

Sec. 41-2033. Frontage Types General Provisions

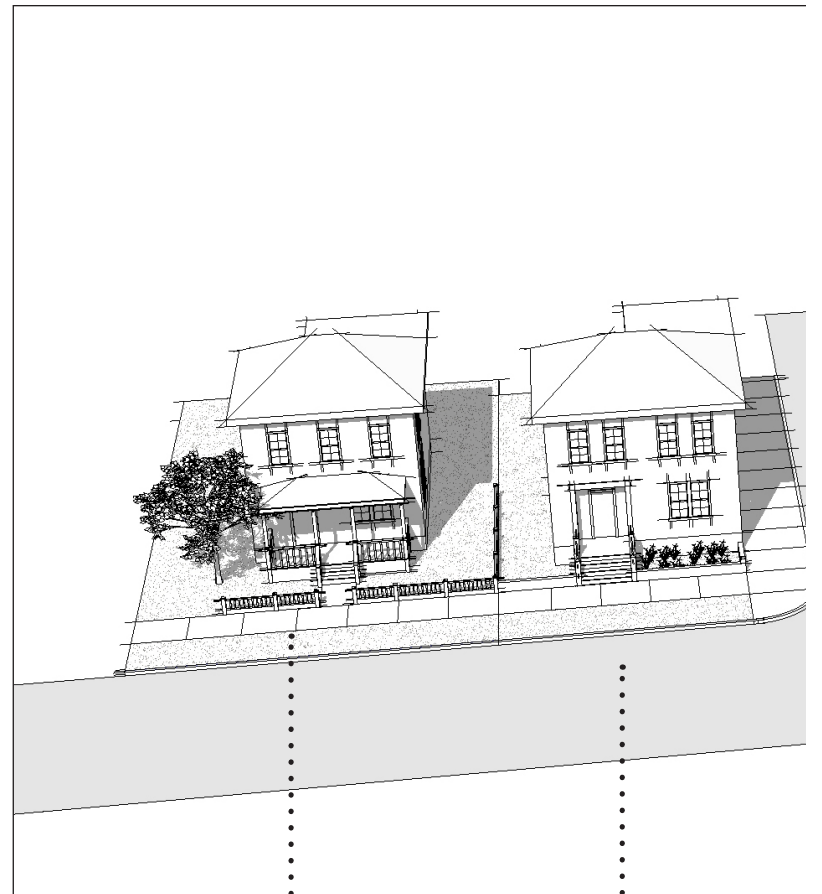
- (a) The frontage types work in combination with the underlying Zone to ensure that proposed development is consistent with the City's goals for building form, character and quality.
- (b) Subject to the requirements of the applicable zone, a proposed building shall be designed with one of the frontage types permitted in the applicable zone by table FT-1, entitled Frontage Types Permitted by Zone.

TABLE FT-1 Frontage Types Permitted by Zone						
Frontage Type	Frontage Types Permitted By Zone					
	TV	DT	UC	CDR	UN-2	UN-1
A. Arcade	Y	Y	N	N	N	N
B. Gallery	Y	Y	N	Y	N	N
C. Shopfront	Y	Y	Y	Y	Y	N
D. Forecourt	Y	Y	Y	Y	Y	N
E. Stoop	N	Y	Y	N	Y	Y
F Frontyard/Porch	N	N	Y	N	Y	Y

Key
 Y - Frontage Type is permitted
 N - Frontage type is not permitted

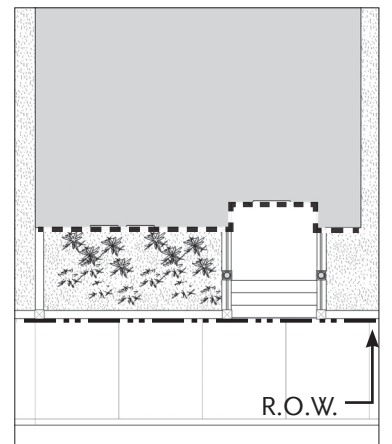
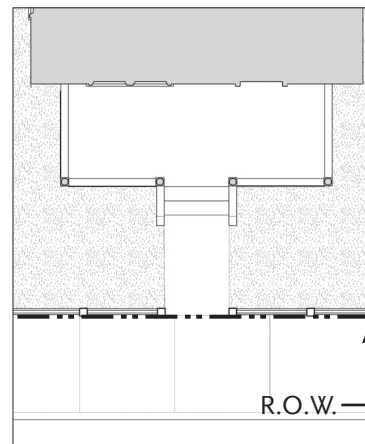
(c) Standards for all Frontage Types

- (1) A physical transition shall be provided between the glazing of the storefront and the adjacent sidewalk except if the glazing itself terminates directly at the grade. Where a bulkhead is applied to transition between the opening(s) and the adjacent grade, the bulkhead shall be between 18 inches and 36 inches tall per frontage type (aluminum storefront or spandrel panel may not substitute for a bulkhead).
- (2) All storefronts shall provide clear views of merchandise displays within the shop space and/or maintained and lighted merchandise display(s) within a display zone of approximately four feet in depth from the glass.
- (3) Awnings, signs, balconies and other architectural projections, shall be located at least 8 feet above the adjacent sidewalk and may project for the width of the sidewalk to a maximum encroachment of within 2 feet of the curb.
- (4) Awnings shall only cover storefronts and openings so as to not cover the entire facade.
- (5) The term "clear" means that the identified area is free of encroachments other than signs and light fixtures.

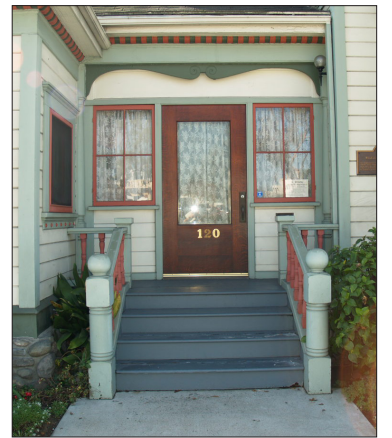


F
FRONTYARD / PORCH

E
STOOP



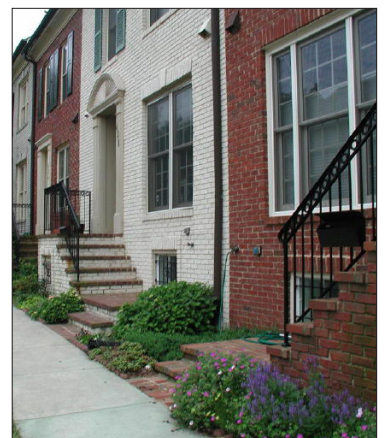
Illustrative Photo



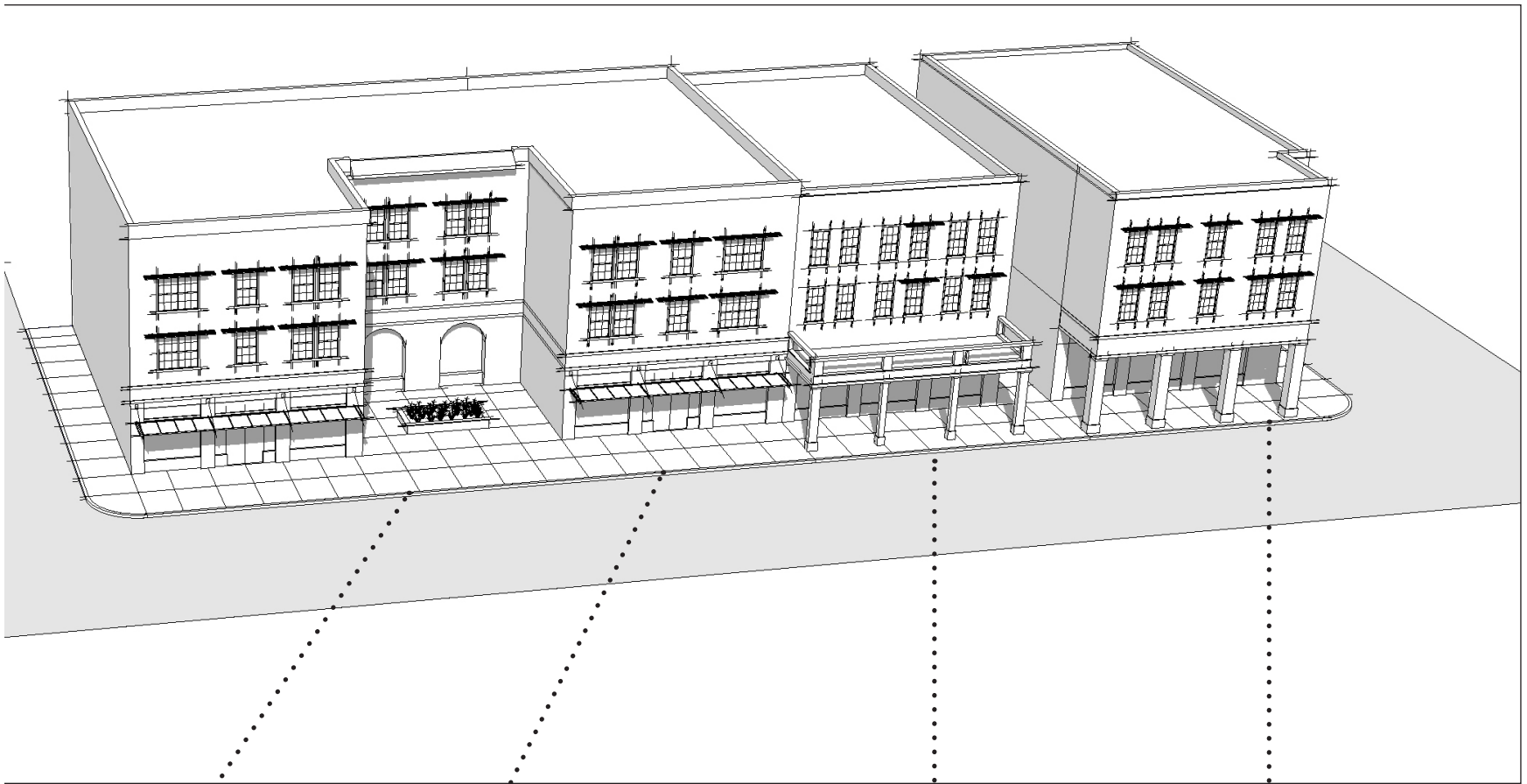
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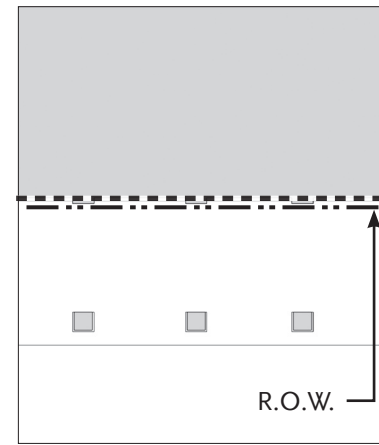
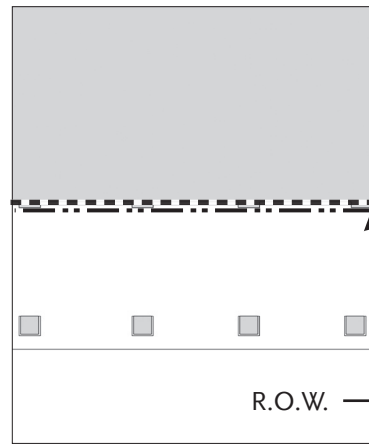
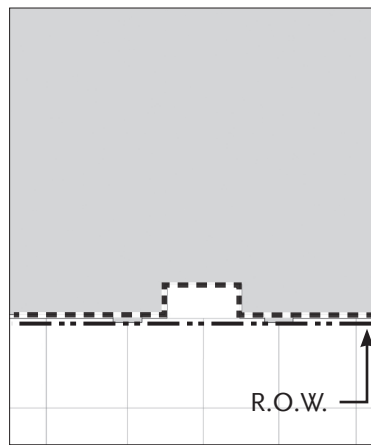
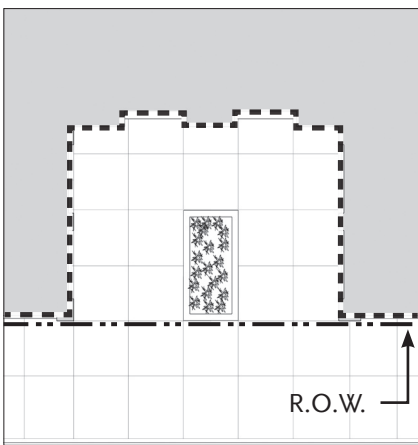


D
FORECOURT

C
SHOP FRONT

B
GALLERY

A
ARCADE



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Sec. 41-2034. Arcade Frontage Type

(a) Arcades are facades with an attached colonnade, that is covered by upper stories. This type is ideal for retail use, but only when the sidewalk is fully absorbed within the arcade so that a pedestrian cannot bypass it. For Building Code considerations, this frontage type cannot cover the public right-of-way with out a permanent encroachment permit.

1. Configuration.

A great variety of arcade designs are possible, but the following shall apply:

- a. The height and the proportions of the arcade shall correspond to the facade consistent with the architectural style of the building.
- b. A minimum of 12 feet clear in all directions. Soffits, columns/arches shall be treated consistent with the architecture of the building
- c. Along primary frontages, the arcade shall correspond to storefront openings and:
 - i. Spacing between openings along the right-of-way shall be 10 feet.
 - ii. Primary frontage storefront openings shall be at least 10 feet tall and comprise 65% of the 1st floor wall area facing the street and not have opaque or reflective glazing.
 - iii. Storefronts shall be a minimum of 10 feet to a maximum of 16 feet tall.
- d. A bulkhead shall transition between the opening(s) and the adjacent grade. The bulkhead shall be between 18 inches and 36 inches tall (aluminum storefront or spandrel panel shall not substitute for a bulkhead).
- e. A minimum of 2 feet and maximum of 4 feet clearance from curb and face of arcade (except at curb extensions for intersections).

2. Elements

- f. Awnings and signs shall be located at least 8 feet above the adjacent sidewalk and may project for the width of the sidewalk at a rate of 6 inches per each foot above 8 feet to a maximum encroachment of 4 feet (see applicable zone for "encroachments").



Illustrative Photo: Arcade

Sec. 41-2035. Gallery Frontage Type

(a) Galleries are colonndes that are attached to storefronts projecting over the sidewalk/walkway.

1. Configuration

A great variety of gallery designs are possible, but the following shall apply:

- a. The height and the proportions of the gallery shall correspond to the facade consistent with the architectural style of the building
- b. A minimum of 12 feet wide clear in all directions. Soffits, columns/arches shall be treated consistent with the architecture of the building
- c. Along primary frontages, the arcade shall correspond to storefront openings and:
 - i. Spacing between openings along the right-of-way shall be a minimum of 10 feet.
 - ii. Primary frontage storefront openings shall be at least 10 feet tall and comprise 65% of the 1st floor wall area facing the street and shall not have opaque or reflective glazing.
 - iii. Storefronts shall be minimum 10 feet to a maximum of 16 feet tall.
- d. A bulkhead shall transition between the opening(s) and the adjacent grade. The bulkhead shall be between 18 inches and 36 inches tall (aluminum storefront or spandrel panel shall not substitute for a bulkhead).
- e. A minimum of 2 feet and a maximum of 4 feet clearance from curb and face of arcade (except at curb extensions for intersections).

2. Elements

- f. Awnings and signs shall be located at least 8 feet above the adjacent sidewalk and may project for the width of the sidewalk at a rate of 6 inches per each foot above 8 feet to a maximum encroachment of 4 feet (see applicable zone for "encroachments").



Illustrative Photo: Gallery

Sec. 41-2036. Shopfront Frontage Type

(a) Shopfronts are facades placed at or close to the right-of-way line, with the entrance at side walk grade. This type is conventional for retail frontage and is commonly equipped with cantilevered shed roof(s) or awning(s). Recessed storefronts are also acceptable. The absence of a raised ground floor precludes residential use on the ground floor facing the street, although such use is appropriate above.

1. Configuration

A great variety of shopfront designs are possible, but the following apply:

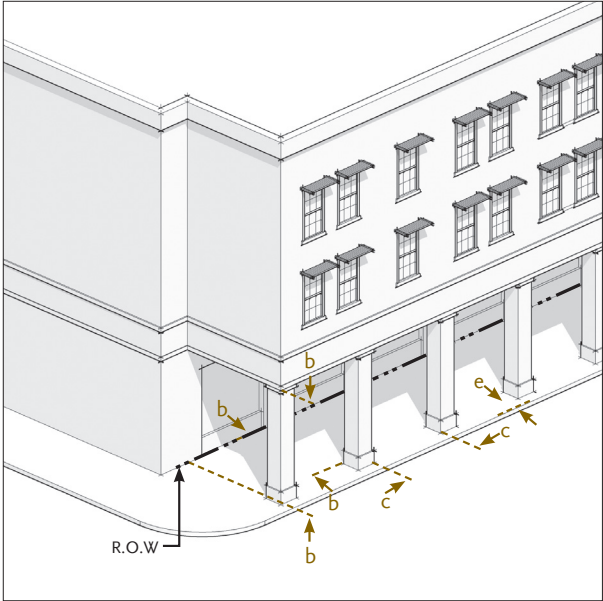
- a. A minimum of 12 feet clear to a maximum of 18 feet tall, as measured from the adjacent sidewalk.
- b. The corresponding storefront(s) opening(s) along the primary frontage shall comprise at least 65% of the 1st floor wall area facing the street and not have opaque or reflective glazing.
- c. Storefronts may be recessed from the frontage line by up to 10 feet.
- d. A bulkhead shall transition between the opening(s) and the adjacent grade. The bulkhead shall be between 18 inches and 36 inches tall (aluminum storefront or spandrel panel may not substitute for a bulkhead)

2. Elements

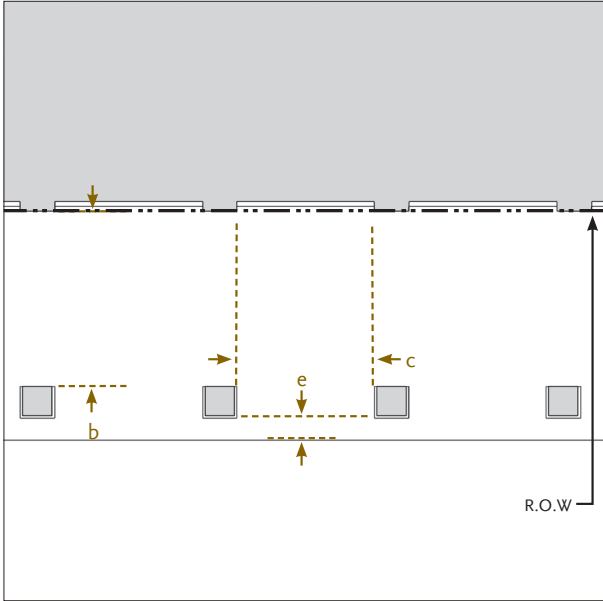
- e. Awnings and signs shall be located at least 8 feet above the adjacent sidewalk and may project for the width of the sidewalk at a rate of 6 inches per each foot above 8 feet to a maximum encroachment of 4 feet.
- f. Signage shall not project within 2 feet of the adjacent curb face(s).
- g. Awnings shall only cover storefronts and openings so as to not cover the entire facade.



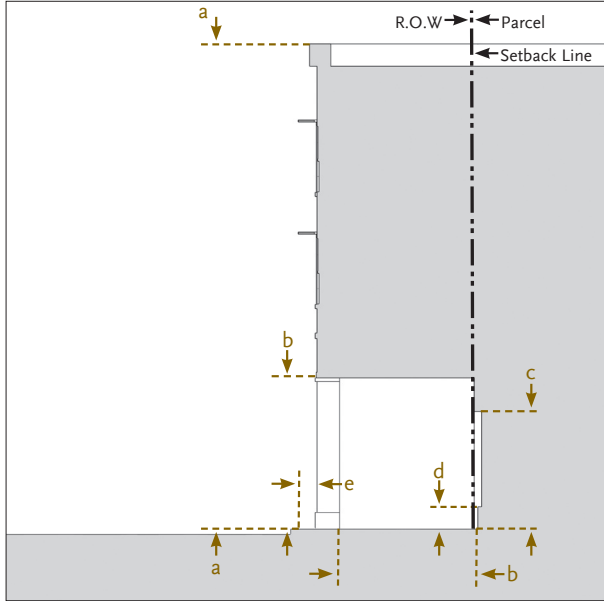
Illustrative Photo: Shopfront



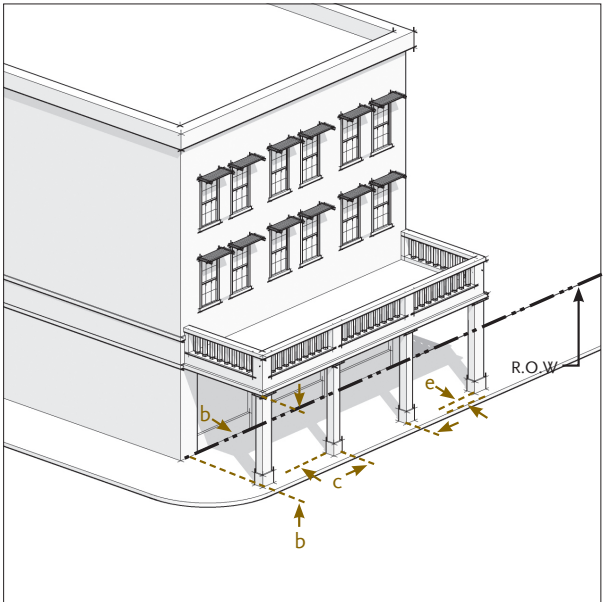
Axonometric Diagram: Arcade



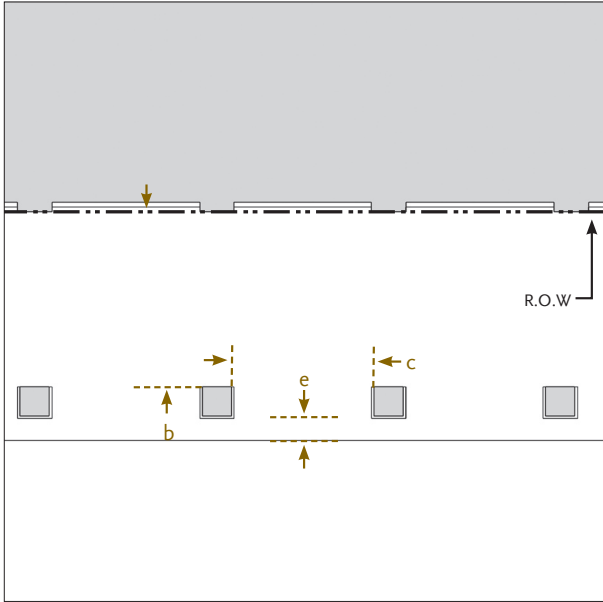
Plan Diagram: Arcade



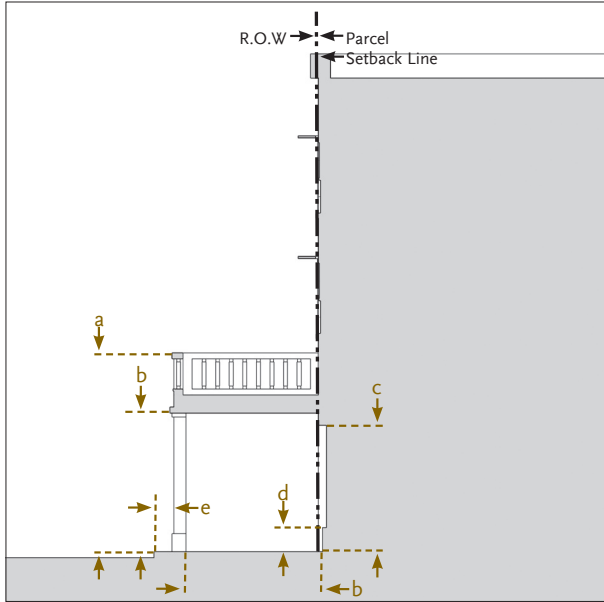
Section Diagram: Arcade



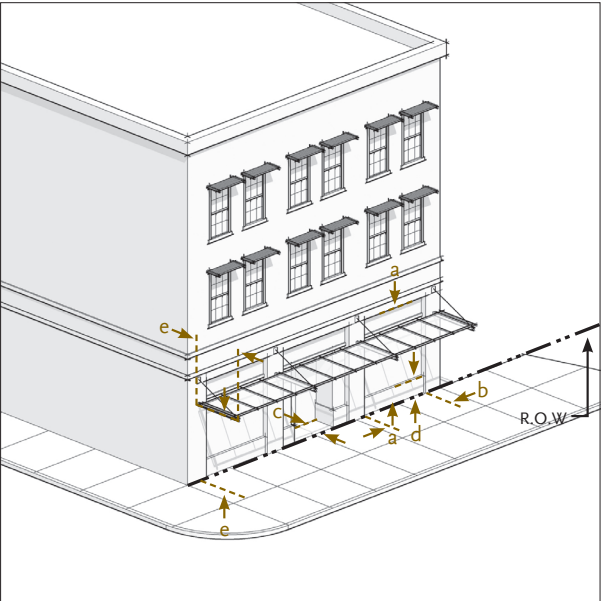
Axonometric Diagram: Gallery



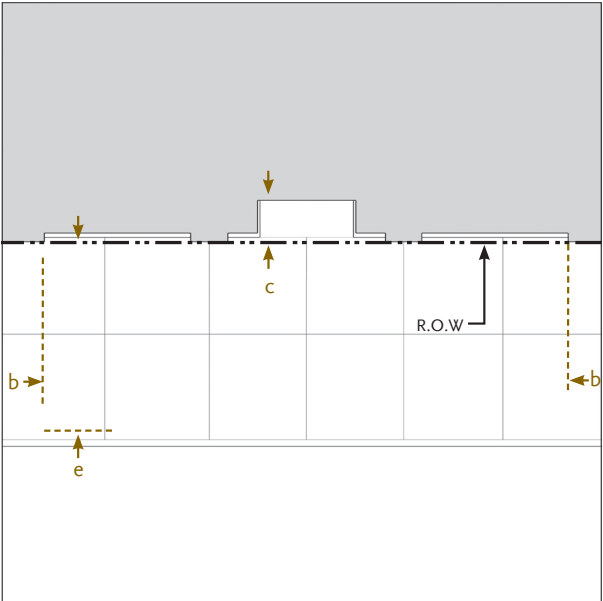
Plan Diagram: Gallery



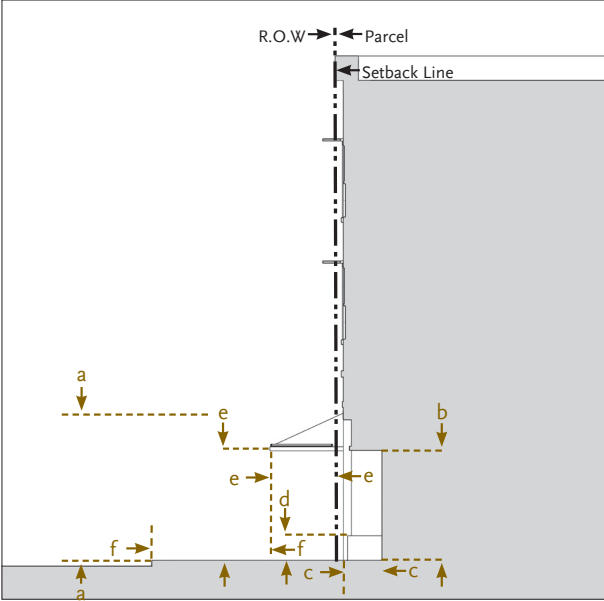
Section Diagram: Gallery



Axonometric Diagram: Shopfront



Plan Diagram: Shopfront



Section Diagram: Shopfront

Sec. 41-2037. Forecourt Frontage Type

(a) Forecourt is a semi-public exterior space partially within the shopfront, gallery or arcade frontage that is partially surrounded by a building and also opening to a thoroughfare forming a court. The court is suitable for gardens, outdoor dining, vehicular drop-off and utility off-loading..

1. Configuration

A great variety of forecourt designs are possible, but the following shall apply:

- a. A minimum of 10 feet deep clear, maximum of 40 feet deep clear.
- b. A minimum of 20 feet wide and a maximum of 50% lot frontage.
- c. The forecourt may also be raised from the sidewalk, creating a small retaining wall at the property line with entry steps to the forecourt, but shall not exceed 3 feet from the adjacent sidewalk grade.
- d. Storefronts shall be between 10 feet and 16 feet tall, as measured from the adjacent walkway.
- e. The corresponding storefront(s) opening(s) along the primary frontage shall be at least 65% of the 1st floor wall area and shall not have opaque or reflective glazing.
- f. A bulkhead shall be required. The bulkhead shall be 24 inches minimum, 36 inches maximum (aluminum storefront or spandrel panel shall not be substituted for a bulkhead).

2. Elements

- g. Minimum clearances for signs and awnings shall be 8 feet from sidewalk for vertical clearances and the width of the side walk for horizontal clearances.



Illustrative Photo: Forecourt

Sec. 41-2038. Stoop Frontage Type

(a) Stoops are an elevated entry pad that corresponds directly to the building entry. The stoop has stairs placed close to the frontage line on a building and the ground story elevated from the sidewalk, securing privacy for the windows and front rooms. This type is suitable for ground-floor residential uses with short setbacks. This type may be interspersed with the shopfront frontage type. A porch or shed roof may also cover the stoop.

1. Configuration

A great variety of stoop designs are possible, but the following shall apply:

- a. A minimum of 4 feet deep clear.
 - a1. Stoops without porches or roofs may encroach up to 50 percent of required building setback depth unless specified otherwise in zone standards.
- b. A minimum 4 feet wide.
- c. Stoops shall be at grade or raised to transition into the building. In no case shall the ground story be elevated more than 3 feet above the adjacent sidewalk.
- d. Stoops shall correspond directly to the building entry(s).

2. Elements

- e. Fences or walls defining the stoop or front setback shall not exceed 36 inches from the highest adjacent finished grade and comply with Sec. 41-610.



Illustrative Photo: Stoop combined with Porch

Sec. 41-2039. Frontyard / Porch Frontage Type

(a) Frontyards are a common frontage primarily associated with single family houses, but used with other building types depending on the context in all cases, where the facade is set back from the right of way with a front yard. An encroaching porch may also be appended to the facade. A fence or wall at the property line may be used to define the private space of the yard. The front yard may also be raised from the sidewalk, creating a small retaining wall at the property line with entry steps to the yard.

1. Configuration

A great variety of porch designs are possible, but the following shall apply:

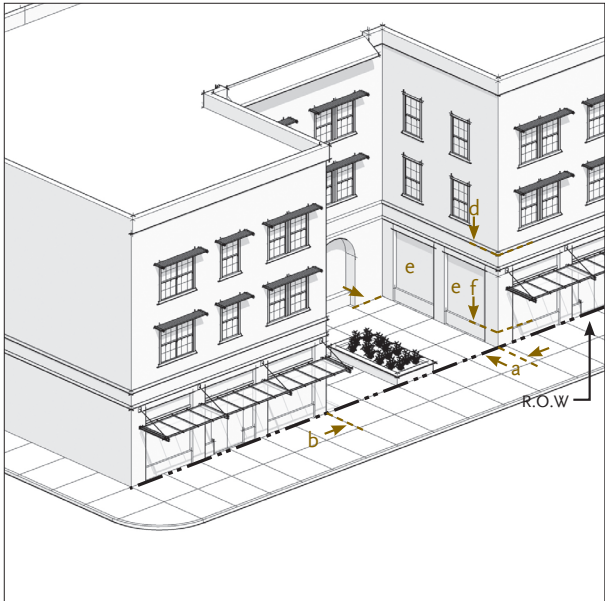
- a. A minimum of 6 feet deep clear.
 - a1. Porches may encroach up to 24 inches of required building setback depth unless specified otherwise in zone standards, provided the remaining setback area shall not be less than 5 feet.
- b. A minimum of 12 feet wide clear for centered entry; or a minimum of 10 feet clear for assymetrical entry.
- c. A minimum of 10 feet tall clear.
- d. Porches shall be at grade or raised to transition into the building. In no case shall porches be raised more than 3 feet from the adjacent grade.

2. Elements

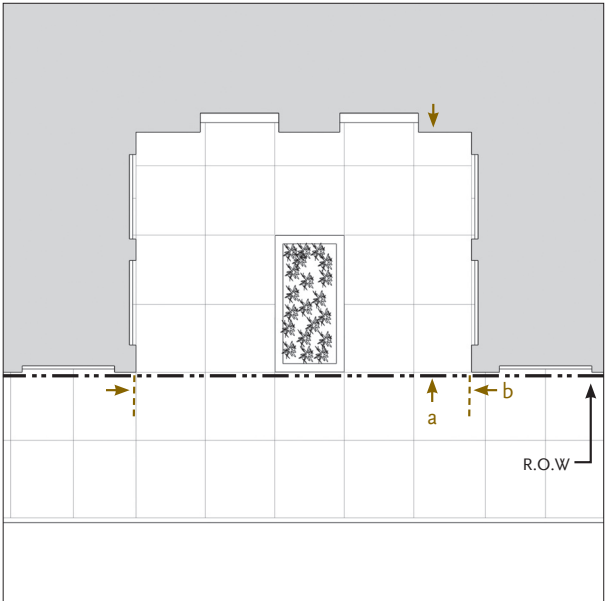
- e. Fences or walls defining the front yard shall not exceed 3 feet in height from the adjacent sidewalk and comply with Sec. 41-610. Retaining walls within the front yard setback cannot exceed 18 inches in height.



Illustrative Photo: Frontyard / Porch



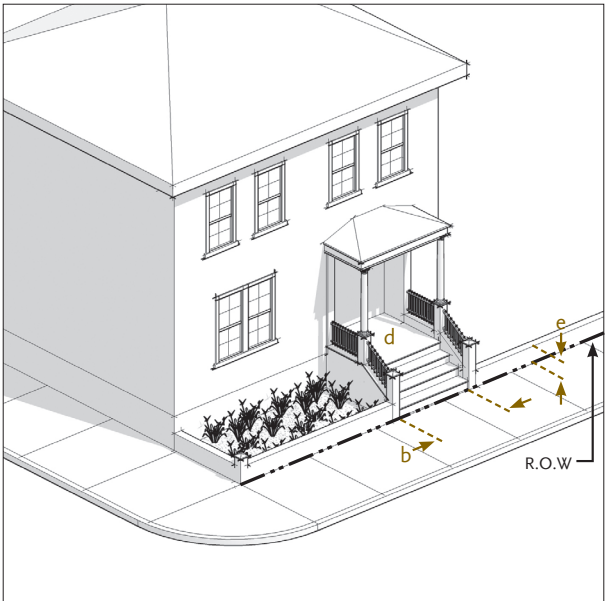
Axonometric Diagram: Forecourt



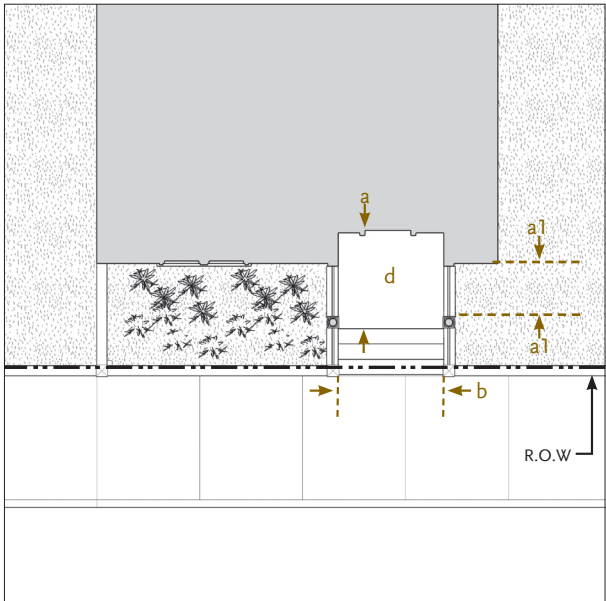
Plan Diagram: Forecourt



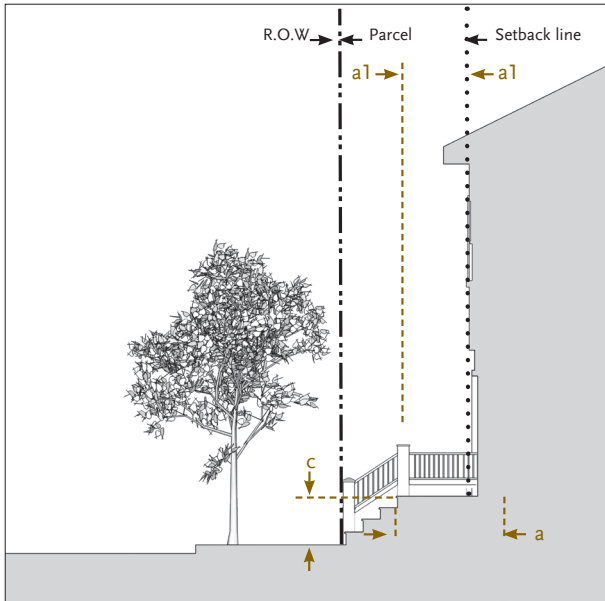
Section Diagram: Forecourt



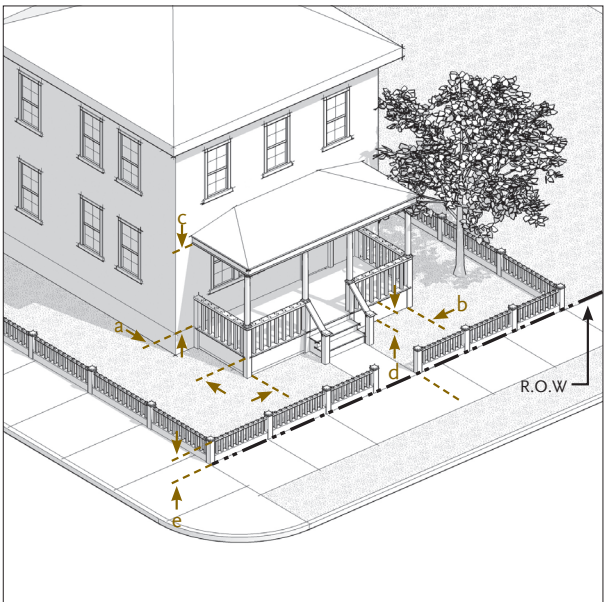
Axonometric Diagram: Frontyard / Porch



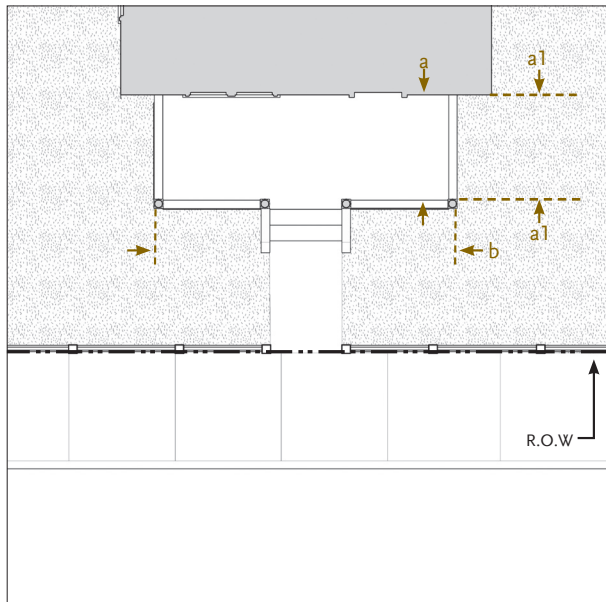
Plan Diagram: Stoop



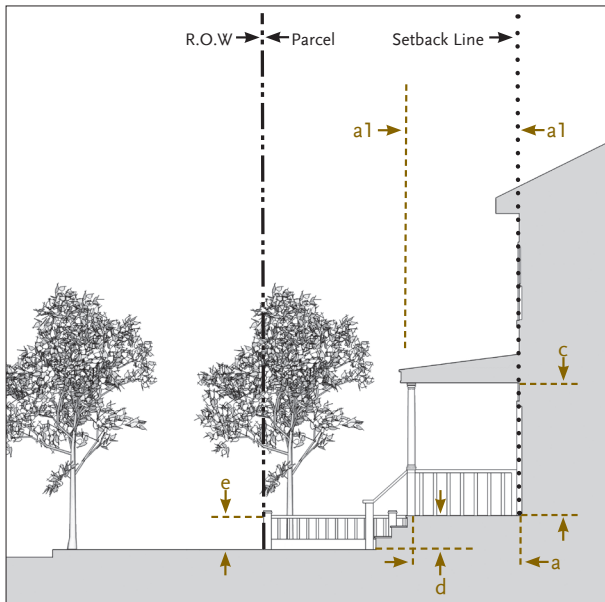
Section Diagram: Stoop



Axonometric Diagram: Frontyard / Porch



Plan Diagram: Frontyard / Porch



Section Diagram: Frontyard / Porch