

DOCUMENT REFERENCES

- R1 SUBJECT GRANT DEED TO AUGUST PLACE, LLC RECORDED UNDER DN 2021-0030229, MCR
R2 MAP OF SUBDIVISION 'A' GOLF LINKS TRACT, FILED IN BOOK 2 OF RECORD MAPS, AT PAGE 107, MCR
R3 RECORD OF SURVEY MERRYDALE ROAD, FILED IN BOOK 9 OF SURVEYS, AT PAGE 48, MCR (ROTATED 1'14'53" CW)
R4 PARCEL MAP, FIRST CONGREGATIONAL CHURCH, FILED IN BOOK 5 OF PARCEL MAPS, AT PAGE 19, MCR (ROTATED 1'42'35" CCW)
R5 RECORD OF SURVEY, FILED IN BOOK 8 OF SURVEYS, AT PAGE 6, MCR
R6 PARCEL MAP, FILED IN BOOK 22 OF PARCEL MAPS, AT PAGE 86, MCR (ROTATED 0'00'04 CW)
R7 RECORD OF SURVEY OF WESTERLY RIGHT OF WAY OF INTERSTATE, FILED IN BOOK 1999 OF MAPS, AT PAGE 239, MCR (ROTATED 1'15'09" CCW); MAP IS PREPARED IN METERS, ONLY COURSES THAT CONFLICT ARE SHOWN IN METERS
R8 RECORD OF SURVEY, PILGRIM PARK, FILED IN BOOK 2006 OF MAPS, AT PAGE 6, MCR (ROTATED 1'42'35" CCW)
R9 RIGHT OF WAY RECORD MAP, R87.5 & R87.6 ON FILE AT DOT.CA.GOV (ROTATED 1'12'49" CCW)
R10 INDENTURE TO LAUGHENAUER, RECORDED IN BOOK 233, PAGE 279, MCR

THE FOLLOWING REFERENCES ARE LISTED HERE TO PERPETUATE THE FACT THAT THEY WERE REVIEWED AND CONSIDERED IN THIS SURVEY BUT WERE NOT UTILIZED IN THE RESOLUTION OF THE BOUNDARY:

2003 MAPS 229
2 OF SURVEYS 121

COUNTY RECORDER'S CERTIFICATE

FILED THIS 8 DAY APRIL 2022, AT 10:05A.M.
IN BOOK 2022 OF MAPS AT PAGE 66 AT THE REQUEST OF THE MARIN COUNTY DEPARTMENT OF PUBLIC WORKS
DOC. NO. 2022-0015075 FEE PAID 984
CHEWY SCOTT
COUNTY RECORDER
DEPUTY

SURVEYOR'S STATEMENT

THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF THE PROFESSIONAL LAND SURVEYORS' ACT AT THE REQUEST OF JASON GAMBLE IN AUGUST OF 2021.

Signature of G. HARMINA, III, PLS 7950
DATE MARCH 30, 2022

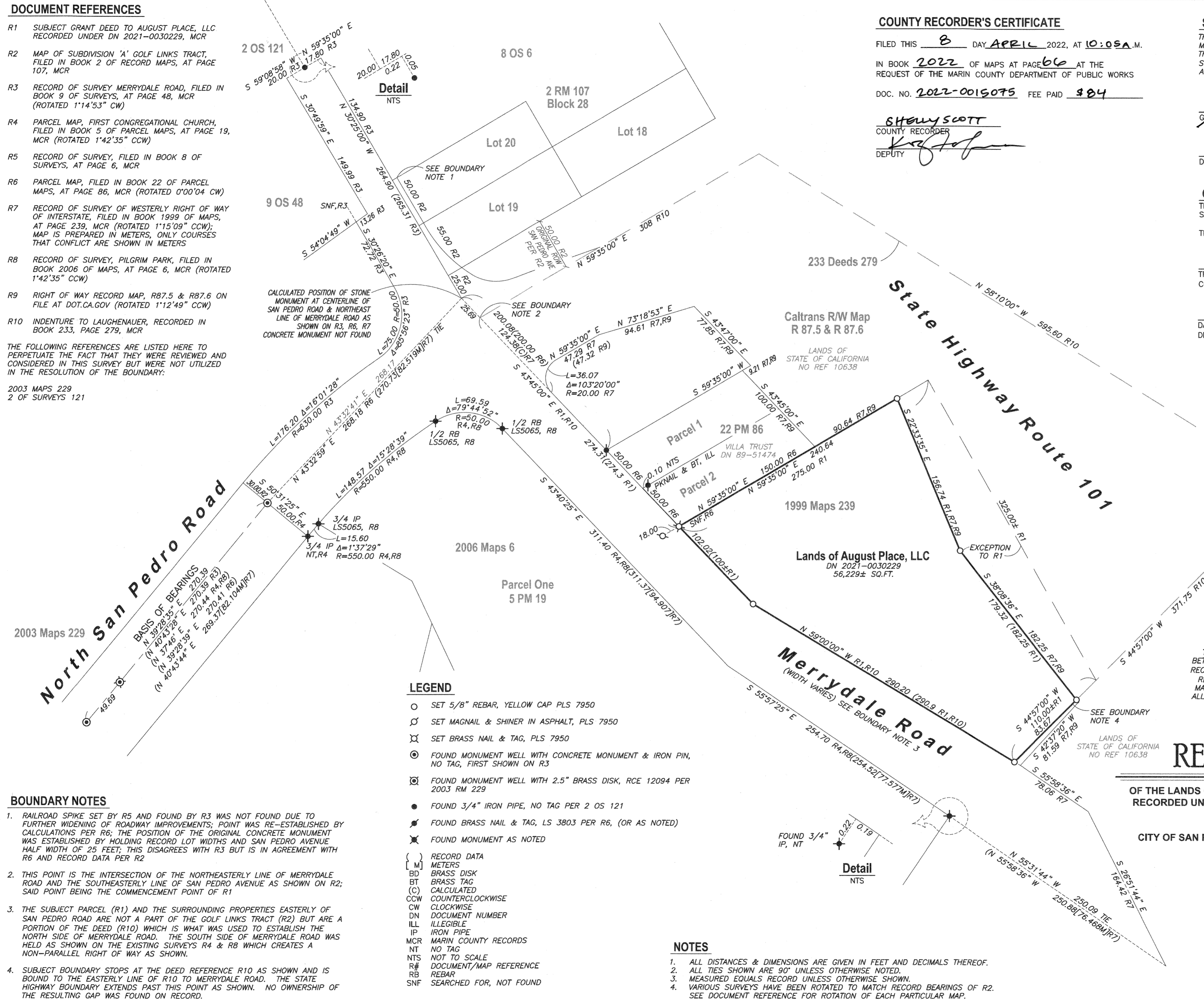
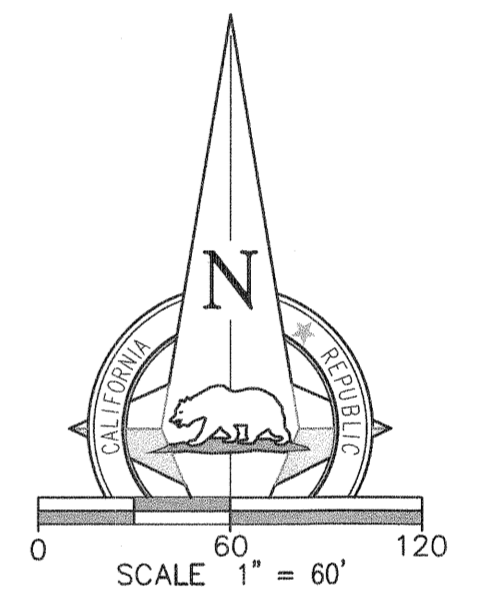


COUNTY SURVEYOR'S STATEMENT

THIS MAP HAS BEEN EXAMINED IN ACCORDANCE WITH SECTION 8766 OF THE PROFESSIONAL LAND SURVEYORS' ACT
THIS 4th DAY OF APRIL 2022.

TRACY W. PARK, PLS 8176
COUNTY SURVEYOR

Signature of David O. Knell
DAVID O. KNELL, PLS 5301
DEPUTY COUNTY SURVEYOR



LEGEND

- Symbol for 5/8" rebar, yellow cap
Symbol for magnail & shiner in asphalt
Symbol for brass nail & tag
Symbol for found monument well with concrete monument & iron pin
Symbol for found monument well with 2.5" brass disk
Symbol for found 3/4" iron pipe
Symbol for found brass nail & tag
Symbol for found monument as noted
Symbol for record data
Symbol for meters
Symbol for brass disk
Symbol for brass tag
Symbol for calculated
Symbol for counterclockwise
Symbol for clockwise
Symbol for document number
Symbol for illegible
Symbol for iron pipe
Symbol for Marin County records
Symbol for no tag
Symbol for not to scale
Symbol for document/map reference
Symbol for rebar
Symbol for searched for, not found

NOTES

- 1. ALL DISTANCES & DIMENSIONS ARE GIVEN IN FEET AND DECIMALS THEREOF.
2. ALL TIES SHOWN ARE 90° UNLESS OTHERWISE NOTED.
3. MEASURED EQUALS RECORD UNLESS OTHERWISE SHOWN.
4. VARIOUS SURVEYS HAVE BEEN ROTATED TO MATCH RECORD BEARINGS OF R2. SEE DOCUMENT REFERENCE FOR ROTATION OF EACH PARTICULAR MAP.

BOUNDARY NOTES

- 1. RAILROAD SPIKE SET BY R5 AND FOUND BY R3 WAS NOT FOUND DUE TO FURTHER WIDENING OF ROADWAY IMPROVEMENTS; POINT WAS RE-ESTABLISHED BY CALCULATIONS PER R6; THE POSITION OF THE ORIGINAL CONCRETE MONUMENT WAS ESTABLISHED BY HOLDING RECORD LOT WIDTHS AND SAN PEDRO AVENUE HALF WIDTH OF 25 FEET; THIS DISAGREES WITH R3 BUT IS IN AGREEMENT WITH R6 AND RECORD DATA PER R2
2. THIS POINT IS THE INTERSECTION OF THE NORTHEASTERLY LINE OF MERRYDALE ROAD AND THE SOUTHEASTERLY LINE OF SAN PEDRO AVENUE AS SHOWN ON R2; SAID POINT BEING THE COMMENCEMENT POINT OF R1
3. THE SUBJECT PARCEL (R1) AND THE SURROUNDING PROPERTIES EASTERLY OF SAN PEDRO ROAD ARE NOT A PART OF THE GOLF LINKS TRACT (R2) BUT ARE A PORTION OF THE DEED (R10) WHICH IS WHAT WAS USED TO ESTABLISH THE NORTH SIDE OF MERRYDALE ROAD. THE SOUTH SIDE OF MERRYDALE ROAD WAS HELD AS SHOWN ON THE EXISTING SURVEYS R4 & R8 WHICH CREATES A NON-PARALLEL RIGHT OF WAY AS SHOWN.
4. SUBJECT BOUNDARY STOPS AT THE DEED REFERENCE R10 AS SHOWN AND IS BOUND TO THE EASTERLY LINE OF R10 TO MERRYDALE ROAD. THE STATE HIGHWAY BOUNDARY EXTENDS PAST THIS POINT AS SHOWN. NO OWNERSHIP OF THE RESULTING GAP WAS FOUND ON RECORD.

BASIS OF BEARINGS

THE BEARING NORTH 39°28'35" EAST AS MEASURED BETWEEN FOUND MONUMENTS AS FIRST SHOWN ON THAT RECORD OF SURVEY (R3) 9 SURVEYS 48, MARIN COUNTY RECORDS, BEARINGS WERE ROTATED CCW 1'14'53" TO MATCH RECORD BEARING OF MERRYDALE ROAD PER R2, ALL BEARINGS HEREIN MENTIONED ARE RELATED THERETO

RECORD OF SURVEY

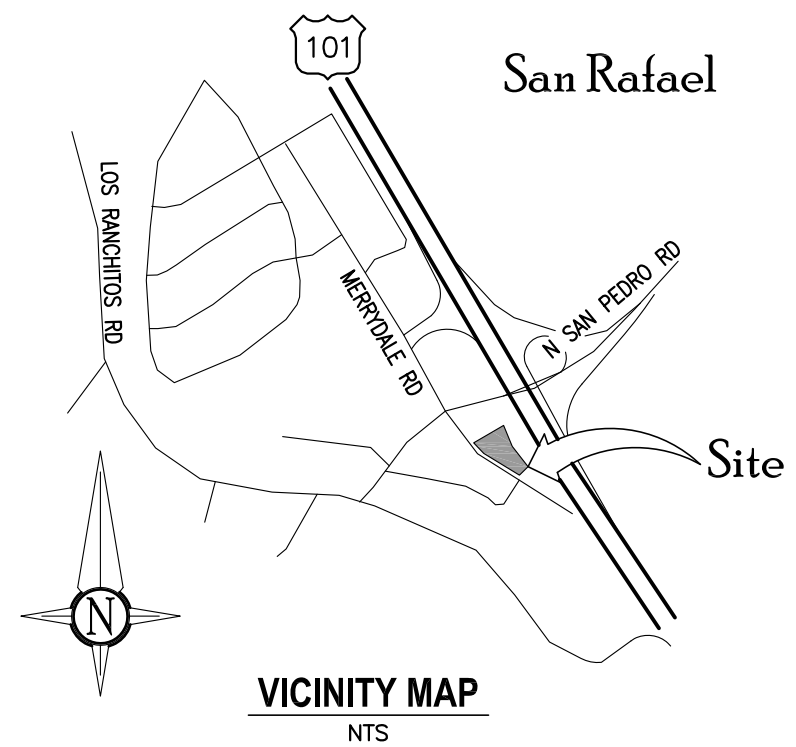
OF THE LANDS OF AUGUST PLACE LLC, AS DESCRIBED BY GRANT DEED RECORDED UNDER DOCUMENT NUMBER 2021-0030229, MARIN COUNTY RECORDS

CITY OF SAN RAFAEL COUNTY OF MARIN STATE OF CALIFORNIA
OCTOBER 2021
APN 179-221-03

1031Survey, Inc.
High Definition Surveying

1857 Rainier Circle, Petaluma, California 94954

415-827-6370



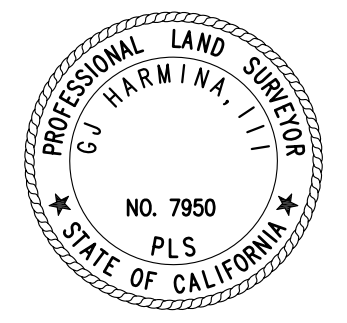
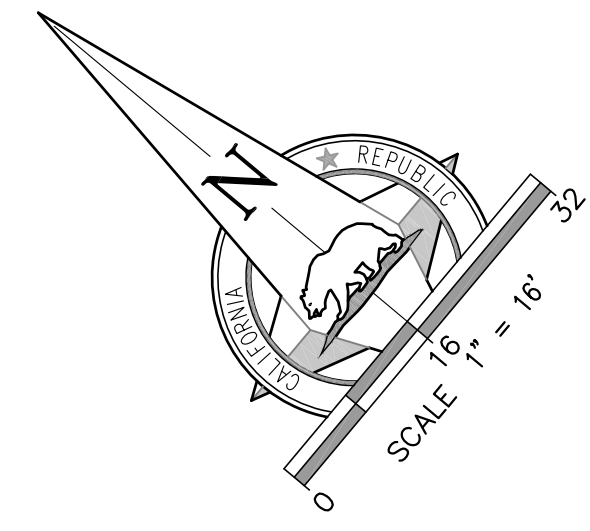
US Highway 101

Lands of August Place LLC
56,229± SQ.FT.

Merrydale Road
(WIDTH VARIES)

ABBREVIATIONS

AC	ASPHALTIC CONCRETE
APN	ASSESSOR'S PARCEL NUMBER
CMP	CORRUGATED METAL PIPE
CONC	CONCRETE
Cyp	CYPRESS
EM	ELECTRIC METER
G	GAS
GM	GAS METER
JP	JOINT POLE
MCR	MARIN COUNTY RECORDS
OH	OVERHEAD UTILITY LINES
NTS	NOT TO SCALE
P	PINE
R	REDWOOD
RCP	REINFORCED CONCRETE PIPE
S	SIGN
SN	SWAG
SS	SANITARY SEWER CLEAN OUT
ST	STUMP
T	TREE
W	TEMPORARY BENCHMARK
WSO	WATER SHUT OFF



LEGEND

	BUILDING
	FENCE, POST AND WIRE
	FENCE, WOOD
	EDGE OF PAVEMENT
	TOP OF SLOPE
	OVERHEAD UTILITIES
	STORM DRAIN CULVERT
	RETAINING WALL, CONC
	CONCRETE
	DROP INLET
	ELECTRIC MAIN
	GAS METER
	TEMPORARY BENCHMARK
	TREE, TO SCALE, WITH DRIFLINE, DIAMETER & TYPE
	WATER METER
	WATER SHUT OFF VALVE
	FIRE HYDRANT
	WATER VALVE

NOTES

- TOPOGRAPHIC INFORMATION SHOWN HERE IS BASED UPON A FIELD SURVEY PERFORMED BY 1031SURVEY, INC. IN OCTOBER 2021 USING TERRESTRIAL LIDAR.
- VERTICAL DATUM: A SET MAGNALL & SHINER STAMPED "1031SURVEY CONTROL" LOCATED ON THE WEST SIDE OF MERRYDALE ROAD, NEAR THE MOST WESTERLY CORNER OF THE SUBJECT PARCEL, ELEVATION=100.00 ASSUMED DATUM.
- BOUNDARY IS BASED UPON A RECORD OF SURVEY THAT IS CURRENTLY IN THE MAP REVIEW PROCESS WITH THE COUNTY SURVEYOR'S OFFICE. FOR ALL BOUNDARY RELATED INFORMATION, REFER TO SAID SURVEY. BOUNDARY INFORMATION SHOWN HEREON IS CONSIDERED PRELIMINARY AND WILL BE UPDATED WITH APPROPRIATE INFORMATION AFTER THE FILING OF SAID RECORD OF SURVEY, IF NEEDED.
- TREES WERE MEASURED AT BREAST HEIGHT ABOVE THE GROUND WHERE PRACTICAL. TREES MAY EXIST ON SITE THAT HAVE MULTIPLE TRUNKS, BRANCHES THAT TOUCH THE GROUND OR HAVE GROWN IN AN IRREGULAR MANNER. TREE SPECIES ARE LABELED IF IDENTIFIABLE. IT IS RECOMMENDED THAT AN ARBORIST REPORT BE OBTAINED TO DETERMINE TREE SPECIES, HEALTH AND HERITAGE STATUS. EXACT LOCATION OF IRREGULAR TREES SHOULD BE VERIFIED PRIOR TO DESIGN OR CONSTRUCTION.
- ROCK OUTCROPPINGS ARE SHOWN WHERE VISIBLE. ROCKS MAY EXIST UNDER THE SURFACE THAT ARE NOT VISIBLE AND ARE THUS NOT SHOWN ON THIS MAP.
- THIS DOCUMENT AND THE INFORMATION CONTAINED HEREIN ARE THE PROPERTY OF 1031SURVEY, INC. UNAUTHORIZED USE, COPYING, DISCLOSURE OR PUBLICATION BY ANY METHOD IS PROHIBITED WITHOUT THE WRITTEN APPROVAL OF 1031SURVEY, INC. 1031SURVEY, INC. ASSUMES NO RESPONSIBILITY FOR ANY UNAUTHORIZED DUPLICATION OF INFORMATION THAT MAY APPEAR ON ANOTHER PLAN OR MAP.
- THIS MAP IS PROVIDED IN AN ELECTRONIC FORMAT (ON COMPUTER DISK) AS A COURTESY TO THE CLIENT. THE DELIVERY OF THE ELECTRONIC FILE DOES NOT CONSTITUTE THE DELIVERY OF OUR PROFESSIONAL WORK PRODUCT. THE SIGNED PRINT DELIVERED WITH THIS ELECTRONIC FILE CONSTITUTES OUR PROFESSIONAL WORK PRODUCT, AND IN THE EVENT THE ELECTRONIC FILE IS ALTERED, THE PRINT MUST BE REFERRED TO FOR THE ORIGINAL AND CORRECT SURVEY INFORMATION. WE SHALL NOT BE RESPONSIBLE FOR ANY MODIFICATIONS MADE TO THE ELECTRONIC FILE, OR FOR ANY PRODUCTS DERIVED FROM THE ELECTRONIC FILE WHICH ARE NOT REVIEWED, SIGNED AND SEALED BY US.

LANDS OF AUGUST PLACE LLC
50 MERRYDALE ROAD
APN 179-221-03
SAN RAFAEL, MARIN COUNTY, CALIFORNIA

Topographic Map

1031Survey, Inc.
HIGH DEFINITION SURVEYING
1857 Rainier Circle, Petaluma, California 94954
415-827-6370 www.1031survey.com

DATE: 2021.10.27 SURVEY DATE: OCT2021
SCALE: 1" = 16' SHEET: 1 OF 1
FILE: 21341Topo



#12 - FACING NORTHWEST FROM MERRYDALE - NEIGHBORING BUILDINGS ALONG WEST SIDE OF MERRYDALE (ACROSS FROM SUBJECT SITE)



#11 - FACING NORTHWEST FROM MERRYDALE - NEIGHBORING BUILDINGS ALONG WEST SIDE OF MERRYDALE (ACROSS FROM SUBJECT SITE)



#10 - FACING NORTH FROM INTERIOR OF SUBJECT SITE



#9 - FACING NORTH FROM MERRYDALE - SOUTHWEST CORNER OF SUBJECT SITE



#8 - VIEW AT SIDE OF EXISTING 50 MERRYDALE APARTMENT BUILDING - FACING NORTH FROM SUBJECT SITE



#7 - VIEW AT FRONT OF EXISTING 50 MERRYDALE APARTMENT BUILDING - FACING EAST



#6 - FACING EAST AT NORTHWEST CORNER OF SUBJECT SITE AT EXISTING 50 MERRYDALE DRIVEWAY MOUTH ENTRANCE



#5 - FACING EAST AT NORTHWEST CORNER OF SUBJECT SITE AT EXISTING 50 MERRYDALE DRIVEWAY ENTRANCE



#4 - SUBJECT SITE SOUTHERLY STREET FRONTAGE - FACING SOUTH ON MERRYDALE - 101 FREEWAY SOUND WALL IN BACKGROUND



#3 - CENTER OF SUBJECT SITE FRONTAGE - FACING SOUTH ON MERRYDALE



#2 - SUBJECT SITE NORTHERLY STREET FRONTAGE - FACING SOUTH ON MERRYDALE



#1 - APPROACH TO SUBJECT SITE - SOUTHBOUND ON MERRYDALE



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REVISIONS	DATE	BY
PLN'G COMMENTS	01/26/23	SM

Proposed Apartment Building Development for :
August Place, LLC
50 Merrydale Road
San Rafael, CA 94903
A.P. 179-221-03



SITE PHOTOGRAPHS

REVIEW THE DRAWINGS CAREFULLY. DO NOT SCALE THE DRAWINGS. ANY DISCREPANCIES IN DIMENSIONS AND DETAILS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF STEWART K. SUMMERS, ARCHITECT

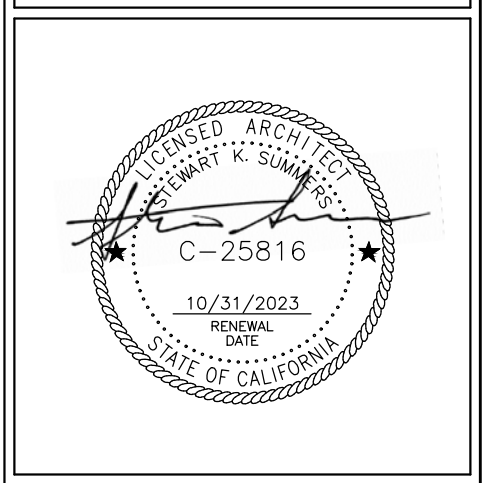
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SCALE: AS NOTED
DRAWN: SKS
JOB NO.

SHEET NO:
A0.1

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August Place, LLC
 50 Merrydale Road
 San Rafael, CA 94903
 AP. 179-221-03

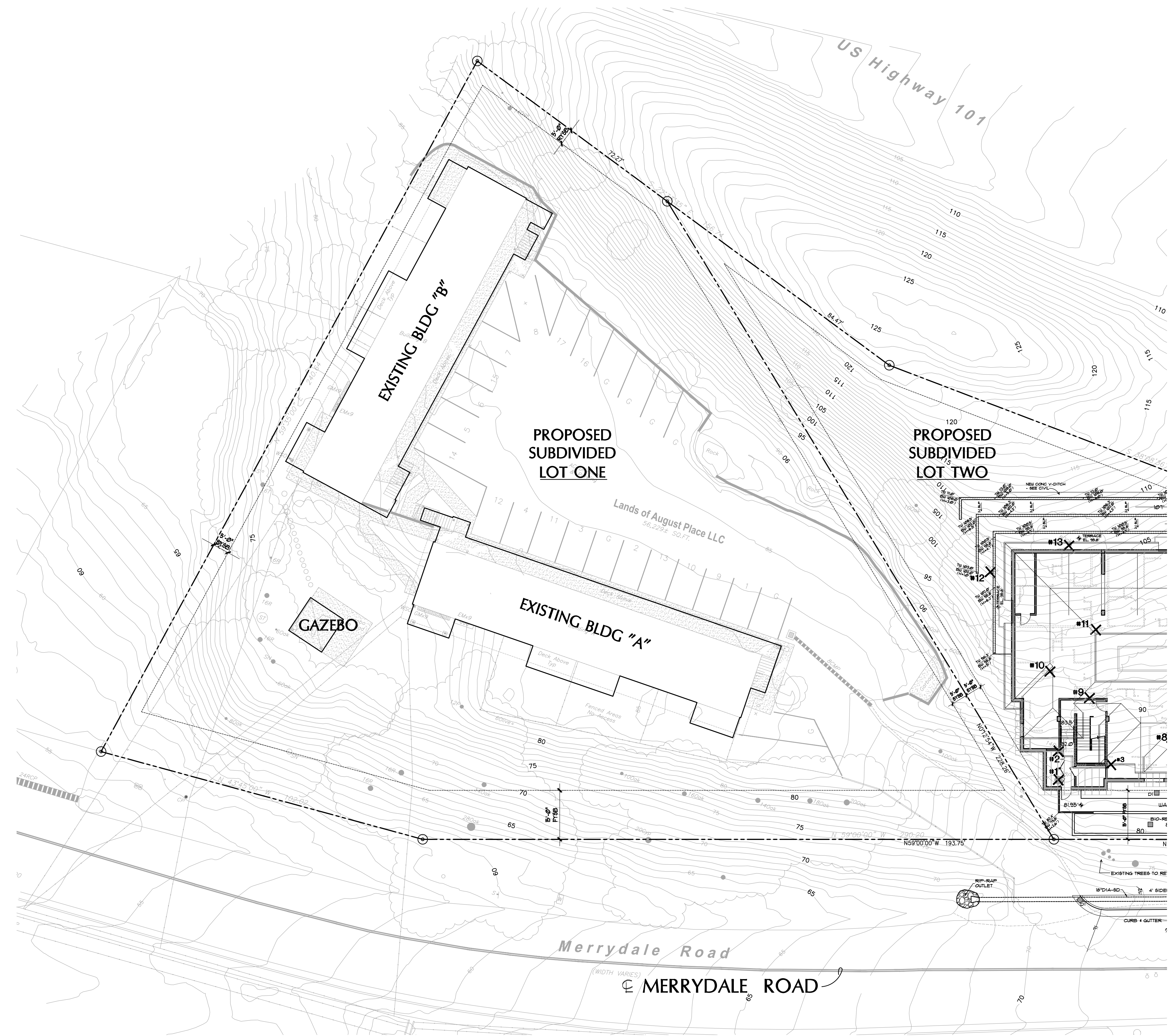


SITE PLAN - SUBDIVIDED LOT #1

REVIEW THE DRAWINGS CAREFULLY. DO NOT SCALE THE DRAWINGS. ANY DISCREPANCIES IN DIMENSIONS AND DETAILS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF STEWART K. SUMMERS, ARCHITECT

DATE: 11/03/22
 SCALE: AS NOTED
 DRAWN: SKS
 JOB NO.
 SHEET NO:

SP1



LOT & ZONING DATA - SUBDIVIDED LOT #1

A.P. NUMBER	#179-221-03
ZONING	HR 1.2
OCCUPANCY CLASSIFICATION	R2
DESCRIPTION OF USE	APARTMENTS / GARAGE
CONSTRUCTION TYPE	V-B
STORIES	2
SPINKLERS	NO

SUBDIVISION DATA

ORIGINAL LOT (BEFORE SUBDIVISION)	56,228.90 SF
LOT SLOPE	29.67%
SUBDIVIDED LOT ONE	38,071.93 SF
SUBDIVIDED LOT TWO	18,156.97 SF

SUBDIVIDED LOT #1 EXISTING BUILDING / ZONING DATA

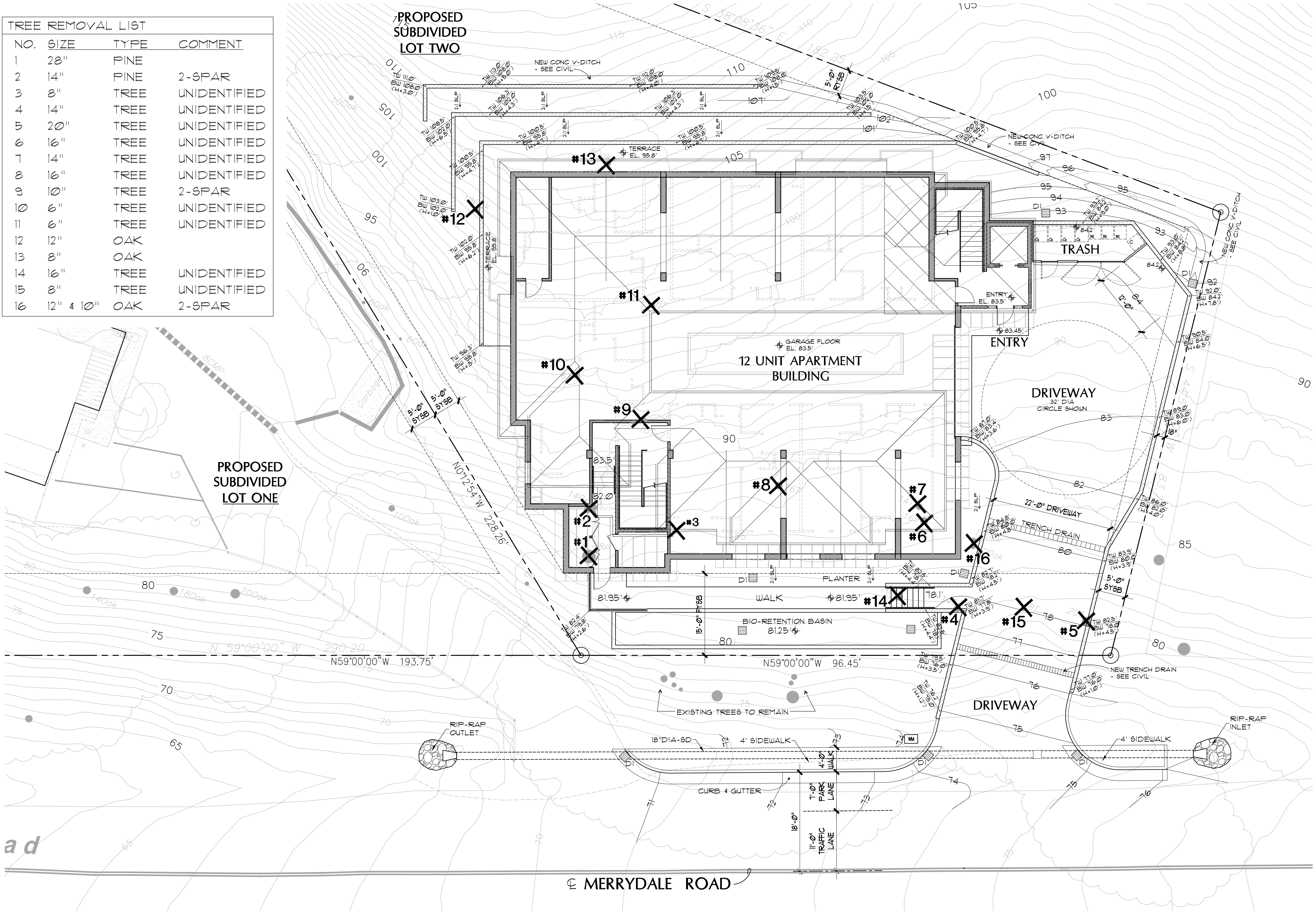
SUBDIVIDED LOT ONE AREA (MIN. 6,000)	38,071.9 SF ✓
LOT AREA PER UNIT (MIN. 1,800) (38,071.9 / 16 =)	2,379.5 SF ✓
TOTAL BLDG SQUARE FOOTAGE	12,598.6 SF
BUILDING "A" (TWO-STORY)	6,242.2 SF
BUILDING "B" (TWO-STORY)	6,210.4 SF
GAZEBO	146 SF
LOT COVERAGE (60% MAX) (6,372.3 / 38,071.9)	16.7% ✓
LOT ONE PARKING (16 ONE-BEDRM UNITS @ 1.5 / UNIT = 24 SPACES)	24 SPACES ✓
SETBACKS FRONT = 15 FEET, SIDE = 5 FEET, 4 REAR = 5 FEET	✓

SITE PLAN - SUBDIVIDED LOT #1
 SCALE: 1/16" = 1'-0"




THIS PLAN SHOWS THAT SUBDIVIDED LOT #1 REMAINS IN COMPLIANCE AFTER SUBDIVISION

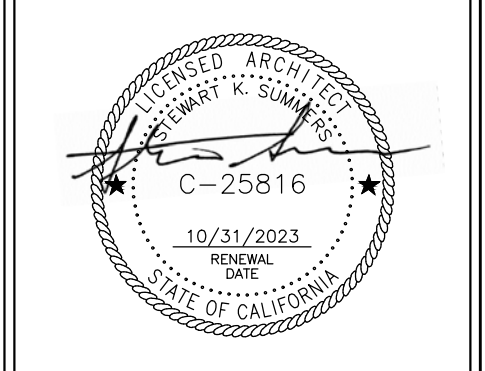
TREE REMOVAL LIST			
NO.	SIZE	TYPE	COMMENT
1	28"	PINE	
2	14"	PINE	2-SPAR
3	8"	TREE	UNIDENTIFIED
4	14"	TREE	UNIDENTIFIED
5	20"	TREE	UNIDENTIFIED
6	16"	TREE	UNIDENTIFIED
7	14"	TREE	UNIDENTIFIED
8	16"	TREE	UNIDENTIFIED
9	10"	TREE	2-SPAR
10	6"	TREE	UNIDENTIFIED
11	6"	TREE	UNIDENTIFIED
12	12"	OAK	
13	8"	OAK	
14	16"	TREE	UNIDENTIFIED
15	8"	TREE	UNIDENTIFIED
16	12" & 10"	OAK	2-SPAR



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REVISIONS	DATE	BY
PLN'G COMMENTS	01/26/23	SM

Proposed Apartment Building Development for :
August Place, LLC
 50 Merrydale Road
 San Rafael, CA 94903
 AP. 179-221-03



SITE PLAN - SUBDIVIDED LOT #2

REVIEW THE DRAWINGS CAREFULLY. DO NOT SCALE THE DRAWINGS. ANY DISCREPANCIES IN DIMENSIONS AND DETAILS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF STEWART K. SUMMERS, ARCHITECT

DATE: 11/03/22
 SCALE: AS NOTED
 DRAWN: SKS
 JOB NO.
 SHEET NO:

SP2

SITE PLAN - SUBDIVIDED LOT #2
 SCALE: 1/8" = 1'-0"

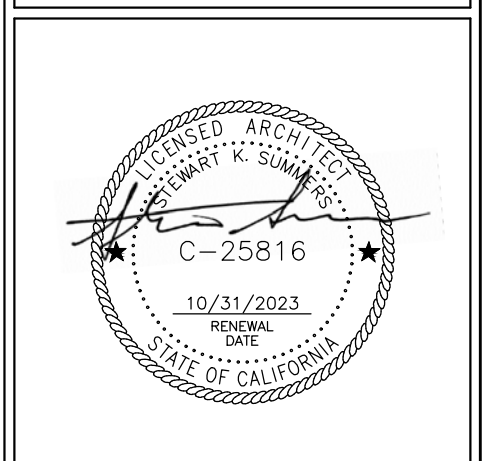




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REVISIONS	DATE	BY
PLN'G COMMENTS	01/26/23	SM

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August Place, LLC
 50 Merrydale Road
 San Rafael, CA 94903
 AP. 179-221-03



AERIAL SITE PLAN

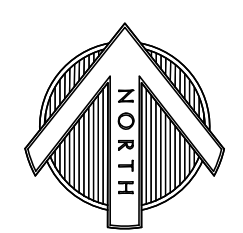
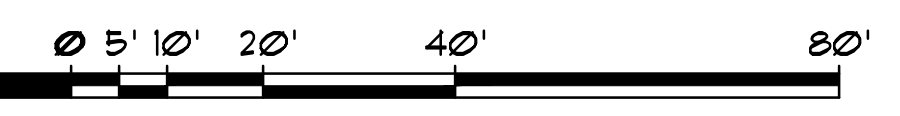
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DATE:	11/03/22
SCALE:	AS NOTED
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SHEET NO.:	

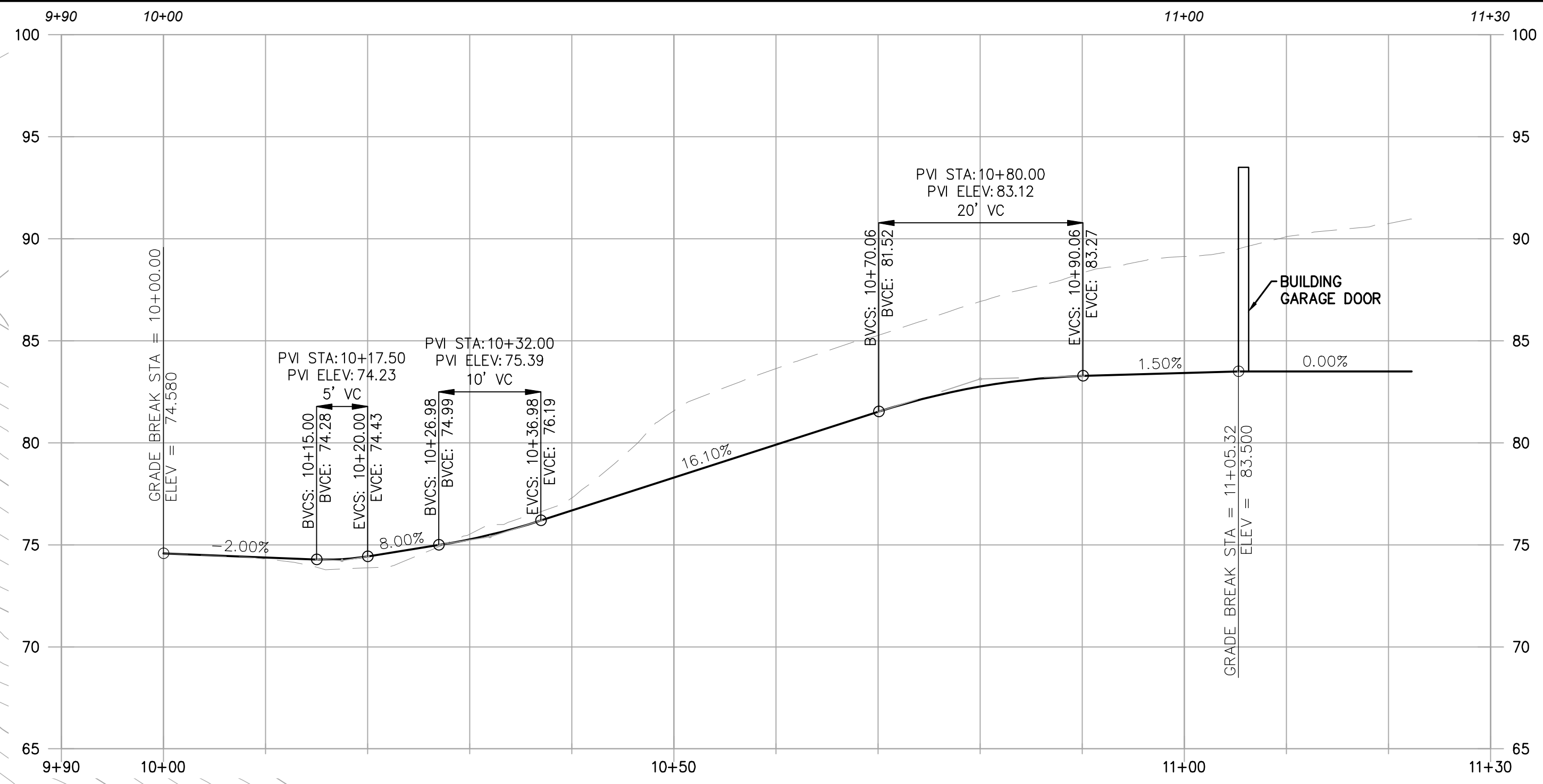
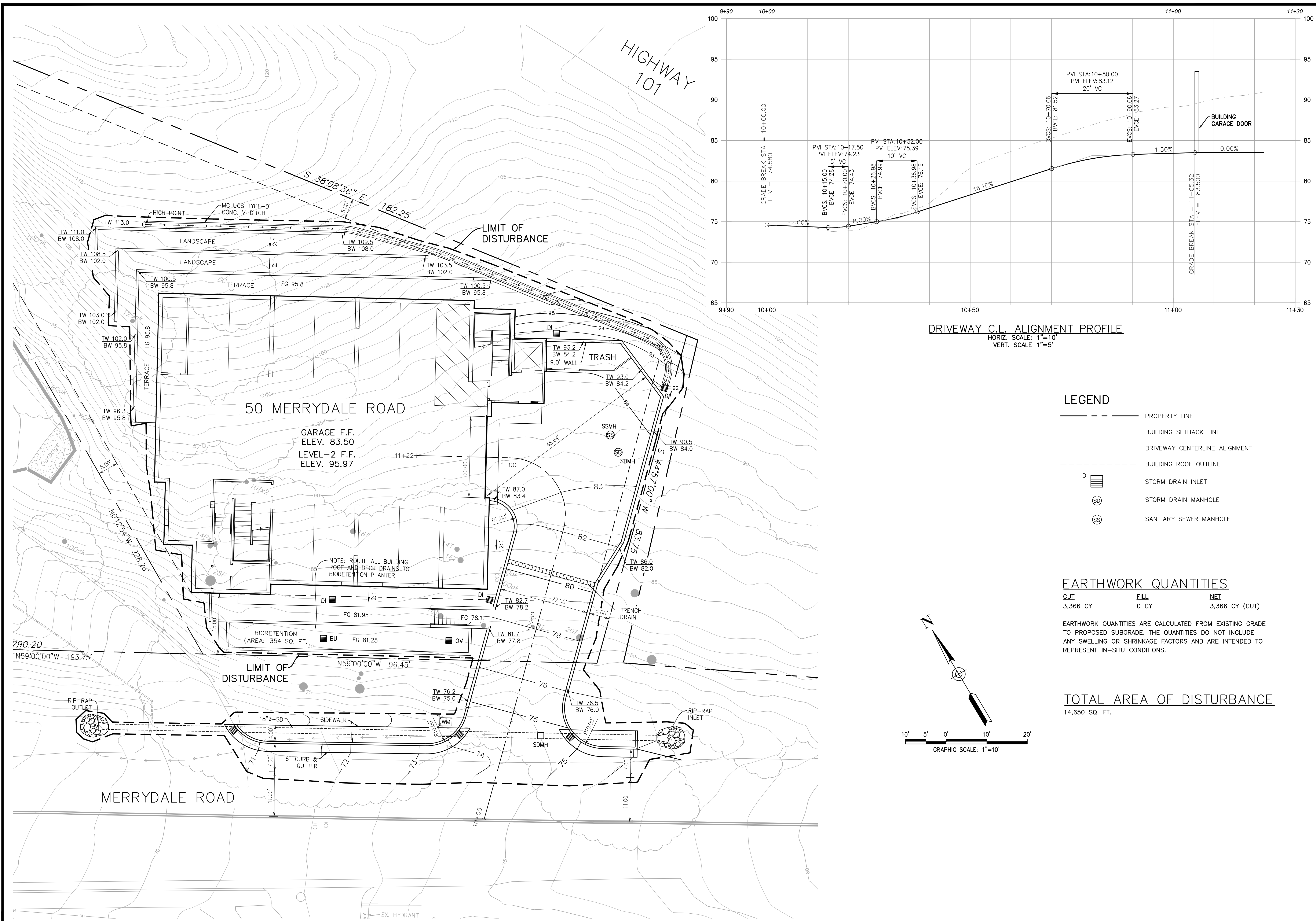
A0.2

AERIAL SITE PLAN

SCALE: 1" = 20'-0"



\\NFCD\Documents\Jobs\2023\21-140_50 Merrydale Road_Sm_Ruled\DWG\DESIGN\21-140_Civil_Plan_Design_Review_Set.dwg, 1/13/2023 12:06:00 PM



DRIVEWAY C.L. ALIGNMENT PROFILE
 HORIZ. SCALE: 1"=10'
 VERT. SCALE: 1"=5'

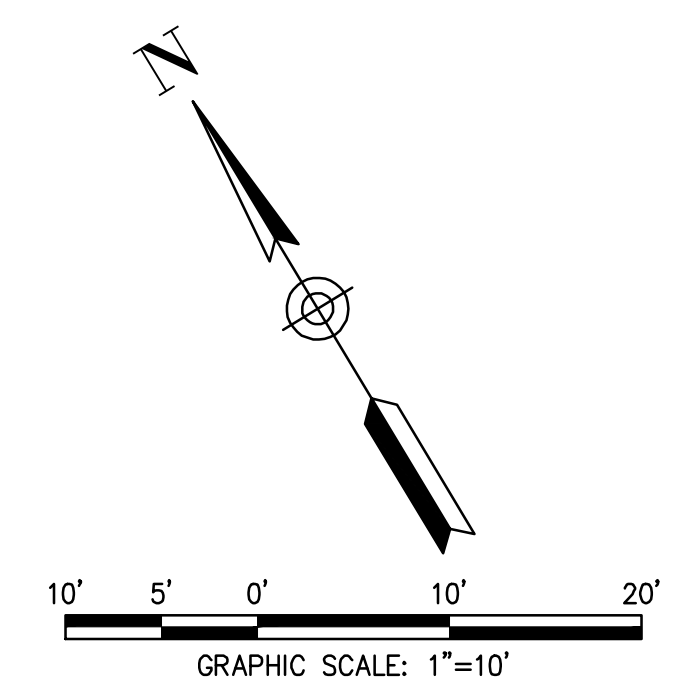
- LEGEND**
- PROPERTY LINE
 - BUILDING SETBACK LINE
 - DRIVEWAY CENTERLINE ALIGNMENT
 - BUILDING ROOF OUTLINE
 - DI [Symbol] STORM DRAIN INLET
 - SD [Symbol] STORM DRAIN MANHOLE
 - SS [Symbol] SANITARY SEWER MANHOLE

EARTHWORK QUANTITIES

CUT	FILL	NET
3,366 CY	0 CY	3,366 CY (CUT)

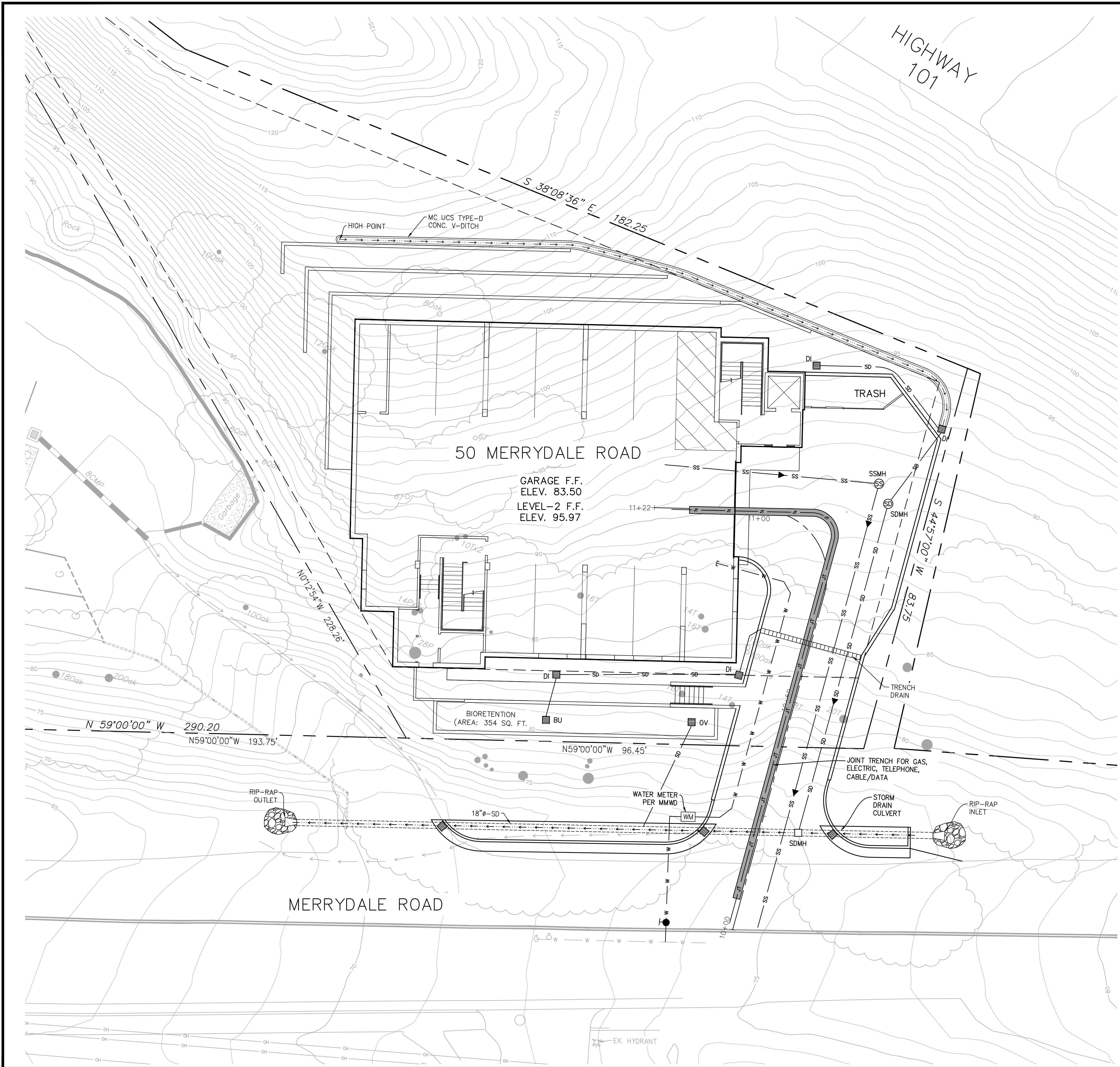
EARTHWORK QUANTITIES ARE CALCULATED FROM EXISTING GRADE TO PROPOSED SUBGRADE. THE QUANTITIES DO NOT INCLUDE ANY SWELLING OR SHRINKAGE FACTORS AND ARE INTENDED TO REPRESENT IN-SITU CONDITIONS.

TOTAL AREA OF DISTURBANCE
 14,650 SQ. FT.



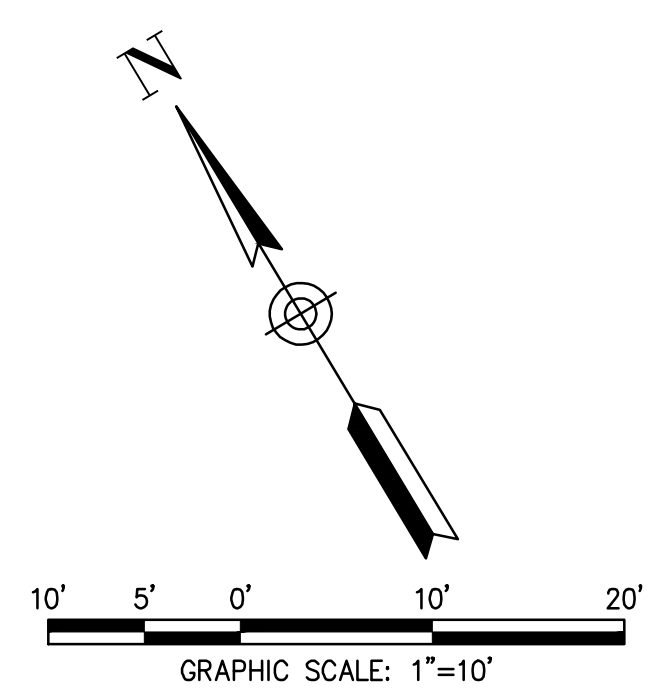
1	2	3	4	5
OBERKAMPER & ASSOCIATES CIVIL ENGINEERS, INC. 7200 REDWOOD BLVD SUITE 308, NOVATO, CA 94945 PHONE: (415) 897-2800 WWW.OBERKAMPER.COM				
CALIFORNIA GRADING AND DRAINAGE PLAN 50 MERRYDALE ROAD MARIN COUNTY				
Scale: 1" = 10' Drawn by: BM Field Crew: - Checked by: JDC Date: 1/13/2023				
SHEET C1 1 OF 4 21-140				

\\WP0\Documents\Jobs\2023\21-140_50 Merrydale Road_San Rafael\DWG\DESIGN\21-140_Civil Plans_Design_Review_Set.dwg, 1/13/2023 11:08:30 AM



LEGEND

- PROPERTY LINE
- BUILDING SETBACK LINE
- DRIVEWAY CENTERLINE ALIGNMENT
- BUILDING ROOF OUTLINE
- STORM DRAIN LINE
- SANITARY SEWER LINE
- WATER LINE
- JOINT TRENCH
- GATE VALVE
- STORM DRAIN INLET
- STORM DRAIN MANHOLE
- SANITARY SEWER MANHOLE



1
2
3
4
5

OBERKAMPER & ASSOCIATES
CIVIL ENGINEERS, INC.
 7200 REDWOOD BLVD SUITE 308 NOVATO, CA 94945
 PHONE: (415) 897-2800
 WWW.OBERKAMPER.COM

CALIFORNIA

UTILITY PLAN
 50 MERRYDALE ROAD
 MARIN COUNTY

CITY OF SAN RAFAEL

Scale: 1" = 10'
 Drawn by: BM
 Field Crew: -
 Checked by: JDC
 Date: 1/13/2023

\\NFCD\documents\140\301\140_50 Merydale Road_San Rafael\DWG\DESIGN\21-140_Civil Plans_Design_Review_Setting_1/13/2023 12:45:44 PM



**EXISTING CONDITIONS
PLAN VIEW**

PROJECT DATA FORM AND RUNOFF REDUCTION MEASURE SELECTION

Project Name/Number	NEW APARTMENT BUILDING
Application Submittal Date [to be verified by municipal staff]	JUNE 2023
Project Location [Street Address if available, or intersection and/or APN]	50 MERRYDALE ROAD, SAN RAFAEL, CA
Name of Owner or Developer	AUGUST PLACE LLC
Project Type and Description [Examples: "Single Family Residence," "Parking Lot Addition," "Retail and Parking"]	NEW APARTMENT BUILDING WITH NEW DRIVEWAY
Total Project Site Area (acres)	0.417
Total New or Replaced Impervious Surface Area (square feet) [Sum of impervious area that will be constructed as part of the project]	8,992 SF
Total Pre-Project Impervious Surface Area	0 SF
Total Post-Project Impervious Surface Area	8,992 SF
Runoff Reduction Measures Selected (Check one or more)	<input checked="" type="checkbox"/> 1. Disperse runoff to vegetated area <input type="checkbox"/> 2. Pervious pavement <input type="checkbox"/> 3. Cisterns or Rain Barrels <input checked="" type="checkbox"/> 4. Bioretention Facility or Planter Box

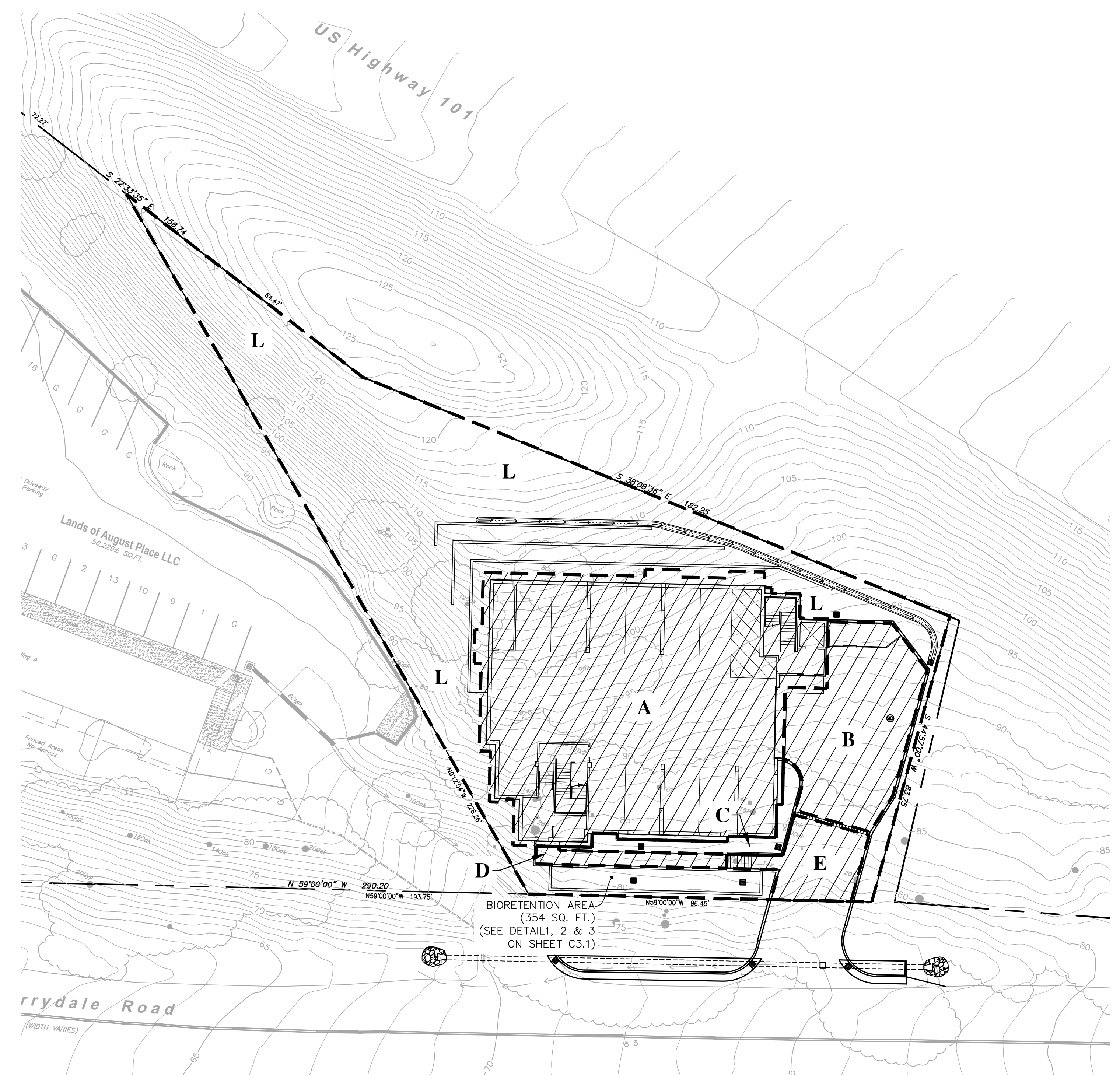
PRE-PROJECT AREAS

TOTAL PARCEL AREA = 18,151 SQ.FT.

Area Name	Impervious DMA Area (square feet)	Pervious DMA Area (square feet)	Pre-Project Surface Type
Area 1		18,151	Open Natural Area
Pre-Project Totals>		18,151 =	18,151 sf (Total Parcel Area)

LEGEND:

PROPOSED IMPERVIOUS AREA



**PROPOSED SITE IMPROVEMENTS
PLAN VIEW**

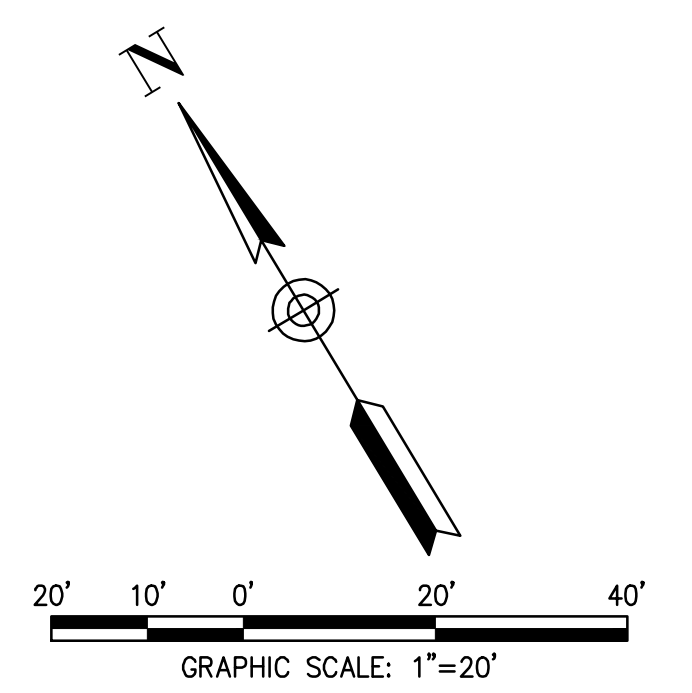
POST-PROJECT DRAINAGE MAINTENANCE AREAS (DMA's)

TOTAL PARCEL AREA = 18,151 SQ.FT.

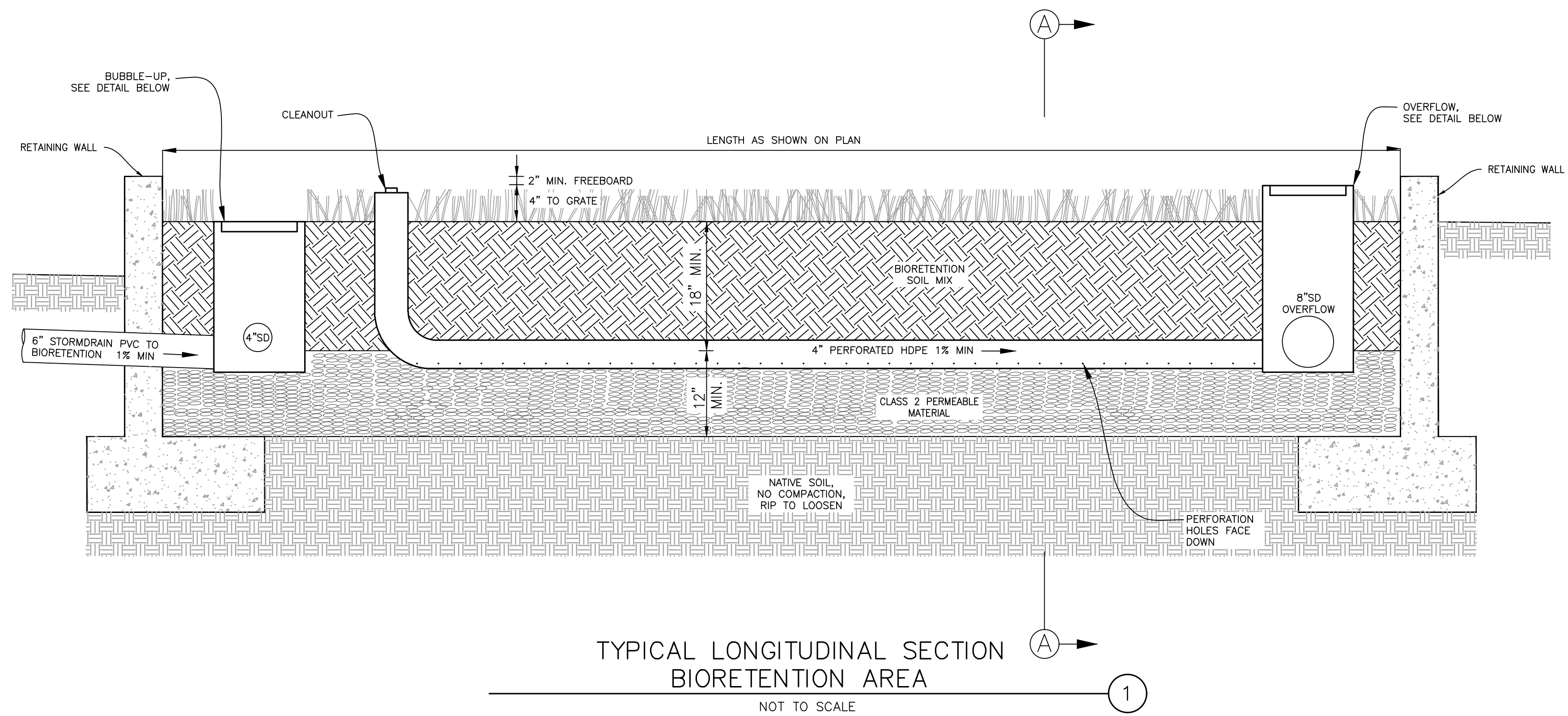
	DMA Name	Impervious DMA Area (square feet)	Pervious DMA Area (square feet)	Post-Project Surface Type	DMA Runoff Factor	DMA Area x Runoff Factor	Drainage Receiving Facility Name	Minimum Facilities (DMA x 0.04) (square feet)	Area Used in Design (square feet)
BIORETENTION AREA	Area A	6,567		Apartment Building Roof	1.0	6,567	Drains to BioRetention Area	262.7	354
	Area B	1,654		Driveway AC	1.0	1,654	Drains to BioRetention Area	66.2	
	Area C		339	Landscape Area	1.0	33.9	Drains to BioRetention Area	1.3	
	Area D	223		Paved Walkway	1.0	223	Drains to BioRetention Area	8.9	
Sub Totals>		8,444						339.1	354
OTHER	Area L		8,820	Landscape Area & Open Area	0.1	882	Self-Treating Area		
	Area E	548		Driveway AC	1.0	548	Run-off Drains to Landscape Area		
Sub Totals>		548	8,820						
Grand Totals>		8,992 + 9,159 =	18,151 sf (Total Parcel Area)						

BIORETENTION AREA PROVIDED

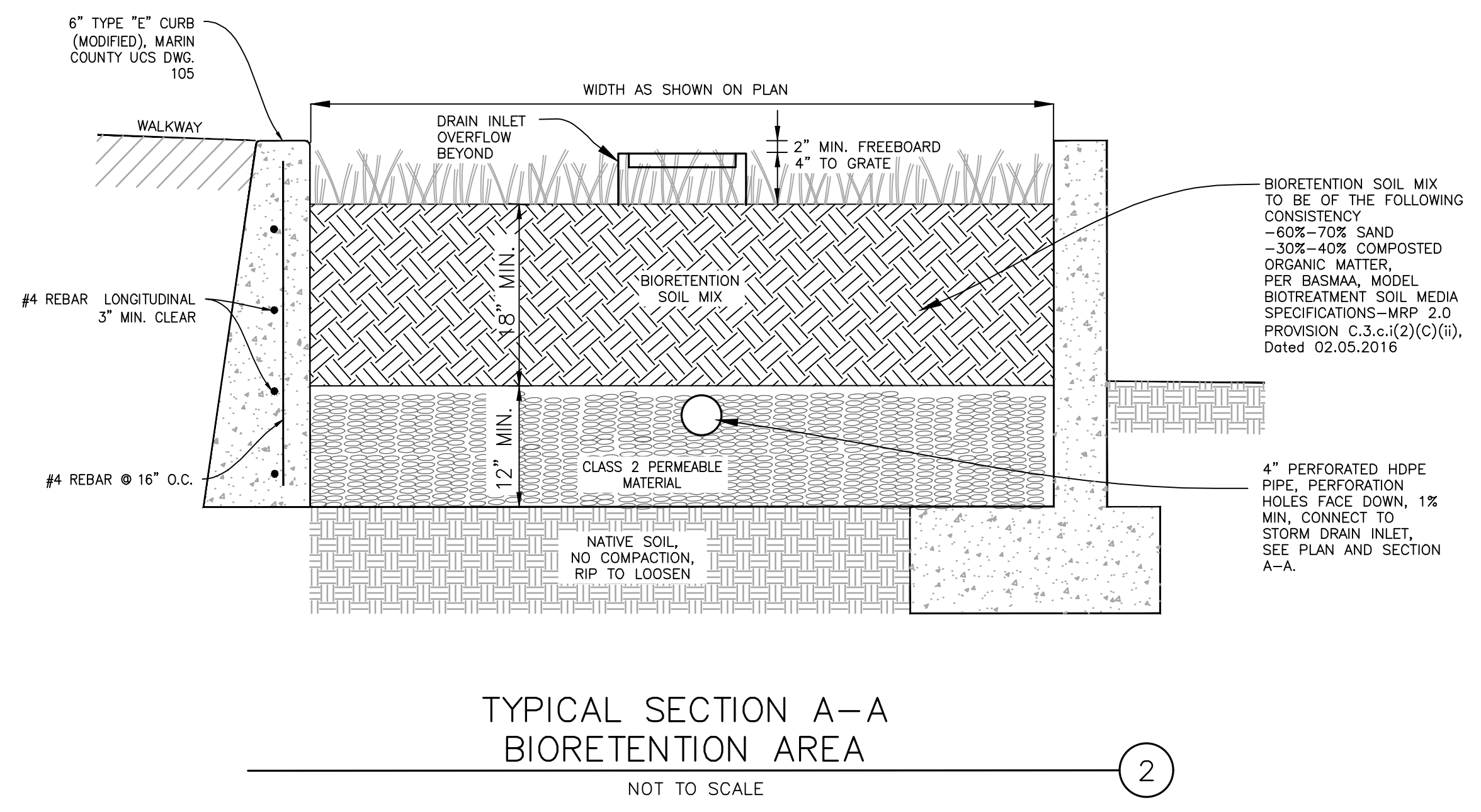
Bioretention Area 354 SQ. FT.



1	2	3	4	5
OBERKAMPER & ASSOCIATES CIVIL ENGINEERS INC. 7200 REDWOOD BLVD SUITE 308 NOVATO, CA 94945 PHONE: (415) 897-2800 WWW.OBERKAMPER.COM				
CALIFORNIA STORMDRAIN CONTROL PLAN 50 MERRYDALE ROAD MARIN COUNTY CITY OF SAN RAFAEL				
Scale: 1" = 20' Drawn by: BM Field Crew: JOC Checked by: JOC Date: 1/13/2023				
SHEET				
C3				
3 OF 4				
21-140				



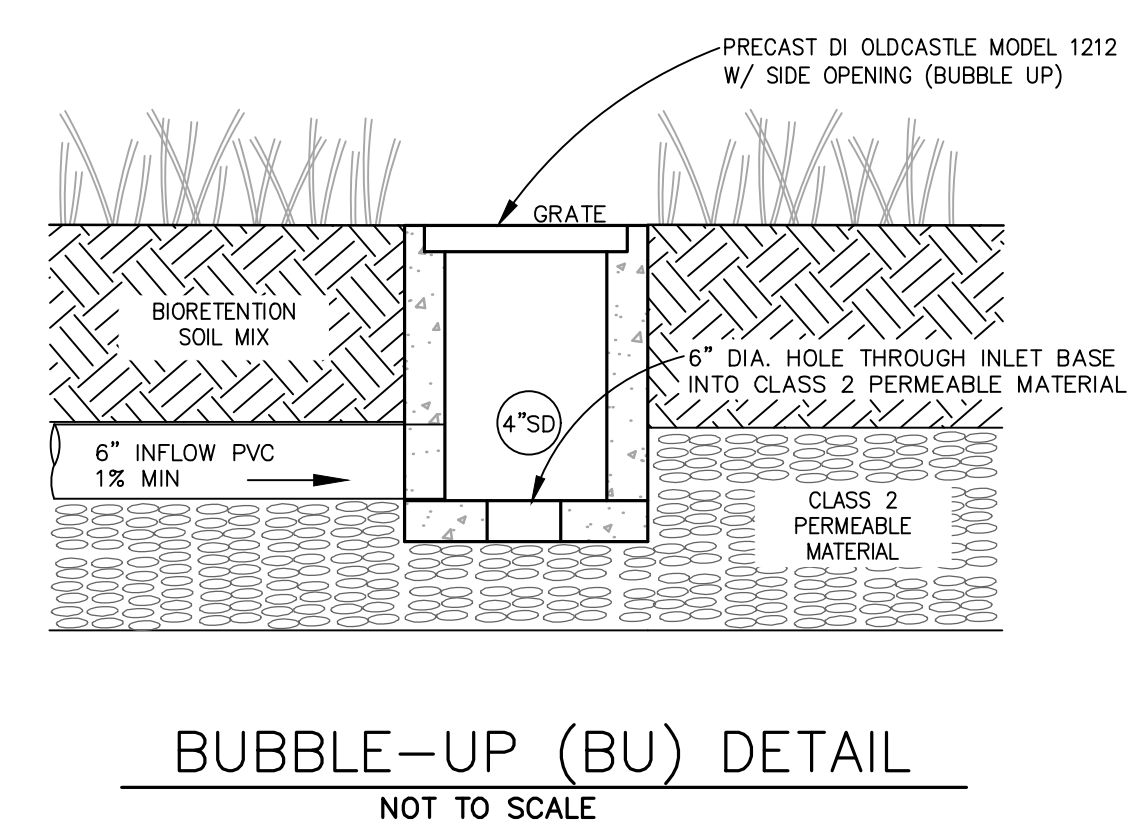
TYPICAL LONGITUDINAL SECTION
BIORETENTION AREA
NOT TO SCALE



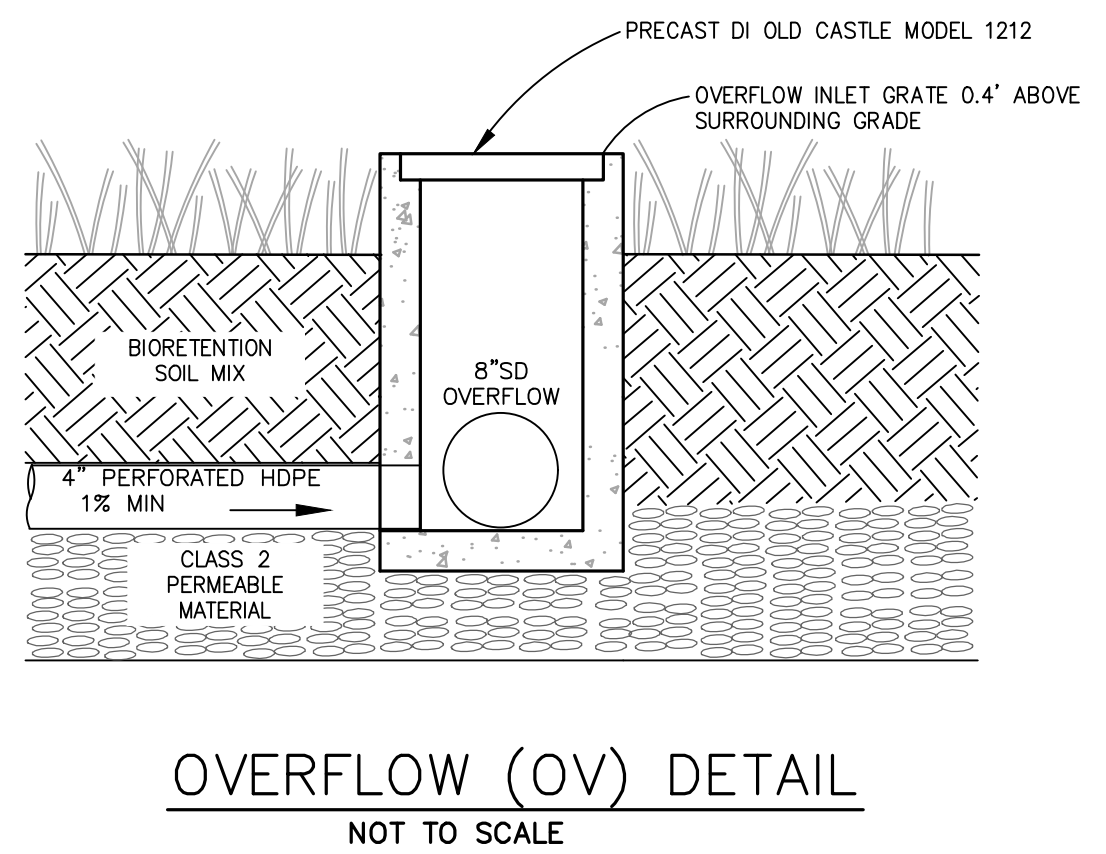
TYPICAL SECTION A-A
BIORETENTION AREA
NOT TO SCALE

BIORETENTION SOIL MIX TO BE OF THE FOLLOWING CONSISTENCY
-60%-70% SAND
-30%-40% COMPOSTED ORGANIC MATTER
PER BASMAA, MODEL BIOTREATMENT SOIL MEDIA SPECIFICATIONS-MRP 2.0 PROVISION C.3.3.1(2)(C)(i), Dated 02.05.2016

4" PERFORATED HDPE PIPE, PERFORATION HOLES FACE DOWN, 1% MIN, CONNECT TO STORM DRAIN INLET, SEE PLAN AND SECTION A-A.



BUBBLE-UP (BU) DETAIL
NOT TO SCALE

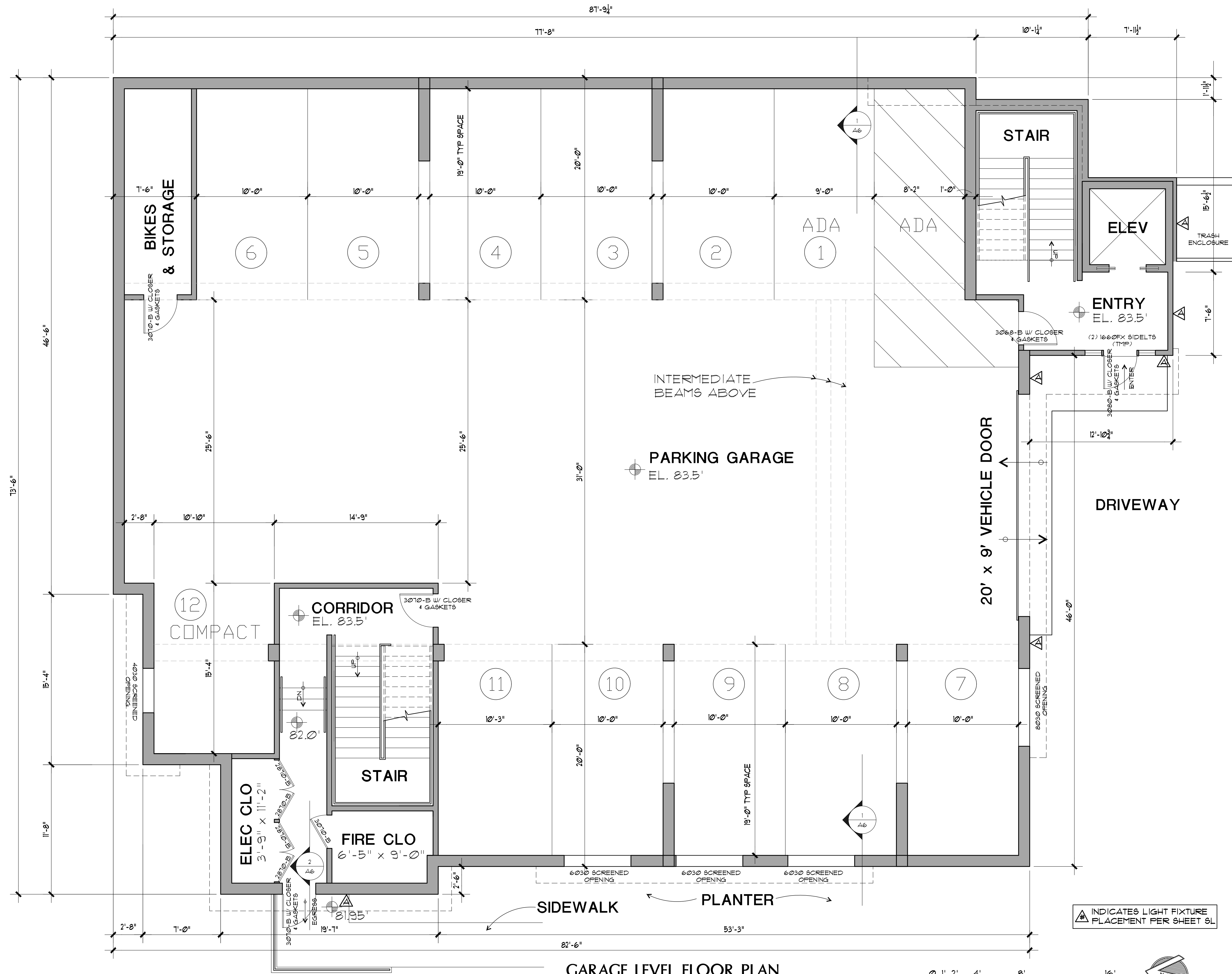


OVERFLOW (OV) DETAIL
NOT TO SCALE

BIORETENTION DRAIN STRUCTURE DETAILS
NOT TO SCALE

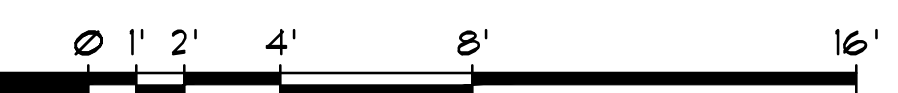
1	2	3	4	5
<p>OBBERKAMPER & ASSOCIATES CIVIL ENGINEERS INC. 7200 REDWOOD BLVD SUITE 308, NOVATO, CA 94945 PHONE: (415) 897-2800 WWW.OBKAMPER.COM</p>				
<p>CALIFORNIA</p>				
<p>STORMDRAIN CONTROL PLAN DETAILS 50 MERRYDALE ROAD MARIN COUNTY</p>				
<p>CITY OF SAN RAFAEL</p>				
<p>Scale: 1" = 20' Drawn by: BM Field Crew: - Checked by: JDC Date: 1/13/2023</p>				
<p>SHEET C3.1 4 OF 4 21-140</p>				

\\NFCD\Documents\Jobs\2023\21-140_50 Merrydale Road_San Rafael\DWG\DESIGN\21-140_Civil Plans_Design_Review_Set.dwg, 1/13/2023 11:08:50 AM



GARAGE LEVEL FLOOR PLAN

SCALE: 1/4" = 1'-0"



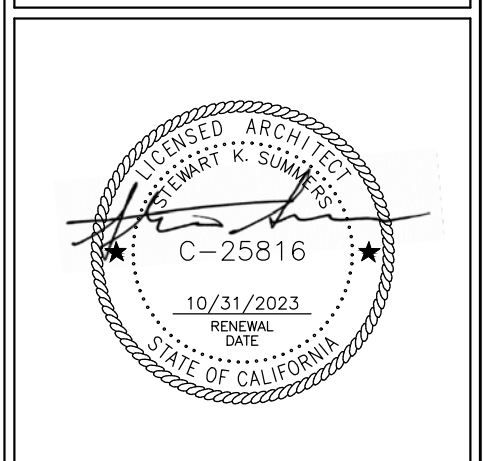
INDICATES LIGHT FIXTURE PLACEMENT PER SHEET 01



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REVISIONS	DATE	BY
PLN'G COMMENTS	01/26/23	SM

Proposed Apartment Building Development for :
August Place, LLC
 50 Meriydale Road
 San Rafael, CA 94903
 AP. 179-221-03



GARAGE LEVEL FLOOR PLAN

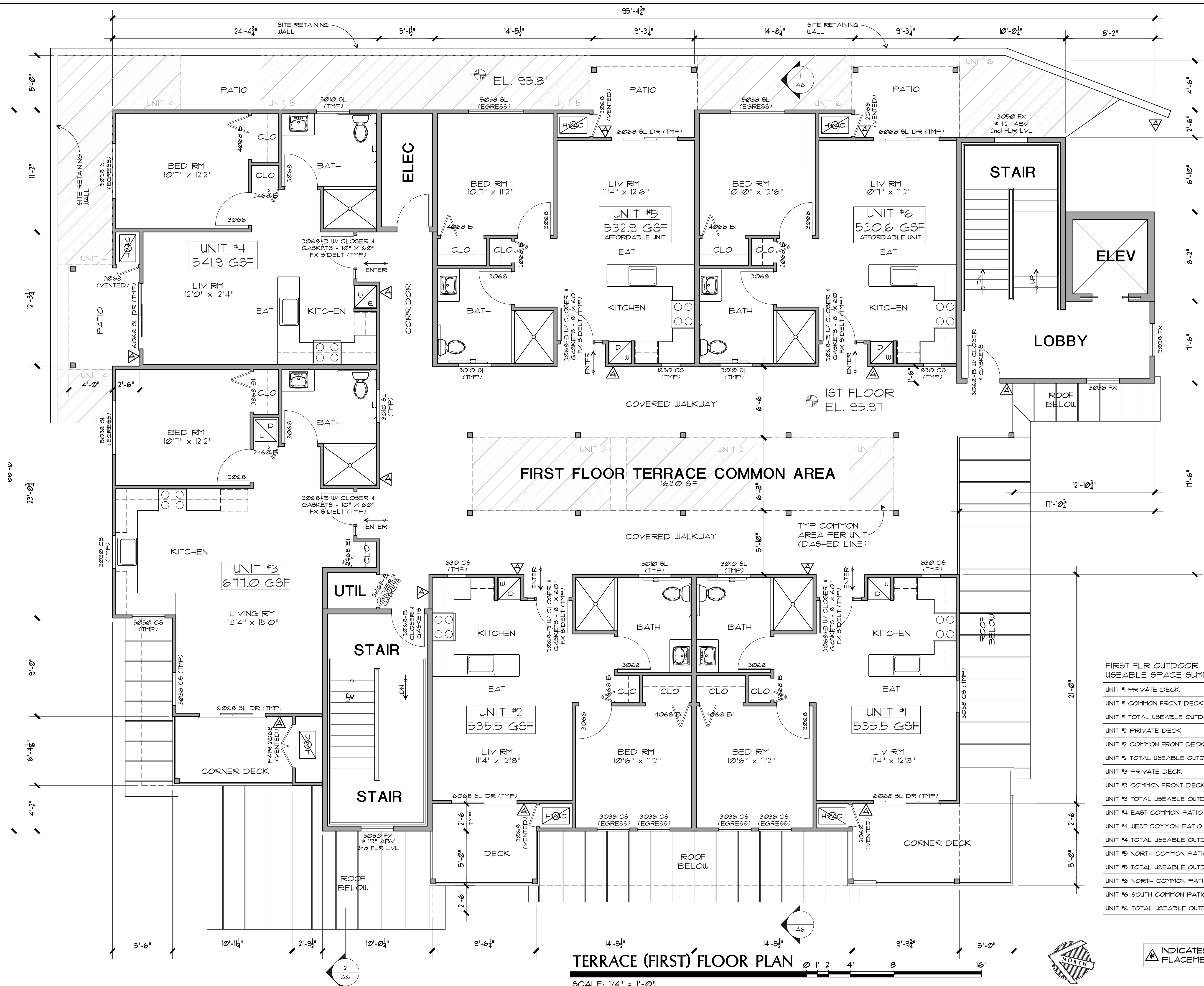
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DATE: 11/03/22
 SCALE: AS NOTED
 DRAWN: SKS
 JOB NO.
 SHEET NO:

A1

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FIRST FLR OUTDOOR USEABLE SPACE SUMMARY

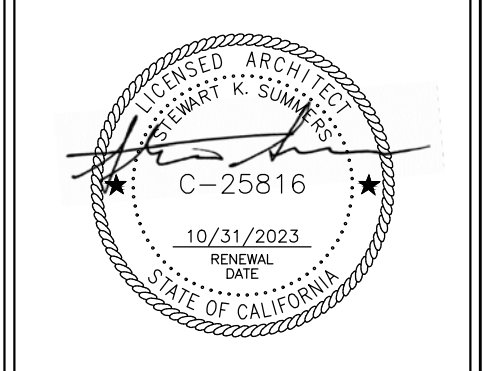
UNIT #1 PRIVATE DECK	123 SF.
UNIT #1 COMMON FRONT DECK	21 SF.
UNIT #1 TOTAL USEABLE OUTDOOR AREA	150 SF.
UNIT #2 PRIVATE DECK	71 SF.
UNIT #2 COMMON FRONT DECK	79 SF.
UNIT #2 TOTAL USEABLE OUTDOOR AREA	150 SF.
UNIT #3 PRIVATE DECK	66 SF.
UNIT #3 COMMON FRONT DECK	84 SF.
UNIT #3 TOTAL USEABLE OUTDOOR AREA	150 SF.
UNIT #4 EAST COMMON PATIO	24 SF.
UNIT #4 WEST COMMON PATIO	126 SF.
UNIT #4 TOTAL USEABLE OUTDOOR AREA	150 SF.
UNIT #5 NORTH COMMON PATIO	150 SF.
UNIT #5 TOTAL USEABLE OUTDOOR AREA	150 SF.
UNIT #6 NORTH COMMON PATIO	70 SF.
UNIT #6 SOUTH COMMON PATIO	80 SF.
UNIT #6 TOTAL USEABLE OUTDOOR AREA	150 SF.

TERRACE (FIRST) FLOOR PLAN

SCALE: 1/4" = 1'-0"

INDICATES LIGHT FIXTURE PLACEMENT PER SHEET 5L

Proposed Apartment Building Development for :
August Place, LLC
 50 Merydale Road
 San Rafael, CA 94903
 AP. 179-221-03



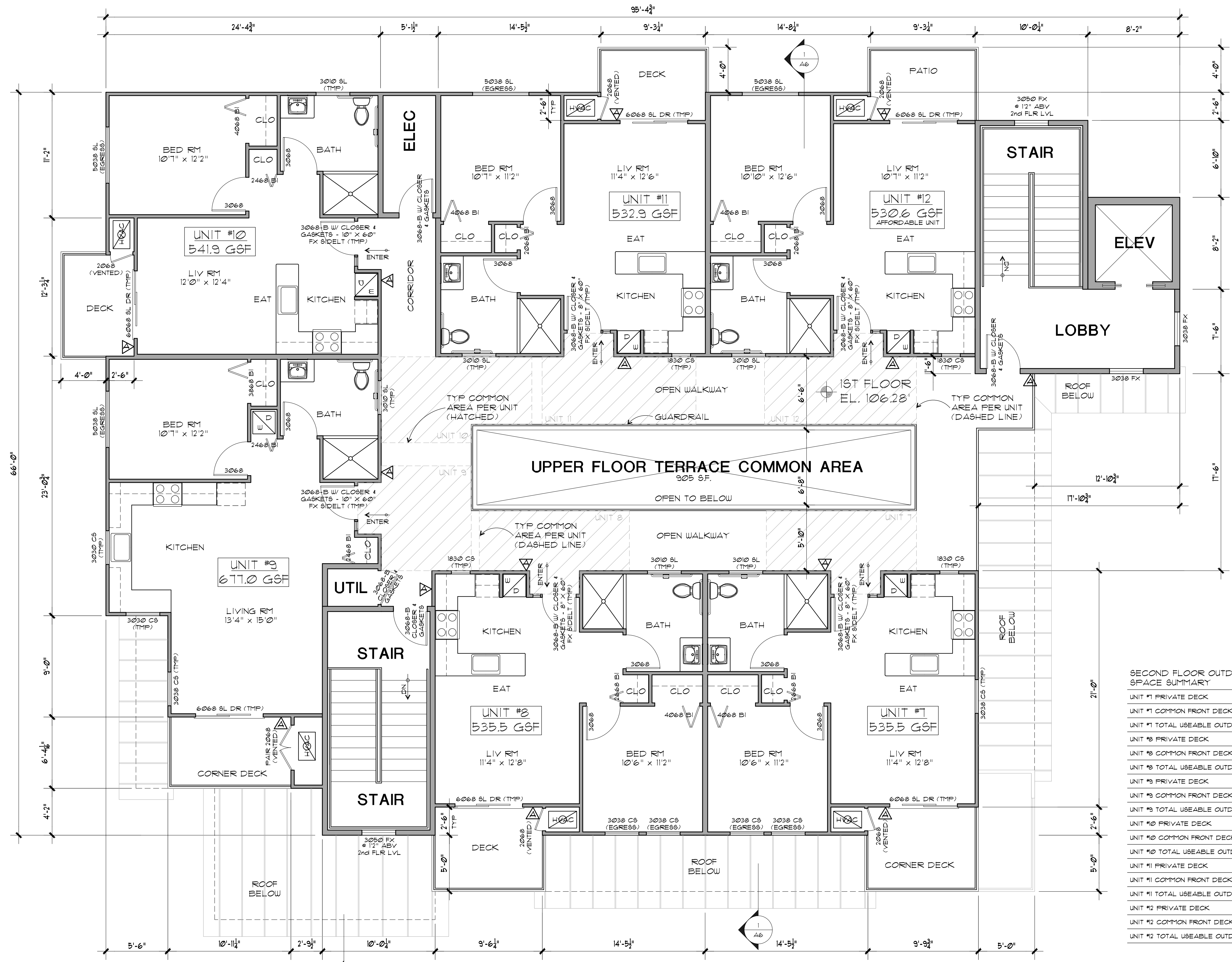
TERRACE (FIRST) FLOOR PLAN

REVIEW THE DRAWINGS CAREFULLY. DO NOT SCALE THE DRAWINGS. ANY DISCREPANCIES IN DIMENSIONS AND DETAILS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF STEWART K. SUMMERS, ARCHITECT

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 DRAWN: SKS
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UPPER FLOOR TERRACE COMMON AREA
 905 S.F.
 OPEN TO BELOW

SECOND FLOOR OUTDOOR USEABLE SPACE SUMMARY

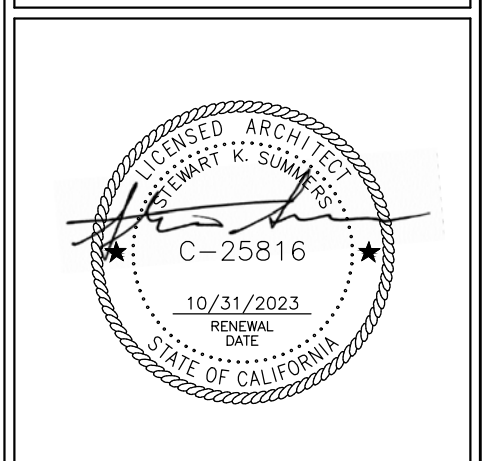
UNIT #1 PRIVATE DECK	10 S.F.
UNIT #1 COMMON FRONT DECK	80 S.F.
UNIT #1 TOTAL USEABLE OUTDOOR AREA	150 S.F.
UNIT #2 PRIVATE DECK	10 S.F.
UNIT #2 COMMON FRONT DECK	80 S.F.
UNIT #2 TOTAL USEABLE OUTDOOR AREA	150 S.F.
UNIT #3 PRIVATE DECK	66 S.F.
UNIT #3 COMMON FRONT DECK	84 S.F.
UNIT #3 TOTAL USEABLE OUTDOOR AREA	150 S.F.
UNIT #4 PRIVATE DECK	51 S.F.
UNIT #4 COMMON FRONT DECK	93 S.F.
UNIT #4 TOTAL USEABLE OUTDOOR AREA	150 S.F.
UNIT #5 PRIVATE DECK	53 S.F.
UNIT #5 COMMON FRONT DECK	91 S.F.
UNIT #5 TOTAL USEABLE OUTDOOR AREA	150 S.F.
UNIT #6 PRIVATE DECK	60 S.F.
UNIT #6 COMMON FRONT DECK	90 S.F.
UNIT #6 TOTAL USEABLE OUTDOOR AREA	150 S.F.

UPPER FLOOR PLAN
 SCALE: 1/4" = 1'-0"



INDICATES LIGHT FIXTURE PLACEMENT PER SHEET S/L

Proposed Apartment Building Development for:
August Place, LLC
 50 Merydale Road
 San Rafael, CA 94903
 AP. 179-221-03

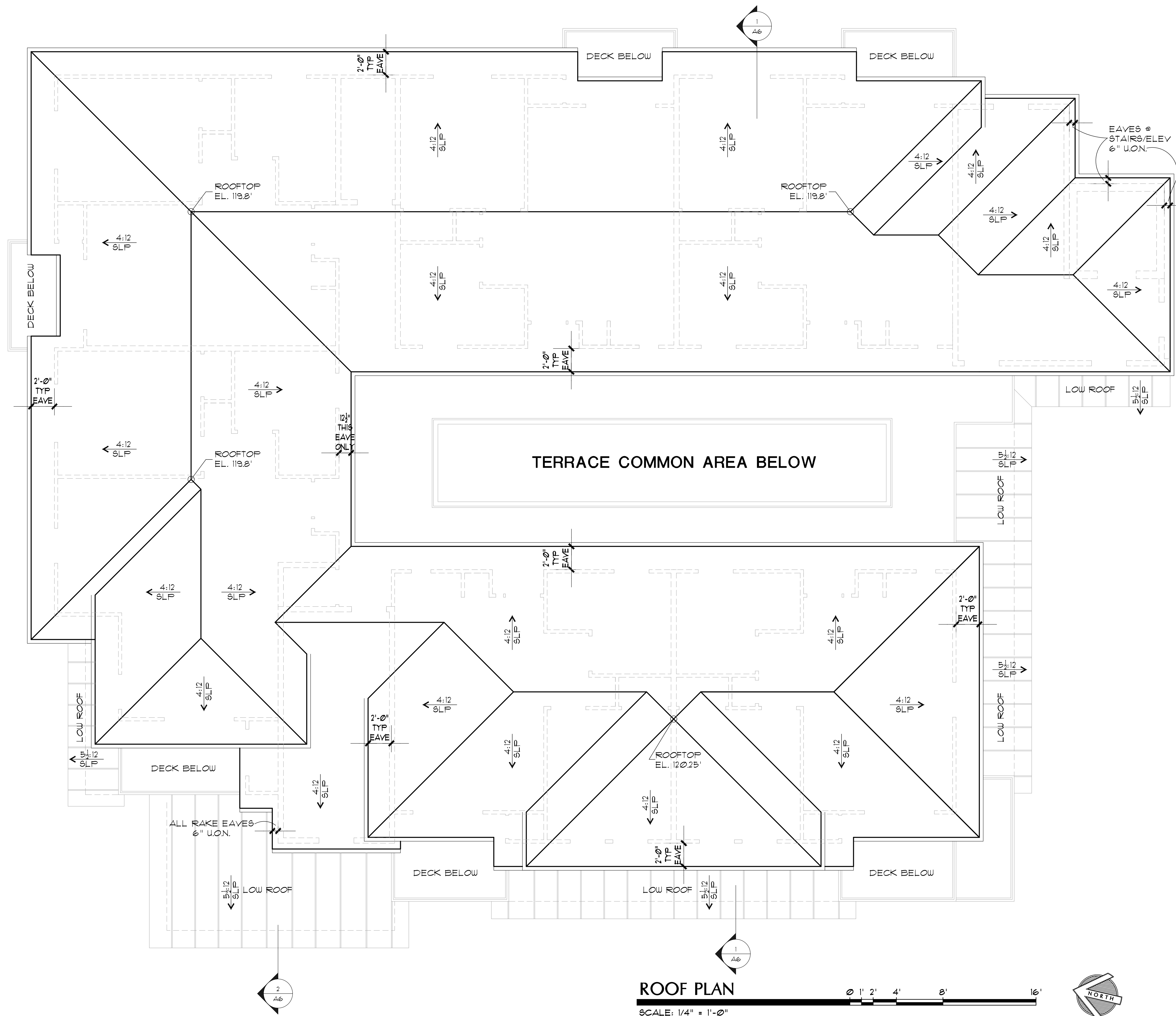


UPPER FLOOR PLAN

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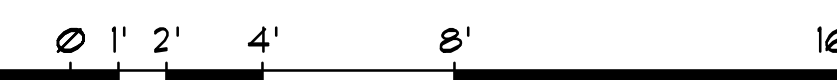
DATE: 11/03/22
 SCALE: AS NOTED
 DRAWN: SKS
 JOB NO.
 SHEET NO:

A3



ROOF PLAN

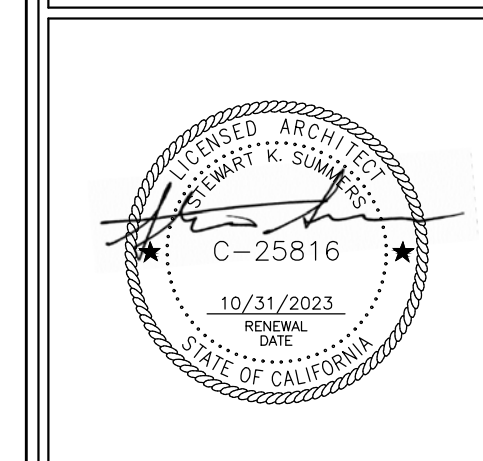
SCALE: 1/4" = 1'-0"



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Proposed Apartment Building Development for :
August Place, LLC
 50 Merydale Road
 San Rafael, CA 94903
 AP. 179-221-03



ROOF PLAN

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DATE: 11/03/22
 SCALE: AS NOTED
 DRAWN: SKS
 JOB NO.
 SHEET NO:

A4



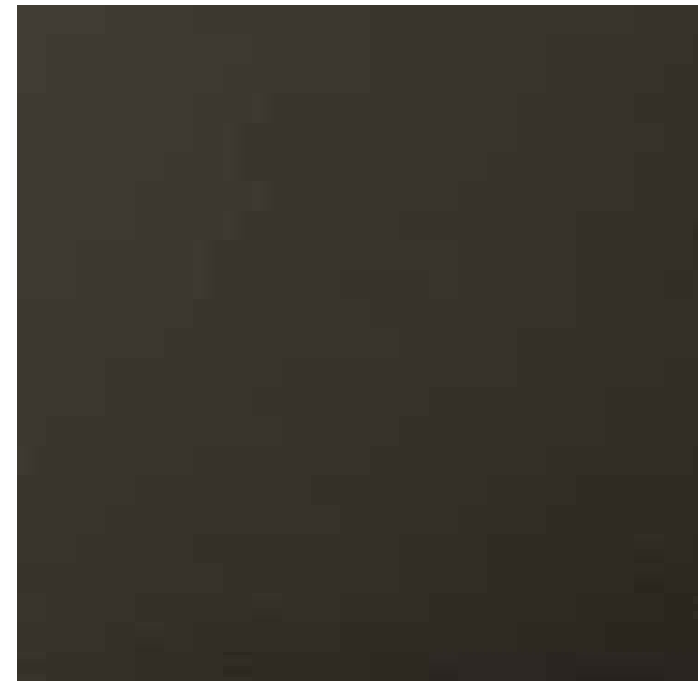
①
COMPOSITION ROOFING,
CERTAINTED LANDMARK TL
COLOR: "COUNTRY GRAY"



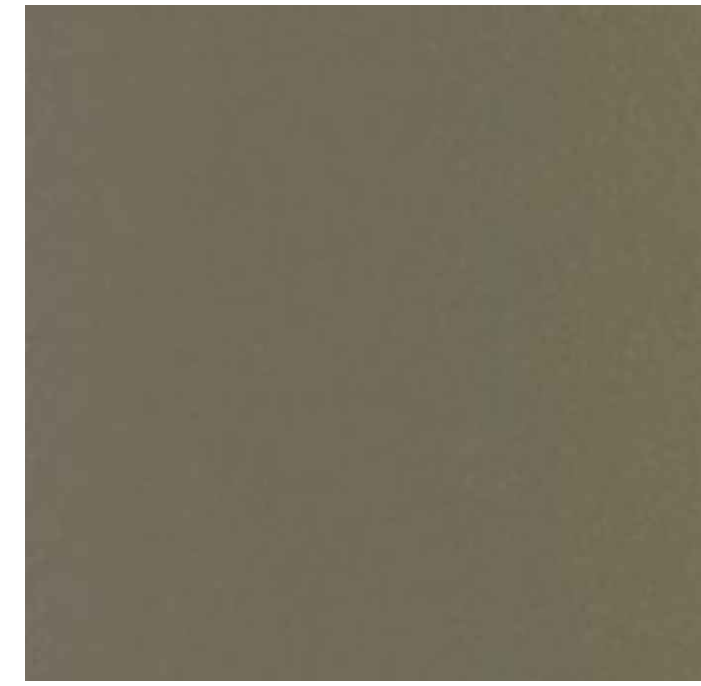
②
CLASS "A" LAP SIDING,
HARDI-PLANK "SMOOTH" LAP SIDING,
COLOR: "TIMBER BARK"



③
3-COAT STUCCO SIDING,
LAHABRA SAND FINISH
COLOR: "WARM GRAY"



④
ALUMINUM FRAME WINDOWS,
COLOR: "BRONZE ANODIZED"



⑤
TRIM & METAL PAINT COLOR,
BENJAMIN-MOORE
COLOR: "DEVONWOOD TAUPE"



⑥
RETAINING WALLS,
VERTICAL BOARD FORM TEXTURE
COLOR: "GRAY W/ LAMP BLACK"

Cylinder 12" Wall Light Black 92449K

SPECIFICATIONS

Certifications/Qualifications: www.kichler.com/cecarty

Dimensions: 5.00 X 4.75
 Base Enclosure: 7.00"
 Weight: 1.88 LBS
 Height from center of wall opening: 6.00"
 (Spec Sheet)
 Height: 12.00"
 Width: 4.75"

Light Source:
 Lamp Included: No
 Lamp Type: BR30
 Light Source: Incandescent
 Max or Nominal Watt: 65W
 # of Bulb/LED Modules: 2
 Socket Type: Medium
 Socket Volt: 120V

Mounting/Installation:
 Interior/Exterior: Exterior
 Location Rating: Damp
 Mounting Style: Wall Mount
 Mounting Weight: 1.88 LBS

FIXTURE ATTRIBUTES

Housing:
 Primary Material: ALUMINUM

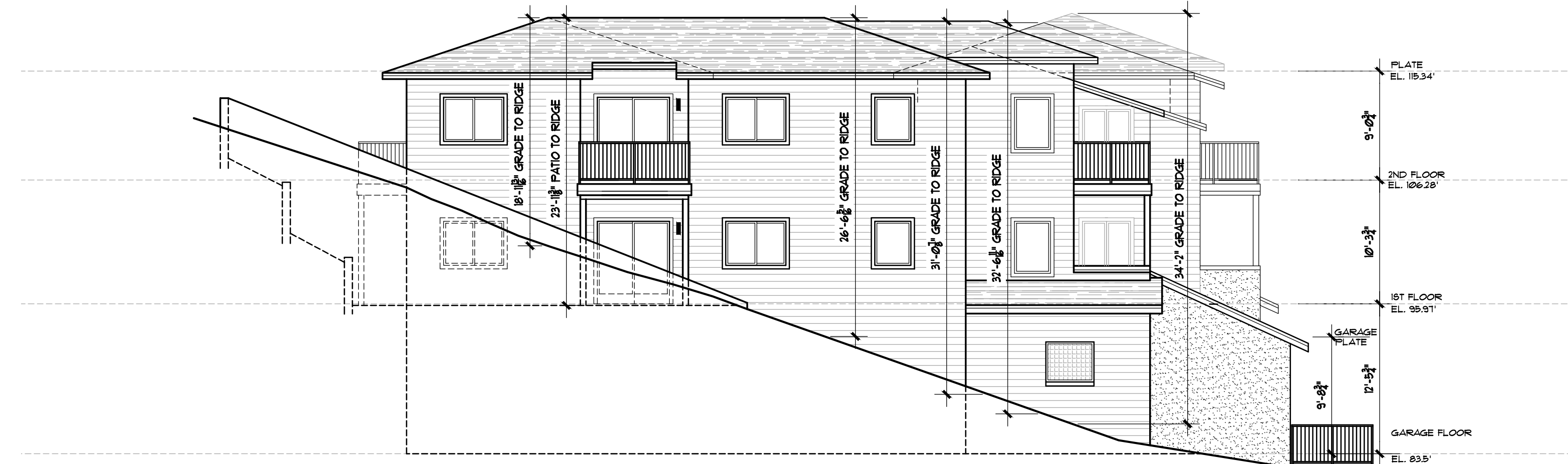
Product/Ordering Information:
 SKU: 92449K
 Finish: Black
 Style: Contemporary
 UPC: 783927538790

SEE SHEET "BL" FOR
ADD'L LIGHTING INFO

⑦
TYPICAL EXTERIOR LIGHT
FIXTURE - KICHLER DOWN LIGHT
COLOR: MATTE BLACK

EXTERIOR ELEVATION NOTES

- CERTAINTED LANDMARK TL CLASS "A" COMPOSITION SHINGLE ROOF - SEE COLOR SAMPLE #1 ON SHEET A5.
- HARDIE-BOARD LAP SIDING WITH 1" EXPOSURE & MITERED CORNERS - SEE COLOR SAMPLE #2 ON SHEET A5.
- ALL REFERENCES TO BUILDING PAPERS, PAPERS, FELT PAPERS, OR UNDERLAYMENT SHALL MEAN #15 ASPHALT FELT UNDERLAYMENT UNLESS NOTED OTHERWISE.
- LA HABRA STUCCO SIDING - SAND FINISH - SEE COLOR SAMPLE #3 ON SHEET A5.
- ALUMINUM FRAME, DOUBLE-PANE WOOD CLAD WINDOWS & PATIO DOORS - SEE COLOR SAMPLE #4 ON SHEET A5.
- WELDED STEEL VERTICAL GUARDRAILS & WELDED PATTERN STEEL GARAGE WINDOW SCREENS - SEE COLOR SAMPLE #5 ON SHEET A5.
- 5" PREFABRICATED & PAINTED GALVANIZED IRON FASCIA GUTTERS - SEE COLOR SAMPLE #5 ON SHEET A5.
- 2x PRIMED CEDAR OR PINE TRIM (SMOOTH) FOR WINDOWS, DOORS - 2x8 FASCIA & BARGE BOARDS - 1x4 TRIM @ FASCIA & BARGE BDS - SEE COLOR SAMPLE #5 ON SHEET A5.
- PREFABRICATED DECORATIVE RAISED PANELS - SEE COLOR SAMPLE #5 ON SHEET A5.
- POURED CONCRETE RETAINING WALLS - SEE COLOR SAMPLE #6 ON SHEET A5.
- PREFAB STEEL OVERHEAD GARAGE DOOR - SEE COLOR SAMPLE #5 ON SHEET A5.
- TYPICAL EXTERIOR LIGHT FIXTURE LOCATION - SEE SAMPLES #1 ON SHEET A5.



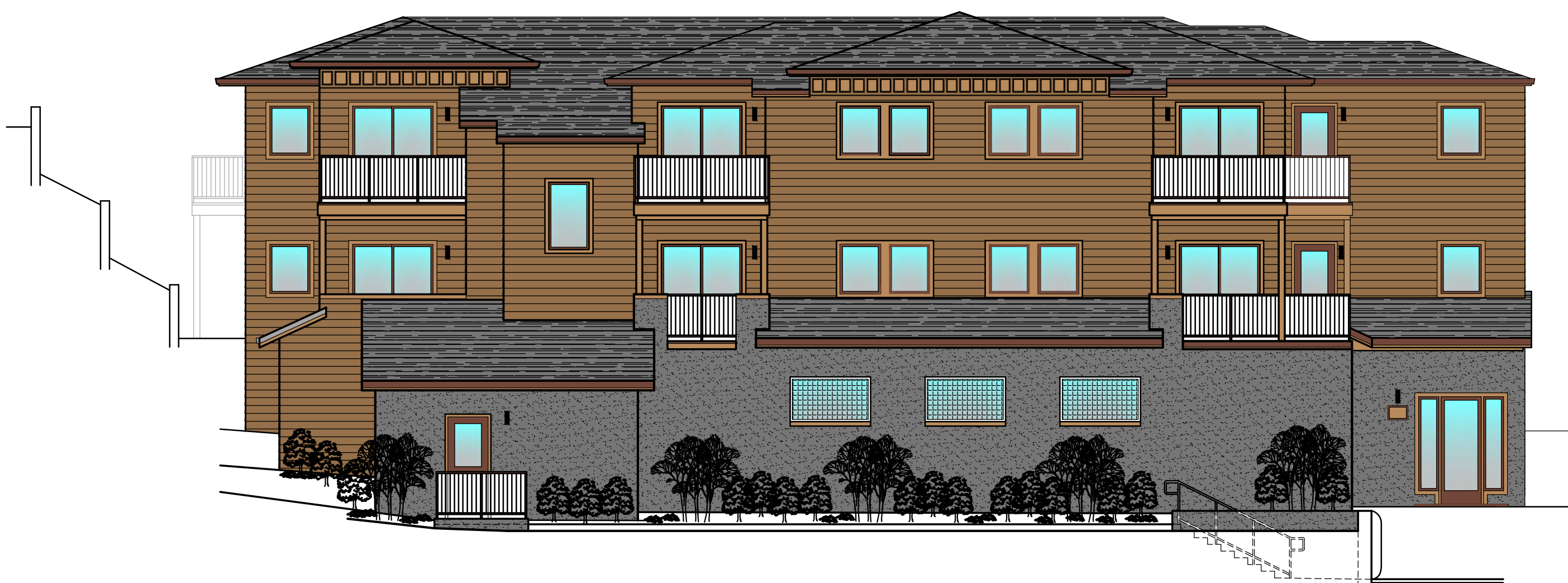
LEFT SIDE (NORTH) ELEVATION

SCALE: 1/8" = 1'-0"



RIGHT SIDE (SOUTH) ELEVATION

SCALE: 1/8" = 1'-0"



COLORIZED FRONT (WEST) ELEVATION

SCALE: 1/8" = 1'-0"



FRONT (WEST) ELEVATION

SCALE: 1/8" = 1'-0"



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PLN'G COMMENTS	01/26/23	SM

Proposed Apartment Building Development for :
August Place, LLC
 50 Meriydale Road
 San Rafael, CA 94903
 AP. 179-221-03



ELEVATIONS

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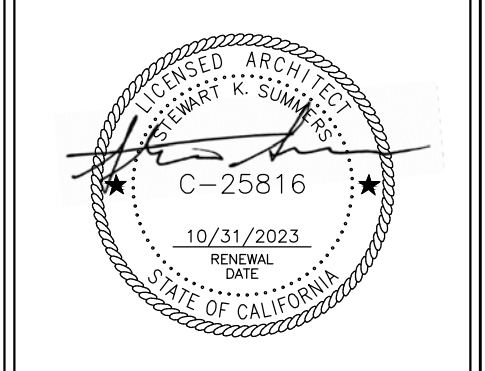
DATE: 11/03/22
 SCALE: AS NOTED
 DRAWN: SKS
 JOB NO.
 SHEET NO:

A5

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Proposed Apartment Building Development for :
August Place, LLC
 50 Merydale Road
 San Rafael, CA 94903
 AP. 179-221-03



ELEVATIONS & SECTIONS

REVIEW THE DRAWINGS CAREFULLY. DO NOT SCALE THE DRAWINGS. ANY DISCREPANCIES IN DIMENSIONS AND DETAILS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF STEWART K. SUMMERS, ARCHITECT

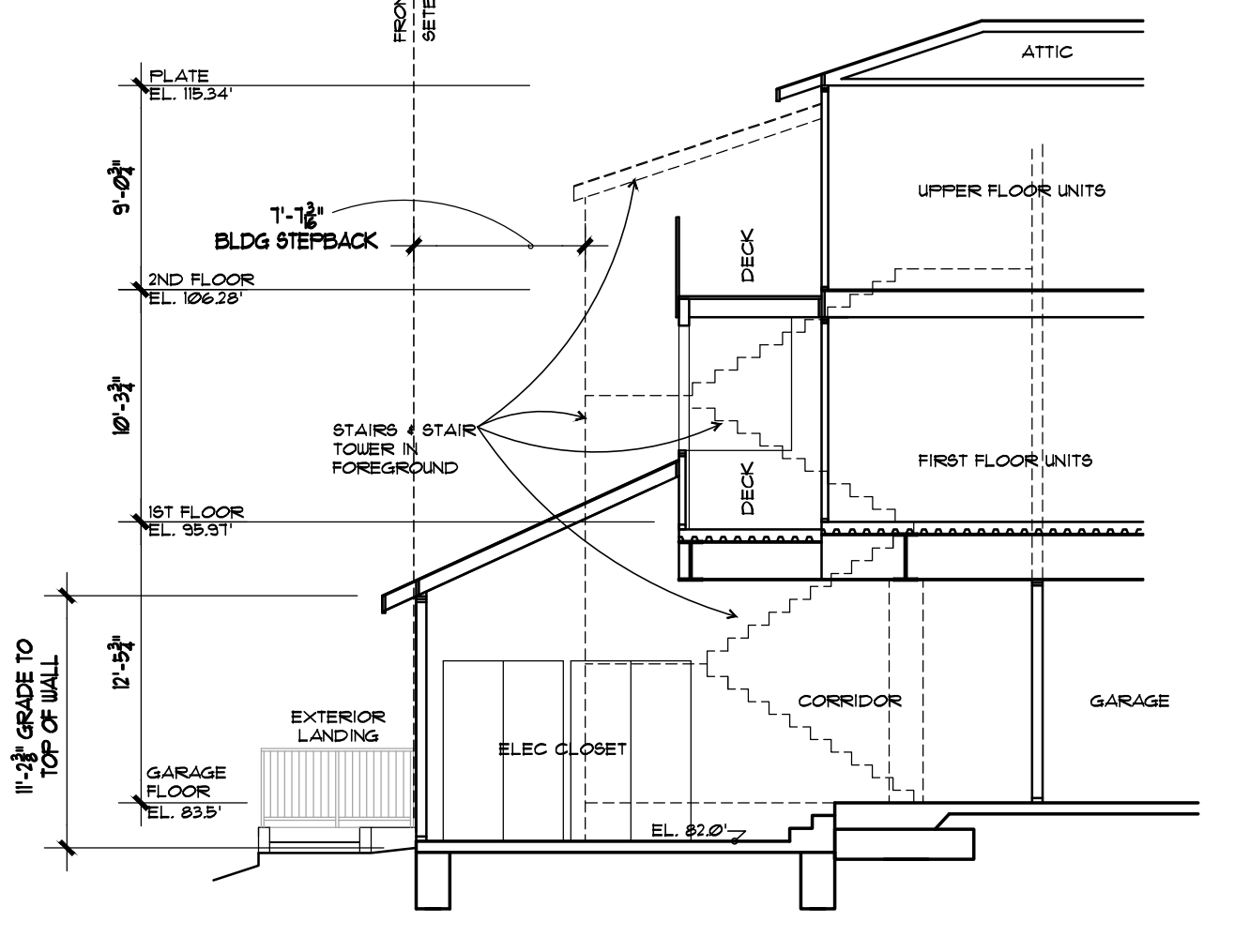
DATE: 11/03/22
 SCALE: AS NOTED
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 JOB NO.
 SHEET NO:

A6

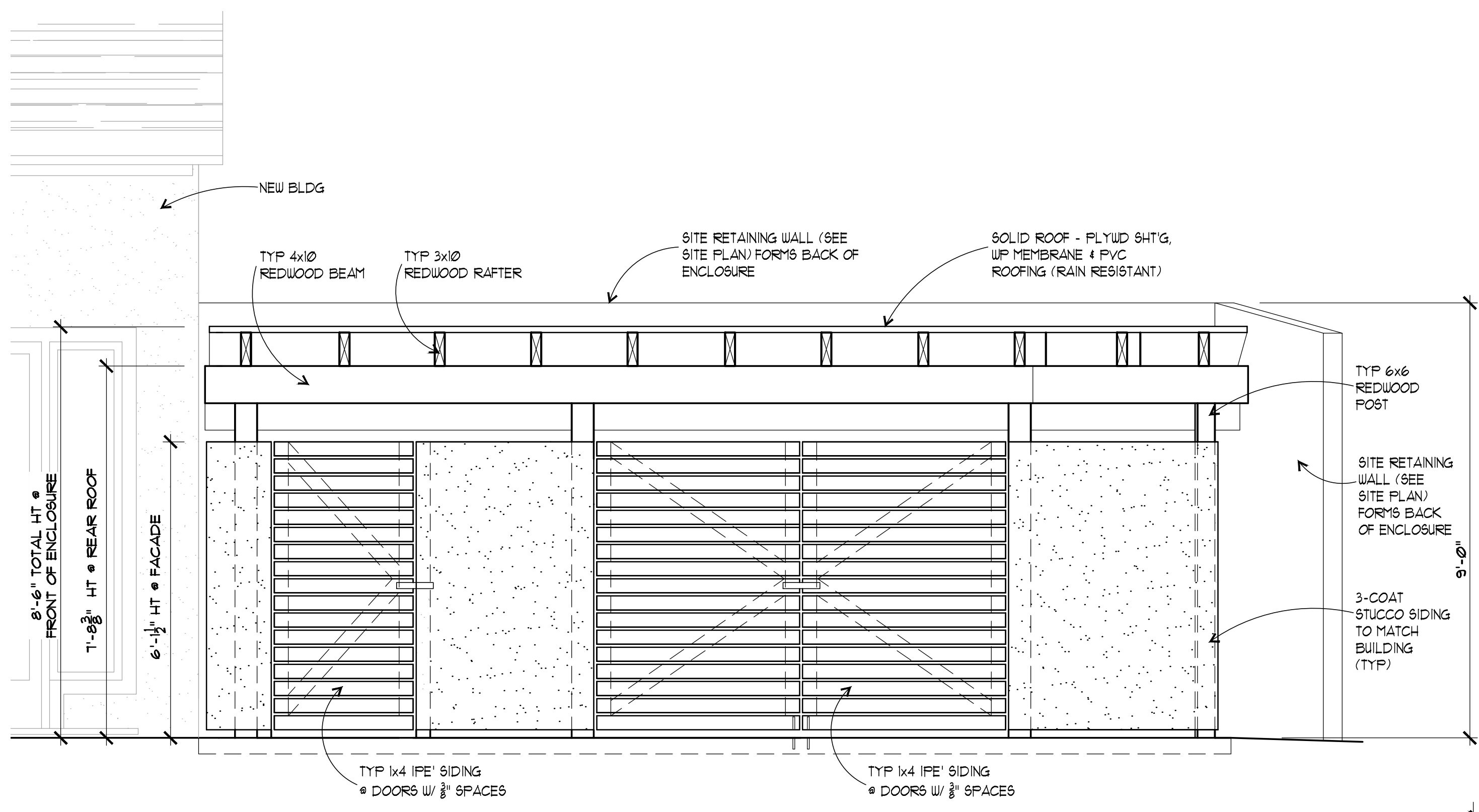
EXTERIOR ELEVATION NOTES

- CERTAINTEED LANDMARK TL CLASS "A" COMPOSITION SHINGLE ROOF - SEE COLOR SAMPLE #1 ON SHEET A5.
- HARDIE-BOARD LAP SIDING WITH 1" EXPOSURE & MITERED CORNERS - SEE COLOR SAMPLE #2 ON SHEET A5.
- ALL REFERENCES TO BUILDING PAPERS, PAPERS, FELT PAPERS, OR UNDERLAYMENT SHALL MEAN #15 ASPHALT FELT UNDERLAYMENT UNLESS NOTED OTHERWISE.
- LA HABRA STUCCO SIDING - SAND FINISH - SEE COLOR SAMPLE #3 ON SHEET A5.
- ALUMINUM FRAME, DOUBLE-PANE WOOD CLAD WINDOWS & PATIO DOORS - SEE COLOR SAMPLE #4 ON SHEET A5.
- WELDED STEEL VERTICAL GUARDRAILS & WELDED PATTERN STEEL GARAGE WINDOW SCREENS - SEE COLOR SAMPLE #5 ON SHEET A5.
- 5" PREFABRICATED & PAINTED GALVANIZED IRON FASCIA GUTTERS - SEE COLOR SAMPLE #6 ON SHEET A5.
- 2x PRIMED CEDAR OR FINE TRIM (SMOOTH) FOR WINDOWS, DOORS - 2x8 FASCIA & BARGE BOARDS - 1x4 TRIM @ FASCIA & BARGE BDS - SEE COLOR SAMPLE #5 ON SHEET A5.
- PREFABRICATED DECORATIVE RAISED PANELS - SEE COLOR SAMPLE #5 ON SHEET A5.
- POURED CONCRETE RETAINING WALLS - SEE COLOR SAMPLE #6 ON SHEET A5.
- PREFAB STEEL OVERHEAD GARAGE DOOR - SEE COLOR SAMPLE #5 ON SHEET A5.
- TYPICAL EXTERIOR LIGHT FIXTURE LOCATION - SEE SAMPLES #1 ON SHEET A5.

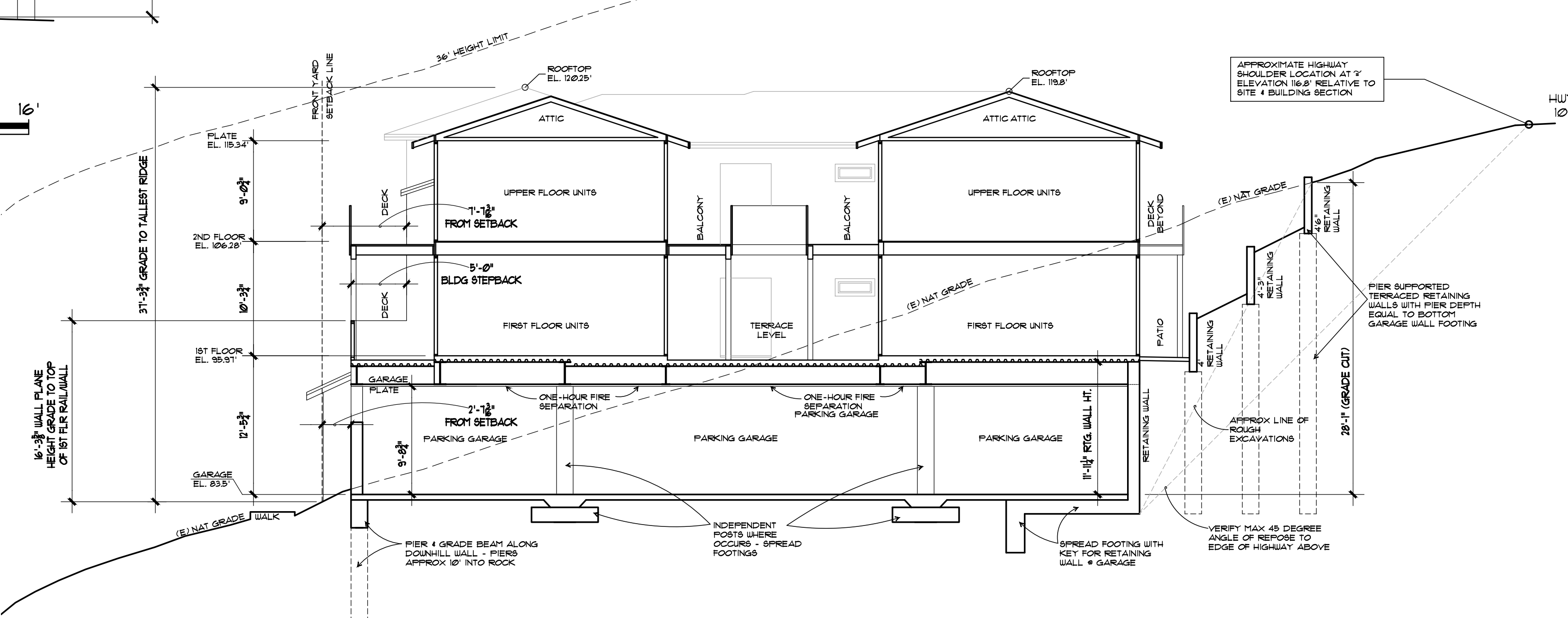
SEE SHEET A5 FOR KEYED DESIGNATIONS AND COLOR SAMPLES



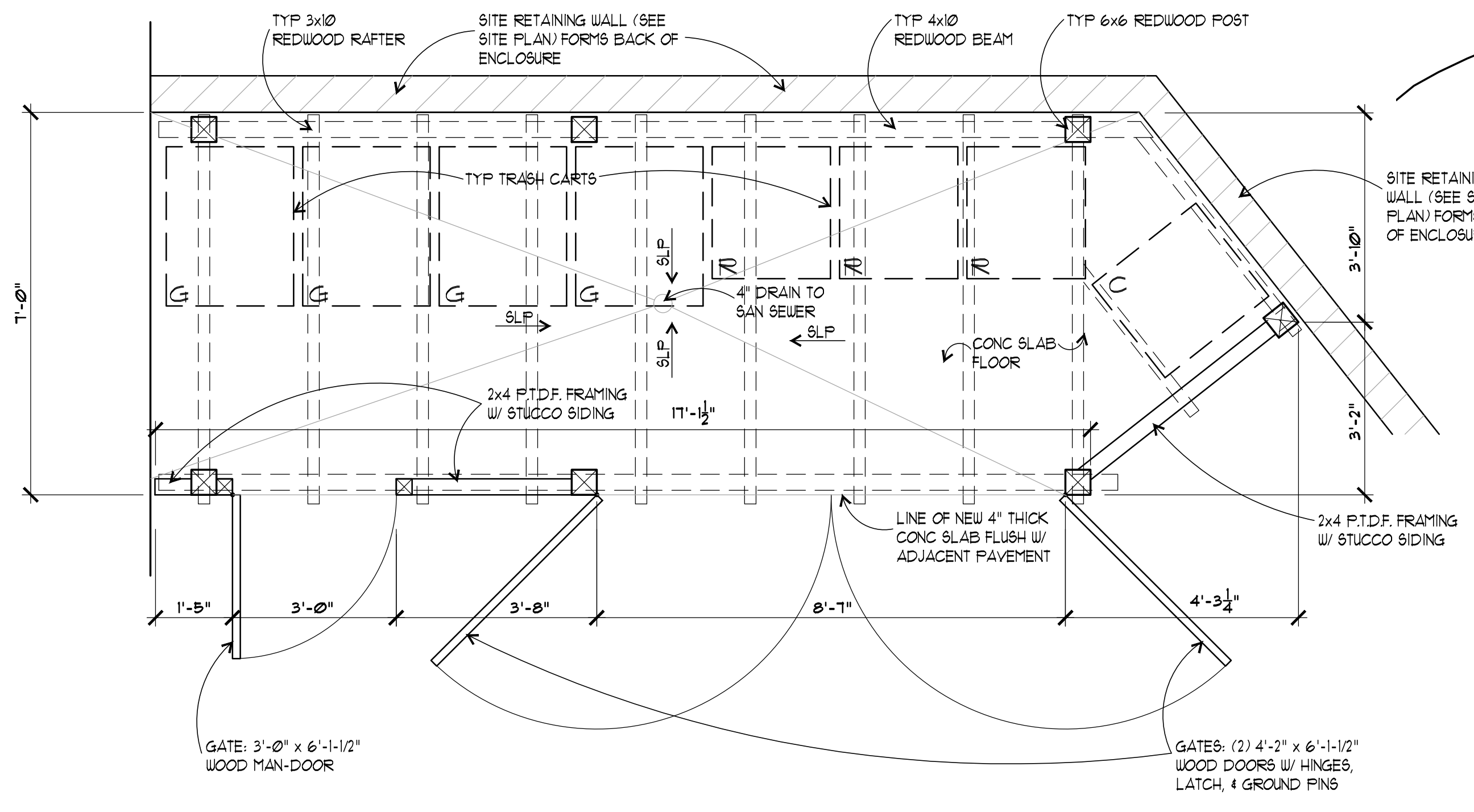
2 - PARTIAL BUILDING SECTION #2
 SCALE: 1/8" = 1'-0"



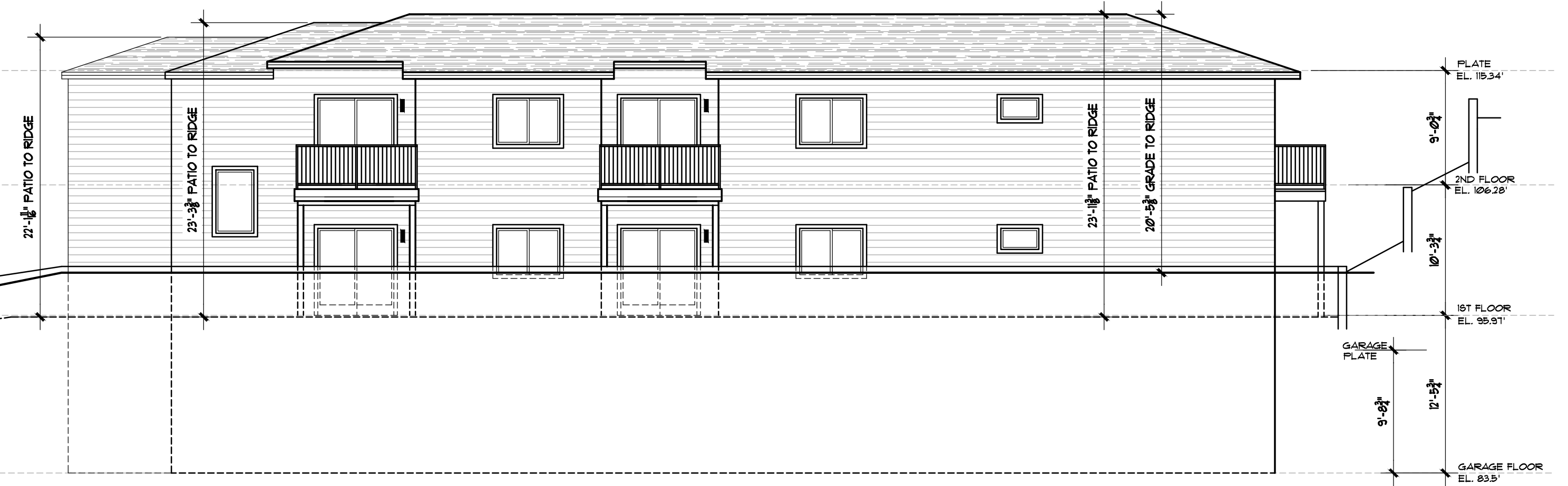
TRASH ENCLOSURE ELEVATION
 SCALE: 1/2" = 1'-0"



1 - BUILDING & SITE SECTION #1
 SCALE: 1/8" = 1'-0"



TRASH ENCLOSURE FLOOR PLAN
 SCALE: 1/2" = 1'-0"

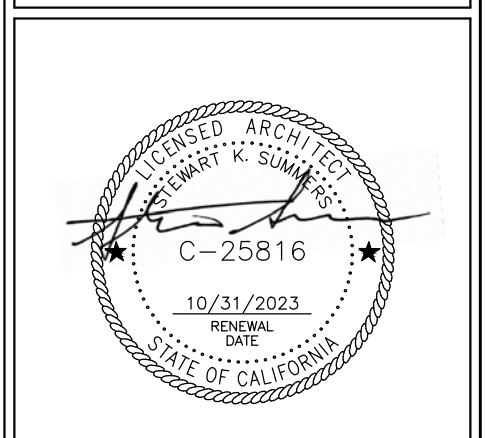


REAR (EAST) ELEVATION
 SCALE: 1/8" = 1'-0"

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REVISIONS	DATE	BY
PLN'G COMMENTS	01/26/23	SM

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 San Rafael, CA 94903
 AP. 179-221-03

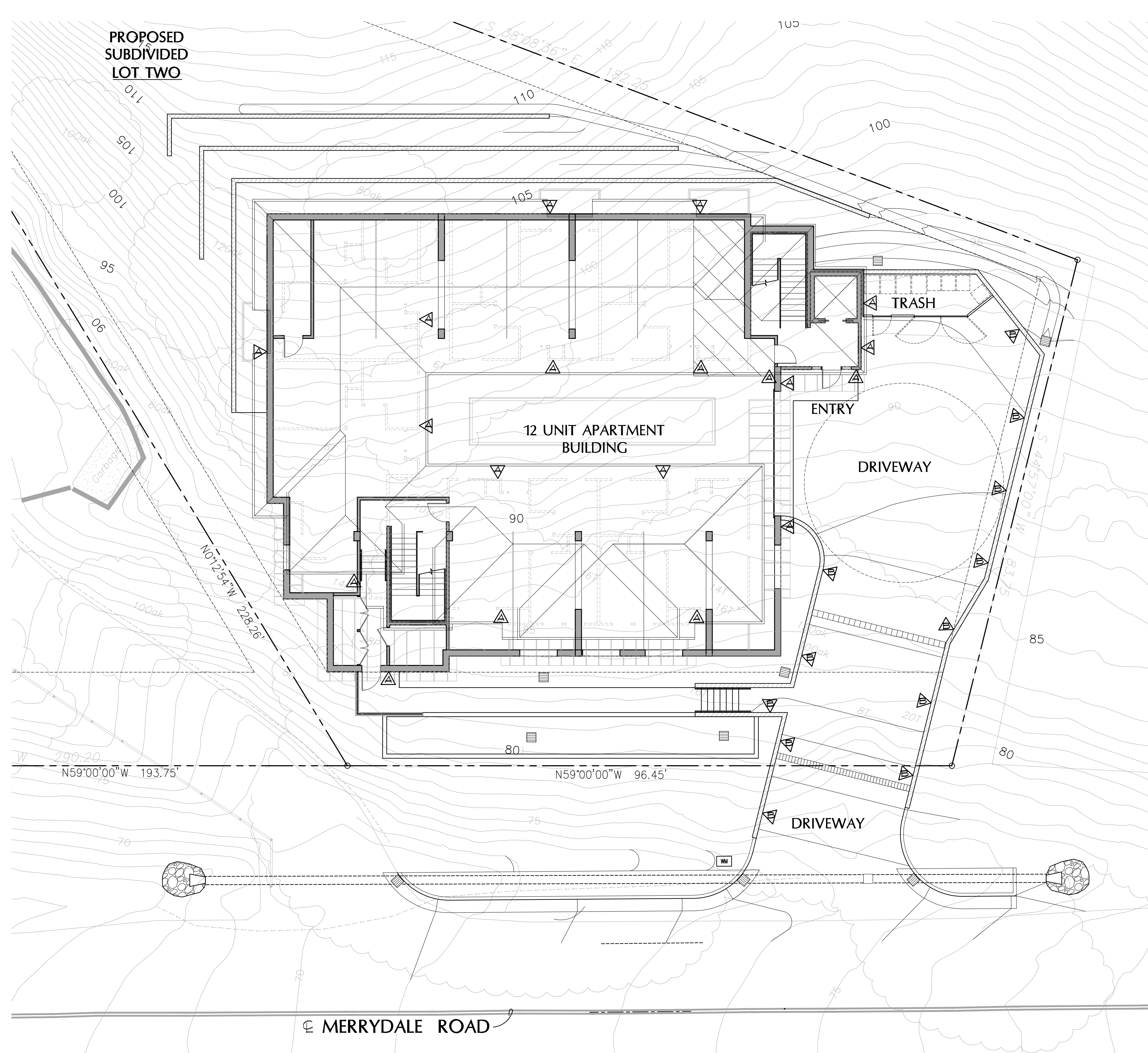


SITE & BUILDING LIGHTING PLAN - SUBDIVIDED LOT #2

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DATE:	11/03/22
SCALE:	AS NOTED
DRAWN:	SKS
JOB NO.:	
SHEET NO.:	

SL



NOTE: ALL LIGHT FIXTURES SHALL BE DOWNLIGHTS WITH SHIELDS AND SHALL BE NIGHT SKY COMPLIANT

Cylinder 12" Wall Light Black 6244BK

SPECIFICATIONS
 Certifications/Qualifications: www.koehler.com/warranty

Dimensions
 Base Diameter: 5.00 X 4.75
 Extension: 7.00"
 Weight: 1.65 LBS
 Height from center of Wall opening: 8.00"
 (Spac Shown)
 Height: 12.00"
 Width: 4.75"

Light Source
 Lamp Included: Not Included
 Lamp Type: BR20
 Light Source: Incandescent
 Max or Nominal Watt: 60W
 # of Bulbs/LED Modules: 2
 Socket Type: Medium
 Socket Wire: 100"

Mounting/Installation
 Interior/Exterior: Exterior
 Location Rating: Damp
 Mounting Style: Wall Mount
 Mounting Weight: 1.65 LBS

FIGURE ATTRIBUTES
 Housing: ALUMINUM
 Primary Material: ALUMINUM
 Product/Ordering Information: SKY: 6244BK
 Finish: Black
 Style: Contemporary
 UPC: 783927536750



BLDG LIGHT FIXTURE "A"

NOTE: NEW TYPE "A" LIGHT FIXTURES SHOWN ON AND WITHIN THE BUILDING PERIMETER ARE OCCURRING AT BOTH THE FIRST AND SECOND FLOORS - SEE FLOOR PLANS AND ELEVS FOR ADD'L CLARITY

NSW-841 / NSW-842 / NSW-843
 Brick Die-Cast LED Dimmable Step Light
 Source: 3.3W LED
 Up to 88m

PRODUCT DESCRIPTION
 Long lasting, energy efficient LED step lights provide illumination for safety around steps, balcony areas, or walkways. Warm white 3000K LED light source for comfortable viewing. Can be used both up and down stepping areas and walkways. Available with clear, translucent face plates available on these fixtures to match almost any decor. Efficient LED light source with low maintenance, offer 50,000 hour lamp life, and savings over 80% in running costs when compared to 60W incandescent step lights.

FEATURES
 -50K lumen
 -UL Listed for Wet Location
 -Energy Star and GreenSource approved (dependent upon model)
 -Twenty five LEDs offer a total beam of only 3.3W
 -Clear lens 80% when compared to 60W incandescent step lights
 -Integrated, embedded driver
 -50,000 hour LED lifetime maintenance cost free
 -No harmful ultra violet light, infrared wavelengths, or light flicker
 -Available in Bronze, Brushed Nickel, or White finishes
 -Three different face plate styles

CONSTRUCTION
Face Plate: Die cast aluminum face plate. Powder coated bronze, brushed nickel or white finish. Matching screw caps included.
Mounting: recess wall location used housing NSW-802. Spacers (in 1/2" increments) for longer life span available (NSW-820).

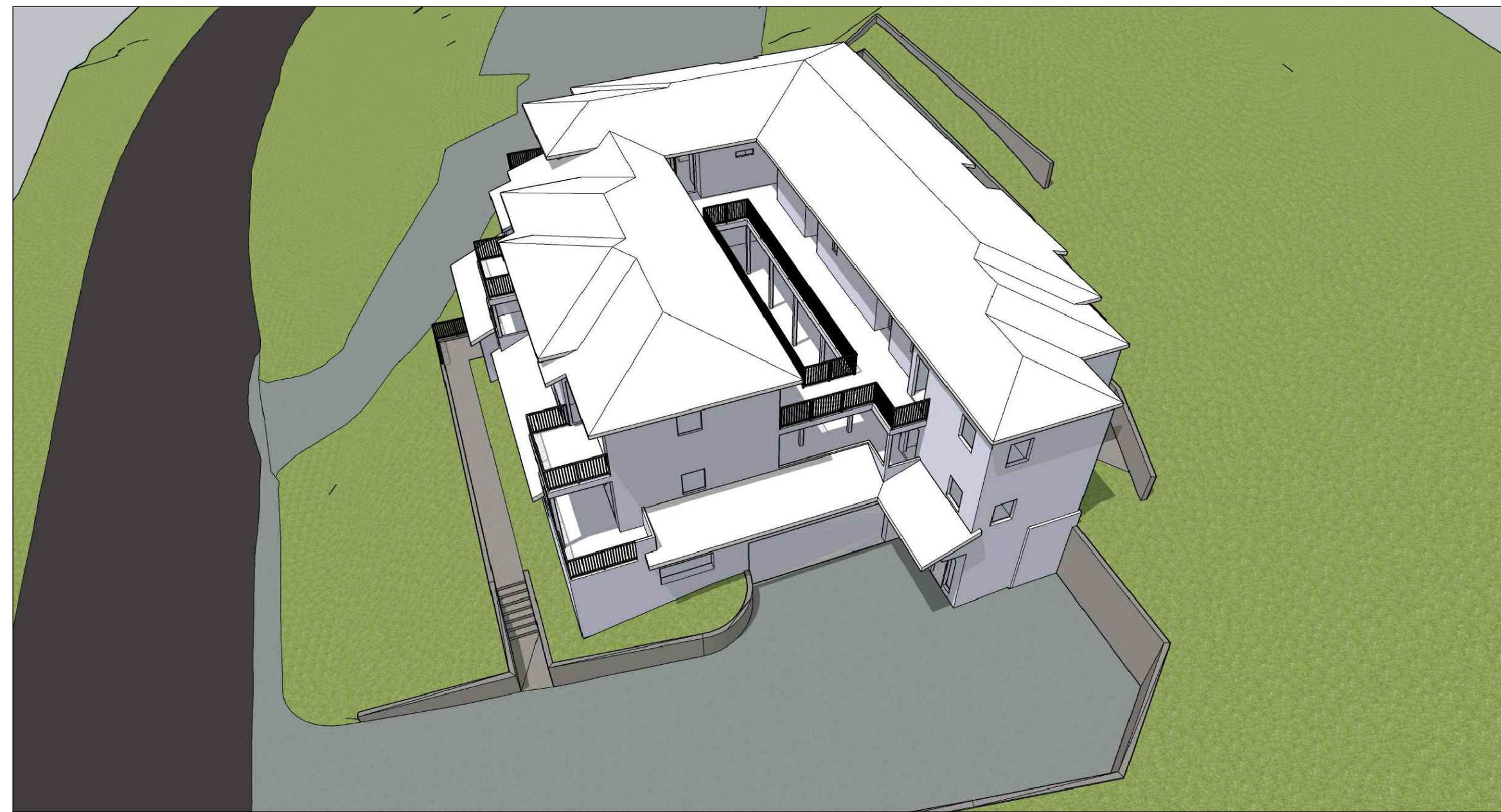
ELECTRICAL
 Input Voltage: 120V
 Lenses / Wallage:
 NSW-841/842: 100" / 2.00"
 NSW-842/843: 100" / 2.25"
 NSW-842/843: 100" / 2.25"
 Color Temperature: 3000K
 CRI: 90
 Dimming: Dimmable

PRODUCT IMAGES AND DIMENSIONS

NEW FINISHES
 Lower
 Lower

SITE LIGHT FIXTURE "B"
 RETAINING WALL RECESSED SIDE MOUNT

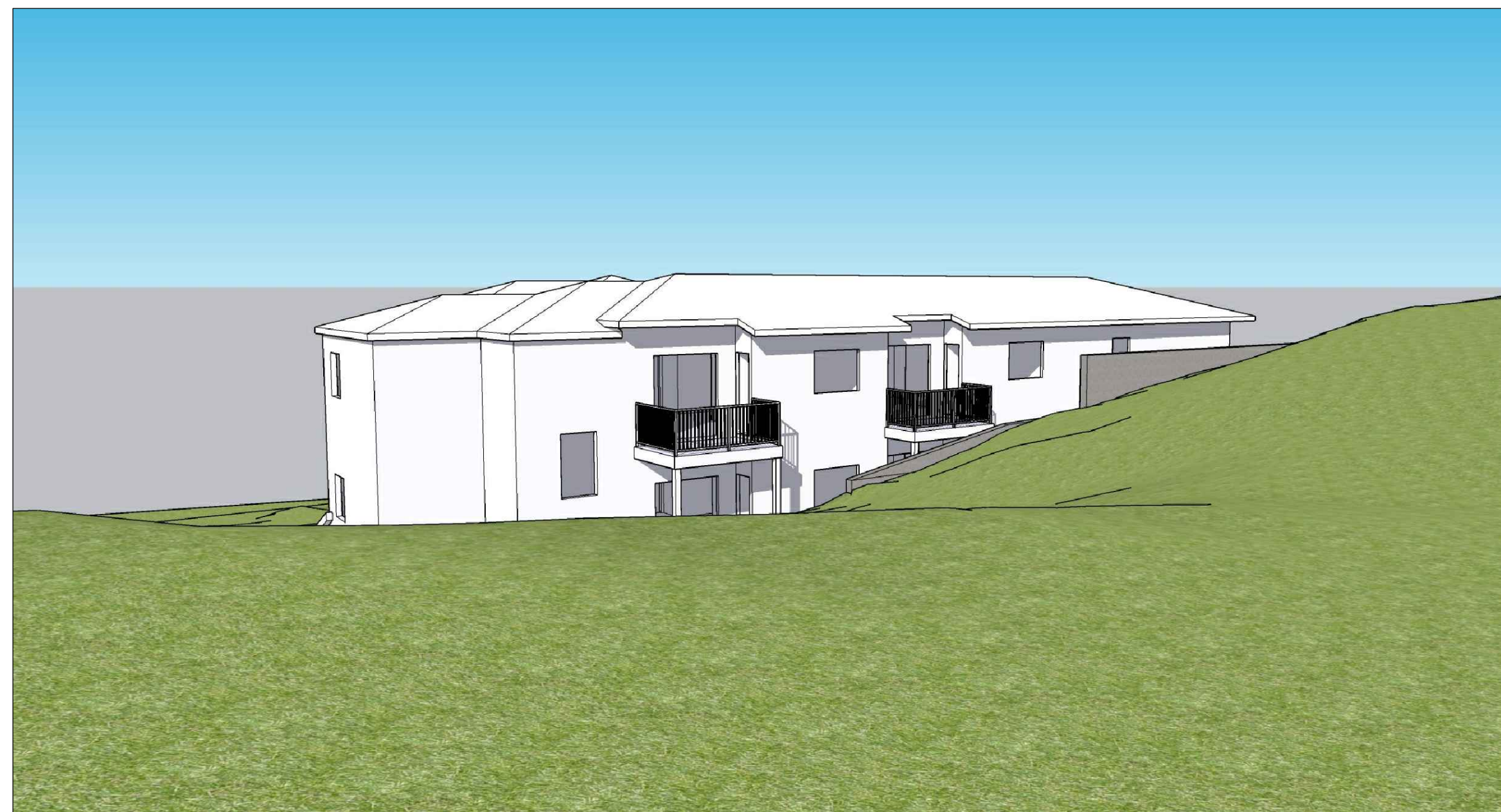




BIRD'S EYE VIEW FACING NORTH INTO CENTER COURTYARD OF BLDG



VIEW FROM MERRYDALE FACING NORTHEAST



VIEW FROM 101 FREEWAY FACING NORTHWEST



VIEW FROM MERRYDALE FACING SOUTHEAST



VIEW FROM MERRYDALE FRONTAGE FACING EAST (UPHILL)



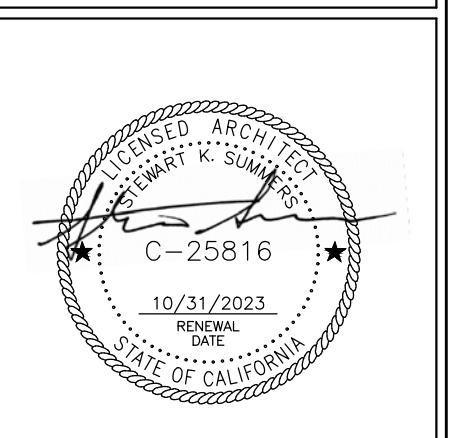
BIRD'S EYE VIEW FACING SOUTHEAST



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REVISIONS	DATE	BY
PLN'G COMMENTS	01/26/23	SM

Proposed Apartment Building Development for :
August Place, LLC
 50 Merrydale Road
 San Rafael, CA 94903
 AP. 179-221-03



3-D "MASSING" MODEL RENDERINGS

REVIEW THE DRAWINGS CAREFULLY. DO NOT SCALE THE DRAWINGS. ANY DISCREPANCIES IN DIMENSIONS AND DETAILS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF STEWART K. SUMMERS, ARCHITECT

DATE: 11/03/22
 SCALE: AS NOTED
 DRAWN: SKS
 JOB NO.
 SHEET NO:

A7



Zip Code:	94903
Date:	11/3/2022
Project Name:	Merrydale Apartments
Project Address:	50 Merrydale, San Rafael
Project Contact:	Steve Murch
Project Contact Email:	stevemurch@sksearch.com

Maximum Applied Water Allowance (MAWA)	Project Type	ETo	ETAF	Special Landscape Area (SLA)	Total Landscape Area including SLA	MAWA (CCF/yr)
	Residential	37.33	0.55	-	2,956	50

Estimated Total Water Use (ETWU)	ETo	(SF * PF) / IE	SLA	ETWU (CCF/yr)
	37.3	1,095	-	34

Project meets water budget. Difference between MAWA and ETWU: 16

ETWU Calculation (Regular landscape areas)	Zone #	Description	Irrigation Type	Hydrozone Area (SF)	Plant Water Use Classification	Irrigation Efficiency (IE)	(SF * PF) / IE
	1	Trees	Bubbler	160	Low	0.81	59
	2	Shrubs	Drip	2,549	Low	0.81	944
	3	Bio-Retention	Drip	247	Low	0.81	91
	4						
	5						
	6						
Landscape area (not including SLA)				2,956			1,095

ETWU Calculation Special Landscape Areas (SLA)	Description	Hydrozone Area (SF)	Plant Factor / Irrigation Efficiency (PF/IE)	(SF * PF) / IE
	Edible planting area	0	1.0	-
	Multi-use and sports field turf area	0	1.0	-
	Area irrigated with recycled water	0	1.0	-
Total SLA		0		0

Total Landscape Area (including SLA) from ETWU Calculation: 2,956

Water Use Table	ETWU Billing Period	Gallons:	Units:	AF:	0.08
	Jan/Feb	25,434	34		
	Mar/Apr				
	May/June				
	July/Aug				
	Sep/Oct				
	Nov/Dec				
	Baseline (CCF)	0	9	12	8

1 CCF (hundred cubic feet) = 748.05 gallons; 1 AF (acre foot) = 435.6 CCF



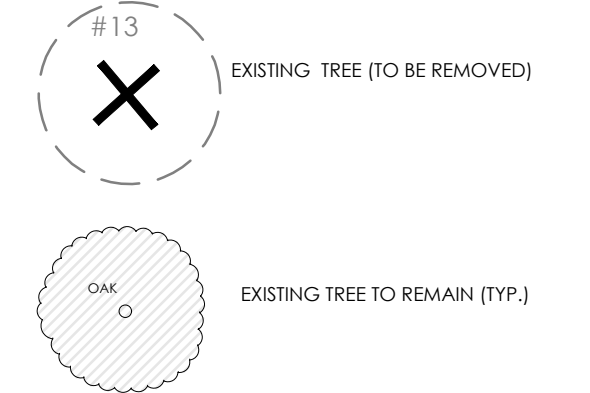
LANDSCAPE/ PLANTING NOTES

- All new landscape/planting areas shall receive a uniform 3" layer of organic mulch. Shredded bark (Guerrita hot) is not an acceptable mulch.
- A minimum of 8 inches of non-mechanically compacted soil shall be available for water absorption and root growth in new planting areas.
- In planting areas incorporate compost or natural fertilizer into the soil to a minimum depth of 8 inches at a minimum rate of 6 cubic yards per 1000 square feet or per specific recommendations from a certified soil laboratory.
- Preserve and protect all existing trees and plants (to remain) to the fullest extent possible.
- All new Tree and shrub plant material shall be irrigated with drip irrigation and a smart controller. Landscape Plans will comply with MMWD Water Conservation Standards.

EXISTING TREE REMOVALS

NO.	SIZE	TYPE	COMMENT
1	28"	PINE	
2	14",14"	PINE	
3	8"	TREE UNIDENTIFIED	
4	14"	TREE UNIDENTIFIED	
5	20"	TREE UNIDENTIFIED	
6	16"	TREE UNIDENTIFIED	
7	14"	TREE UNIDENTIFIED	
8	16"	TREE UNIDENTIFIED	
9	10",10"	TREE	
10	6"	TREE UNIDENTIFIED	
11	6"	TREE UNIDENTIFIED	
12	12"	OAK	
13	8"	OAK	
14	16"	TREE UNIDENTIFIED	
15	8"	TREE UNIDENTIFIED	
16	12" & 10"	OAK	

EXISTING PLANT SCHEDULE



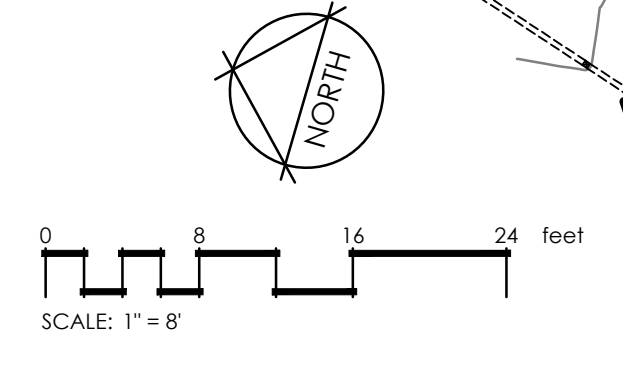
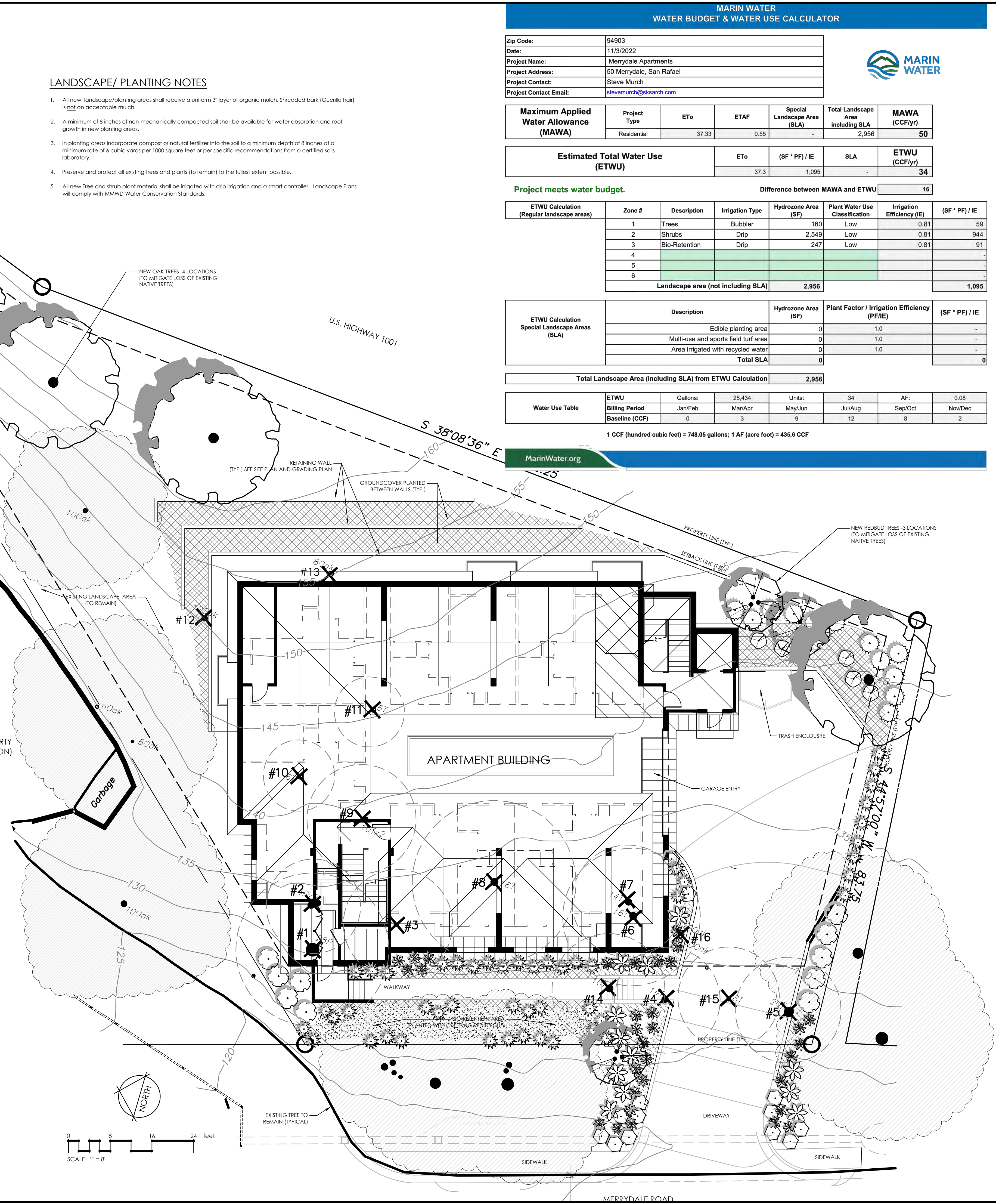
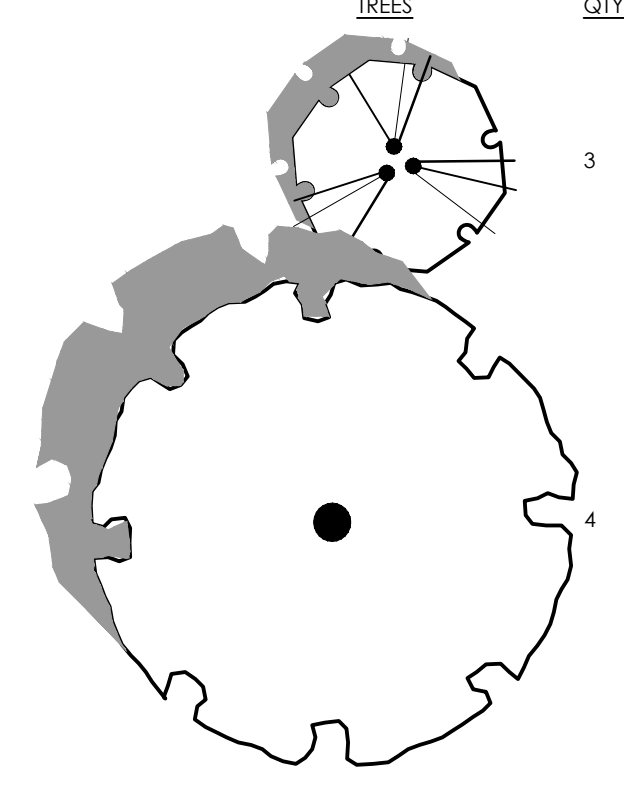
PLANT SCHEDULE

TREES	QTY	BOTANICAL / COMMON NAME	CONT	WUCOLS
	3	Cercis occidentalis / Western Redbud Multi-trunk Fire-safe Marin Tree	15 gal.	Low
	4	Quercus agrifolia / Coast Live Oak	15 gal.	Low

SHRUBS	QTY	BOTANICAL / COMMON NAME	CONT	WUCOLS
	6	Arbutus unedo 'Elfin King' / Elfin King Strawberry Tree Fire-safe Marin shrub	5 gal.	Low
	12	Berberis thunbergii 'Monomb' / Cherry Bomb® Japanese Barberry Fire-safe Marin shrub	5 gal.	Low
	50	Dietes x 'Lemon Drop' / Farnight Lily Fire-safe Marin shrub	5 gal.	Low
	10	Frangula californica 'Mound San Bruno' / Mound San Bruno Coffeeberry Fire-safe Marin shrub	5 gal.	Low
	13	Lantana montevidensis / Purple Trailing Lantana Fire-safe Marin shrub	1 gal.	Low
	12	Phormium x 'Dark Delight' / Dark Delight Purple Flax	5 gal.	Low
	32	Yucca x 'Bright Star' / Variegated Spanish Dagger Fire-safe Marin shrub	5 gal.	Low

GROUND COVERS	QTY	BOTANICAL / COMMON NAME	CONT	WUCOLS	SPACING
	19	Pelargonium peltatum 'Dark Red' / Dark Red Ivy Geranium Fire-safe Marin groundcover	1 gal.	Low	30" o.c.
	197	Thymus praecox arcticus / Creeping Thyme Fire-safe Marin groundcover	1 gal.	Low	30" o.c.

BIO-RETENTION	QTY	BOTANICAL / COMMON NAME	CONT	WUCOLS	SPACING
	247 sf	Festuca rubra 'Molate' / Molate Red Fescue Fire-safe Marin groundcover	Sod	Low	

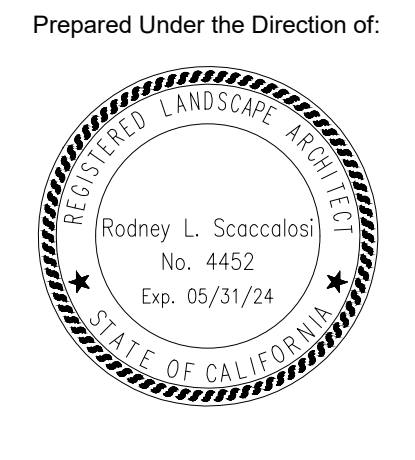


Olive Street
LANDSCAPE ARCHITECTURE
P.O. Box 2083
Petaluma CA 94952
707-280-8990
olivestreetlandscape.com
rod@olivestreetlandscape.com

Rev	Date	Description	Checked	Drawn	Designed	RLS

AUGUST PLACE, LLC
50 MERRYDALE ROAD
LANDSCAPE PLAN
APN: 179-221--03

Town Of
San Rafael
County Of
Marin
State Of
California



Prepared Under the Direction of:
Sheet L1
Scale: 1"=10'
Date: 11/2/22
Project Number: -
Plan File: -