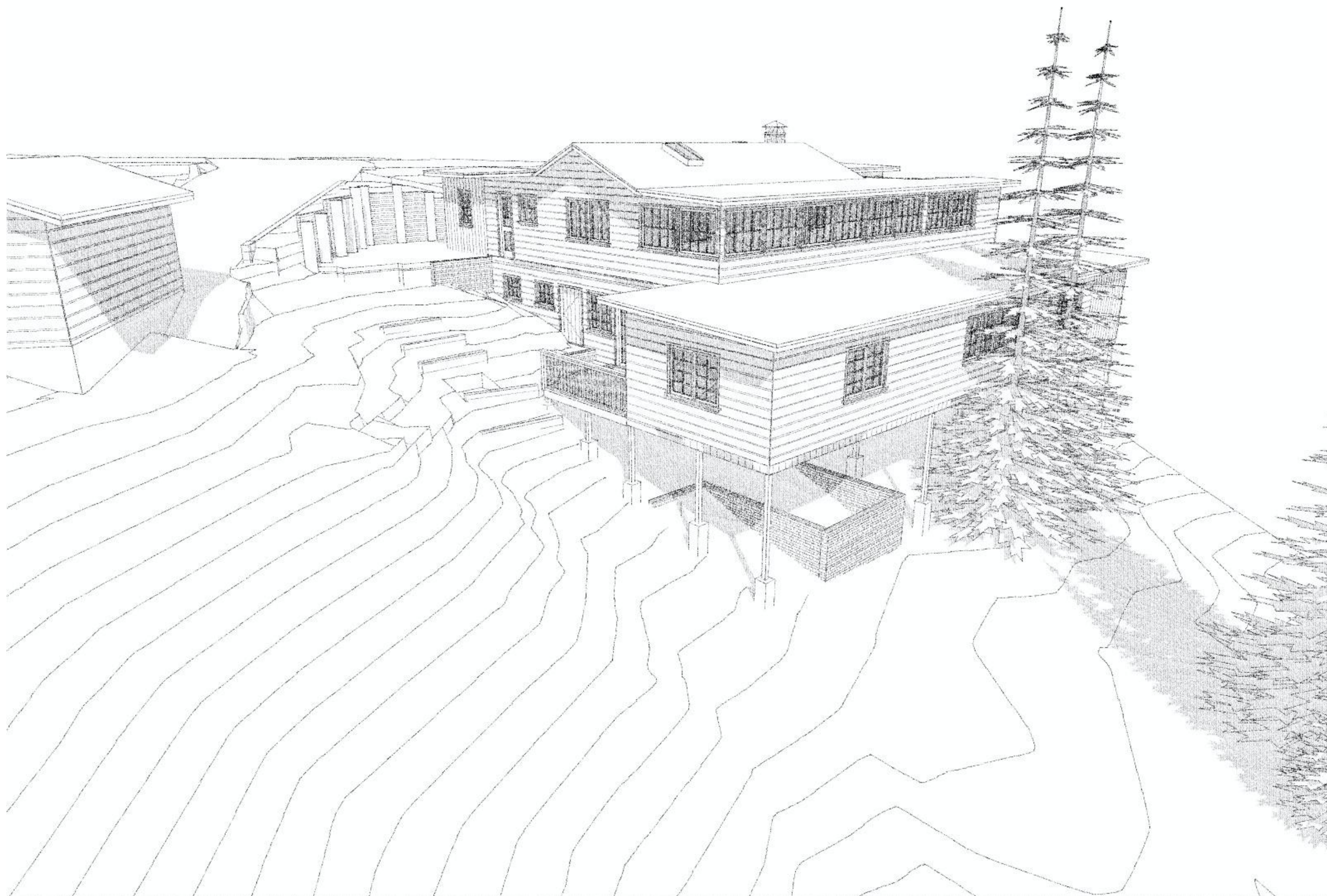
2AD-203



4 EXISTING VIEW FROM FREMONT ROAD



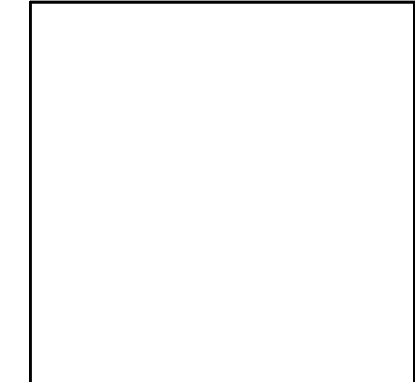
2 PROPOSED VIEW FROM FREMONT ROAD



3 EXISTING VIEW OF 54 FREMONT ROAD



1 PROPOSED VIEW OF 54 FREMONT ROAD



Owner:
 Pacific Private Money Fund I, LLC
 Et Al c/o Mark Hanf, Manager
 1555 Grant Ave.
 Novato, CA 94945

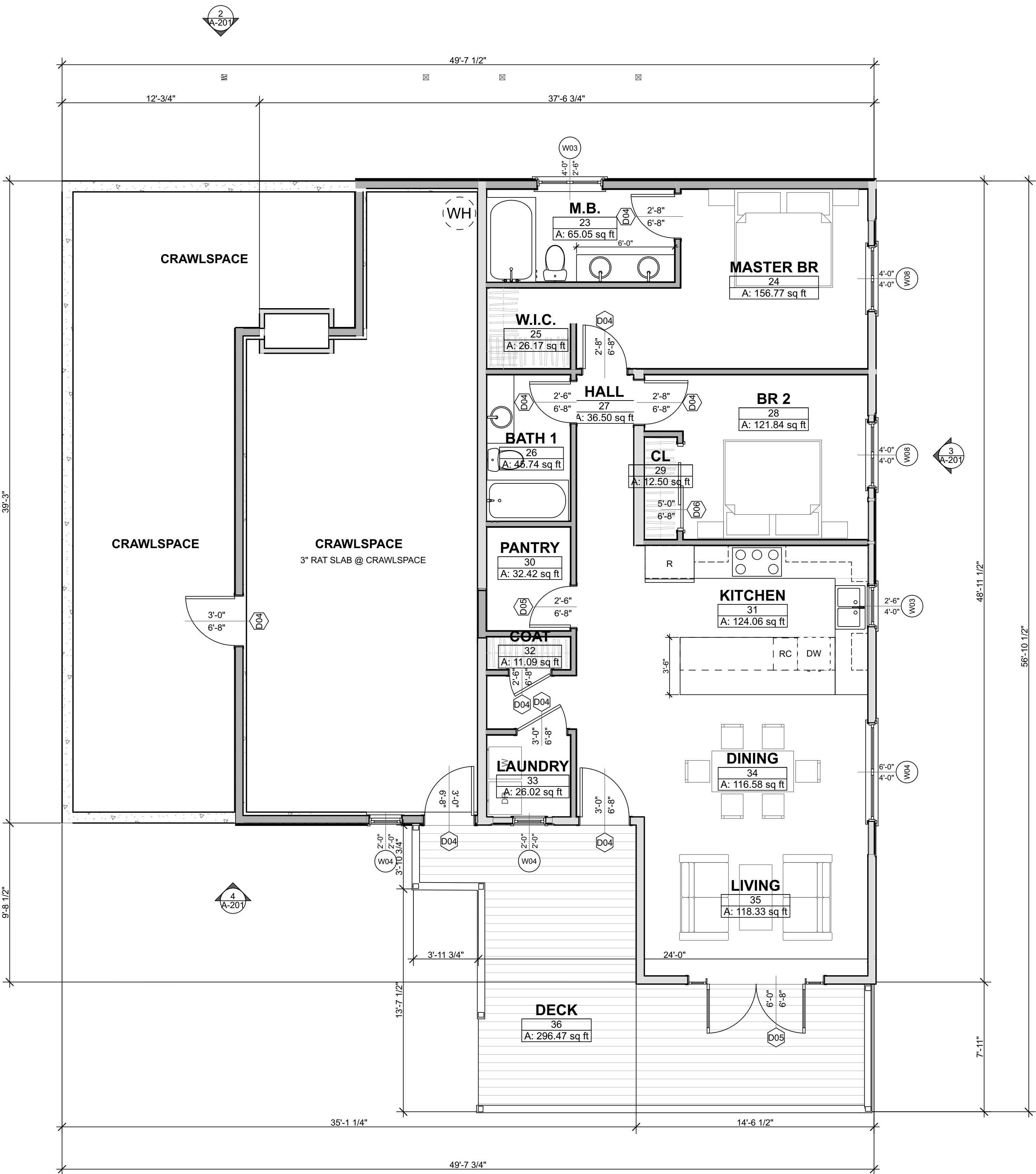
A.P.N 012-043-11 & 12
 52/54 Fremont Street
 San Rafael CA 94965
 A.P.N.: 012-043-11 & 12

ISSUES		
MARK	DATE	DESCRIPTION
	7/02/18	PLANNING SUBMISSION
	2/04/19	PLANNING SUBMISSION
	4/04/19	PLANNING SUBMISSION
	7/26/19	PLANNING SUBMISSION
	2/24/2020	PLANNING SUBMISSION
	9/24/2020	PLANNING SUBMISSION
	11/20/2020	PLANNING SUBMISSION

PROJECT #:	1805
CAD FILE:	Fremont Road22 - Main - 11-20-2020.dwg
DRAWN BY:	MNA
CHECKED BY:	MNA
COPYRIGHT © 2018 ARTERBERRY DESIGN	

RENDERINGS

2A-000



BASEMENT FLOOR PLAN
SCALE: 1/4" = 1'-0"

FLOOR PLAN GENERAL NOTES

- REFER TO "GENERAL NOTES", SHT. G-001 & SHT. G-002, FOR FURTHER INFORMATION.

FLOOR PLAN SYMBOLS LEGEND

- (E) EXTERIOR CONCRETE/BRICK WALL
- (E) INTERIOR WOOD FRAMED WALL
- (N) 2X4 WOOD FRAMED WALL - SEE STRUCTURAL PLANS
- NEW WINDOW CALLOUT - SEE WINDOW SCHEDULE, SHT. A-600
- NEW DOOR CALLOUT - SEE WINDOW SCHEDULE, SHT. A-600
- KEY NOTE CALLOUT - SEE "FLOOR PLAN KEY NOTES" BELOW
- DWG. # ELEVATION CALLOUT
- LAYOUT #
- DWG. # SECTION CALLOUT
- LAYOUT #

Arterberry
RESIDENTIAL DESIGN

7 Princess St, Suite A
Sausalito, CA 94965
Phone: 415 944-5480
Millard@Arterberry-Design.com

Owner:
Pacific Private Money Fund I, LLC
Et Al c/o Mark Hanf, Manager
1555 Grant Ave.
Novato, CA 94945

A.P.N 012-043-11 & 12

52/54 Fremont Street
San Rafael CA 94965
A.P.N.: 012-043-11 & 12

ISSUES	
MARK	DESCRIPTION
	PLANNING SUBMISSION
	PLANNING SUBMISSION
	PLANNING SUBMISSION
	PLANNING SUBMISSION
	PLANNING SUBMISSION
	PLANNING SUBMISSION

PROJECT #: 1805

CAD FILE: 22 - Main - 11-20-2020

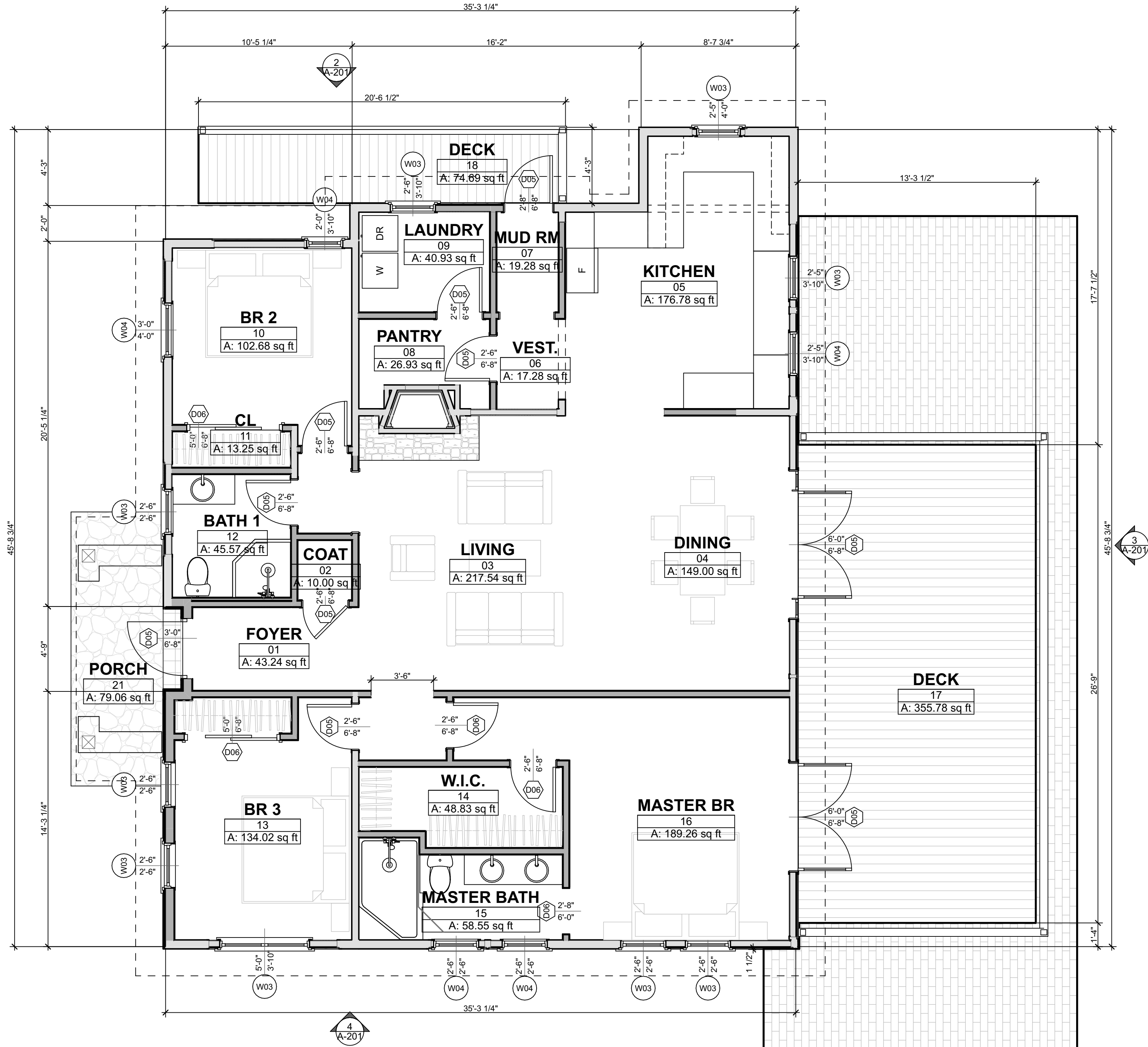
DRAWN BY: MNA

CHECKED BY: MNA

COPYRIGHT © 2018 ARTERBERRY DESIGN

BASEMENT FLOOR PLAN - 54 FREMONT RD

2A-100



FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

FLOOR PLAN GENERAL NOTES

REFER TO "GENERAL NOTES", SHT. G-001 & SHT. G-002, FOR FURTHER INFORMATION.

FLOOR PLAN SYMBOLS LEGEND

(E) EXTERIOR CONCRETE/BRICK WALL

(E) INTERIOR WOOD FRAMED WALL

(N) 2X4 WOOD FRAMED WALL - SEE STRUCTURAL PLANS

NEW WINDOW CALLOUT - SEE WINDOW SCHEDULE, SHT. A-600

NEW DOOR CALLOUT - SEE WINDOW SCHEDULE, SHT. A-600

KEY NOTE CALLOUT - SEE "FLOOR PLAN KEY NOTES" BELOW

DWG. # ELEVATION CALLOUT

DWG. # SECTION CALLOUT

Arterberry

RESIDENTIAL DESIGN

7 Princess St. Suite A
Sausalito, CA 94965
Phone: 415 944-5480
Millard@Arterberry-Design.com

Owner:

Pacific Private Money Fund I, LLC
Et Al c/o Mark Hanf, Manager
1555 Grant Ave.
Novato, CA 94945

A.P.N 012-043-11 & 12

52/54 Fremont Street
San Rafael CA 94965
A.P.N.: 012-043-11 & 12

ISSUES	
MARK	DESCRIPTION
	PLANNING SUBMISSION
	PLANNING SUBMISSION
	PLANNING SUBMISSION
	PLANNING SUBMISSION
	PLANNING SUBMISSION
	PLANNING SUBMISSION

PROJECT #:

1805

CAD FILE:

Fremont Road22 - Main - 11-20-2020

DRAWN BY:

MNA

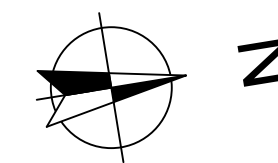
CHECKED BY:

MNA

COPYRIGHT © 2018 ARTERBERRY DESIGN

FIRST FLOOR PLAN - 54
FREMONT RD

2A-101



SCALE: 1/4" = 1'-0"

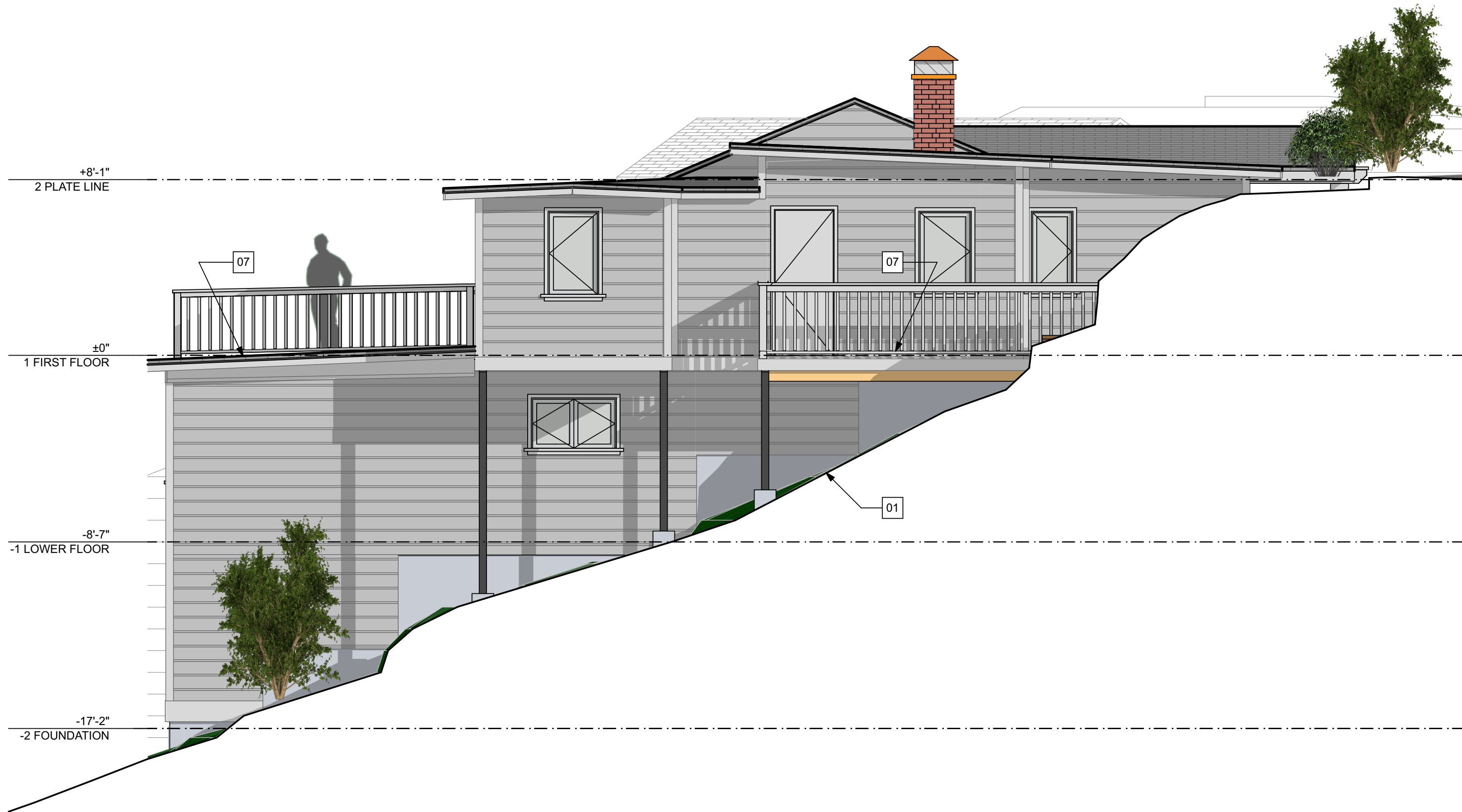
2A-102

A.P.N 012-043-11 & 12
52/54 Fremont Street
San Rafael CA 94965
A.P.N.: 012-043-11 & 12





1 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



2 WEST ELEVATION
SCALE: 1/4" = 1'-0"

EXTERIOR ELEVATION GENERAL NOTES

- REFER TO "GENERAL NOTES", SHT. G-001 & SHT. G-002, FOR FURTHER INFORMATION.

EXTERIOR ELEVATION SYMBOLS LEGEND

11

KEY NOTE CALLOUT - SEE "FLOOR PLAN KEY NOTES" BELOW

EXTERIOR ELEVATION KEY NOTES

- 01- (E) GRADE LINE
- 02- DRIVEWAY
- 03- LIVING WALL (GREEN WALL)
- 04- ENTRY STAIRS
- 05- PORCH
- 06- PATIO SLAB
- 07- DECK
- 08- UNCOVERED PARKING SPACE



7 Princess St. Suite A
Sausalito, CA 94965
Phone: 415 944-5480

Millard@Arterberry-Design.com

Owner:
Pacific Private Money Fund I, LLC
Et Al c/o Mark Hanf, Manager
1555 Grant Ave.
Novato, CA 94945

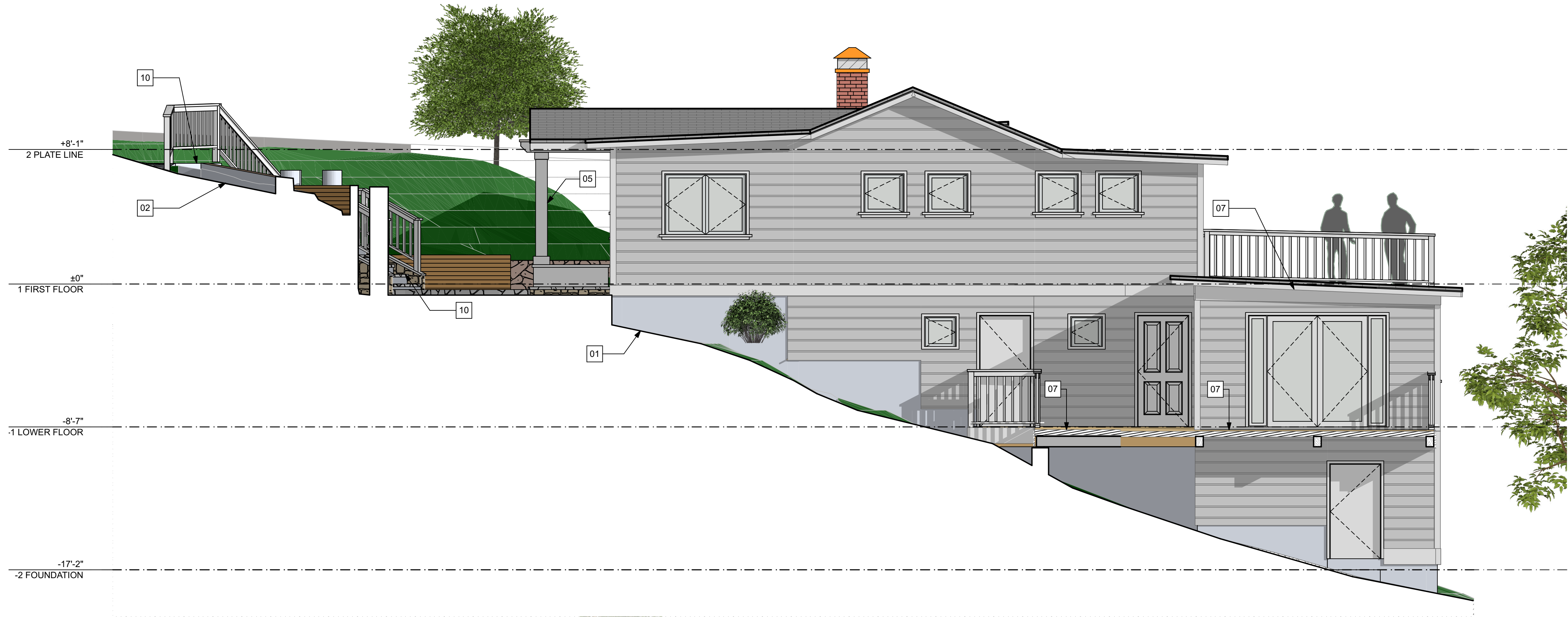
A.P.N 012-043-11 & 12
52/54 Fremont Street
San Rafael CA 94965
A.P.N.: 012-043-11 & 12

ISSUES		
MARK	DATE	DESCRIPTION
	7/02/18	PLANNING SUBMISSION
	2/04/19	PLANNING SUBMISSION
	4/04/19	PLANNING SUBMISSION
	7/26/19	PLANNING SUBMISSION
	2/24/2020	PLANNING SUBMISSION
	9/24/2020	PLANNING SUBMISSION
	11/20/2020	PLANNING SUBMISSION

PROJECT #:	1805
CAD FILE:	52/54 Fremont Road22 - Main - 11-20-2020.rvt
DRAWN BY:	MNA
CHECKED BY:	MNA
COPYRIGHT © 2018 ARTERBERRY DESIGN	

PROPOSED EXTERIOR ELEVATIONS

2A-200



2 EAST ELEVATION
SCALE: 1/4" = 1'-0"



1 NORTH ELEVATION
SCALE: 1/4" = 1'-0"

EXTERIOR ELEVATION GENERAL NOTES

• REFER TO "GENERAL NOTES", SHT. G-001 & SHT. G-002, FOR FURTHER INFORMATION.

EXTERIOR ELEVATION SYMBOLS LEGEND

11

KEY NOTE CALLOUT - SEE "FLOOR PLAN KEY NOTES" BELOW

EXTERIOR ELEVATION KEY NOTES

- 01- (E) GRADE LINE
- 02- DRIVEWAY
- 03- LIVING WALL (GREEN WALL)
- 04- ENTRY STAIRS
- 05- PORCH
- 06- PATIO SLAB
- 07- DECK
- 08- UNCOVERED PARKING SPACE
- 09- UNUSED
- 10- SITE WALKWAY/STAIRWAY
- 11- (E) GARAGE TO BE REMODELED



7 Princess St. Suite A
Sausalito, CA 94965
Phone: 415 944-5480

Owner:
Pacific Private Money Fund I, LLC
Et Al c/o Mark Hanf, Manager
1555 Grant Ave.
Novato, CA 94945

A.P.N 012-043-11 & 12
52/54 Fremont Street
San Rafael CA 94965
A.P.N.: 012-043-11 & 12

ISSUES		DESCRIPTION
MARK	DATE	
	7/02/18	PLANNING SUBMISSION
	2/04/19	PLANNING SUBMISSION
	4/04/19	PLANNING SUBMISSION
	7/26/19	PLANNING SUBMISSION
	2/24/2020	PLANNING SUBMISSION
	9/24/2020	PLANNING SUBMISSION
	11/20/2020	PLANNING SUBMISSION

PROJECT #:	1805
CAD FILE:	52/54 Fremont Road22 - Main - 11-20-2020.dwg
DRAWN BY:	MNA
CHECKED BY:	MNA
COPYRIGHT © 2018 ARTERBERRY DESIGN	

PROPOSED EXTERIOR ELEVATIONS

2A-201