



Note: Artist's Conception; Colors, Materials and Application May Vary.

## OUR TEAM

### Ashton 3

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### C&V Consulting, Inc.

Contact: David Terry  
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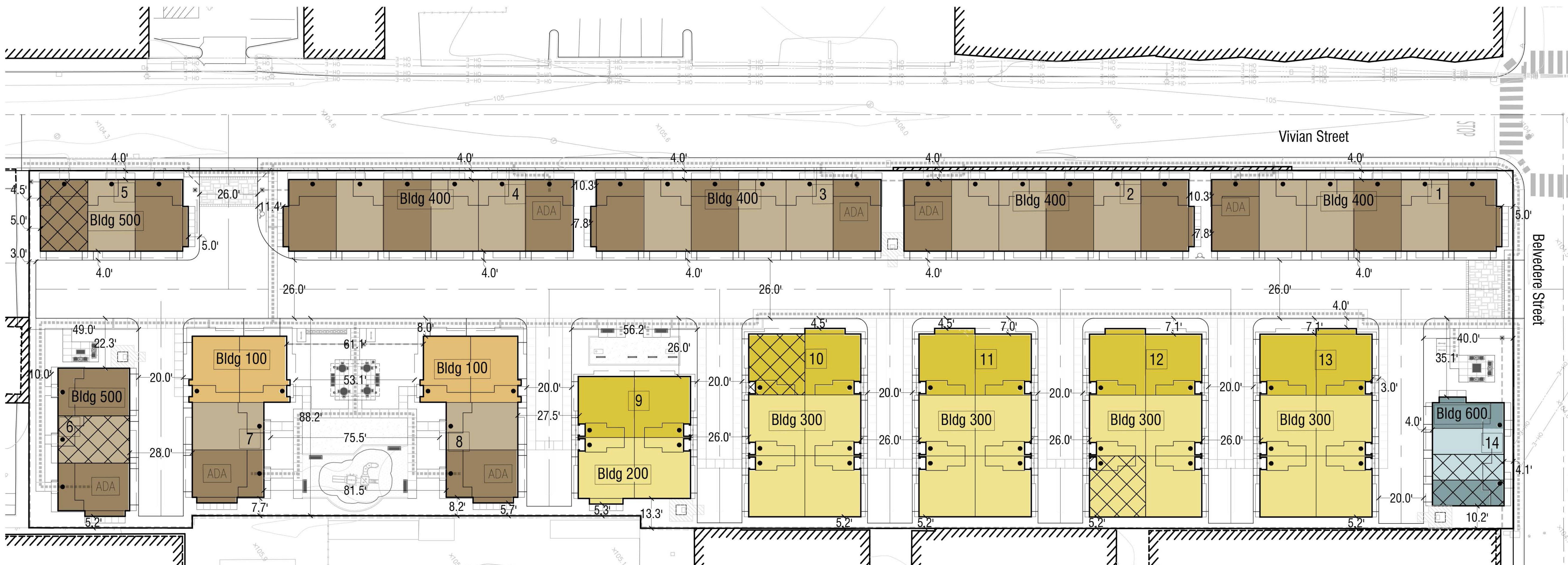
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**Project Summary**

Total Site Area: ± 2.41 Acres (± 104,897 SF)

Total Units: 70 Homes

- (18) Plan 1: ± 1,415 SF, 2 Bedroom, 2.5 Bath
- (10) Plan 2: ± 1,450 SF, 3 Bedroom, 2.5 Bath
- (4) Plan 3: ± 1,600 SF, 3 Bedroom, 2.5 Bath
- (16) Plan 4: ± 1,496 SF, 2 Bedroom, 2.5 Bath
- (18) Plan 5: ± 1,588 SF, 3 Bedroom, 2.5 Bath + ADA Bath
- (2) Plan 6: ± 670 SF, 1 Bedroom, 1 Bath
- (2) Plan 7: ± 850 SF, 1 Bedroom, 1 Bath, Office

Density: 29.04 Homes per Acre

**Affordable Units**

Low-income level units (6 units - Plan 1, Plan 2, Plan 4, Plan 5, Plan 6, Plan 7)

**Parking:**

- Required: 136 Spaces (1.94 spaces per home)
- (4) 1 Bedroom x 1.0 Spaces = 4 Spaces
  - (66) 2-3 Bedroom x 2.0 Spaces = 132 Spaces
  - Assumes parking standards based on affordable housing/state density bonus standards parking standards per San Rafael Municipal Code Section 14.16.030.H.3.a.i.
- Provided: 136 Spaces (1.94 spaces per home)
- Garage: 136 Spaces

**Useable Outdoor Area:**

- Required: NR
- Provided: 9,021 SF Common Amenity Spaces

**Landscape Area:**

- Required: 10% of site area
- Provided: 20.4% (± 21,444 SF)

**Lot Coverage:** 52,732 SF (50.3% of site)

**Zoning Summary**

Existing General Plan: Neighborhood Commercial  
Proposed General Plan: Neighborhood Commercial

Existing Zoning: NC - Neighborhood Commercial  
Proposed Zoning: NC - Neighborhood Commercial

Max. Density: 1 Home per 1,800 SF

Building Setbacks: Front Yard: NR  
Interior Side Yard: NR  
Street Side Yard: NR  
Rear Yard: NR

Max. Building Height: 36' / 30' for residential-only building

Max. Lot Coverage: NR

**Notes:**

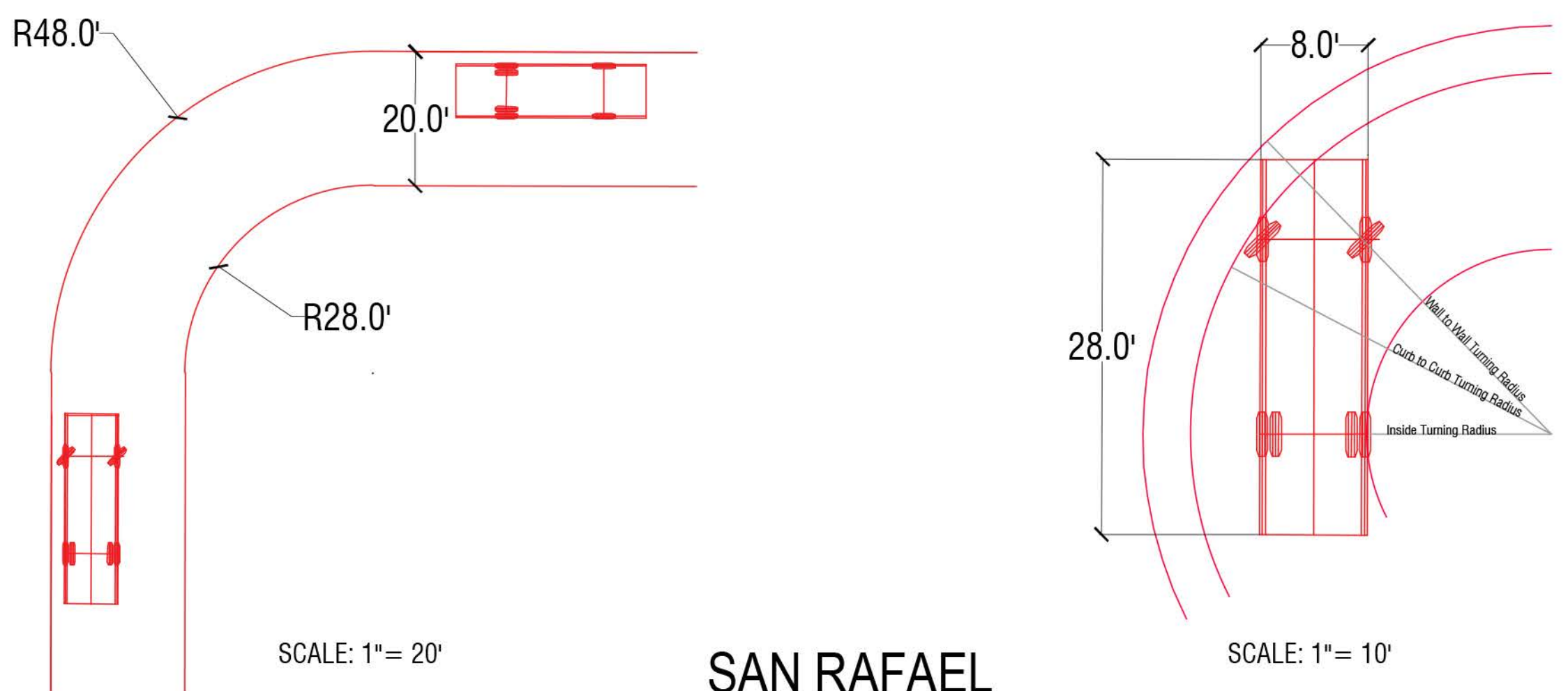
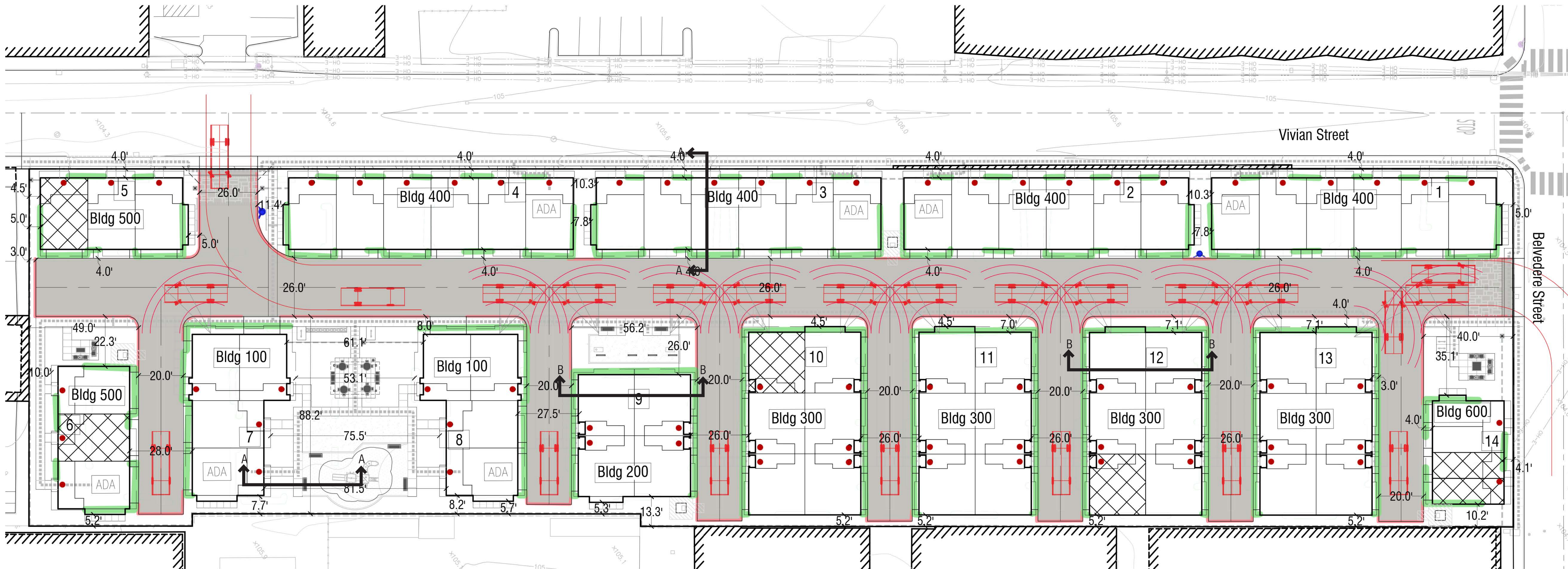
1. Site plan is for conceptual purposes only.
2. Site plan must be reviewed by planning, building, and fire departments for code compliance.
3. Base information per civil engineer.
4. Civil engineer to verify all setbacks and grading information.
5. Building Footprints might change due to the final design elevation style.
6. Open space area is subject to change due to the balcony design of the elevation.
7. Building setbacks are measured from property lines to building foundation lines.



**CONCEPTUAL SITE PLAN**

**88 VIVIAN STREET**

SAN RAFAEL, CA



SCALE: 1" = 20'  
**SAN RAFAEL**  
 Turning Performance for Pierce Pumper, Short, Galv., 2nd Gen.

- Proposed Pavement Area
- Proposed Fire Hydrant
- Existing Fire Hydrant
- Unit Front Door Location
- Building Height Under 30 Ft. per Section D105 of CA Fire Code
- Red Curb, No Parking (Fire Zone) and No Parking In Private Alleys

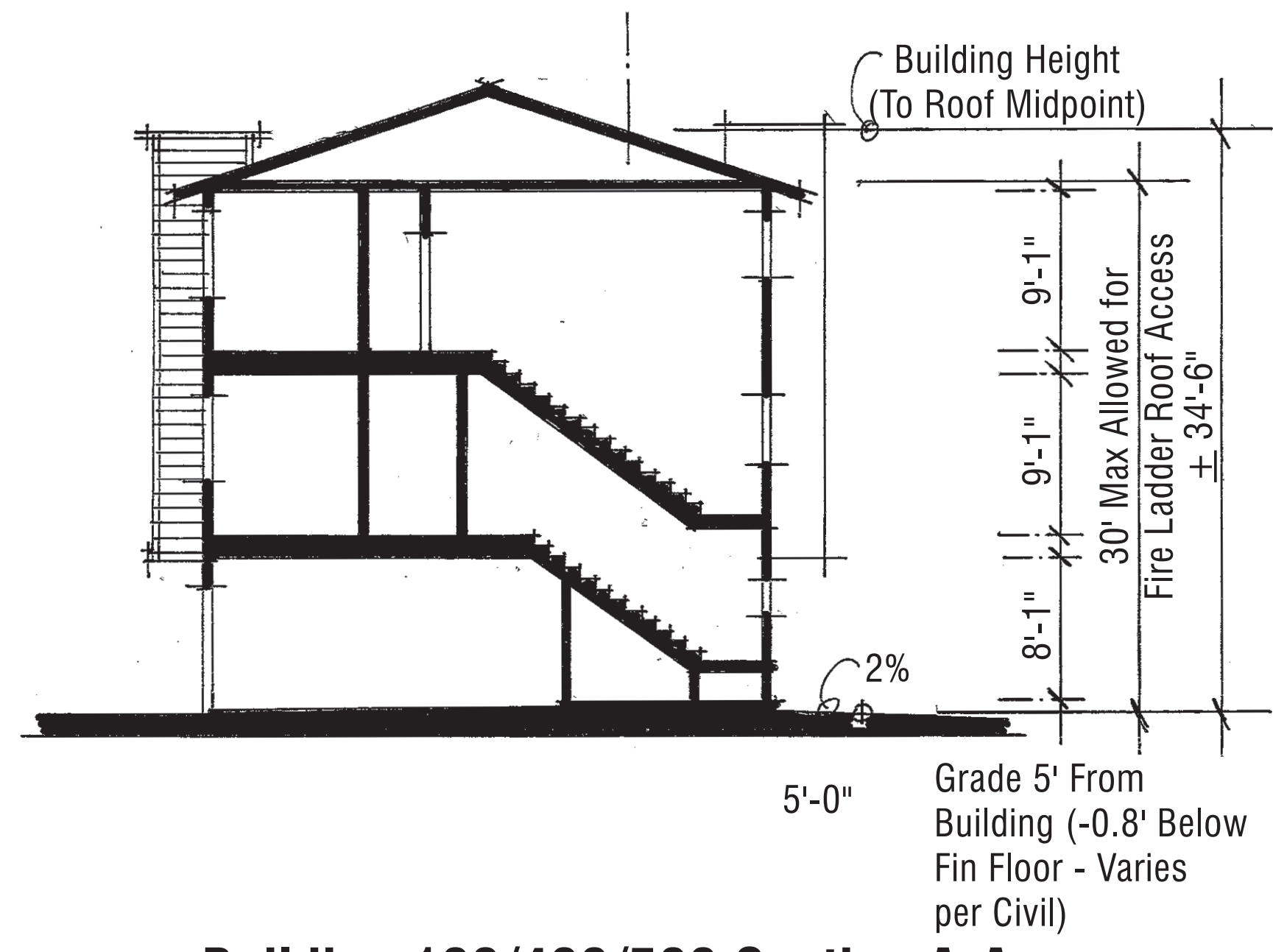
- Notes:**
1. Site plan is for conceptual purposes only.
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  7. Building setbacks are measured from property lines to building foundation lines.



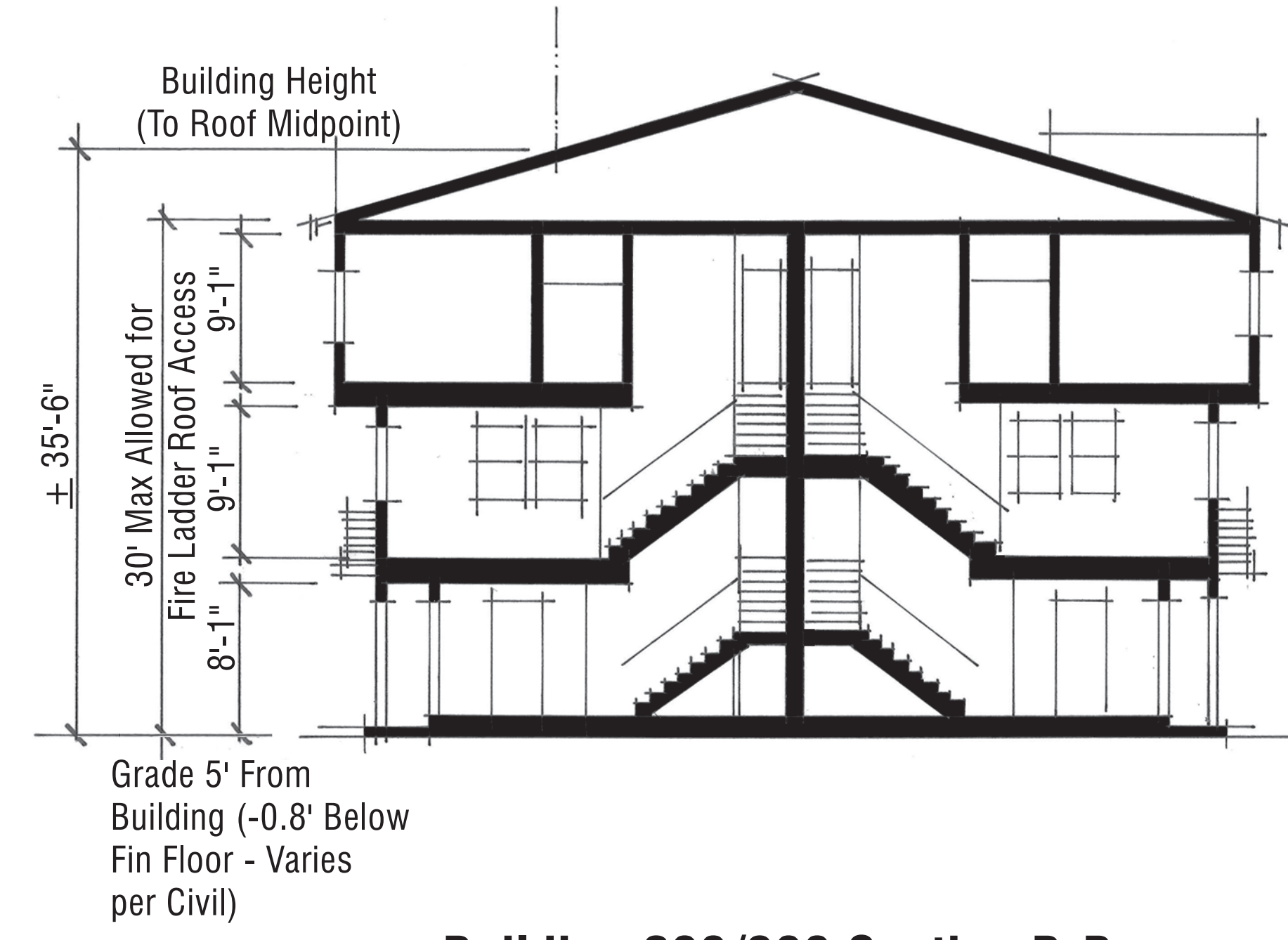
## CONCEPTUAL FIRE ACCESS PLAN

### 88 VIVIAN STREET

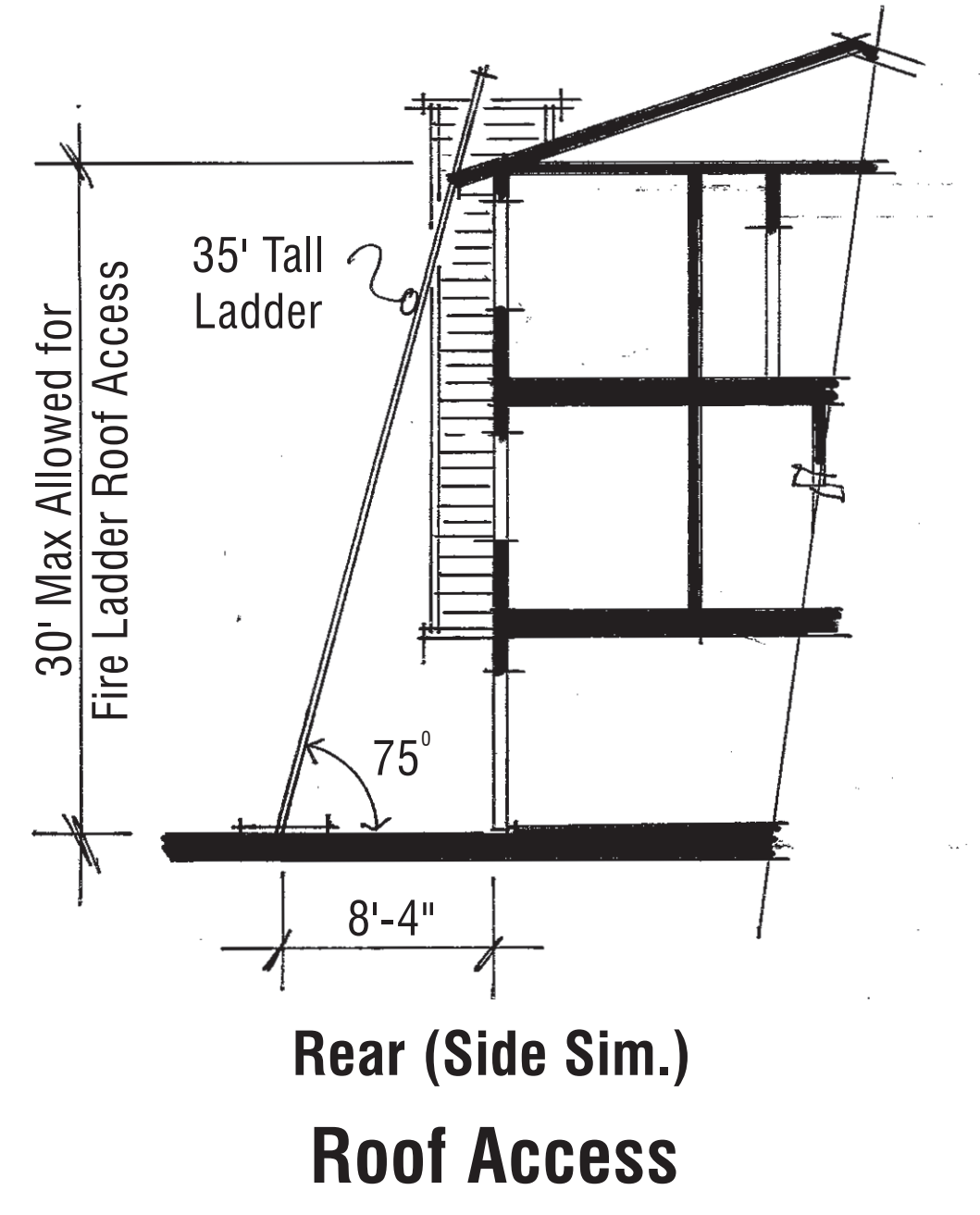
SAN RAFAEL, CA



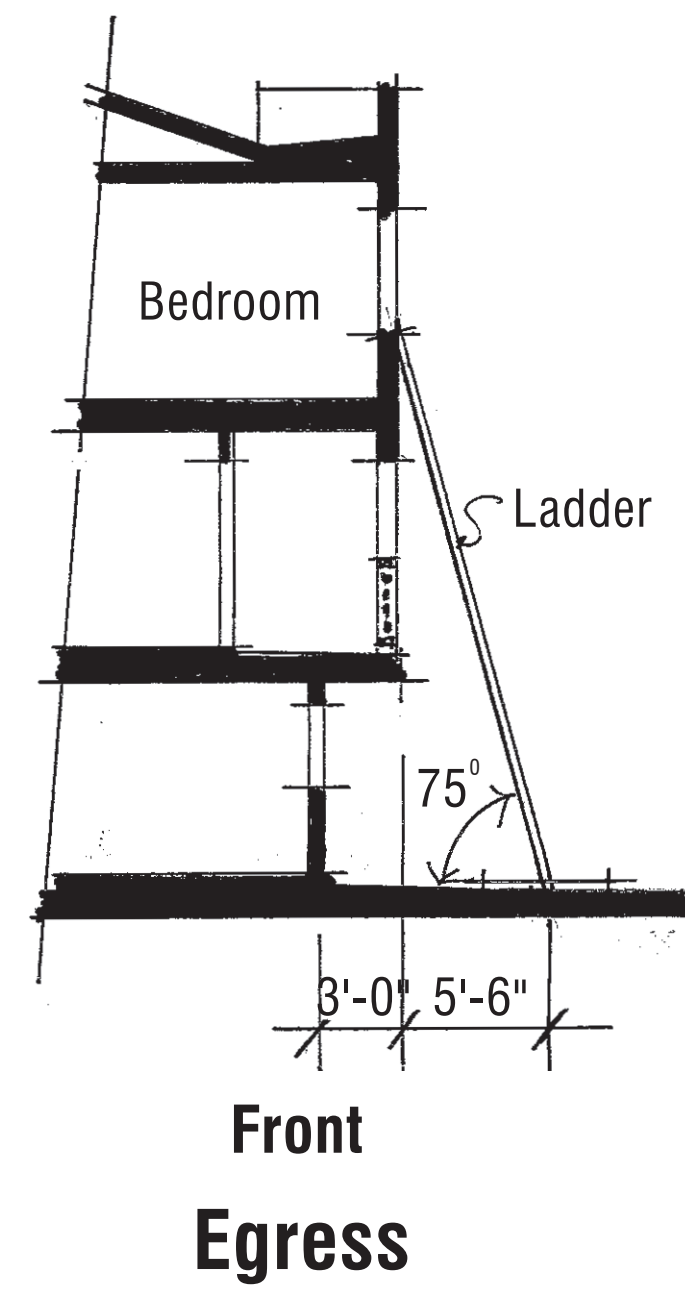
**Building 100/400/500 Section A-A**



**Building 200/300 Section B-B**



**Rear (Side Sim.)  
Roof Access**



**Front  
Egress**

**Fire Exhibit Section**

**CONCEPTUAL BUILDING SECTIONS**

**88 VIVIAN STREET**

SAN RAFAEL, CA



Note: Artist's Conception; Colors, Materials and Application May Vary.

**ASHTON 3**

**AERIAL VIEW**  
**88 VIVIAN STREET**  
SAN RAFAEL, CA

0 4 8 16  
PR-1

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## BELVEDERE STREET & VIVIAN STREET

### 88 VIVIAN STREET

SAN RAFAEL, CA

# ASHTON 3

0 4 8 16  
PR-2  
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## BELVEDERE STREET - LOOKING WEST

### 88 VIVIAN STREET

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# ASHTON 3

0 4 8 16  
PR-3  
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### INTERNAL DRIVE - LOOKING SOUTH

## 88 VIVIAN STREET

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# ASHTON 3

0 4 8 16  
PR-4  
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## VIVIAN ST - LOOKING NORTH

### 88 VIVIAN STREET

SAN RAFAEL, CA

# ASHTON 3

0 4 8 16  
PR-5

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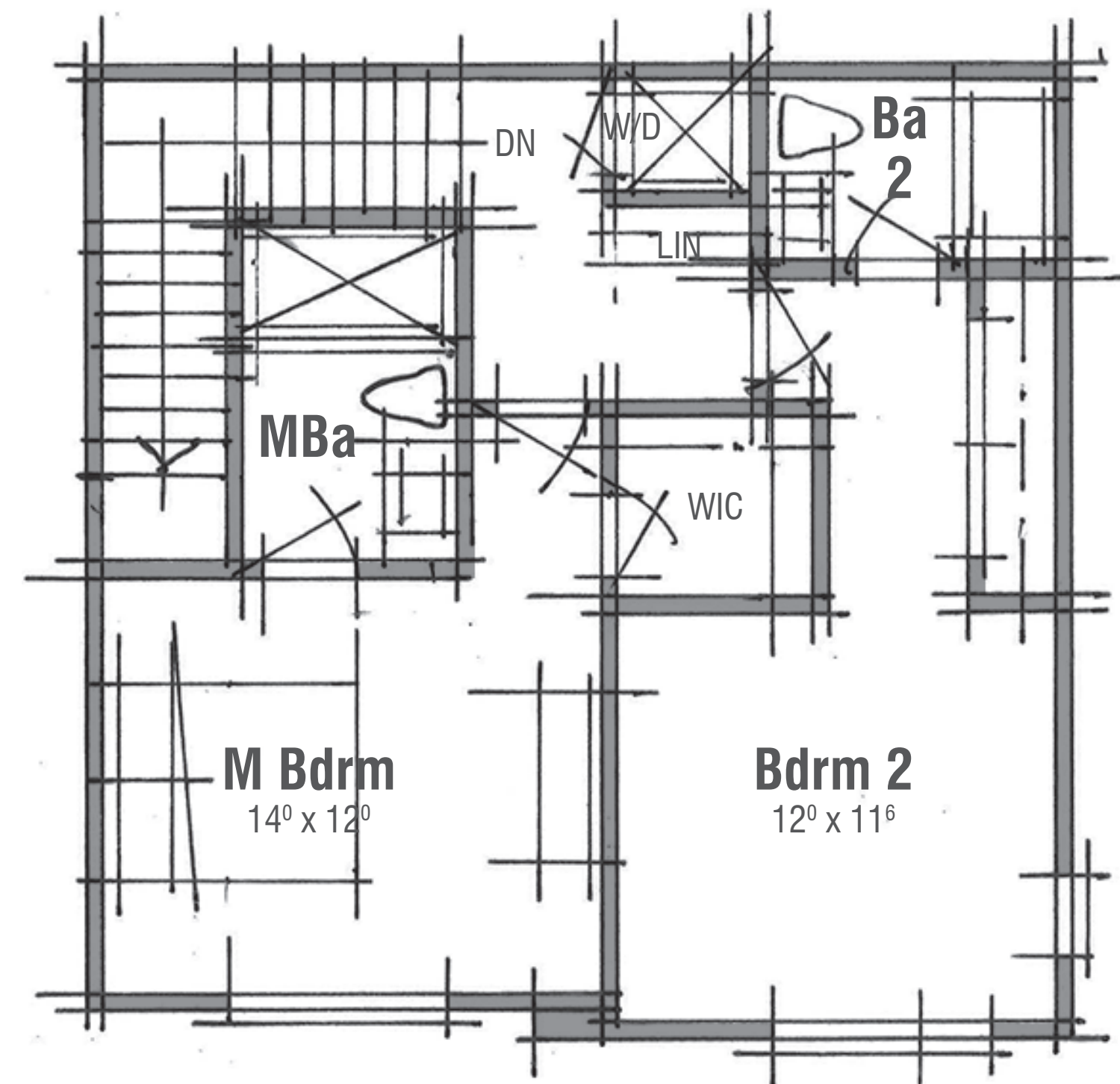
VIVIAN ST - MAIN ENTRY  
88 VIVIAN STREET  
SAN RAFAEL, CA

ASHTON 3

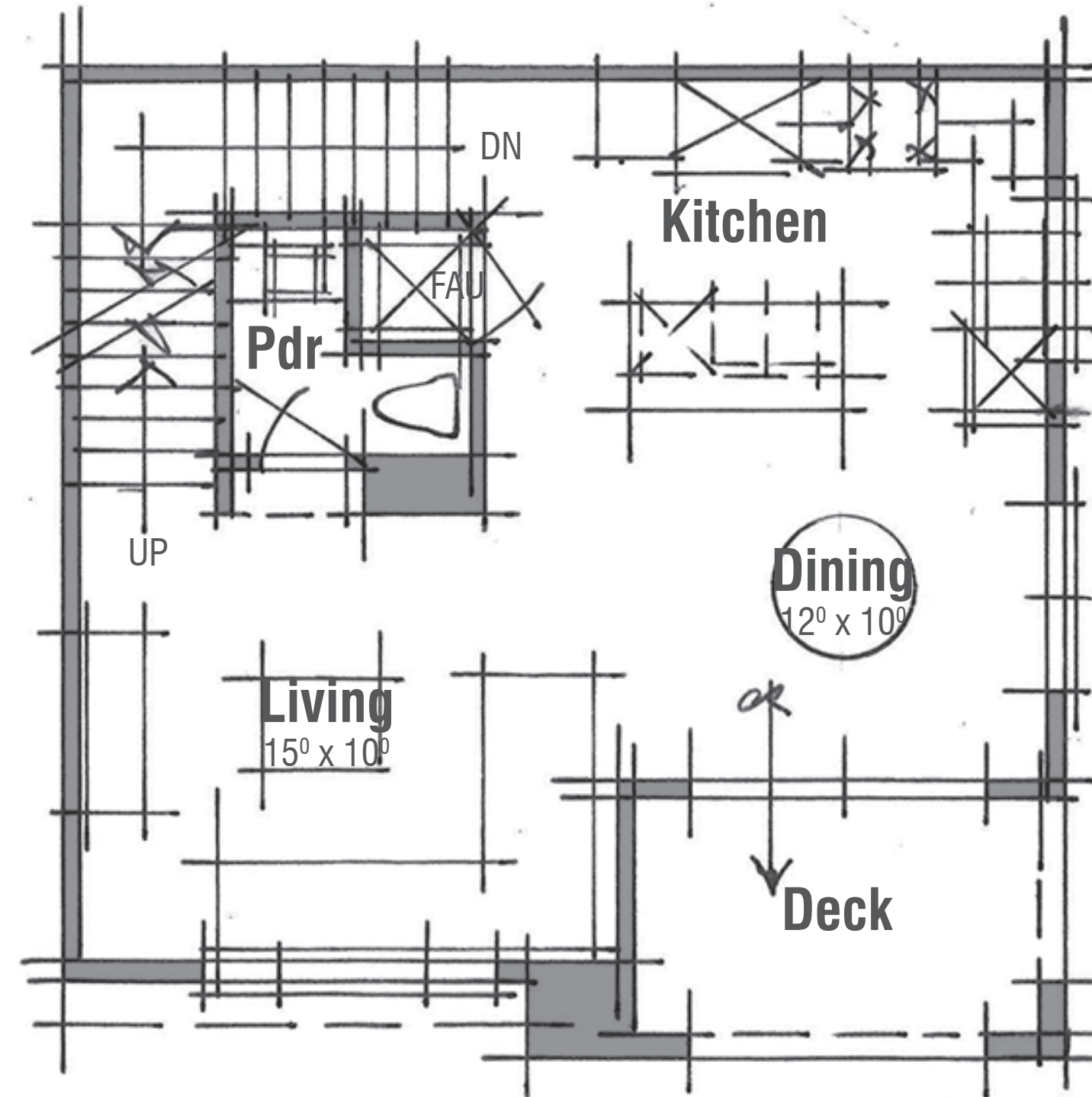
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PR-6  
DRB SUBMITTAL

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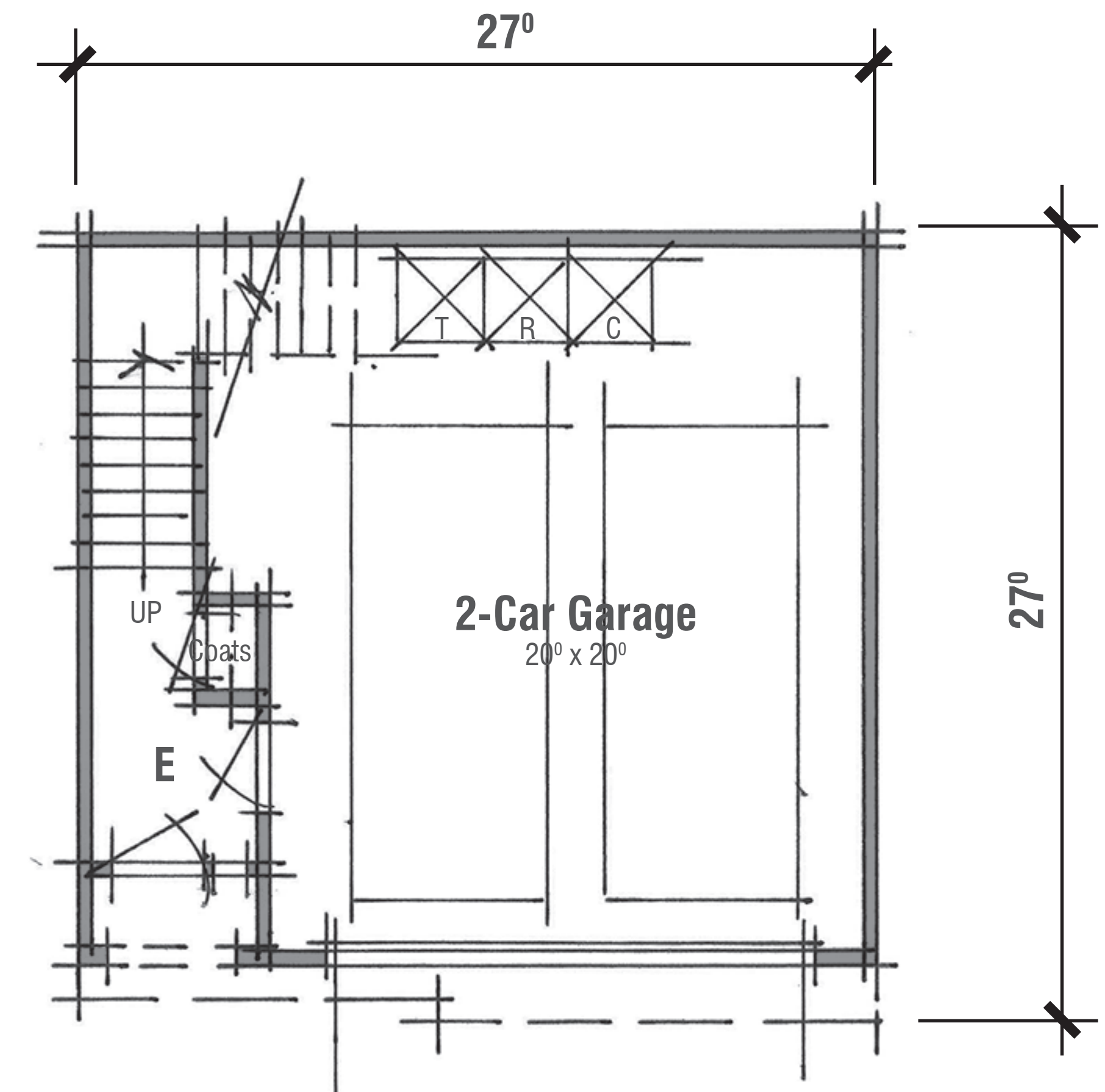
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Third Level



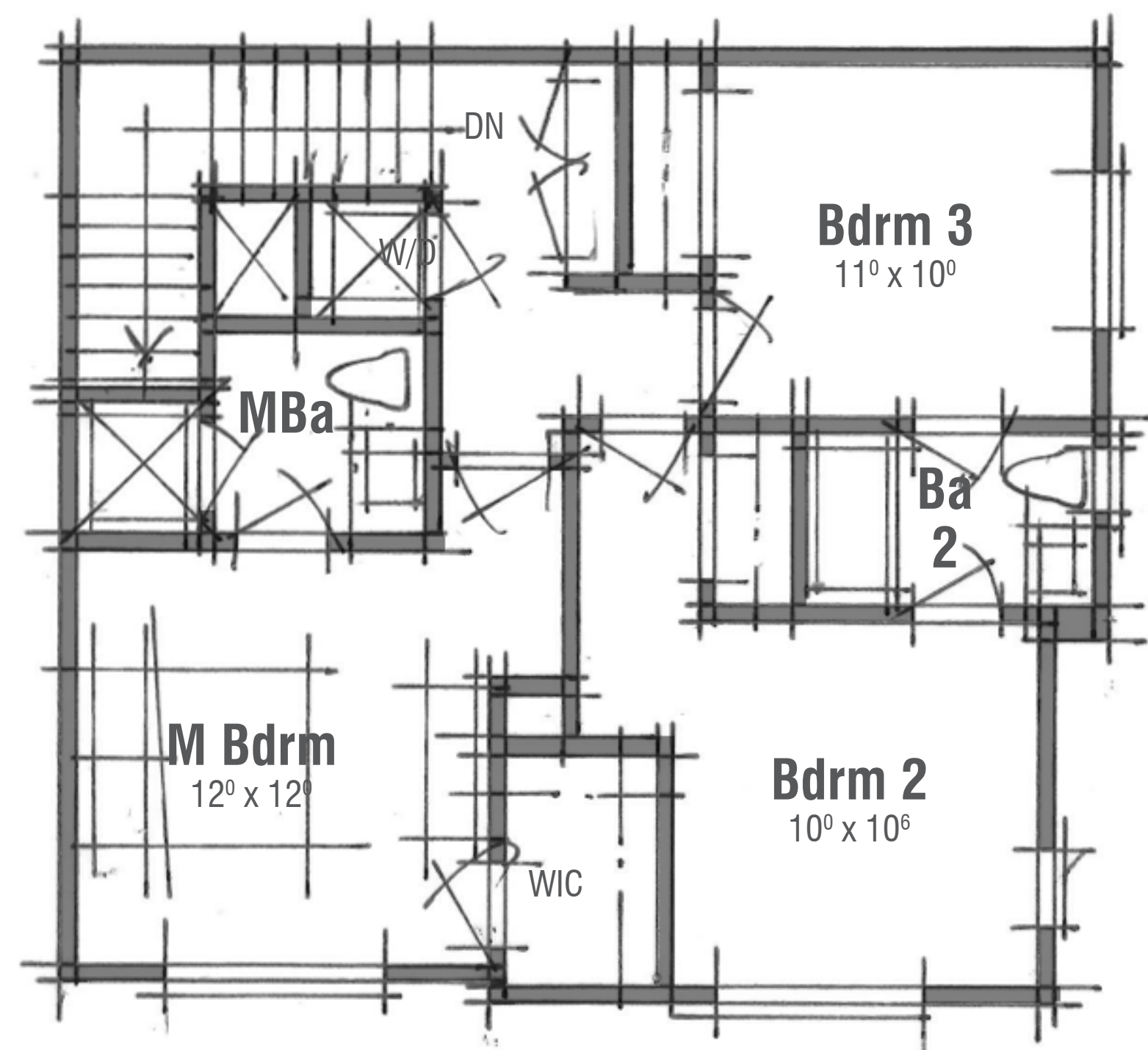
Second Level



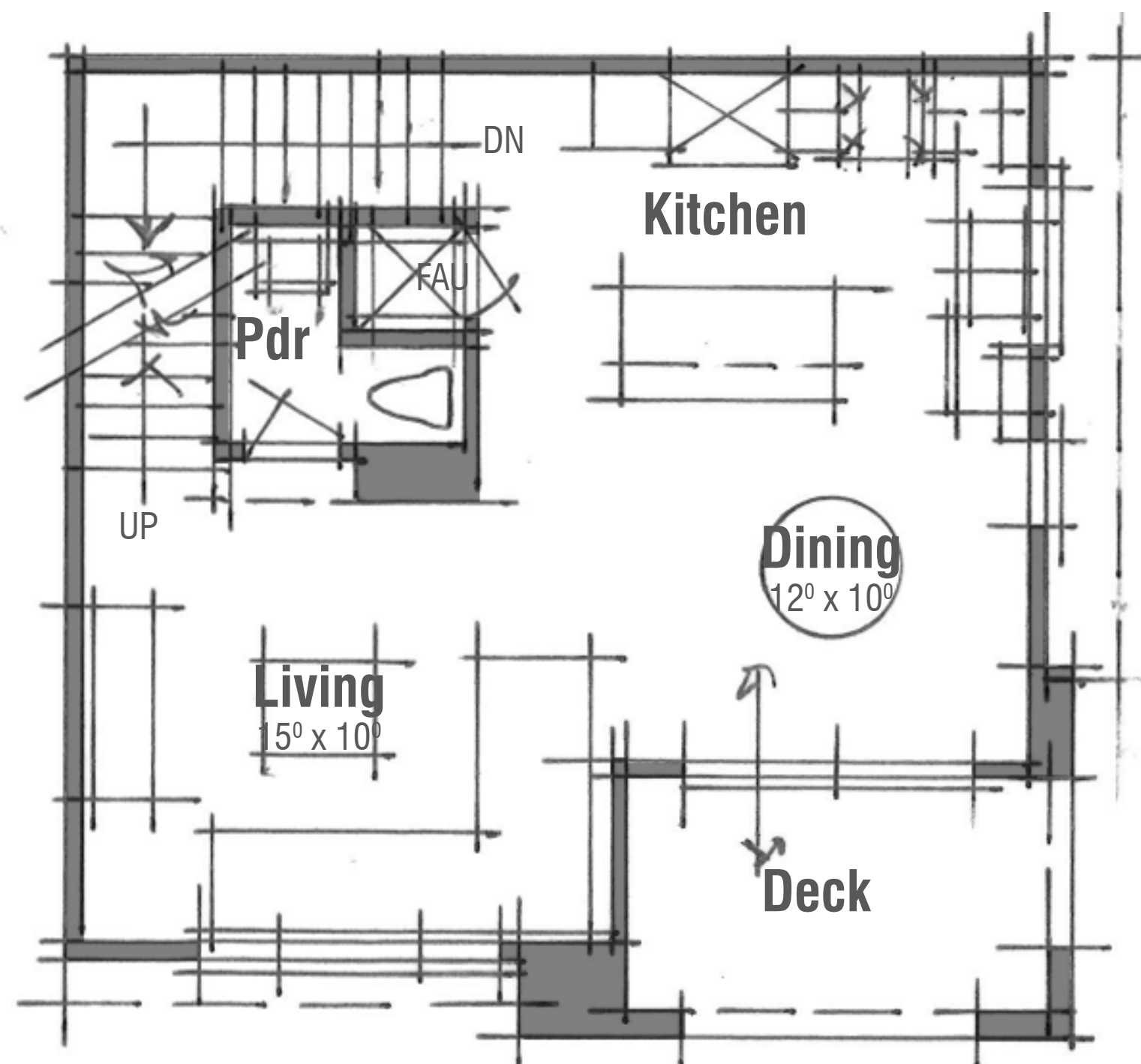
First Level

1,415 SF  
 2 Bedroom | 2.5 Bath  
 2-Car Garage

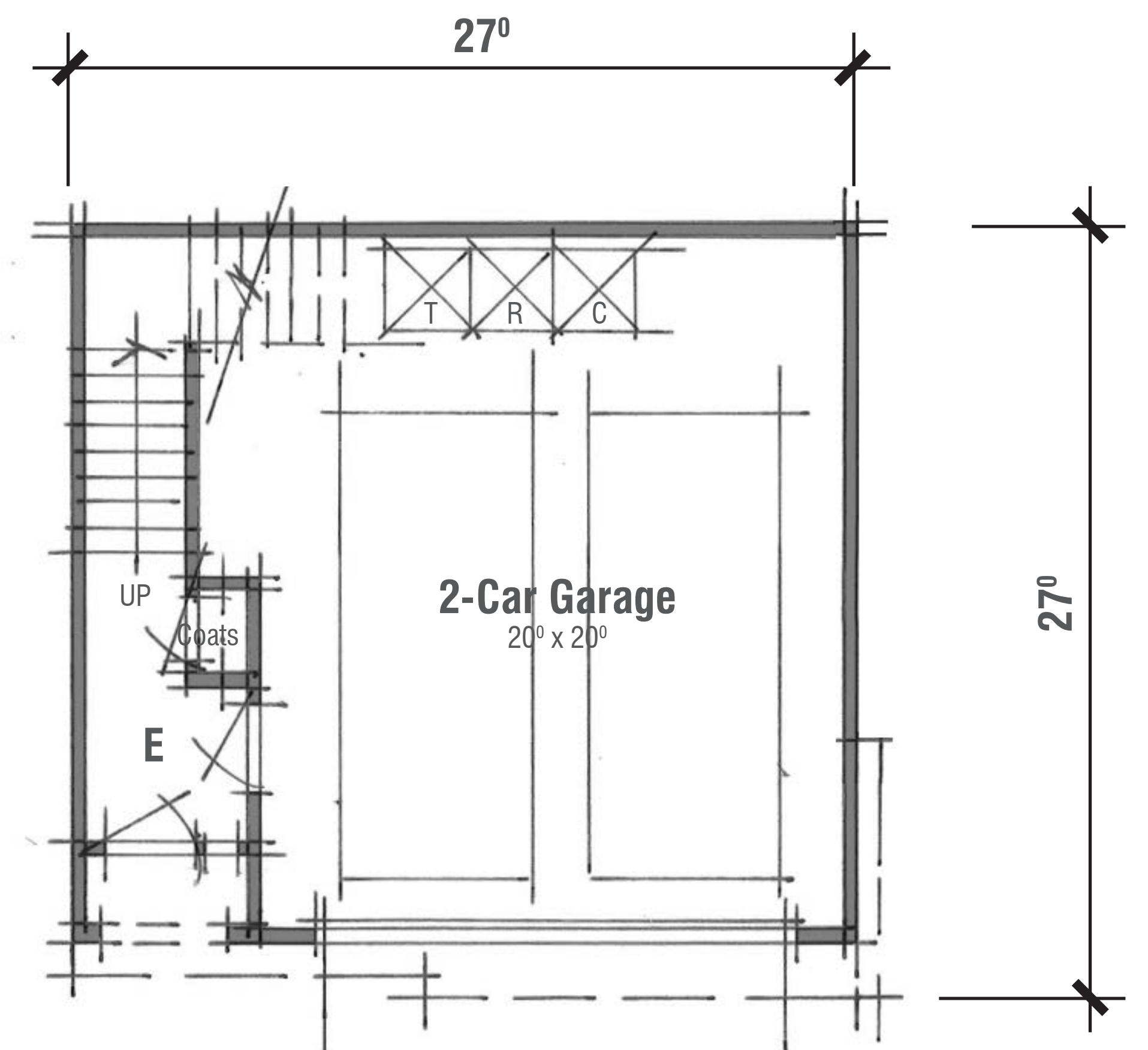
**PLAN 1 | Floor Plans**  
**88 VIVIAN STREET**  
 SAN RAFAEL, CA



Third Level



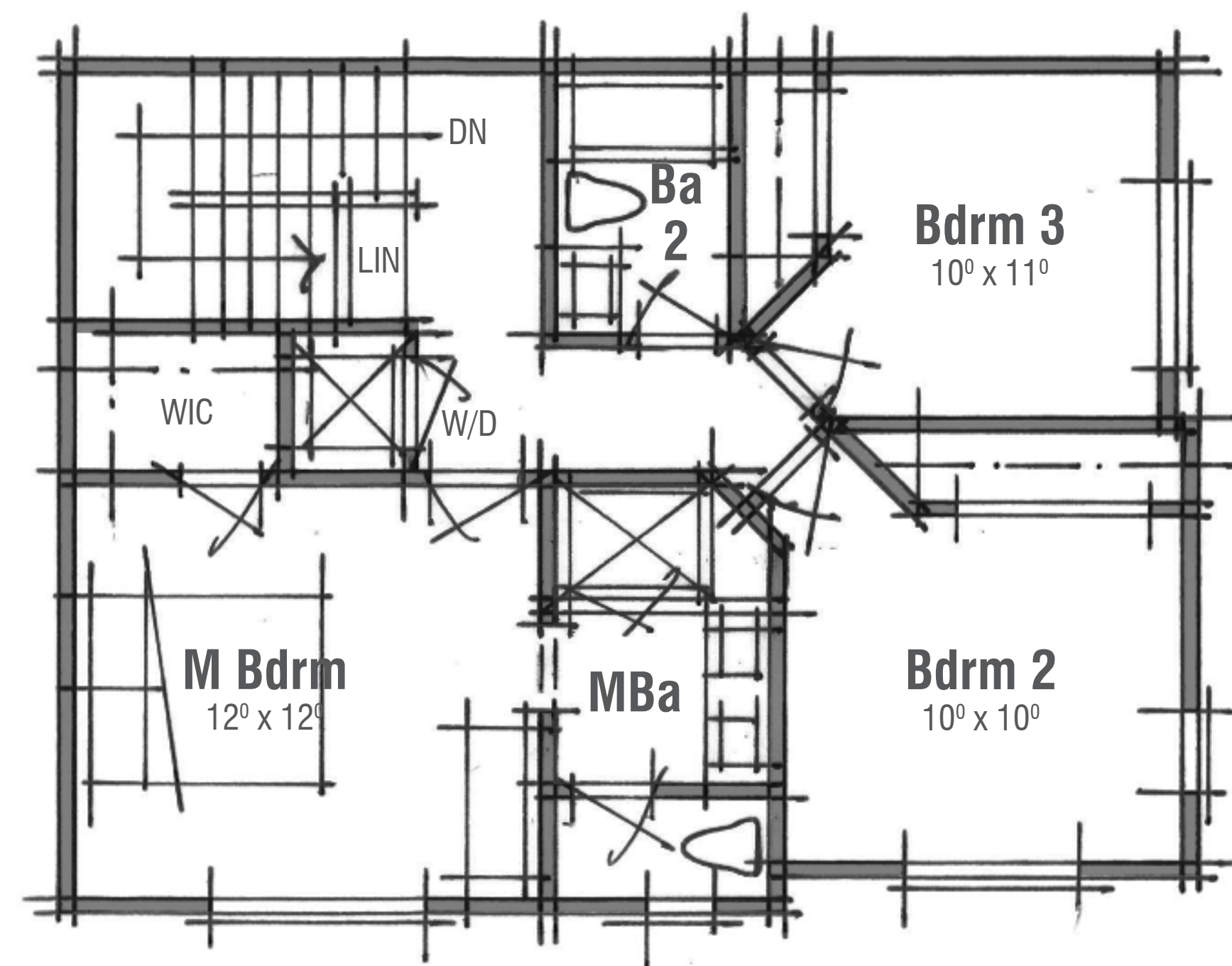
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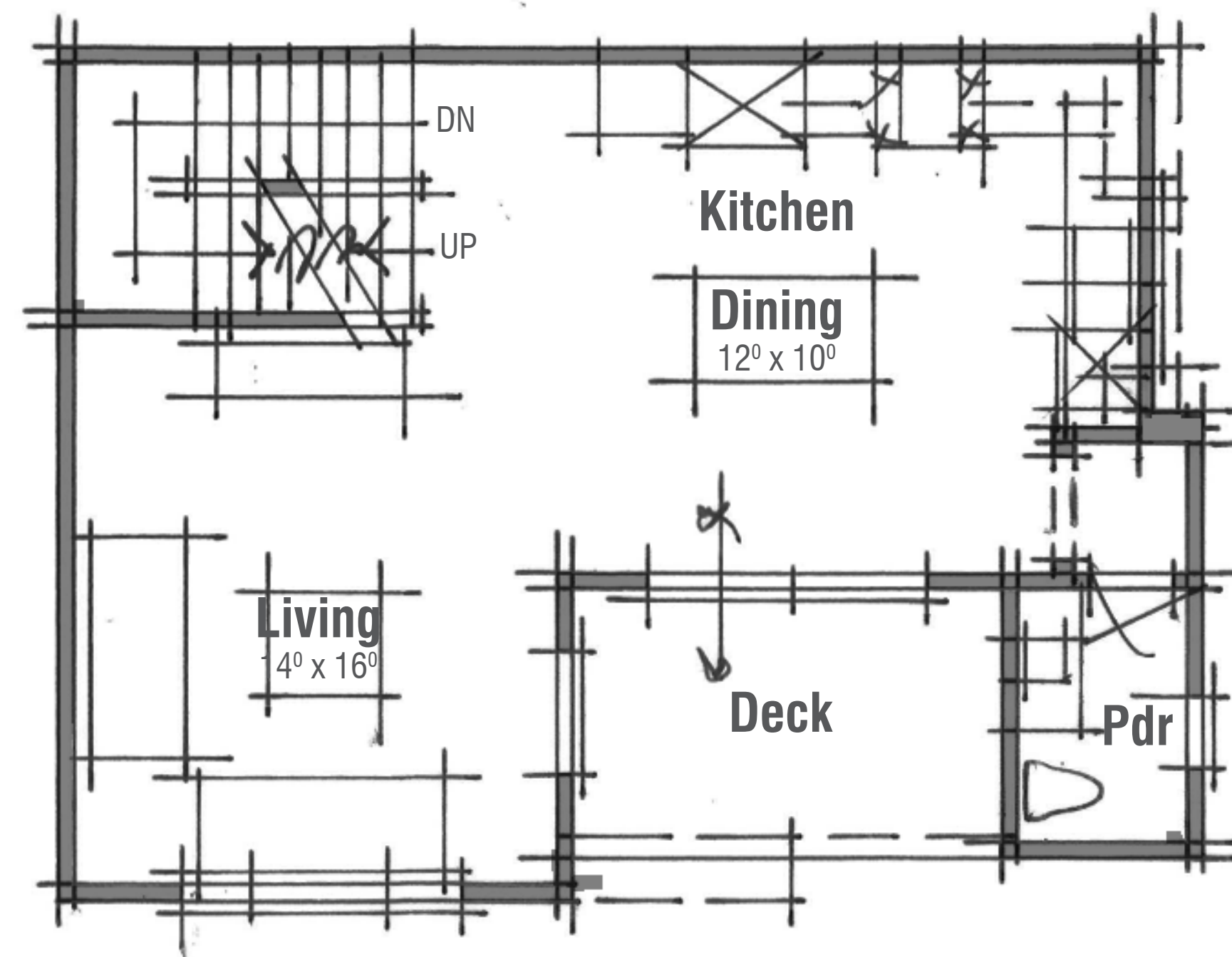
First Level

1,450 SF  
 3 Bedroom | 2.5 Bath  
 2-Car Garage

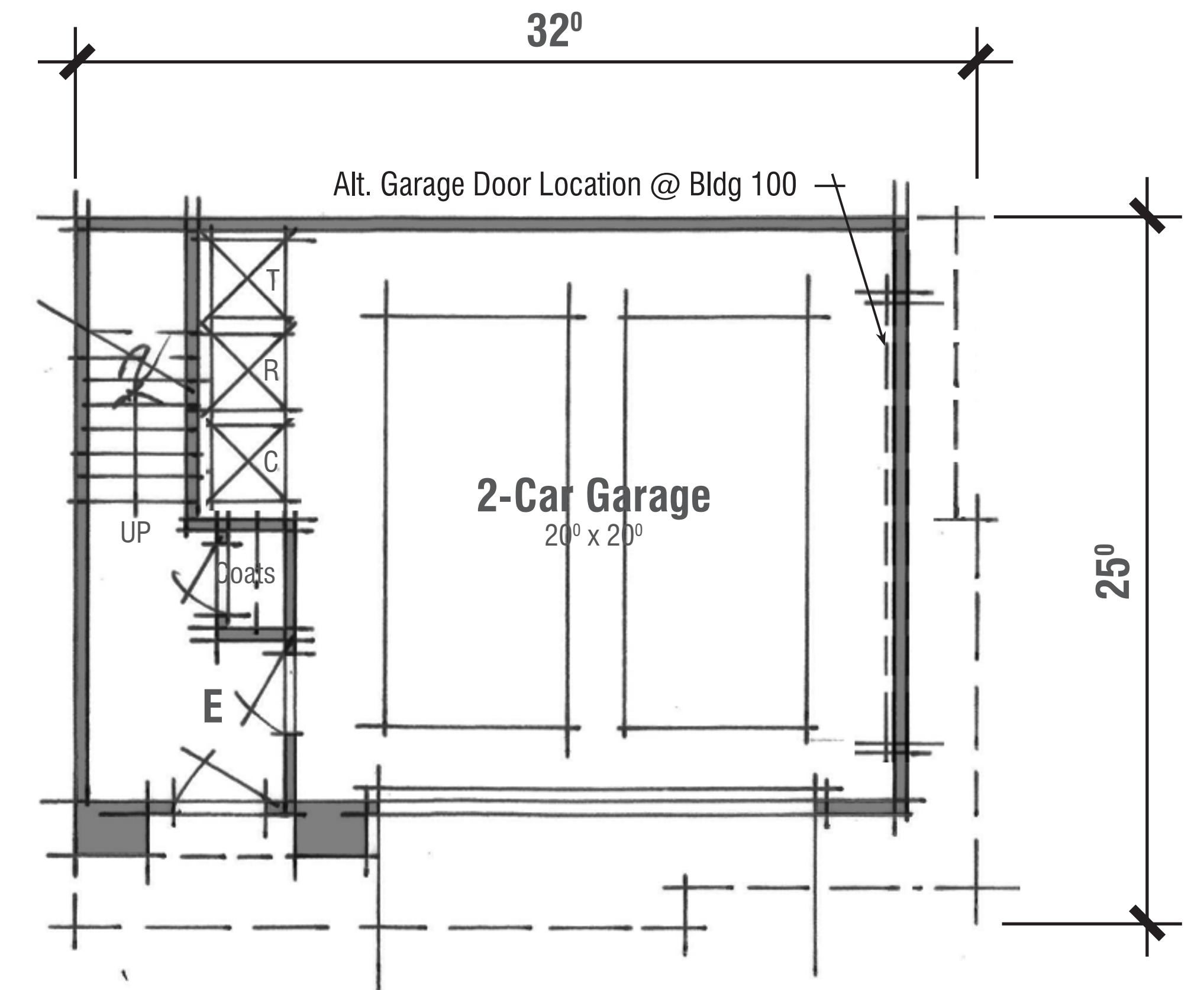
**PLAN 2 | Floor Plans**  
**88 VIVIAN STREET**  
 SAN RAFAEL, CA



Third Level



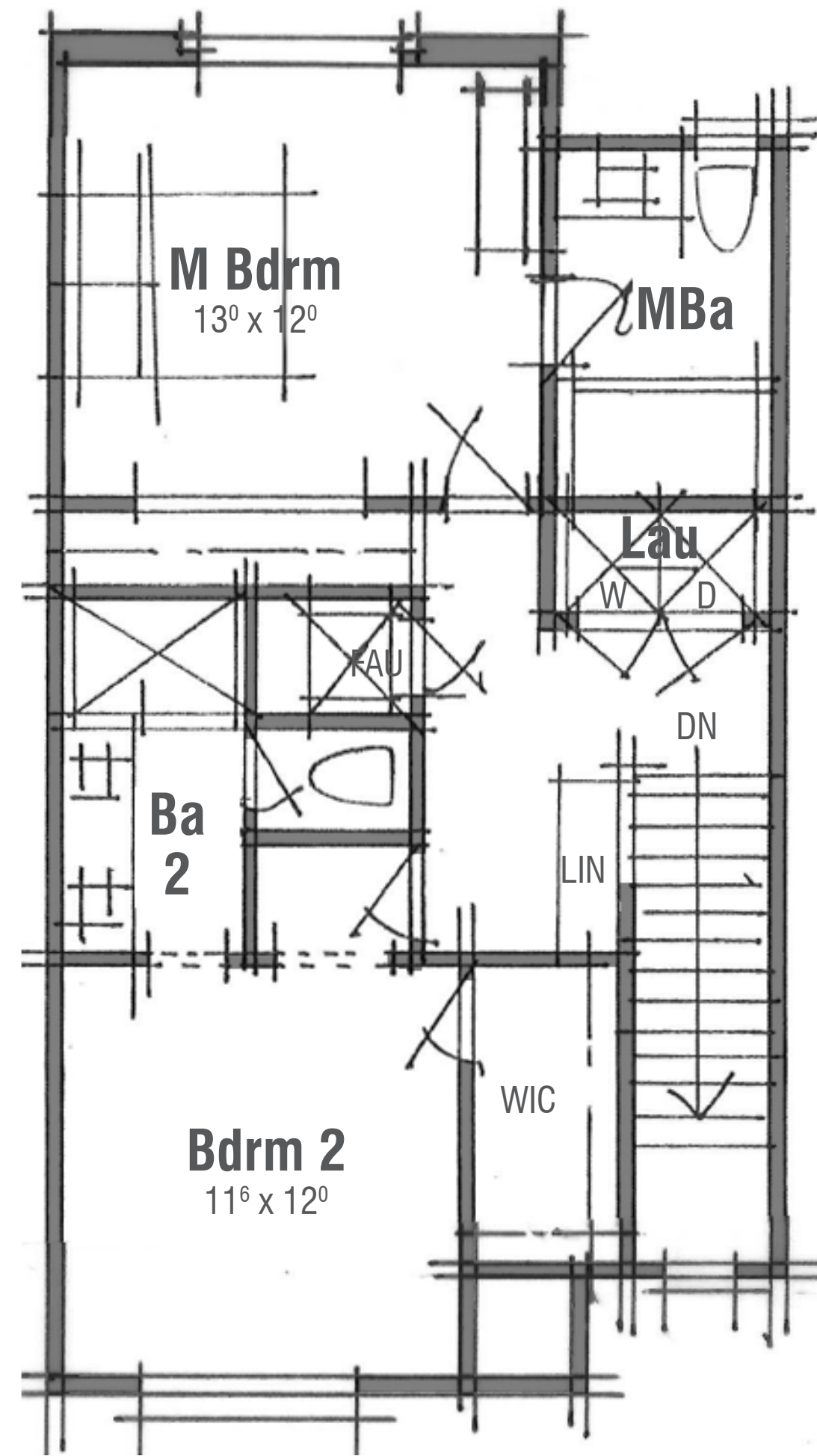
Second Level



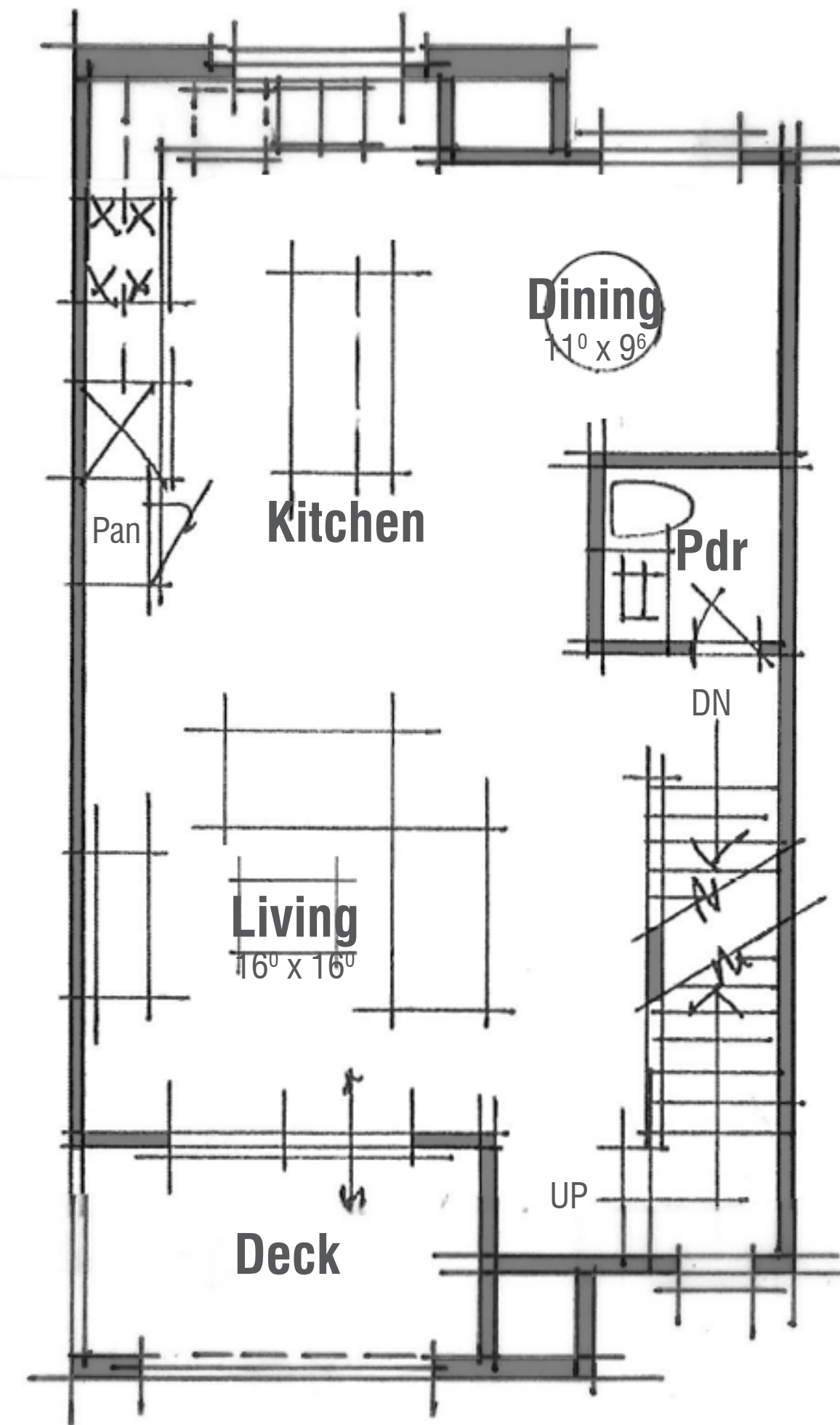
First Level

1,600 SF  
 3 Bedroom | 2.5 Bath  
 2-Car Garage

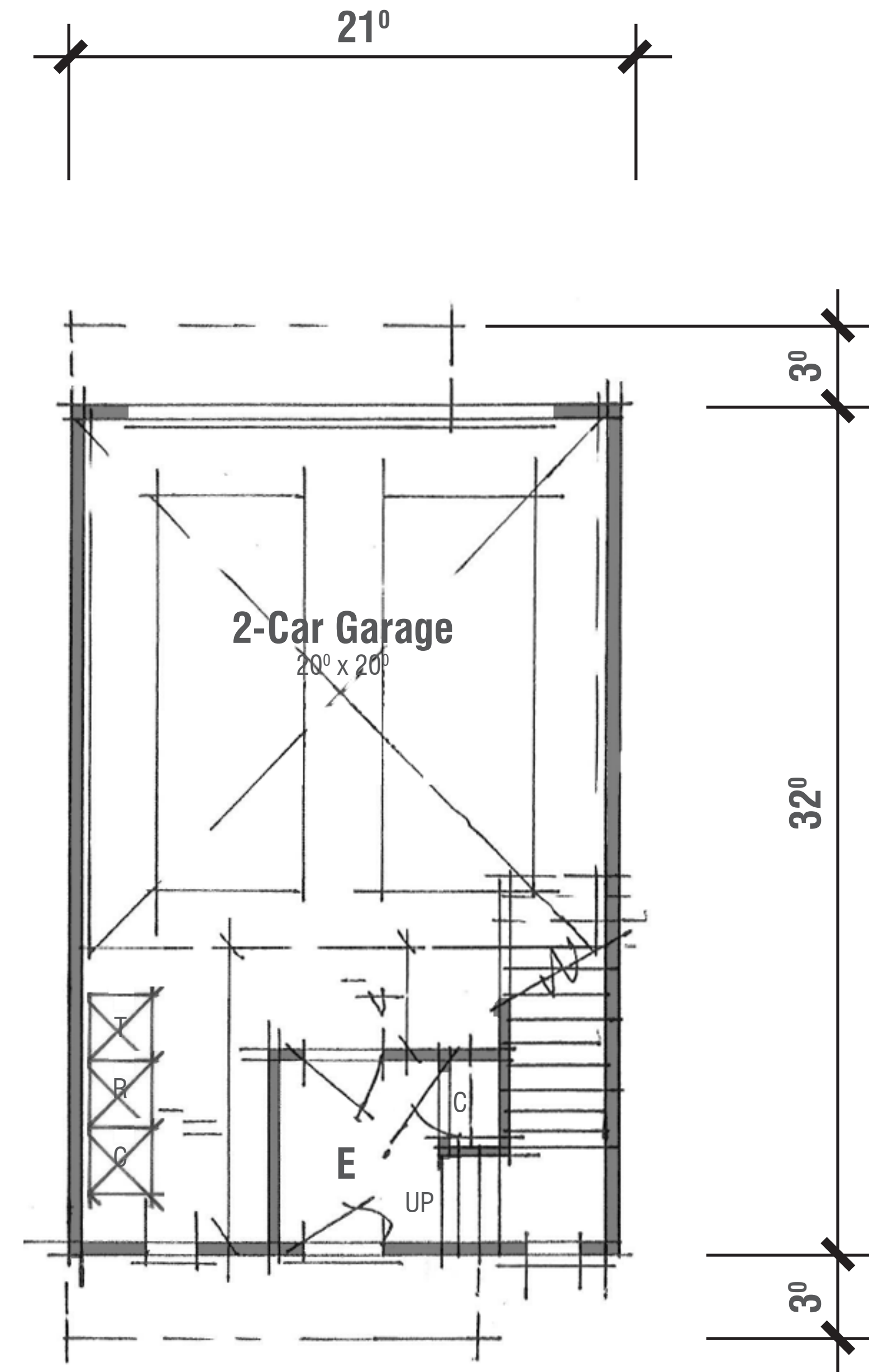
**PLAN 3 | Floor Plans**  
**88 VIVIAN STREET**  
 SAN RAFAEL, CA



Third Level



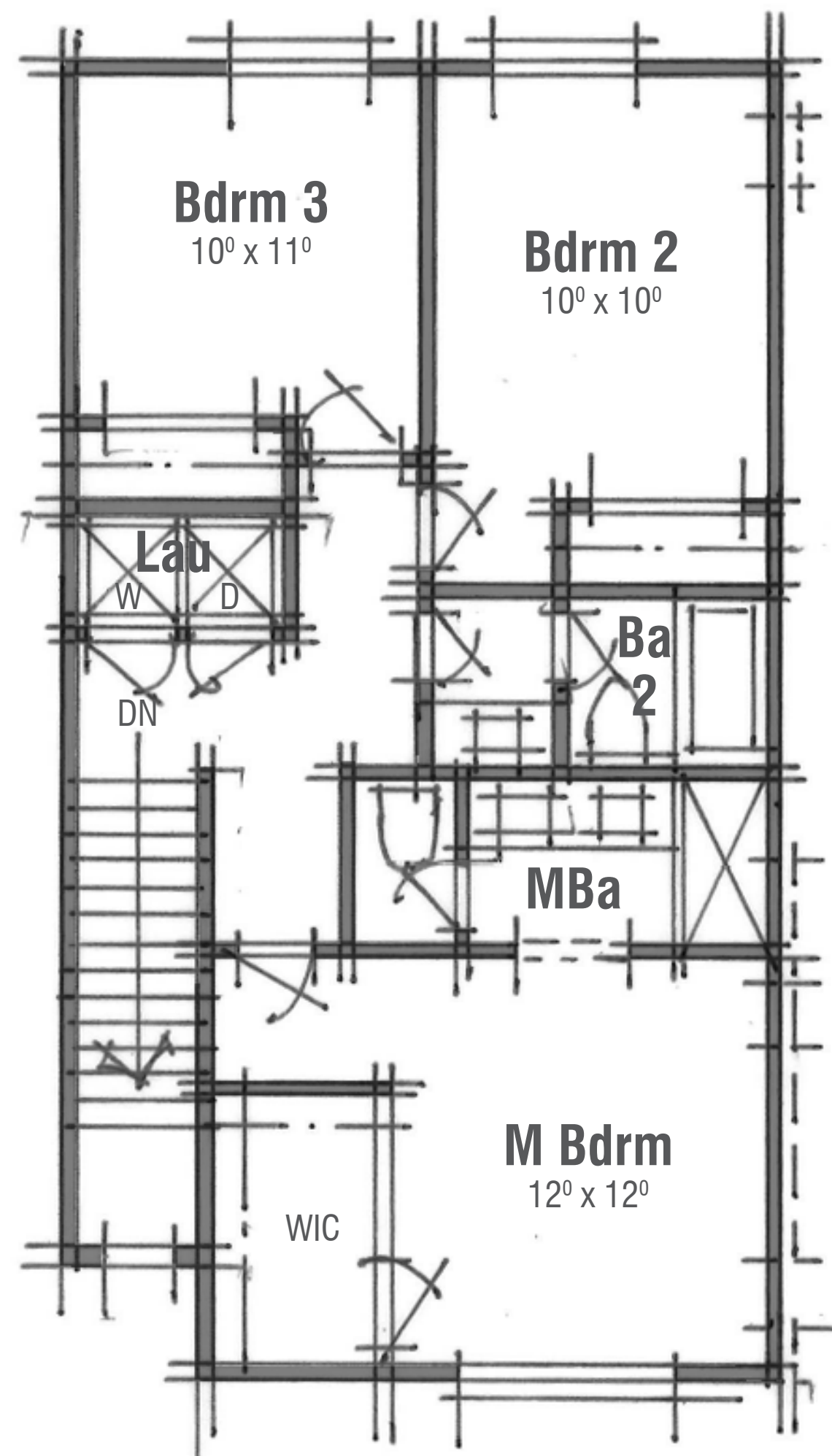
Second Level



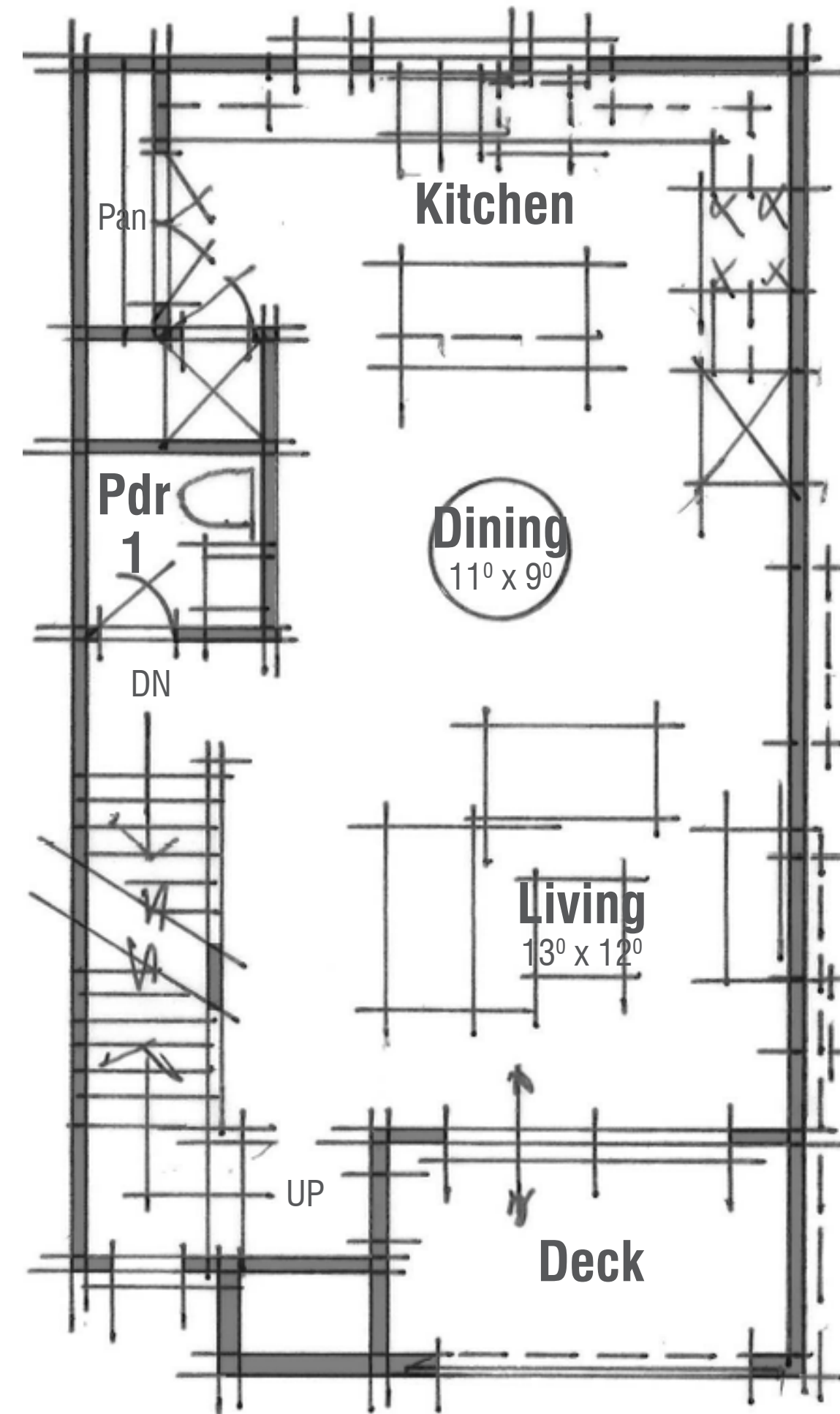
First Level

1,496 SF  
 2 Bedroom | 2.5 Bath  
 2-Car Garage

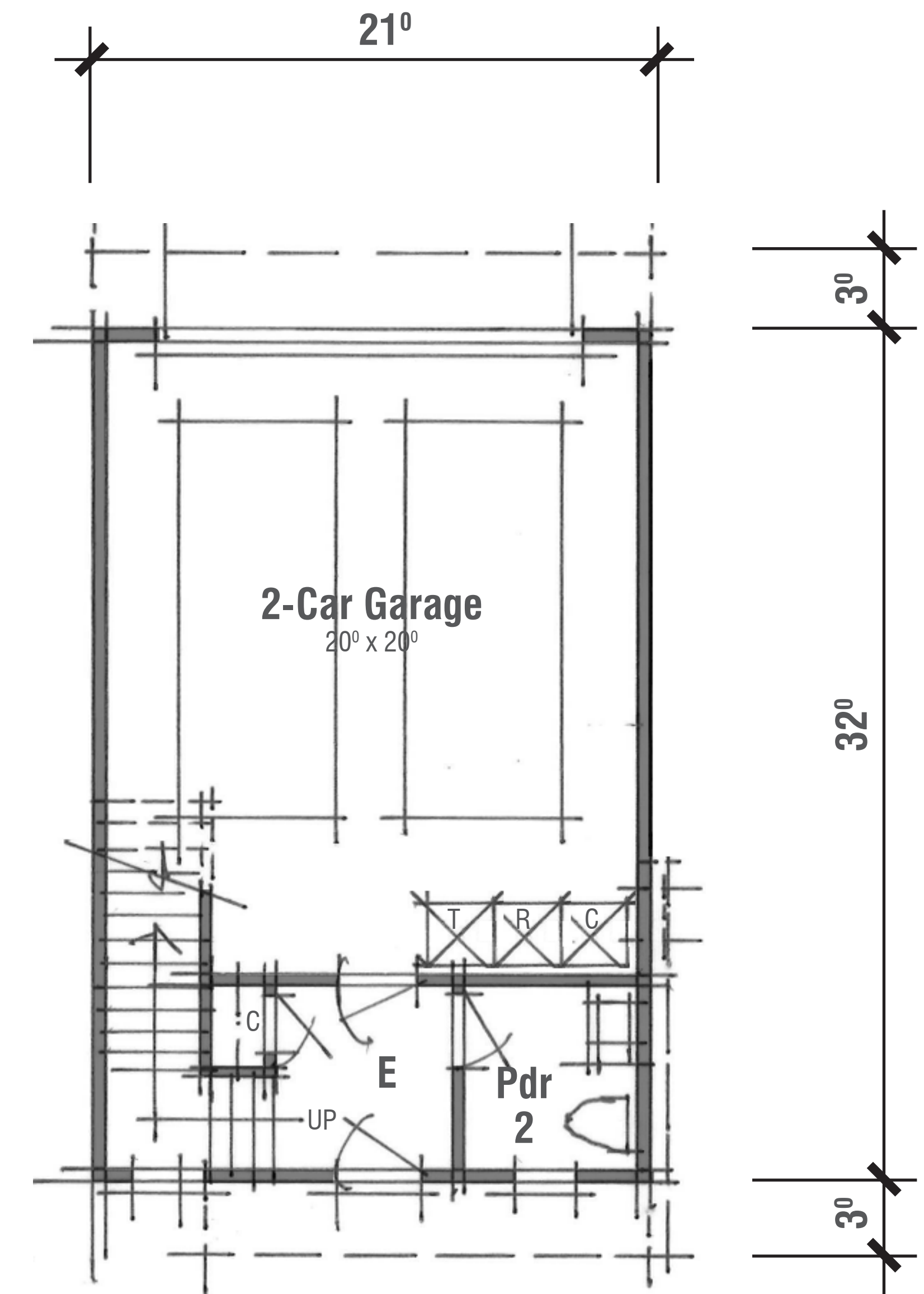
**PLAN 4 | Floor Plans**  
**88 VIVIAN STREET**  
 SAN RAFAEL, CA



Third Level



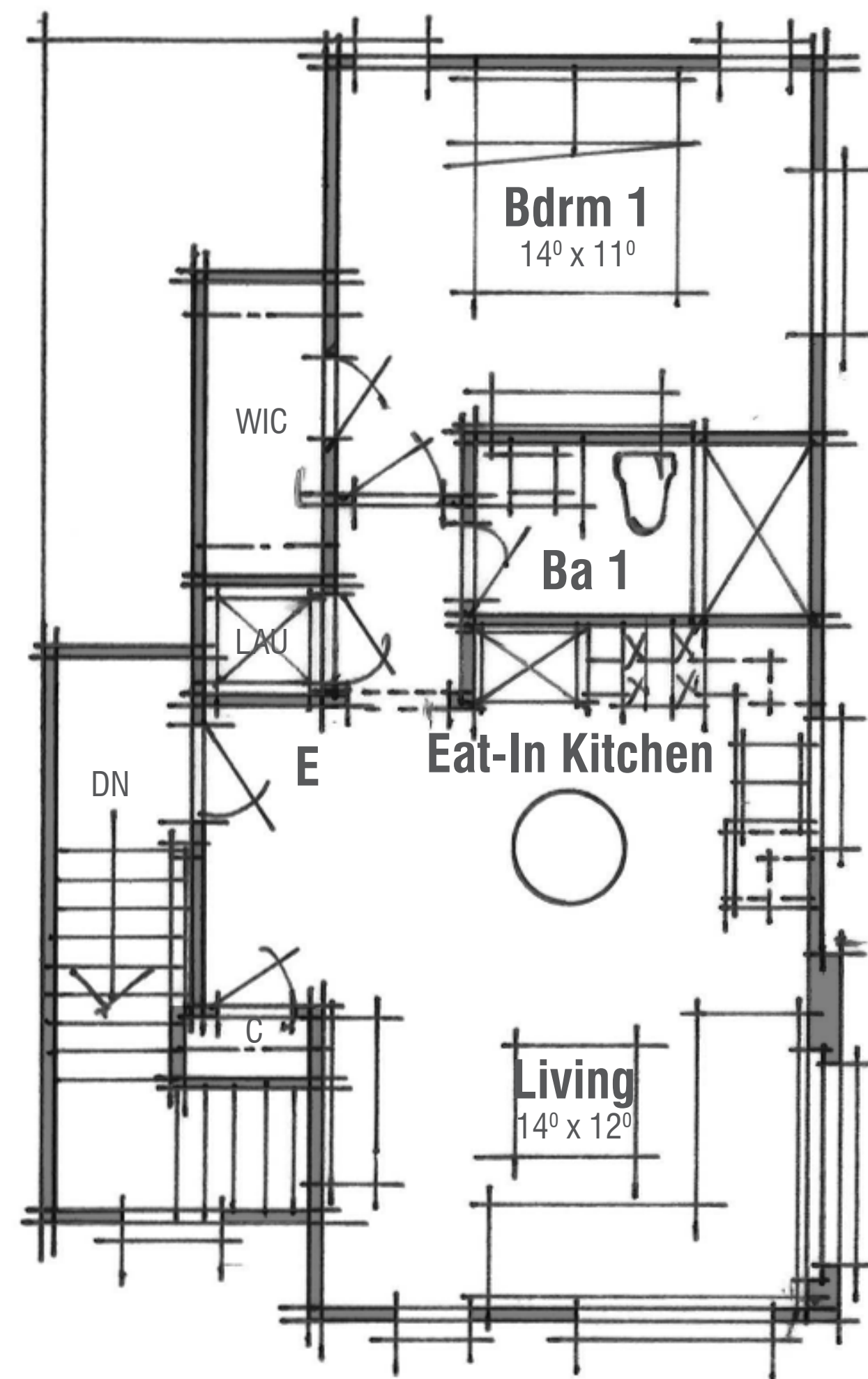
Second Level



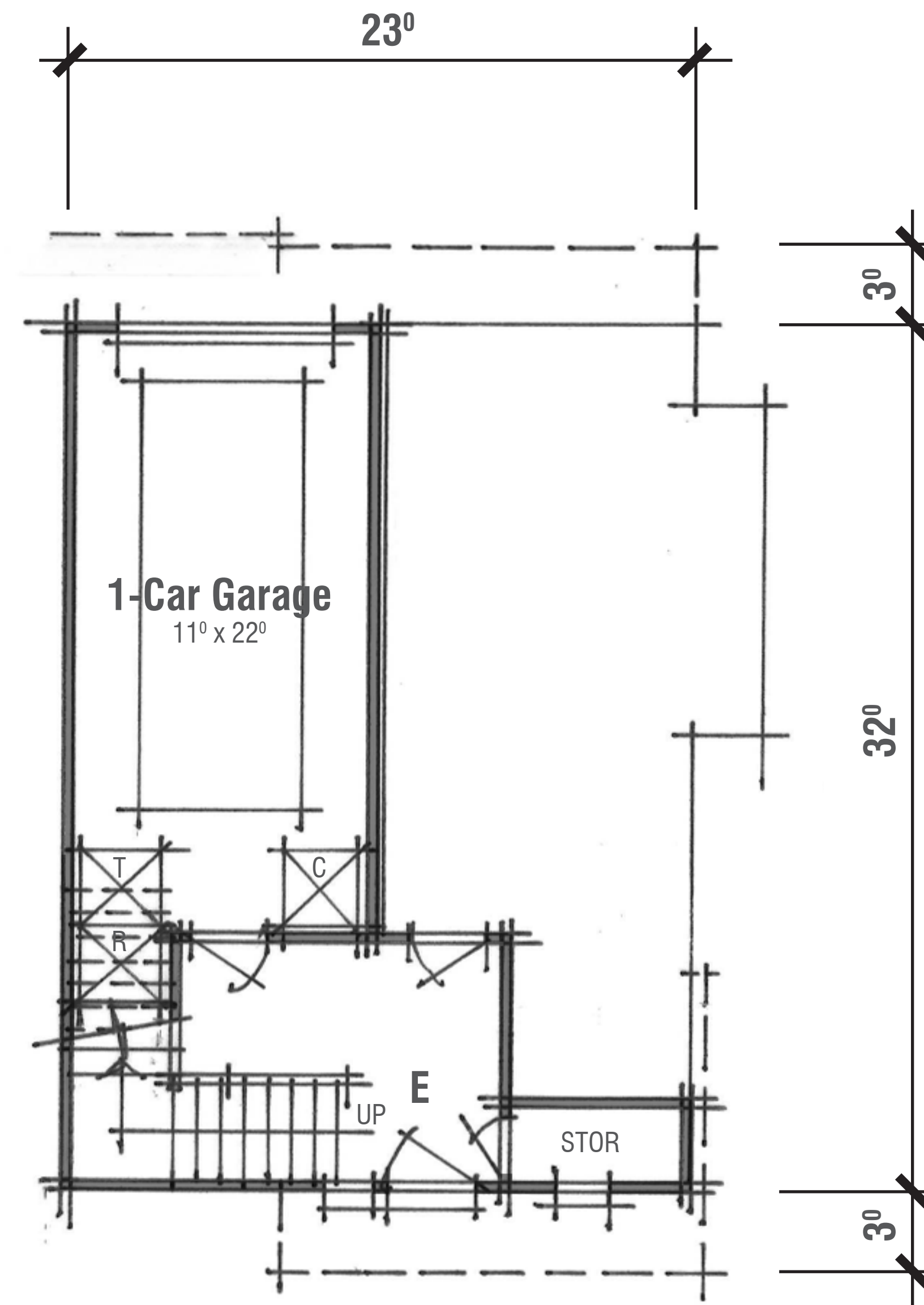
First Level

1,588 SF  
 3 Bedroom | 2 Bath | 2 Pwdr.  
 2-Car Garage

**PLAN 5 | Floor Plans**  
**88 VIVIAN STREET**  
 SAN RAFAEL, CA



**Second Level**

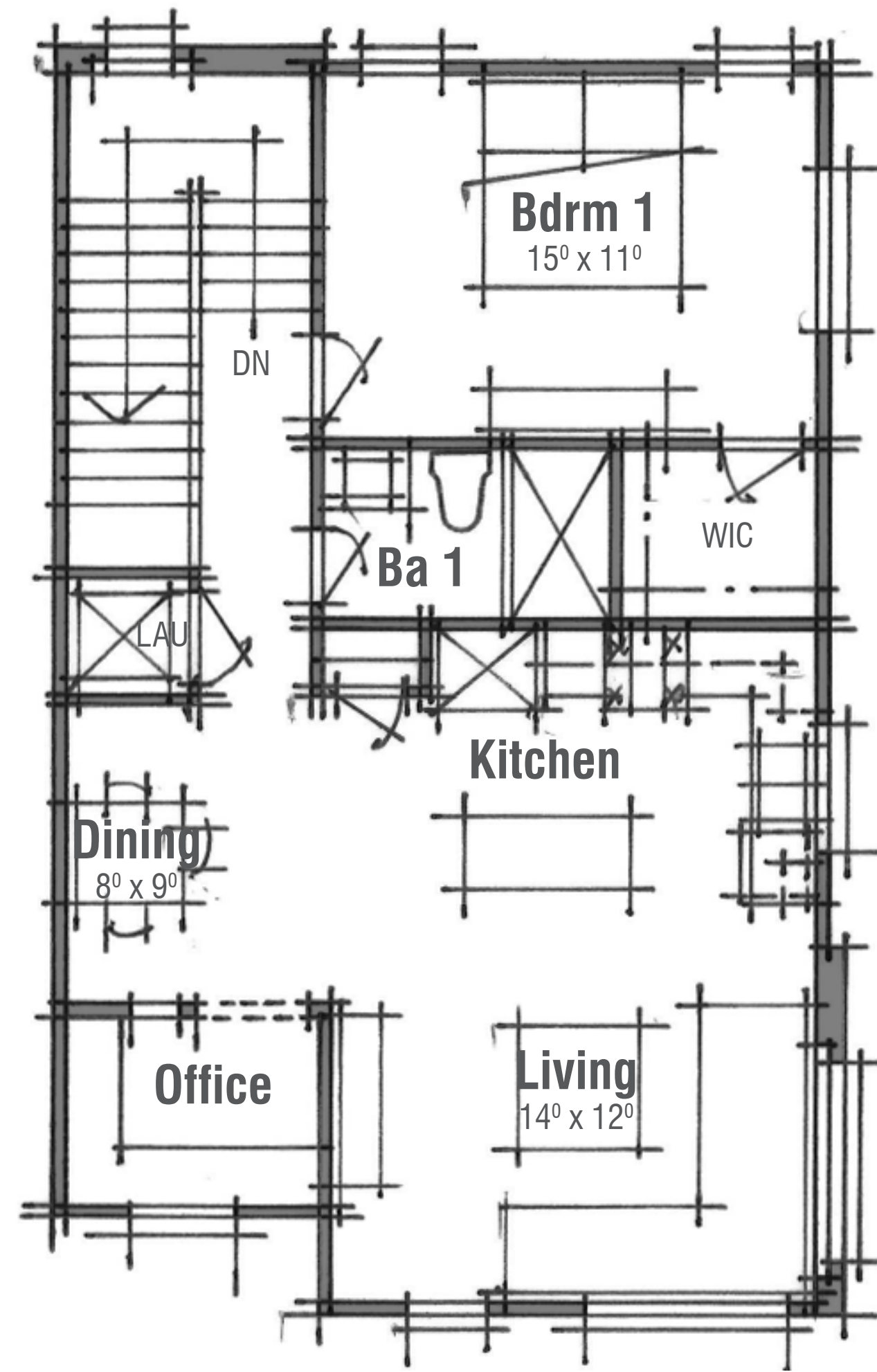


**First Level**

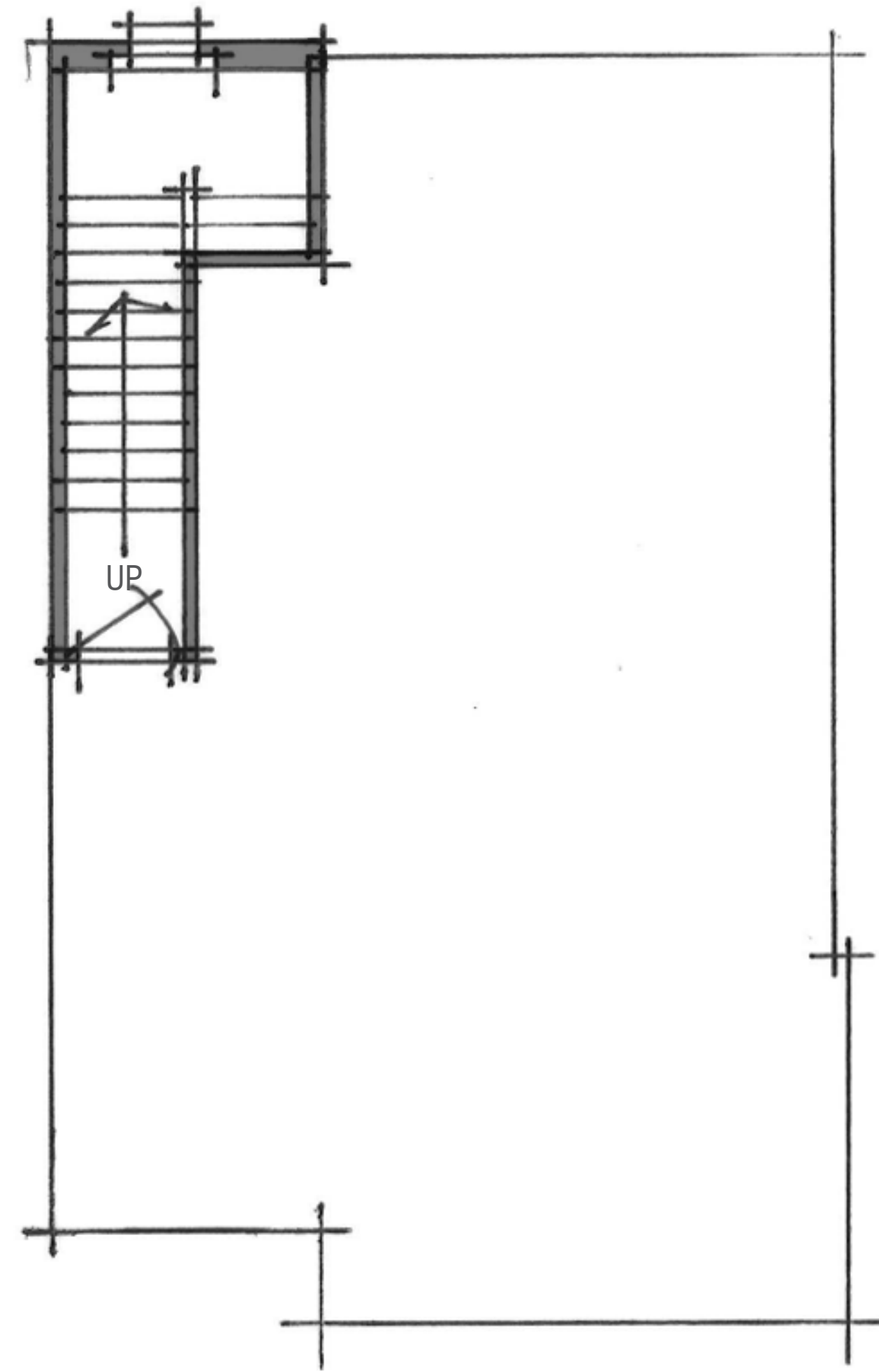
670 SF  
 1 Bedroom | 1 Bath  
 1-Car Garage

**PLAN 6 | Floor Plans**  
**88 VIVIAN STREET**  
 SAN RAFAEL, CA

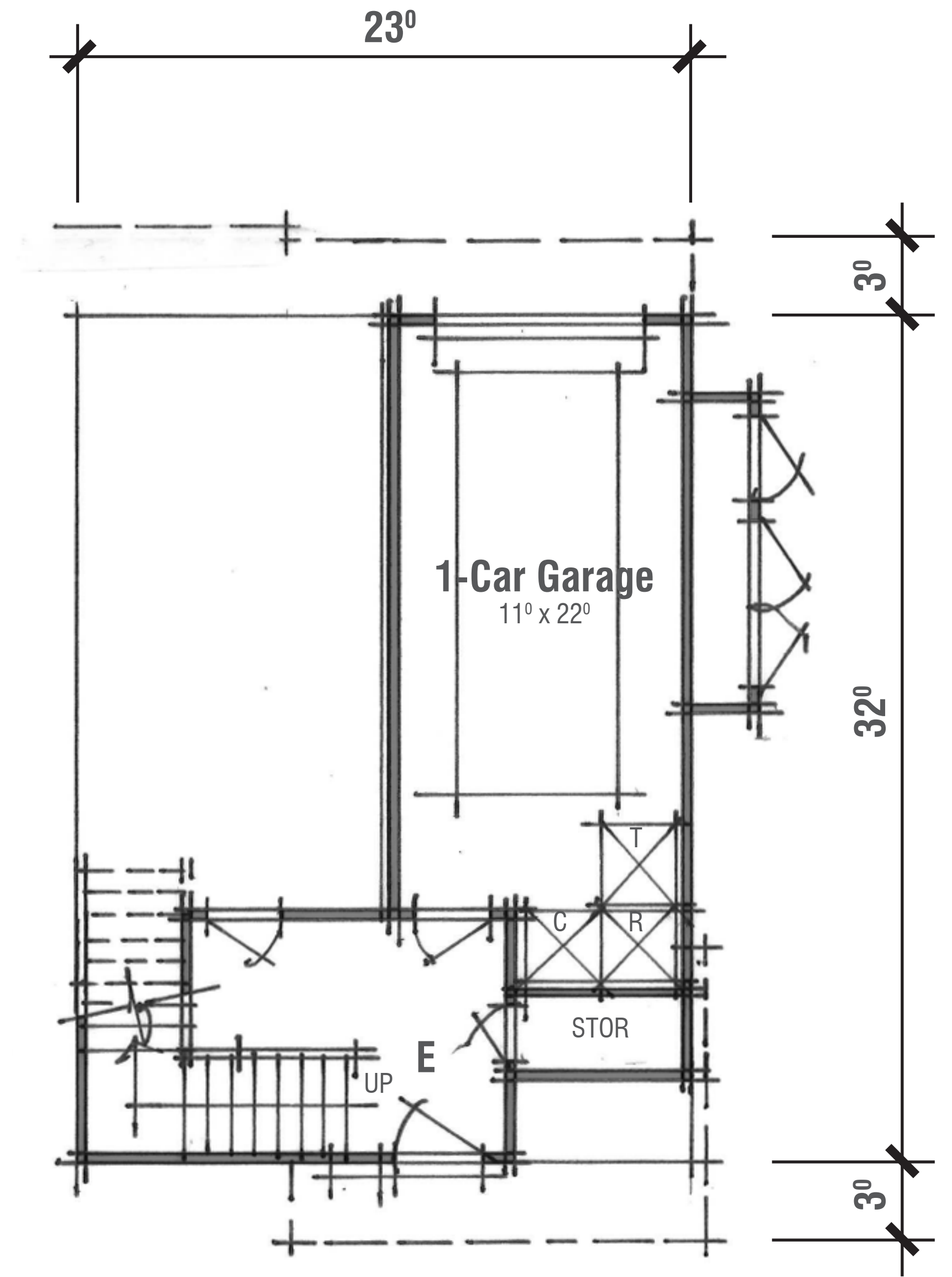




Third Level



Second Level

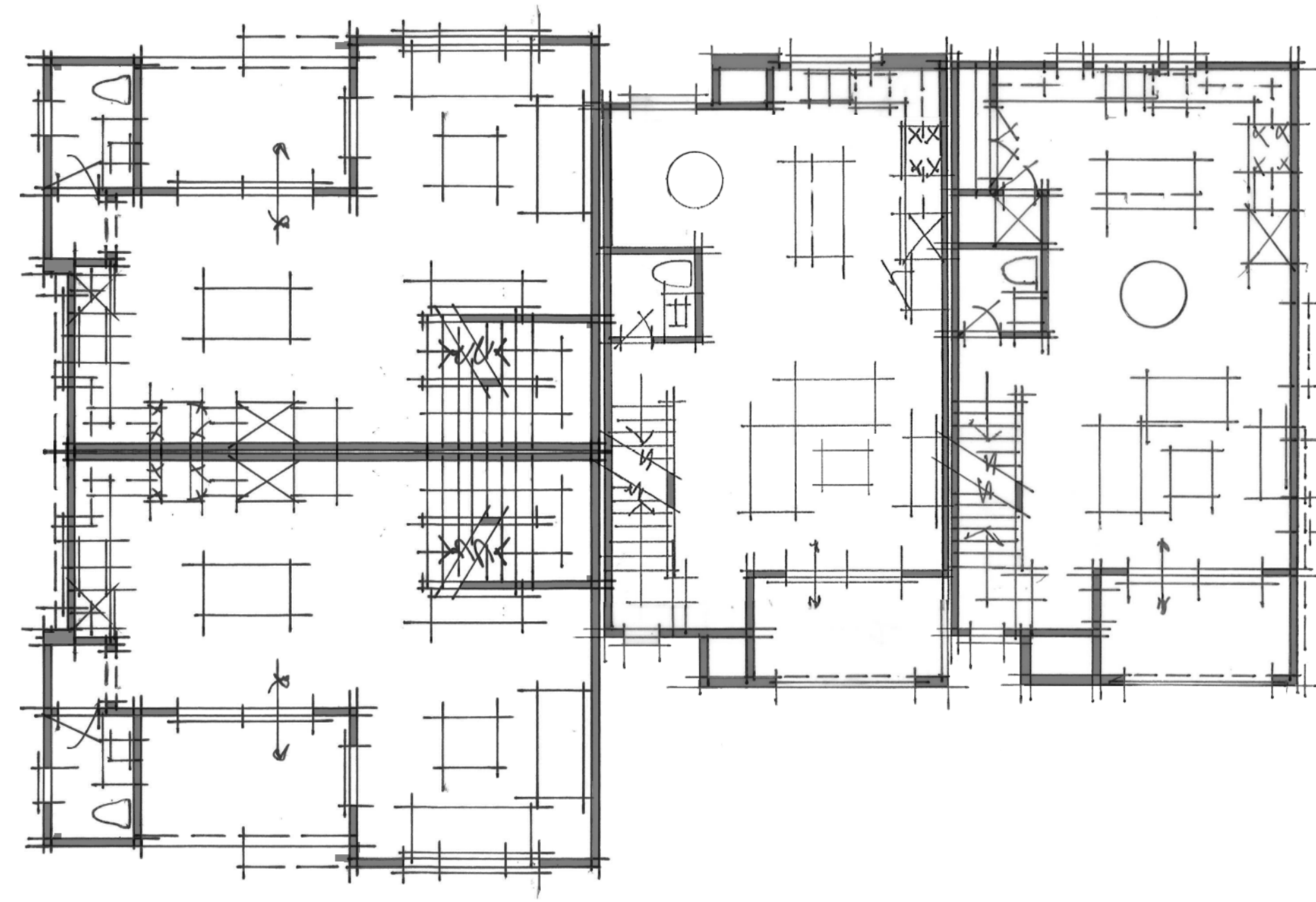


First Level

850 SF  
 1 Bedroom | 1 Bath | Office  
 1-Car Garage

**PLAN 7 | Floor Plans**  
**88 VIVIAN STREET**  
 SAN RAFAEL, CA

**PLAN 3**



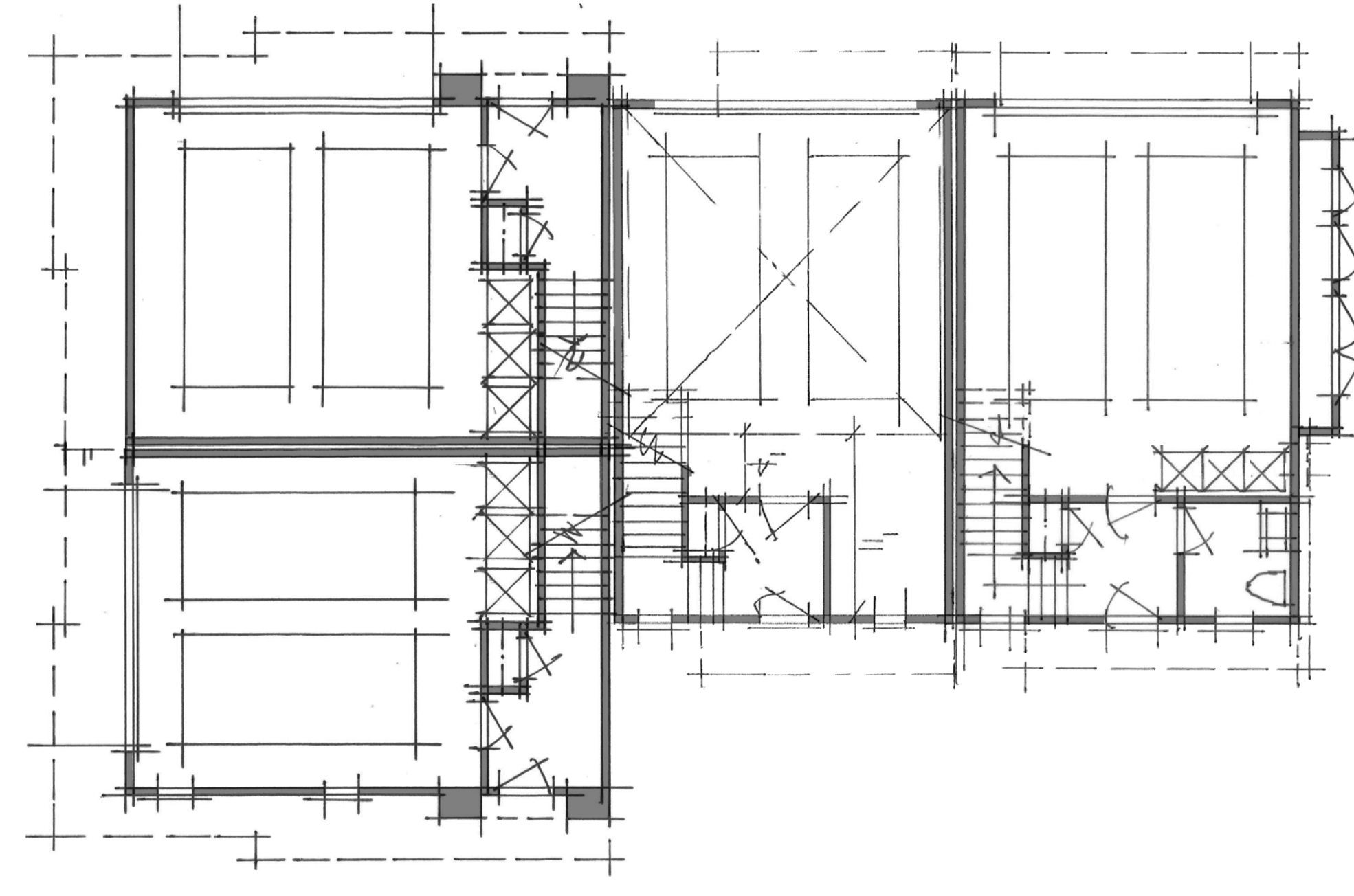
**Second Level**

**PLAN 3**

**PLAN 4**

**PLAN 5**

**PLAN 3**



**First Level**

**PLAN 3**

1,600 SF  
3 Bedroom | 2.5 Bath  
2-Car Garage

**PLAN 4**

1,496 SF  
2 Bedroom | 2.5 Bath  
2-Car Garage

**PLAN 5**

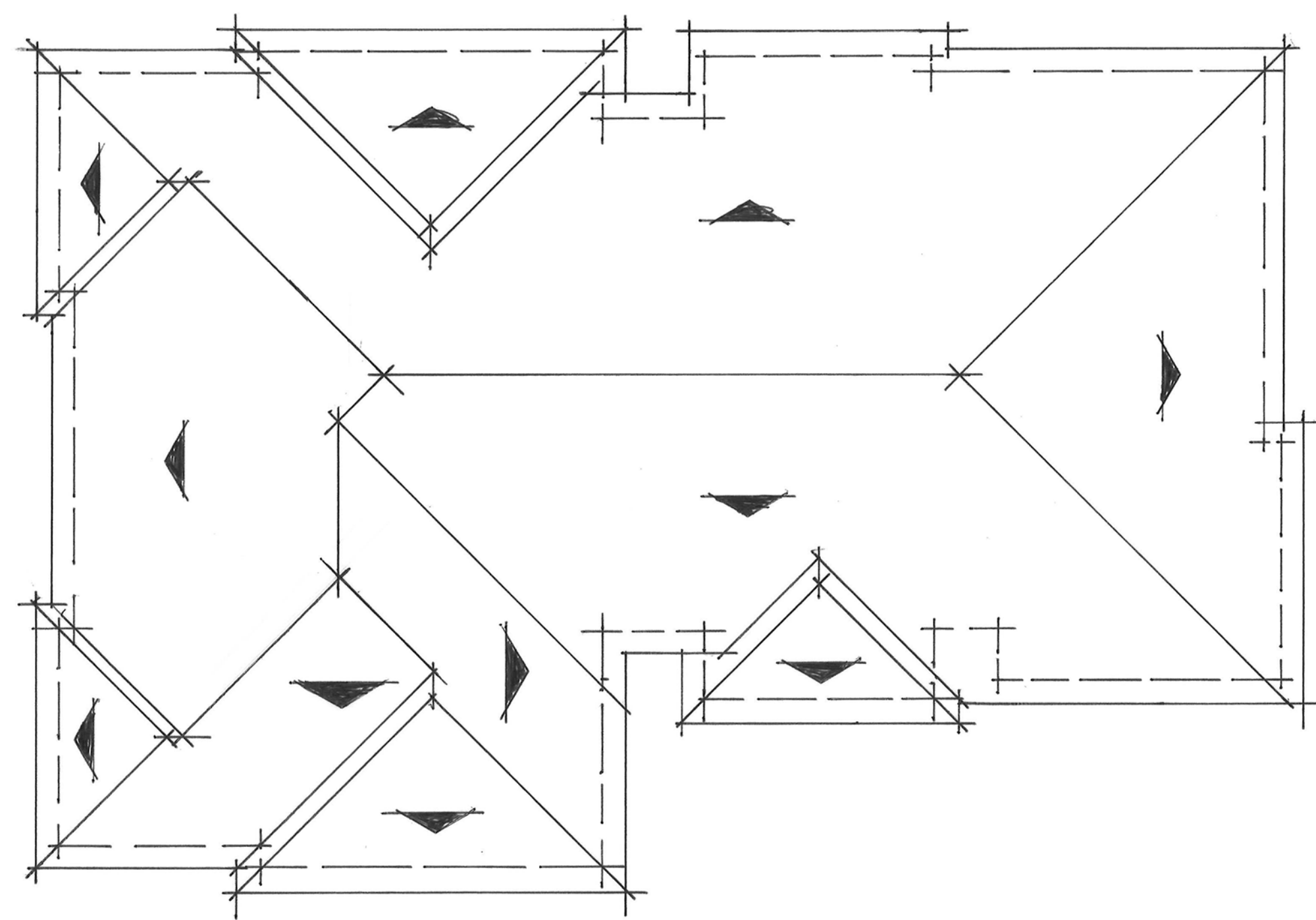
1,588 SF  
3 Bedroom | 2 Bath  
2 Pwdr.  
2-Car Garage

Occupancy: R3/U  
Consturction: VB  
Sprinkler System: NFPA 13D

**BUILDING 100 | Composite Floor Plans**

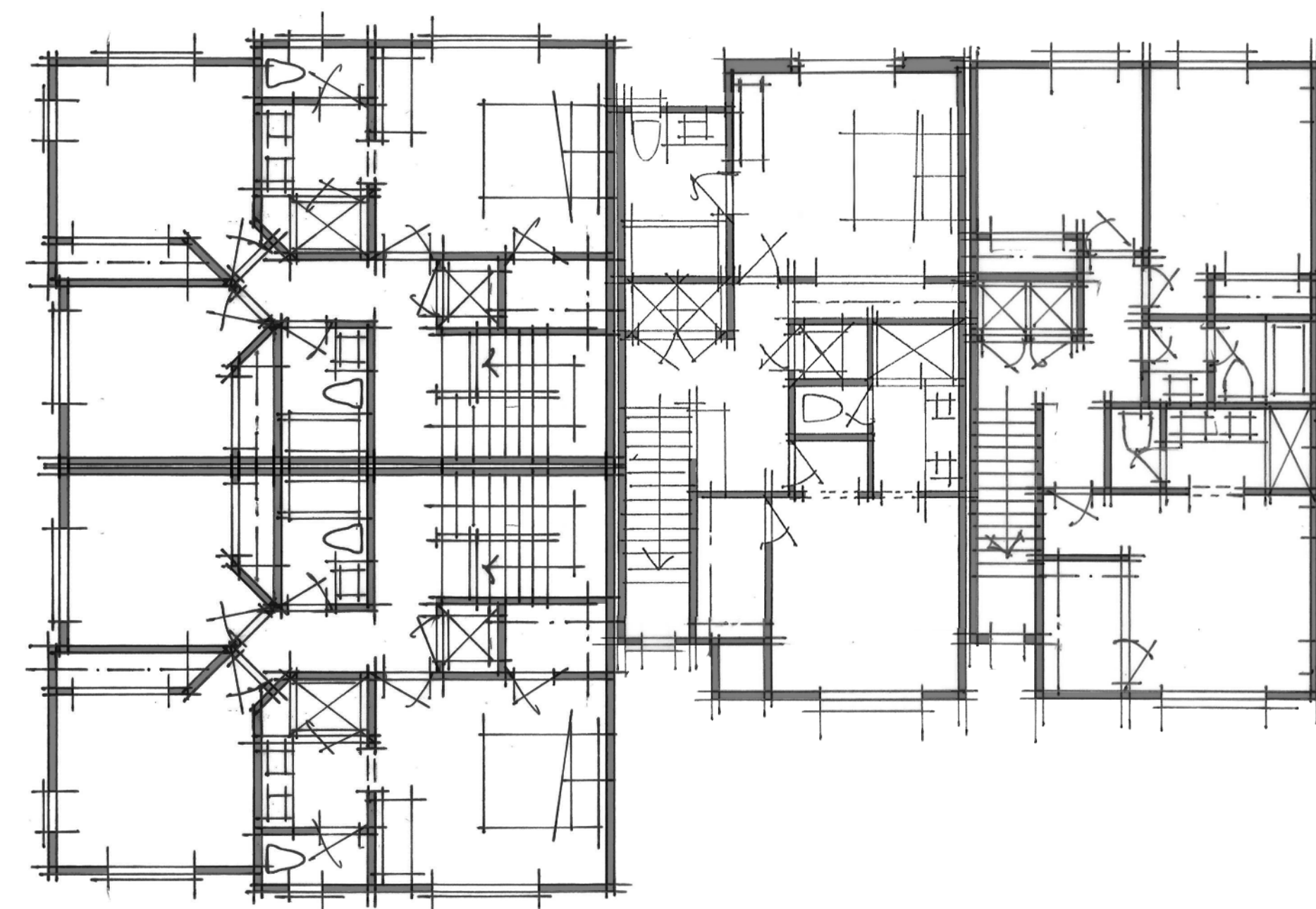
**88 VIVIAN STREET**

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**Roof Plan**

**PLAN 3**



**Third Level**

**PLAN 3**

**PLAN 4**

**PLAN 5**

Occupancy: R3/U  
 Consturction: VB  
 Sprinkler System: NFPA 13D

**BUILDING 100 | Composite Floor Plans / Roof Plan**

**88 VIVIAN STREET**

SAN RAFAEL, CA

**ASHTON 3**

0 4 8 16  
**A1.9**

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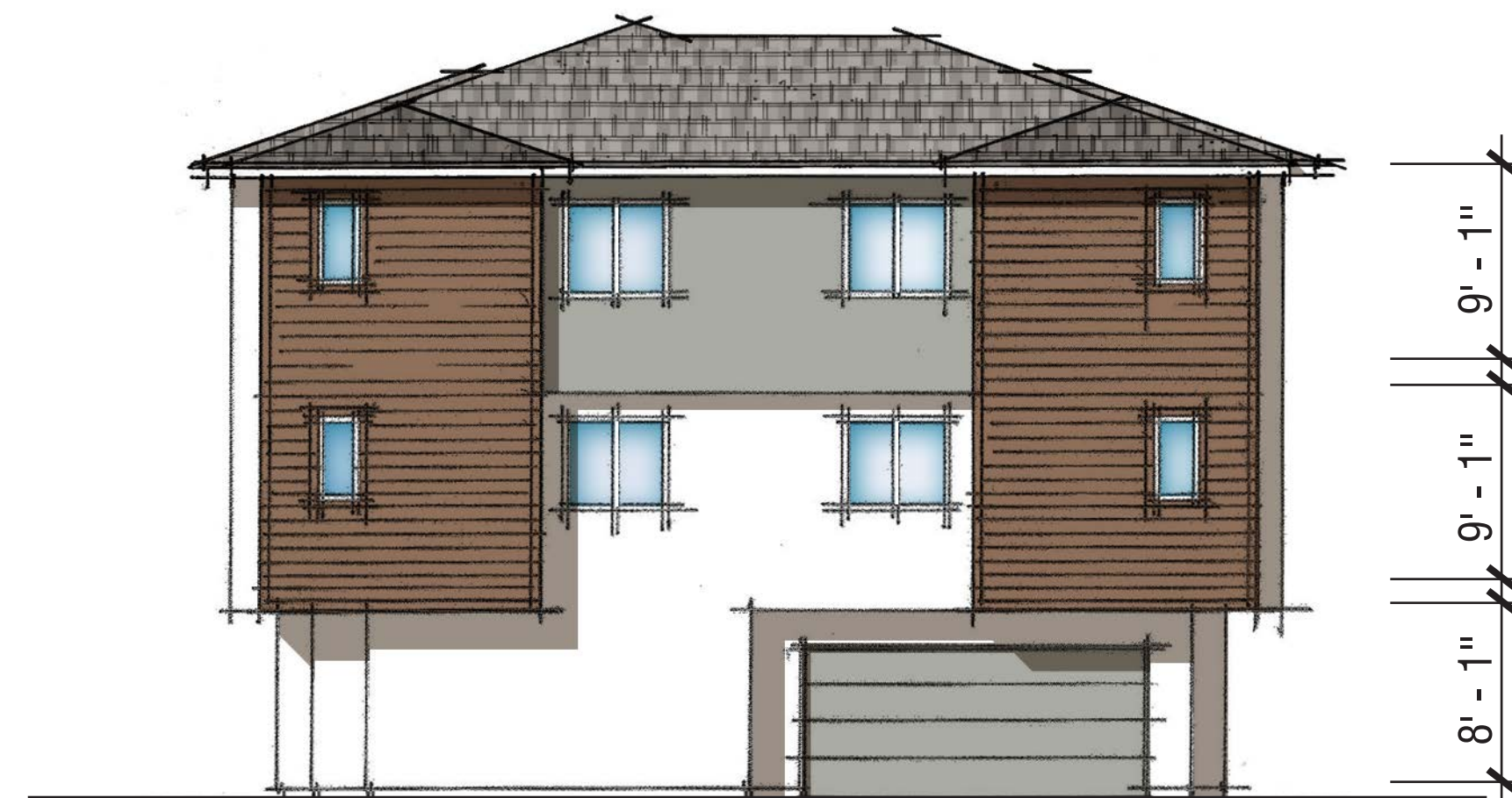
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Right



Rear



Left



SCHEME# 2

**MATERIAL**

Front

- Roof: Concrete Tile Roof
- Fascia: 2X Wood
- Exterior: Stucco with Lap Siding
- Window & Door Trim: Foam and Wood Trim
- Entry Door: Decorative Front Entry Door
- Garage Door: Metal Roll-Up Garage Door

**BUILDING 100 | Exterior Elevations**

**88 VIVIAN STREET**

SAN RAFAEL, CA

**ASHTON 3**

Note: Artist's Conception; Colors, Materials and Application May Vary.

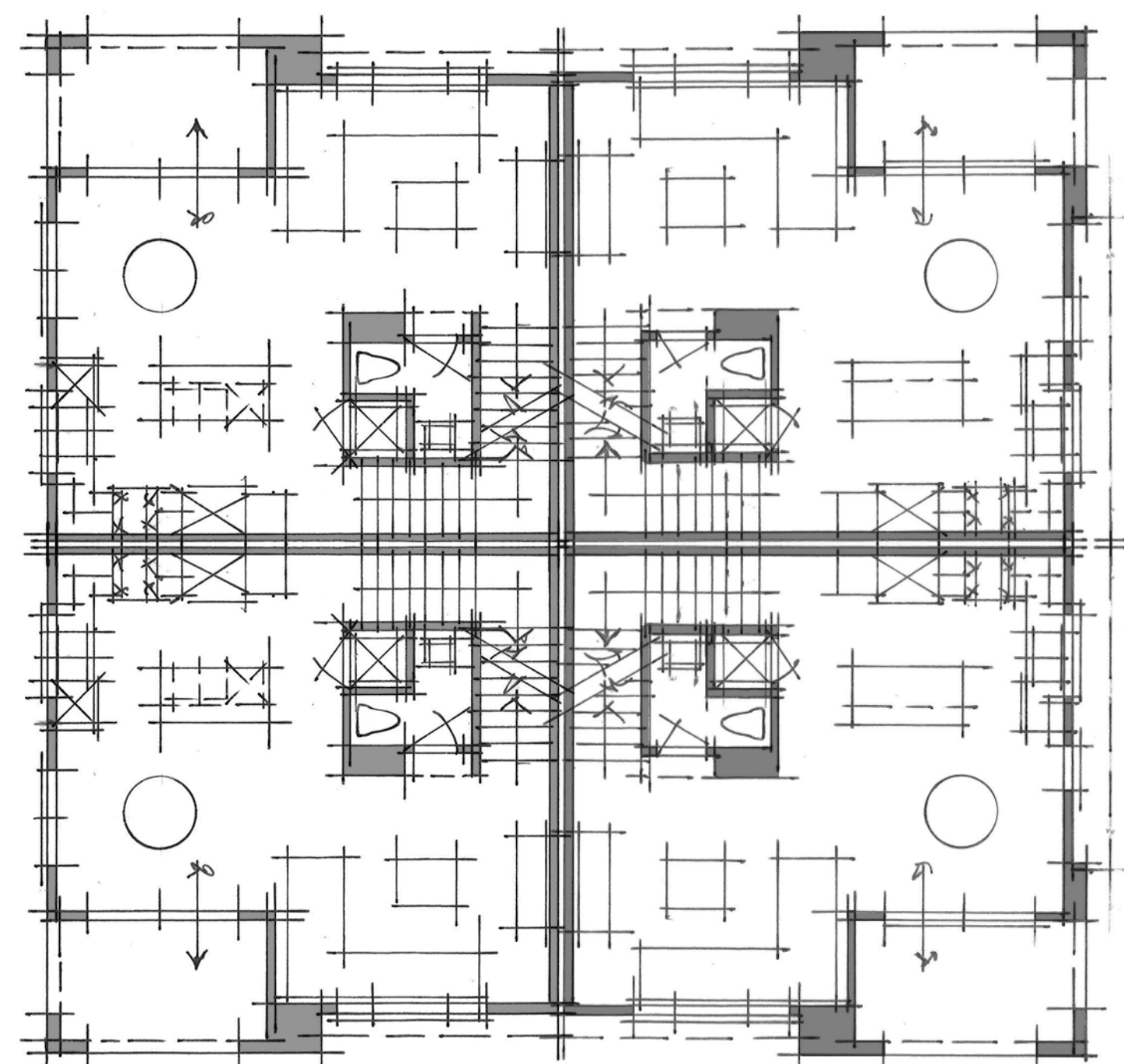
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PLAN 1

PLAN 2



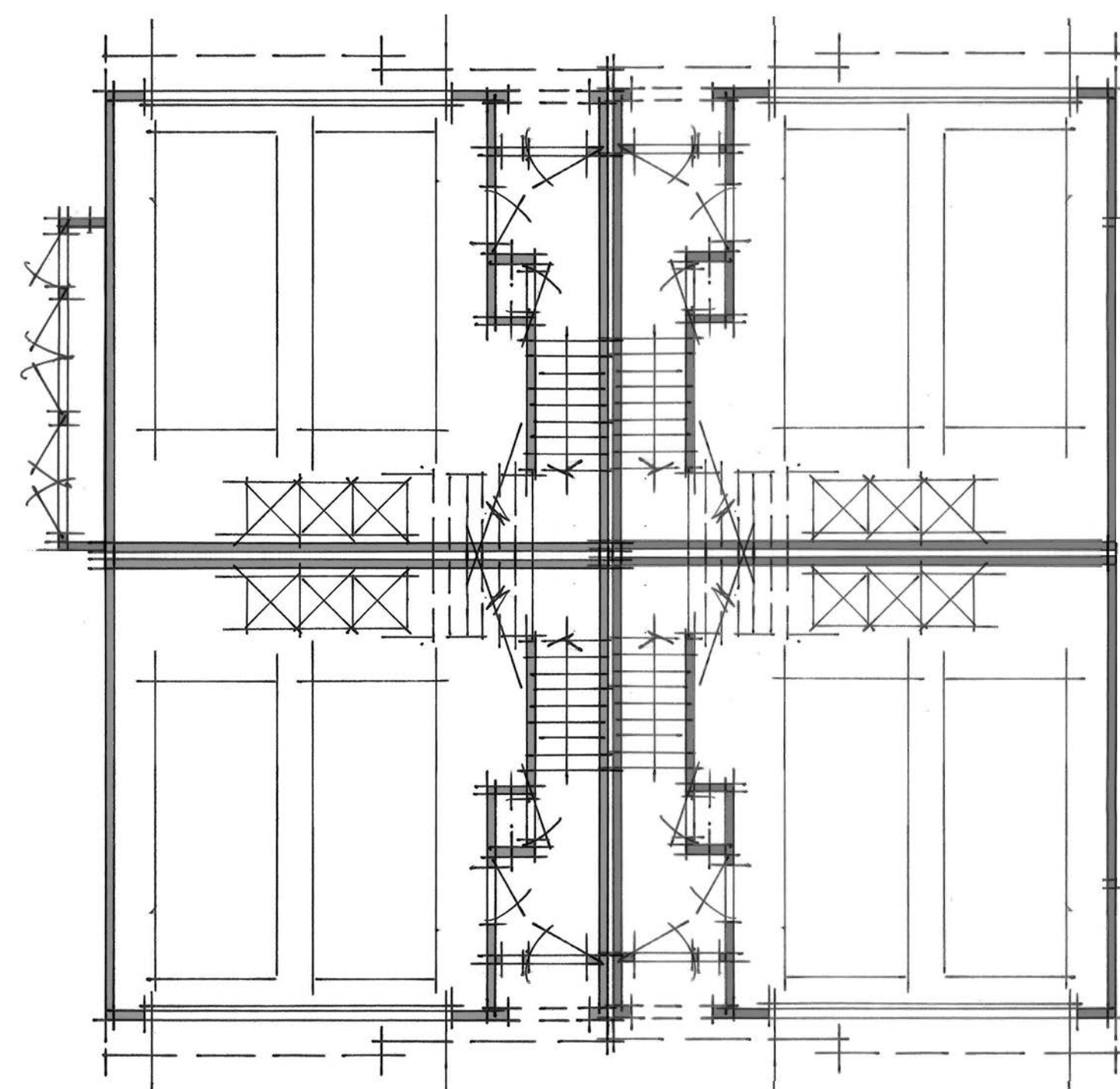
Second Level

PLAN 1

PLAN 2

PLAN 1

PLAN 2



First Level

PLAN 1

PLAN 2

1,415 SF  
2 Bedroom | 2.5 Bath  
2-Car Garage

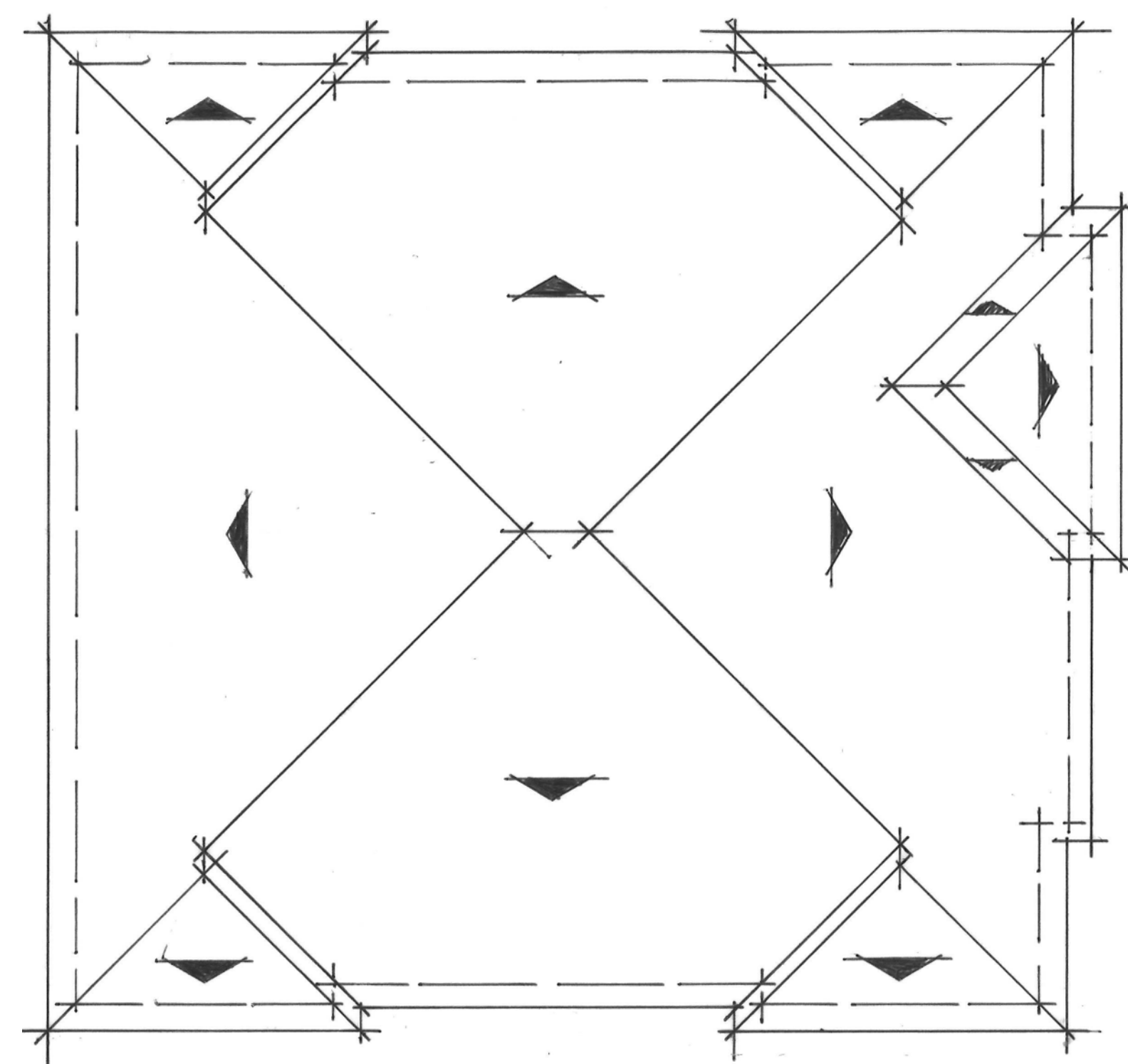
1,450 SF  
3 Bedroom | 2.5 Bath  
2-Car Garage

Occupancy: R3/U  
Consturction: VB  
Sprinkler System: NFPA 13D

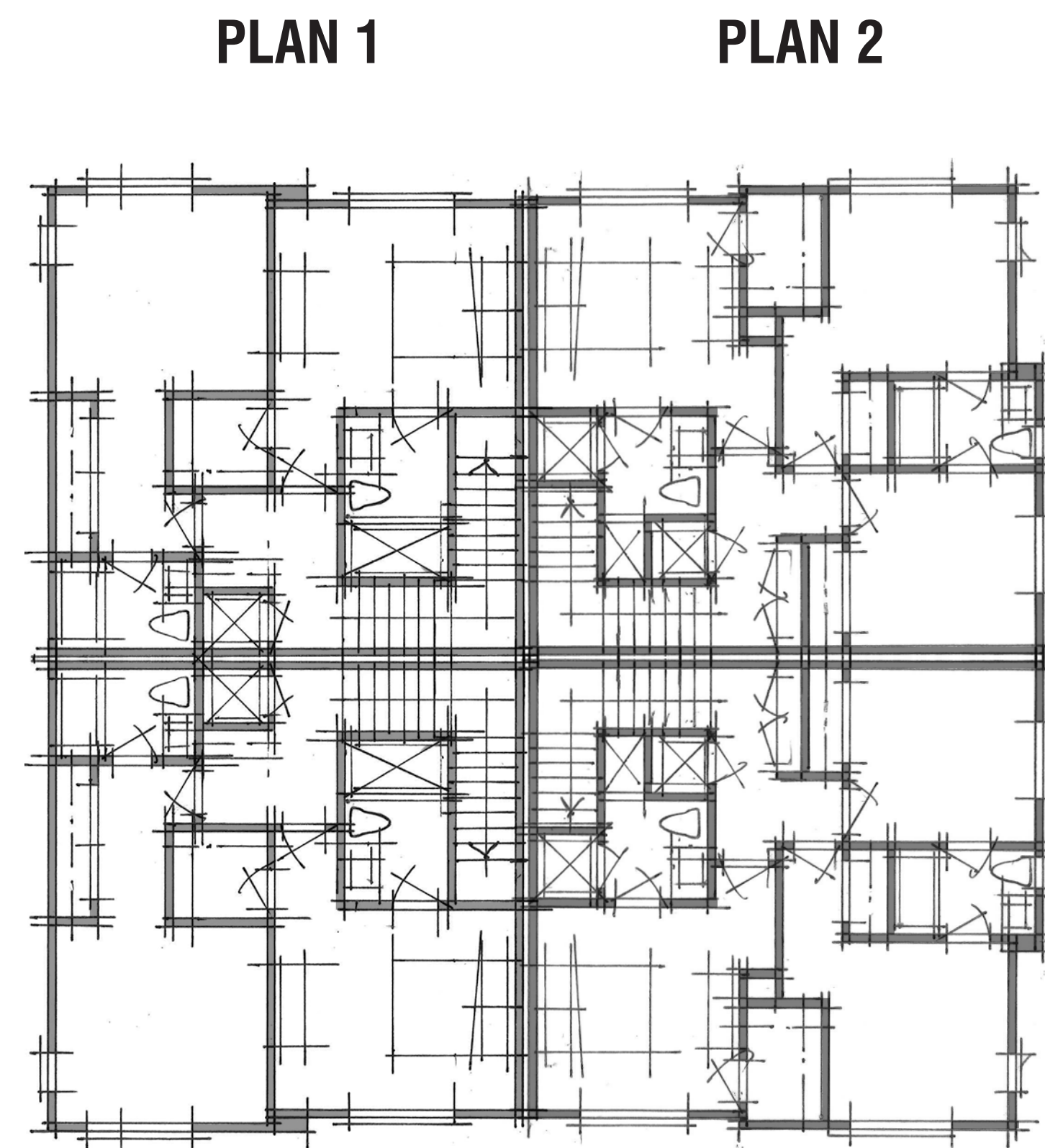
**BUILDING 200 | Composite Floor Plans**

**88 VIVIAN STREET**

SAN RAFAEL, CA



**Roof Plan**



**PLAN 1**

**PLAN 2**

**Third Level**

**PLAN 1**

**PLAN 2**

Occupancy: R3/U  
 Consturction: VB  
 Sprinkler System: NFPA 13D

**BUILDING 200 | Composite Floor Plans / Roof Plan**

**88 VIVIAN STREET**

SAN RAFAEL, CA

**ASHTON 3**

0 4 8 16  
**A1.12**  
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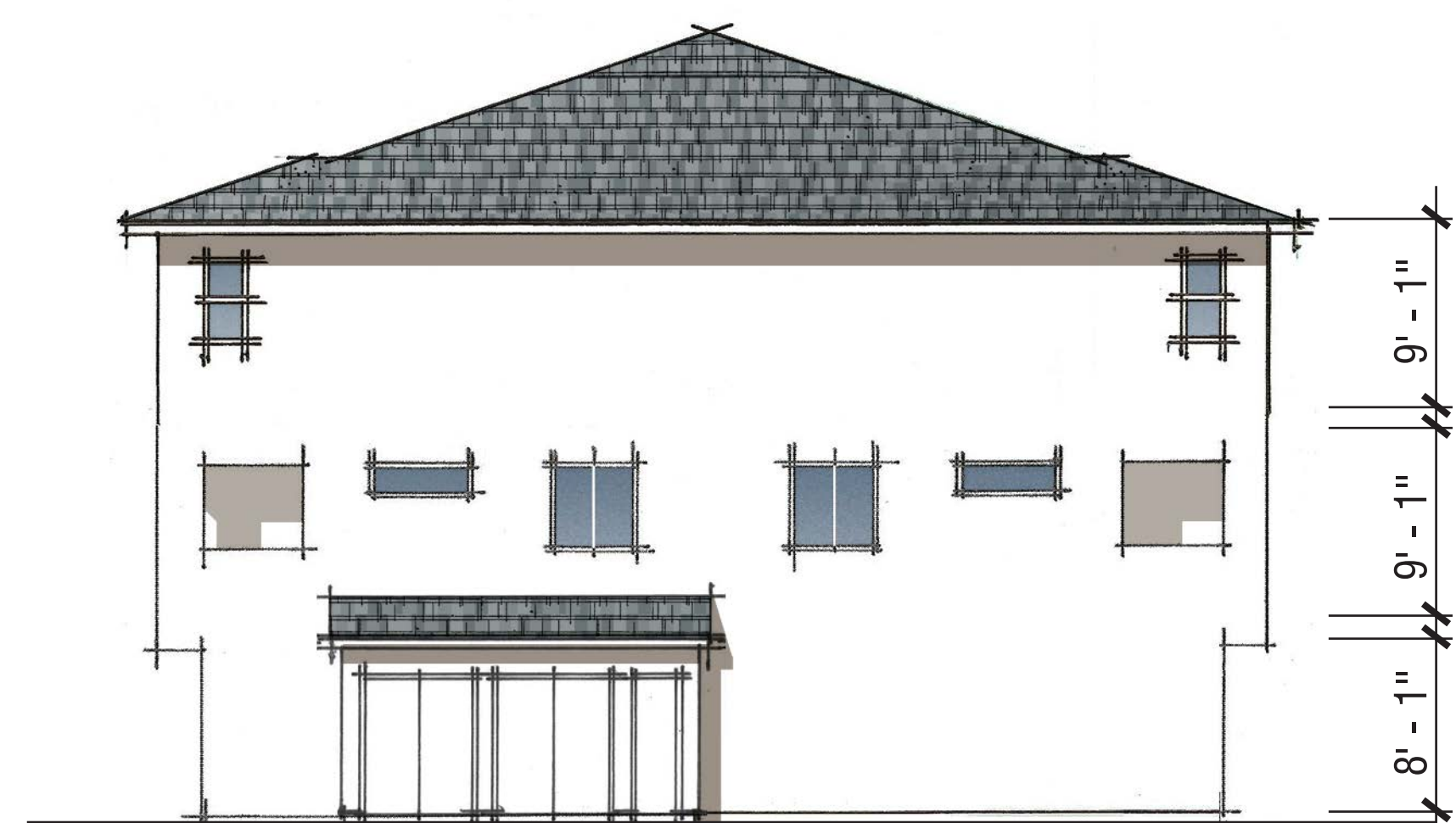
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**WHA.**  
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Right



Rear



Left



SCHEME# 1

**MATERIAL**

Front

- Roof: Concrete Tile Roof
- Fascia: 2X Wood
- Exterior: Stucco with Lap Siding
- Window & Door Trim: Foam and Wood Trim
- Entry Door: Decorative Front Entry Door
- Garage Door: Metal Roll-Up Garage Door

**BUILDING 200 | Exterior Elevations**

**88 VIVIAN STREET**

SAN RAFAEL, CA

**ASHTON 3**

Note: Artist's Conception; Colors, Materials and Application May Vary.

A1.13  
0 4 8 16  
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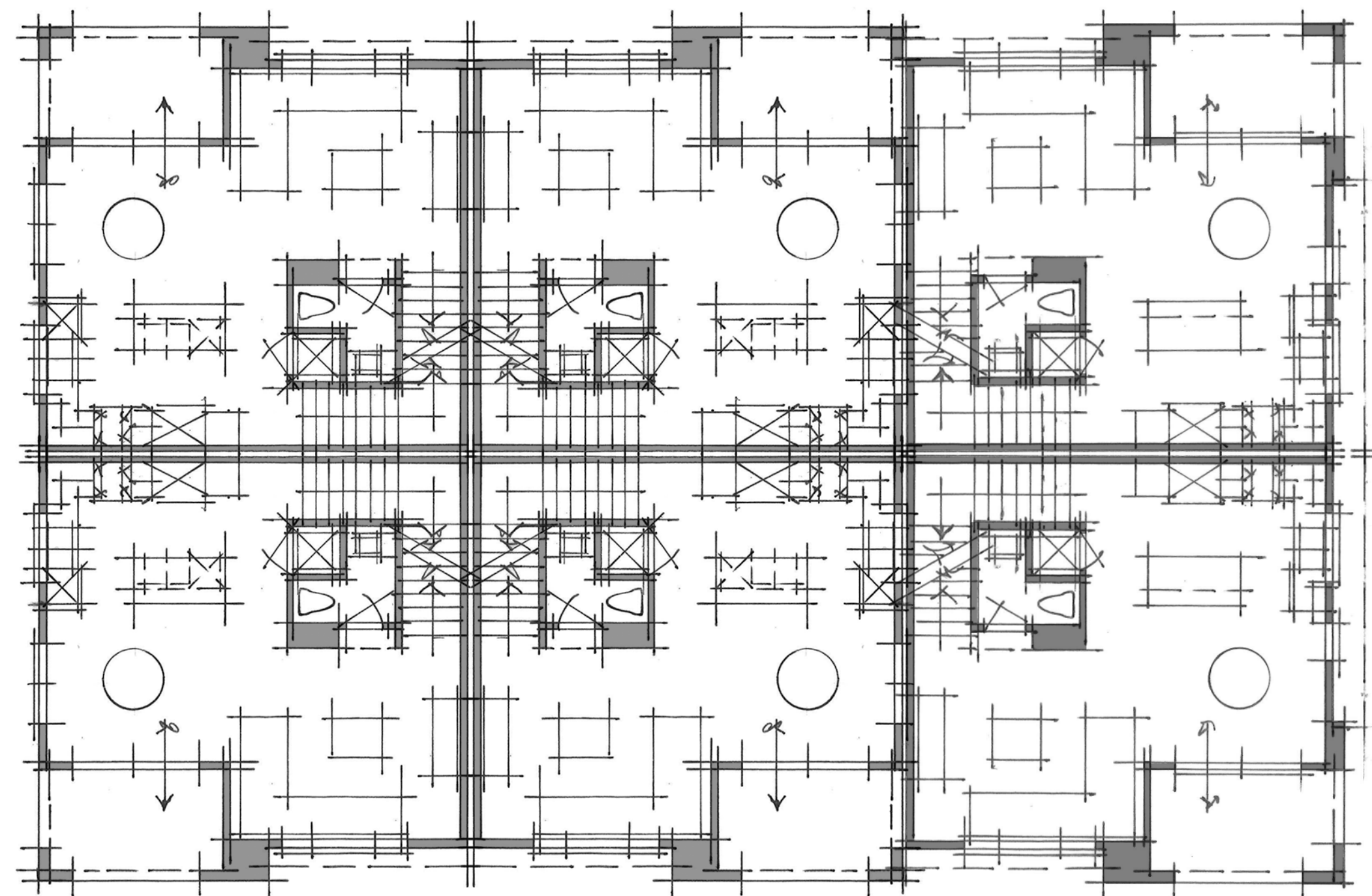
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PLAN 1

PLAN 1

PLAN 2



Second Level

PLAN 1

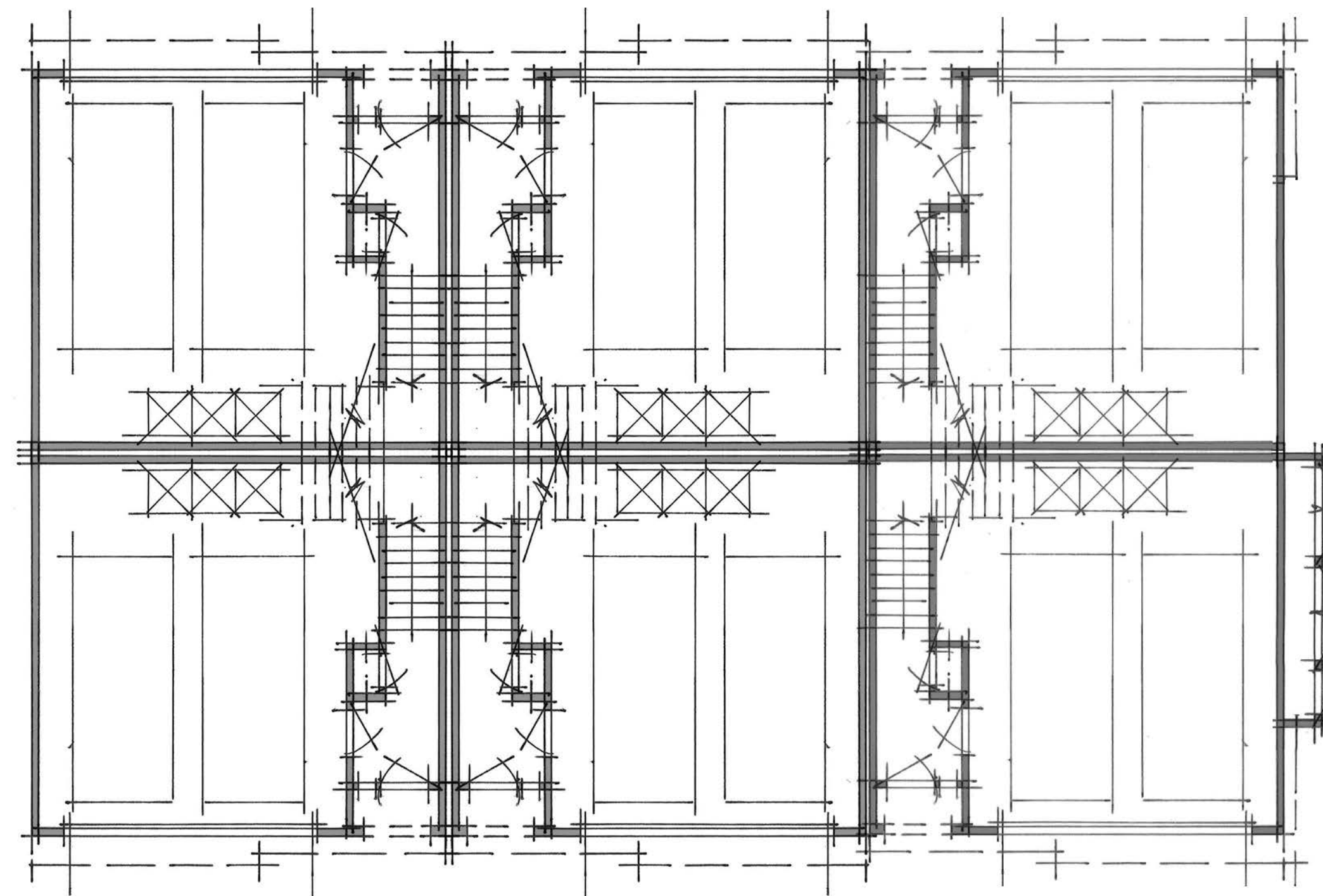
PLAN 1

PLAN 2

PLAN 1

PLAN 1

PLAN 2



First Level

PLAN 1

1,415 SF  
2 Bedroom | 2.5 Bath  
2-Car Garage

PLAN 1

PLAN 2

1,450 SF  
3 Bedroom | 2.5 Bath  
2-Car Garage

Occupancy: R2/U  
Consturction: VB  
Sprinkler System: NFPA 13

### BUILDING 300 | Composite Floor Plans

## 88 VIVIAN STREET

SAN RAFAEL, CA

# ASHTON 3

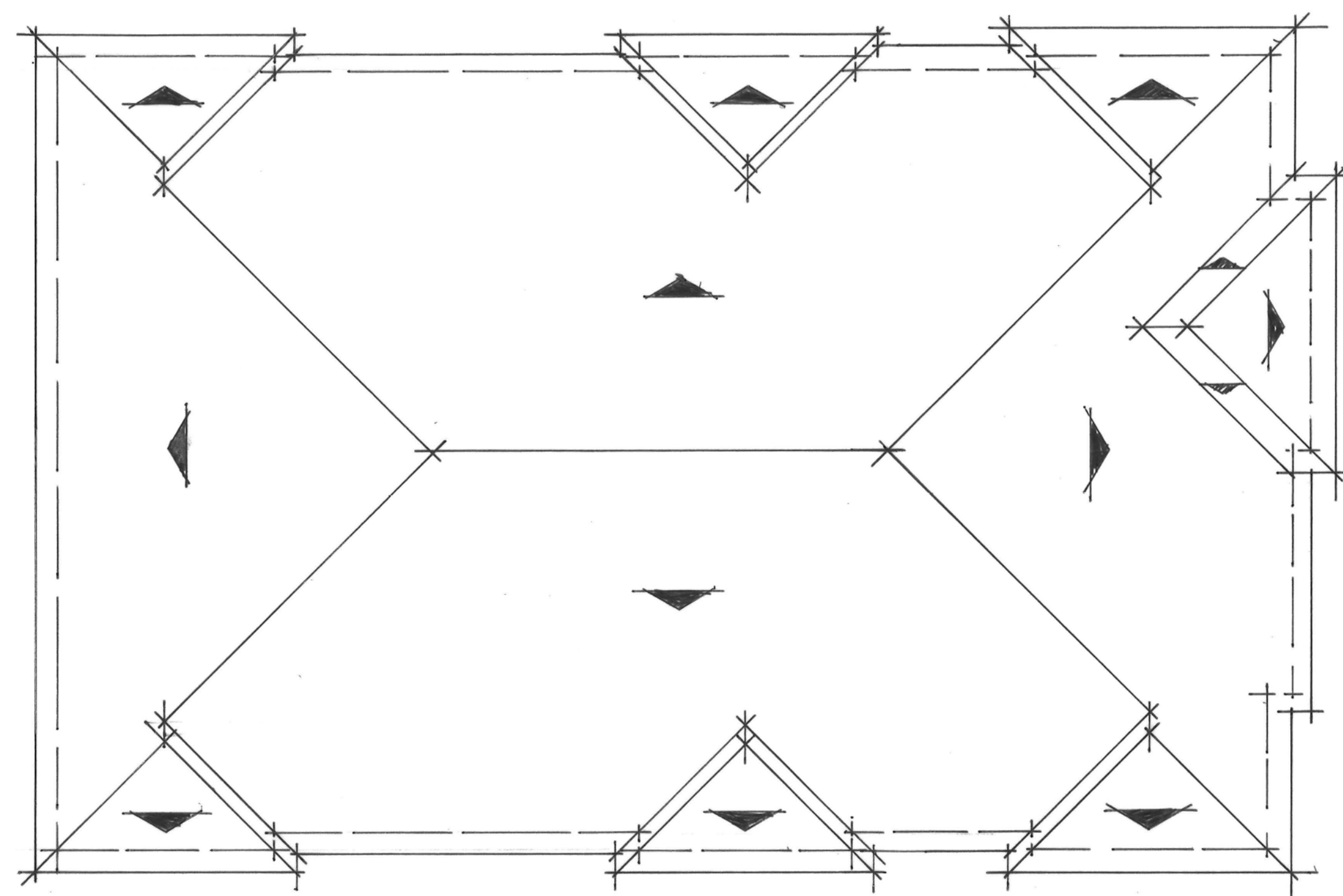
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DRB SUBMITTAL

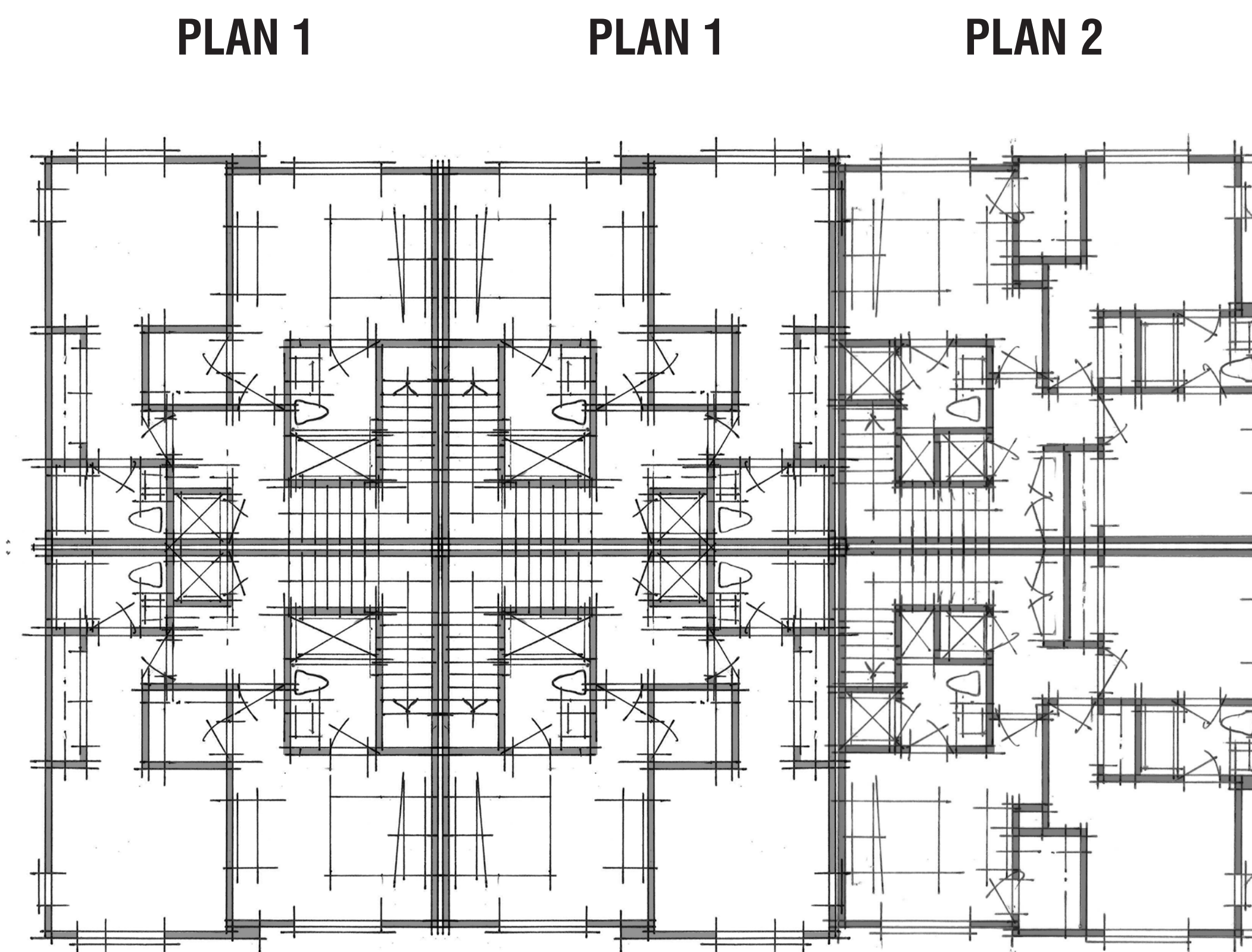
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**WHA.**  
ORANGE COUNTY . LOS ANGELES . BAY AREA





**Roof Plan**



**PLAN 1**

**PLAN 1**

**PLAN 2**

**Third Level**

**PLAN 1**

**PLAN 1**

**PLAN 2**

Occupancy: R2/U  
 Consturction: VB  
 Sprinkler System: NFPA 13

**BUILDING 300 | Composite Floor Plans / Roof Plan**

**88 VIVIAN STREET**

SAN RAFAEL, CA

**ASHTON 3**

0 4 8 16  
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**DRB SUBMITTAL**

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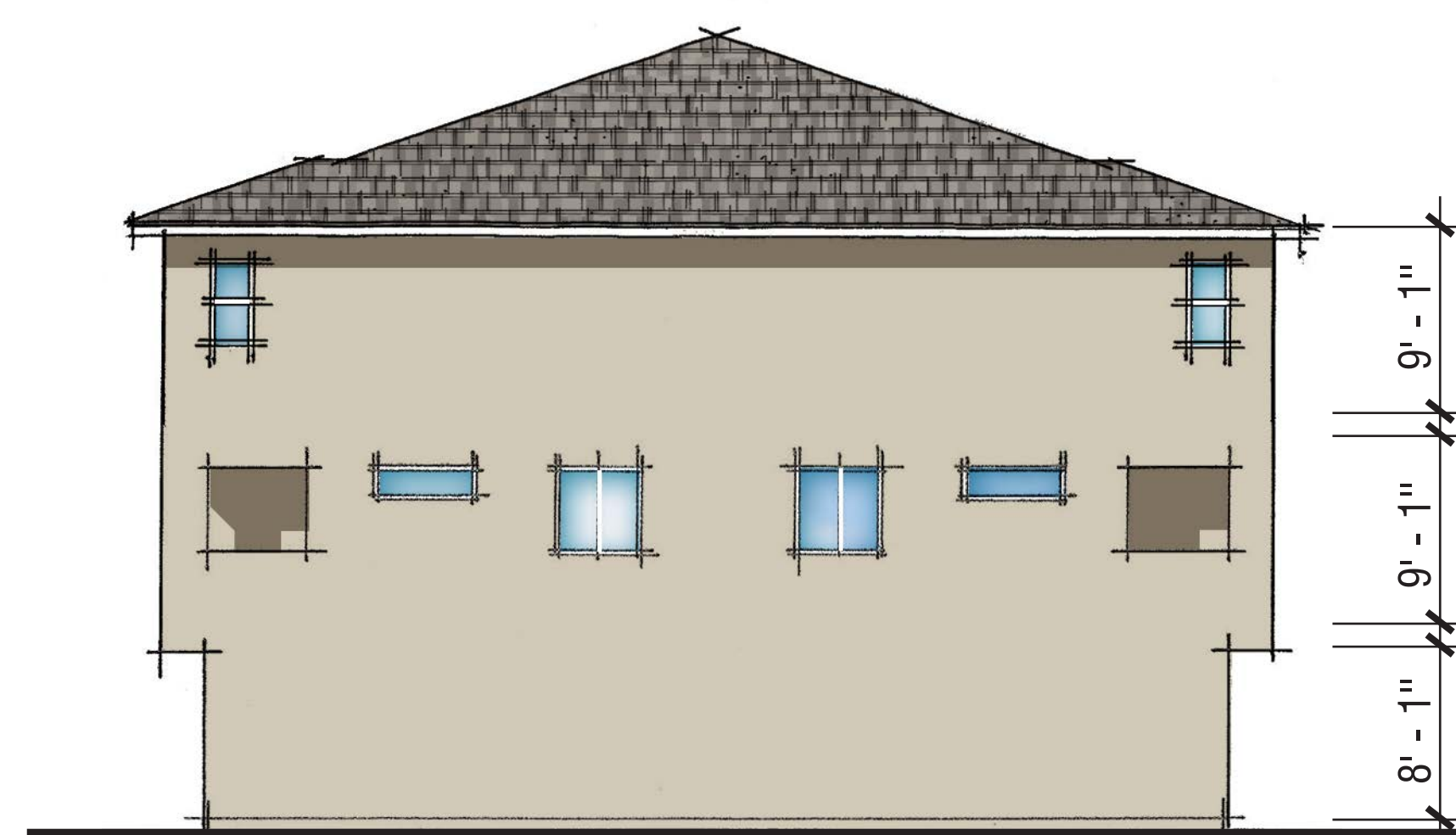
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**WHA.**  
 ORANGE COUNTY . LOS ANGELES . BAY AREA



Right



Rear



Left



SCHEME# 2

Front

**MATERIAL**

- Roof: Concrete Tile Roof
- Fascia: 2X Wood
- Exterior: Stucco with Lap Siding
- Window & Door Trim: Foam and Wood Trim
- Entry Door: Decorative Front Entry Door
- Garage Door: Metal Roll-Up Garage Door

**BUILDING 300 | Exterior Elevations**

**88 VIVIAN STREET**

SAN RAFAEL, CA

**ASHTON 3**

Note: Artist's Conception; Colors, Materials and Application May Vary.

0 4 8 16  
A1.16

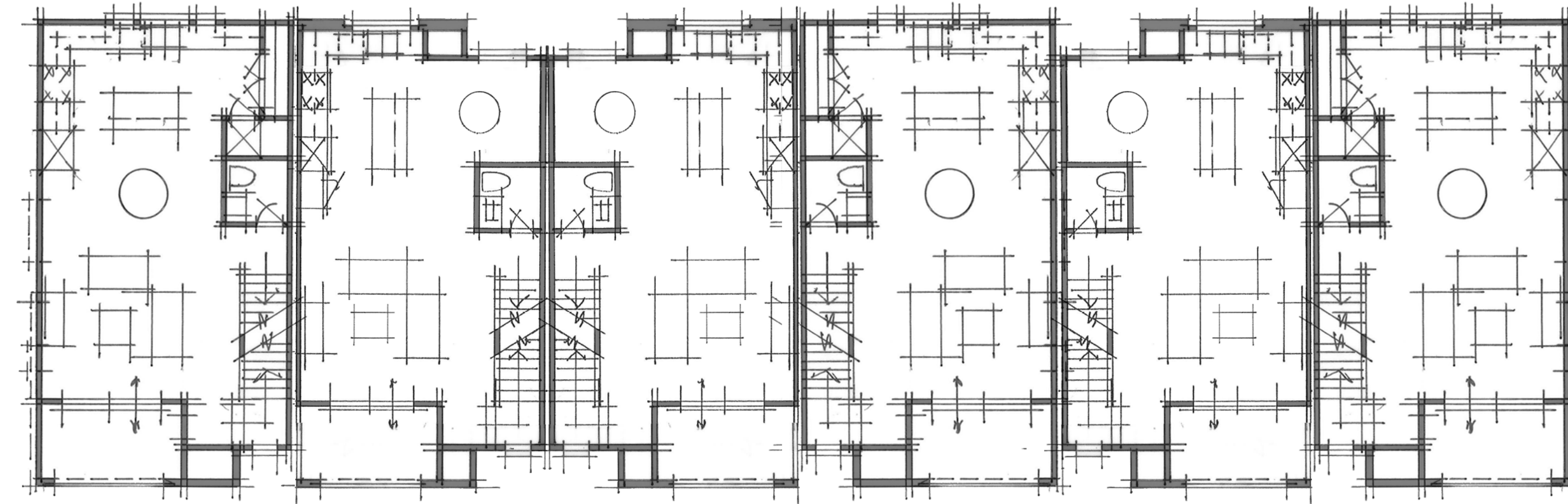
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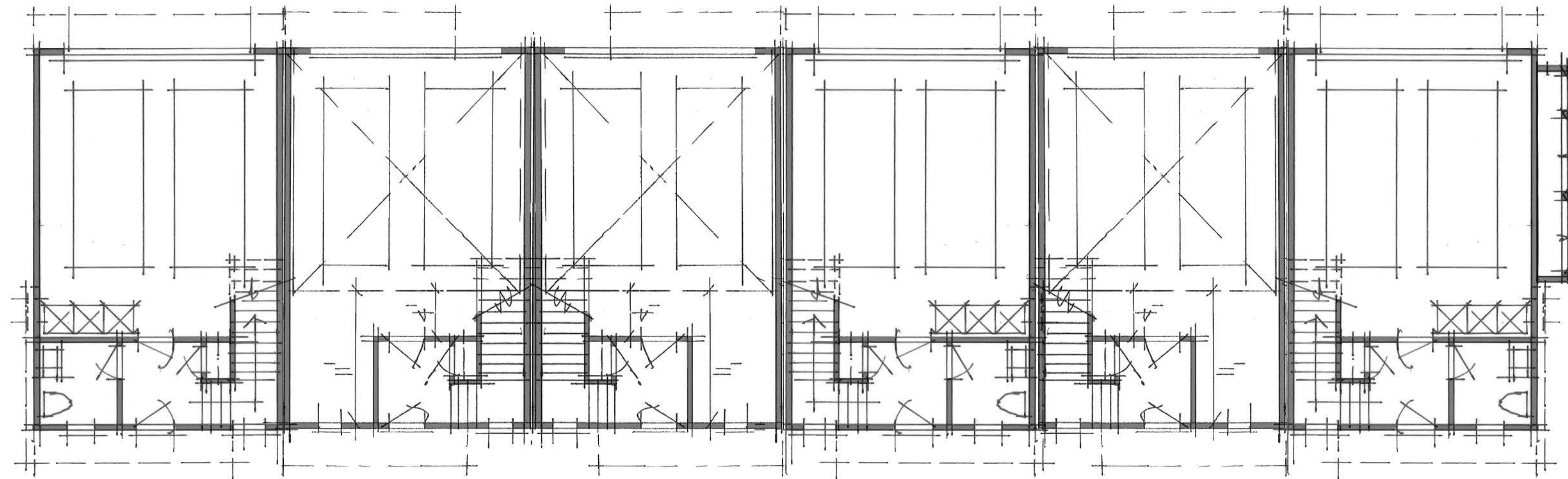
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**WHA.**

ORANGE COUNTY . LOS ANGELES . BAY AREA



**Second Level**



**First Level**

**PLAN 5**

**PLAN 4**

**PLAN 4**

**PLAN 5**

**PLAN 4**

**PLAN 5**

1,496 SF  
2 Bedroom | 2.5 Bath  
2-Car Garage

1,588 SF  
3 Bedroom | 2 Bath  
2 Pwdr.  
2-Car Garage

Occupancy: R3/U  
Consturction: VB  
Sprinkler System: NFPA 13D

**BUILDING 400 | Composite Floor Plans**

**88 VIVIAN STREET**

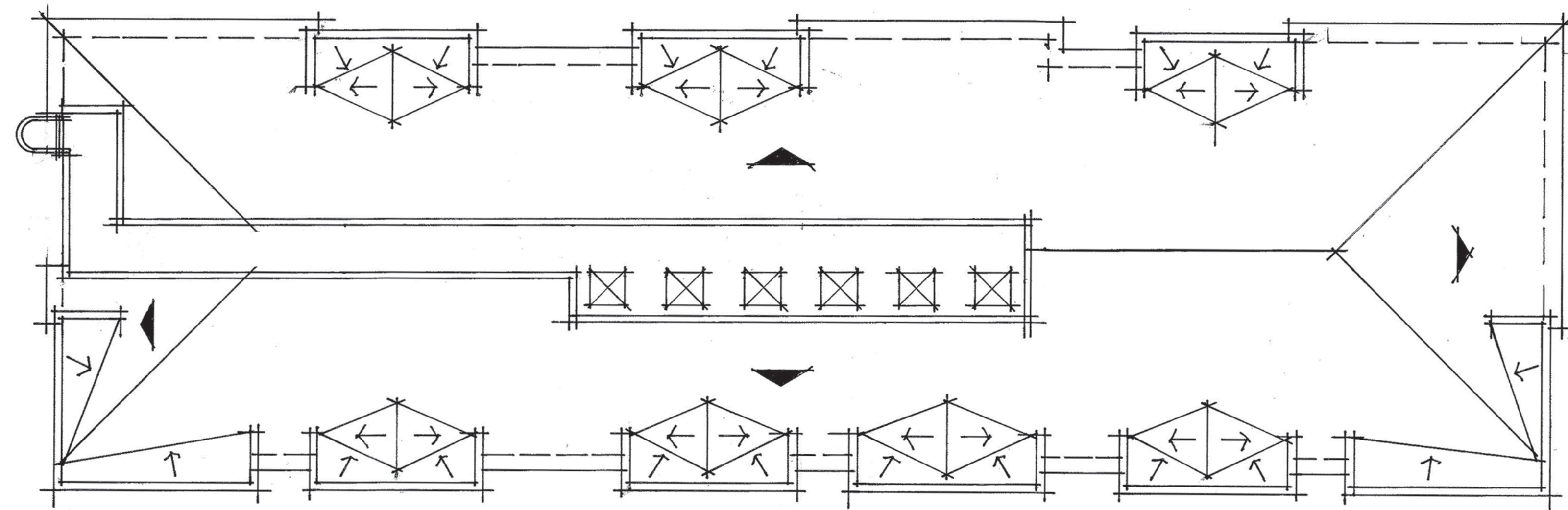
SAN RAFAEL, CA

**ASHTON 3**

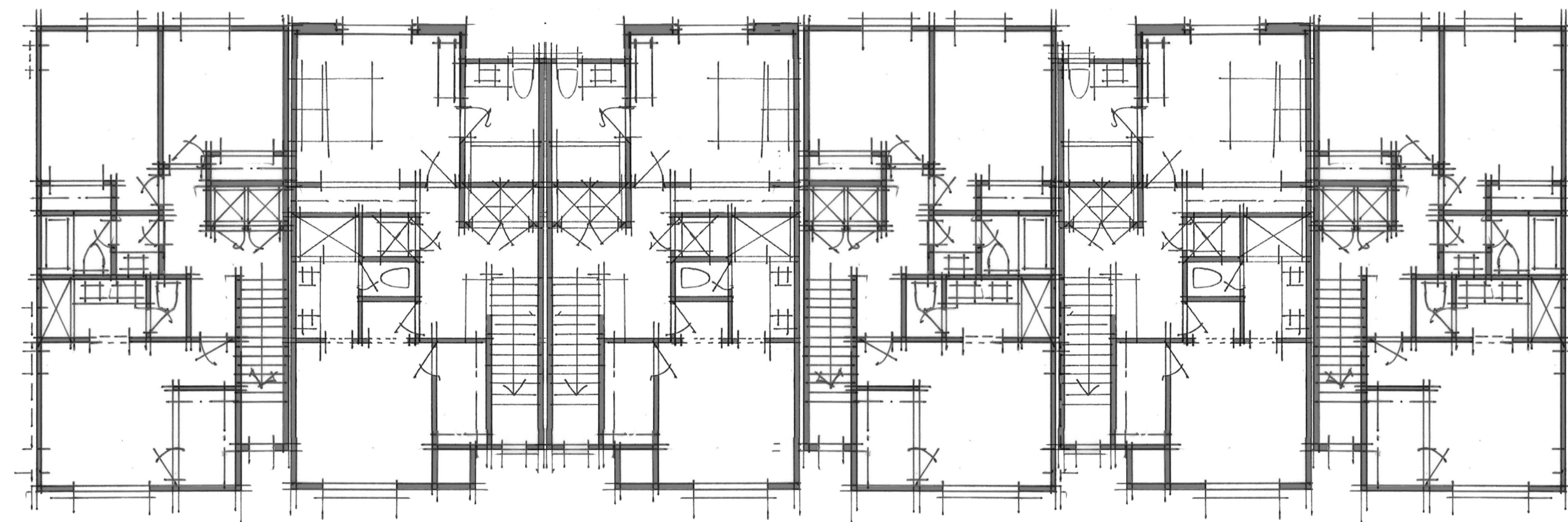
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**WHA.**  
ORANGE COUNTY . LOS ANGELES . BAY AREA



**Roof Plan**



**Third Level**

**PLAN 5**

**PLAN 4**

**PLAN 4**

**PLAN 5**

**PLAN 4**

**PLAN 5**

1,496 SF  
2 Bedroom | 2.5 Bath  
2-Car Garage

1,588 SF  
3 Bedroom | 2 Bath  
2 Pwdr.  
2-Car Garage

Occupancy: R3/U  
Consturction: VB  
Sprinkler System: NFPA 13D

**BUILDING 400 | Composite Floor Plans / Roof Plan**

**88 VIVIAN STREET**

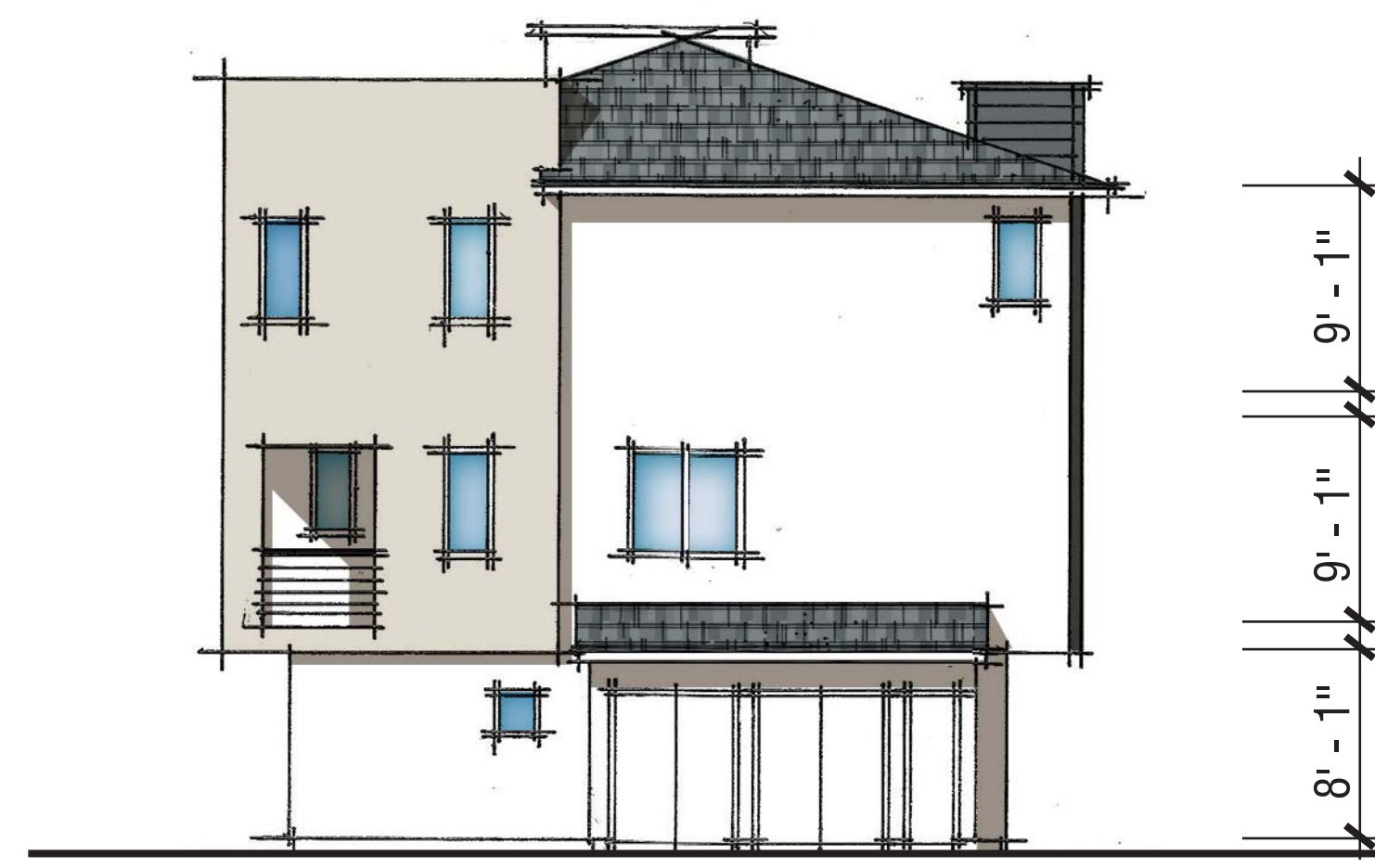
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**ASHTON 3**

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**DRB SUBMITTAL**

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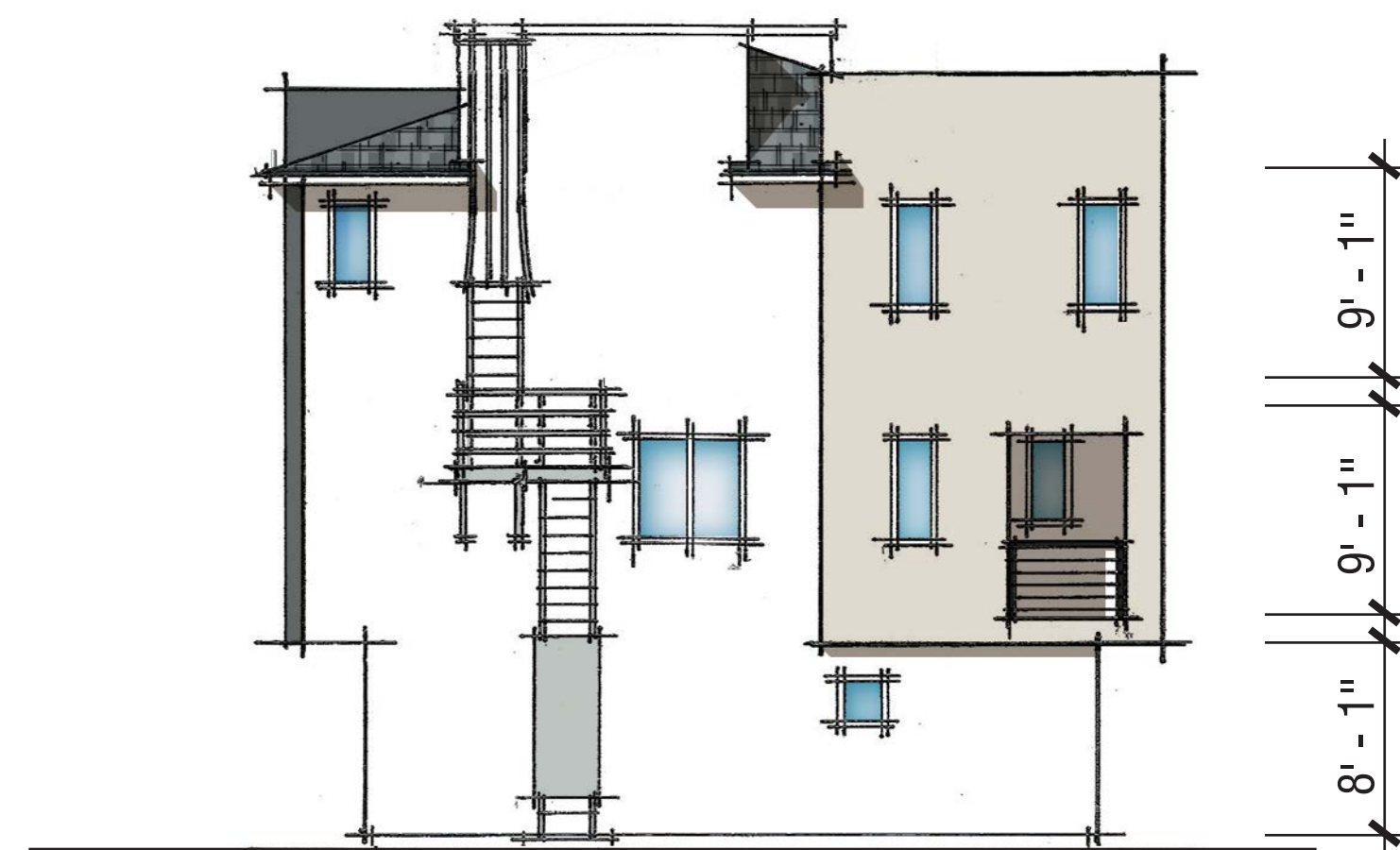
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**WHA.**  
ORANGE COUNTY . LOS ANGELES . BAY AREA



Right



Rear



Left



SCHEME# 1

Front

**MATERIAL**

- Roof: Concrete Tile Roof
- Fascia: 2X Wood
- Exterior: Stucco with Lap Siding
- Window & Door Trim: Foam and Wood Trim
- Entry Door: Decorative Front Entry Door
- Garage Door: Metal Roll-Up Garage Door

**BUILDING 400 | Exterior Elevations**

**88 VIVIAN STREET**

SAN RAFAEL, CA

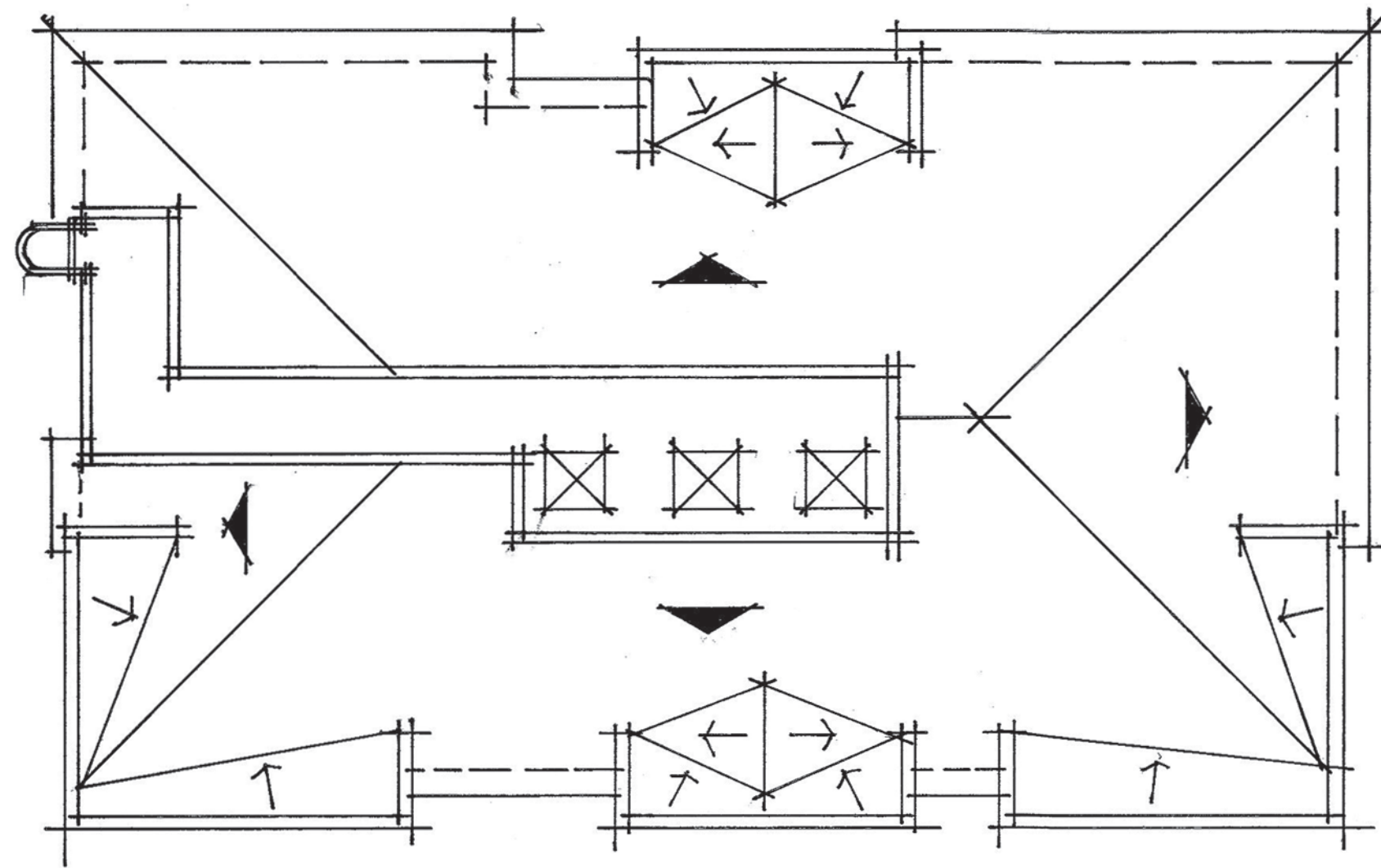
**ASHTON 3**

Note: Artist's Conception; Colors, Materials and Application May Vary.

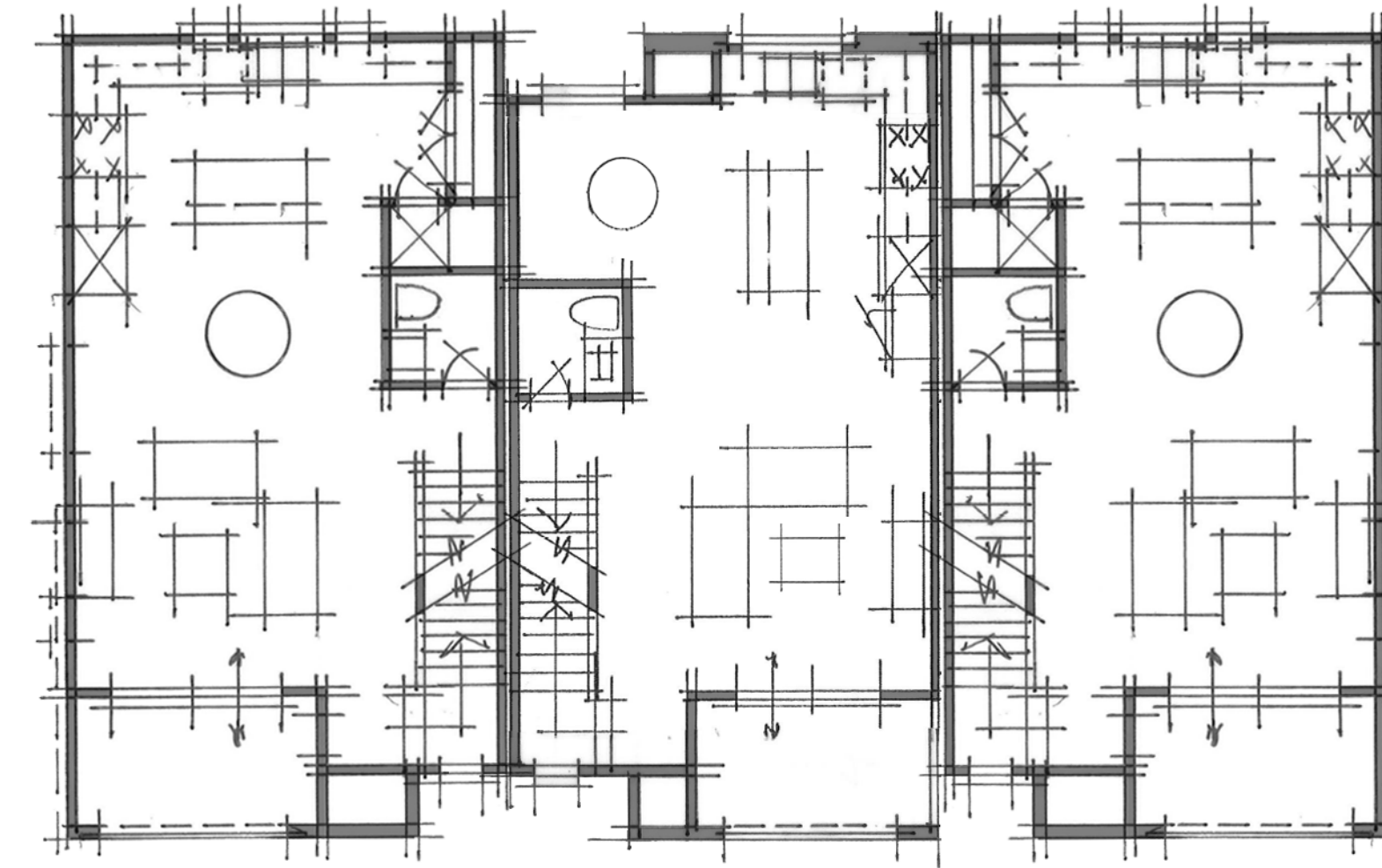
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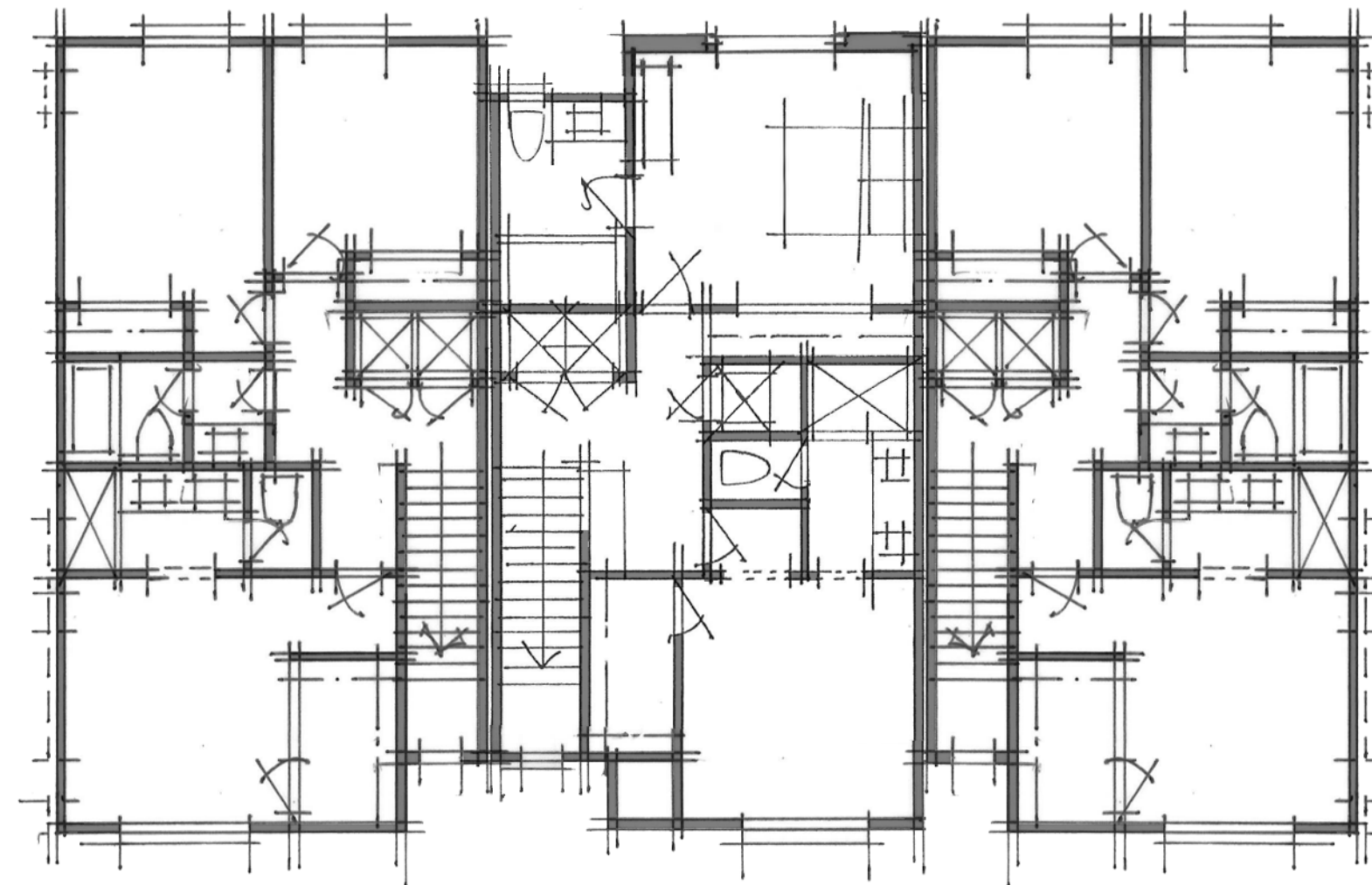
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**WHA.**  
ORANGE COUNTY . LOS ANGELES . BAY AREA



**Roof Plan**



**Second Level**

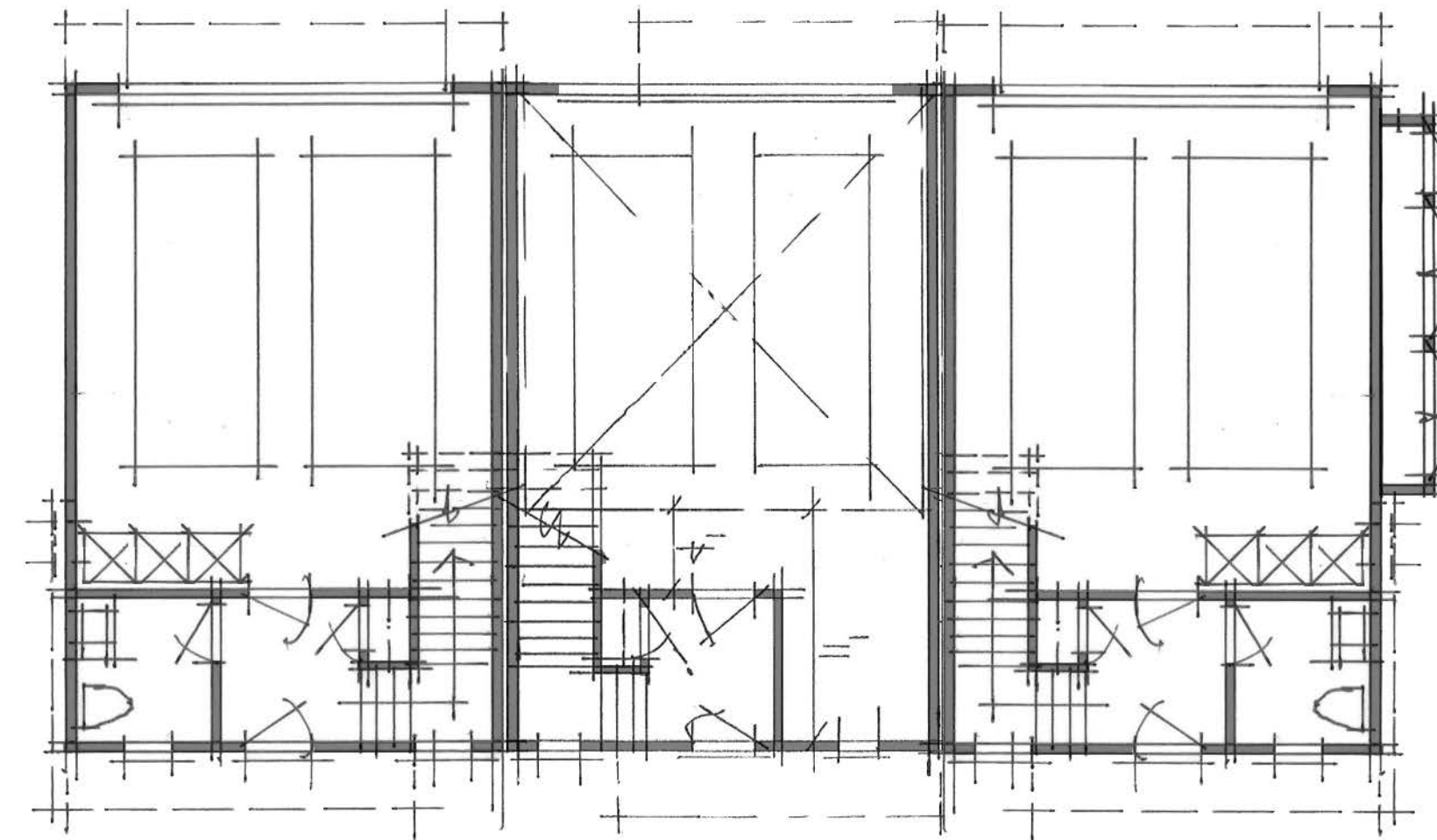


**Third Level**

**PLAN 5**

**PLAN 4**

**PLAN 5**



**First Level**

**PLAN 5**

**PLAN 4**

1,496 SF  
2 Bedroom | 2.5 Bath  
2-Car Garage

**PLAN 5**

1,588 SF  
3 Bedroom | 2 Bath  
2 Pwdr.  
2-Car Garage

Occupancy: R3/U  
Construction: VB  
Sprinkler System: NFPA 13D

**BUILDING 500 | Composite Floor Plans / Roof Plan**

**88 VIVIAN STREET**

SAN RAFAEL, CA

**ASHTON 3**

A1.20  
0 4 8 16  
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ORANGE COUNTY . LOS ANGELES . BAY AREA



Right



Rear



Left



SCHEME# 1

Front

**MATERIAL**

Roof:	Concrete Tile Roof
Fascia:	2X Wood
Exterior:	Stucco with Lap Siding
Window & Door Trim:	Foam and Wood Trim
Entry Door:	Decorative Front Entry Door
Garage Door:	Metal Roll-Up Garage Door

**BUILDING 500 | Exterior Elevations**

**88 VIVIAN STREET**

SAN RAFAEL, CA

**ASHTON 3**

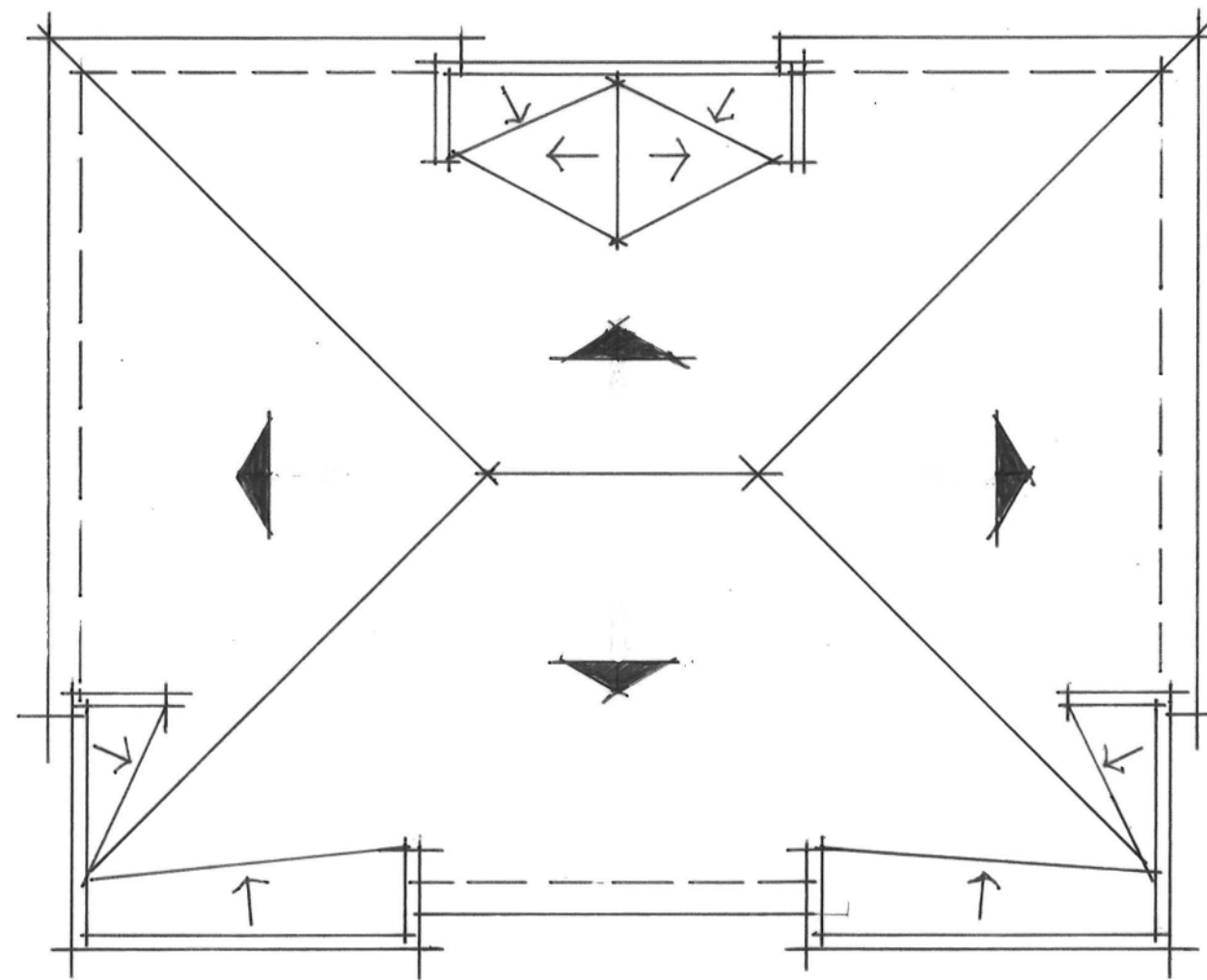
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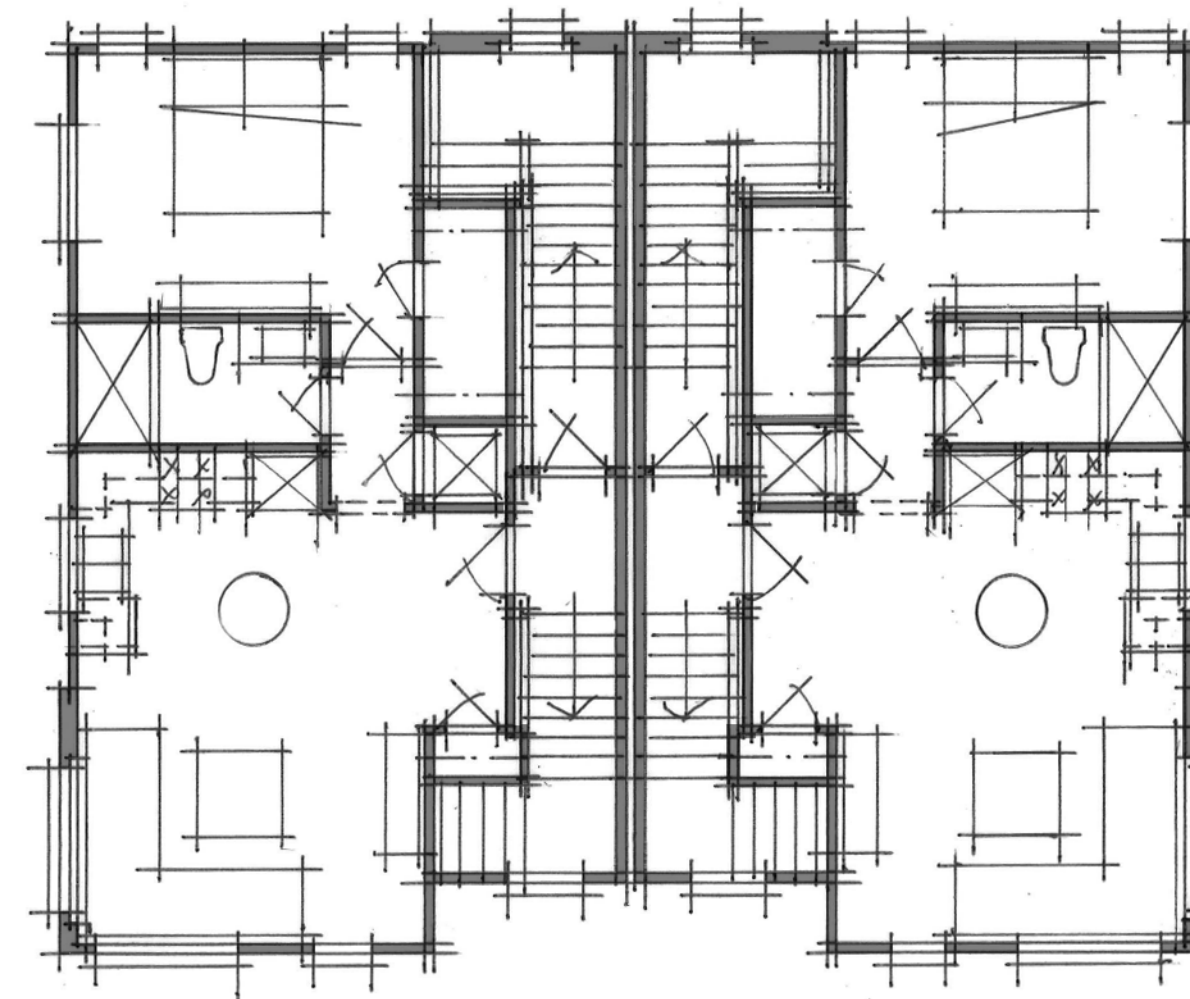
DRB SUBMITTAL

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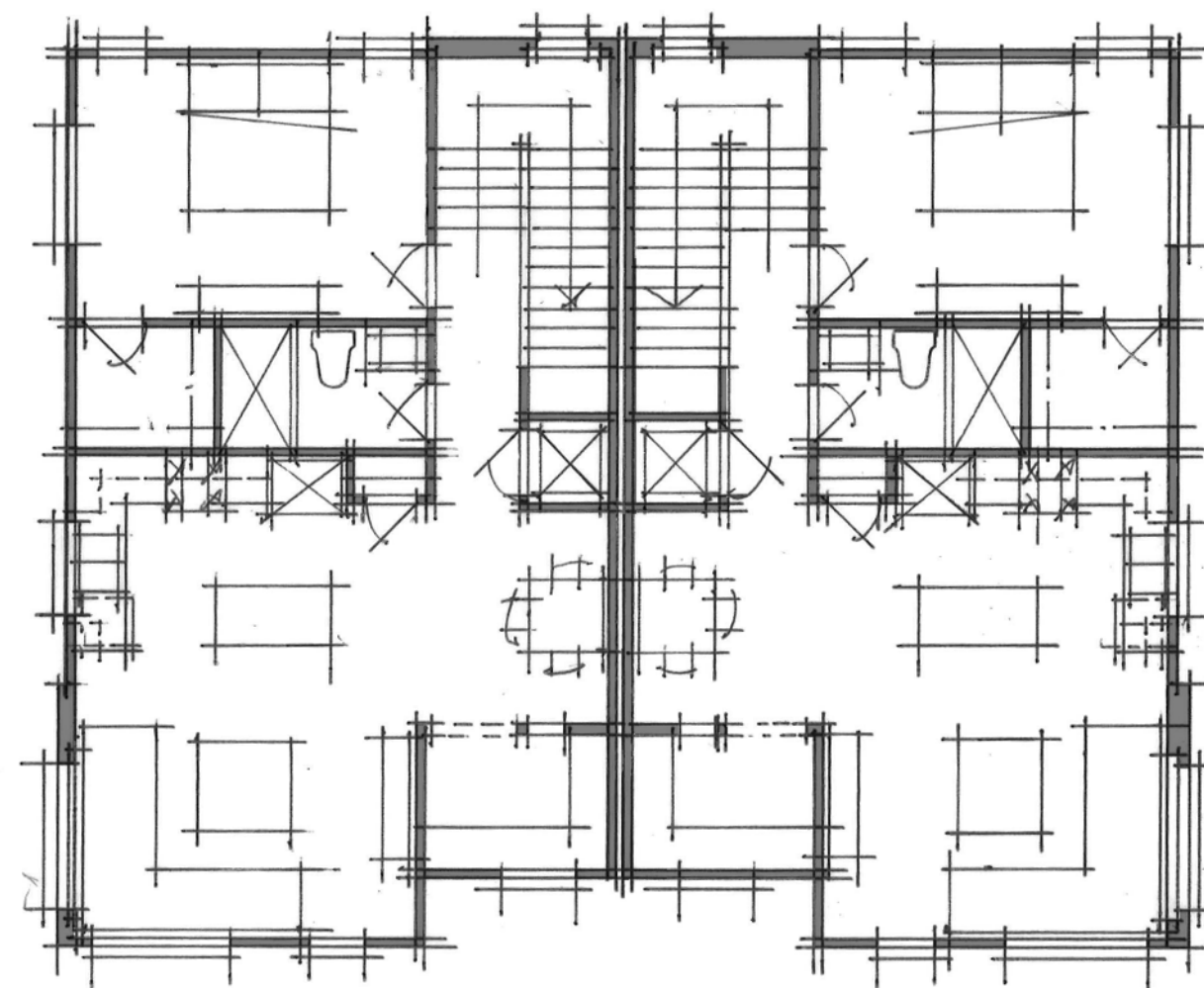
**Roof Plan**



**Second Level**

**PLAN 6**

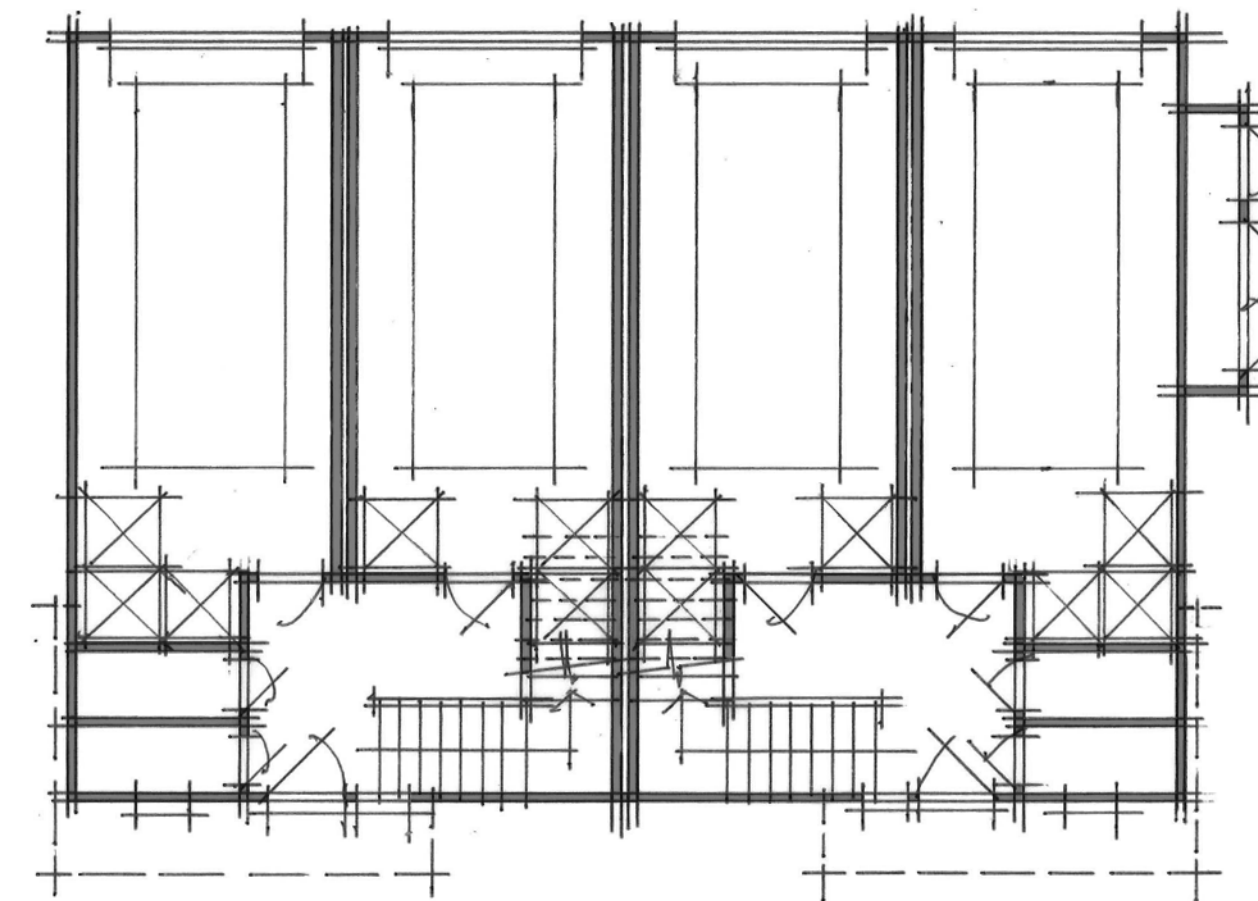
**PLAN 6**



**Third Level**

**PLAN 7**

**PLAN 7**



**First Level**

**PLAN 7**

**PLAN 6**

**PLAN 6**

**PLAN 7**

**PLAN 6**  
851 SF  
1 Bedroom | 1 Bath  
1-Car Garage

**PLAN 7**  
1,141 SF  
1 Bedroom | 1 Bath | Office  
1-Car Garage

Occupancy: R3/U  
Consturction: VB  
Sprinkler System: NFPA 13D

**BUILDING 600 | Composite Floor Plans / Roof Plan**

**88 VIVIAN STREET**

SAN RAFAEL, CA

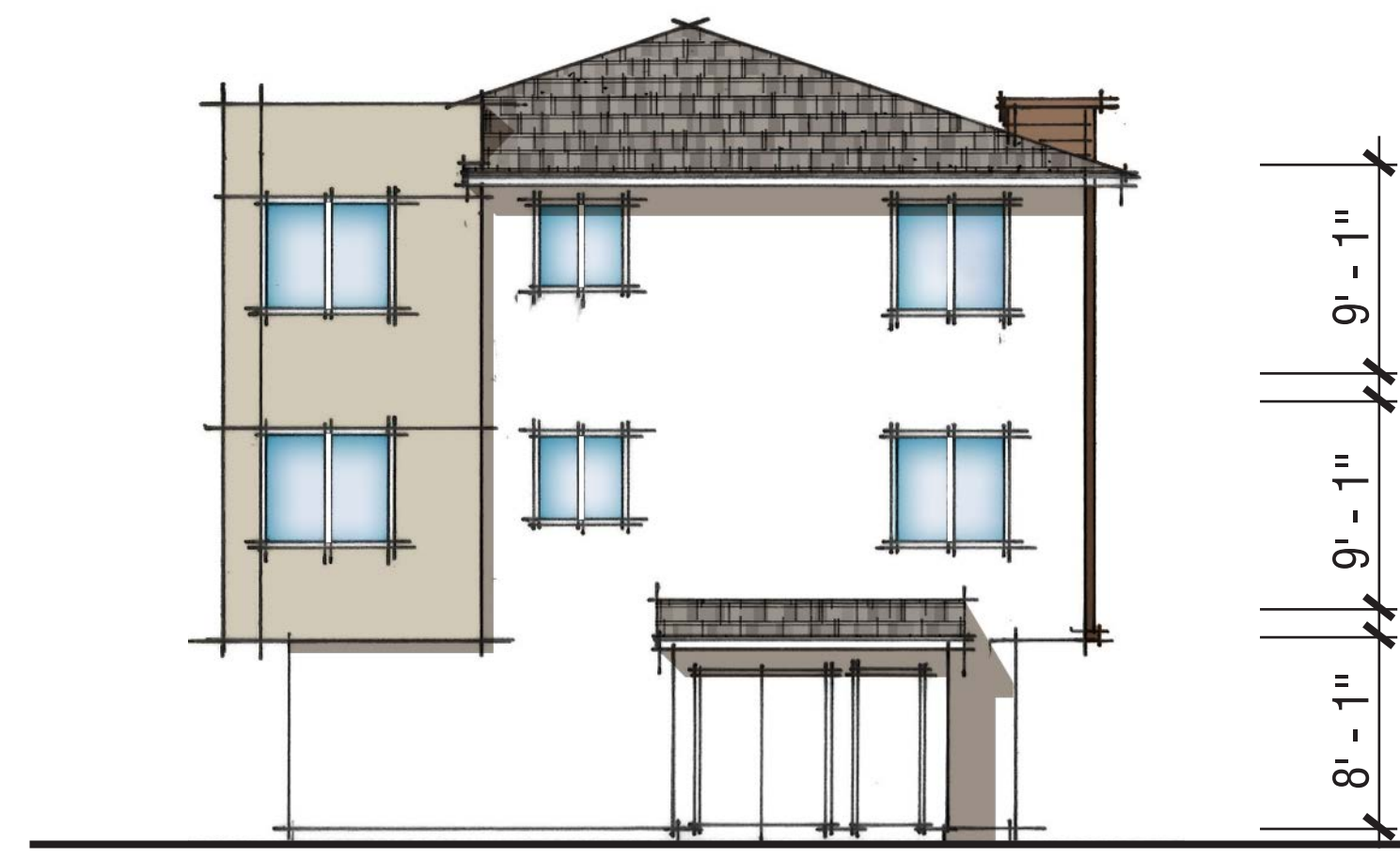
**ASHTON 3**

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**A1.22**  
**DRB SUBMITTAL**

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ORANGE COUNTY . LOS ANGELES . BAY AREA

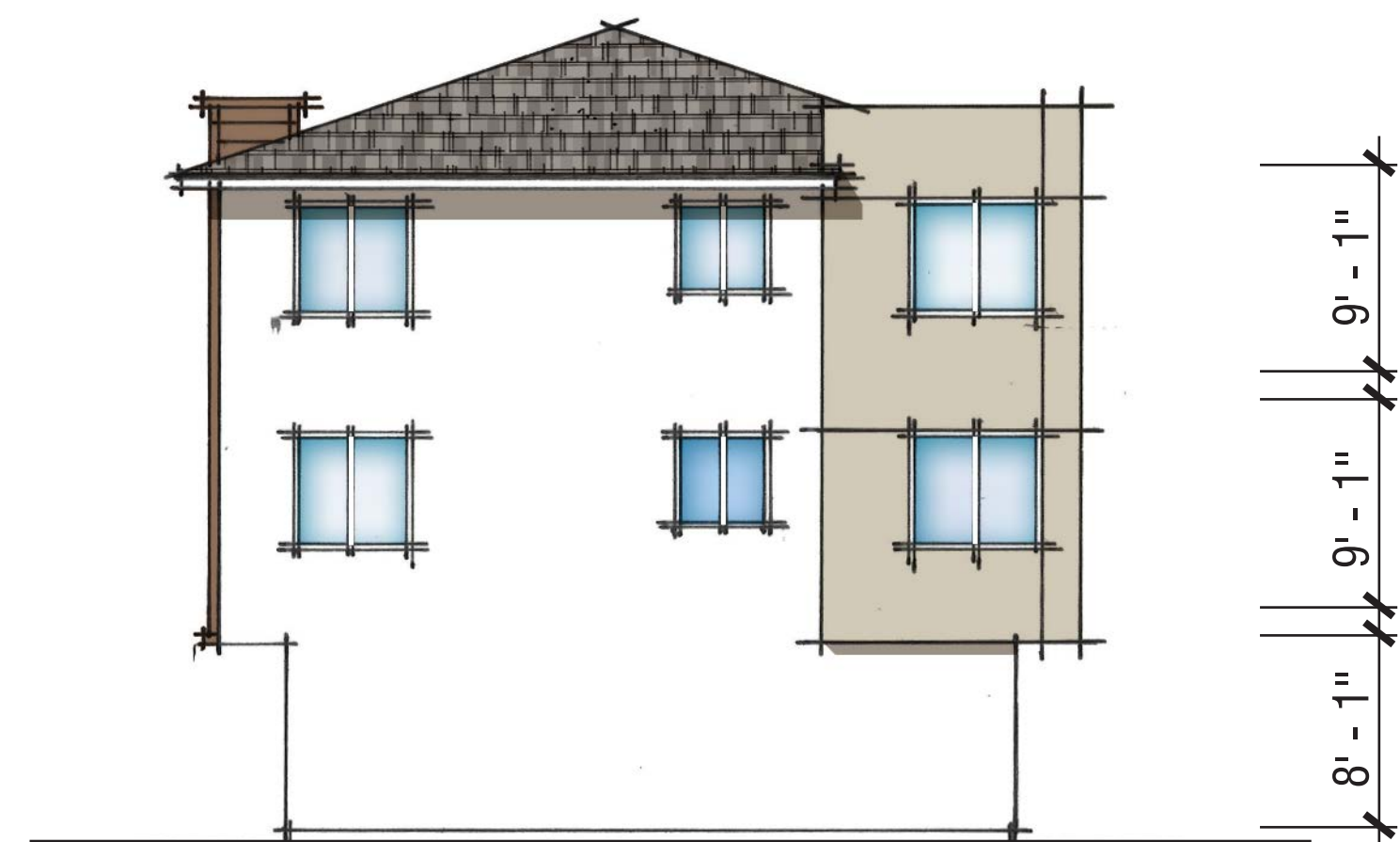




Right



Rear



Left



SCHEME# 1

**MATERIAL**

Front

Roof:	Concrete Tile Roof
Fascia:	2X Wood
Exterior:	Stucco with Lap Siding
Window & Door Trim:	Foam and Wood Trim
Entry Door:	Decorative Front Entry Door
Garage Door:	Metal Roll-Up Garage Door

**BUILDING 600 | Exterior Elevations**

**88 VIVIAN STREET**

SAN RAFAEL, CA



December 21 - 12:00PM



December 21 - 2:00PM



December 21 - 1:00PM

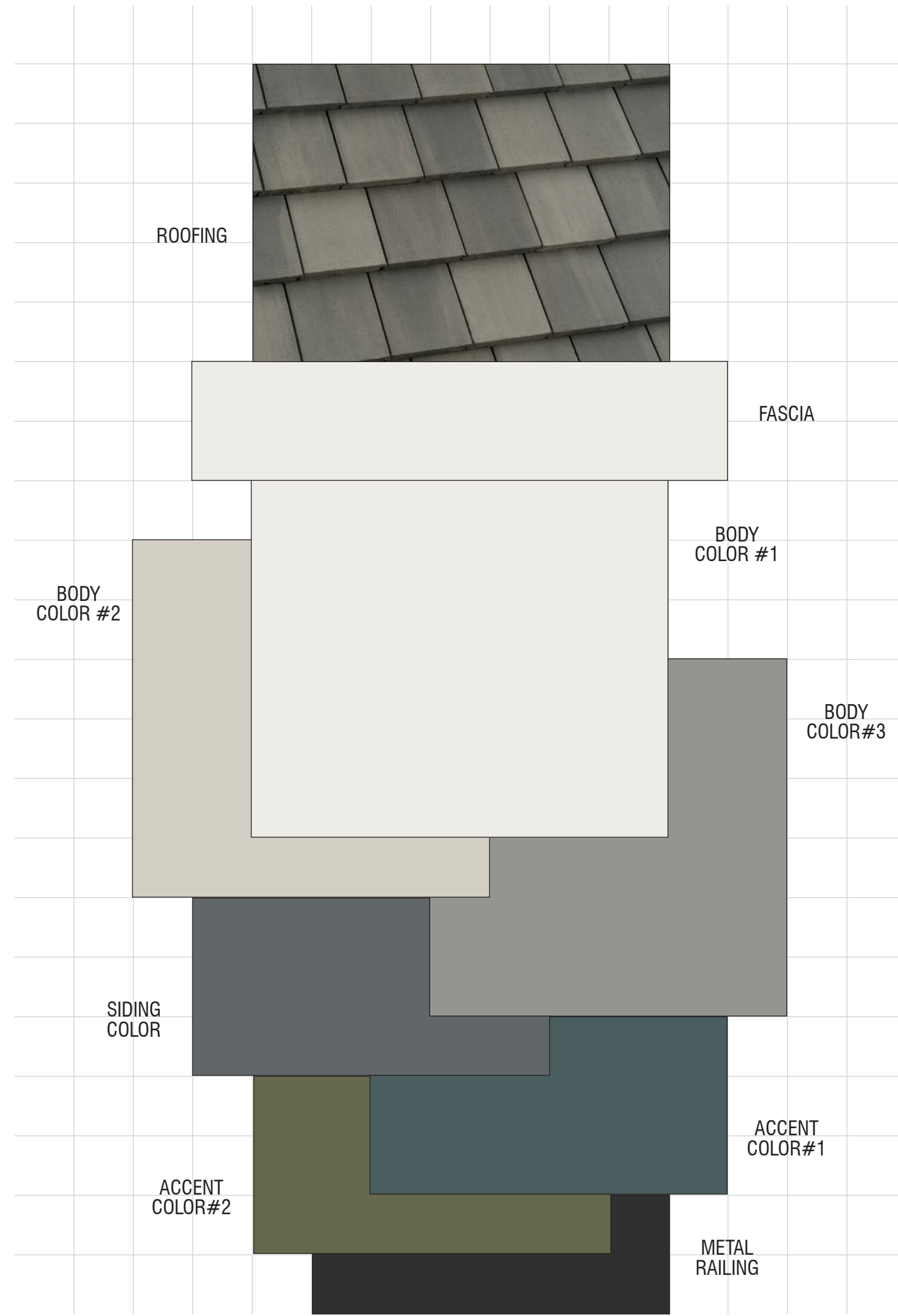


December 21 - 3:00PM

### SOLAR STUDY

## 88 VIVIAN STREET

SAN RAFAEL, CA



**88 VIVIAN STREET**  
San Rafael, California  
ASHTON 3  
September 3, 2021 | 2020270

**PALETTE 1**  
Buildings 100, 200, 300 & 400

For exact color refer to manufacturer actual samples.  
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**88 VIVIAN STREET**

San Rafael, California  
ASHTON 3  
September 9, 2021 | 2020270  
PAGE 1 OF 2

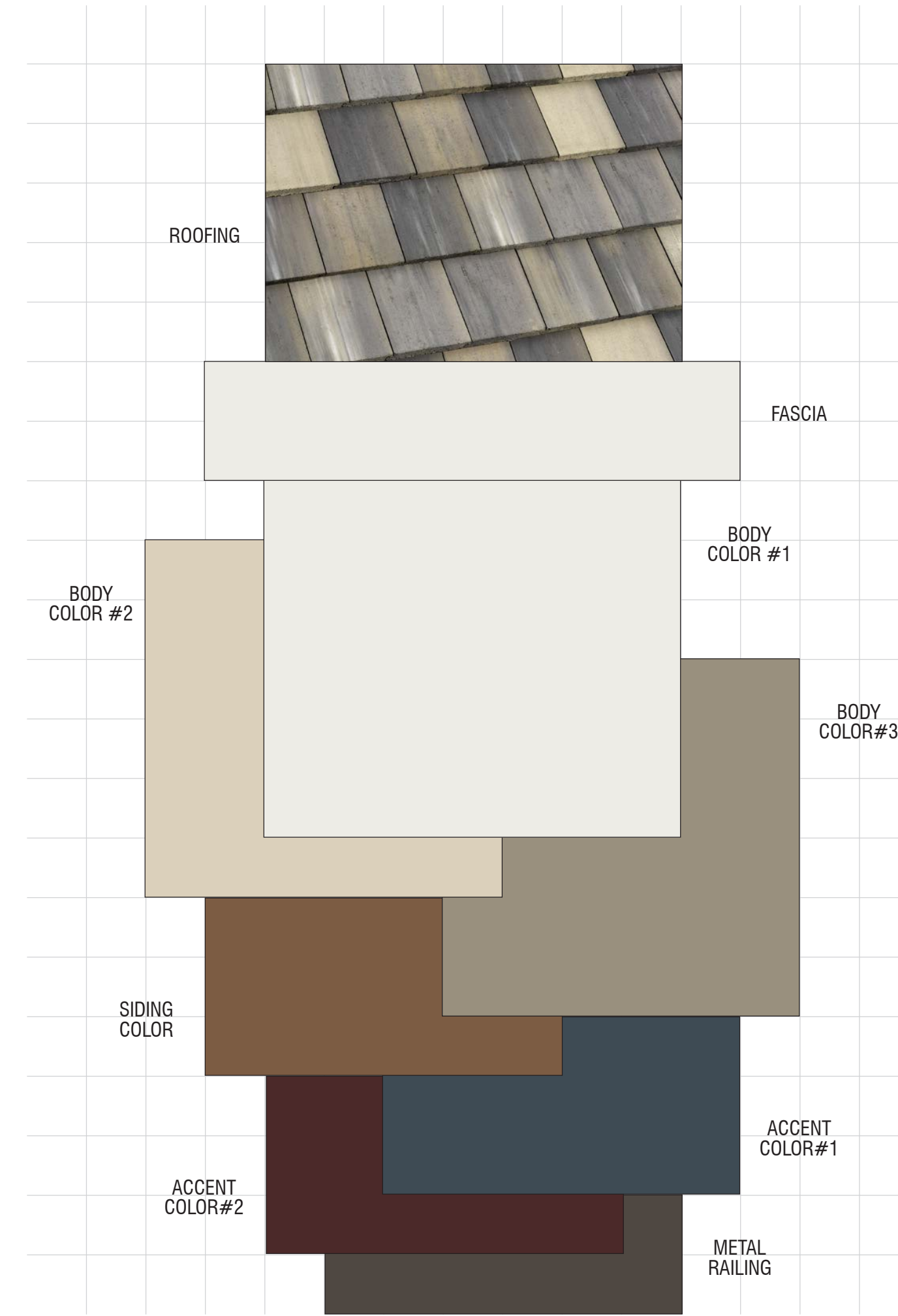
**Exterior Color & Materials**

PALETTE 1 BUILDINGS 100, 200, 300 & 400

Material	Color	Manufacturer
<b>Roofing:</b> Concrete Slate Tile	4697 Slate Range Ref. .15 Emi: .94 A.SRI: 16 CRRC: 0918-0046	Eagel
<b>Vinyl Windows (factory finish)</b>	TBD	TBD
<b>Gutters &amp; Downspouts (factory finish)</b>	Match adjacent color	TBD
<b>Body Color #1 (applied to):</b> Eaves Fascia Stucco	SW 7006 Extra White	Sherwin Williams
<b>Body Color #2 (applied to):</b> Stucco	SW 9165 Gossamer Veil	Sherwin Williams
<b>Body Color #3 (applied to):</b> Stucco Accent Corner Boards Garage Doors Lap Siding Trim @ Siding	SW 9163 Tin Lizzie	Sherwin Williams
<b>Siding (applied to):</b> Corner Boards Lap Siding Trim @ Siding	SW 7075 Web Gray	Sherwin Williams
<b>Accent Color #1 (applied to):</b> Unit Doors	SW 6223 Still Water	Sherwin Williams
<b>Accent Color #2 (applied to):</b> Unit Doors	SW 6180 Oak Moss	Sherwin Williams
<b>Metal Railing</b>	SW 6990 Caviar	Sherwin Williams
<b>Mechanical Doors</b>	Match Adjacent Stucco Color	Sherwin Williams
<b>Garage Door Weatherstrip (factory finish)</b>	Match Garage Door Color	TBD

NOTE: Notify WHA if any variation occurs between these schemes and the construction documents prior to purchase.  
Contact Judith Martinez (949) 250-0607

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**88 VIVIAN STREET**  
San Rafael, California  
ASHTON 3  
September 3, 2021 | 2020270

**PALETTE 2**  
Buildings 100, 200, 300 & 400

For exact color refer to manufacturer actual samples.  
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**88 VIVIAN STREET**

San Rafael, California  
ASHTON 3  
September 9, 2021 | 2020270  
PAGE 2 OF 2

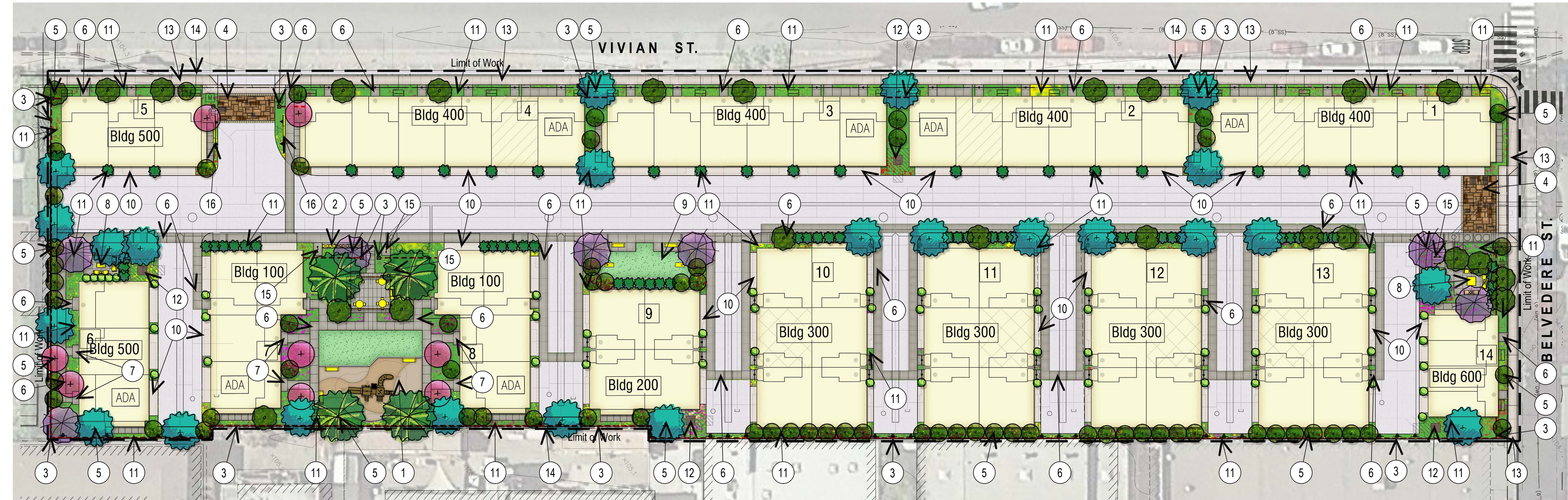
**Exterior Color & Materials**

PALETTE 2 BUILDINGS 100, 200, 300 & 400

Material	Color	Manufacturer
<b>Roofing:</b> Concrete Slate Tile	SCB 8827 Tacoma Blend Ref. .15 Emi: .91 A.SRI: 17 CRRC: 0918-0047	Eagel
<b>Vinyl Windows (factory finish)</b>	TBD	TBD
<b>Gutters &amp; Downspouts (factory finish)</b>	Match adjacent color	TBD
<b>Body Color #1 (applied to):</b> Eaves Fascia Stucco	SW 7005 Pure White	Sherwin Williams
<b>Body Color #2 (applied to):</b> Stucco	SW 7565 Oyster Bar	Sherwin Williams
<b>Body Color #3 (applied to):</b> Stucco Accent Corner Boards Garage Doors Lap Siding Trim @ Siding	SW 7744 Zeus	Sherwin Williams
<b>Siding (applied to):</b> Corner Boards Lap Siding Trim @ Siding	SW 7523 Burnished Brandy	Sherwin Williams
<b>Accent Color #1 (applied to):</b> Unit Doors	SW 7615 Sea Serpent	Sherwin Williams
<b>Accent Color #2 (applied to):</b> Unit Doors	SW 2801 Rookwood Dark Red	Sherwin Williams
<b>Metal Railing</b>	SW 7020 Black Fox	Sherwin Williams
<b>Mechanical Doors</b>	Match Adjacent Stucco Color	Sherwin Williams
<b>Garage Door Weatherstrip (factory finish)</b>	Match Garage Door Color	TBD

NOTE: Notify WHA if any variation occurs between these schemes and the construction documents prior to purchase.  
Contact Judith Martinez (949) 250-0607

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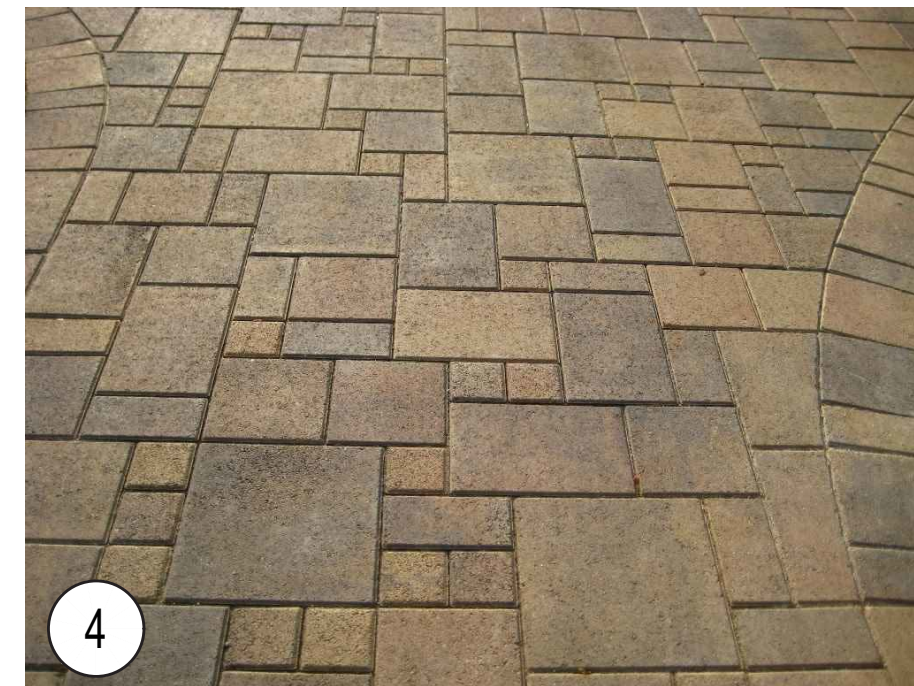


**LEGEND**

1. Central community open space area with tot-lot with rubberized play surface, tables and chairs, shade structure, BBQ, and lawn area for small social events and group gatherings. See Enlargement L2.
2. Six community cluster mailboxes, per USPS review and approval.
3. Proposed wall, pilaster, gate or fence, per Wall & Fence Plan.
4. Enhanced paving at main project entry.
5. Proposed tree, per Planting Plan.
6. 4' wide community natural colored concrete sidewalk, with light top-cast finish and saw-cut joints.
7. 6' wide unit entry natural colored concrete walk, with light top-cast finish and saw-cut joints.
8. Reading nook, and Ride-share waiting area with seating and table. See Enlargement L2.
9. Play zone with corn hole on lawn and benches. See Enlargement L2.
10. Natural colored concrete driveway, with light broom finish and tooled joints.
11. Common area landscape, builder installed and HOA maintained.
12. Transformer to be screened with landscape, quantity and final locations to be determined.
13. Proposed public street sidewalk, per Civil plans.
14. Property line.
15. 4 bike racks to accommodate 8 short-term bike parking stalls.
16. Vine trellis in the entry.



2



4



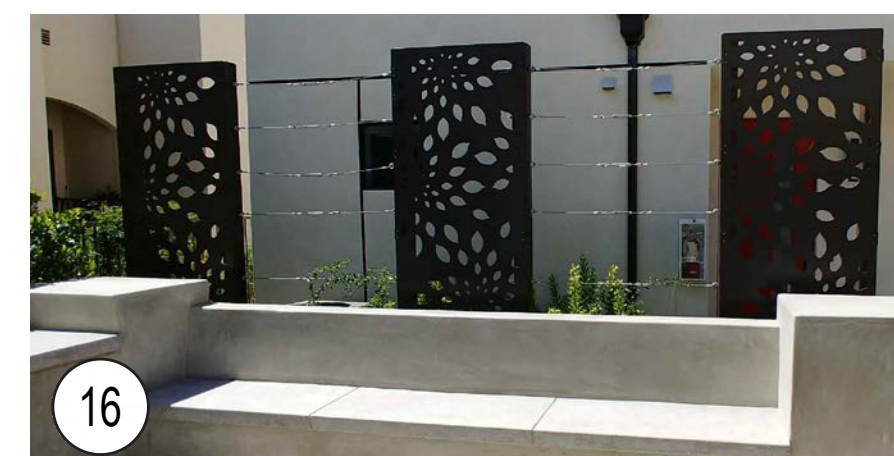
5



5

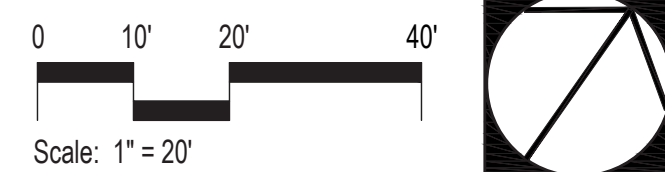


16



16

\*Conceptual images (provided herein are conceptual and subject to change)



**Schematic Landscape Plan**

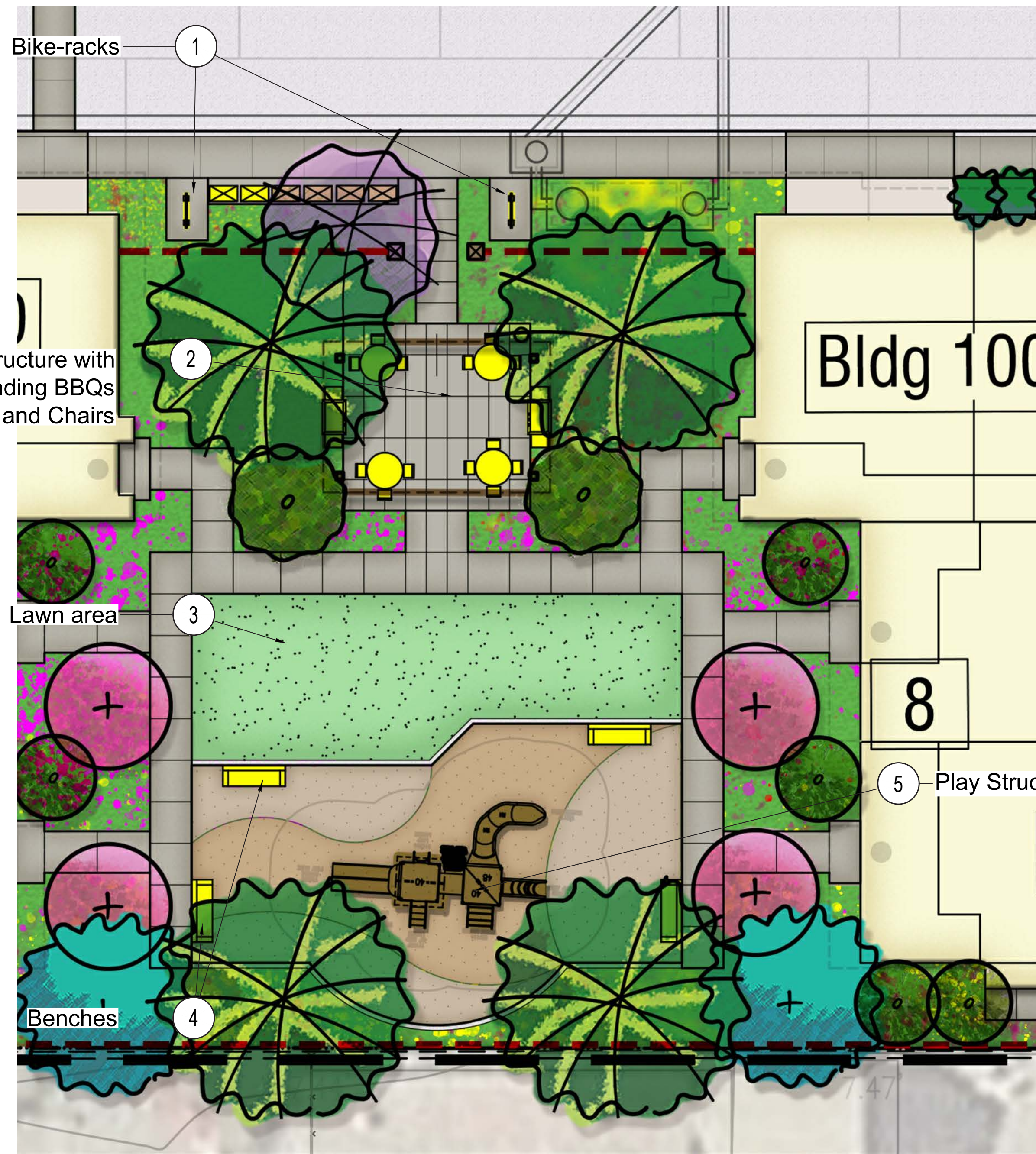
Ashton 3

4th City Submittal | Project No.: A301  
Date: Jan. 10, 2022

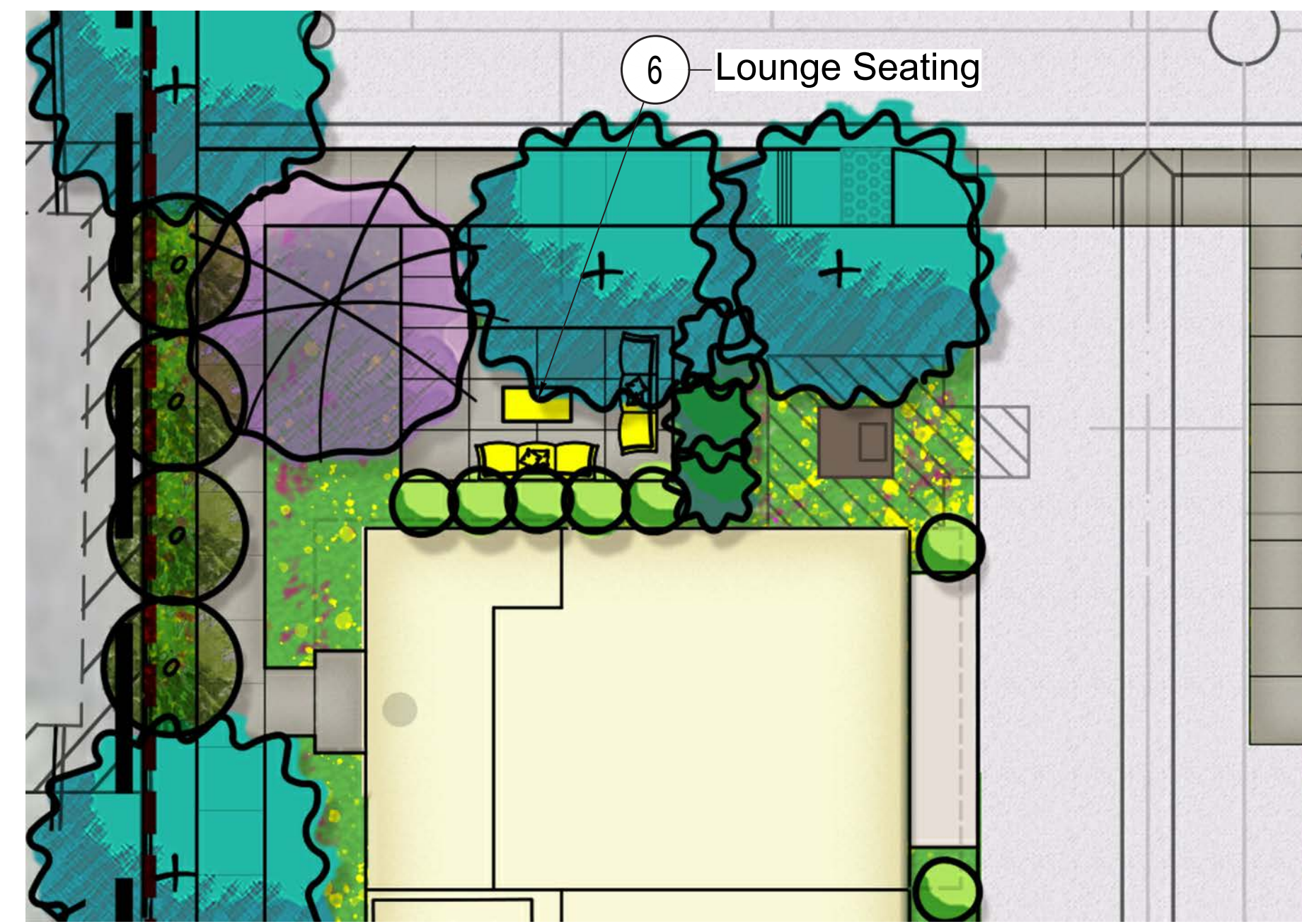
**L-1**

**San Rafael** **studio** **PAD**

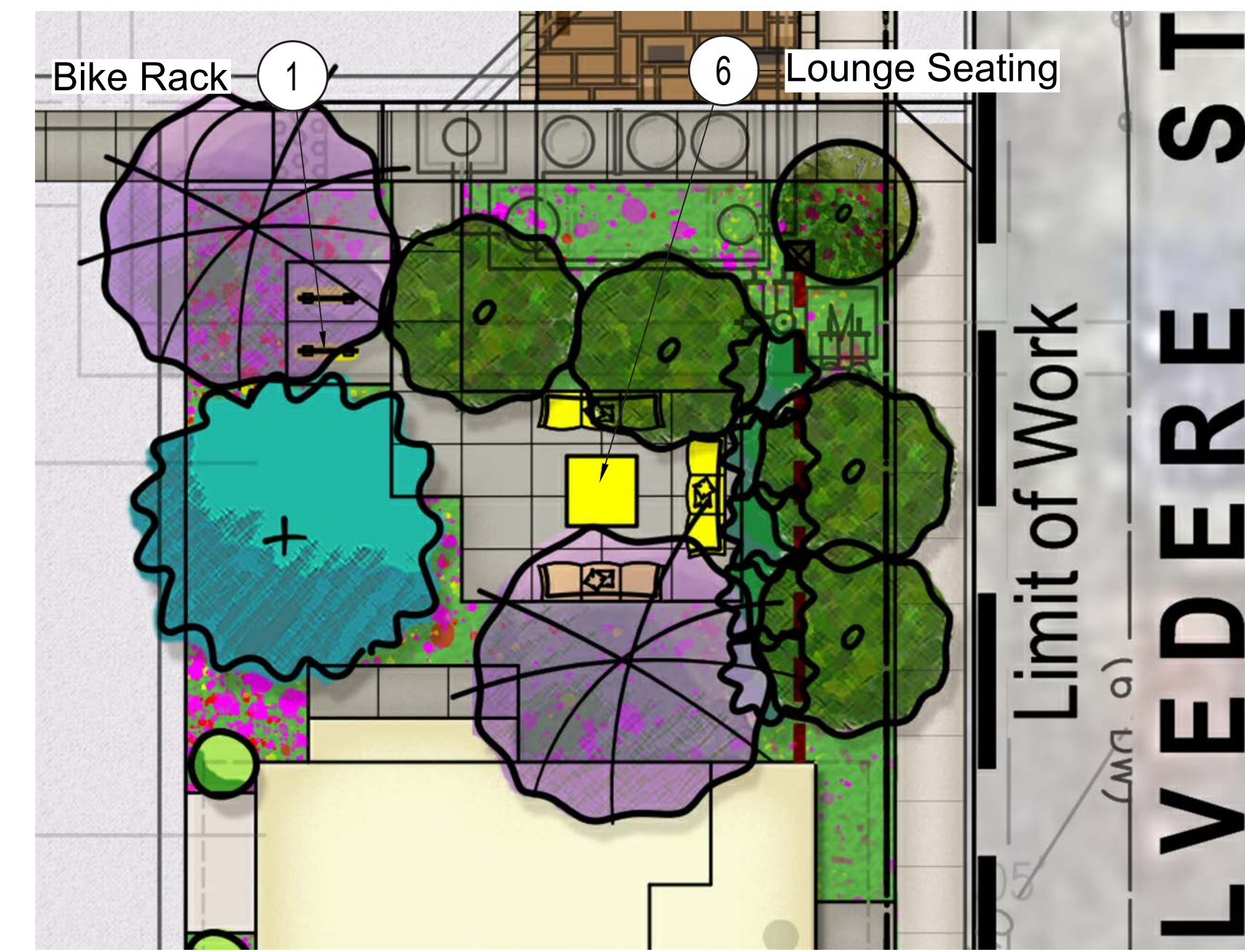
Landscape Architecture  
22175 S. Pacific Coast Hwy. 100  
Laguna Hills, CA 92653 | www.studiopad.com



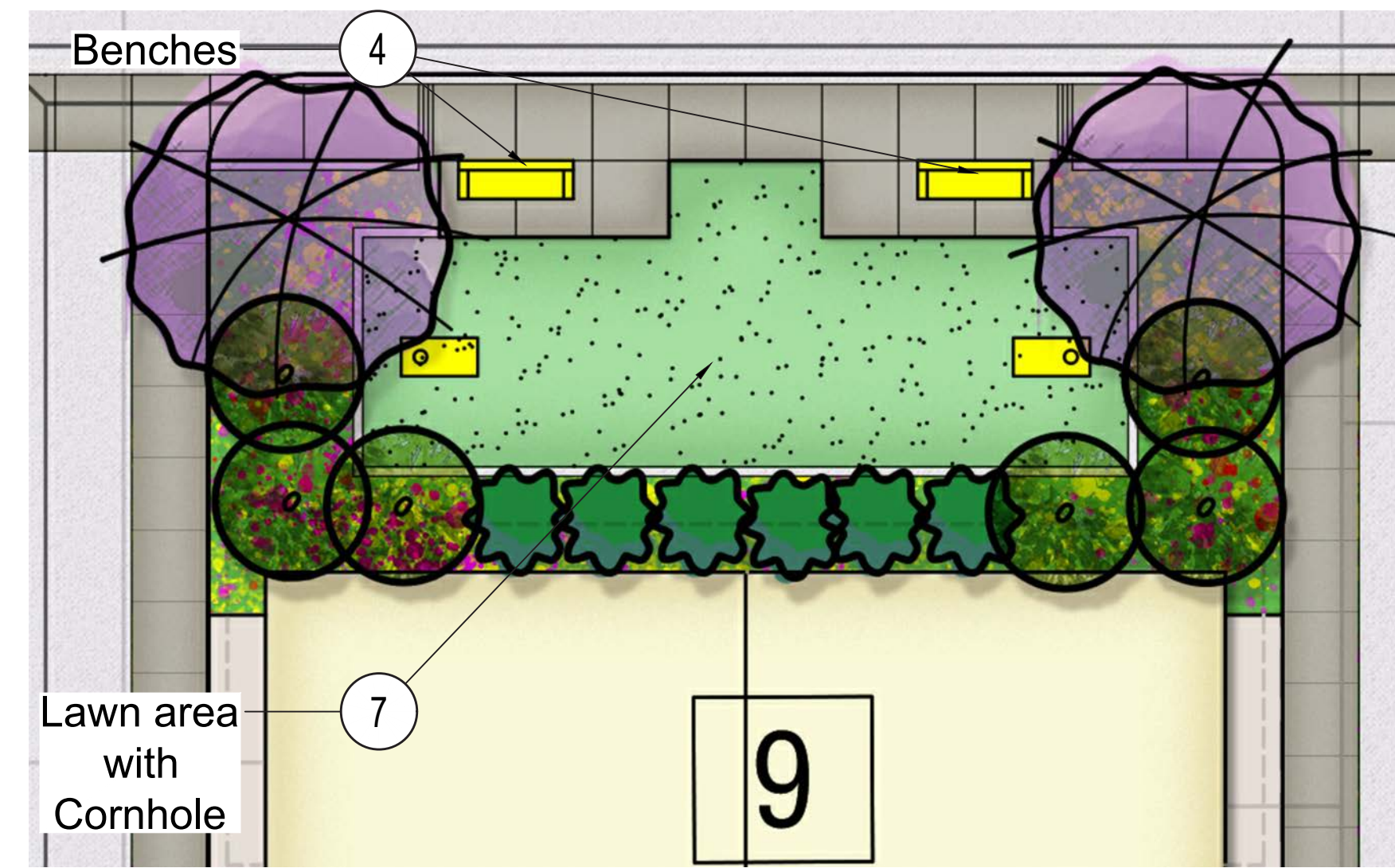
**A: Central Park- Kids Zone**  
Scale: 1/8" = 1'-0"



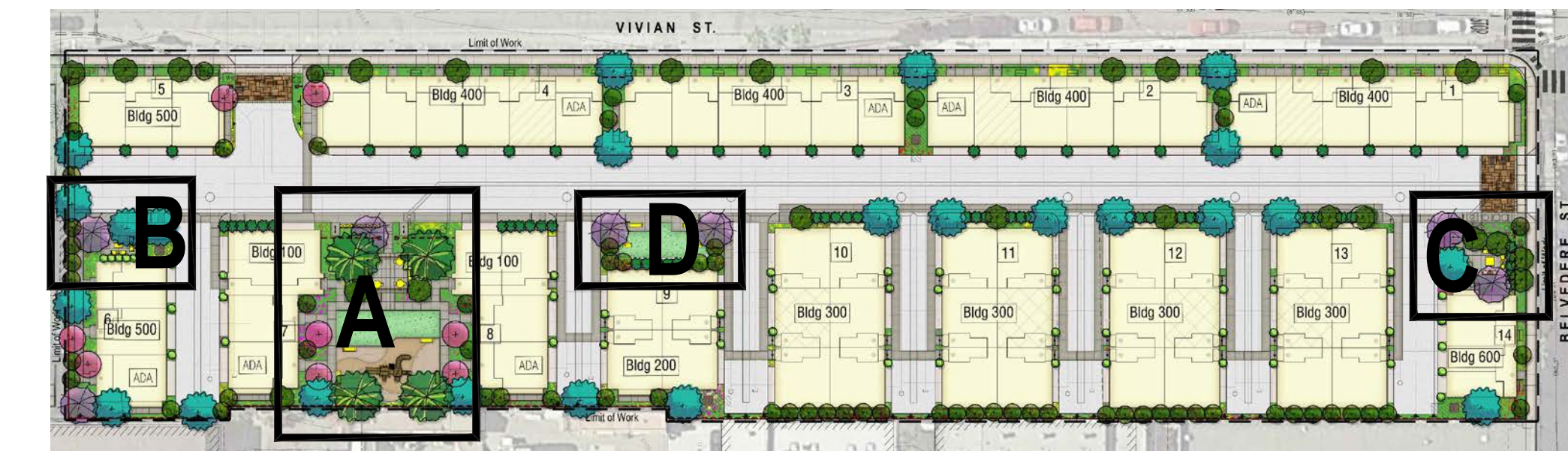
**B: Reading Nook**  
Scale: 1/8" = 1'-0"



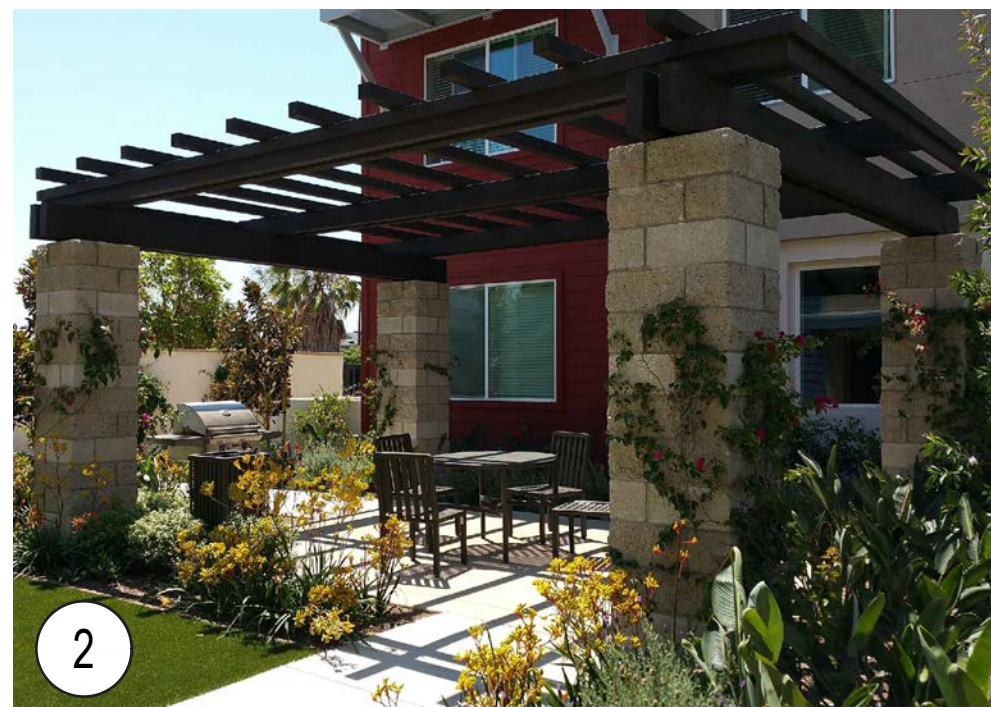
**C: Ride Share Waiting Area**  
Scale: 1/8" = 1'-0"



**D: Adult Play Zone**  
Scale: 1/8" = 1'-0"



**Key map:**  
Scale: NTS



\*Conceptual images (provided herein are conceptual and subject to change)

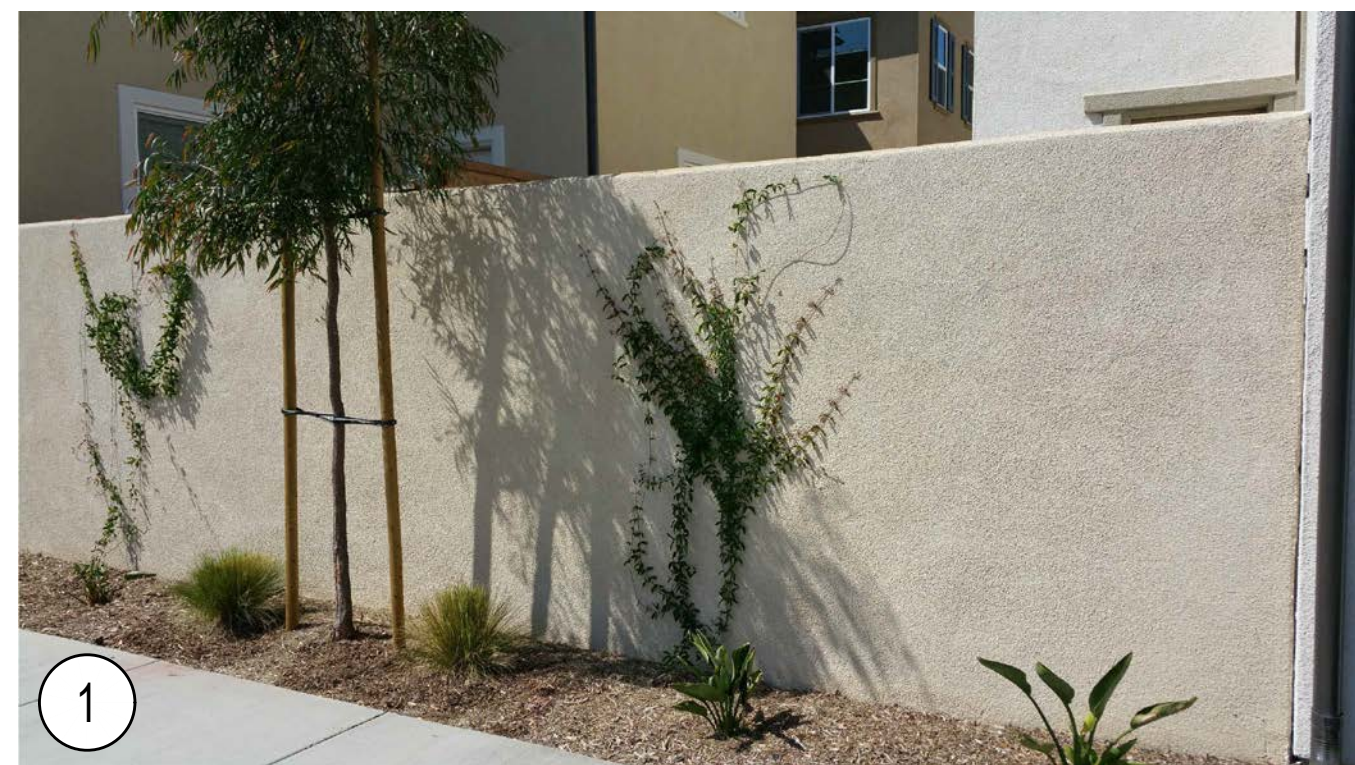
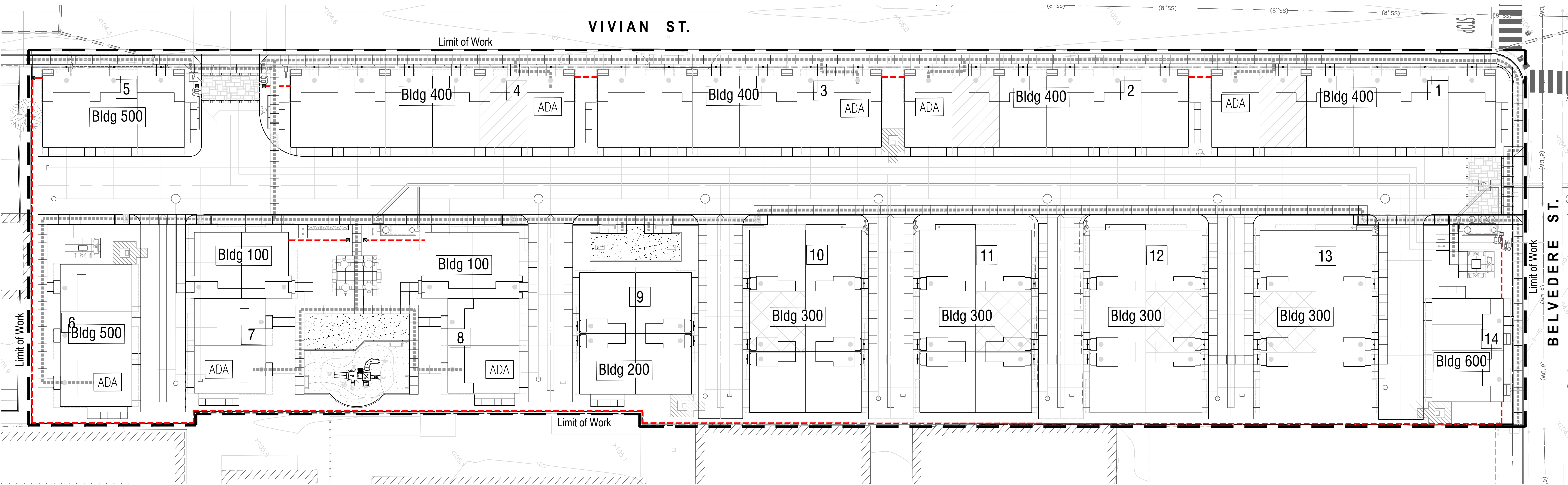


# Schematic Open Space Enlargement Plan

Ashton 3

4th City Submittal | Project No.: A301  
Date: Jan. 10, 2022

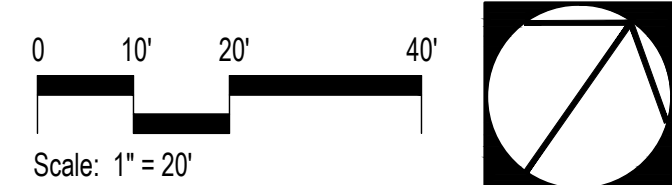
**L-2**



\*Conceptual images (provided herein are conceptual and subject to change)

**WALL LEGEND**

- ① - - - - - 6'-0" High stucco over CMU wall, with flat stucco cap.
- ② □ 6'-6" High (18" sq.) stucco over CMU pilaster, with stucco cap.
- ..... ADA Path of Travel



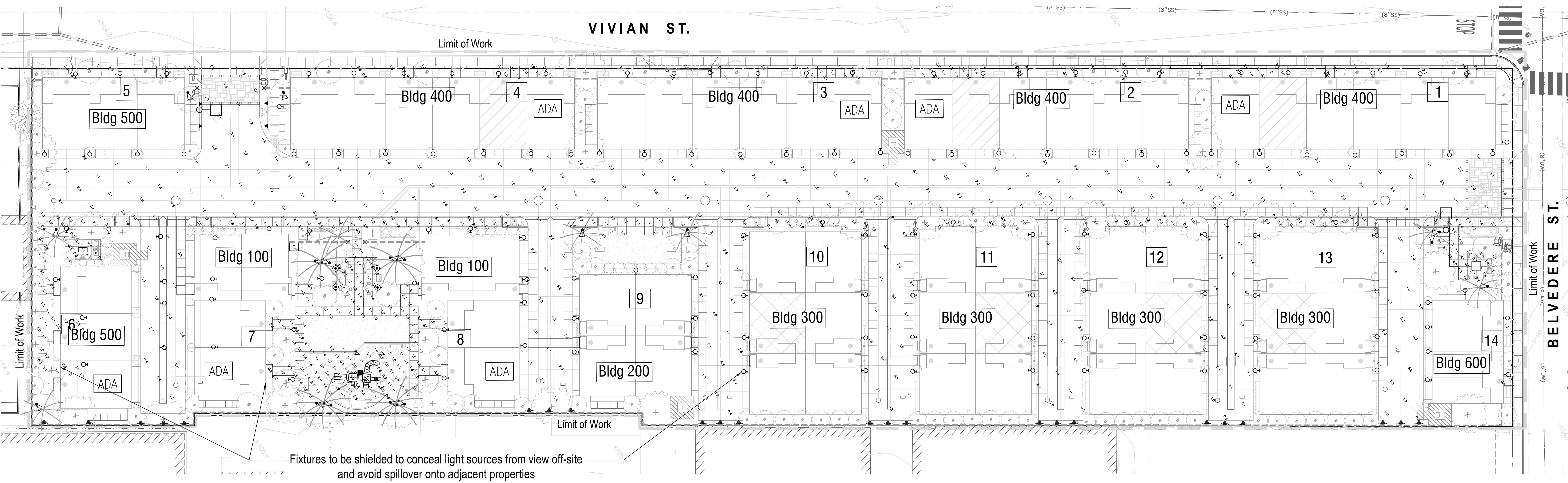
Schematic Wall & Fence Plan

Ashton 3

4th City Submittal | Project No.: A301  
Date: Jan. 10, 2022

**L-3**





**LIGHTING NOTES:**  
 Per SRMC - 14.16.227 - Light and glare.  
 Colors, materials and lighting shall be designed to avoid creating undue off-site light and glare impacts. New or amended building or site colors, materials and lighting shall comply with the following standards, subject to review and recommendation by the police department, public works department, and community development department:

- A. Glossy finishes and reflective glass such as glazed or mirrored surfaces are discouraged, and prohibited where it would create an adverse impact on pedestrian or automotive traffic or on adjacent structures; particularly within the downtown environs and in commercial, industrial and hillside areas.
- B. Lighting fixtures shall be appropriately designed and/or shielded to conceal light sources from view off-site and avoid spillover onto adjacent properties.
- C. The foot-candle intensity of lighting should be the minimum amount necessary to provide a sense of security at building entryways, walkways and parking lots. In general terms, acceptable lighting levels would provide one (1) foot-candle ground level overlap at doorways, one-half (1/2) foot-candle overlap at walkways and parking lots, and fall below one (1) foot-candle at the property line.
- D. Lighting shall be reviewed for compatibility with on-site and off-site light sources. This shall include review of lighting intensity, overlap and type of illumination (e.g., high-pressure sodium, LED, etc.). This may include a review by the city to assure that lighting installed on private property would not cause conflicts with public street lighting.
- E. Installation of new lighting fixtures or changes in lighting intensity on mixed use and non-residential properties shall be subject to environmental and design review permit review as required by Chapter 14.25 (Design Review).
- F. Maximum wattage of lamps shall be specified on the plans submitted for electrical permits.
- G. All new lighting shall be subject to a 90-day post installation inspection to allow for adjustment and assure compliance with this section.

**GENERAL PHOTOMETRIC SCHEDULE**

AVERAGE FOOT-CANDLES	2.65
MAXIMUM FOOT-CANDLES	7.3
MINIMUM FOOT-CANDLES	0.3
MINIMUM TO MAXIMUM FC RATIO	0.04
MAXIMUM TO MINIMUM FC RATIO	24.25
AVERAGE TO MINIMUM FC RATIO	8.84

**GENERAL PHOTOMETRIC SCHEDULE**

AVERAGE FOOT-CANDLES	2.56
MAXIMUM FOOT-CANDLES	8.7
MINIMUM FOOT-CANDLES	0.4
MINIMUM TO MAXIMUM FC RATIO	0.04
MAXIMUM TO MINIMUM FC RATIO	24.74
AVERAGE TO MINIMUM FC RATIO	7.28

**GENERAL LUMINAIRE SCHEDULE**

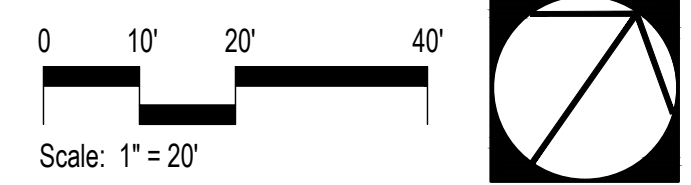
CALLOUT	SYMBOL	LAMP	DESCRIPTION	BALLAST	MOUNTING	MODEL	VOLTS	NOTE 1	NOTE 2	QUANTITY
Down-SS (A)	◁	(1) COOL WHITE LED	2-3/8"DIA. X 9"H. DOWNLIGHT LUMINAIRE, 3 COOL WHITE LED, CUSTOM CHROME PLATED PARABOLIC REFLECTOR AND TEXTURED LENS/FLAT TEMPERED GLASS LENS.	ELECTRONIC	WALL/CEILING	FX LUMINAIRE, JB-3LED-BZ	120V 1P 2W	12V, Low Voltage		4
Pole (B)	○-□	(80) 80 WHITE LIGHT EMITTING DIODES (LEDS).	FABRICATED METAL HOUSING, VPA LED MODULE CONSISTING OF:	ELECTRONIC	POLE	US Architectural Lighting, DSCR28-LED-VPA-III-80LED-350mA-CW	120V 1P 2W	Arm: 'XWB'	Pole: 14ft, RTA-1964-188.	2
Wall-Mount (C)	○	(1) (2) ALTA PN110B-11" LED BOARDS, 3500K LED	'LAKESHORE' WALL SERIES, WHITE HR ACRYLIC LENS	ELECTRONIC	WALL	EVERGREEN LIGHTING, LA-16-24LED	120V 1P 2W	(1) 700mA LED DRIVERS, LED DRIVER		138

**LOW VOLTAGE (12V) LIGHTING SCHEDULE**

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
(D)	Shade Structure Downlight - Kichler model #16017AZT27 Cast Aluminum, Textured Architectural Bronze, Surface Mounted Bracket Lamp: LED, 5.25 W-12W, 2700K Warm White	4
▽	Tree upright, Slaked - Kichler model VLO #16018-16020 Order #16019AZT27 (35Flood) Cast aluminum, Textured Architectural Bronze, Slaked Lamp: LED, 5.25 W-12W, 2700K Warm White	17
□	Low-voltage transformer - Kichler model #15PR75 AZT Cast Aluminum, Textured Architectural Bronze, Wall	1



\*Conceptual images (provided herein are conceptual and subject to change)

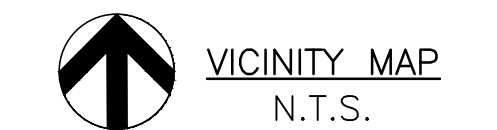
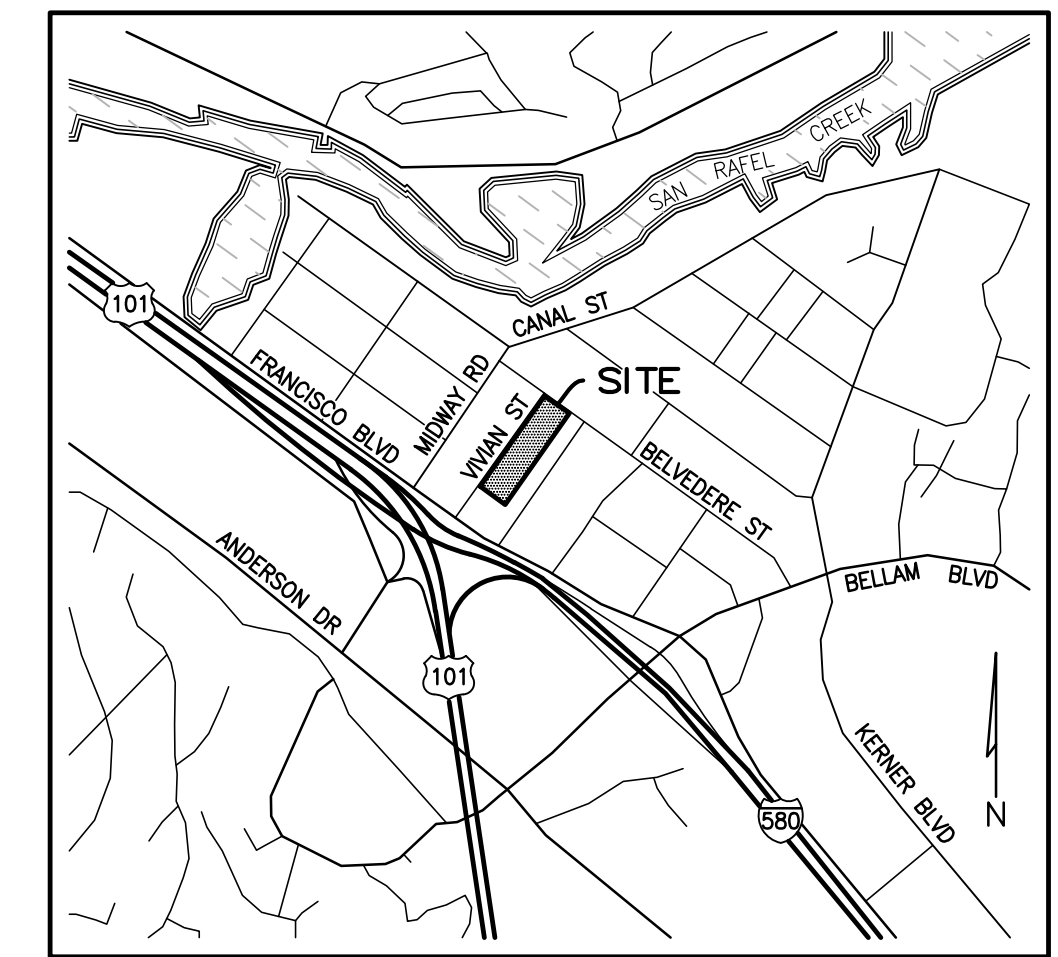


## Schematic Lighting & Photometrics Plan



# TENTATIVE TRACT MAP

FOR CONDOMINIUM PURPOSES  
CITY OF SAN RAFAEL, COUNTY OF MARIN,  
STATE OF CALIFORNIA



### SHEET INDEX

- 1 TITLE SHEET
- 2 PRELIMINARY SECTIONS
- 3 EXISTING CONDITIONS PLAN
- 4 PRELIMINARY GRADING PLAN
- 5 PRELIMINARY GRADING PLAN
- 6 PRELIMINARY UTILITY PLAN
- 7 PRELIMINARY UTILITY PLAN
- 8 FIRE ACCESS PLAN

### DEVELOPER/OWNER INFORMATION

ASHTON 3, LLC  
30 VIA LATIGO  
RANCHO SANTA MARGARITA, CA 92688  
CONTACT: TAYLOR ASHTON

### ADDRESS:

88 VIVIAN STREET  
SAN RAFAEL, CA 94901

### ENGINEER INFORMATION

C&V CONSULTING  
9830 IRVINE CENTER DRIVE  
IRVINE, CA 92618  
PHONE: (949) 916-3800  
CONTACT: DANE MCDUGALL

### PROPOSED LOTS

LOT 1

### LAND AREA:

GROSS: 2.41 ACRES

### BASIS OF BEARINGS:

BEARINGS SHOWN HEREON ARE BASED ON THE CENTERLINE BEARING OF LOUISE STREET BEING NORTH 35°18'00" EAST AS SHOWN ON RECORD SURVEY 54233 FILED IN BOOK 14, PAGE 44 OF MAPS, IN THE OFFICE OF THE MARIN COUNTY RECORDER.

### BENCHMARK STATEMENT:

NATIONAL GEODETIC SURVEY STATION HT1752  
ELEV: 12.00 FT NAVD 88

DESCRIBED AS: BRASS DISK STAMPED "Y 107 RESET 1975" LOCATED 0.1 MILE SOUTHEAST OF THE OLD NORTHWESTERN PACIFIC RAILROAD STATION, AT THE NORTHWEST CORNER OF SECOND STREET BRIDGE NO. 27-33, SET IN THE TOP OF THE NORTH CONCRETE GUARDRAIL OVER THE WEST CONCRETE ABUTMENT, 79.2 FEET EAST OF THE CENTER LINE OF HETHERTON STREET, 33.7 FEET NORTH OF THE CENTERLINE OF SECOND STREET, 4.4 FEET EAST OF THE NORTHWEST CORNER OF THE BRIDGE, AND ABOUT 2 FEET HIGHER THAN THE STREET.

### FLOOD NOTE:

THE SUBJECT PROPERTY FALLS WITHIN "ZONE AE," THE FLOOD INSURANCE RATE ZONE THAT CORRESPONDS TO THE 1-PERCENT ANNUAL CHANCE FLOODPLAINS THAT ARE DETERMINED IN THE FIS BY DETAILED METHODS. IN MOST INSTANCES, WHOLE-FOOT BASE FLOOD ELEVATIONS DERIVED FROM THE DETAILED HYDRAULIC ANALYSES ARE SHOWN AT SELECTED INTERVALS WITHIN THIS ZONE." PER FEMA MAP NO. 06041C0459F, A PRINTED PANEL, EFFECTIVE MARCH 16, 2019 (TABLE A-3) AND THE MARIN COUNTY, CALIFORNIA FIS REPORT (VOLUME 1 OF 3), LAST REVISED AUGUST 15, 2017.

### TOPOGRAPHY NOTE:

TOPOGRAPHY AND CONTOURS SHOWN HEREON ARE BASED ON 1' CONTOUR INTERVALS FROM AERIAL PHOTOGRAMMETRY FLOWN BY C&V CONSULTING INC. ON 10/29/2020. THE RELATIVE POSITIONAL ACCURACY OF CALLED OUT IMPROVEMENTS SHOWN ON THE SURVEY IS WITHIN 0.1' +/- OF THEIR ACTUAL LOCATIONS. (TABLE A-8 & 15)

### LEGAL DESCRIPTION:

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF SAN RAFAEL IN THE COUNTY OF MARIN, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE NORTHEASTERLY LINE OF LOT 6, IN BLOCK 10, AS SHOWN UPON THAT CERTAIN MAP ENTITLED "MAP OF EAST SAN RAFAEL, MARIN COUNTY, CALIFORNIA," FILED FOR RECORD JANUARY 21, 1908, IN MAP BOOK 2, PAGE 109, MARIN COUNTY RECORDS, SAID POINT BEING DISTANT THEREON SOUTH 54 DEGREES 42' EAST 240 FEET FROM THE MOST NORTHERLY CORNER OF SAID LOT 6; RUNNING THENCE ALONG SAID NORTHEASTERLY LINE OF LOT 6, SOUTH 54 DEGREES 42' EAST 160 FEET; THENCE LEAVING SAID LINE AND RUNNING SOUTH 35 DEGREES 18' WEST 390 FEET; THENCE NORTH 54 DEGREES 42' WEST 5.5 FEET; THENCE SOUTH 35 DEGREES 18' WEST 200.43 FEET; THENCE SOUTH 54 DEGREES 42' EAST 5.5 FEET; THENCE SOUTH 35 DEGREES 18' WEST 73.03 FEET; THENCE NORTH 54 DEGREES 42' WEST 160 FEET TO A POINT ON THE EASTERLY LINE OF VIVIAN STREET; THENCE NORTH 35 DEGREES 18' EAST 663.46 FEET ALONG SAID EASTERLY LINE TO THE POINT OF BEGINNING.

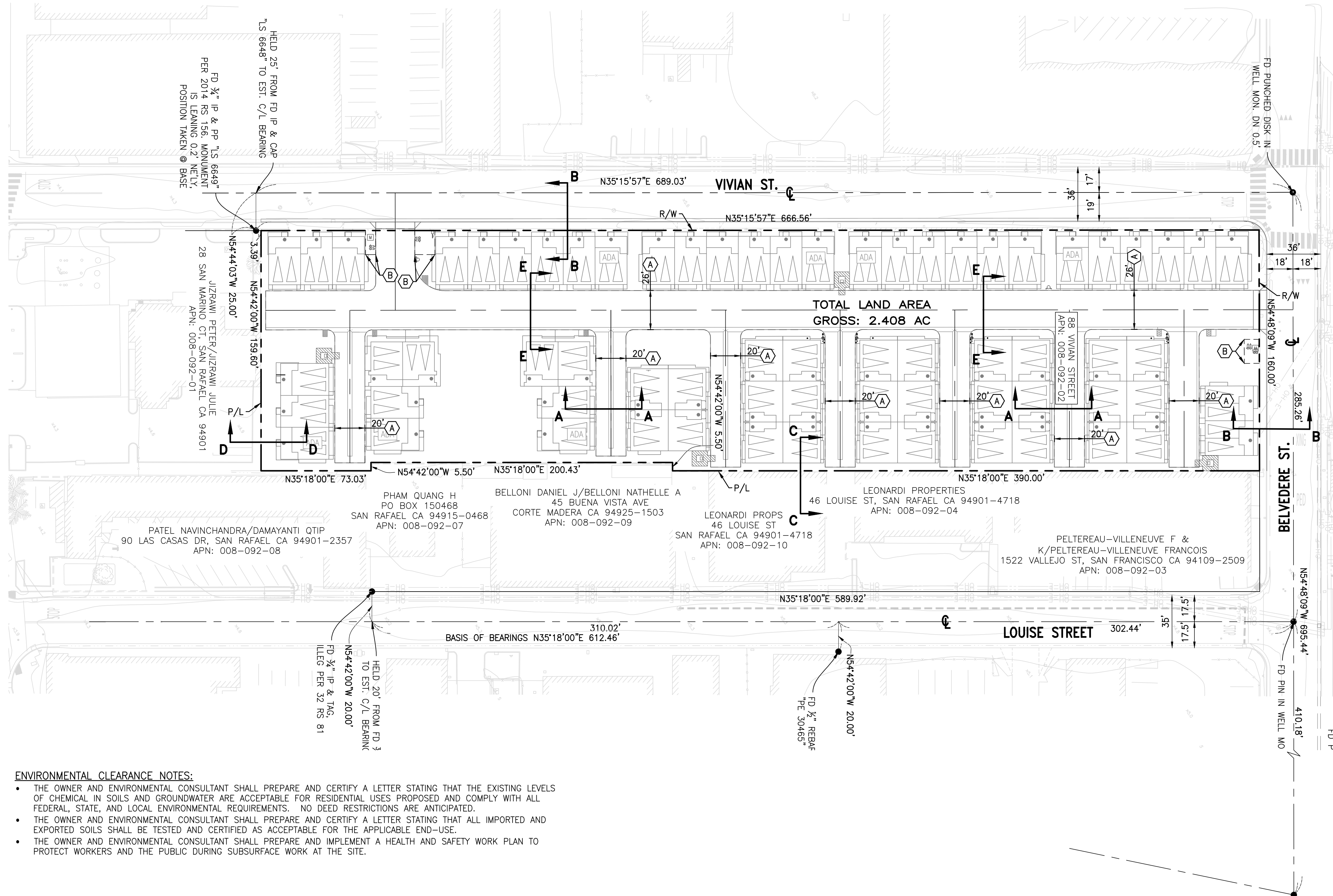
### PROPOSED EASEMENTS

- (A) EASEMENT FOR EMERGENCY AND SOLID WASTE COLLECTION SERVICE PURPOSED INCLUDING INGRESS AND EGRESS RIGHTS FOR ACCESS PURPOSES.
- (B) AN EASEMENT FOR PUBLIC UTILITY, INSTALLATION AND MAINTENANCE OF WATER FACILITIES AND INCIDENTAL PURPOSES.

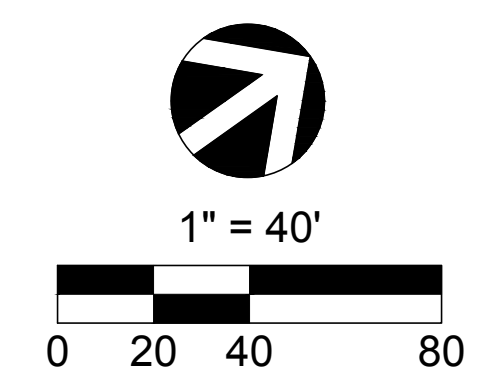
### PRELIMINARY EARTHWORK QUANTITIES

RAW FILL:	604 CY
RAW CUT:	944 CY
ST UNDERCUT:	2470 CY
TOTAL CUT (EXPORT)	2810 CY

NOTE: QUANTITIES DO NOT INCLUDE UTILITY SPOILS, FOOTING SPOILS, OR REMEDIAL GRADING



- ### ENVIRONMENTAL CLEARANCE NOTES:
- THE OWNER AND ENVIRONMENTAL CONSULTANT SHALL PREPARE AND CERTIFY A LETTER STATING THAT THE EXISTING LEVELS OF CHEMICAL IN SOILS AND GROUNDWATER ARE ACCEPTABLE FOR RESIDENTIAL USES PROPOSED AND COMPLY WITH ALL FEDERAL, STATE, AND LOCAL ENVIRONMENTAL REQUIREMENTS. NO DEED RESTRICTIONS ARE ANTICIPATED.
  - THE OWNER AND ENVIRONMENTAL CONSULTANT SHALL PREPARE AND CERTIFY A LETTER STATING THAT ALL IMPORTED AND EXPORTED SOILS SHALL BE TESTED AND CERTIFIED AS ACCEPTABLE FOR THE APPLICABLE END-USE.
  - THE OWNER AND ENVIRONMENTAL CONSULTANT SHALL PREPARE AND IMPLEMENT A HEALTH AND SAFETY WORK PLAN TO PROTECT WORKERS AND THE PUBLIC DURING SUBSURFACE WORK AT THE SITE.



DEVELOPER : REVISIONS					
NO.	DATE	INITIAL	DESCRIPTION	APP	DATE

**ASHTON 3, LLC**  
30 VIA LATIGO  
RANCHO SANTA MARGARITA, CA 92688

SOILS ENGINEER :  
**GEOCON CONSULTANTS, INC.**  
6871 BRISA STREET  
LIVERMORE, CA 94559  
PHONE (925) 371-5900

PREPARED BY :

**C&V CONSULTING, INC.**  
9830 IRVINE CENTER DRIVE  
IRVINE, CALIFORNIA 92618  
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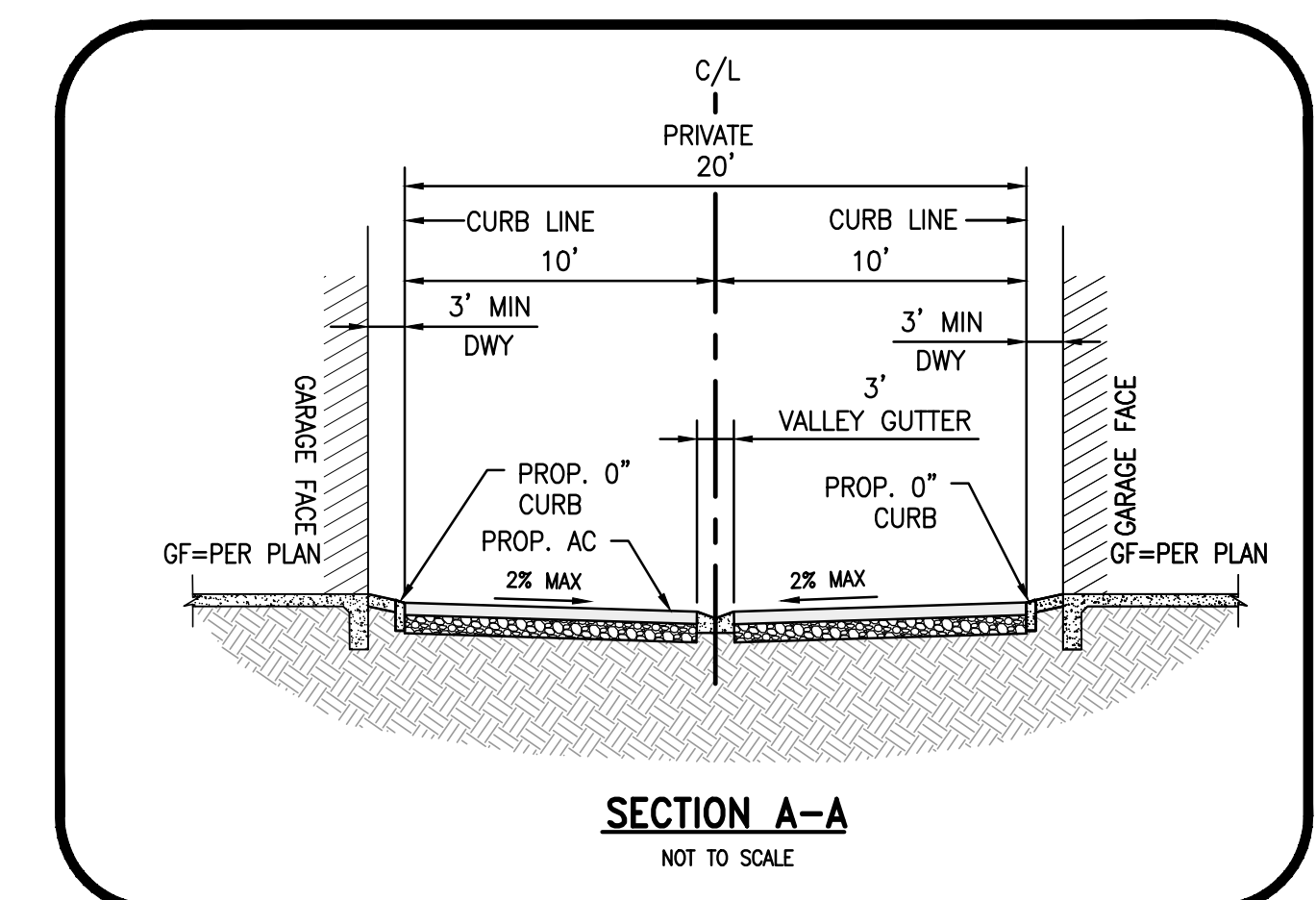
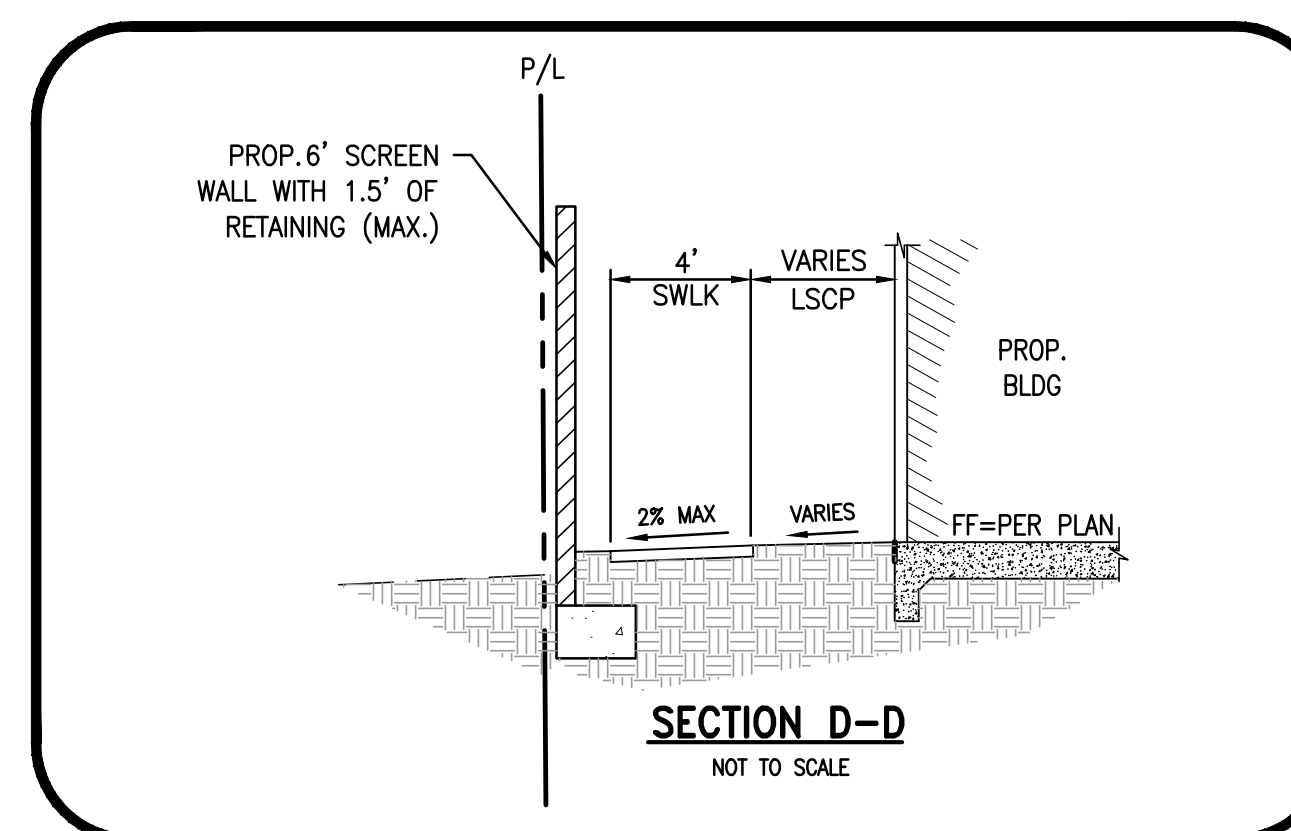
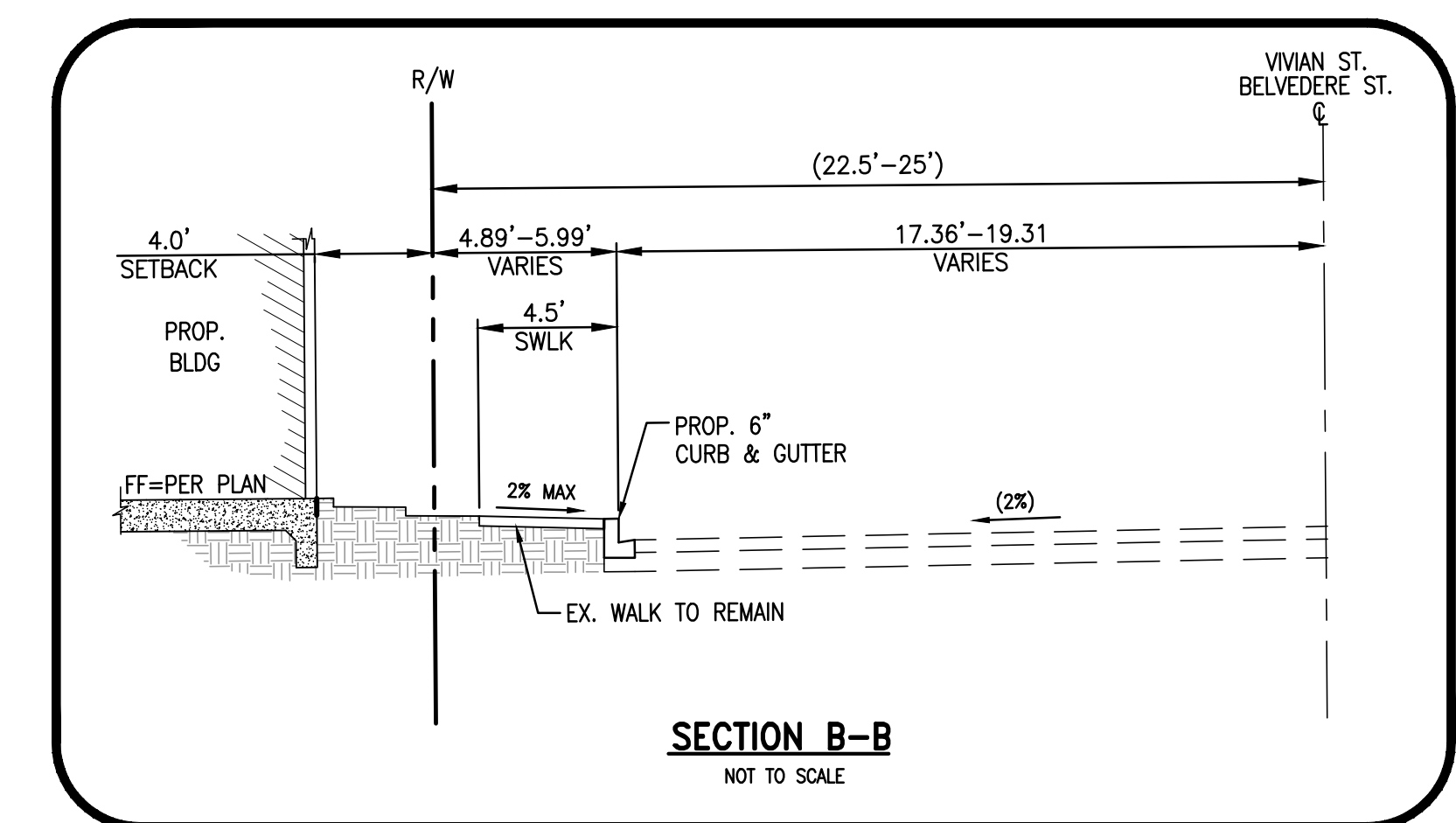
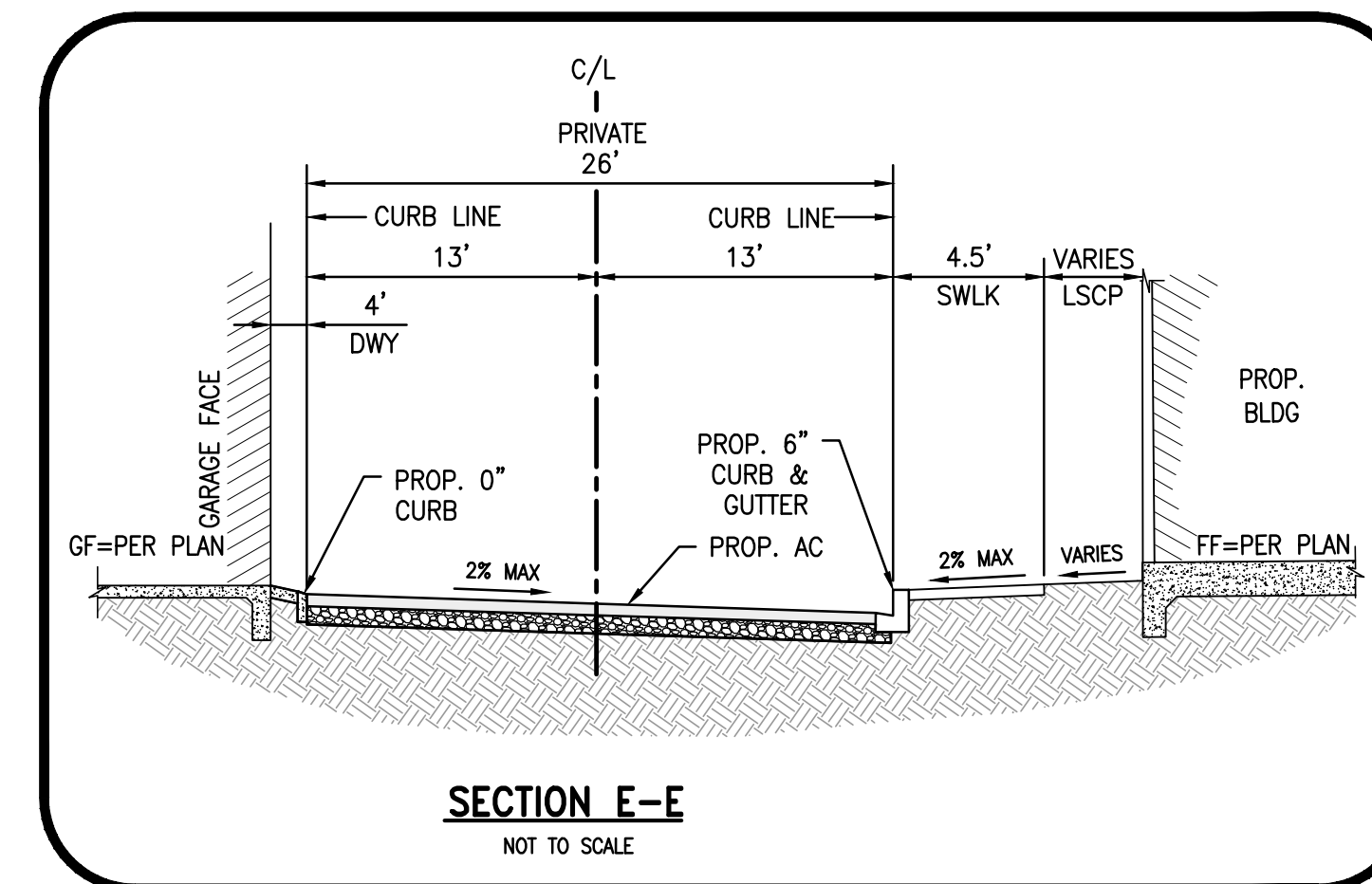
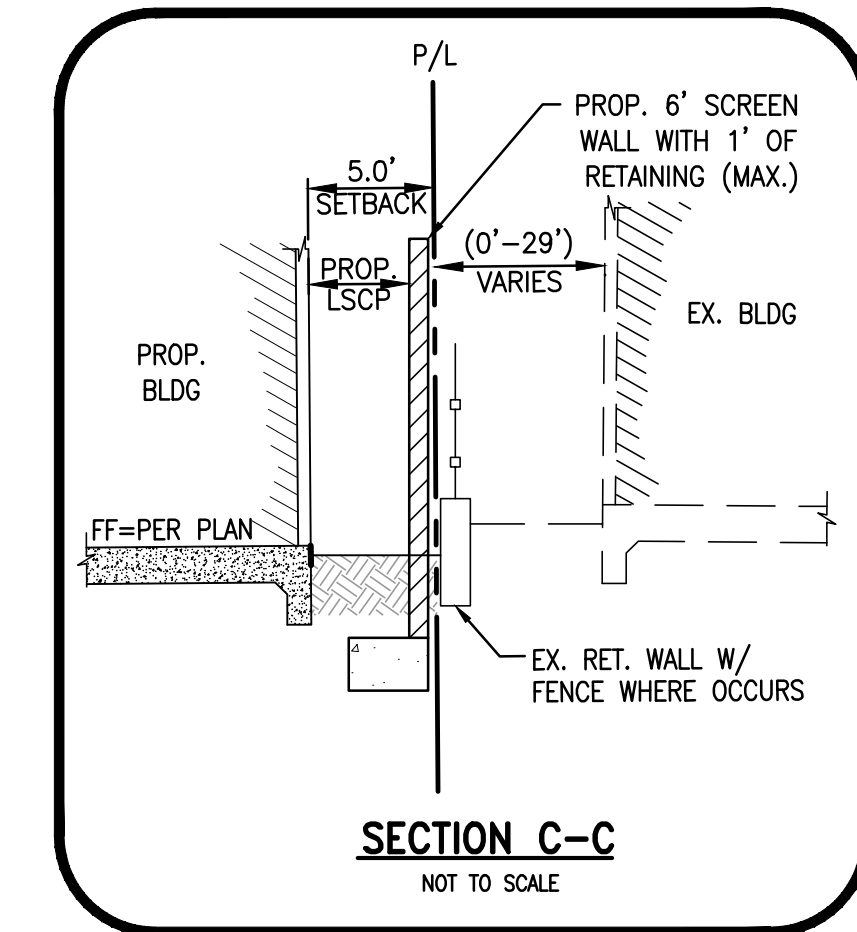
**TENTATIVE TRACT MAP**  
**88 VIVIAN STREET**

DATE: 1/17/2022  
SHEET 1 OF 8

SCALE: AS SHOWN    DRAWN BY: AV    CHECKED BY: JC

**CITY OF SAN RAFAEL**

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DEVELOPER :					
REVISIONS					
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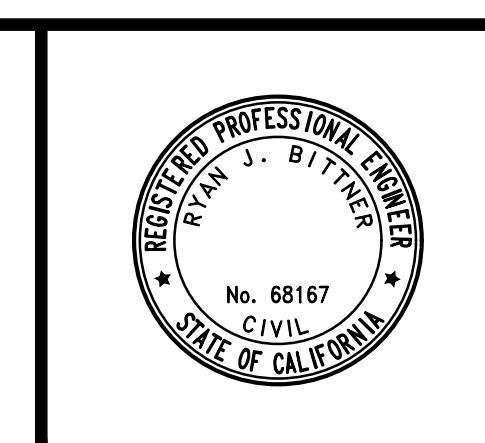
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 IRVINE, CALIFORNIA 92618  
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 INFO@CVC-INC.NET  
 WWW.CVC-INC.NET



**TENTATIVE TRACT MAP**  
**88 VIVIAN STREET**  
**PRELIMINARY SECTIONS**

DATE: 1/17/2022  
 SHEET 2 OF 8

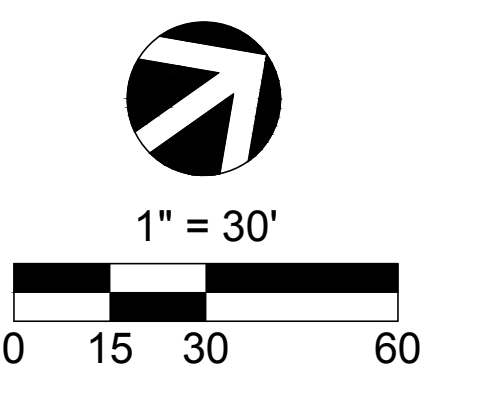
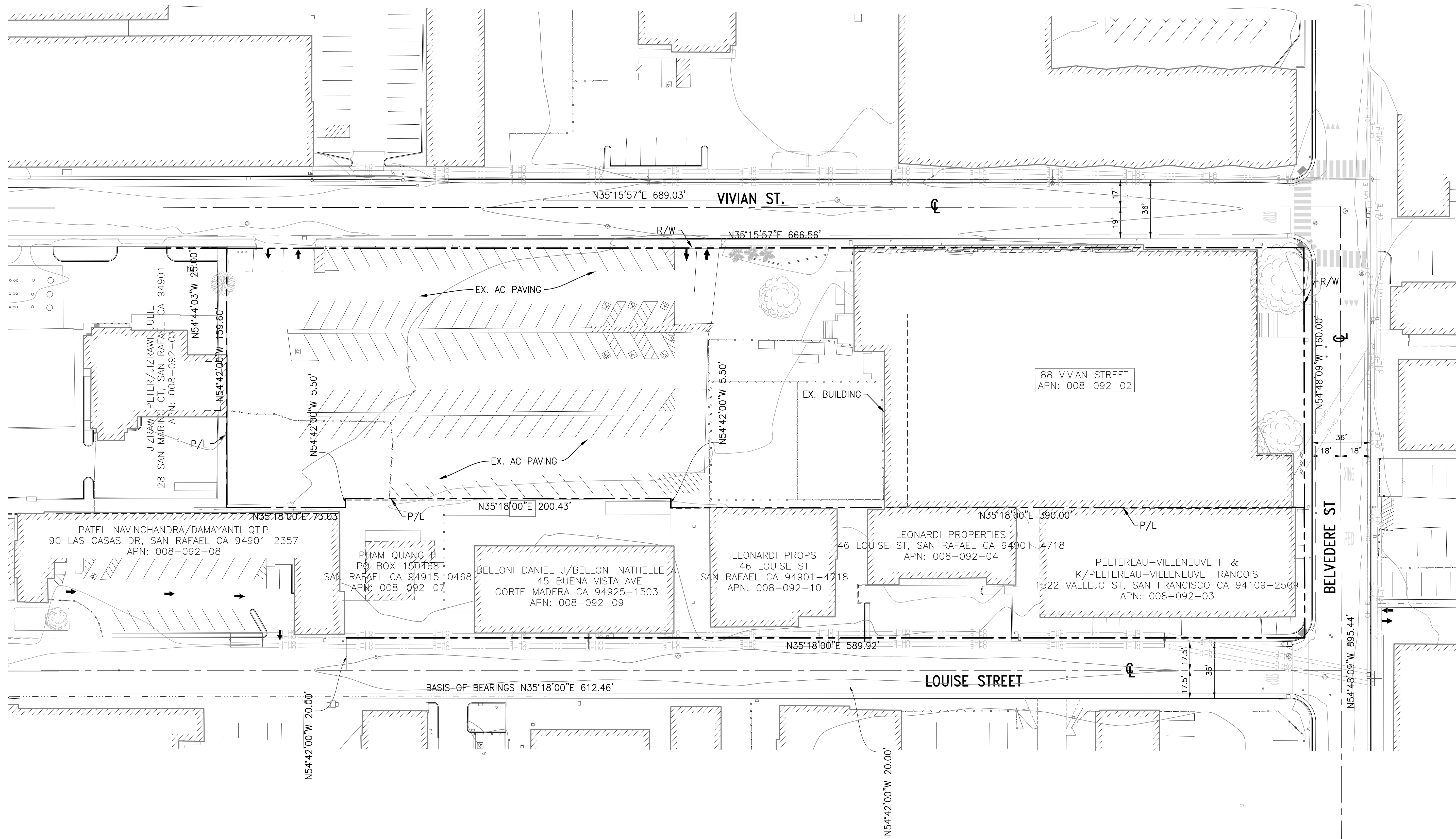
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**CITY OF SAN RAFAEL**

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# EXISTING CONDITIONS PLAN

FOR CONDOMINIUM PURPOSES  
CITY OF SAN RAFAEL, COUNTY OF MARIN,  
STATE OF CALIFORNIA



DEVELOPER :					
REVISIONS					
NO.	DATE	INITIAL	DESCRIPTION	APP	DATE

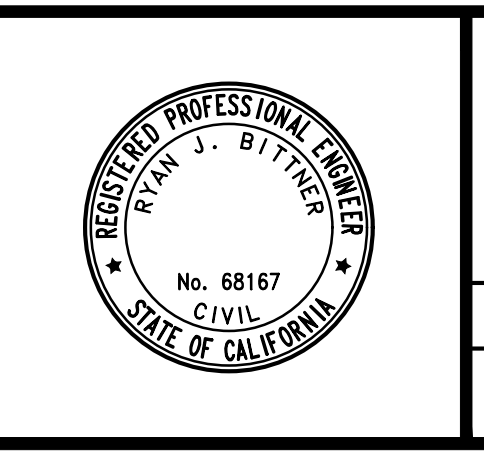
**ASHTON 3, LLC**  
30 VIA LATIGO  
RANCHO SANTA MARGARITA, CA 92688

SOILS ENGINEER :  
**GEOCO CONSULTANTS, INC.**  
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**TENTATIVE TRACT MAP**  
**88 VIVIAN STREET**  
**EXISTING CONDITIONS**

SCALE: AS SHOWN    DRAWN BY: AV    CHECKED BY: JC

**CITY OF SAN RAFAEL**

DATE: 1/17/2022  
SHEET 3 OF 8

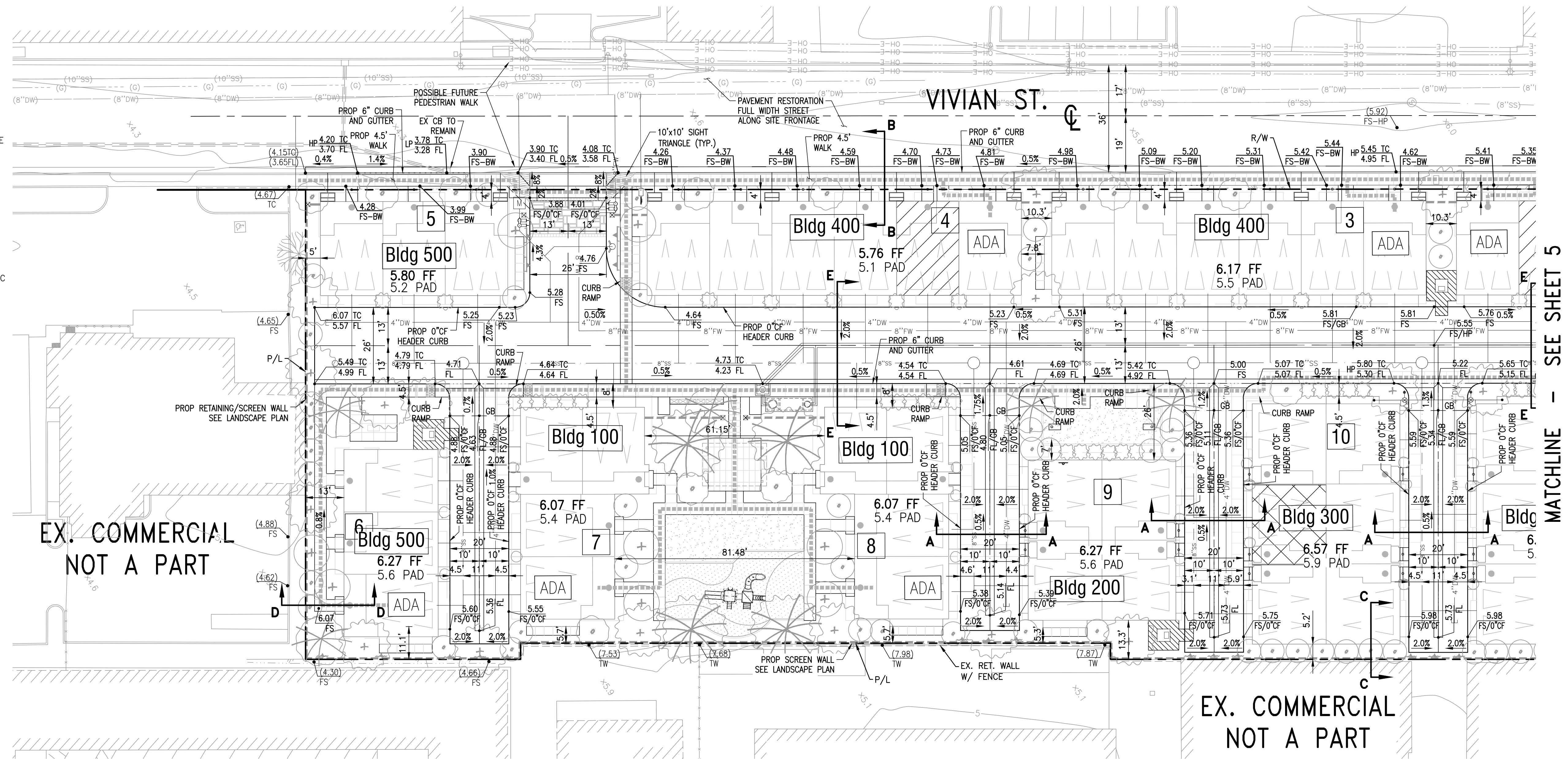
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# PRELIMINARY GRADING PLAN

FOR CONDOMINIUM PURPOSES  
CITY OF SAN RAFAEL, COUNTY OF MARIN,  
STATE OF CALIFORNIA

## ABBREVIATIONS:

AB	AGGREGATE BASE	MISC	MISCELLANEOUS
AC	ASPHALTIC CONCRETE	MH	MANHOLE
BC	BEGIN CURVE	MWS	MODULAR WETLAND SYSTEM
BCR	BEGIN CURB RETURN	N.A.P.	NOT A PART
BLVD	BOULEVARD	N'LY	NORTHERLY
BW	BACK OF WALK	N	NORTH
CB	CATCH BASIN	NTS	NOT TO SCALE
C&G	CURB AND GUTTER	OC	ON CENTER
CF	CURB FACE	OD	OUTSIDE DIAMETER
CL	CENTER LINE	PA	PLANTER AREA
CO	CLEAN OUT	PCC	PORTLAND CEMENT CONCRETE
CY	CUBIC YARDS	PL	PROPERTY LINE
CCDA	DOUBLE CHECK DETECTOR ASSEMBLY	PR; PROP	PROPOSED
DW	DOMESTIC WATER	PVC	POLY VINYL CHLORIDE PIPE
DWY	DRIVEWAY	R	RADIUS
EA	EACH	RCP	REINFORCED CONCRETE PIPE
EC	END CURVE	RET.	RETAINING
ECR	END CURB RETURN	RT	RIGHT
E'LY	EASTERLY	R/W	RIGHT OF WAY
EVA	EMERGENCY VEHICLE ACCESS	S	SOUTH
EX	EXISTING	SD	STORM DRAIN
FF	FINISHED FLOOR	SF	SQUARE FEET
FG	FINISHED GRADE	SPPWC	STANDARD PLANS FOR PUBLIC WORKS CONSTRUCTION
FH	FIRE HYDRANT	SS	SANITARY SEWER
FS	FINISHED SURFACE	ST	STREET
FG	FINISH GRADE	STLT	STREET LIGHT
FL	FLOW LINE	STA	STATION
FW	FIRE WATER	STD	STANDARD
GB	GRADE BREAK	SW	SIDEWALK
GFF	GARAGE FINISHED FLOOR	TC	TOP OF CURB
HP	HIGH POINT	TF	TOP OF FOOTING
ID	INSIDE DIAMETER	TG	TOP OF GRATE
INV	INVERT	TRW	TOP OF RETAINING WALL
IRR BFD	IRRIGATION BACKFLOW DEVICE	TSF	TOP OF SCREEN FENCE
JS	JUNCTION STRUCTURE	TSW	TOP OF SCREEN WALL
LACDPW	L.A. COUNTY DEPARTMENT OF PUBLIC WORKS	TW	TOP OF WALL
LAT	LATERAL	TYP	TYPICAL
LF	LINEAR FEET	W/	WITH
LP	LOW POINT	W	WEST
LS	LANDSCAPE	WI	WROUGHT IRON
LT	LEFT	W'LY	WESTERLY
MAX	MAXIMUM	XFMR	TRANSFORMER
MIN	MINIMUM		



## NOTES:

- ALL CURB RAMPS SHALL BE IN COMPLIANCE WITH THE APPROPRIATE SECTION OF CALIFORNIA BUILDING CODE.
- CURB, GUTTER, AND SIDEWALK SHALL BE IN ACCORDANCE WITH MARIN COUNTY UNIFORM CONSTRUCTION STANDARDS

## LEGEND:

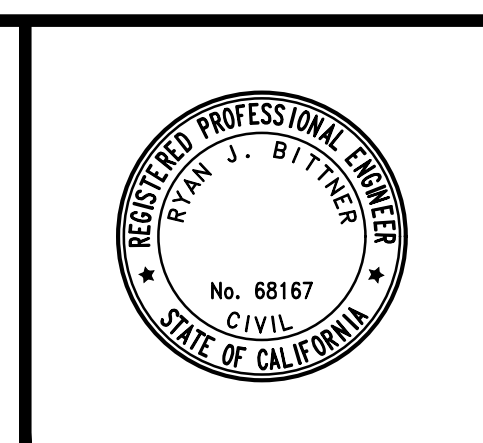
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PROPERTY LINE	---	PROPOSED WALL	---
EX. SEWER LINE	---	EXISTING SCREEN WALL	---
EX. WATER LINE	---	RUBBER TILT LOT (PER LS PLANS)	---
EX. OVERHEAD UTILITY	---	TURF (PER LS PLANS)	---
EX. GAS	---	STAMPED CONCRETE (PER LS PLANS)	---
EX. STORM DRAIN	---	MODULAR WETLAND PLANTER BOX	---
ADA PATH OF TRAVEL	---	STORM DRAIN JUNCTION STRUCTURE	---
FIRE HYDRANT	---	MODULAR WETLAND SYSTEM	---
STREET LIGHT	---	DCDA/BACKFLOW DEVICE	---
SEWER MANHOLE	---	CATCH BASIN	---
PR. DOMESTIC WATER LINE	---	WATER METER	---
PR. FIRE WATER LINE	---	EXISTING ELEVATION (100.00)	---
PR. STORM DRAIN LINE	---	PROPOSED ELEVATION 100.00	---
PR. SEWER LINE	---		

NO.	DATE	INITIAL	DESCRIPTION	APP	DATE

DEVELOPER : **ASHTON 3, LLC**  
30 VIA LATIGO  
RANCHO SANTA MARGARITA, CA 92688

SOILS ENGINEER : **GEOCON CONSULTANTS, INC.**  
6671 BRISA STREET  
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PREPARED BY : **C&V CONSULTING, INC.**  
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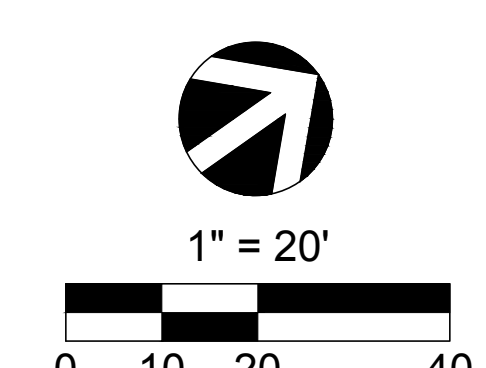


TENTATIVE TRACT MAP  
88 VIVIAN STREET  
PRELIMINARY GRADING PLAN

DATE: 1/17/2022  
SHEET 4 OF 8

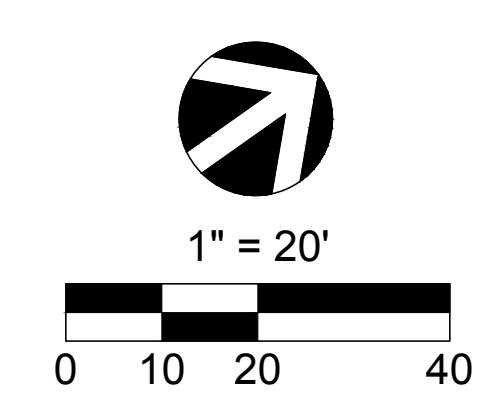
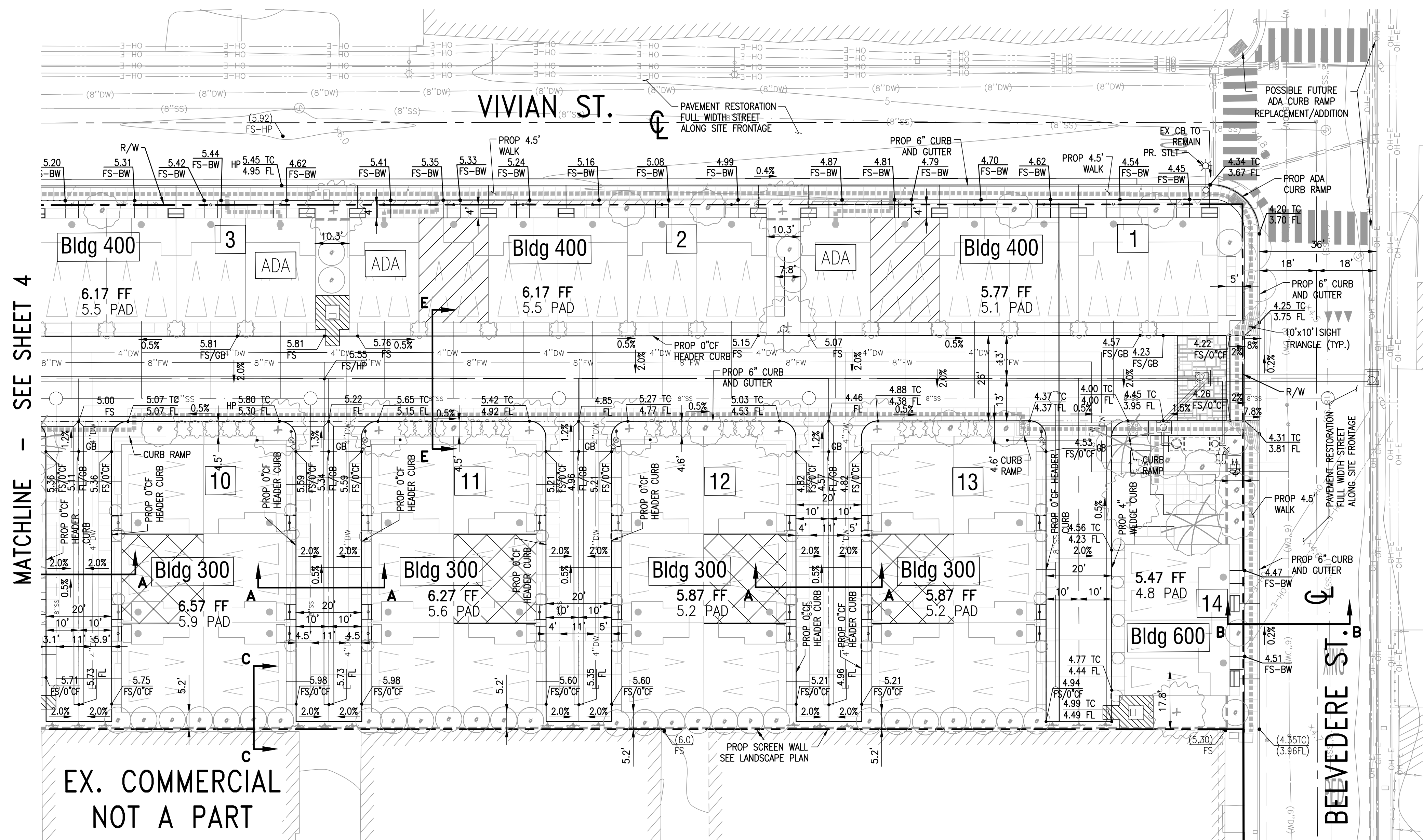
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CITY OF SAN RAFAEL



MATCHLINE - SEE SHEET 5

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DEVELOPER : REVISIONS					
NO.	DATE	INITIAL	DESCRIPTION	APP	DATE

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**TENTATIVE TRACT MAP**  
**88 VIVIAN STREET**  
**PRELIMINARY GRADING PLAN**

DATE: 1/17/2022  
 SHEET 5 OF 8

SCALE: AS SHOWN    DRAWN BY: AV    CHECKED BY: JC

**CITY OF SAN RAFAEL**

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# PRELIMINARY UTILITY PLAN

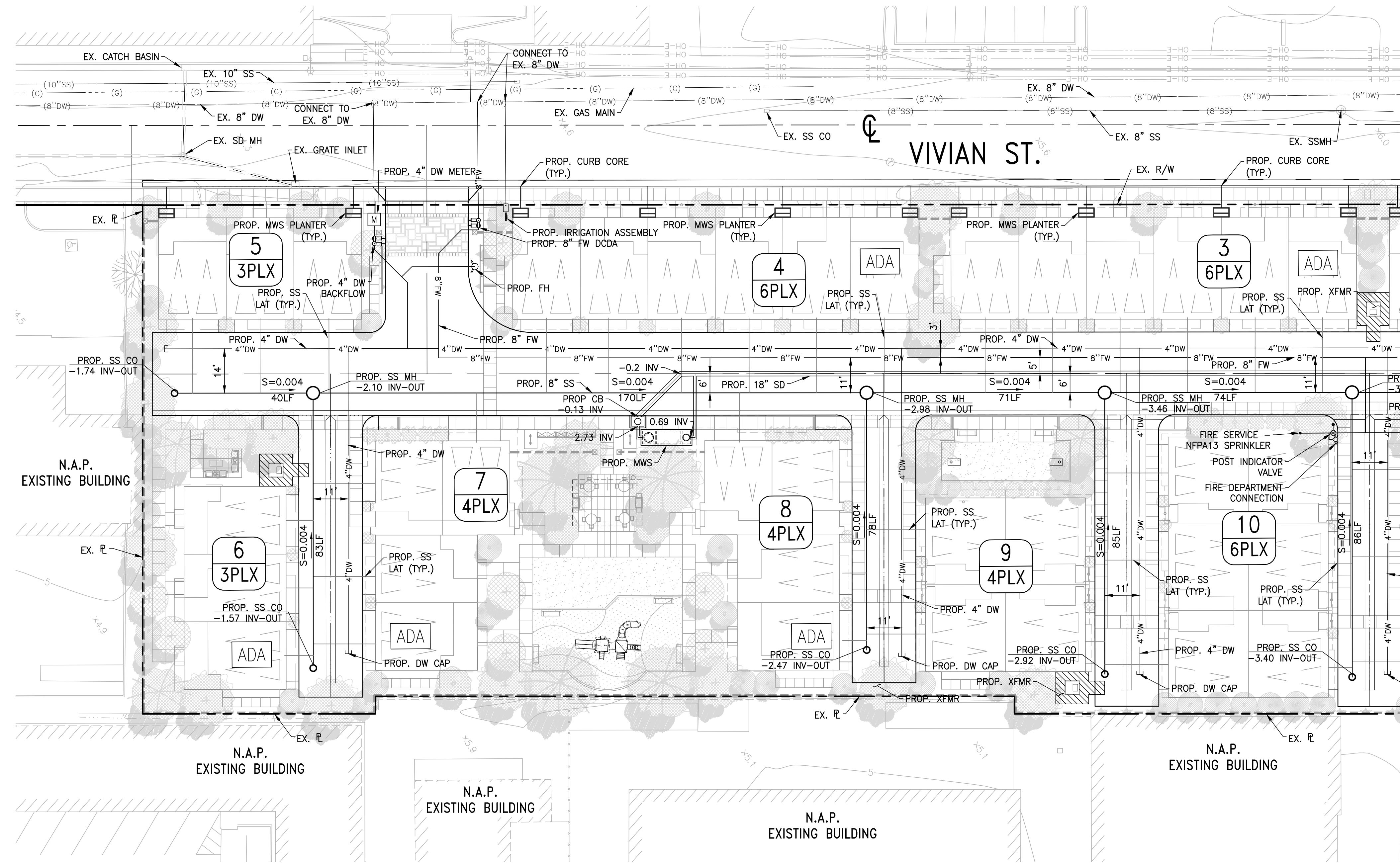
FOR CONDOMINIUM PURPOSES  
CITY OF SAN RAFAEL, COUNTY OF MARIN,  
STATE OF CALIFORNIA

## ABBREVIATIONS:

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DWY	DRIVEWAY	R	RADIUS
EA	EACH	RCP	REINFORCED CONCRETE PIPE
EC	END CURVE	RET.	RETAINING
ECR	END CURB RETURN	RT	RIGHT
E'LY	EASTERLY	R/W	RIGHT OF WAY
EVA	EMERGENCY VEHICLE ACCESS	S	SOUTH
EX	EXISTING	SD	STORM DRAIN
FF	FINISHED FLOOR	SF	SQUARE FEET
FG	FINISHED GRADE	SPPWC	STANDARD PLANS FOR PUBLIC WORKS CONSTRUCTION
FH	FIRE HYDRANT	SS	SANITARY SEWER
FS	FINISHED SURFACE	ST	STREET
FG	FINISH GRADE	STLT	STREET LIGHT
FL	FLOW LINE	STA	STATION
FW	FIRE WATER	STD	STANDARD
GB	GRADE BREAK	SW	SIDEWALK
GFF	GARAGE FINISHED FLOOR	TC	TOP OF CURB
HP	HIGH POINT	TF	TOP OF FOOTING
ID	INSIDE DIAMETER	TG	TOP OF GRATE
INV	INVERT	TRW	TOP OF RETAINING WALL
IRR BFD	IRRIGATION BACKFLOW DEVICE	TSF	TOP OF SCREEN FENCE
JS	JUNCTION STRUCTURE	TSW	TOP OF SCREEN WALL
LACDPW	L.A. COUNTY DEPARTMENT OF PUBLIC WORKS	TW	TOP OF WALL
LAT	LATERAL	TYP	TYPICAL
LF	LINEAR FEET	W	WEST
LP	LOW POINT	W	WEST
LS	LANDSCAPE	WI	WROUGHT IRON
LT	LEFT	W'LY	WESTERLY
MAX	MAXIMUM	XFMR	TRANSFORMER
MIN	MINIMUM		

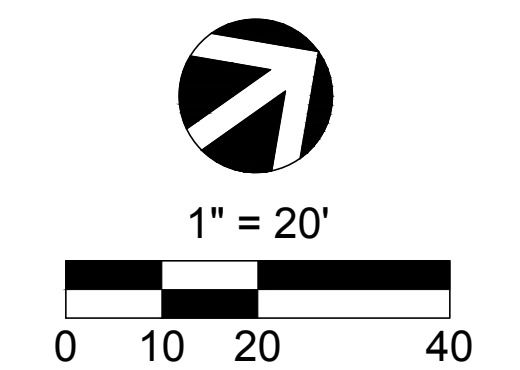
## LEGEND:

STREET CENTER LINE		EXISTING WALL	
PROPERTY LINE		PROPOSED WALL	
EX. SEWER LINE		EXISTING SCREEN WALL	
EX. WATER LINE		RUBBER TOT LOT (PER LS PLANS)	
EX. OVERHEAD UTILITY		TURF (PER LS PLANS)	
EX. GAS		STAMPED CONCRETE (PER LS PLANS)	
EX. STORM DRAIN		MODULAR WETLAND PLANTER BOX	
ADA PATH OF TRAVEL		STORM DRAIN JUNCTION STRUCTURE	
FIRE HYDRANT		MODULAR WETLAND SYSTEM	
STREET LIGHT		DCDA/BACKFLOW DEVICE	
SEWER MANHOLE		CATCH BASIN	
PR. DOMESTIC WATER LINE		WATER METER	
PR. FIRE WATER LINE		EXISTING ELEVATION (100.00)	
PR. STORM DRAIN LINE		PROPOSED ELEVATION 100.00	
PR. SEWER LINE			



MATCHLINE - SEE SHEET 7

**NOTES:**  
1. STORM DRAIN STRUCTURES SHALL BE IN ACCORDANCE WITH MARIN COUNTY UNIFORM CONSTRUCTION STANDARDS.



DEVELOPER :					
REVISIONS					
NO.	DATE	INITIAL	DESCRIPTION	APP	DATE

**ASHTON 3, LLC**  
30 VIA LATIGO  
RANCHO SANTA MARGARITA, CA 92688

SOILS ENGINEER :  
**GEOCON CONSULTANTS, INC.**  
6671 BRISA STREET  
LIVERMORE, CA 94559  
PHONE (925) 371-5900

PREPARED BY :

**C&V CONSULTING, INC.**  
6930 IRVINE CENTER DRIVE  
IRVINE, CALIFORNIA 92618  
(949) 916-3800  
INFO@CVC-INC.NET  
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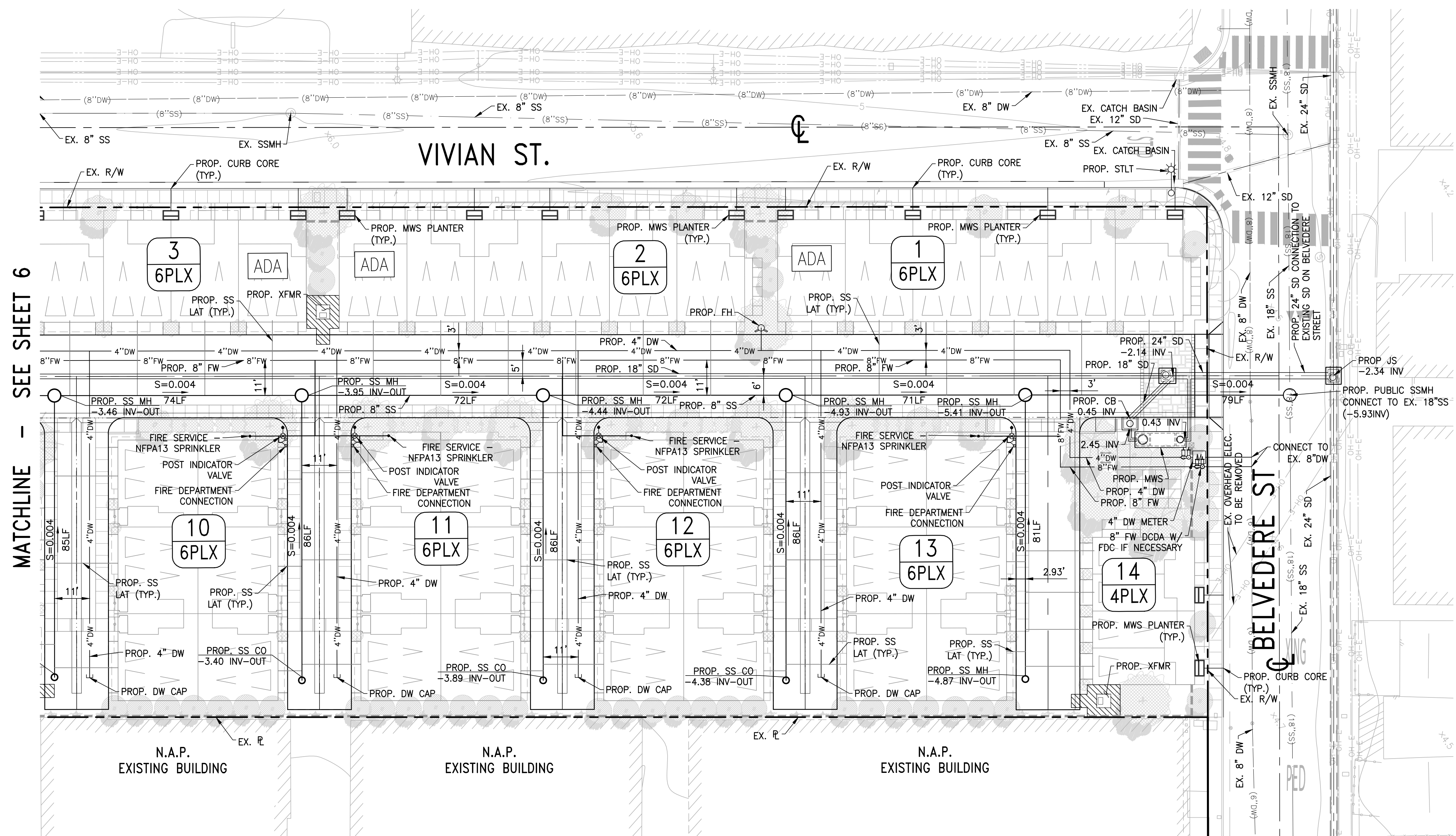
**TENTATIVE TRACT MAP**  
**88 VIVIAN STREET**  
**PRELIMINARY UTILITY PLAN**

DATE: 1/17/2022  
SHEET 6 OF 8

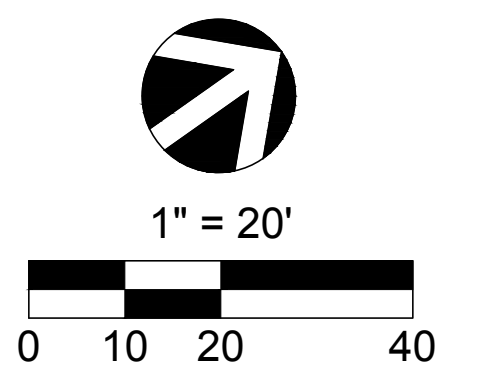
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**CITY OF SAN RAFAEL**

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MATCHLINE - SEE SHEET 6



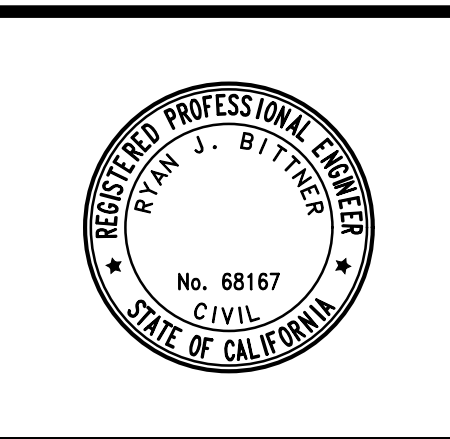
DEVELOPER : REVISIONS					
NO.	DATE	INITIAL	DESCRIPTION	APP	DATE

**ASHTON 3, LLC**  
 30 VIA LATIGO  
 RANCHO SANTA MARGARITA, CA 92688

SOILS ENGINEER :  
**GECON CONSULTANTS, INC.**  
 6671 BRISA STREET  
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**TENTATIVE TRACT MAP**  
**88 VIVIAN STREET**  
**PRELIMINARY UTILITY PLAN**

DATE: 1/17/2022  
 SHEET 7 OF 8

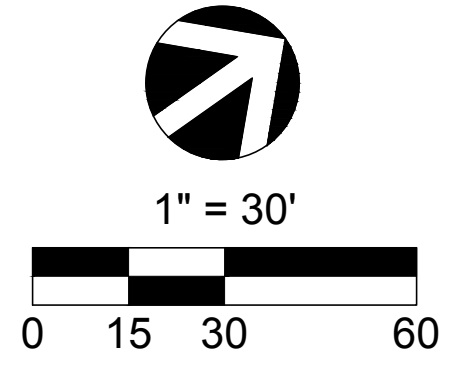
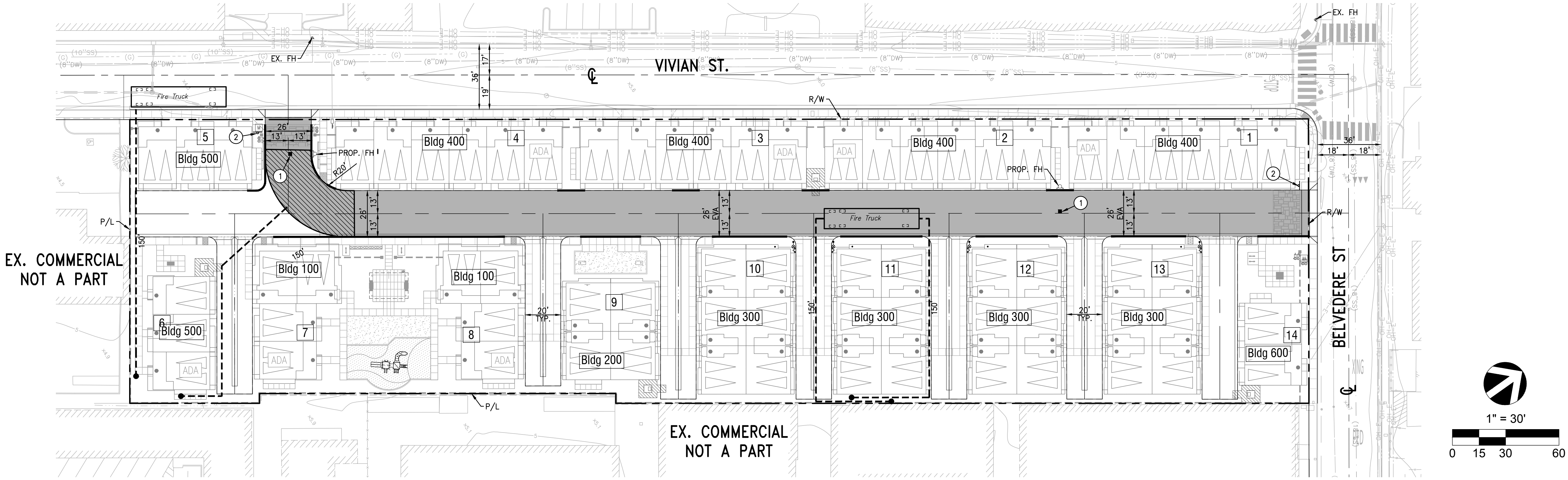
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**CITY OF SAN RAFAEL**


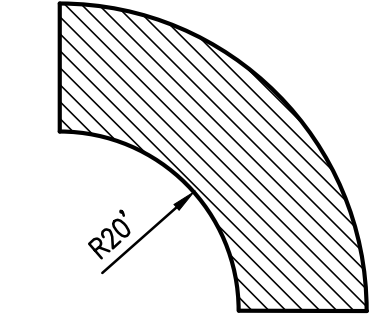

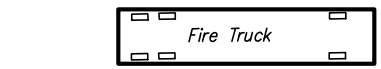





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# FIRE ACCESS PLAN

FOR CONDOMINIUM PURPOSES  
CITY OF SAN RAFAEL, COUNTY OF MARIN,  
STATE OF CALIFORNIA



**LEGEND:**

-  INDICATES FIRE ACCESS LANE (20' MIN)
-  SAN RAFAEL FIRE TURNING RADIUS
-  PROPOSED RED CURB (NO PARKING)
-  FIRE HOSE (PULL 150' MAX)
-  FIRE TRUCK
-  FIRE HYDRANT
-  R/W
-  PROP.
-  EX.



Additional verbiage shall be 1" bold, condensed red lettering on white reflective background. Where parking stalls are not present, sign may omit "except in designated stalls" and sign height may be reduced to 18".  
Specifications for the rest of the sign shall match those of standard fire lane no parking signs.

② NO PARKING SIGN

- NOTES:**
- ALL BUILDINGS ARE 3-STORY UNLESS OTHERWISE NOTED.
  - OCCUPANCY IS R-2 ATTACHED DWELLING UNITS FOR BUILDINGS 9-12. OCCUPANCY IS R-3 TOWNHOMES FOR ALL OTHER BUILDINGS.
  - ALL BUILDINGS ARE EQUIPPED WITH AUTOMATIC FIRE SPRINKLER SYSTEMS. BUILDINGS 9-12 ASSUMED TO BE NFPA 13 SYSTEMS. ALL OTHER BUILDING ASSUMED TO BE NFPA 13D SYSTEMS.
  - THE DESIGNATED FIRE APPARATUS ACCESS ROADS AND FIRE HYDRANTS SHALL BE INSTALLED AND APPROVED BY THE FIRE PREVENTION BUREAU PRIOR TO CONSTRUCTION OF BUILDINGS.

- ① BLUE HYDRANT REFLECTOR/MARKER PER CITY OF SAN RAFAEL FIRE DEPARTMENT SPECIFICATIONS AND REQUIREMENTS.
- ② INSTALL ALTERNATE FIRE LANE SIGN - "NO PARKING BEYOND THIS POINT EXCEPT IN DESIGNATED STALLS" PER DETAIL HEREON.

DEVELOPER : REVISIONS					
NO.	DATE	INITIAL	DESCRIPTION	APP	DATE

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**CONSULTING, INC.**  
CIVIL ENGINEERING  
LAND PLANNING & SURVEYING



**TENTATIVE TRACT MAP**  
88 VIVIAN STREET  
FIRE ACCESS PLAN

DATE: 1/17/2022  
SHEET 8 OF 8

SCALE: AS SHOWN    DRAWN BY: AV    CHECKED BY: JC

**CITY OF SAN RAFAEL**