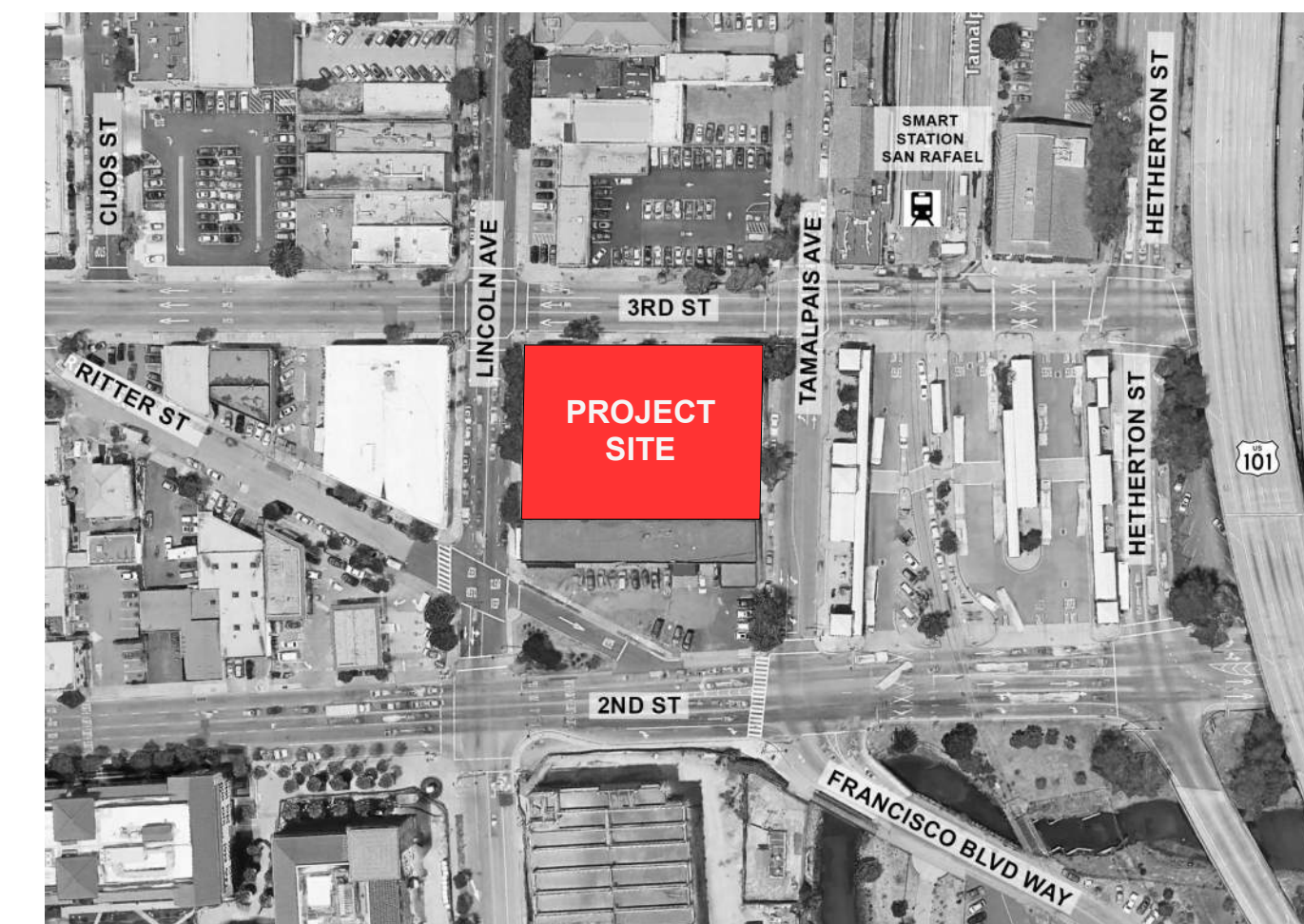




VIEW FROM 3RD ST AND LINCOLN AVE



VICINITY MAP

NOT TO SCALE

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PROJECT DESCRIPTION

703 Third Street is a 119-unit housing development designed as a gateway statement on the 0.65 acre site at the corner of 3rd Street and Tamalpais Avenue in the City of San Rafael. This 8 story high-rise building will be a model of sustainability and set a high bar for energy savings and solar PV power production, while leading water re-use and conservation with a grey water system. This gateway building is located directly across from the transit center and SMART train station, providing a unique transit-oriented development (TOD) opportunity. This is reflected in parking ratio of approximately 38 spaces, committing to a transit-based, bikeable and walkable community.

The Sustainable Living Innovations (SLI) building system uses a prefabricated building technology with high-tech construction and built-in systems, assuring quality construction and sustainable living. The building will feature tech-enabled, prefabricated wall and floor panels complete with all major systems and components, including mechanical, electrical & plumbing system as well as preinstalled data infra-structure. Each SLI home provides an enhanced living experience and a healthier, light-filled space of superior quality at a lower cost. The units offer light-filled, spacious, column-free design with floor-to-ceiling glass walls that open to private balconies, incredibly quiet acoustics, ultra-efficient hydronic air conditioning with unit-level controls, comfortable in-floor hydronic radiant heat, lightning-fast, secure internet access, and an integrated Smart-Living App that securely connects residents with every aspect of their home and living experience. The building will be capped off with a large rooftop open space which provides unique views to the surrounding downtown, Mount Tam, and beyond. The building may include an optional courtyard at the second level which could provide additional common open space or stormwater treatment as well as active gathering opportunity.

The building will reflect a modern interpretation of the city's new Downtown Plan with transparent or visually interesting street-frontage and activating uses such as a large bike lounge visible from the street. A "Gallery" along Third Street will provide an arcaded entry with accessible access to the lobby and management offices above the area's flood plain. The arcaded backdrop will have accent walls which screen required utility spaces while providing visual interest. The raised space provides a strong base to the ground floor. The modern façade will have a 5/7/9 rhythm to the facade accented by the vertical pattern of balconies with a strong cap strengthened by the deeper balconies on the top floor(s). New Street trees in tree grates, landscape planters, and bike hoops for visitors create a new streetscape along Third Street, Lincoln Avenue and Tamalpais Avenue.

703 Third Street represents the future of San Rafael's urban-sustainable living.

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703 THIRD STREET | COVER SHEET

SAN RAFAEL, CA | 08/03/22 | SLI



ARCHITECTURE | URBAN DESIGN | SAN FRANCISCO | OWNER | MINNEAPOLIS
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PLANNING INFORMATION & ZONING SUMMARY	
SITE ADDRESS 703 Third Street	
DESCRIPTION This project proposes a new eight-story multi-family building with mixed-use at the ground level. The new building will contain a bike lounge, residential lobby, and residential parking on the ground level and a roof deck at the roof level. The upper seven levels will consist of one hundred and nineteen residential units.	
APPLICABLE CODES & REGULATIONS San Rafael Downtown Precise Plan San Rafael Downtown Form Based Code (DTFBC) San Rafael Municipal Code (SRMC)	
GENERAL PLAN DESIGNATION Downtown Mixed Use ZONING PLAN T5 Main Street, T5MS 70/90 PRECISE PLAN No Sub Zones APN # 011-278-02 SITE AREA 0.62 ACRES (27,367 SF)	

T5MS 70/90 REQUIREMENTS	PROPOSED	NOTES
C. BUILDING PLACEMENT		
SETBACK (Distance from ROW/Lot Line)		
Front (Facade Zone):	0' MIN.; 5' MAX.	1-5'
Side Street (Facade Zone):	0' MIN.; 5' MAX.	1-5'
Total length of facade:		
Front	90% MIN.	95%
Side Street	80% MIN.	95%
Side	0' MIN.	
Rear	0' MIN.	3'
CIVIC SPACE SB 1763		
Site Size (SF) or Lot Width	Req'd Area (min.)	
15,000 to 30,000 or 100'-150'	200 SF	Not Provided Waiver
Lot Width > 250'	5% of site	1,368 SF
D. ENCROACHMENTS		
FAÇADE TYPE	FRONT-A	SIDE-A
STEPS TO BUILDING ENTRY	3' MAX	
CANOPIES/OVERDOORS SIGNAGE - FRONT	4' MAX	Required by Flood plain
CANOPIES/OVERDOORS SIGNAGE - SIDE	4' MAX	Entry Canopy, Not greater than 4'
BALCONIES & BAY WINDOWS - FRONT	4' MAX.	Does not extend over the PL more than 4'
BALCONIES & BAY WINDOWS - SIDE	4' MAX.	Does not extend over the PL more than 4'
CORNER ELEMENT	3' MIN. 4' MAX	N/A No corner element
E. BUILDING FORM & MAXIMUM ENVELOPE		
HEIGHT		
OVERALL:	Base 70' MAX.	With Height Bonus 90' MAX.
HIGHEST TOP PLATE/HIGHEST EVE	65' MIN.; 85' MAX. 10' MIN. at 65'	85' MAX. Not provided
GROUND FLOOR STANDARDS		
GROUND FLOOR FINISH LEVEL:	12" MIN.	* Or as req'd per FEMA base flood elevation
RESIDENTIAL		36"
GROUND FLOOR CEILING	14" MIN.	15"
DEPTH, GROUND-FLOOR SPACE	30' MIN. FRONT 12' MIN. OTHER	30' at Lobby
F. FRONTAGES		
GALLERY (3.3.110)		
Front: Allowed	DEPTH CLR 8' MIN.	6' CLEAR
Side Street: Allowed	HEIGHT 12' MIN.	12' MIN.
% Glazing	75%	Varies along Gallery
		0%, VARIES
G. ADJACENCY STANDARDS		
HISTORIC RESOURCE ADJACENCY N/A		
H. PARKING REQUIREMENTS		
VEHICULAR SPACES		
Studio or 1 Bedroom	0.5 space per Unit	42
2 Bedroom	1 space per Unit	35
ELECTRIC VEHICLE CHARGING (SRMC 14.18.045)	Not Applicable	
CARSHARE PARKING SPACES (Table 3.1.040A)	101 Units or more: 2+1 for additional 200 units	2
CARPPOOL PARKING SPACES (Table 3.1.040.B)	NONE	NONE
BICYCLE SPACES		
Studio or 1 Bedroom	1 per unit	84
2 Bedroom	2 per unit	70
SRMC Section 14.18.090	Non-Residential	None Required < 2,500 s.f.
PARKING SETBACK (Distance from ROW/Lot Line)		
FRONT	35' MIN.	25'
SIDE STREET	25' MIN. WHEN ENCLOSED	0'
SIDE	0' MIN.	N/A
REAR	5' MIN.	0' IF PARKING IN A GARAGE
DRIVEWAY WIDTH		
SIDE STREET/ALLEY	20' MAX.	20'
CURB CUT	14' MAX.	14'
PLANTER (ON EACH SIDE)	2'	2'
DISTANCE BETWEEN DRIVEWAYS	40' MIN.	N/A
DIVISION 3.2 MASSING & FAÇADE ARTICULATION STANDARDS		
	FAÇADE > 100'	FAÇADE > 150'
3.2.030 TRIPARTE FAÇADE ARTICULATION	YES	YES
3.2.040 MASSING & COMPOSITION	YES	YES
3.2.050 CORNER ELEMENTS	NO	NO
3.2.060 WINDOWS & OPENINGS	YES	YES
3.2.070 HISTORIC RESOURCE ADJACENCY	Required where adjacent	
DIVISION 3.3 FRONTAGE STANDARD (T5MS)		
SHOPFRONT - DISTANCE BETWEEN	3' MAX.	3' Max.
GLAZING	75% MIN.	75%
GROUND FLOOR-CEILING % GLAZING	30' MIN.	3' Provided
SHOPFRONT - BASE	5' MIN.	6'
AWNINGS ALLOWED		At Entry

PROPOSED WAIVERS: (Based on SDBL. It is anticipated that these items below will be waivers as they impact building envelope/unit count)	
BUILDING PLACEMENT: CIVIC SPACE REQ'D.	
BUILDING FORM: HEIGHT; STEPBACK ALL SIDES (10' AT 65')	
FRONTAGES: GALLERY, CLEAR DEPTH 8' REQ'D.	6' WIDE RAMP PROVIDED
FRONTAGES: GALLERY % GLAZING TO MATCH SHOPFRONT 75%	AT GALLERY RAMP ENTRY
MASSING & FAÇADE ARTICULATION: CORNER ELEMENT	NOT PROVIDED
VEHICULAR PARKING: 77 Required	38 SPACES PROVIDED: Parking standard does not apply. State Density Bonus allows no parking.
CARSHARE PARKING: 2 Required	NONE PROVIDED
BICYCLE PARKING: 154 Required	120 SPACES PROVIDED
PARKING SETBACKS	FRONT ST. - 35' SIDE ST. - 25'

OVERALL BUILDING AREA AND UNIT SUMMARY

FLOOR	NUMBER OF UNITS PER TYPE			AREA IN SQUARE FEET								
	STUDIO UNITS	1 BEDROOM UNITS	2 BEDROOM UNITS	RESIDENTIAL SF	LOBBY AREA	MANAGEMENT	BIKE ROOM	COMMUNITY SPACE	UTILITY	PARKING	CIRCULATION	TOTAL
GROUND FLOOR	0	0	0	0	500	760	900	325	4,000	16,055	1080	23,620
SECOND FLOOR	4	8	5	15,390	300				1,000		3,080	19,770
THIRD FLOOR	4	8	5	15,390	300				1,000		3,080	19,770
FOURTH FLOOR	4	8	5	15,390	300				1,000		3,080	19,770
FIFTH FLOOR	4	8	5	15,390	300				1,000		3,080	19,770
SIXTH FLOOR	4	8	5	15,390	300				1,000		3,080	19,770
SEVENTH FLOOR	4	8	5	15,390	300				1,000		3,080	19,770
EIGHTH FLOOR	4	8	5	15,390	300				1,000		3,080	19,770
ROOF*									630		745	1,375
TOTAL	28	56	35	107,730	2,600	760	900	325	11,630	16,055	23,385	163,385

*ROOF AREA DOES NOT INCLUDE ROOF DECK AREA
TOTAL AREA DOES NOT INCLUDE OPTIONAL COURTYARD AND PRIVATE BALCONY AREAS

APPLICABLE CODES & REGULATIONS

ALL WORK SHALL BE IN CONFORMANCE WITH ALL APPLICABLE FEDERAL, STATE, COUNTY & CITY ORDINANCES AND REQUIREMENTS ESTABLISHED BY STATE AND LOCAL FIRE MARSHAL, AND THE RULES AND REGULATIONS OF THE UTILITY COMPANIES SERVING THIS PROJECT. IF CONFLICTS OCCUR, THE MORE STRINGENT REGULATION GOVERNS.

SAN RAFAEL MUNICIPAL CODE	2022 EDITION
SAN RAFAEL DOWNTOWN FORM BASED CODE	2021 EDITION
2019 NFPA 13 (FIRE SPRINKLERS); 2019 NFPA 72 (FIRE ALARM SYSTEM); 2019 NFPA 14 (STANDPIPE)	
PART 2 - CALIFORNIA BUILDING CODE [CBC]	2022 EDITION (ANTICIPATED)
PART 3 - CALIFORNIA ELECTRICAL CODE [CEC]	2022 EDITION (ANTICIPATED)
PART 4 - CALIFORNIA MECHANICAL CODE	2022 EDITION (ANTICIPATED)
PART 5 - CALIFORNIA PLUMBING CODE	2022 EDITION (ANTICIPATED)
PART 6 - CALIFORNIA ENERGY CODE	2022 EDITION (ANTICIPATED)
PART 7 - CALIFORNIA ELEVATOR SAFETY CONSTRUCTION CODE	2022 EDITION (ANTICIPATED)
PART 9 - CALIFORNIA FIRE CODE	2022 EDITION (ANTICIPATED)
PART 11 - CALIFORNIA GREEN BUILDING STANDARDS CODE [CALGreen]	2022 EDITION (ANTICIPATED)

FAIR HOUSING ACT

CONSTRUCTION CLASSIFICATION			
OCCUPANCY TYPE	CONSTRUCTION CLASSIFICATION	FIRE SPRINKLER REQUIREMENTS	EXTERIOR WALLS
LEVEL 1: LOBBY, BIKE LOUNGE, MANAGEMENT OFFICE, GARAGE, UTILITY ROOMS	TYPE I-B [CBC TABLE 601 & TABLE 602]	FIRE SPRINKLERS PER NFPA-13 REQUIRED	2-HR LOAD BEARING WALLS
LEVELS 2-8: 119 DWELLING UNITS			
LEVEL 2 COURTYARD, ROOF DECK; UNCONCENTRATED ASSEMBLY			
A-3, B, R-2, S-2, U	SEPARATED OCCUPANCIES PER PROVISIONS IN CBC 508.4 & BUILDING SEPARATION PER 510.2		1-HR NON LOAD BEARING WALLS

FIRE SPRINKLER REQUIREMENTS

APPROVED AUTOMATIC SPRINKLER SYSTEM REQUIRED THROUGHOUT PER CBC 903.3.1.1 [NFPA 13]
NOTE: SPRINKLER SYSTEM NOTES ARE FOR REFERENCE ONLY. SPRINKLER SYSTEM SHALL BE DESIGN / BUILD AND DRAWINGS SHALL BE SUBMITTED BY SPRINKLER SUBCONTRACTOR UNDER SEPARATE PERMIT.

ALLOWABLE HEIGHT & STORIES	ALLOWABLE STORIES & HEIGHT, TABLES 504.3 & 504.4	PROVIDED STORIES AND HEIGHT
OCCUPANCY GROUP	BASIC ALLOWABLE STORIES, FIRE SPRINKLED W/OUT AREA INCREASE	PROVIDED STORIES
TYPE I-B	A-3, B, M, R-2, S-2, U	8
	MAX. HEIGHT WITHOUT AREA INCREASE	ACTUAL HEIGHT (TOP OF ROOF STRUCTURE)
	12	86'-2"

TOTAL ALLOWABLE AREA PER TABLE 506.2				
FLOOR	MAIN OCCUPANCY	CONSTRUCTION TYPE	A _s = SM. BASE MAXIMUM SQFT W/OUT HEIGHT INCREASE TABLE 506.2	N _S = BASE MAXIMUM SQFT TABLE 506.2
FLOORS 1-8	R-2	I-B	UNLIMITED	UNLIMITED

CONSTRUCTION FIRE-RESISTIVE REQUIREMENTS

TYPE I-B CONSTRUCTION PER CBC 602.2	
EXTERIOR BEARING WALLS PER CBC TABLE 601	2-HR RATED CONSTRUCTION
PRIMARY STRUCTURAL FRAME PER CBC TABLE 601	2-HR RATED CONSTRUCTION
INDIVIDUAL ENCASEMENT FOR PRIMARY STRUCTURAL MEMBERS THAT REQUIRE FIRE RESISTIVE PROTECTION	2-HR RATED CONSTRUCTION PER CBC TABLE 601 AND CBC 704
TYPICAL FLOOR CONSTRUCTION PER CBC TABLE 601	SEE STRUCTURAL DRAWINGS FOR LOCATIONS REFER TO ARCHITECTURAL DRAWINGS FOR FIRE PROTECTION DETAILS
ROOF CONSTRUCTION PER CBC TABLE 601	2-HR RATED CONSTRUCTION
INTERIOR BEARING WALLS PER CBC TABLE 601	1-HR RATED CONSTRUCTION
INTERIOR NON-BEARING WALLS PER CBC TABLE 601	2-HR RATED CONSTRUCTION
WALLS SEPARATING DWELLING UNITS WITHIN R-2 PER CBC 420.2	NON-RATED
FLOORS SEPARATING DWELLING UNITS WITHIN R-2 PER CBC 420.3	1-HR RATED FIRE PARTITION [PER CBC 708]
INTERIOR EXIT STAIRWAYS PER 1023.1	1-HR RATED HORIZONTAL ASSEMBLY [PER CBC 711]
CORRIDORS PER CBC 1020.1	2-HR RATED FIRE BARRIER OR HORIZONTAL ASSEMBLY [CBC 707.3.2, 711]
SHAFT ENCLOSURES PER CBC 2.1.2	1-HR RATED FIRE PARTITION [CBC 708.3] - BUILDING SPRINKLER SYSTEM REQUIRED
FIRE COMMAND CENTER	1-HR RATED FIRE BARRIER [CBC 403.2.1.2]
ELEVATOR	2-HR RATED FIRE BARRIER OR HORIZONTAL ASSEMBLY [CBC 707, 711]
OCCUPANCY SEPARATIONS PER CBC TABLE 508.4	2-HR RATED FIRE BARRIER [CBC 707.3.1]
	1-HR OCCUPANCY SEPARATION BETWEEN: A-3 & B, A-3 & U, B & U, R-2 & S-2, S-2 & U

OTHER CODE PROVISIONS

HIGH RISE BUILDING REQUIREMENTS:
ELEVATORS ON EMERGENCY POWER [CBC 1009.4]
STANDBY POWER SYSTEM COMPLYING WITH CBC SECTIONS 2702 & 3003 SHALL BE PROVIDED FOR THE STANDBY POWER LOADS SPECIFIED IN CBC SECTION 403.4.8.3.
SMOKEPROOF ENCLOSURES WITH VENT FANS ON EMERGENCY POWER.
FIRE COMMAND CENTER, 200 S.F. MIN. & 10' MIN. DIMENSION [CBC 403.4.6], LOCATION & LAYOUT TO BE APPROVED BY FIRE CODE OFFICIAL [CBC 911]
AUTOMATIC SECONDARY ON-SITE WATER SUPPLY FOR FIRE SPRINKLERS [CBC 403.3.3]

WINDOWS IN HABITABLE ROOMS SHALL HAVE AN AREA OF 8% OF THE FLOOR AREA MINIMUM [CBC 1204.2] AND 4% OF THE FLOOR AREA FOR NATURAL VENTILLATION [CBC 1202.5.1]

DETECTION, ALARM AND EMERGENCY SYSTEMS SHALL COMPLY WITH CHAPTER 403.4.1 THROUGH 403.4.8.

STAIRWAYS TO COMPLY WITH THE REQUIREMENTS OF CHAPTER 11A.

STAIRWELL AREAS OF REFUGE AREA NOT REQUIRED IN THIS BUILDING PER CBC 1009.3.3 EXCEPTIONS 2 & 5.

CLEAR STAIR WIDTH OF 48" BETWEEN HANDRAILS NOT REQUIRED PER CBC 1009.3.2 EXCEPTION 1.

FIRE EXTINGUISHERS SHALL BE MOUNTED IN COMMON AREAS, CORRIDORS, PATH OF EXIT TRAVEL AT OR LESS THAN 75' FROM ANY LOCATION OR 1 FIRE EXTINGUISHER EVERY 3,000 S.F. WHICHEVER RESULTS IN A HIGHER COUNT PER NFPA 10.

HORIZONTAL PENETRATIONS WITHIN BOXED OUT ENCLOSURES AND WALLS TO BE FIRE CAULKED AND COMPLY WITH THE PROVISIONS WITHIN CBC 714.4.1.1.

DRAFTSTOPS IN FLOOR/CEILING ASSEMBLIES ARE NOT REQUIRED PER CBC 718.3 EXCEPTION.

CORRIDOR PARTITION WALL RATING CAN TERMINATE AT UNDERSIDE OF CEILING AND NOT EXTEND TO ROOF SHEATHING OR FLOOR SHEATHING ABOVE IF FIREBLOCKING AND DRAFTSTOPPING IS INSTALLED [PER CBC 708.4].

INTERIOR FINISHES, DECORATIVE MATERIALS AND FURNISHINGS TO COMPLY WITH THE REQUIREMENTS CALIFORNIA FIRE CODE CHAPTER 8.

RESIDENTIAL UNITS ARE GOVERNED BY CHAPTER 11A & THE FAIR HOUSING ACT. THE LEASING OFFICE SPACE AND ANY ASSOCIATED AMENITIES ARE GOVERNED BY CHAPTER 11B.



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ID	DATE	NAME

Project:

703 THIRD STREET

703 THIRD STREET
SAN RAFAEL, CA 94901

Client:



710 SECOND AVE, SUITE 1400
SEATTLE, WA 98104

PROJECT INFO AND DATA

JOB #: 2223

SCALE:

A0.1

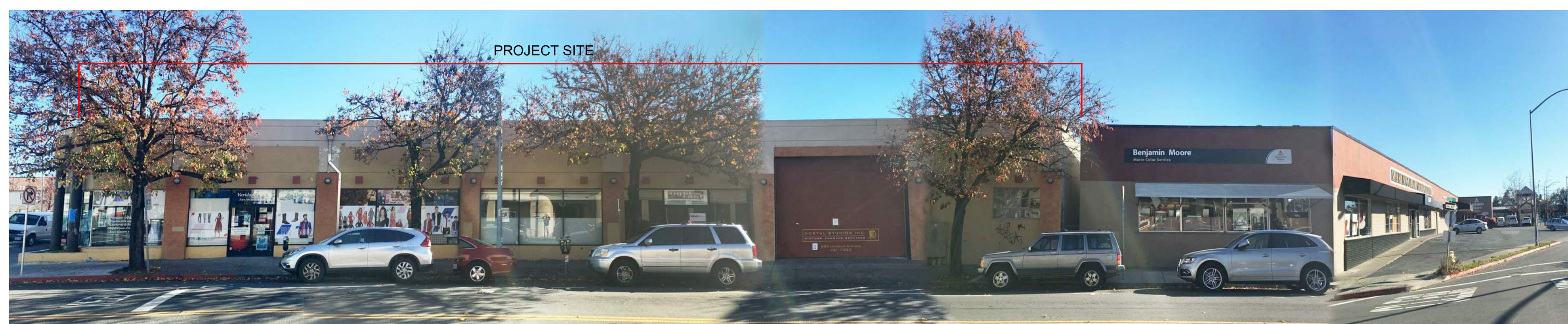
SB-35 APPLICATION | DATE: 08/03/22



4 VIEW FROM LINCOLN AVE - SOUTH FACING
A0.2



3 VIEW FROM LINCOLN AVE - SOUTH FACING
A0.2



2 VIEW FROM LINCOLN AVE - EAST FACING
A0.2



1 VICINITY MAP/KEY PLAN
SCALE: NOT TO SCALE

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703 THIRD STREET

703 THIRD STREET
SAN RAFAEL, CA 94901

Client:



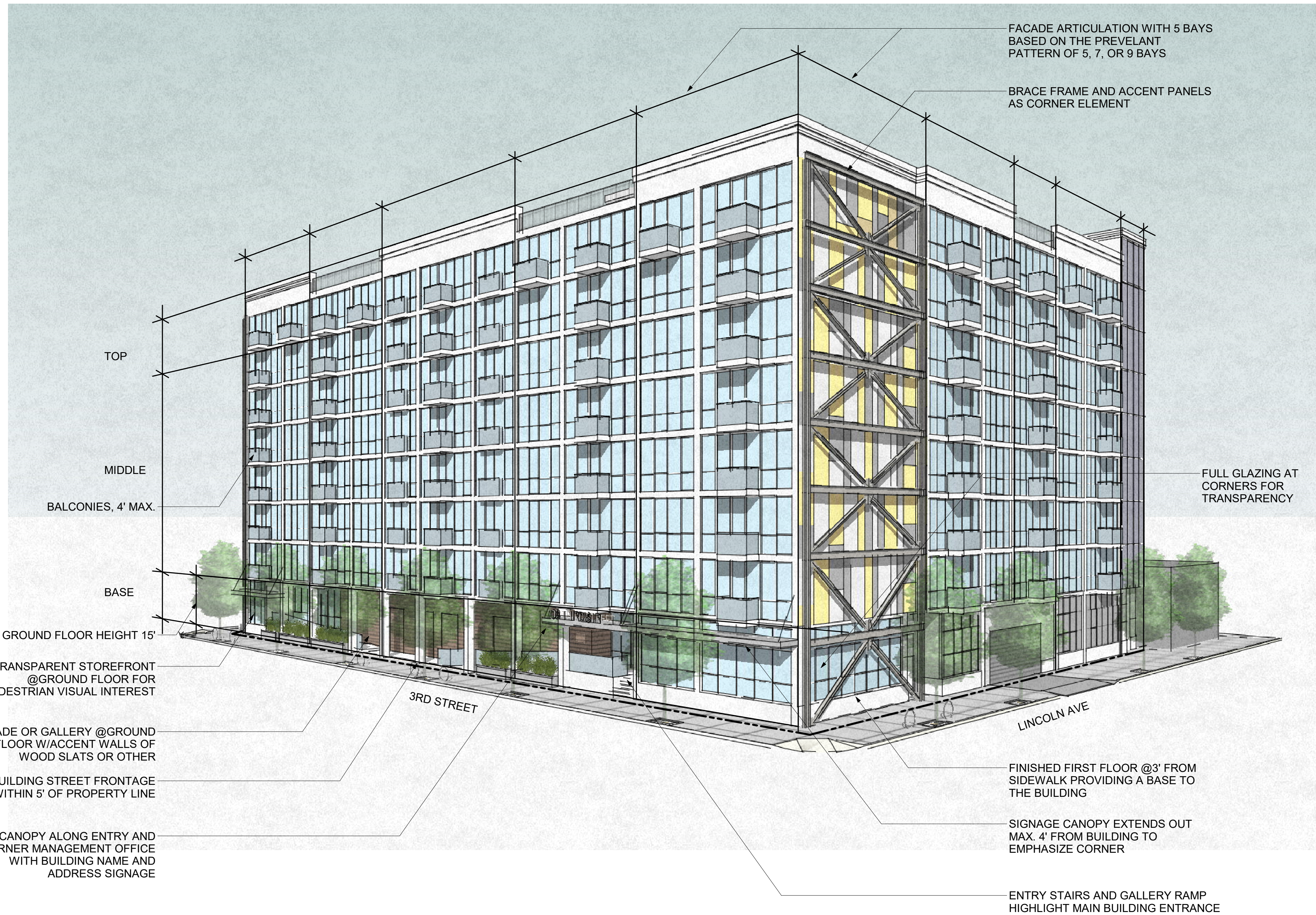
710 SECOND AVE, SUITE 1400
SEATTLE, WA 98104

**CONTEXT & EXISTING
SITE CONDITIONS**

JOB #: 2223

SCALE: As indicated

A0.2



1 **PLANNING DIAGRAM - VIEW FROM 3RD ST & LINCOLN AVE**
A0.3 SCALE: NOT TO SCALE

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ID	DATE	NAME

Project:
703 THIRD STREET

703 THIRD STREET
SAN RAFAEL, CA 94901

Client:
**SUSTAINABLE
LIVING
INNOVATIONS**
710 SECOND AVE, SUITE 1400
SEATTLE, WA 98104

PLANNING DIAGRAM

JOB #: 2223
SCALE: 1/2" = 1'-0"

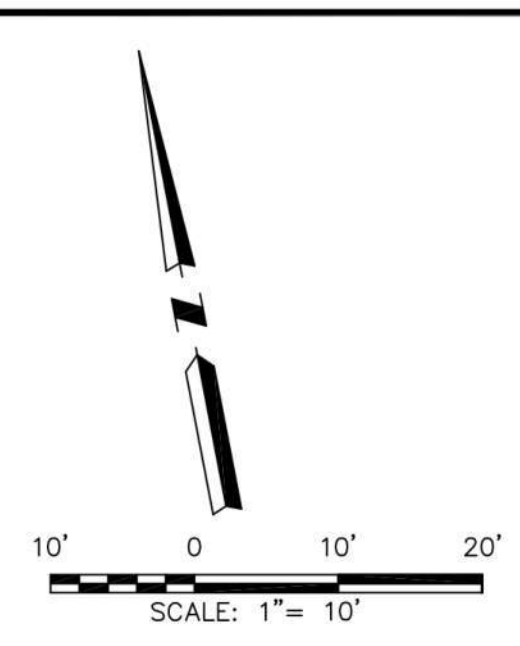
A0.3

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- STRUCTURAL ENGINEER
- DCI ENGINEERS**
135 MAIN STREET,
SAN FRANCISCO, CA 94105
CONTACT: HANNA SAED
TEL: 206.332.1900
- ELECTRICAL ENGINEER
- WOOD HARBINGER**
929 108TH AVENUE NE, SUITE 1000
BELLEVUE, WA 98004
CONTACT: SEAN BOLLEN
TEL: 425.628.6000
- MECHANICAL & PLUMBING ENGINEER
- UMC**
11611 49TH PL W,
MUKILTEO, WA 98275
CONTACT: DAVID MALONE
TEL: 206.368.6245

NO.	DATE	REVISION	
1			
2			
3			
4			

OBERKAMPER & ASSOCIATES CIVIL ENGINEERS INC. 7200 REDWOOD BLVD., SUITE 308, NOVATO, CA 94945 PHONE: (415) 897-2800 WWW.OBERKAMPER.COM	CALIFORNIA MARIN COUNTY 703 THIRD STREET
--	--

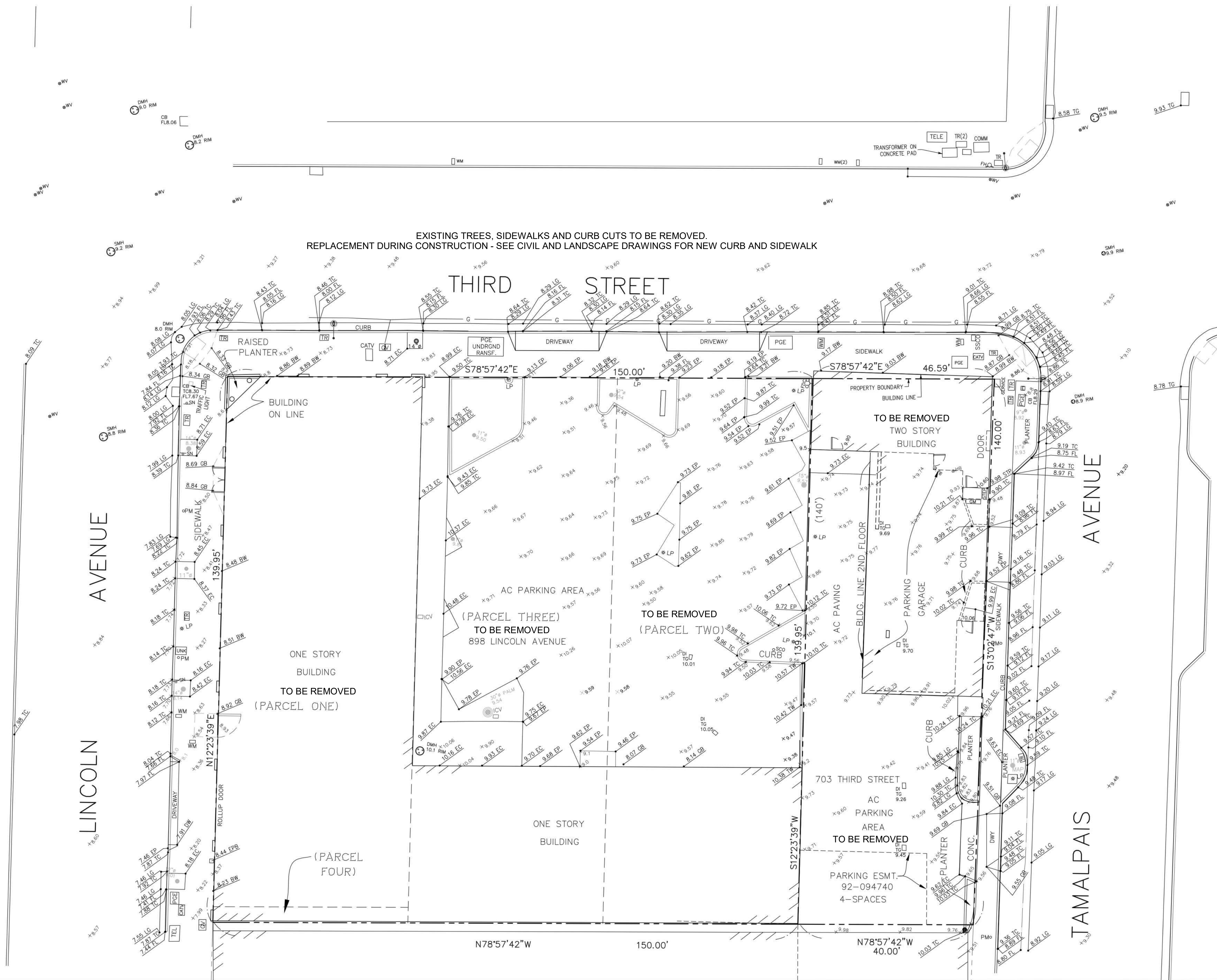
Scale: 1"=10'	FIELD CREW: JA/AH	Drawn by: RB/JA	Checked by: LO	Date: 3/13/2018	SAN RAFAEL
SHEET	1				
OF 1					
18-106					



DATE OF FIELD SURVEY:
FEBRUARY AND MARCH, 2018

- LEGEND:**
- ⊙ DIAMETER
 - ⊕ TREE
 - ASP ASPHALTIC CONCRETE
 - BW BACK OF WALK
 - CATV CABLE TV
 - COMM COMMUNICATION
 - DI DRAIN INLET
 - DWY DRIVEWAY
 - EC EDGE OF CONCRETE
 - ELEC/E ELECTRICAL
 - EPB ELECTRICAL PULL BOX
 - EP EDGE OF PAVEMENT
 - FDC FIRE DEPARTMENT CONNECTION
 - FL FLOW LINE
 - FNC FENCE
 - FH FIRE HYDRANT
 - GB GARDE BREAK
 - HB HOSE BIB
 - LG LIP OF GUTTER
 - LP LIGHT POLE
 - PGE PACIFIC GAS AND ELECTRIC
 - PM PARKING METER
 - SCD SANITARY SEWER CLEANOUT
 - SD/D STORM DRAIN
 - SMH SANITARY SEWER MANHOLE
 - SN SIGN
 - TC TOP OF CURB
 - TG TOP OF GRATE
 - TR TRAFFIC VAULT
 - TW TOP OF WALL
 - UNK UNKNOWN
 - WM WATER METER
 - WV WATER VALVE

EXISTING TREES, SIDEWALKS AND CURB CUTS TO BE REMOVED.
REPLACEMENT DURING CONSTRUCTION - SEE CIVIL AND LANDSCAPE DRAWINGS FOR NEW CURB AND SIDEWALK



DEMOLITION NOTES:
ALL EXISTING BUILDINGS, ON SITE PAVING, LANDSCAPE, OTHER SITE IMPROVEMENTS AND FOUNDATIONS TO BE REMOVED TO SITE GRADE.
ALL SEWER, WATER, ELECTRICAL AND OTHER UTILITIES TO BE CAPPED AT BACK OF WALK OR AS REQUIRED BY UTILITY AGENCIES

ID	DATE	NAME

Project:
703 THIRD STREET
703 THIRD STREET
SAN RAFAEL, CA 94901

Client:

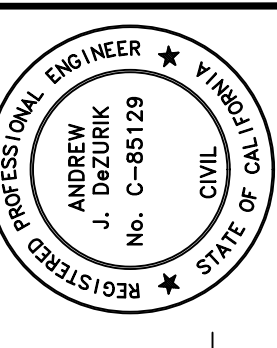
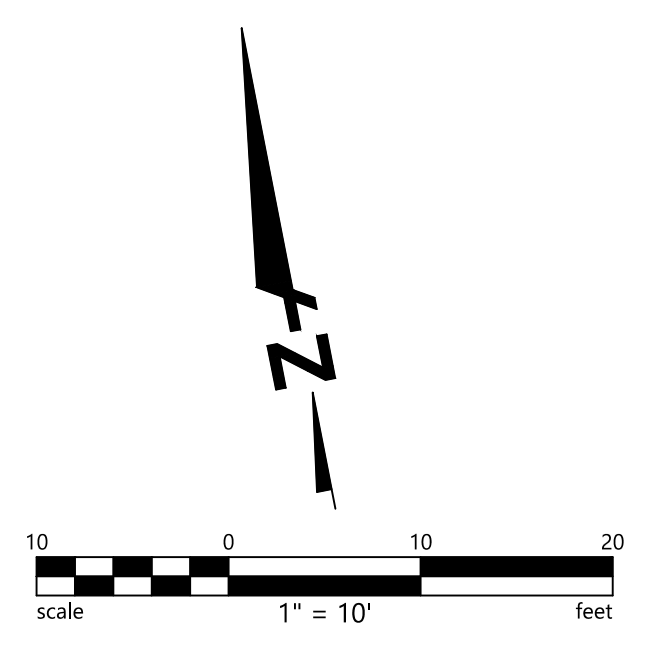
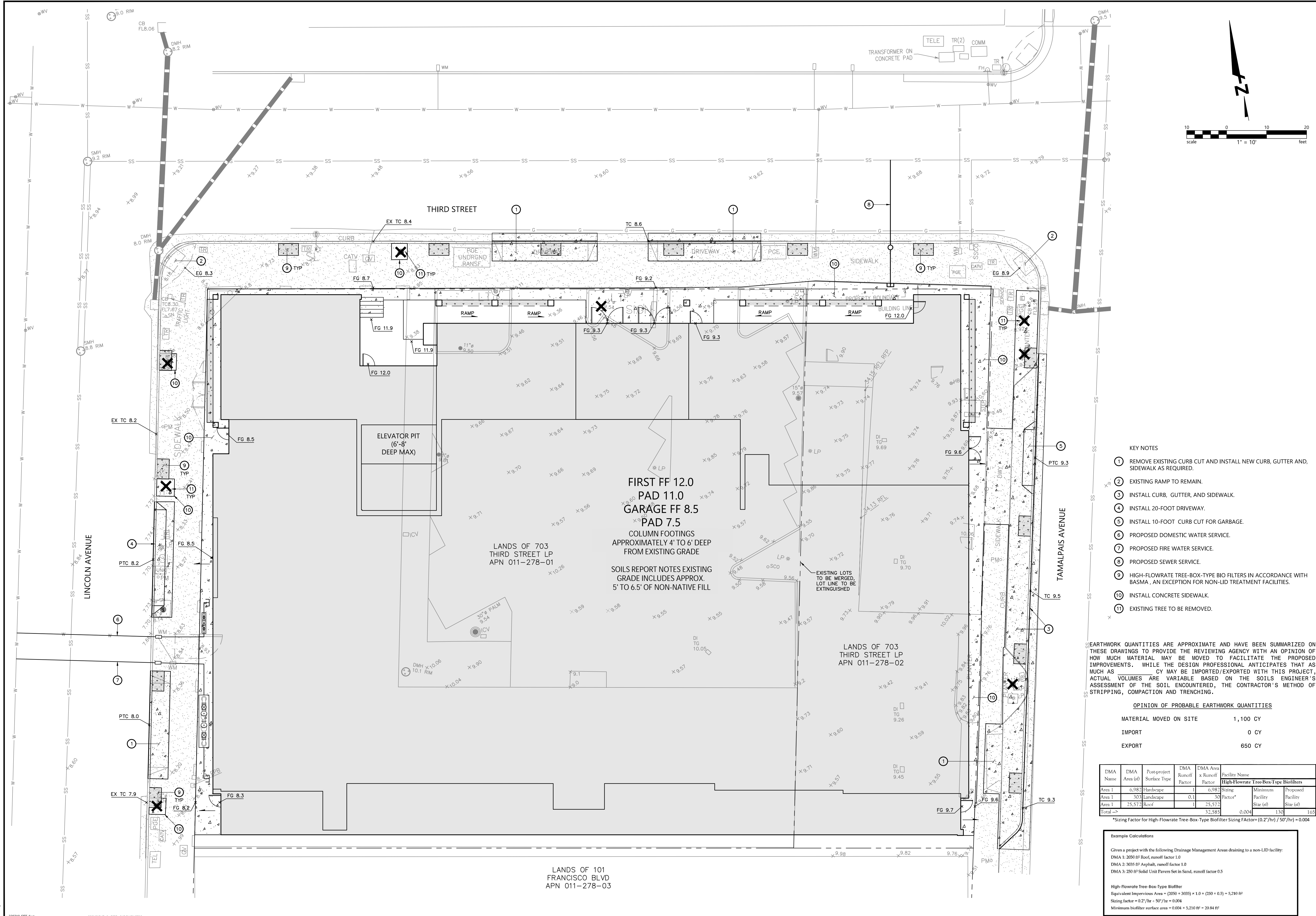
SUSTAINABLE LIVING INNOVATIONS

710 SECOND AVE, SUITE 1400
SEATTLE, WA 98104

SURVEY AND DEMOLITION PLAN

JOB #: 2223
SCALE:

A0.4



PRELIMINARY
NOT FOR CONSTRUCTION
DATE: 08/03/2022
ANDREW J. DEZURIK
C 85129

BKF ENGINEERS
4040 CIVIC CENTER DR.
SUITE 530
SAN RAFAEL, CA 94903
(415) 930-7960
www.bkf.com



703 3RD STREET
APN 011-278-01 & APN 011-278-02
SAN RAFAEL, CALIFORNIA

SITE PLAN

- KEY NOTES**
- 1 REMOVE EXISTING CURB CUT AND INSTALL NEW CURB, GUTTER AND SIDEWALK AS REQUIRED.
 - 2 EXISTING RAMP TO REMAIN.
 - 3 INSTALL CURB, GUTTER, AND SIDEWALK.
 - 4 INSTALL 20-FOOT DRIVEWAY.
 - 5 INSTALL 10-FOOT CURB CUT FOR GARBAGE.
 - 6 PROPOSED DOMESTIC WATER SERVICE.
 - 7 PROPOSED FIRE WATER SERVICE.
 - 8 PROPOSED SEWER SERVICE.
 - 9 HIGH-FLOWRATE TREE-BOX-TYPE BIO FILTERS IN ACCORDANCE WITH BASMA, AN EXCEPTION FOR NON-LID TREATMENT FACILITIES.
 - 10 INSTALL CONCRETE SIDEWALK.
 - 11 EXISTING TREE TO BE REMOVED.

NOTE: EARTHWORK QUANTITIES ARE APPROXIMATE AND HAVE BEEN SUMMARIZED ON THESE DRAWINGS TO PROVIDE THE REVIEWING AGENCY WITH AN OPINION OF HOW MUCH MATERIAL MAY BE MOVED TO FACILITATE THE PROPOSED IMPROVEMENTS. WHILE THE DESIGN PROFESSIONAL ANTICIPATES THAT AS MUCH AS 100% OF THE MATERIAL MAY BE IMPORTED/EXPORTED WITH THIS PROJECT, ACTUAL VOLUMES ARE VARIABLE BASED ON THE SOILS ENGINEER'S ASSESSMENT OF THE SOIL ENCOUNTERED, THE CONTRACTOR'S METHOD OF STRIPPING, COMPACTION AND TRENCHING.

OPINION OF PROBABLE EARTHWORK QUANTITIES

MATERIAL MOVED ON SITE	1,100 CY
IMPORT	0 CY
EXPORT	650 CY

DMA Name	DMA Area (sf)	Post-project Surface Type	DMA Runoff Factor	DMA Area x Runoff Factor	Facility Name
Area 1	6,982	Hardscape	0.1	6,982	High-Flowrate Tree-Box-Type Biofilters
Area 1	303	Landscape	0.1	30	Staging
Area 1	25,572	Roof	1	25,572	Factor*
Total				32,585	0.004

*Sizing Factor for High-Flowrate Tree-Box-Type Biofilter Sizing Factor = (0.2"/hr) / (50"/hr) = 0.004

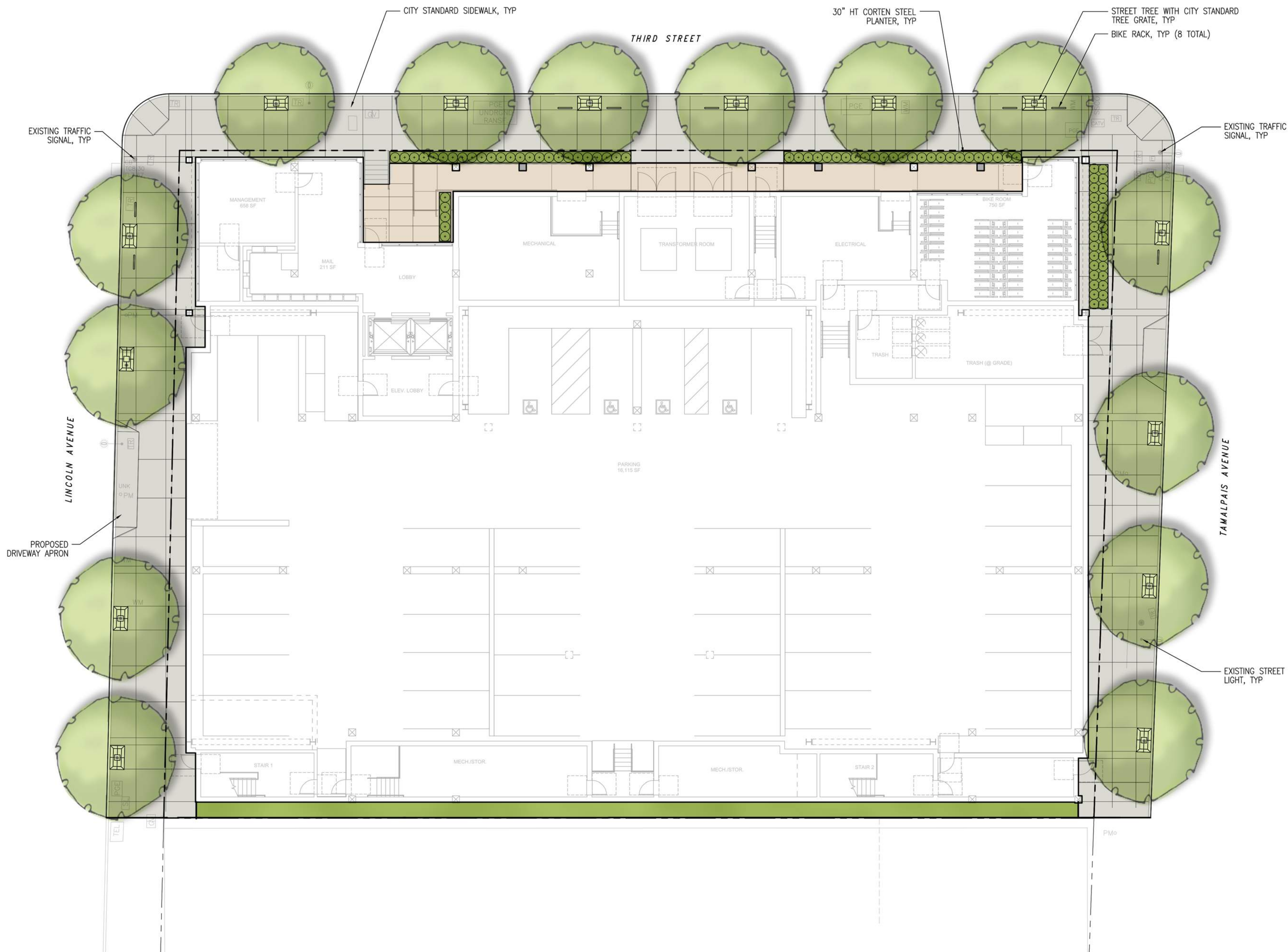
Example Calculations
Given a project with the following Drainage Management Areas draining to a non-LID facility:
DMA 1: 2050 ft² Roof, runoff factor 1.0
DMA 2: 3035 ft² Asphalt, runoff factor 1.0
DMA 3: 250 ft² Solid Unit Pavers Set in Sand, runoff factor 0.5

High-Flowrate Tree-Box-Type Biofilter
Equivalent Impervious Area = (2050 + 3035) × 1.0 + (250 × 0.5) = 5,210 ft²
Sizing factor = 0.2"/hr ÷ 50"/hr = 0.004
Minimum biofilter surface area = 0.004 × 5,210 ft² = 20.84 ft²

LANDS OF 101
FRANCISCO BLVD
APN 011-278-03

No.	Revisions

Date: AUG 2022
Scale: AS SHOWN
Design: A.J.D.
Drawn: A.E.G.
Approved: A.J.D.
Job No: 20220710
Drawing Number:



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CONTACT: JASON LING
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LANDSCAPE ARCHITECT

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MECHANICAL & PLUMBING ENGINEER

UMC
11611 49TH PL W,
MUKILTEO, WA 98275
CONTACT: DAVID MALONE



LANDSCAPE ARCHITECTURE + DESIGN
CRLA #3335 · 2 Theatre Square #218 · Orinda CA · 94563
925.254.5422 · www.jett.land

ID	DATE	NAME

Project:

703 THIRD STREET

703 THIRD STREET
SAN RAFAEL, CA 94901

Client:



710 SECOND AVE, SUITE 1400
SEATTLE, WA 98104

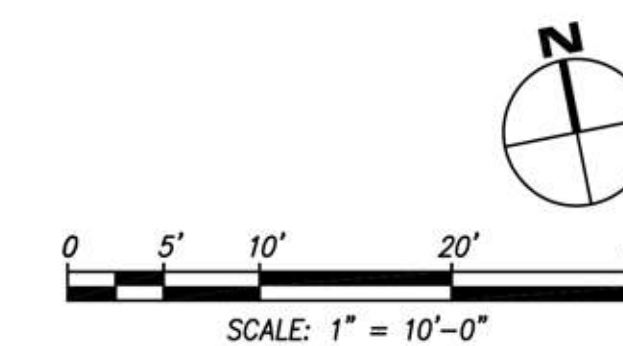
**LANDSCAPE PLAN -
GROUND FLOOR**

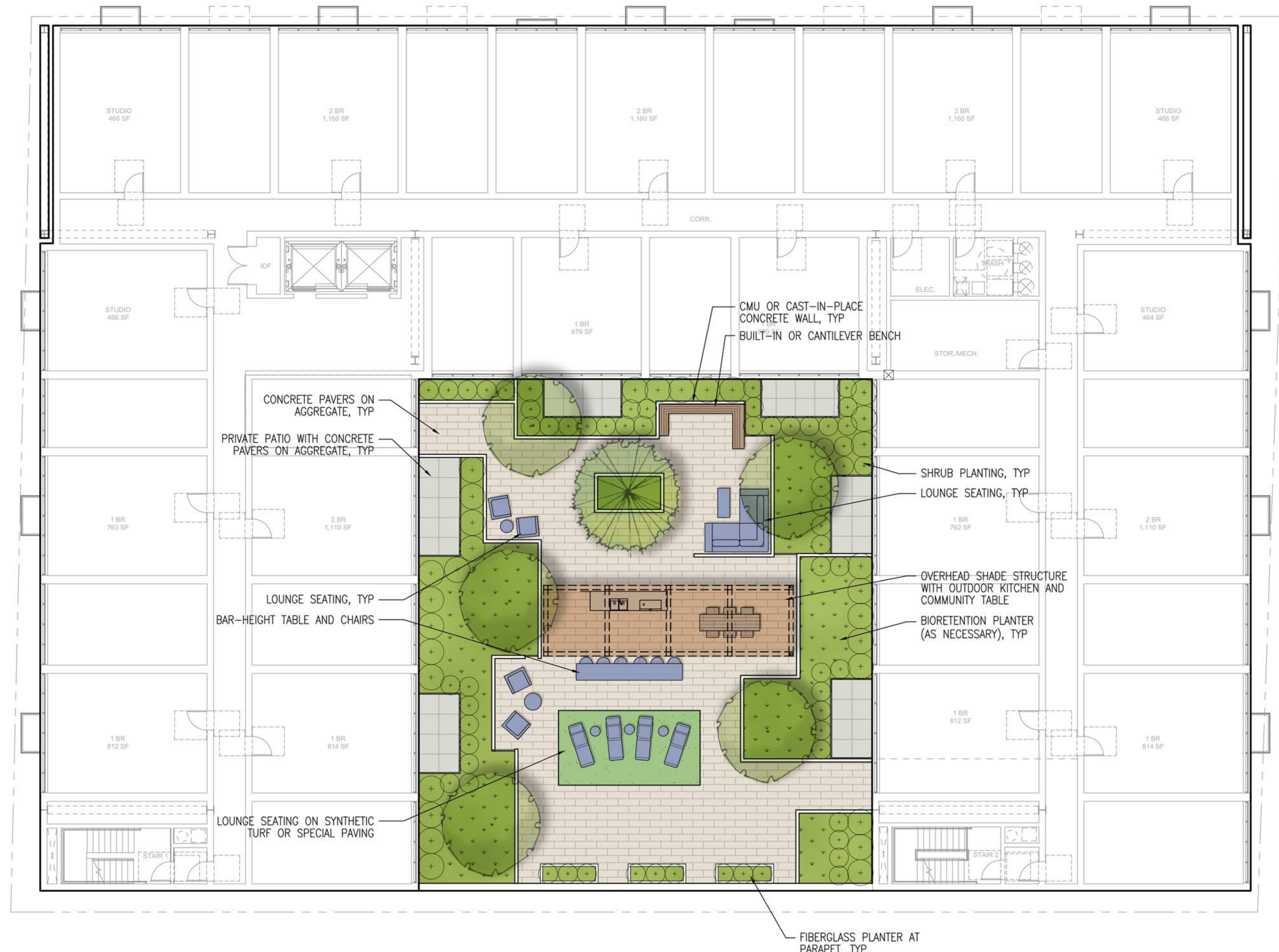
JOB # 2223

SCALE:

L1.1

SB-35 APPLICATION | DATE: 07/29/22





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925.254.5422 - www.jett.land

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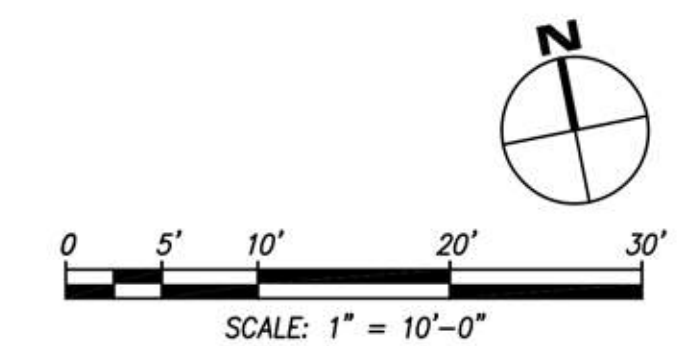
Project:
703 THIRD STREET
703 THIRD STREET
SAN RAFAEL, CA 94901

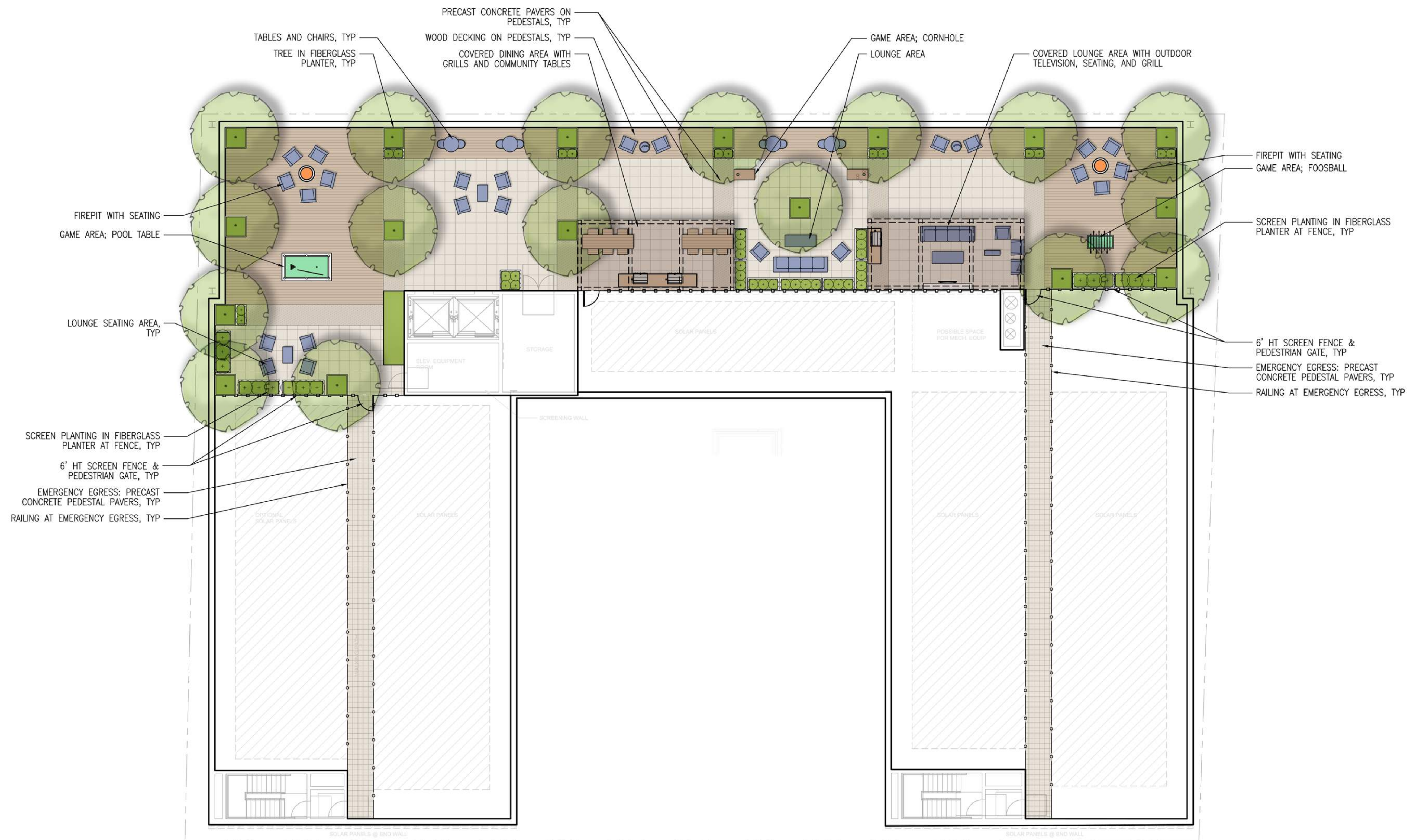
Client:
**SUSTAINABLE
LIVING
INNOVATIONS**
710 SECOND AVE, SUITE 1400
SEATTLE, WA 98104

**LANDSCAPE PLAN -
OPTIONAL 2ND
FLOOR COURTYARD**

JOB #: 2223
SCALE:

L1.2





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LANDSCAPE ARCHITECTURE + DESIGN
CRLA #3335 - 2 Theatre Square #218 - Orinda CA - 94563
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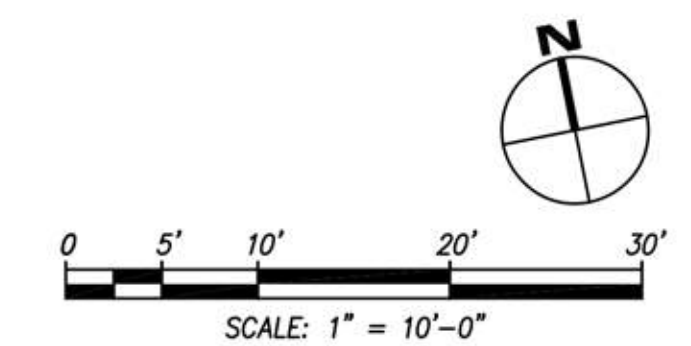
Project:
703 THIRD STREET
703 THIRD STREET
SAN RAFAEL, CA 94901

Client:
SUSTAINABLE LIVING INNOVATIONS
710 SECOND AVE, SUITE 1400
SEATTLE, WA 98104

LANDSCAPE PLAN - ROOF

JOB #: 2223
SCALE:

L1.3





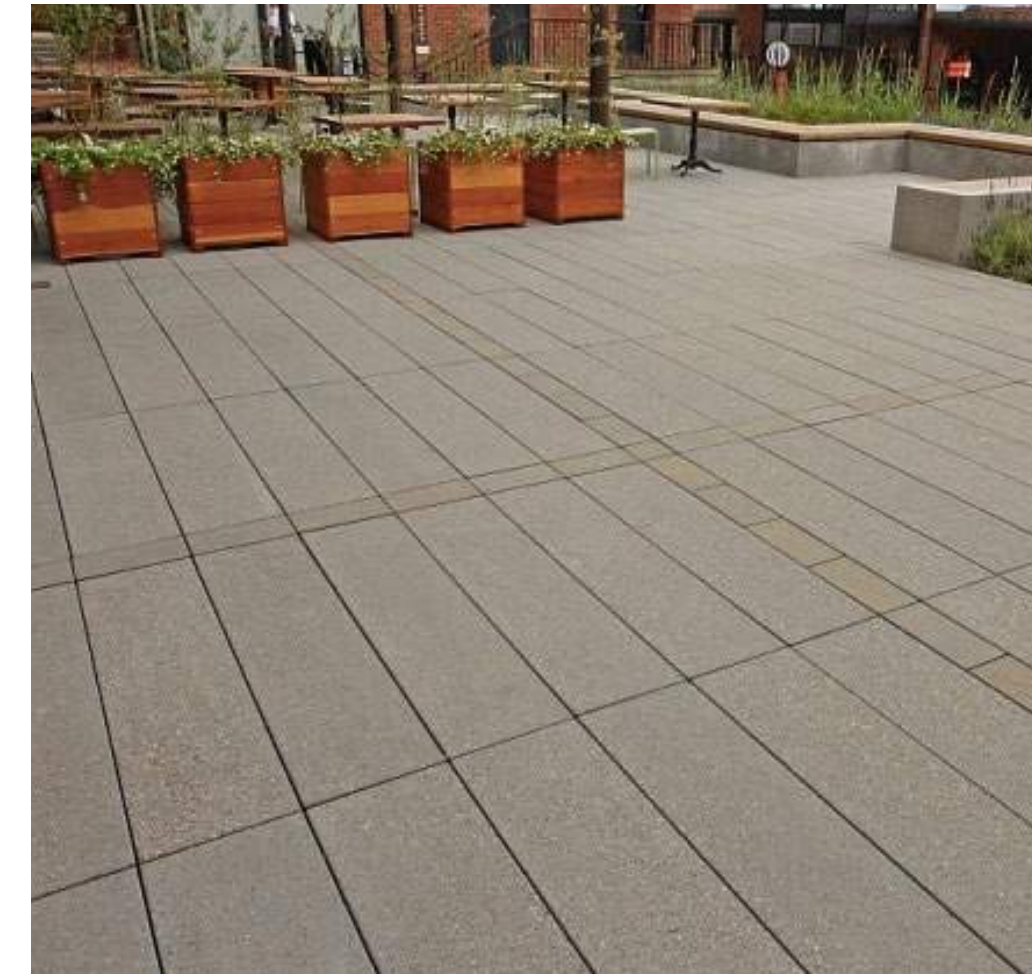
CITY STANDARD TREE GRATE



BIKE RACKS



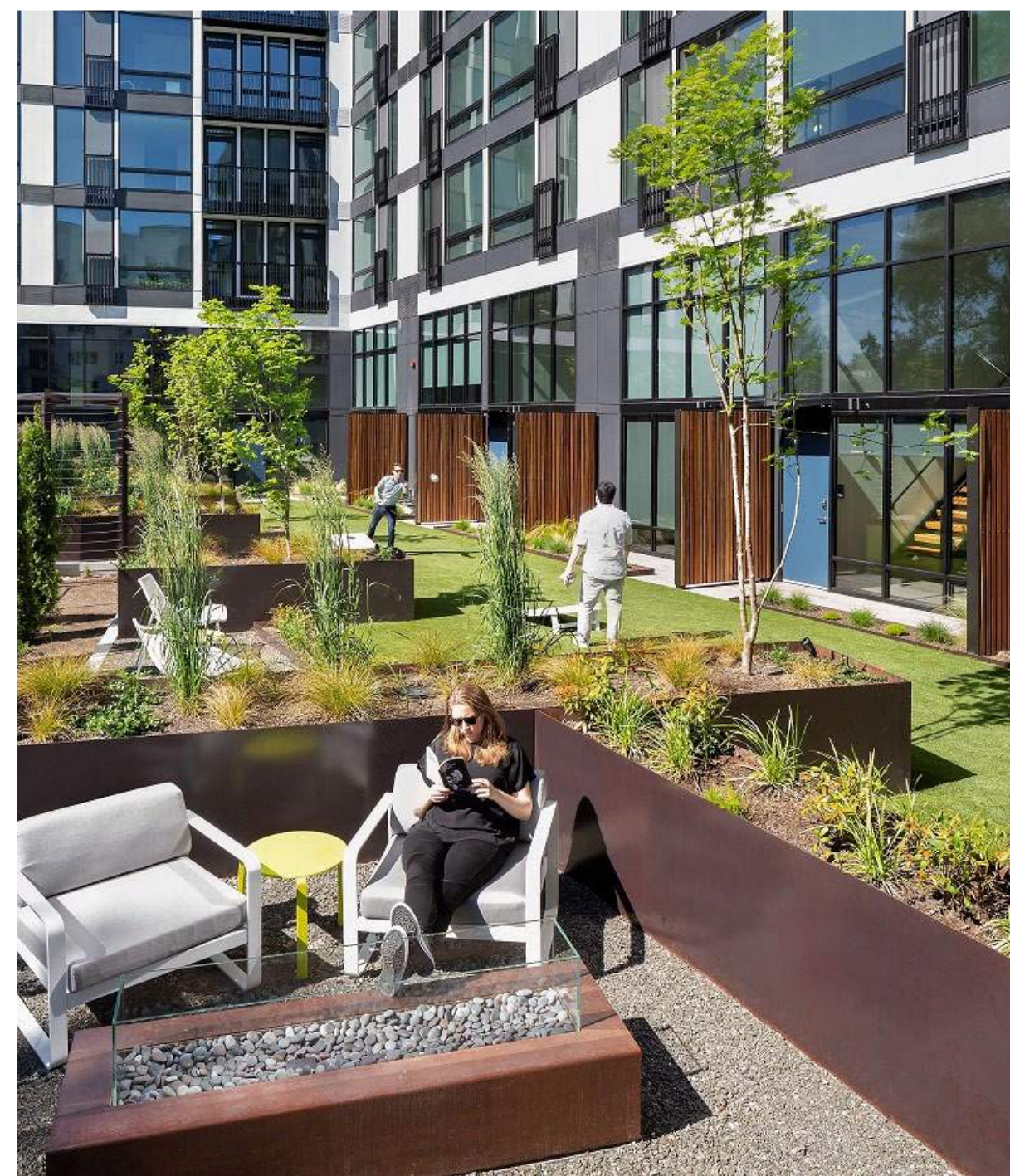
CORTEN PLANTER



TYPICAL ON-STRUCTURE CONCRETE PAVERS



OUTDOOR KITCHEN



CORTEN PLANTERS



BUILT-IN BENCH SEATING



PODIUM COURTYARD PLANTING



FIREPIT



BAR-HEIGHT SEATING



FIBERGLASS PLANTERS



SHADE STRUCTURE AND SEATING; WOOD DECKING AND CONCRETE PAVERS



LOUNGE SEATING ON SYNTHETIC TURF

VAN METER WILLIAMS POLLACK LLP

ARCHITECTURE | URBAN DESIGN | SAN FRANCISCO | DENVER | MINNEAPOLIS
303 Bryant Street, Suite 300, San Francisco, CA 94107 T 415.974.0302

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JETT

LANDSCAPE ARCHITECTURE + DESIGN
CRLA #3335 - 2 Theatre Square #218 - Orinda CA - 94563
925.254.5422 - www.jetttand

ID	DATE	NAME

Project:

703 THIRD STREET

703 THIRD STREET
SAN RAFAEL, CA 94901

Client:



710 SECOND AVE, SUITE 1400
SEATTLE, WA 98104

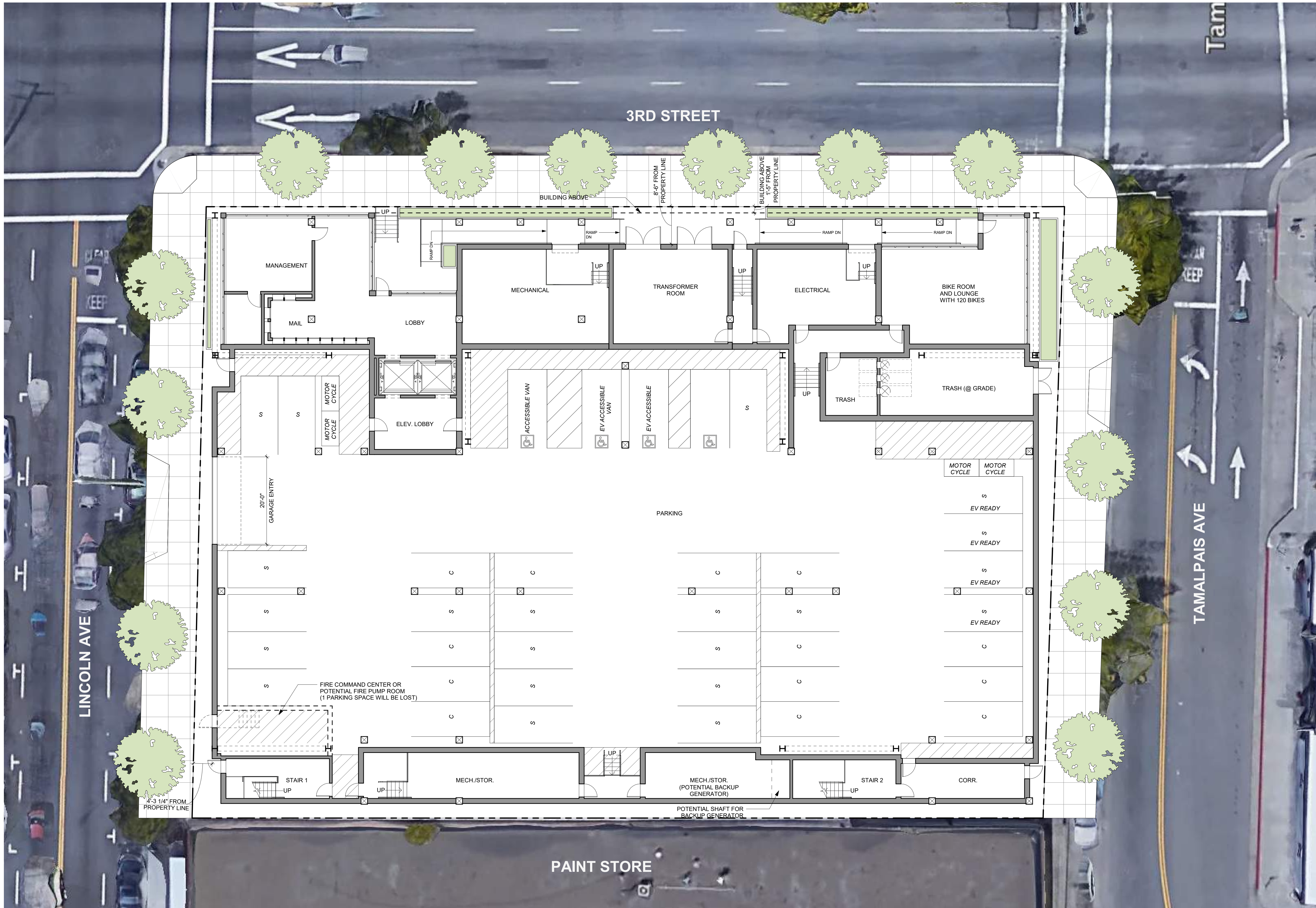
PRECEDENT IMAGES

JOB #: 2223

SCALE:

L2.1

SB-35 APPLICATION | DATE: 07/29/22



CIVIL ENGINEERING

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UMC
11611 49TH PL. W.
MUKILTEO, WA 98275
CONTACT: DAVID MALONE
TEL: 206.368.6245

ID	DATE	NAME

Project:
703 THIRD STREET

703 THIRD STREET
SAN RAFAEL, CA 94901



710 SECOND AVE, SUITE 1400
SEATTLE, WA 98104

ILLUSTRATIVE SITE
PLAN

- LEGEND**
- CIRCULATION
 - COMMON
 - OFFICE
 - SERVICES
 - PARKING

- CIVIL ENGINEERING
BKF
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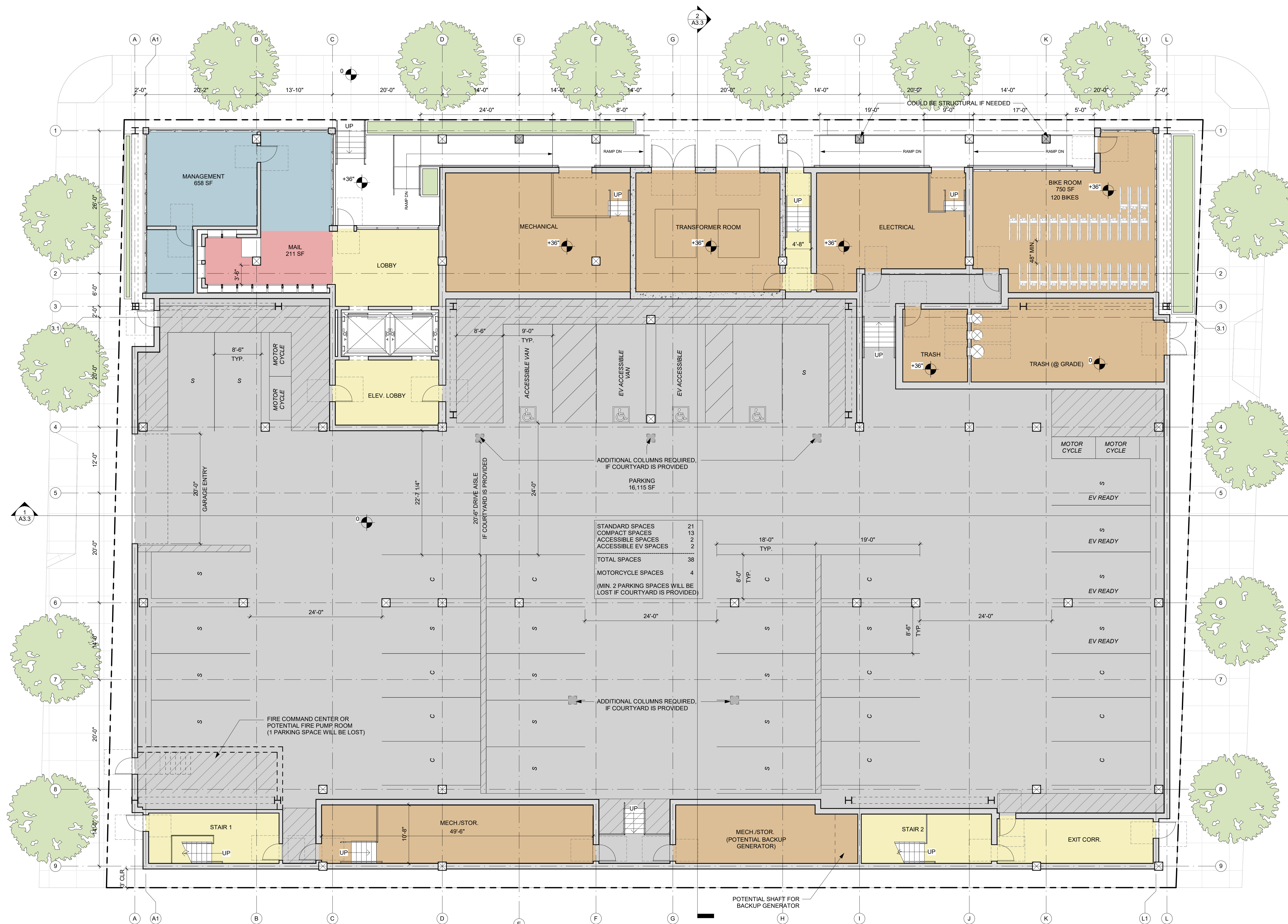
Project:
703 THIRD STREET
703 THIRD STREET
SAN RAFAEL, CA 94901

Client:
**SUSTAINABLE
LIVING
INNOVATIONS**
710 SECOND AVE, SUITE 1400
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FIRST FLOOR PLAN

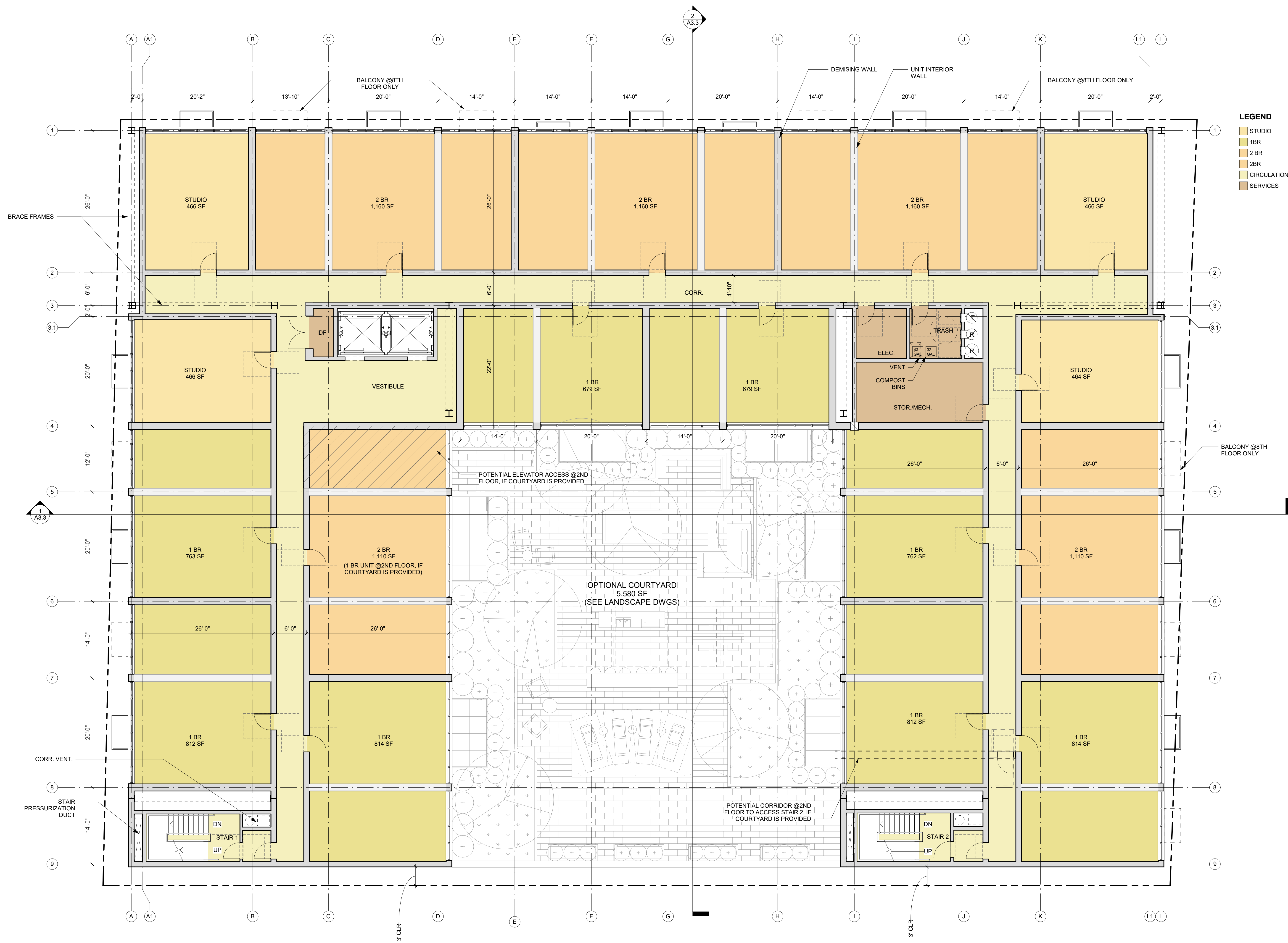
JOB #: 2223
SCALE: 1/8" = 1'-0"

A2.1



1 1ST FLOOR
A2.1 SCALE: 1/8" = 1'-0"





LEGEND

- STUDIO
- 1BR
- 2 BR
- 2BR
- CIRCULATION
- SERVICES

CIVIL ENGINEERING

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ID	DATE	NAME

Project:

703 THIRD STREET

703 THIRD STREET
SAN RAFAEL, CA 94901

Client:



710 SECOND AVE, SUITE 1400
SEATTLE, WA 98104

**SECOND-EIGHTH
FLOOR PLAN**

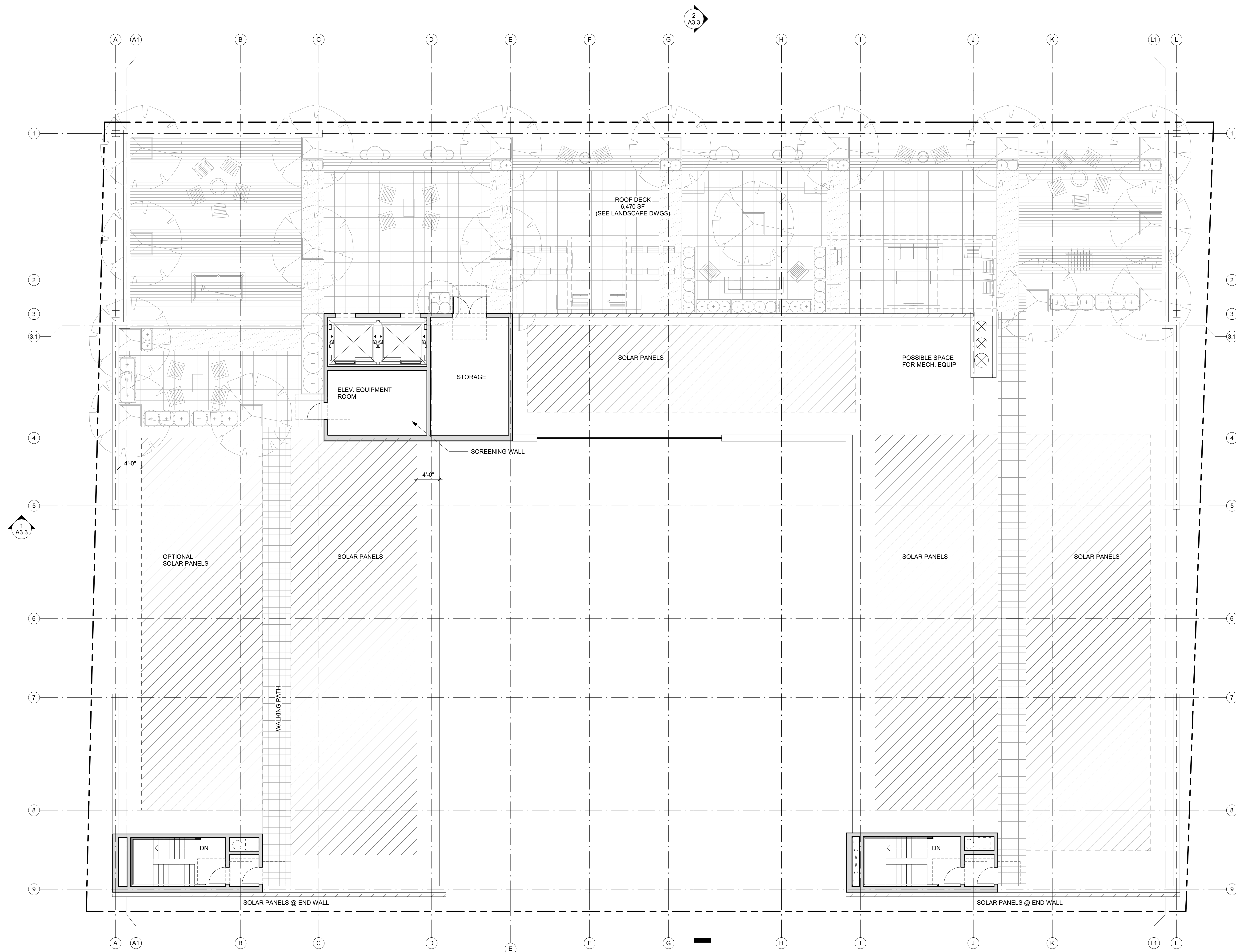
JOB #: 2223

SCALE: 1/8" = 1'-0"

A2.2

SB-35 APPLICATION | DATE: 08/03/22





CIVIL ENGINEERING

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LANDSCAPE ARCHITECT

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Project:

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703 THIRD STREET
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Client:



710 SECOND AVE, SUITE 1400
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ROOF PLAN

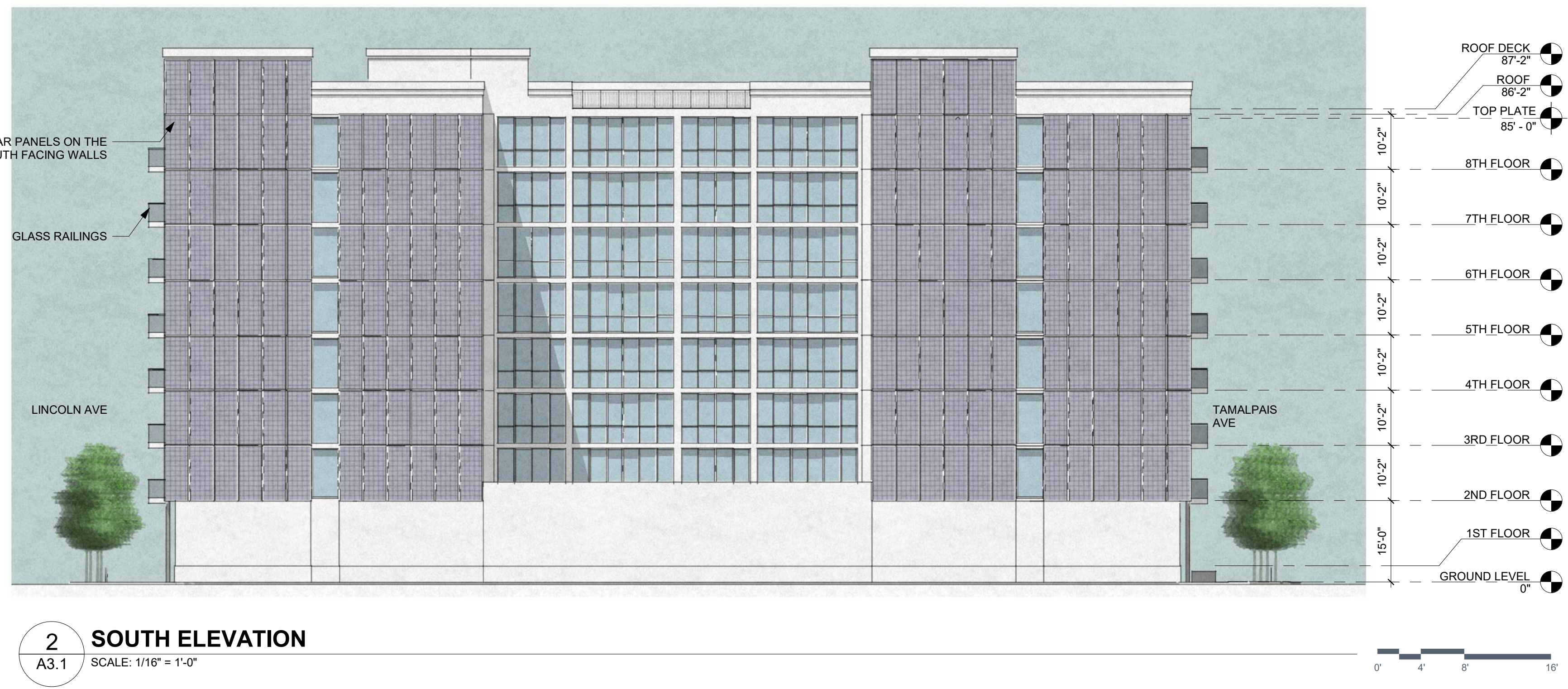
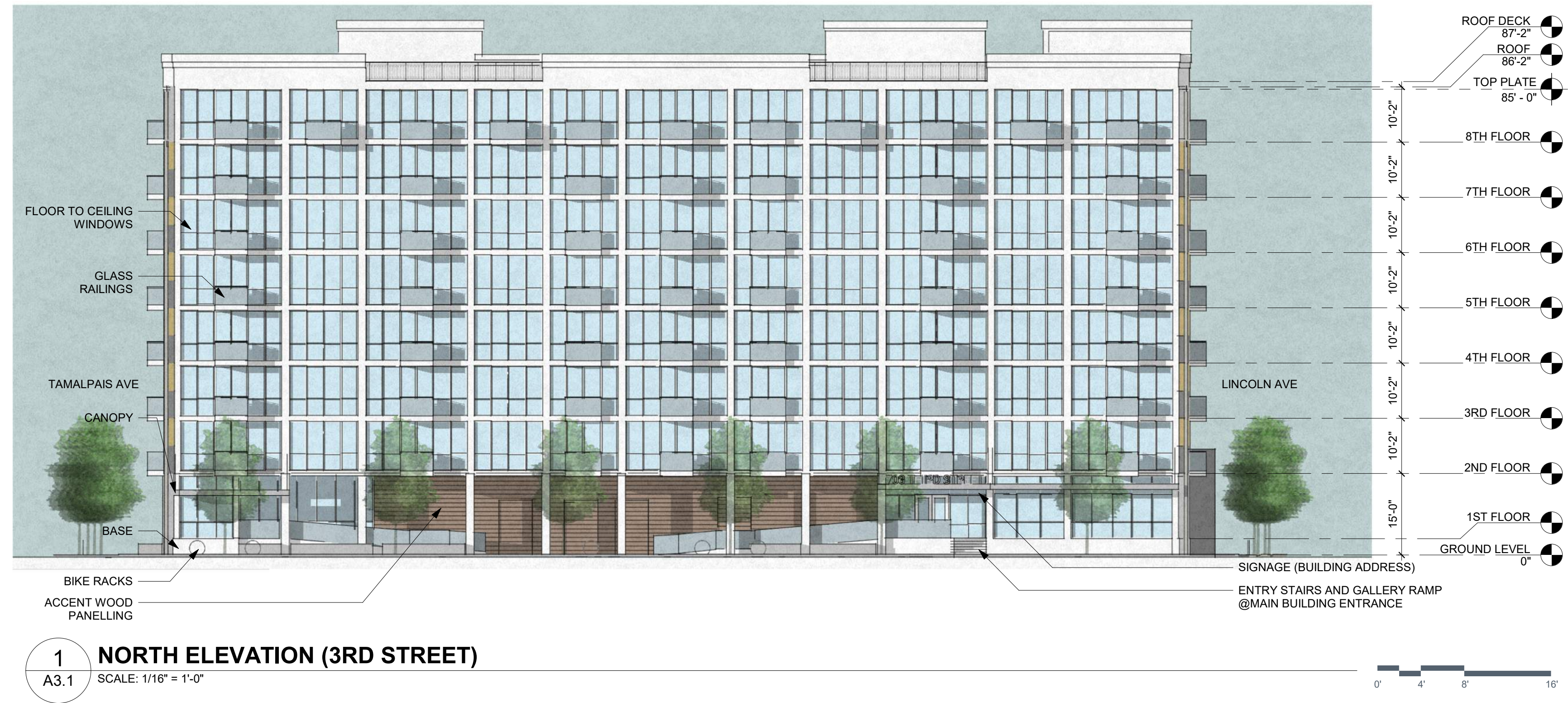
JOB #: 2223

SCALE: 1/8" = 1'-0"

A2.8

SB-35 APPLICATION | DATE: 08/03/22





- CIVIL ENGINEERING**
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WOOD HARBINGER
929 108TH AVENUE NE, SUITE 1000
BELLEVUE, WA 98004
CONTACT: SEAN BOLLEN
TEL: 425.628.6000
- MECHANICAL & PLUMBING ENGINEER**
UMC
11611 49TH PL. W.
MUKILTEO, WA 98275
CONTACT: DAVID MALONE
TEL: 206.368.6245

ID	DATE	NAME

Project:
703 THIRD STREET
703 THIRD STREET
SAN RAFAEL, CA 94901

Client:
**SUSTAINABLE
LIVING
INNOVATIONS**
710 SECOND AVE, SUITE 1400
SEATTLE, WA 98104

**BUILDING
ELEVATIONS**

JOB #: 2223
SCALE: 1/16" = 1'-0"



3 VIEW FROM 3RD ST & LINCOLN AVE
A3.2



2 WEST ELEVATION (LINCOLN AVE)
A3.2 SCALE: 1/16" = 1'-0"



1 EAST ELEVATION (TAMALPAIS AVE)
A3.2 SCALE: 1/16" = 1'-0"

CIVIL ENGINEERING

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150 CALIFORNIA STREET, SUITE 600,
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DRY UTILITIES

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LANDSCAPE ARCHITECT

**JETT LANDSCAPE
ARCHITECTURE + DESIGN**
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STRUCTURAL ENGINEER

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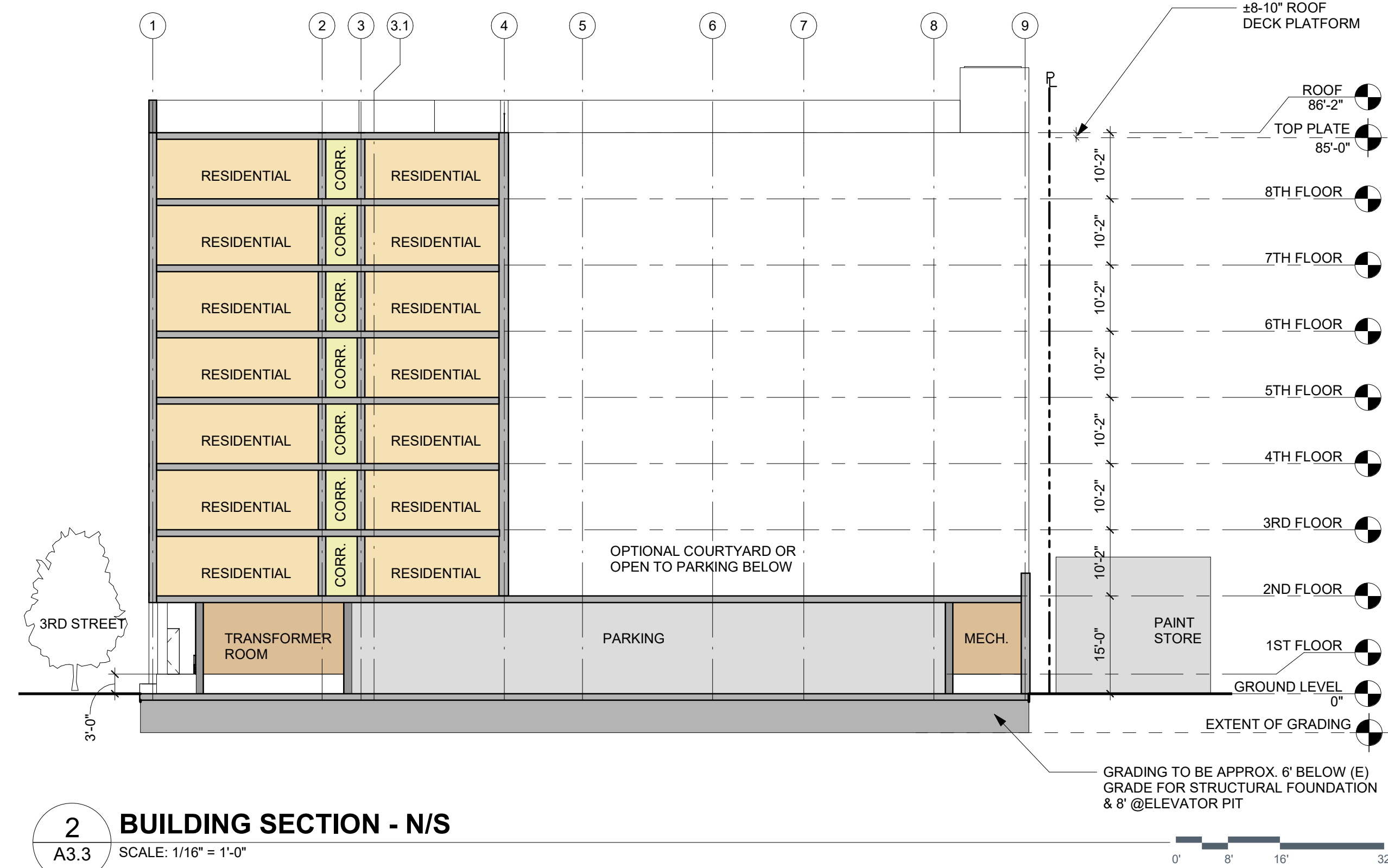
**BUILDING
ELEVATIONS**

JOB #: 2223

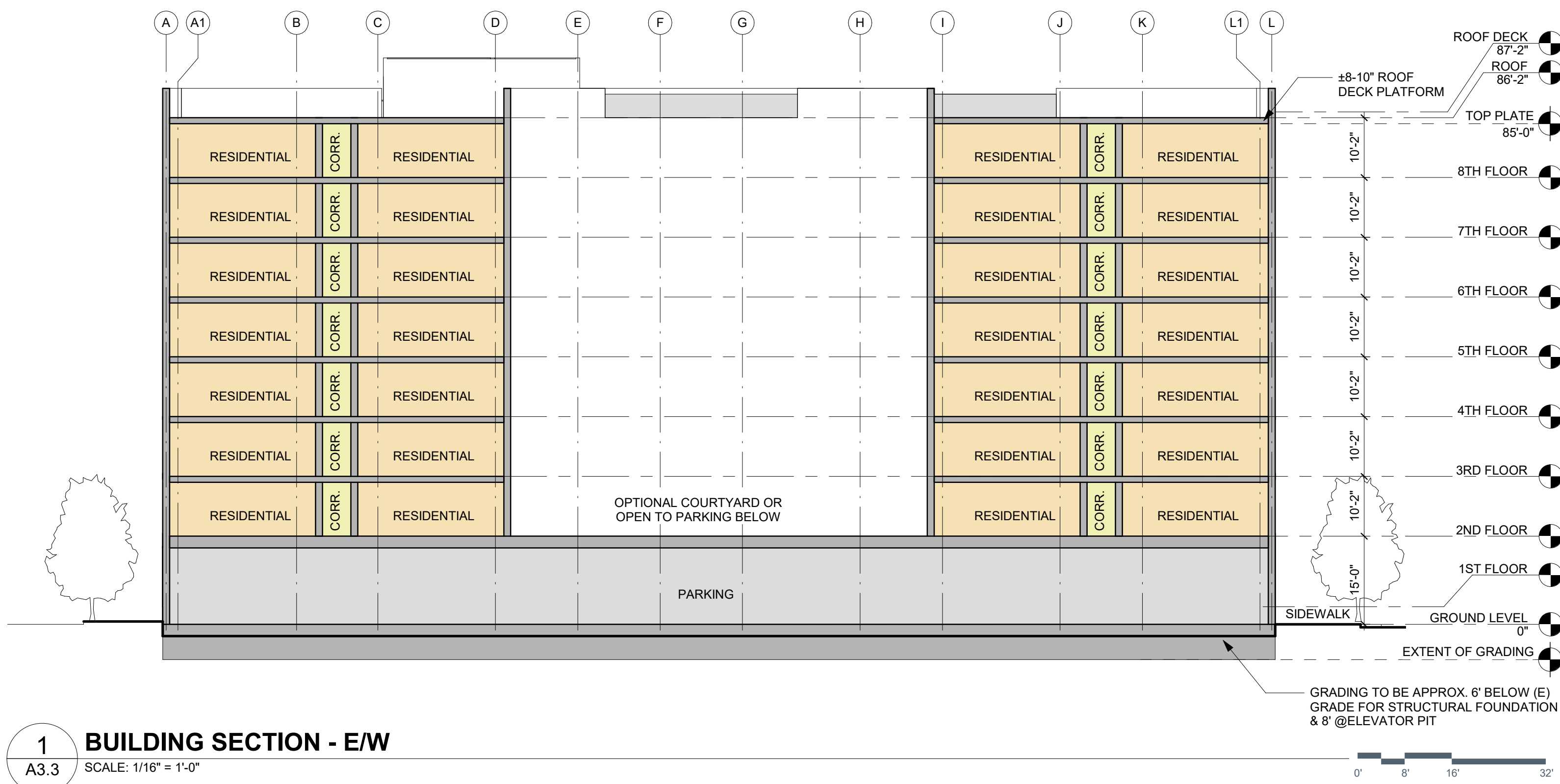
SCALE: 1/16" = 1'-0"

A3.2

SB-35 APPLICATION | DATE: 08/03/22



2 BUILDING SECTION - N/S
A3.3 SCALE: 1/16" = 1'-0"



1 BUILDING SECTION - E/W
A3.3 SCALE: 1/16" = 1'-0"

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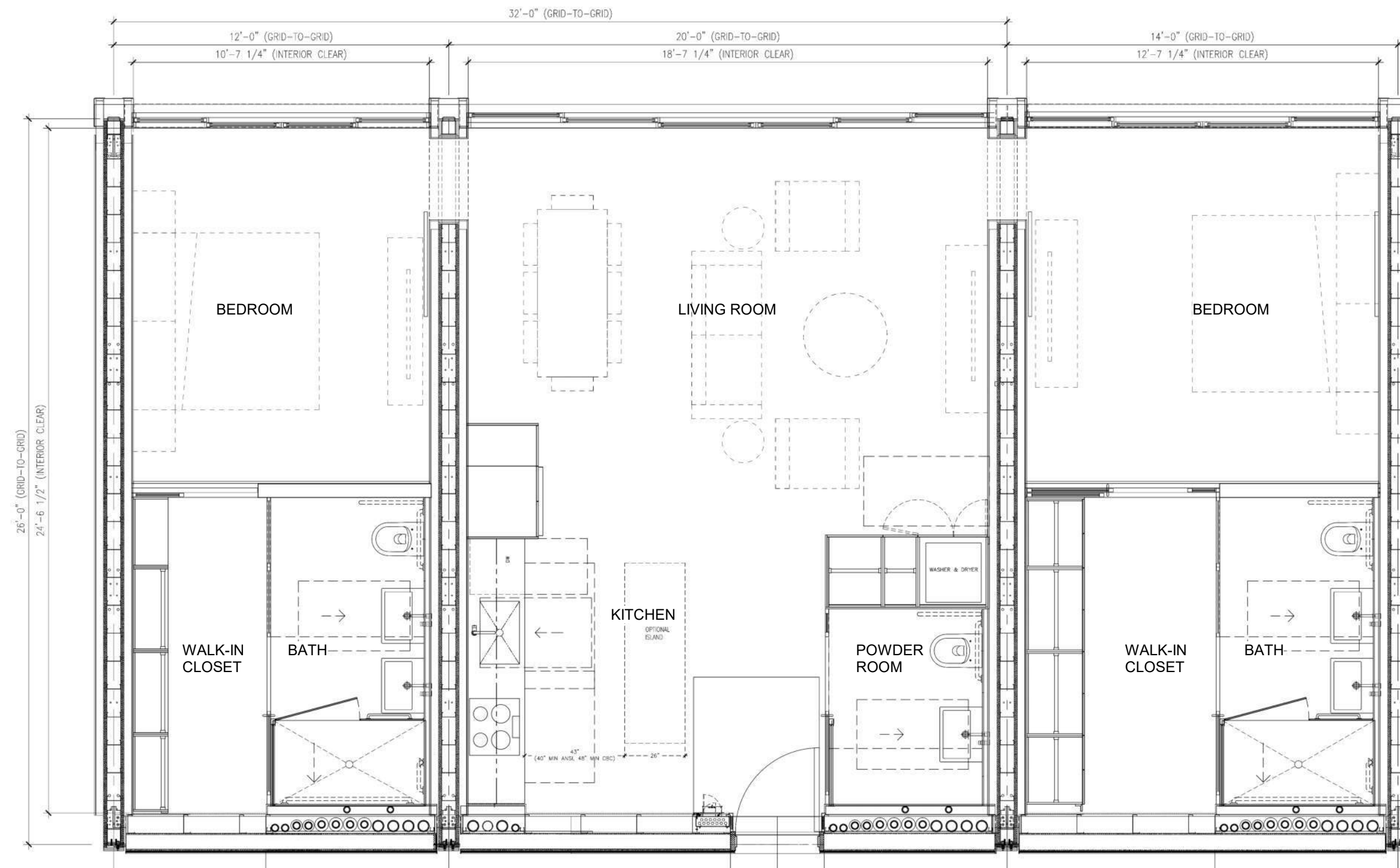
BUILDING SECTIONS

JOB #: 2223

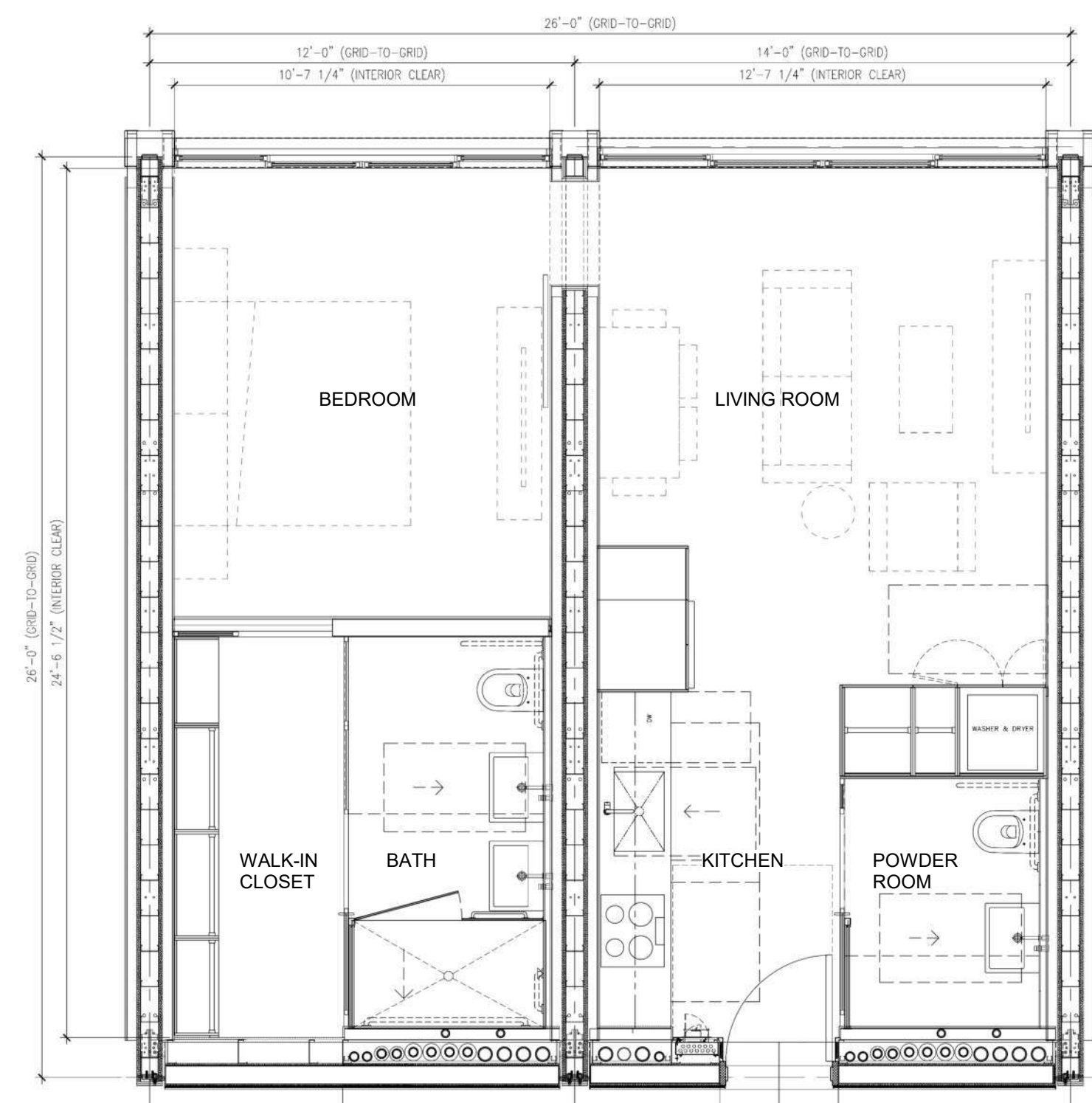
SCALE: 1/16" = 1'-0"

A3.3

SB-35 APPLICATION | DATE: 08/03/22



3 TYPICAL 2 BEDROOM UNIT
A4.1 SCALE: 1/4"=1'-0"



2 TYPICAL 1 BEDROOM UNIT
A4.1 SCALE: 1/4"=1'-0"



1 TYPICAL STUDIO UNIT
A4.1 SCALE: 1/4"=1'-0"

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SEATTLE, WA 98104

TYPICAL UNIT PLANS

JOB #: 2223

SCALE: 1/4" = 1'-0"

A4.1



KEYNOTES - ELEVATION

MATERIALS

- 1 METAL PANEL
- 2 WOOD PANEL
- 3 EXPOSED BRACE FRAME
- 4 STOREFRONT WINDOWS
- 5 FLOOR TO CEILING GLASS
- 6 GLASS RAILING
- 7 METAL SCREEN
- 8 METAL CANOPY
- 9 EXPOSED SOLAR PANELS

COLOR

- A FIELD WHITE/GRAY
- B ACCENT COLORS

**VAN METER
WILLIAMS
POLLACK** LLP

ARCHITECTURE | URBAN DESIGN | SAN FRANCISCO | DENVER | MINNEAPOLIS
333 Bryant Street, Suite 300, San Francisco, CA 94107 T 415.974.0302

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MATERIALS

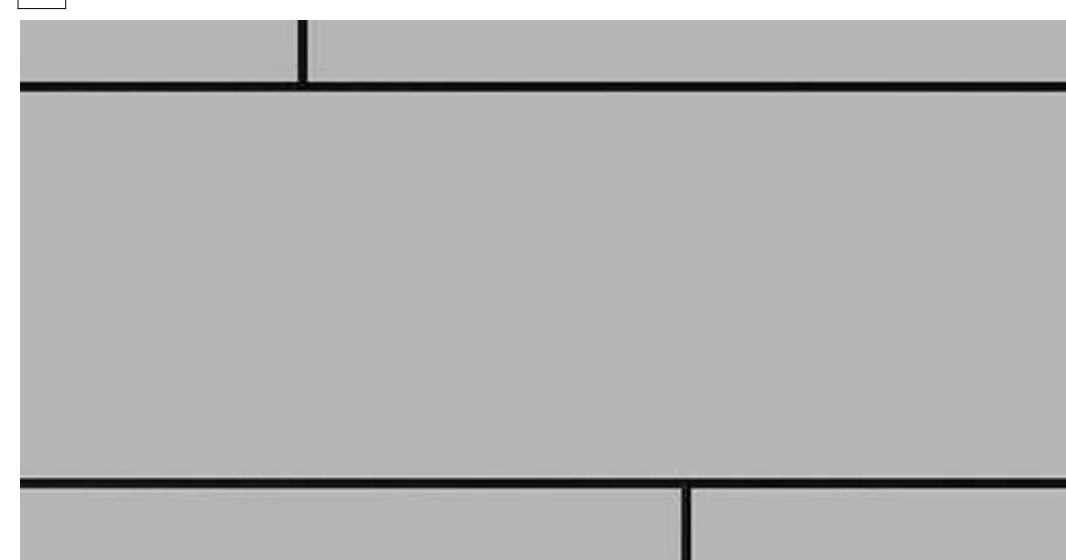
JOB #: 2223

SCALE: As indicated

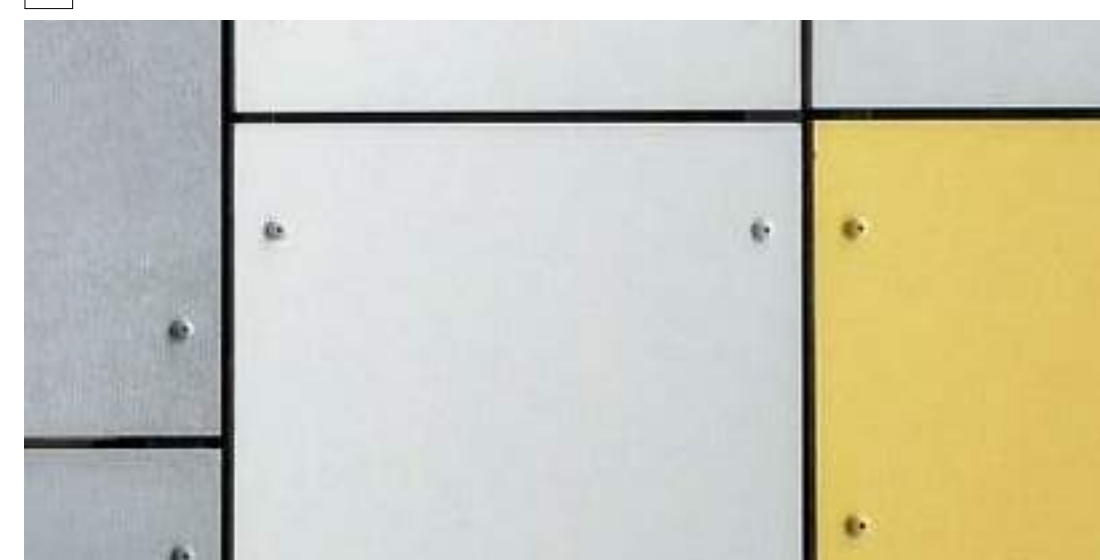
A5.1

SB-35 APPLICATION | DATE: 08/03/22

1A METAL PANEL - FIELD WHITE/GRAY



1B METAL PANEL - ACCENT COLORS



2 WOOD PANEL



3 EXPOSED BRACE FRAME



4 STOREFRONT WINDOWS



5 FLOOR TO CEILING GLASS



6 GLASS RAILING



7 METAL SCREEN



8 METAL CANOPY



9 EXPOSED SOLAR PANELS

