

Illustrative Axonometric Diagram



Illustrative Photo: Tuck-under garage access



Illustrative Photo: Tuck-under with stoop frontage



Illustrative Photo: Alley providing service and garage access



Illustrative Photo: Architecture of two individual tuck-under buildings combined at the alley access that separates the two buildings

**Sec. 41-2029. Tuck-Under Housing Building Type.**

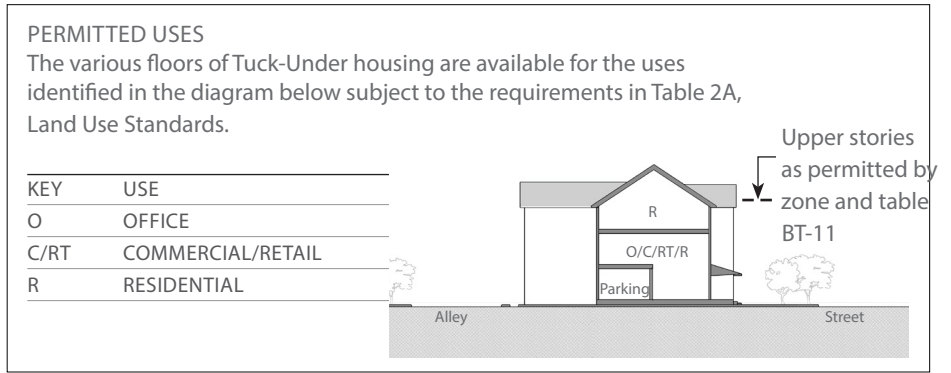
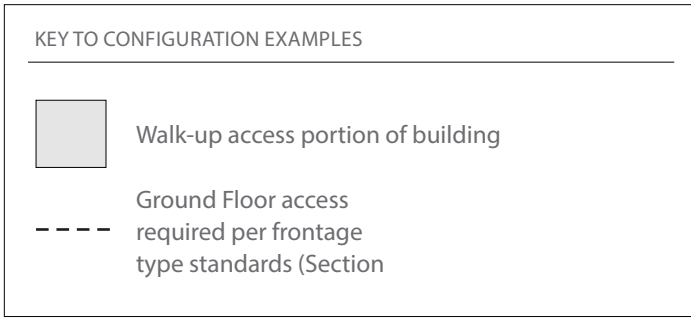
- (a) Tuck-under housing is an individual structure on a parcel with no private rear yard and where its garage is tucked under the rear of the house and accessed by an alley. The structure is occupied by one primary residence arranged with at least 4 such structures or at least 4 multiple townhouse units types arranged side by side along the primary frontage.
- (b) Lot Width and Depth. The minimum and maximum lot width and the minimum lot depth shall be as prescribed in Table BT-1 (Permitted Building Types).
- (c) Access Standards
  - (1) The main entrance to each unit adjacent to a street shall be directly from and face the street. The main entrance to all other units shall be from a courtyard.
  - (2) Garages and services shall be accessed from an alley.
  - (3) A back entry from the alley, and beside each garage shall be required for each unit. These entries are to be set back into the lot at a minimum distance of 5 feet so as not to be flush with the alley-facing garage doors.
  - (4) Buildings at a street corner may span across the alley provided emergency access is maintained and all required clearances are maintained.
  - (5) Accessibility should be accommodated between a pair of units and not in the front yard to the degree possible.
- (d) Parking Standards
  - (1) Required residential unit parking shall be in a garage that is attached to the dwelling.
  - (2) All garages shall be accessed from a parking court separate but adjacent to the alley right-of-way.
  - (3) The garage for the dwellings at the end of the structure shall not be accessed directly from the alley. They should be access from parking court.
  - (4) Additional required parking spaces may be enclosed, covered, or open.
- (e) Service Standards
  - (a) Services, including all utility access, aboveground equipment and trash containers shall be located on an alley when present or on the rear of the lot for those without alley access.
- (f) Open Space Standards
  - (1) One primary common open space of regular geometry is required. This area shall be equal to 15 percent of the lot and shall be open to the sky. The common open space may be located on the ground or on a podium. The minimum dimension for this area shall be 30 feet in each direction.
  - (2) Private open space shall be provided for each residential unit. The private open space shall be no less than 90 square feet with a minimum dimension of 6 feet in each direction and shall be open to the sky.
  - (3) Private patios are permitted in front yards, subject to encroachments permitted per zone, in building interiors, and on upper floors
  - (4) Single loaded courtyards adjacent to alleys or interior lot lines shall be at least 20 feet in width. The length of such courtyard shall equal to the length of the building frontage.
  - (5) Up to 50 percent of the private open space may be substituted for additional common open space or common interior space, the size of which will be equivalent to the displaced private open space. The minimum dimension of this space shall be 15 feet in each direction.
- (g) Landscape Standards
  - (1) Landscape shall not obscure front yard on adjacent lots. Trees shall be planted at the rate of one (1) 36-inch box tree per 25 lineal feet of front yard. The trees can be placed in groups in order to achieve a particular design.
  - (2) Where rear yard setbacks are present, at least one (1) 24-inch canopy tree per unit shall be provided for shade and privacy.
  - (3) Side yard trees shall be placed at a rate of one (1) 24-inch box tree per 30 lineal feet for privacy of neighbors.
  - (4) Six (6) 5-gallon shrubs, ten (10) one-gallon size herbaceous perennials/shrubs and turf or acceptable dry climate ground cover shall be planted for every required tree.
- (h) Frontage Standards
  - (1) Each dwelling's ground level shall be designed so that social areas such as the living room, family room, dining room rather than sleeping and service rooms, are oriented toward the fronting street to the degree possible.
- (i) Building Size and Massing Standards
  - (1) Buildings shall be composed of 2 or 3-story volumes in compliance with the standards for the applicable zone.
  - (2) Buildings on corner lots shall be designed with two front facades.
  - (3) Each building shall maintain setbacks from property lines and in compliance with the standards for the applicable zone, providing as much direct access to yards as possible.
  - (4) The minimum unit frontage shall be 21 feet.
  - (5) A tuck-under shall comply with the height ratios established in Table BT-11, entitled Maximum Ratio for Each Tuck-under Story.

| Table BT-11                            |              |     |     |
|--|--------------|-----|-----|
| Maximum Ratio of each Tuck-under Story |              |     |     |
| Story                                  | Ground Floor | 2   | 3   |
| % of ground floor by story             | 100%         | 80% | 50% |

[1] For any percentage less than 100%, the percentage refers to the percentage of the ground floor footprint of the building area that is permitted for this particular story.

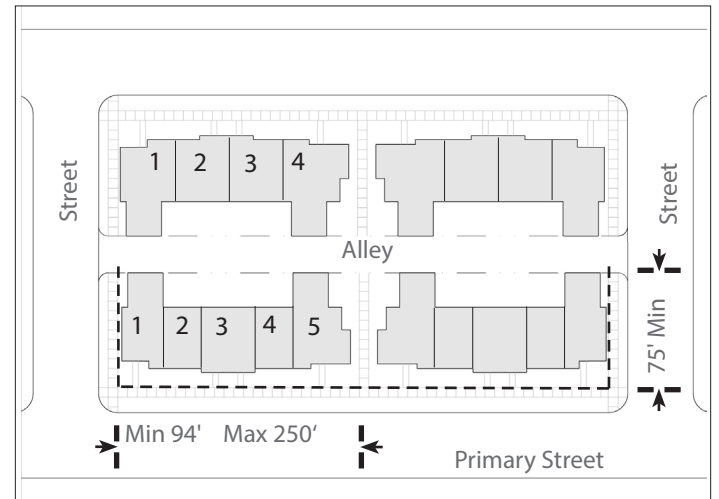
(j) Accessory Dwellings Accessory dwellings shall not be permitted.

(k) Accessory Structures Accessory structures shall not be permitted.

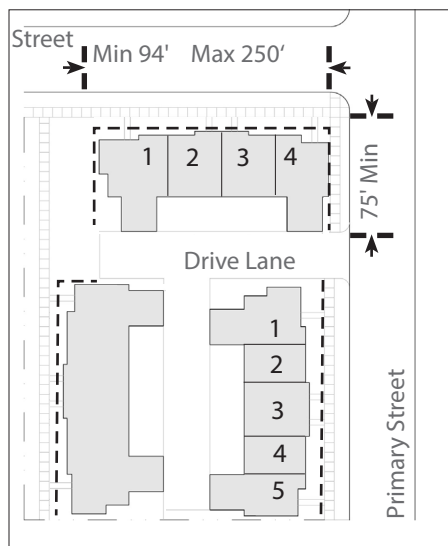


Illustrative Section Configuration Diagram

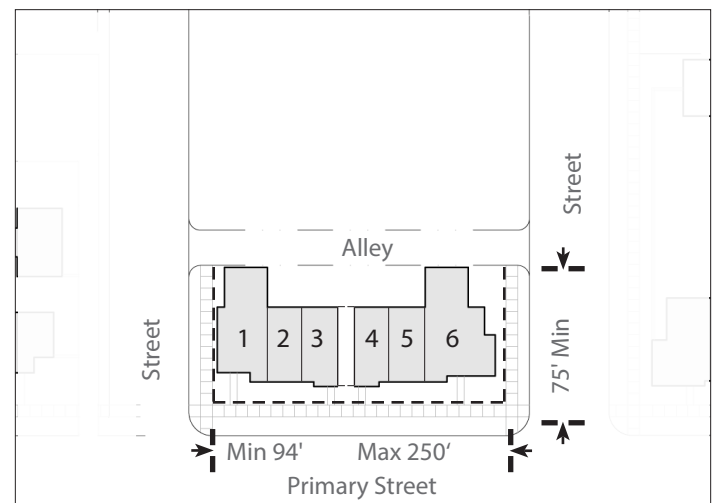
Below: Examples of allowed tuck-under type site configurations



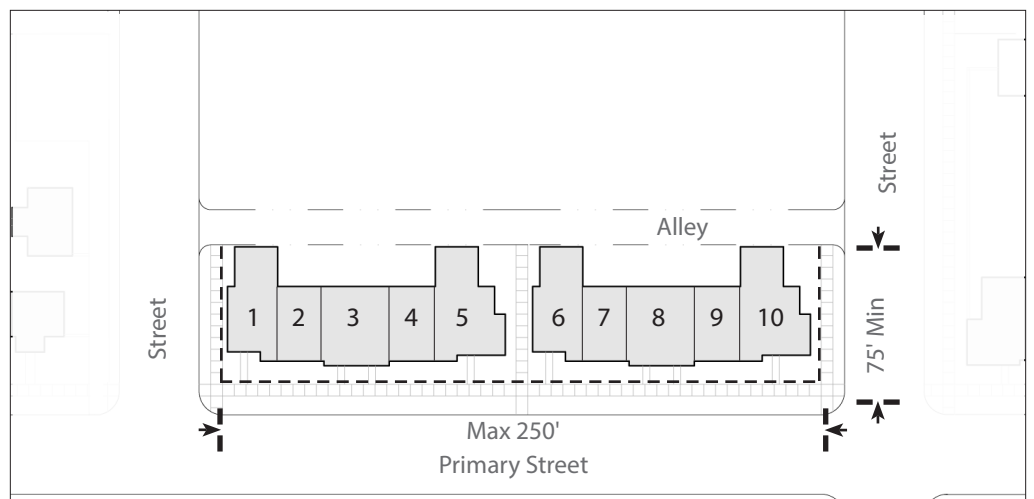
Illustrative Plan Diagram: 5 units in 1 building.



Illustrative Plan Diagram: With drive lane



Illustrative Plan Diagram: 6 units in 1 building with paseo.



Illustrative Plan Diagram: 10 units in 2 buildings