



**Design Review Board
Regular Meeting**

**Tuesday, February 8, 2022, 7:00 P.M.
AGENDA**

Virtual Meeting

Watch on Webinar: <https://tinyurl.com/dr-2022-02-08>

Telephone: (669) 900-9128

Meeting ID: 816 4876 6170#

One Tap Mobile: US: +16699009128,,81648766170#

CORONAVIRUS (COVID-19) ADVISORY NOTICE

In response to Assembly Bill 361, the City of San Rafael is offering teleconference without complying with the procedural requirements of Government Code section 54953(b)(3). This meeting will be held virtually using Zoom.

How to participate in the meeting:

- Submit public comments in writing. Correspondence received by 10:00 p.m. the Tuesday the week before the meeting will be provided with the agenda materials provided to the Board. Correspondence received after this deadline but by 12:00 p.m. the day before the hearing will be conveyed to the Board as a supplement. Correspondence received after this deadline will not be distributed to the Board but will be saved in the project administrative record. Send correspondence to the project planner or to PlanningPublicComment@cityofsanrafael.org; or send in writing to Planning Division, CDD; 1400 5th Ave. 3rd Fl.; San Rafael, CA 94901.
- Join the Zoom webinar and use the 'raise hand' feature to provide verbal public comment.
- Dial-in to Zoom's telephone number using the meeting ID and provide verbal public comment.

Any member of the public who needs accommodations should contact the City Clerk (email city.clerk@cityofsanrafael.org or phone at 415-485-3066) who will use their best efforts to provide reasonable accommodations to provide as much accessibility as possible while also maintaining public safety in accordance with the City procedure for resolving reasonable accommodation requests.

Members of the public may speak on Agenda items.

CALL TO ORDER

RECORDING OF MEMBERS PRESENT AND ABSENT

APPROVAL OR REVISION OF ORDER OF AGENDA ITEMS

PUBLIC NOTIFICATION OF MEETING PROCEDURES

ORAL COMMUNICATIONS FROM THE PUBLIC

Remarks are limited to three minutes per person and may be on anything within the subject matter jurisdiction of the body. Remarks on non-agenda items will be heard first, remarks on agenda items will be heard at the time the item is discussed.

CONSENT CALENDAR

The Consent Calendar allows the Board to take action, without discussion, on Agenda items for which there are no persons present who wish to speak, and no Board members who wish to discuss.

1. **Approval of the Design Review Board Meeting Minutes of January 19, 2022**

Recommended Action – Approve minutes as submitted

2. **558 Fairhills Drive**

Proposed three-foot (3'), 23-square-foot setback encroachment into the minimum 12.5-foot side yard setback to allow a kitchen and dining room expansion of an existing single-family hillside residence; APN: 010-101-01; Single-Family Residential-Hillside Development Overlay (R20-H) District; Darin Stroop, applicant; Jacob and Bridget Peterson, Owners.

Project Planner: Steve Stafford steve.stafford@cityofsanrafael.org

Recommended Action – Approve project as presented

ACTION CALENDAR

3. **300 Smith Ranch Rd. (Las Gallinas Valley Sanitation District)**

Conceptual Design Review of a proposal to construct a new three-story, approx. 15,000 sq. ft. Operations Control Center (OCC) for Las Gallinas Valley Sanitation District (LGVSD) including operations control for the wastewater treatment plant, a laboratory, administrative offices, conference rooms, and multi-function classrooms for public use. The proposal also includes the creation of a new Corporation Yard with the construction of a new one-story, 3,000 sq. ft., carport maintenance building providing a secured surface parking lot for LGVSD vehicles. The new OCC would replace an existing Administration Building and the new Corporation Yard would replace an existing carport structure; APNS: 155-121-20, -27 & -29; Public/Quasi-Public (P/QP) District Zone; Michael P. Cortez, Applicant; Las Gallinas Valley Sanitation District, Owner.

Project Planner: Steve Stafford steve.stafford@cityofsanrafael.org

Recommended Action – Accept report and provide feedback

DIRECTOR'S REPORT

BOARD COMMUNICATION

ADJOURNMENT

Any records relating to an agenda item, received by a majority or more of the Commission less than 72 hours before the meeting, shall be available for inspection online. Sign Language interpreters may be requested by calling (415) 485-3066 (voice), emailing city.clerk@cityofsanrafael.org or using the California Telecommunications Relay Service by dialing "711", at least 72 hours in advance of the meeting. Copies of documents are available in accessible formats upon request.



**Design Review Board
Regular Meeting**

**Wednesday, January 19, 2022, 7:00 P.M.
MINUTES**

Virtual Meeting

Watch on Webinar: <https://tinyurl.com/dr-2022-01-19>

Telephone: (669) 900-9128

Meeting ID: 890-1108-8757#

One Tap Mobile: US: +16699009128,,89011088757#

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Present: Chair Paul
Board Member Blayney
Board Member Kent
Board Member Kovalsky
Vice Chair Rege

Absent: Board Member Summers

Also Present: Leslie Mendez, Planning Manager
Dave Hogan, Contract/Project Planner

CALL TO ORDER

Chair Paul called the meeting to order at 7:01 p.m. He then invited Planning Manager Leslie Mendez to call the roll. All board members were present, except for Board Member Summers.

APPROVAL OR REVISION OF ORDER OF AGENDA ITEMS

None

PUBLIC NOTIFICATION OF MEETING PROCEDURES

Chair Paul invited Planning Manager Leslie Mendez who informed the community that members of the public would provide public comment either on the telephone or through Zoom. She explained the process for community participation on the telephone and Zoom.

Chair Paul reviewed the procedures for the meeting.

ORAL COMMUNICATIONS FROM THE PUBLIC

None

CONSENT CALENDAR

Chair Paul invited public comment; however, there was none.

Member Kent moved and Member Kovalsky seconded to approve the Minutes as submitted.

1. Approval of the Design Review Board Meeting Minutes of December 7, 2021

Approved minutes as submitted

AYES: Members: Kent, Kovalsky, Rege & Chair Paul

NOES: Members: None

ABSENT: Members: Summers

ABSTAIN: Members: Blayney

Motion carried 4-0-1

ACTION CALENDAR

2. 33/41 Ross Street Terrace

Request for a Lot Line Adjustment for property line adjustment, Exception, and Environmental and Design Review Permits to allow for the following: (1) Construction of a single-family residence on vacant hillside Lot 59; (2) Construction of a single-family residence on vacant hillside Lot 60; and (3) Construction of a two lane access driveway approximately 480 feet in length within the undeveloped Ross Street Terrace right-of-way; APN: 012-141-59 and 012-141-60; Single-family Residential (R7.5) District; Coby Freidman, applicant. File No(s): LLA19-008 / ED19-090 / ED19-091 / EX20-006.

Project Planner: Dave Hogan dave.hogan@cityofsanrafael.org

Dave Hogan, Contract/Project Planner presented the Staff Report.

Staff responded to questions from the Members.

Applicant gave a presentation.

Applicant responded to questions from the Members.

Chair Paul invited public comment.

Speakers: Amy Likover, Victor Kunin, Benjamin Karnow, Jeannie and David Campbell, Jay Ginwala, Victoria DeWitt, Marco Berti, Maria Kunin, Len Rifkind, Peter Marks, Michael Simler, Jessica Yarnall Loarie, Melinda Benedict, Patrick Killian, Daniel Kelly

Staff and Applicant responded to further questions from the Members.

Members provided comments.

Leslie Mendez, Planning Manager went through findings with the Members to determine consensus.

Chair Paul moved and Member Kovalsky seconded to recommend denial of project based on not making four findings for recommendation of exceptions for natural state and driveway.

Members discussed motion to determine consensus.

AYES: Members: Chair Paul
NOES: Members: Blayney, Kent, Kovalsky & Vice Chair Rege
ABSENT: Members: Summers
ABSTAIN: Members: None

Motion failed 4-1

Member Blayney moved and Member Kent seconded to approve project with stipulation that they can meet the 63% or 65% of a natural state.

Members discussed motion. Motion modified to approve the project with stipulation to meet natural state in proportion to nonconforming lot size to conforming lot size (approximately 2/3); and with the following conditions: 1) that the color scheme should be darker for the retaining walls and hardy siding on the houses; and 2) faster growing tree species should replace the proposed Ironwood and Magnolia Trees.

AYES: Members: Blayney, Kent, Kovalsky, Rege & Chair Paul
NOES: Members: None
ABSENT: Members: Summers
ABSTAIN: Members: None

Motion carried 5-0

3. Annual Meeting 2022

Annual Meeting of Design Review Board for 2022 to include: a) Election of Officers for

2022 Design Review Board meetings; b) Distribution and Review of Design Review Board “Rules of Order;” and c) Distribution and Review of Scheduled meeting for 2022
Project Planner: Leslie Mendez Leslie.Mendez@cityofsanrafael.org

Leslie Mendez, Planning Manager presented the Staff Report.

Leslie Mendez, Planning Manager presented 3.a Election of Officers.

Discussion amongst the Members regarding Chair and Vice Chair Position.

Member Kent moved and Member Blayney seconded to keep the rotation based on the same tenure and to elect Vice Chair Rege as Chair and to elect Member Kovalsky as Vice Chair for 2022.

AYES: Members: Blayney, Kent, Kovalsky, Rege & Chair Paul
NOES: Members: None
ABSENT: Members: Summers
ABSTAIN: Members: None

Motion carried 5-0

Leslie Mendez, Planning Manager presented 3.b Review of Design Review Board “Rules of Order”. She noted that she has one recommendation to allow the Chair to both limit, as well as, extend speaker time.

Members provided comments.

Member Blayney moved and Member Kovalsky seconded to accept the recommendation.

Discussion between Members and Staff regarding timely correspondence from the public.

AYES: Members: Blayney, Kent, Kovalsky, Rege & Chair Paul
NOES: Members: None
ABSENT: Members: Summers
ABSTAIN: Members: None

Motion carried 5-0

Leslie Mendez, Planning Manager presented 3.c 2022 Meeting Schedule.

DIRECTOR’S REPORT

Planning Manager reported on the following items:

- Senate Bill 9 (SB 9) Update
- Objective Standards will be brought to the Design Review Board this year
- Gratitude for Chair Paul’s service as Chair for the year

BOARD COMMUNICATION

- Members asked questions regarding the status of various projects.

ADJOURNMENT

Chair Paul adjourned the meeting at 10:03 p.m.

LINDSAY LARA, City Clerk

APPROVED THIS _____ DAY OF _____, 2022

LARRY PAUL, Chair

DRAFT



REPORT TO DESIGN REVIEW BOARD

SUBJECT: 558 Fairhills Drive – Proposed three-foot (3’), 23-square-foot setback encroachment into the minimum 12.5-foot side yard setback to allow a kitchen and dining room expansion of an existing single-family hillside residence; APN: 010-101-01; Single-Family Residential-Hillside Development Overlay (R20-H) District; Darin Stroop, applicant; Jacob and Bridget Peterson, Owners.

PROPERTY FACTS

	General Plan Designation	Zoning Designation	Existing Land-Use
Project Site:	Hillside Residential (HR)	R20-H	Single-family residence
North:	HR	R20-H	Single-family residence
South:	HR	R1a-H	Single-family residence
East:	HR	R20-H	Single-family residence
West:	HR	R20-H	Single-family residence
Lot Size		Lot Coverage (Max.) OR Natural State (Min.)	
Required: 20,000 sf Proposed: 10,598 sf (existing)		Standard: 3,179 sf/30% max. lot coverage Existing/Proposed: 2,647 sf (52.2% natural state) no change?	
Grading		Setbacks	
Total: None		<u>Required</u>	<u>Existing</u>
		Front: 20'	20'
		Side(s): 12.5'	8.5'
		Rear: 10'	60'+
			60'+

SUMMARY

The project proposes to expand both the kitchen and dining room areas over an attached understory garage which currently encroaches approximately 4’ into the 12.5’ interior required side yard setback. The project proposes to extend into the interior required side yard setback no further than the exterior walls of the existing attached garage or 3’ into the interior required side yard setback.

As the project site is located in the Hillside Development Overlay (-H) District, pursuant to Section 14.12.030(B) of the San Rafael Municipal Code (SRMC), a structure may encroach into a required yard or setback for a distance of not more than one-half (½) of the required yard or setback, subject to recommendation of the Design Review Board (Board) that the decreased setback minimizes the impact of hillside development and grading.

Staff is seeking recommendation only on the proposed setback reduction for the kitchen and dining room addition. The remaining project features comply with the applicable zoning regulations and are

not subject to discretionary Design Review Board review. Specifically, staff asks the Board to consider the following:

- Whether decreasing the required interior side yard setback from 12.5' to 9.5' minimizes the impact to hillside development and grading.

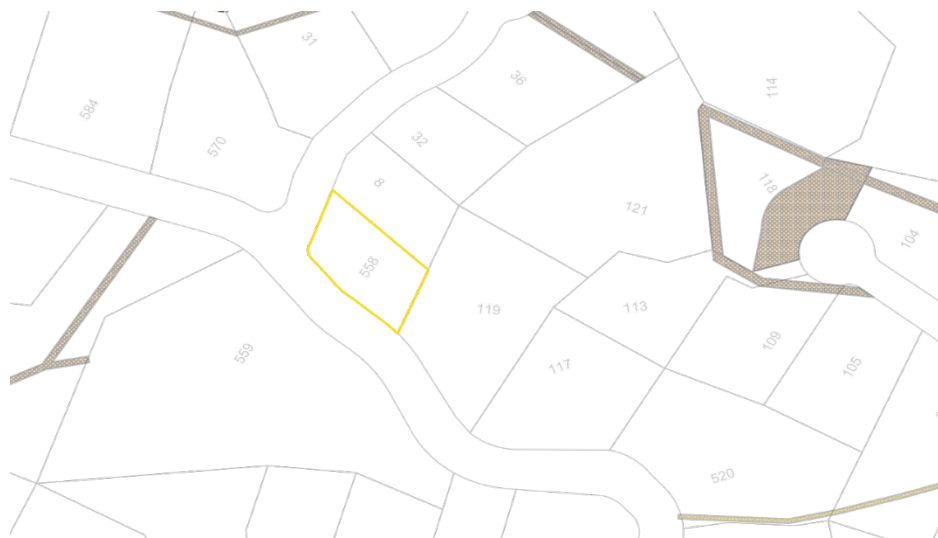
BACKGROUND

Site Description & Setting:

The subject site is located at the southeast corner of Fairhills Drive and Rustic Way. It is upsloping from both street front, trending southwest to northeast, with an approximately 27.25% average cross-slope. It is a wide and narrow parcel 10,598 sq. ft. in size where a minimum of 20,000 sq. ft. is required in the R20-H District. The existing attached garage is located approximately 4' into the required 12.5' interior side yard setback.

The site is surrounded by larger (20,000+ sq. ft.) single-family hillside residences.

Figure 1: Vicinity Map



PROJECT DESCRIPTION

The project proposes to remove an existing covered side yard porch and built-in planter and extend the existing kitchen and dining room area. Twenty-three square feet (23 sq. ft.) of the proposed new 190 sq. ft. kitchen and dining room addition would encroach 3' into the required 12.5' interior side yard setback. The project also proposes a 30 sq. ft. foyer addition and 525 sq. ft. of new uncovered decking along the front and street side elevations which comply with the R20-H District setback requirements though still require an administrative-/staff-level Environmental and Design Review Permit for uncovered decking greater than 100 sq. ft. on hillsides.

ANALYSIS

Grading

There are no grading impacts for the proposed project encroachment in that the kitchen and dining area addition would be constructed directly above, or on top of, the existing attached garage, which is already encroaching approximately 4' into the required interior side yard setback. The proposed addition would not encroach beyond the existing exterior walls of the attached garage.

Hillside Design Guidelines

The Hillside Design Guidelines provide no additional direction on setback reductions beyond the standard prescribed in SRMC Section 14.12.030(B).

PLAN CONSISTENCY

General Plan 2040 Consistency:

The project is consistent with the General Plan 2040 policies, in that; a) the project is being reviewed appropriately through design review and review of the Hillside Residential Design Guidelines (*Community Design and Preservation Element Policy CDP-1.3A; Hillside Residential Design Guidelines*); and b) the project will provide for effective public involvement in the review of the project through the noticing of all meetings and hearings (*CDP-4.2; Public Involvement in Design Review*).

Zoning Ordinance Consistency:

Chapter 4 – Residential Districts

The project is consistent with the property development standards for the R20 District, including maximum lot coverage. The site is allowed a maximum 3,179 sq. ft. of lot coverage, based on 10,598 sq. ft. of lot area, and the project proposes to increase lot coverage from 2,256 sq. ft. to 2,647 sq. ft.

Chapter 12 – Hillside Development Overlay (-H) District

SRMC Section 14.12.030(B) – Setbacks

The site is located within the Hillside Development Overlay (-H) District, which allows structures to encroach into the required yard or setback for a distance not more than one-half (1/2) with recommendation from the Design Review Board that the decrease minimizes the impact of hillside development and grading. The project minimizes impacts on hillside development, in that; it will not encroach any further into the required side yard setback beyond the existing attached garage. The existing garage encroaches 4' into the 12.5' side yard setback while the project proposes to locate the proposed kitchen and dining room addition above the garage while encroaching 3' into the same side yard setback. Since the project proposes to locate the kitchen and dining room addition above the existing garage, it will result in no grading impacts to the site. Additionally, if the setback reduction is recommended for approval, an equal or compensating increase is required in the opposing setback. The underlying R20 District requires a 12.5' side/street side yard setback. The project proposes to decrease the interior side yard setback 3', from 12.5' to 9.5', while correspondingly increasing the street side yard setback 3', from 12.5' to 15.5'. This reduction is allowed with a recommendation of the Board.

SRMC Section 14.12.030(C) – Natural State

Parcels located within the Hillside Development Overlay (-H) District are required to maintain a minimum percentage of the lot in its natural state area, undeveloped and undisturbed. The required natural state is calculated as 25% of the lot area plus the average cross-slope, which is not to exceed 85%. The subject site is required to maintain a minimum 52.25% of the lot, or 5,532 sq. ft., in its natural state (25% + 27.25% average slope). The project proposes no change in the existing natural state; the project proposes to maintain 55.25% of the lot, or 5,533 sq. ft., in a natural state, which complies with the hillside development standards.

NEIGHBORHOOD CORRESPONDENCE

Notice of hearing for the project has been conducted in accordance with noticing requirements contained in Chapter 29 of the Zoning Ordinance. A Notice of Public Hearing was mailed to all property owners and occupants within a 300-foot radius of the project site, the Fairhills Property Owners Association, and all other interested parties a minimum of 15 calendar days prior to the date of this hearing. Additionally,

notice was posted on the project site, at the southeast corner of the Fairhills Dr. and Rustic Way intersection, a minimum of 15 calendar days prior to the date of the Board meeting.

As of the writing of this staff report, staff has received no public comments.

RECOMMENDATION

Staff recommends the Board recommend approval for this project based on the items discussed above. The proposed addition to the single-family residence, which encroaches 3' into the required 12.5' interior side yard setback, would create no grading impacts and, therefore, minimizes hillside development impacts.

EXHIBITS

1. Plans

Project Description:

- New square footage added above existing garage and front porch
- Reconfigure/Remodel existing interior w/new flooring, finishes, fixtures, lighting ect.
- Replace existing windows and siding
- New wood deck at Living Room
- New outdoor shower at Master Bedroom Wardrobe

Sheet Index:

Architectural	
A0.1	Cover Sheet - Site Plan
A0.2	Existing Site Plan
A1.1	Existing Floor Plan
A1.2	Proposed Floor Plan
A1.3	Roof Plans
A2.1	Sections
A3.1	Exterior Elevations South
A3.2	Exterior Elevations West
A3.3	Exterior Elevations North
A3.4	Exterior Elevations East

Civil	
1	Boundary Survey

Project Directory:

Owners	Architectural Designer	Land Surveyor
Jake & Bridget Peterson 558 Fairhills Drive San Rafael, California 94901 Phone: 415-	Darin Stroop 1472 Filbert Street #604 San Francisco, California Phone: 415-939-8440 email: darin1472@gmail.com	Philip A. Danskin & Assoc. Sonoma, California Phone: 707-938-2520 email:

Project Data:

ASSESSOR'S PARCEL NUMBER:	010-101-01
ZONING DISTRICT:	R20-H Single Family Residential (Hillside Development Overlay District)
TYPE OF CONSTRUCTION:	-
AVERAGE SLOPE:	27.25
SAN RAFAEL FIRE DEPARTMENT	

Existing Floor Area:

Main Floor:	1,684 Sq. Ft.
Garage:	480 Sq. Ft.
Total:	2,164 Sq. Ft.
Existing covered Porches:	92 Sq. Ft.
Existing terrace above garage:	480 Sq. Ft.

Proposed Floor Area:

Main Floor (existing)	1,684 Sq. Ft.
fireplace/chimney (removed)	-3 Sq. Ft.
proposed addition	+220 Sq. Ft.
Total:	1,901 Sq. Ft.
Total with Garage:	2,381 Sq. Ft.
Covered Entry Porch:	20 Sq. Ft.
New wood deck at living room:	432 Sq. Ft.
New wood deck at outdoor shower:	26 Sq. Ft.
Total:	458 Sq. Ft.

Area of proposed decks greater than 30" above grade:	251 Sq. Ft.
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Existing Lot Area:	10,598 Sq. Ft.
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Lot Coverage: 30% of lot size

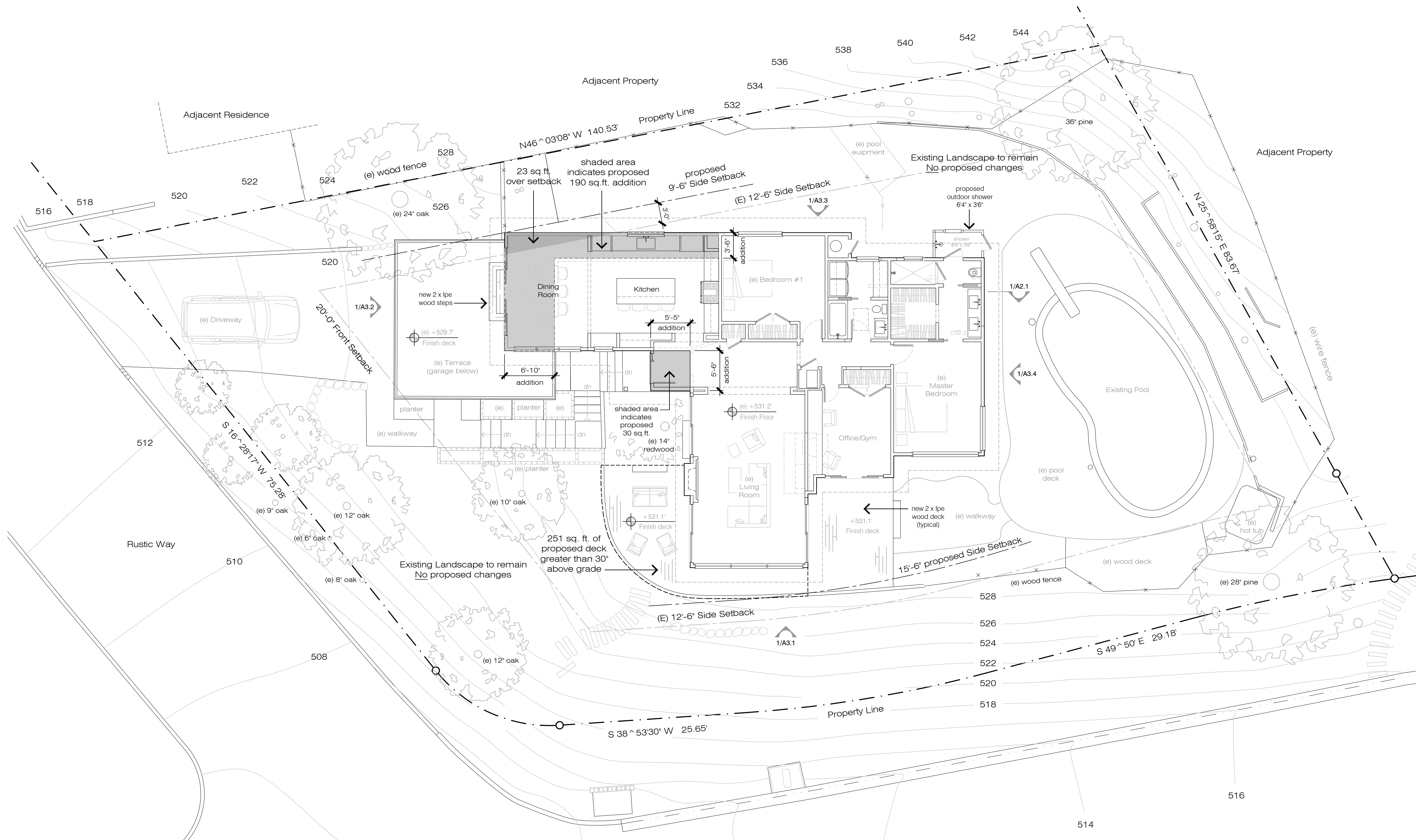
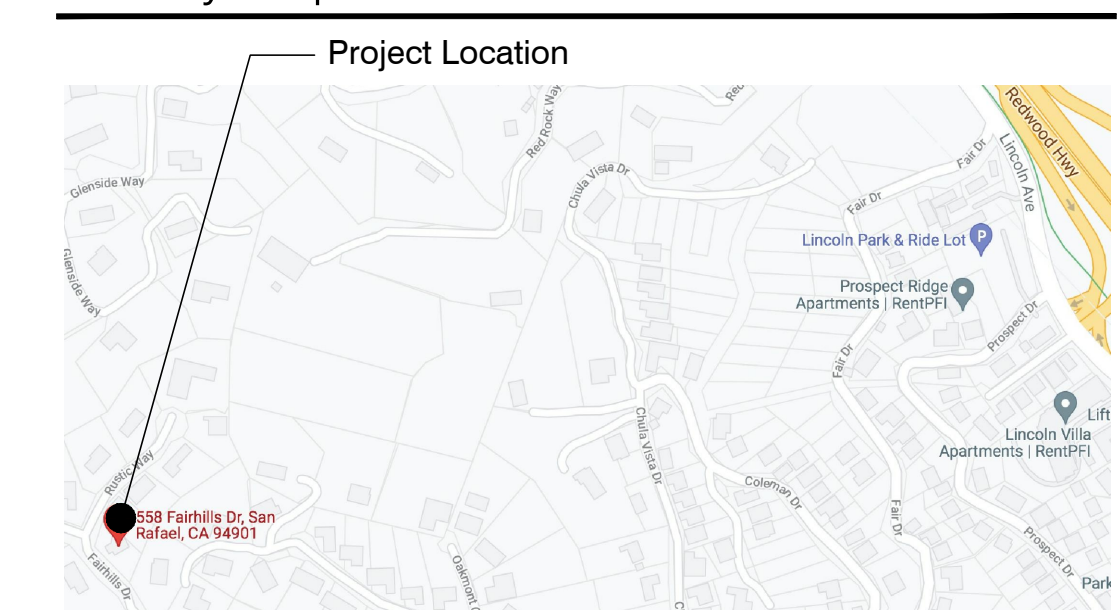
30% x 10,598 sq. ft. = 3,179 sq. ft. allowed
2,256 sq. ft. existing
2,632 sq. ft. proposed

Gross Building Square Footage:

2,500 sq. ft. + 10% of lot (1,060 sq. ft.) = 3,560 sq. ft. allowed
2,164 sq. ft. existing
2,381 sq. ft. proposed

On Site parking: NO Proposed Changes - 2 existing (1 covered)

Vicinity Map:



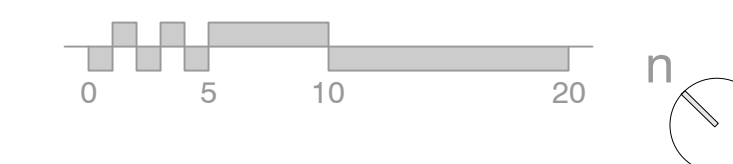
Natural State

25% + average slope 27.25% = 52.2% of property required to remain in its natural state

Existing house, garage, porch, driveway, walkways, steps, pool, pool decks,
Proposed addition and decks = 5,065 sq. ft.

Total lot area: 10,598 sq. ft. - 5,065 sq. ft. = 5,533 sq. ft.

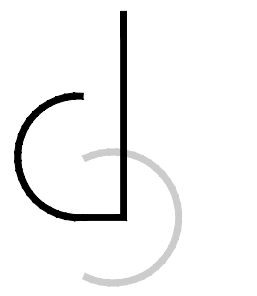
Natural State Required: 52.2% = 5,532 sq. ft.
Natural State Proposed: 52.2% = 5,533 sq. ft.



Proposed Site Plan

1

1/8" = 1'-0"



darin stroop
1472 Filbert Street 604
San Francisco California 94109
415-441-1436

Peterson Residence

558 Fairhills Drive,
San Anselmo, California
94901

APN: 010-101-01

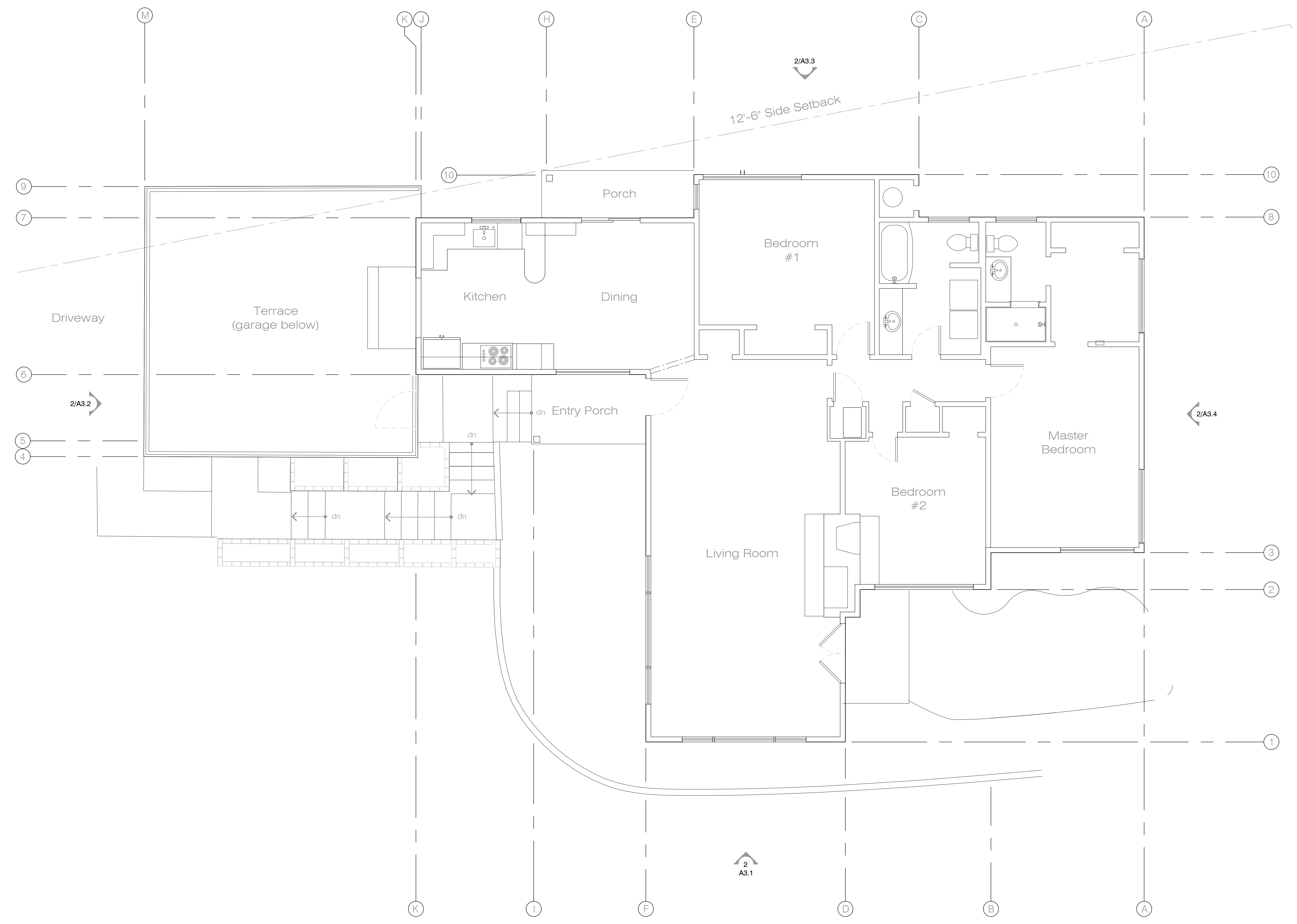
Cover Sheet Site Plan

DRAWN BY: D

DATE: Nov. 15 2021
ISSUE: DESIGN REVIEW

A0.1

Design Review Submittal - November 15, 2021



Peterson Residence

558 Fairhills Drive,
San Anselmo, California
94901

APN: 010-101-01

Existing Floor Plan

DRAWN BY: D
 DATE: Nov. 15 2021
 ISSUE: DESIGN REVIEW

Design Review Submittal - November 15, 2021

Existing Floor Plan 1

1/4" = 1'-0"

Peterson Residence

558 Fairhills Drive,
San Anselmo, California
94901

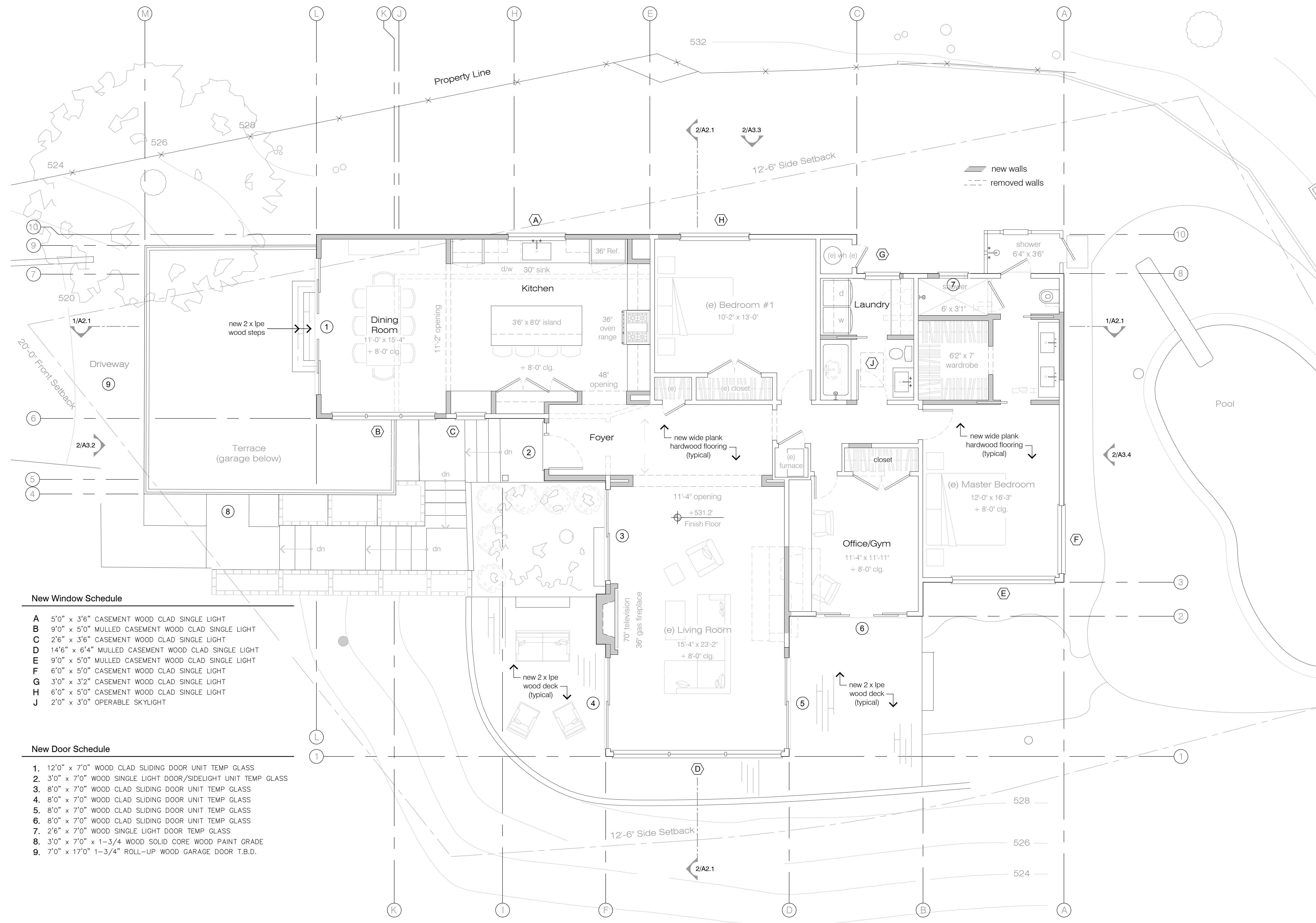
APN: 010-101-01

Proposed
Floor Plan

DRAWN BY: D
 DATE: Nov. 15 2021
 ISSUE: DESIGN REVIEW

Design Review Submittal - November 15, 2021

A1.2



New Window Schedule

- A 5'0" x 3'6" CASEMENT WOOD CLAD SINGLE LIGHT
- B 9'0" x 5'0" MULLED CASEMENT WOOD CLAD SINGLE LIGHT
- C 2'6" x 3'6" CASEMENT WOOD CLAD SINGLE LIGHT
- D 14'6" x 6'4" MULLED CASEMENT WOOD CLAD SINGLE LIGHT
- E 9'0" x 5'0" MULLED CASEMENT WOOD CLAD SINGLE LIGHT
- F 6'0" x 5'0" CASEMENT WOOD CLAD SINGLE LIGHT
- G 3'0" x 3'2" CASEMENT WOOD CLAD SINGLE LIGHT
- H 6'0" x 5'0" CASEMENT WOOD CLAD SINGLE LIGHT
- J 2'0" x 3'0" OPERABLE SKYLIGHT

New Door Schedule

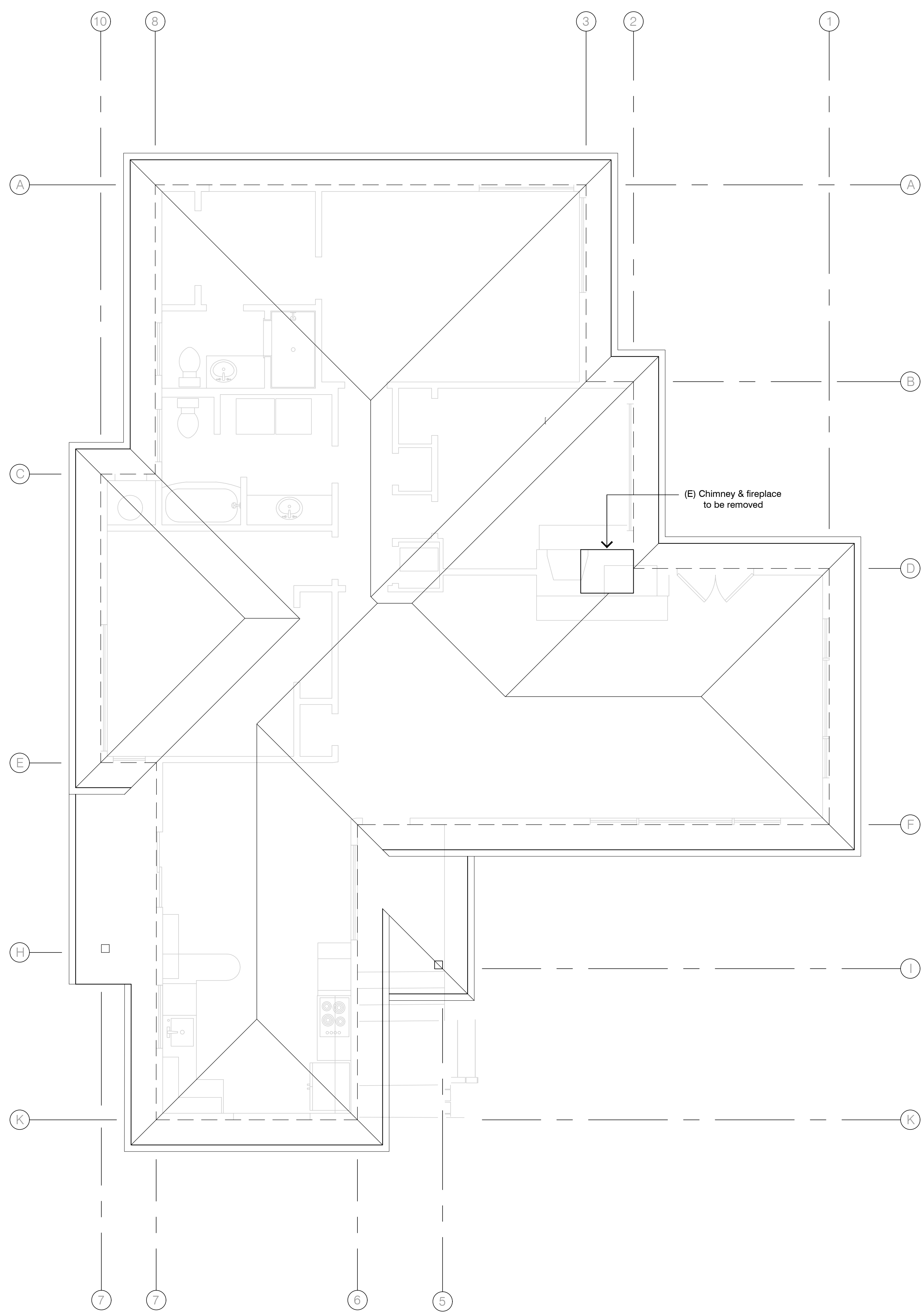
- 1. 12'0" x 7'0" WOOD CLAD SLIDING DOOR UNIT TEMP GLASS
- 2. 3'0" x 7'0" WOOD SINGLE LIGHT DOOR/SIDELIGHT UNIT TEMP GLASS
- 3. 8'0" x 7'0" WOOD CLAD SLIDING DOOR UNIT TEMP GLASS
- 4. 8'0" x 7'0" WOOD CLAD SLIDING DOOR UNIT TEMP GLASS
- 5. 8'0" x 7'0" WOOD CLAD SLIDING DOOR UNIT TEMP GLASS
- 6. 8'0" x 7'0" WOOD CLAD SLIDING DOOR UNIT TEMP GLASS
- 7. 2'6" x 7'0" WOOD SINGLE LIGHT DOOR TEMP GLASS
- 8. 3'0" x 7'0" x 1-3/4" WOOD SOLID CORE WOOD PAINT GRADE
- 9. 7'0" x 17'0" 1-3/4" ROLL-UP WOOD GARAGE DOOR T.B.D.

Proposed Floor Plan

1/4" = 1'-0"

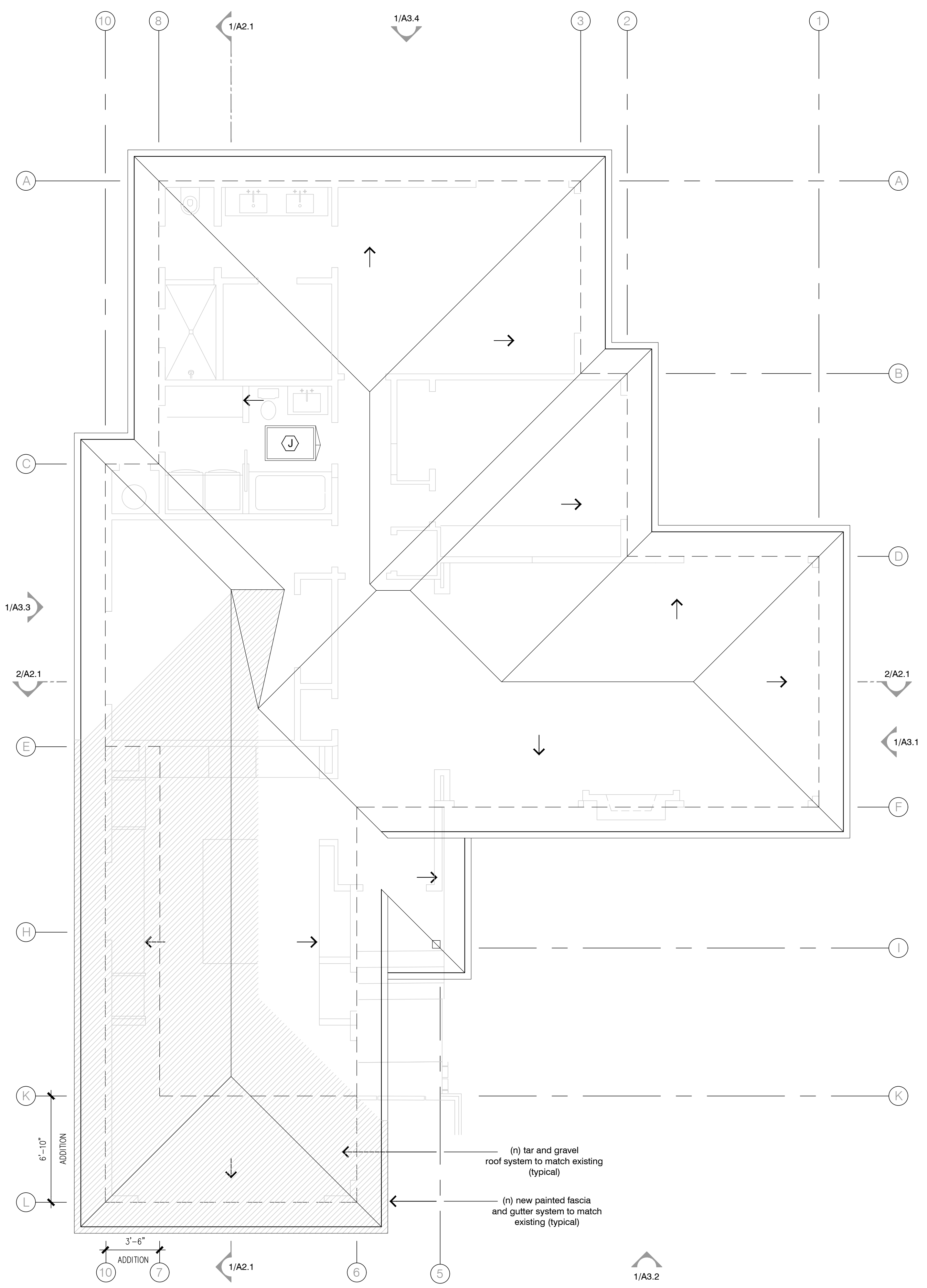


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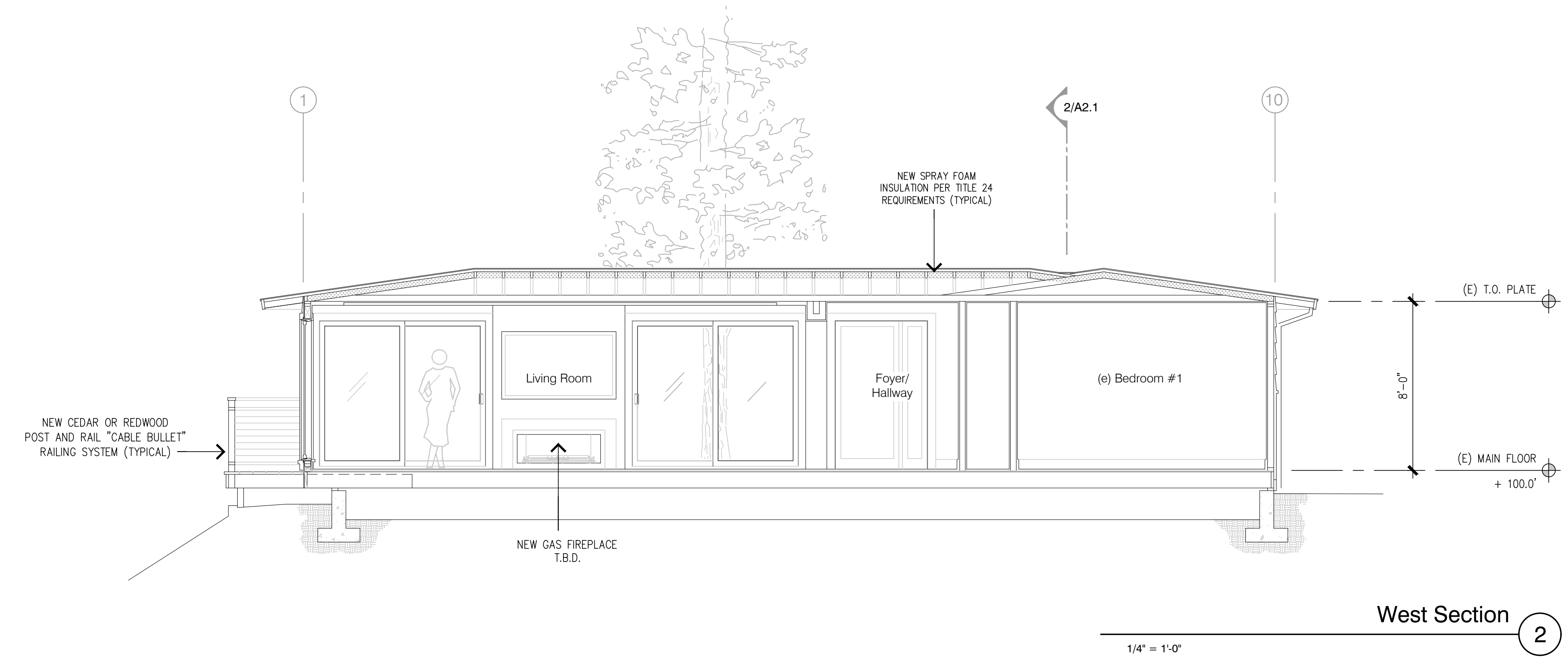
Existing Roof Plan 2

1/4" = 1'-0"



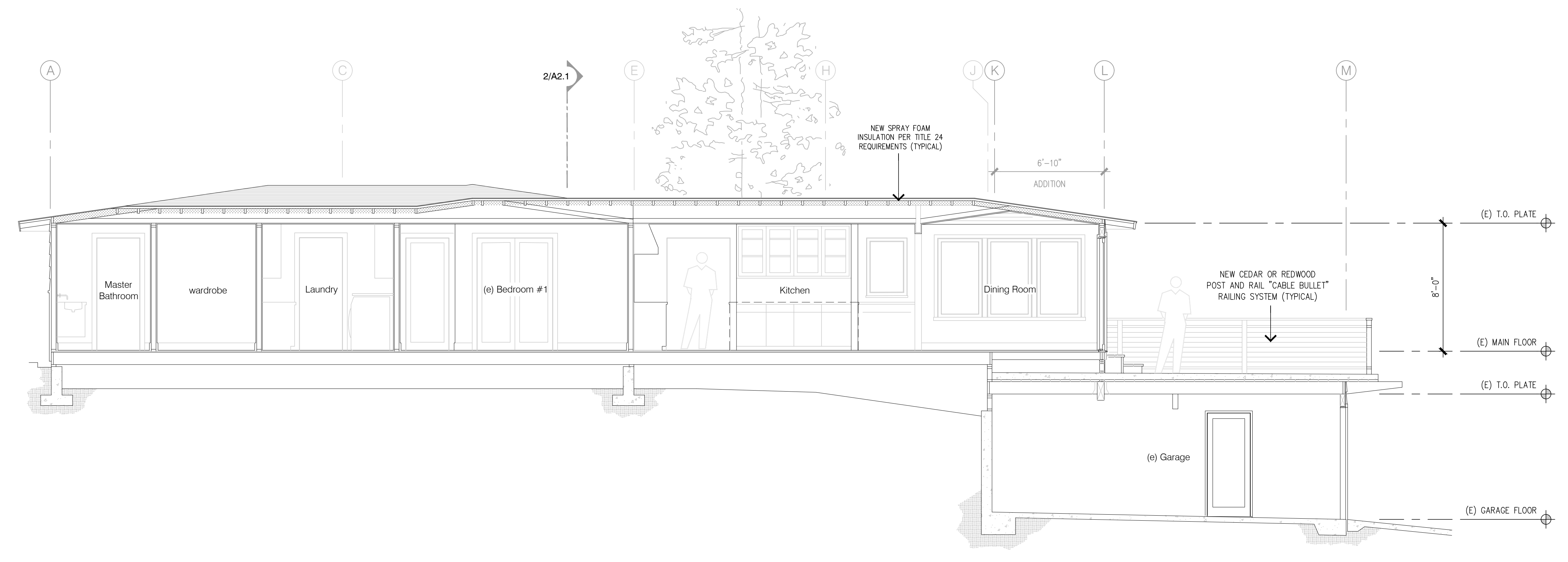
Proposed Roof Plan 1

1/4" = 1'-0"



West Section 2

1/4" = 1'-0"



South Section 1

1/4" = 1'-0"

Peterson Residence

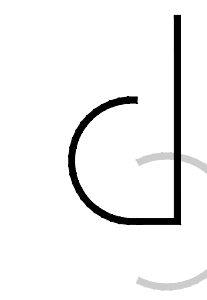
558 Fairhills Drive,
San Anselmo, California
94901

APN: 010-101-01

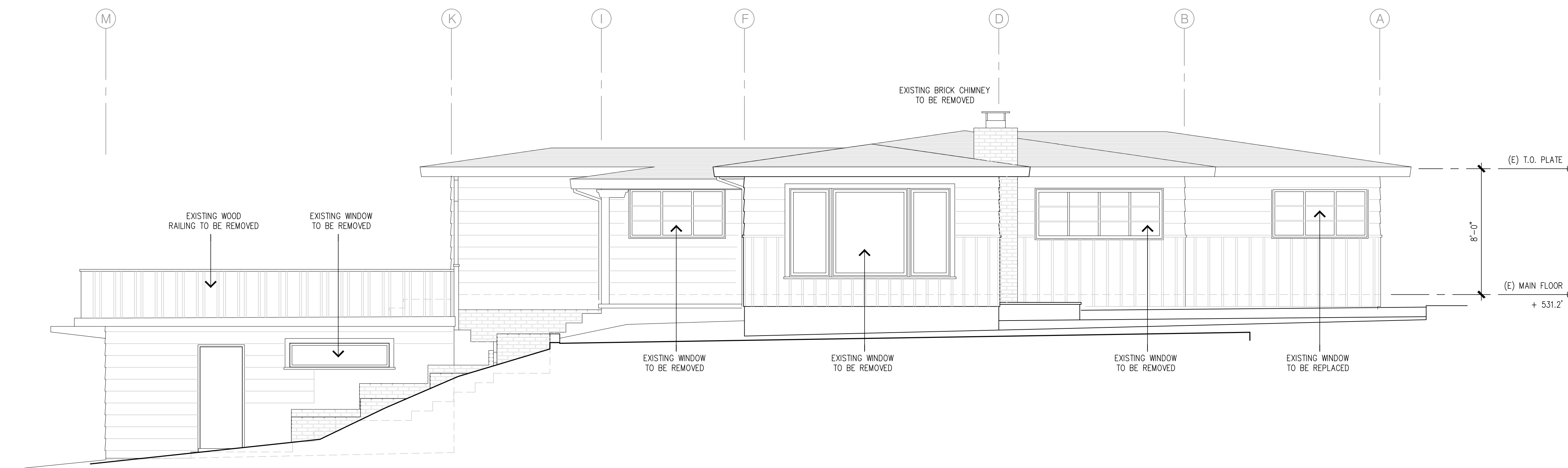
Sections

DRAWN BY: D
 DATE: Nov. 15 2021
 ISSUE: DESIGN REVIEW

Design Review Submittal - November 15, 2021

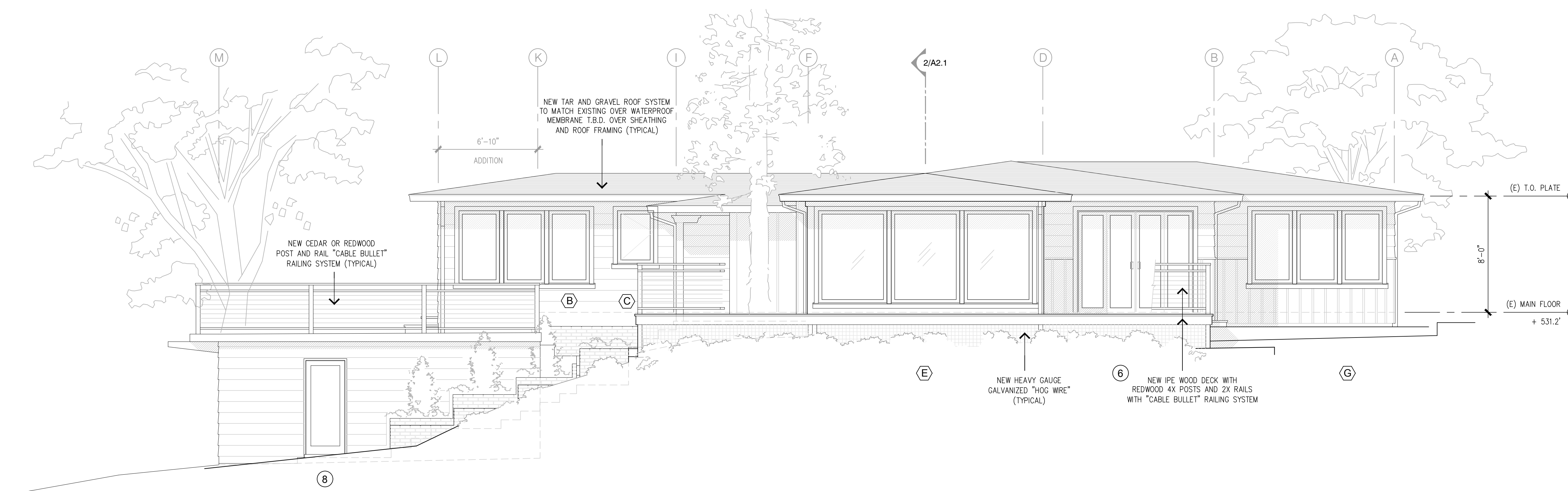


darin stroop
 1472 Filbert Street 604
 San Francisco California 94109
 415-441-1436



Existing South Elevation 2

1/4" = 1'-0"



Proposed South Elevation 1

1/4" = 1'-0"

Peterson
 Residence

558 Fairhills Drive,
 San Anselmo, California
 94901

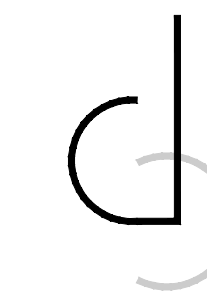
APN: 010-101-01

South
 Exterior
 Elevations

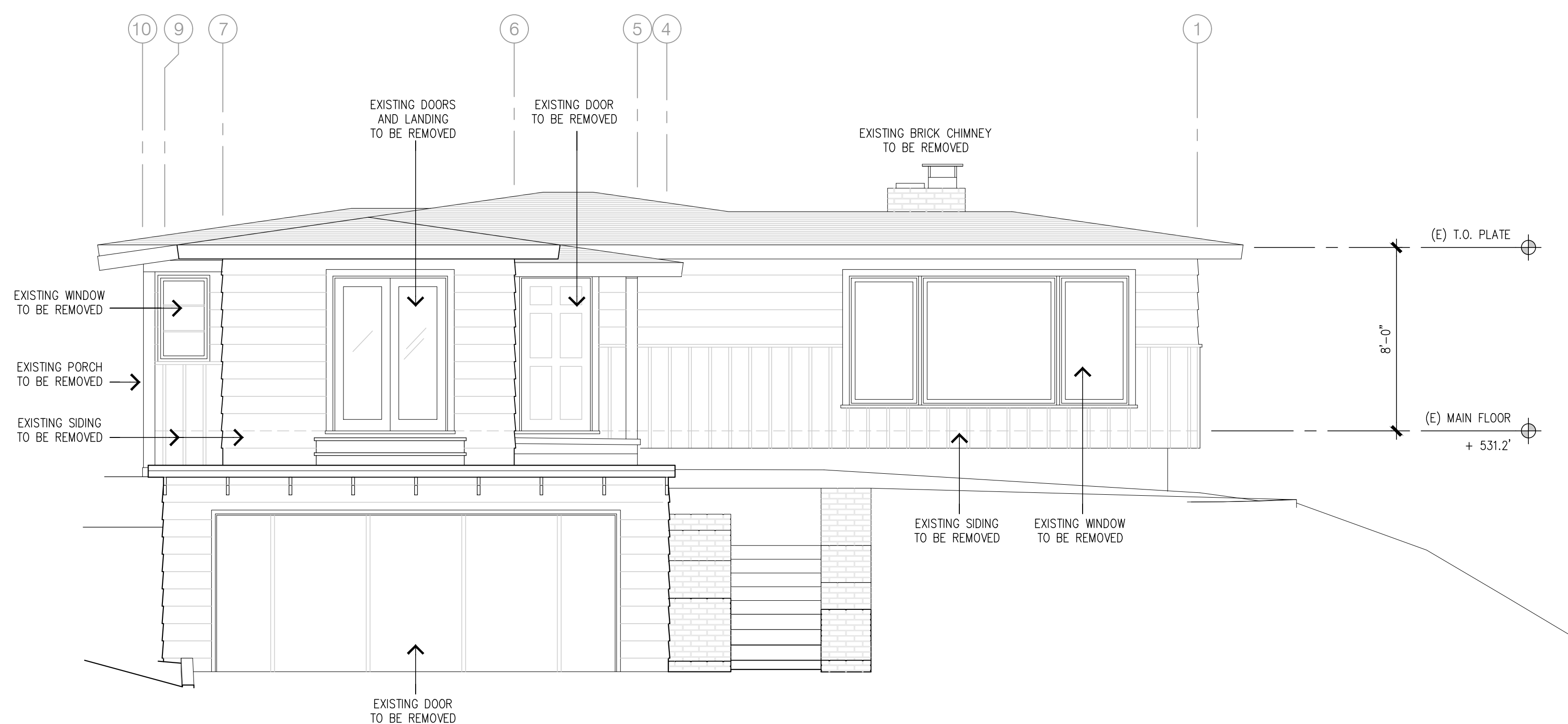
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 DATE: Nov. 15 2021
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Design Review Submittal - November 15, 2021

A3.1

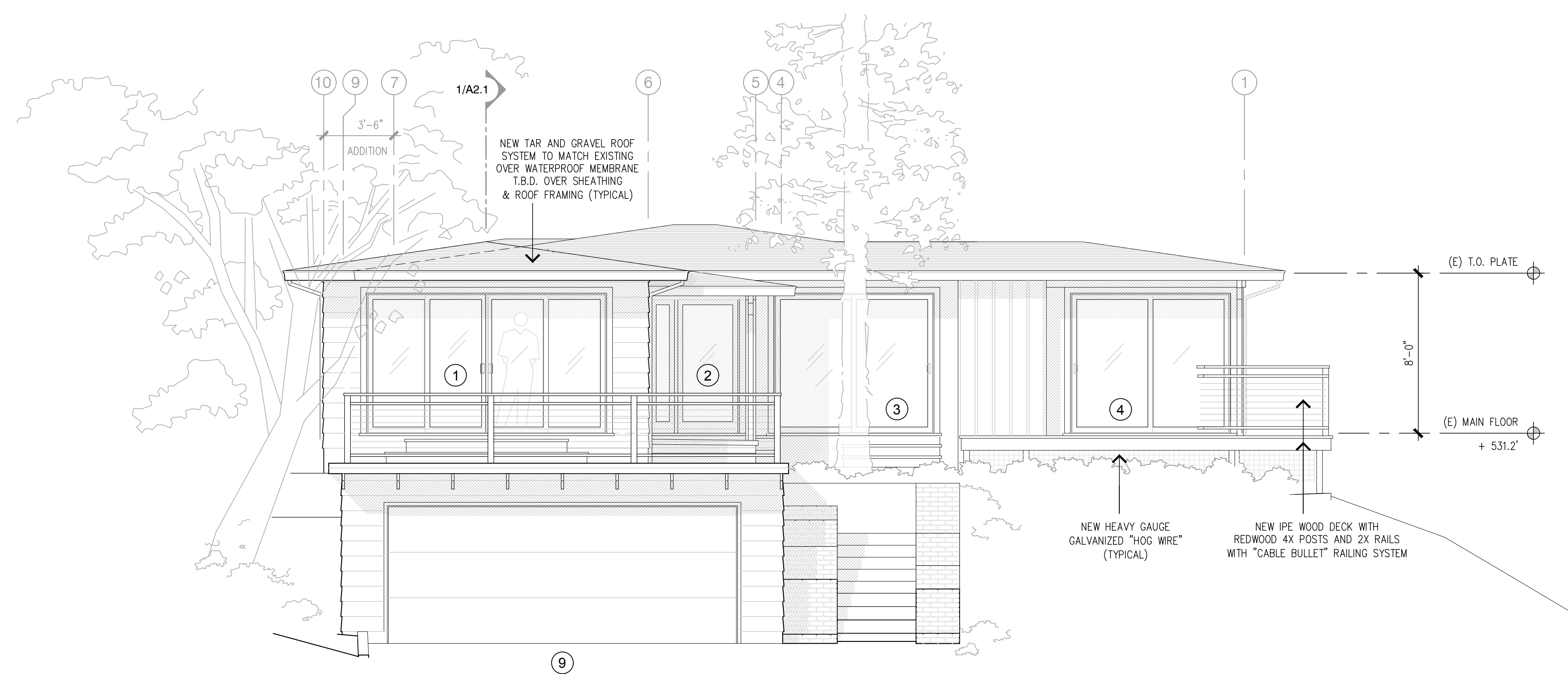


darin stroop
 1472 Filbert Street 604
 San Francisco California 94109
 415-441-1436



Existing West Elevation 2

1/4" = 1'-0"



Proposed West Elevation 1

1/4" = 1'-0"

Peterson
 Residence

558 Fairhills Drive,
 San Anselmo, California
 94901

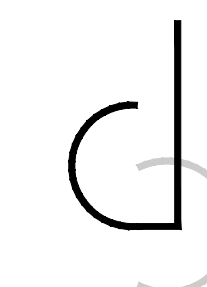
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West
 Exterior
 Elevations

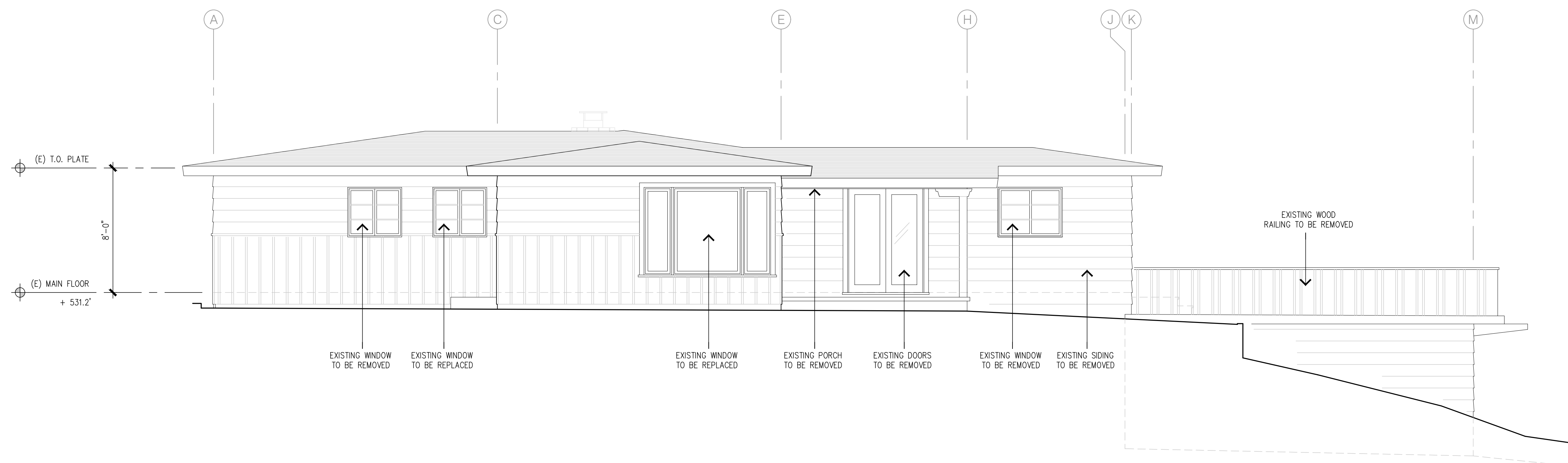
DRAWN BY: D
 DATE: Nov. 15 2021
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Design Review Submittal - November 15, 2021

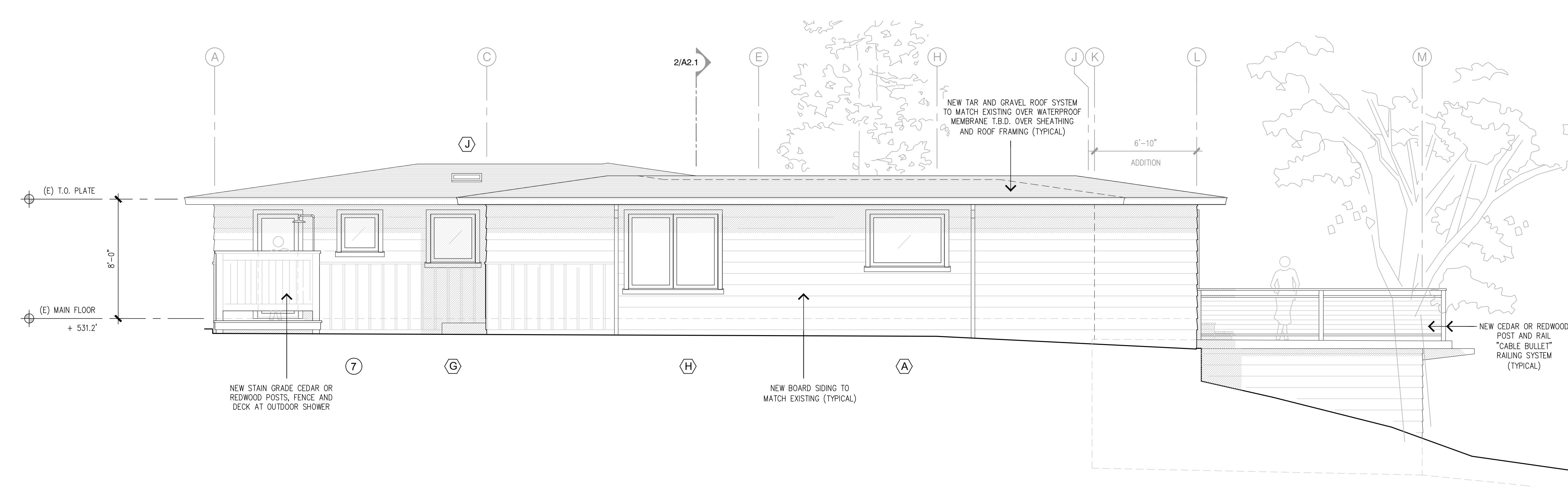
A3.2



darin stroop
 1472 Filbert Street, 604
 San Francisco California 94109
 415-441-1436



Existing North Elevation 2
 1/4" = 1'-0"



Proposed North Elevation 1
 1/4" = 1'-0"

Peterson Residence

558 Fairhills Drive,
 San Anselmo, California
 94901

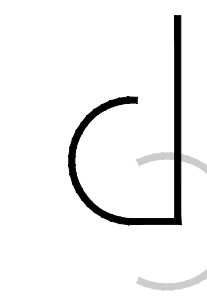
APN: 010-101-01

North Exterior Elevations

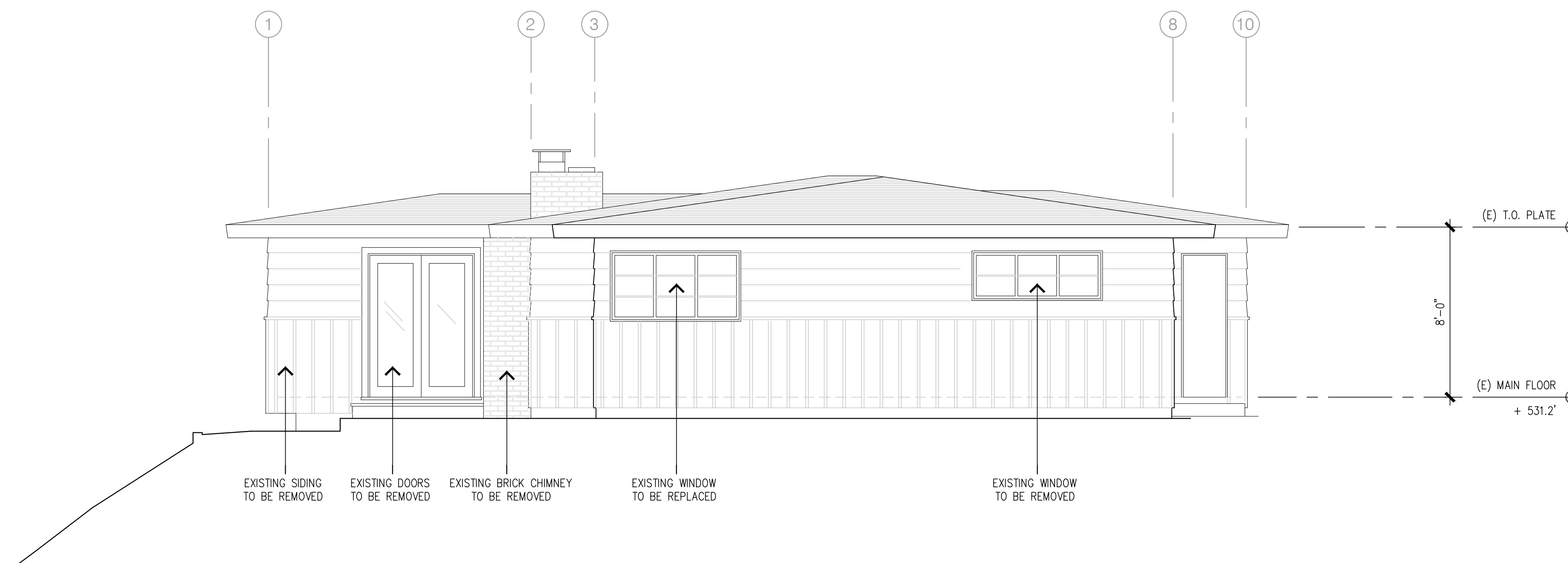
DRAWN BY: D
 DATE: Nov. 15 2021
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Design Review Submittal - November 15, 2021

A3.3

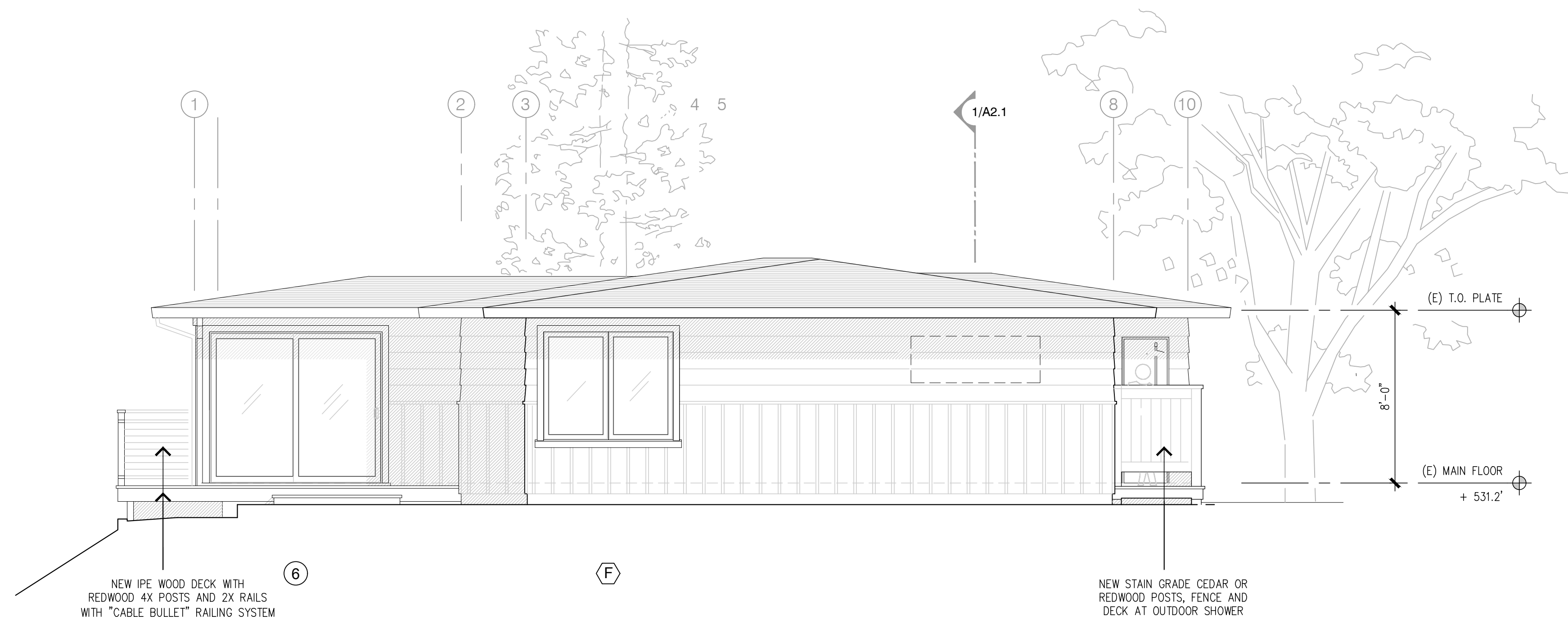


darin stroop
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 San Francisco California 94109
 415-441-1436



Existing East Elevation 2

1/4" = 1'-0"



Proposed East Elevation 1

1/4" = 1'-0"

Peterson
 Residence

558 Fairhills Drive,
 San Anselmo, California
 94901

APN: 010-101-01

East
 Exterior
 Elevations

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Nov. 15 2021 DESIGN REVIEW

Nov. 15 2021 DESIGN REVIEW

Nov. 15 2021 DESIGN REVIEW

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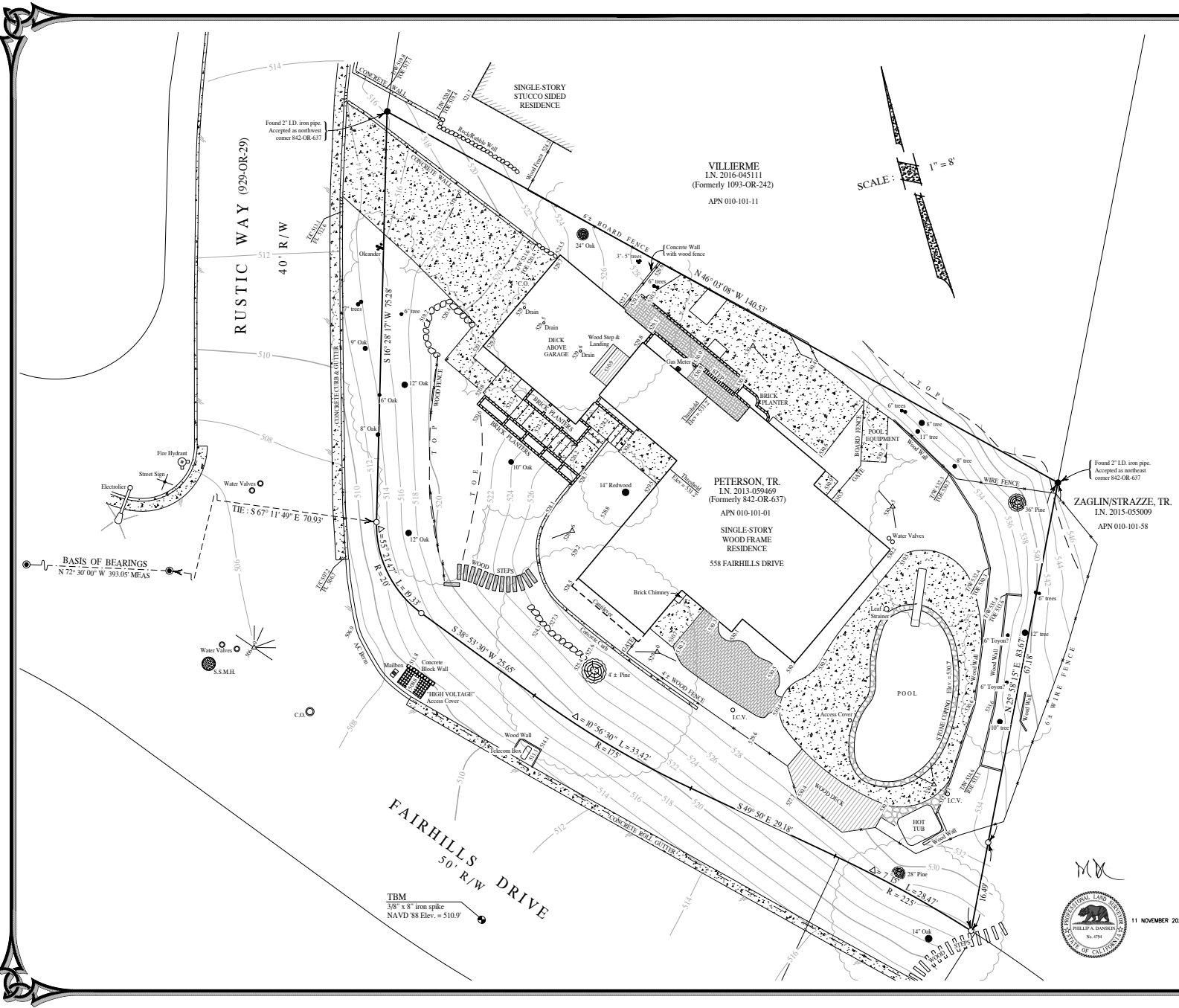
Nov. 15 2021 DESIGN REVIEW

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Nov. 15 2021 DESIGN REVIEW

Design Review Submittal - November 15, 2021

A3.4



NOTES

- 1) All distances and elevations shown are in feet and decimals thereof.
- 2) Datum for this survey is NAVD 88 based upon an OPUS solution of GPS observations (5.4 hours on October 29, 2020). Temporary Bench Mark (TBM) is set 3/8" iron spike having an NAVD 88 elevation of 510.9', as shown.
- 3) Contour interval is 2 feet. Dashed contours are approximate.
- 4) Only trees having a diameter of 6" or larger delineated, save those employed for elevation purposes.
- 5) Eaves, down spouts, irrigation etc. not in scope of services.
- 6) Boundary lines shown are per field survey performed by this firm. Record of Survey pending. Easements, recorded or otherwise, may exist and are not in scope of services.
- 7) This plat has been prepared at a scale of 1" = 8' (1/96), with field procedures/accuracies conforming with such scale. Use of this plat at any other scale may not meet national mapping standards. Therefore, this firm accepts no liability and/or responsibility as to the accuracy of this plat, or any part thereof, should it be enlarged.
- 8) Although this plat has been formatted in AutoCAD (.DWG), it is for the convenience of the design professionals. This firm's "Work Product" is this plat prepared to a scale of 1" = 8' on bond media. This is not a valid survey without the surveyor's original signature and embossed raised seal.
- 9) For value received, I, Phillip A. Danskin, have prepared this plat for the exclusive use of Jake & Bridget Peterson and/or their legal representative. Use or reliance on this plat by any party other than Jake & Bridget Peterson, or their legal representative is forbidden without permission in writing from Phillip A. Danskin, whose seal and signature are shown herein.
- 10) Copyright 2020 - Phillip A. Danskin.

LEGEND

- Denotes found standard street monument with 3/4" iron pipe and tag, unreducible, found per 2003-M-317
- Denotes set 3/4" LD, galvanized iron pipe with plastic plug DANSKIN PLS.4794
- Denotes found monument as noted
- Denotes random survey control point with corresponding elevation
- Denotes spot elevation
- C.O. Denotes clean-out
- FL Denotes flow-line
- I.C.V. Denotes irrigation control valve
- T.C. Denotes top of curb
- S.S.M.H. Denotes sanitary sewer access cover
- Denotes fence, as noted
- Denotes stone wall
- Denotes concrete
- - - - Denotes approximate drip-line

TOPOGRAPHIC MAP

OF LANDS CONVEYED TO
 JAKE A. & BRIDGET G. PETERSON
 TRUSTEES OF THE
 PETERSON FAMILY TRUST
 AS DESCRIBED IN
 OFFICIAL RECORDS INSTRUMENT No. 2013-059469
 MARIN COUNTY RECORDS
 CITY OF SAN RAFAEL

MARIN COUNTY CALIFORNIA
 NOVEMBER 2020 SURVEY No. 1151

PREPARED BY
PHILLIP A. DANSKIN & ASSOCIATES
 LAND SURVEYOR
 SONOMA, CALIFORNIA
 (707) 938-2520



11 NOVEMBER 2020

BASIS OF BEARINGS
 N 72° 30' 00" W 393.05' MEAS

TBM
 3/8" x 8" iron spike
 NAVD 88 Elev. = 510.9'

SCALE: 1" = 8'

VILLIERME
 LN. 2016-045111
 (Formerly 1093-OR-242)
 APN 010-101-11

PETERSON TR.
 LN. 2013-059469
 (Formerly 842-OR-637)
 APN 010-101-01
 SINGLE-STORY
 WOOD FRAME
 RESIDENCE
 558 FAIRHILLS DRIVE

ZAGLIN/STRAZZE TR.
 LN. 2015-055009
 APN 010-101-58



REPORT TO DESIGN REVIEW BOARD

SUBJECT: 300 Smith Ranch Rd. (Las Gallinas Valley Sanitation District) – Conceptual Design Review of a proposal to construct a new three-story, approx. 15,000 sq. ft. Operations Control Center (OCC) for Las Gallinas Valley Sanitation District (LGVSD) including operations control for the wastewater treatment plant, a laboratory, administrative offices, conference rooms, and multi-function classrooms for public use. The proposal also includes the creation of a new Corporation Yard with the construction of a new one-story, 3,000 sq. ft., carport maintenance building providing a secured surface parking lot for LGVSD vehicles. The new OCC would replace an existing Administration Building and the new Corporation Yard would replace an existing carport structure; APNS: 155-121-20, -27 & -29; Public/Quasi-Public (P/QP) District Zone; Michael P. Cortez, Applicant; Las Gallinas Valley Sanitation District, Owner

PROPERTY FACTS

	General Plan Designation	Zoning Designation	Existing Land-Use
Project Site:	P/QP	P/QP	LGVSD Facilities
North:	Unincorporated Marin County	A2	Silveira Ranch
South:	Parks, Rec. & Open Space	POS-WO	Open Space/McInnis Park
East:	Parks, Rec. & Open Space	POS-WO	Open Space
West:	Parks, Rec. & Open Space	POS-WO	Open Space/McInnis Park
Landscaping (Min.)		Floor Area Ratio (Max.)	
Required: 10% (38,608.4 sq. ft.)		Allowed: 1.0 FAR (386,083.6 sq. ft.)	
Proposed: Unknown		Proposed: Unknown	
Height *		Parking	
Allowed: 36'		Required: Parking Study Required	
Proposed: 39' (Proposed OCC Building)		Proposed: 29 Spaces (Existing)	

* Building height is measured from an established exterior finished grade elevation to top of roof deck of a flat roof building.

SUMMARY

The project is being referred to the Design Review Board (Board) for conceptual design review of a submittal proposing to construct a new, three-story, approx. 15,000 sq. ft. Operations Control Center (OCC) for Las Gallinas Valley Sanitation District (LGVSD) which includes an operations control area for the treatment plant, a laboratory area, administrative offices, conference rooms, and multi-function classrooms for public use. The new OCC would replace an existing 3,600 sq. ft. two-story Administration Building. Landscape improvements are proposed between the surface parking area and Smith Ranch Rd. and around the new OCC. The proposal also includes the creation of a new Corporation Yard with the removal of an existing 2,160 sq. ft. Laboratory Building and the construction of a new one-story, 3,000 sq. ft., Carport/Maintenance Building; however, the conceptual review

provides no specific details on this portion of the project and the Board's review is limited to the proposed new OCC Building.

When the project is submitted as a formal application, it will require the following approvals by the Planning Commission, with the recommendation(s) of the Design Review Board (Board):

- An Environmental and Design Review Permit, for the new OCC Building

Staff is seeking the Board's input on the proposed OCC Building and associated landscape improvements only. While the conceptual project also proposes to replace an existing 2,160 sq. ft., single-story Laboratory Building with a new 3,000 sq. ft. Carport/Maintenance Building, the submittal provides no specific details other than the location (see Sh. A0.0 Site Plan and Sh. L1.0 Planting Plan).

Staff requests that the Board provide recommendation(s) on the following specific concerns:

Architecture

- Whether the proposed contemporary architecture, with its predominant design features of primarily glass exteriors, is appropriate given its potential reflective properties.
- Whether the proposed four-story scale of the project appropriately relates to the current one-and two-story scale of existing development on the project site.
- Whether the proposed contemporary architecture, characterized by glass exterior elevations and butterfly roof forms, adequately relates to the more utility design of the existing corrugated metal and stucco plaster structures and buildings on the project site.

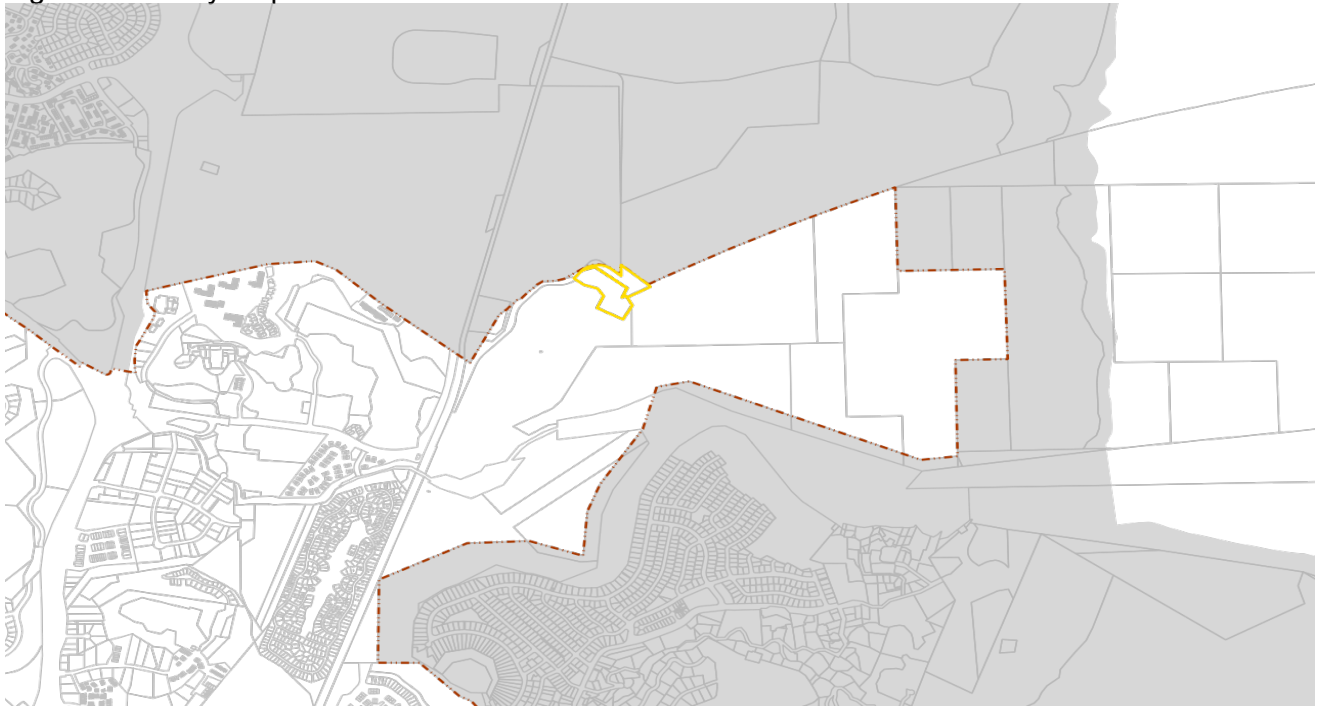
BACKGROUND

Site Description & Setting:

The LGVSD facility is comprised of seven (7) separate parcels, most (five parcels) of which are located within unincorporated County of Marin. The project site is proposed on both parcels located within the City of San Rafael. These two parcels are approximately 386,084 sq. ft. in combined area and are located at the end of Smith Ranch Road. The project site has a slight grade change (3-5% average cross-slope; northwest-to-southeast trending) and is currently developed with a few relatively small (up to 3,600 sq. ft.) single-story facilities buildings scattered among the wastewater treatment plant.

Silveira Ranch is located immediately north of the project site, while Marin County open space is located immediately east, west and south of the project site.

Figure 1: Vicinity Map



PROJECT DESCRIPTION

Use:

The project proposes to replace an existing, two-story 3,600 sq. ft., single-story Administration Building with a new 15,000 sq. ft., four-story OCC Building. The project also proposes to replace an existing 2,160 sq. ft., single-story Laboratory Building with a new 3,000 sq. ft. Carport/Maintenance Building. The project further proposes to remove an existing 3,000 sq. ft. carport structure over the existing surface parking lot.

Site Plan:

Proposed changes to the existing site plan for the LGVSD facility are currently limited to providing a new fire access gate and 'hammerhead' turnaround.

Architecture:

The project proposes a new four-story OCC Building of contemporary architecture with predominant design features including a glass exterior elevations and butterfly roof forms.

Floor Plans:

The project floor plans propose operations control, laboratory, conference room, individual offices, restrooms and lockers, board room, education center and classroom areas.

Parking:

The project proposes to convert a portion of covered parking to uncovered parking in the surface parking lot by removing an existing 3,000 sq. ft. carport structure. The number of parking spaces (29) would remain unchanged.

Landscaping:

The project generally proposes landscape improvements between the surface parking area and Smith Ranch Road, and around the new OCC Building. The conceptual project submittal provides few specific

details other than “landscape planting, inspired by local native landscape of oak trees, grasses and native low-maintenance plantings; display for recycled water and drought-resistant plantings”.

Grading:

The conceptual submittal does not provide preliminary grading calculations or civil drawings.

ANALYSIS

Conceptual project review focuses on conceptual design approach and gives the Board and the applicant an opportunity to work collectively to achieve a quality design. Staff requests the Board provide broad comments on the general design approach presented for the new OCC Building and associated planting improvements, and the specific concerns listed below.

General Plan 2040 Consistency:

The General Plan land use designation for the project site is Public/Quasi Public (P/QP). The P/QP land use designation applies to public schools, libraries, post offices, churches, public hospitals, and institutional facilities such as Dominican University and Marin Academy. It also is applied to major utility properties and public facilities.

The project would be consistent with the following more general design-related General Plan Policies:

- **Land Use Element Policy LU-1.10** (Intensity of Non-Residential Development). The maximum allowable FAR on the project site is 1.0 FAR or approx. 386,083.6 sq. ft. Both the existing FAR on the site and the proposed project would comply with the FAR limits.
- **Community Design and Preservation Element Policy CDP-1.2** (Natural Features). The new OCC Building is proposed to be built into the existing hillside topography, preserving more of the natural features on the project site.
- **CDP-1.5** (Views). Similar to CDP-1.2, the proposed location of the new OCC Building would preserve existing public views, since it would be built into the existing hillside topography and the proposed height of the OCC Building would not exceed that of the background hillside.
- **CDP-4.2** (Public Involvement in Design Review). Public involvement in the design review process includes this conceptual project review by the Board, which complies with all noticing requirements of SRMC Chapter 29.
- **CDP-4.3** (Creative Architecture and Design). The proposed design of the new OCC Building is contemporary architecture with predominant design features that include glass exterior elevations and butterfly roof forms.

The conceptual project submittal would not be consistent with the following General Plan Policies:

- **LU-1.17** (Building Height). The proposed building height of the new OCC Building appears to be 39' while the maximum allowable building height is 36'. Upon formal project submittal, the project will be required to meet the maximum building height limits.

The conceptual project submittal does not provide adequate details to determine consistency with the following General Plan Policies:

- **CDP-4.10** (Landscaping). While the conceptual project submittal proposes landscape improvements between the surface parking area and Smith Ranch Rd., and around the new OCC Building, detailed landscape plans will be required at formal project submittal.

- **CDP-4.11** (Lighting). While exterior site and building lighting currently exists throughout the project site, comprehensive lighting plans with photometric study will be required to demonstrate compliance with the City’s adopted lighting levels for building entrances/exits, pathways, parking areas and property lines.

Zoning Ordinance Consistency:

Chapter 9 – Public/Quasi-Public (P/QP) District

The project site is located within the Public/Quasi-Public (P/QP) District. The proposed project will require consistency with the applicable property development standards for the P/QP District, including maximum building height (36’) and minimum landscaping (10%).

As conceptually designed, the project would not be consistent with the maximum building height; it appears the proposed building height is 39’ where a maximum of 36’ is allowed. No landscape details are provided other than showing landscape improvements proposed between the surface parking area and Smith Ranch Rd., and around the new OCC Building with a note that landscape plantings will be “inspired by local native landscape of oak trees, grasses and native low-maintenance plantings; display for recycled water and drought-resistant plantings”. The formal project application submittal will be required to update the landscape plans to provide details on the total square footage of landscaping required for the site, the total square footage of landscaping proposed and specific planting details (i.e., plant species, and number, container size and location of each new planting).

Chapter 16 – Site and Use Regulations

Light and Glare

Section 14.16.227 (*Light and Glare*) requires all building colors and materials and building and site lighting to be designed to avoid creating undue off-site light and glare impacts. Glossy finishes and reflective glass are discouraged; site and building lighting shall be shielded to conceal light sources from view off-site and avoid spillover onto adjacent properties. Lighting levels, generally, should meet the following minimum amount necessary to provide a sense of security:

- One (1) foot candle at ground level overlap should be provided in all exterior doorways and in all vehicle parking areas;
- Minimum one-half (1/2) foot candle at ground level overlap should be provided along all outdoor pedestrian walkways; and
- Less than one (1) foot candle at ground level overlap should be provided at all property lines.

The conceptual project proposes a new four-story OCC Building of contemporary architecture with predominant design features of primarily glass exterior elevations and butterfly roof forms. No details are provided in the conceptual submittal on the reflectivity of the proposed glass exterior.

Staff requests the Board’s comments on the following:

- Whether the proposed contemporary architecture, with its predominant design features of primarily glass exteriors, is appropriate given its potential reflective properties.

As a condition of formal project approval, a photometric study shall be submitted for the project indicating that the project will comply with the lighting levels prescribed by the Zoning Ordinance.

Water-Efficient Landscape

Section 14.16.370 (*Water-Efficient Landscaping*) requires all new landscape and irrigation improvements to comply with Marin Municipal Water District’s (MMWD) most recent water-efficient landscape requirements. As a condition of formal project approval, landscape, irrigation and grading

plans shall be submitted to MMWD for review and approval prior to Building Permit or Grading Permit issuance.

Chapter 25 – Environmental and Design Review Permit

Pursuant to Section 14.25.040 (A) (1) (e) (*Improvements Subject to Review*) of the Zoning Ordinance, the project will require Environmental and Design Review Permit approval by the Planning Commission with the recommendation of the Board, in that; it proposes to construct a new public/quasi-public structure. The pertinent review criteria for Environmental and Design Review Permits, pursuant to Section 14.25.050 (*Review Criteria; Environmental and Design Review Permits*), are as follows:

- *Site Design. Proposed structures and site development should relate to the existing development in the vicinity. The development should have good vehicular and pedestrian circulation and access. Safe and convenient parking areas should be designed to provide easy access to building entrances. The traffic capacity of adjoining streets must be considered. Major views of the San Pablo Bay, wetlands, bay frontage, the Canal, Mt. Tamalpais and the hills should be preserved and enhanced from public streets and public vantage points. In addition, respect views of St. Raphael's Church up "A" Street.*
- *Architecture. The project architecture should be harmoniously integrated in relation to the architecture in the vicinity in terms of colors and materials, scale and building design. The design should be sensitive to and compatible with historic and architecturally significant buildings in the vicinity. Design elements and approaches which are encouraged include: a) creation of interest in the building elevation; b) pedestrian-oriented design in appropriate locations; c) energy-efficient design; d) provision of a sense of entry; e) variation in building placement and height; and f) equal attention to design given to all facades in sensitive location.*
- *Materials and colors. Exterior finishes should be consistent with the context of the surrounding area. Color selection shall coordinate with the predominant colors and values of the surrounding landscape and architecture. High-quality building materials are required. Natural materials and colors in the earth tone and wood tone range are generally preferred. Concrete surfaces should be colored, textured, sculptured, and/or patterned to serve design as well as a structural function.*
- *Walls, Fences and Screening. Walls, fences and screening shall be used to screen parking and loading areas, refuse collection areas and mechanical equipment from view. Screening of mechanical equipment shall be designed as an integrated architectural component of the building and the landscape. Utility meters and transformers shall be incorporated into the overall project design.*
- *Landscape Design. Landscaping shall be designed as an integral enhancement of the site and existing tree shall be preserved as much as possible. Water-conserving landscape design shall be required. A landscaped berm around the perimeter of parking areas is encouraged. Smaller scale, seasonal color street trees should be proposed along pedestrian-oriented streets while high-canopy, traffic-tolerant trees should be proposed for primary vehicular circulation streets.*

The review criteria for Environmental and Design Review Permits require that the proposed site and building design of all new development 'relate' to the predominant design or 'character-defining' design elements existing in the vicinity of the project.

Site Design

The LGVSD facility is located at the end of Smith Ranch Rd. and is surrounded by unimproved agricultural land (Silveira Ranch) to the north and west and primarily unimproved Marin County parks/open space to the south and east. The existing site design is primarily the wastewater treatment

infrastructure: covered digester and uncovered clarifier tanks, piping and a small network of private access roadways. The conceptual submittal proposes to construct the new OCC Building at the entrance to the project site, into the existing hillside topography, preserving more of the site for wastewater treatment infrastructure. No grading calculations are provided by the conceptual submittal though the height of the new OCC Building would not exceed that of the hillside backdrop. Staff supports the proposed site design of the project as it takes advantage of the natural features while preserving them; the project tucks the new OCC Building into the hillside while preserving it.

Architecture

The predominant design of the existing few structures and buildings on the project site is corrugated metal and stucco plaster with red tile roof trim. The project proposes a new four-story OCC Building of contemporary architecture with predominant design features including a glass exterior elevations and butterfly roof forms. The project proposes 'standalone' architecture intended to create a visual landmark on the LGVSD site where existing development design focuses more on utility than aesthetics. Staff finds the proposed architecture of the OCC Building meets all of the design elements and approaches which are encouraged, including: a) Creating interest in the building elevation; b) Being pedestrian-oriented design; c) Being an energy-efficient design; d) Providing a sense of entry; e) Providing variation in building placement and height; and f) Providing equal attention to design from all facades.

Staff requests the Board's comments on the following:

- Whether the proposed 4-story scale of the project is appropriate, given the current 1-and 2-story scale of existing development on the project site.
- Whether the proposed contemporary architecture, characterized by glass exterior elevations and butterfly roof forms, adequately relates to the more utility design of the existing corrugated metal and stucco plaster structures and buildings on the project site.

Colors and Materials

The conceptual plans do not include a Colors and Materials sheet. As stated previously, staff finds the proposed glass exterior elevations provided by the triangular-shaped, new OCC Building would not be consistent with the context of the existing structures and buildings on the project site, which is corrugated metal and stucco plaster with red tile roof trim. However, staff also finds the project proposes 'standalone' architecture on the LGVSD site where existing development design focuses more on utility than aesthetics.

Landscape Design

The project generally proposes landscape improvements between the surface parking area and Smith Ranch Rd., and around the new OCC Building. The conceptual project submittal does not provide specific details; however, the development standards for the site include a 10% landscape requirement or 38,608.4 sq. ft. of landscaping, based on approx. 386,083.6 sq. ft. in combined area within the project site.

NEIGHBORHOOD CORRESPONDENCE

Notice of hearing for the proposed project has been conducted in accordance with noticing requirements contained in Chapter 29 of the Zoning Ordinance. A Notice of Public Hearing was mailed to all property owners and occupants within a 300-foot radius of the project site and the project architect a minimum of 15 calendar days prior to the date of this Board meeting. Additionally, notice was posted on the project site, at the end of Smith Ranch Rd., a minimum of 15 calendar days prior to the date of the Board meeting. No public comments have been received on the proposed project.

CONCLUSION

This review is for a conceptual project with much of the details not provided. At the time of formal project submittal, staff will require the plans include the appropriate level of details to allow staff, the Board and the Planning Commission to adequately review the proposed project. Staff requests the Board provide direction on the proposed four-story scale of the OCC Building and the proposed contemporary architecture, which is characterized by glass exterior elevations and butterfly roof forms. Staff also requests the Board provide direction on additional plans, details and materials that the Board would like to see when the proposed project returns for formal review.

EXHIBITS

1. Conceptual Plans
(<https://documentcloud.adobe.com/link/review?uri=urn:aaid:scds:US:5e19f6b3-db56-4c94-8ffc-1b5af147aa5b>)

cc: Mike Cortez (email)
Irene Huang (email)
Fani Hansen (email)