

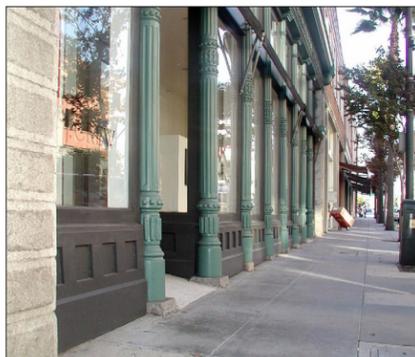
A. Main Street Commercial

The Main Street Commercial building is found on almost every pre-World War II American Main Street. Basically a decorated rectangular masonry box in form, one-story buildings are always commercial in use, while multi-story buildings are mixed-use with commercial ground floors. Multi-story facades are typically divided into base, body and top with the ground floor taller than the shorter upper floor which is finished by a significant parapet. The ground floor has expansive glass interrupted by structural columns with transoms to allow light to penetrate deep into the interior. Upper floor windows are smaller with vertical windows directly relating to the ground floor openings.



1. Base

- a. Multi-story buildings: ground floor is the base and is articulated by large storefront windows and, in some cases, walls or columns of different materials from upper floors.
- b. Elements (not walls) setback within the wall, may have their own material connection to the ground, such as tile, wood, and/or cast iron.



Storefront with cast iron columns



Painted brick transom



Ground floor as base

2. Primary Walls

- a. The primary walls, usually composed of brick, comprise the main body of the building's tripartite facade structure. The masonry-work can be very plain or highly decorative.
- b. Decorative moldings, cornices, or an applied ornament of stone or cast concrete may be used to express the vertical division between the base, the body, and the top.



Single plane



Commercial frontage



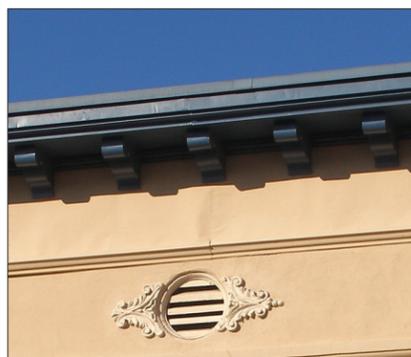
Simple, elegant arched-brick frame

3. Roof-Wall Connections

- a. The roof-wall connection is the top of the facade' tripartite facade composition. This top, articulated as a substantial cornice, can be formed with the same material as the rest of the wall or fashioned of complimentary materials such as stone, concrete, or metal.
- b. Foam moldings are expressly prohibited.



Masonry cornice



Parapet and wood cornice



Rustic wood cornice

4. Roof

- a. Invariably flat roofs are used. Parapets are articulated as an explicit exterior wall making a visual transition to the sky through plain or elaborate profiles.
- b. Roofs may be accessible and be used as balconies or terraces.



Parapet



Roof garden



Articulated parapet with integrated signage

5. Drainage

- a. Since these buildings typically maintain a zero setback, rainwater may be diverted away from public sidewalks in several ways:
 - i) downspouts on the the back-side or alley-side of the building,
 - ii) internal drain pipes imbedded within the buildings walls (visible only on rear),
 - iii) awnings or canopies



Downspout on back side of building;



Awnings at commercial frontage



Drainage imbedded in exterior wall

6. Openings

- a. Ground floor windows and doors are large and expansive, typically with a transom.
- b. Upper floor windows are typically grouped with a rhythm relating to the major storefront openings below.
- c. Upper floor windows are typically double-hung (two lites) and vertically oriented.



Ground floor storefront windows



Grouped second-floor windows



Second-floor windows grouped in pairs

7. Attached Elements

- a. Awnings, canopies, and second floor balconies may extend into the public right-of-way, subject to standards on chapter 3. Such attachments provide shelter to passing pedestrians, emphasize the ground floor uses, and add interest to the box-like massing inherent to the style.



Awnings at commercial frontage



Canopy frontage



Balcony frontage

8. Massing

- a. Whether one-story or multiple-story, Main Street Commercial buildings tend to be square or rectangular boxes. However, subtle variations in height can add interest to a facade, emphasize important architectural features such as a building entrance, or can accentuate a corner condition.



2-story block with higher massing at center



One-story Flex Block



Articulated corner block

9. Site Definition and Landscape

- a. Since buildings are typically zero-setback and urban, planting on ground floor street-facing facades is not permitted.
- b. Landscape, however, is to be in internal courtyards and street-facing forecourts.



Commercial frontage



Forecourt frontage



Courtyard within a Flex Block