

Division 3.

Building and Parking Placement, Building Height and Profile, Encroachments, and Parking Summary

A. Requirements

1. Purpose. This Division identifies the standards and requirements for new buildings, or buildings to be modified, for each zone within the Code area to ensure that proposed development is consistent with the City's goals for building form, character, and quality within the Code area. The zones are organized by intensity from the most intense (TV) to the least intense (UN-1). Unless stated otherwise, all requirements are expressed as 'minimums' and may be exceeded (e.g., 2 parking spaces required and 3 provided) in compliance with all applicable provisions of this code and Chapter 41.
2. Applicability. Each proposed improvement and building shall be designed in compliance with the standards of this Division for the applicable zone, except for public and institutional buildings, which because of their unique disposition and application are not required to comply with these requirements and are reviewed by a special permit and procedures.
3. Requirements by zone. Each proposed building shall be designed according to the urban standards identified per the zone in which the property is located.

B. Summary of Zones

At right, in Table 3A, are the six zones (see Note below) organized in descending order according to their role and intensity within the Code area and as they appear in this Chapter:

- Transit Village (TV)
- Downtown (DT)
- Urban Center (UC)
- Corridor (CDR)
- Urban Neighborhood 2 (UN-2)
- Urban Neighborhood 1 (UN-1)

Note: the Government Center District and Open Space Zones are identified in this Code but regulated by the Santa Ana Municipal Code.

Table 3A: ZONE SUMMARY OF STANDARDS



Intent and Character of TV Zone

Intent and Character of DT Zone

Building Types (see Chapter 4.1 for standards)	Max Stories [a]
Tower-on-Podium	25
Flex Block	5
Lined Block	5
Stacked Dwellings	6
Hybrid Court	-
Courtyard Housing	5
Live-Work	3
Rowhouse	-
Tuck-Under	3
Bungalow Court	-
Duplex/Triplex/ Quadplex	-
House	-

Building Types (see Chapter 4.1 for standards)	Max Stories [a]
Tower-on-Podium	-
Flex Block	10
Lined Block	10
Stacked Dwellings	6
Hybrid Court	-
Courtyard Housing	5
Live-Work	3
Rowhouse	-
Tuck-Under	3
Bungalow Court	-
Duplex/Triplex/ Quadplex	-
House	-

Frontage Types (see Chapter 4.2 for standards)	Allowed
Arcade	Y
Gallery	Y
Shopfront	Y
Forecourt	Y
Stoop	-
Frontyard & Porch	-

Frontage Types (see Chapter 4.2 for standards)	Allowed
Arcade	Y
Gallery	Y
Shopfront	Y
Forecourt	Y
Stoop	Y
Frontyard & Porch	-

Building Setbacks	in feet
Front yard	0-10 [1]
Side Street	0-10 [1]
Side yard	0
Rear yard	15
Alley rear yard	3

Building Setbacks	in feet
Front yard	0
Side Street	0-10
Side yard	0
Rear yard	15
Alley rear yard	3

[1] Grand Ave - Min 15', From current R.O.W

Parking per DU or Sq Ft	DU / Sq Ft	+ Guest
Residential	2	0.15
Live-Work	2	-
Non-Residential	1/400	-
In-Lieu Option [b]	yes	yes

Parking per DU or Sq Ft	DU / Sq Ft	+ Guest
Residential	2	0.15
Live-Work	2	-
Non-Residential	1/400	-
In-Lieu Option [b]	yes	yes

Key to Table 3A

Light shaded text means 'not permitted' in the zone.

' - ' means not applicable in the zone.

[a] Max Stories for all zones refer to the total number of stories permitted per Zone. The massing for all buildings are subject to size and massing standards, as described in Building Type Standards for each building type (Section 41-2020), as indicated in the example table below.

ALLOWED MASSING BY STORY								
Ratio of Each Story in % of ground floor								
STORY	1	2	3	4	5	6	7	8
%	100	100		75	50	35	10	N/A

[b] May be satisfied through In-Lieu Fee and/or Park-Once Program, if established

Notes continued on next page

3.5 Urban Center (UC)



Intent and Character of UC Zone

Building Types	Max Stories [a]
(see Chapter 4.1 for standards)	
Tower-on-Podium	-
Flex Block	5
Lined Block	5
Stacked Dwellings	5
Hybrid Court	-
Courtyard Housing	5
Live-Work	3
Rowhouse	-
Tuck-Under	3
Bungalow Court	-
Duplex/Triplex/Quadplex	-
House	-

Frontage Types	Allowed
(see Chapter 4.2 for standards)	
Arcade	-
Gallery	-
Shopfront	Y
Forecourt	Y
Stoop	Y
Frontyard & Porch	Y

Building Setbacks	in feet
Front yard	0
Side Street	0-10
Side yard	0
Rear yard	15
Alley rear yard	3

Parking per DU or Sq Ft	DU / Sq Ft	+ Guest
Residential	2	0.15
Live-Work	2	0.15
Non-Residential	1/300	-
In-Lieu Option [b]	yes	yes

3.6 Corridor (CDR)



Intent and Character of CDR Zone

Building Types	Max Stories [a]
(see Chapter 4.1 for standards)	
Tower-on-Podium	-
Flex Block	3
Lined Block	-
Stacked Dwellings	-
Hybrid Court	-
Courtyard Housing	-
Live-Work	3
Rowhouse	-
Tuck-Under	-
Bungalow Court	-
Duplex/Triplex/Quadplex	-
House	-

Frontage Types	Allowed
(see Chapter 4.2 for standards)	
Arcade	-
Gallery	Y
Shopfront	Y
Forecourt	Y
Stoop	-

Building Setbacks	in feet
Front yard	5-15 [1]
Side Street	0-10 [1]
Side yard	0
Rear yard	15
Alley rear yard	3

[1] Grand Ave - Min 25' from current R.O.W.

Parking per DU or Sq Ft	DU / Sq Ft	+ Guest
Residential	2	0.25
Live-Work	2	0.25
Non-Residential	1/200	-
In-Lieu Option [b]	no	no

3.7 Urban Neighborhood 2 (UN-2)



Intent and Character of UN2 Zone

Building Types	Max Stories [a]
(see Chapter 4.1 for standards)	
Tower-on-Podium	-
Flex Block	-
Lined Block	-
Stacked Dwellings	-
Hybrid Court	5[1]
Courtyard Housing	4
Live-Work	3
Rowhouse	3
Tuck-Under	3
Bungalow Court	2
Duplex/Triplex/Quadplex	3
House	2

Frontage Types	Allowed
(see Chapter 4.2 for standards)	
Arcade	-
Gallery	-
Shopfront	Y
Forecourt	Y
Stoop	Y
Frontyard & Porch	Y

Building Setbacks	in feet	
Front yard	10 [1]	
Side Street	10	
Side yard	1 story	5
	2 story	5
	3 story	8
	4 story	12
Rear yard	15	
Alley rear yard	3	

[1] Grand Ave: Min 25' from current R.O.W.

Parking per DU or Sq Ft	DU / Sq Ft	+ Guest
Residential	2	0.25
Live-Work	2	0.25
Non-Residential	1/300	-
In-Lieu Option [b]	no	no

3.8 Urban Neighborhood 1 (UN-1)



Intent and Character of UN1 Zone

Building Types	Max Stories [a]
(see Chapter 4.1 for standards)	
Tower-on-Podium	-
Flex Block	-
Lined Block	-
Stacked Dwellings	-
Hybrid Court	-
Courtyard Housing	-
Live-Work	2
Rowhouse	-
Tuck-Under	-
Bungalow Court	2
Duplex/Triplex	2
House	2

Frontage Types	Allowed
(see Chapter 4.2 for standards)	
Arcade	-
Gallery	-
Shopfront	-
Forecourt	-
Stoop	Y
Frontyard & Porch	Y

Building Setbacks	in feet
Front yard	20
Side Street	10
Side yard	5 [1]
Rear yard	20
Alley rear yard	3

[1] Or varies

Parking per DU or Sq Ft	DU / Sq Ft	+ Guest
Residential	2	0.25
Live-Work	2	0.25
Non-Residential	>750 sf: 1	-
	750-1200 sf: 1	-
	>1200 sf: 1 per 300 s.f	-
In-Lieu Option [b]	no	no

Notes:

The above table is a summary of the requirements by zone. Refer to the following chapters of this code for the full requirements per building type.

The zones are arranged on a continuum of intensity with the most intense at left and the least intense at right. Each zone is aimed at generating or maintaining a distinct character through the allocation of appropriate building and frontage types and the placement of those types on parcels.

Section 41-2010. Transit Village (TV)

(a) Permitted building types and minimum and maximum height.

Table TV-1, entitled Building Types and Minimum and Maximum Height identifies the approved building types and the minimum and maximum height that is permitted for each building type within the TV zone subject to compliance with all applicable standards.

Table TV-1. Building Types and Minimum and Maximum Height

Building Types	Min Stories	Max Stories
Tower-on-Podium	3	25
Flex Block	3	5
Lined Block	3	5
Stacked Dwellings	3	6
Hybrid Court	not allowed	not allowed
Courtyard Housing	3	5
Live-Work	3	3
Rowhouse	not allowed	not allowed
Tuck-Under Housing	3	3
Bungalow Court	not allowed	not allowed
Duplex/Triplex/Quadplex	not allowed	not allowed
House	not allowed	not allowed

(d) Parking.

(1) Driveway Standards. Table TV-4 identifies the minimum and maximum width of driveways and permitted parking on driveways.

Type	Min Width	Max Width
1-way	8'	12'
2-way	20'	25' [a]
Parking	not permitted	not permitted

[a] Except as modified to meet fire and trash service requirements.

(2) Off-street parking standards

a. Table TV-5 identifies the minimum off-street parking spaces that shall be provided. All fractions shall be rounded up to the next whole number.

Table TV-5- Off-Street Parking Standards.

Use-Type	Parking	Guest Parking	In-Lieu [a]
Residential [b]	2 / unit min	0.15 / unit	guest only
Live-Work	2 / unit min	-	-
Non-Residential	1 / 400 sq ft	-	yes

[a] May be satisfied through In-Lieu Fee and/or Park-Once Program for Transit Village District, if the City Council adopts an In-Lieu Fee and a Park-Once Program where such Program provides that the City Council shall be the final decision maker on approving for each project the use of the In-Lieu Fee alone or in combination with a Park-Once Program to satisfy the parking requirements.

[b] Permanent Special Need Housing including senior housing, will be parked at 1 space per unit minimum.

b. Vehicular access to the off-street parking is permitted only from an alley or side street when present. Vehicular access to the off-street parking may be taken from primary street only when an alley or side street is not present.

(b) Building Setbacks.

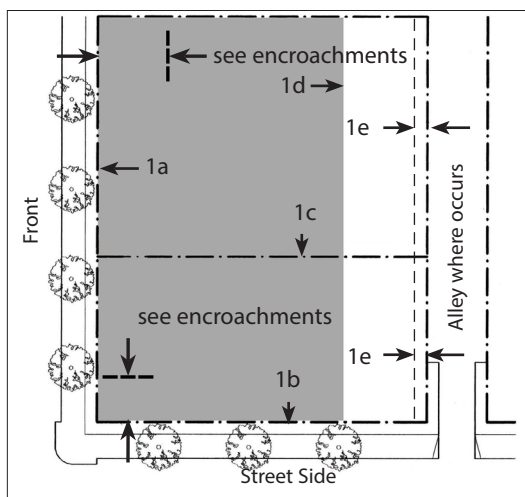


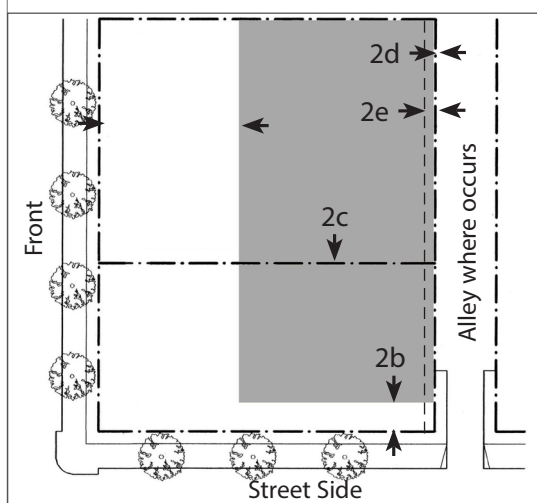
Table TV-2 identifies the minimum setbacks required and, where noted, maximum setbacks permitted. The setbacks shall apply to all stories of a building.

Table TV-2- Building Setback Standards.

	Setback	Min.	Max.
(1a)	Front yard	0' [a] [b]	10'
(1b)	Street Side	0' [a] [b]	10'
(1c)	Sidyard	0'	Not applicable
(1d)	Rear yard	15'	Not applicable

[a] In situations where the existing sidewalk is 10 feet or less in width, at the discretion of the City of Santa Ana, a setback greater than identified in the above table may be required to effectively result in a 10 foot wide sidewalk.

[b] Setback at Grand Ave. is 15' minimum - 25' maximum measured from the right-of-way as it exists in 12/31/2009.



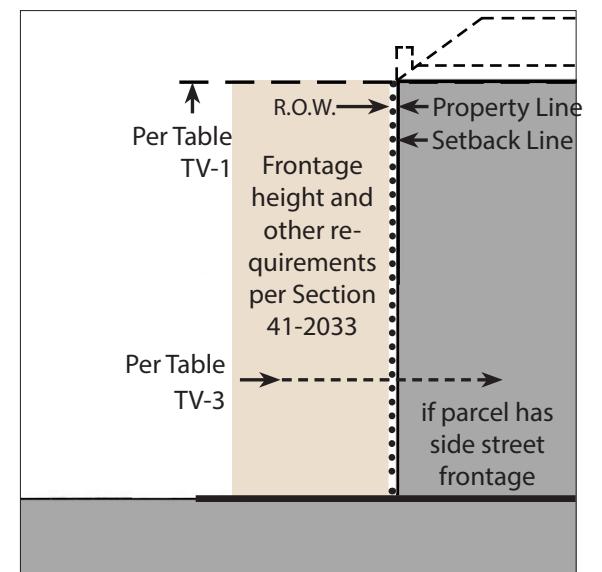
■ Parking Permitted

c. Parking setback standards. Table TV-6 identifies the minimum setback standards for the off-street parking. The setbacks shall apply to all stories of a building.

Table TV-6- Parking Setback Standards.

Setback	Above Grade	Subterranean
(2a) Front yard	Min. 40% design lot depth	0' min.
(2b) Street side	10' min.	0' min.
(2c) Side yard	0' min.	0' min.
(2d) Rear yard	10' min.	3' min.
(2e) Alley yard	3' min.	3' min.

(c) Frontage Requirements.

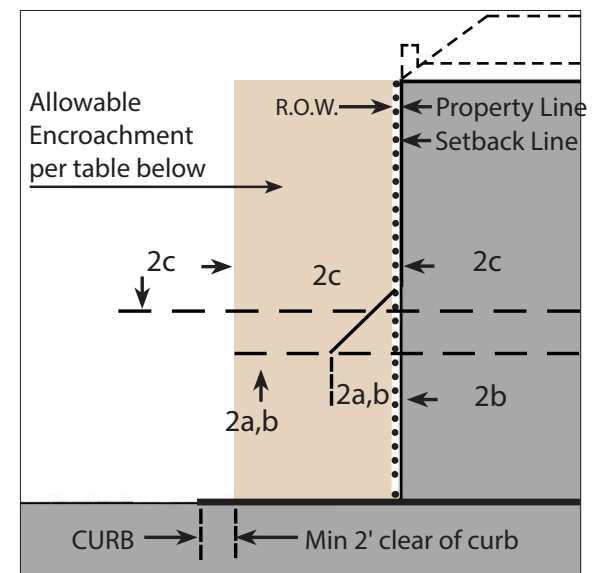


The ground floor fronting a street or other right-of-way (not including alleys) shall comply with the standards for the applicable frontage type, Sections 41-2033 through 41-2039 and the Table TV-3 entitled Permitted Frontage Types.

Table TV-3- Permitted Frontage Types

Frontage Types Permitted	% of frontage
Arcade	min. 50
Gallery	min. 50
Shopfront	min. 75
Forecourt	Max. 50; remainder of frontage per permitted types

(e) Encroachments.



(1) Outdoor dining
Such encroachments per approval of PBA (Planning & Building Agency) and PWA Directors, separate permit and agreement per SAMC.

(2) Encroachments. Awnings, Signage, Balconies, Bay windows and Frontage Types may encroach into the required setback subject to the standards identified in Table TV-7, entitled Encroachments.

Table TV-7 Encroachments

	Encroachment	Vertical	Horizontal
(2a)	except awnings, and gallery and arcade frontage types	min 8' clear	max 18"
(2b)	except awnings, and gallery and arcade frontage types	min 12' clear	max 24"
(2c)	awnings, and gallery and arcade frontage types	min 10' clear	within 2' of curb
	Side yard	N/A	0'
	Rear yard	to eave [1]	5'

[1] Eave permitted to 3' of property line

Section 41-2011. Downtown Zone (DT)

(a) Permitted building types and minimum and maximum height

Table DT-1, entitled Building Types and Minimum and Maximum Height identifies the approved building types and the minimum and maximum height that is permitted for each building type within the DT zone subject to compliance with all applicable standards, including Table DT-3 entitled Building Height.

Table DT-1. Building Types and Minimum and Maximum Height.

Building Types	Min Stories	Max Stories
Flex Block	2	10
Lined Block	2	10
Stacked Dwellings	2	6
Hybrid Court	not allowed	not allowed
Courtyard Housing	2	5
Live-Work	2	3
Rowhouse	not allowed	not allowed
Tuck-Under Housing	2	3
Bungalow Court	not allowed	not allowed
Duplex/Triplex/Quadplex	not allowed	not allowed
House	not allowed	not allowed

(d) Parking.

(1) Driveway Standards. Table DT-5 identifies the minimum and maximum width of driveways and permitted parking on driveways.

Table DT-5 Driveway Standards

Type	Min. Width	Max. Width
1-way	8'	12'
2-way	20'	25' [a]
Parking	not permitted	not permitted

[a] Except as modified to meet fire and trash service requirements.

(2) Off-street parking standards

a. Table DT-6 identifies the minimum off-street parking spaces that shall be provided. All fractions shall be rounded up to the next whole number.

Table DT-6. Off-Street Parking Standards.

Use-Type	Parking	Guest Pkg.	In-Lieu [a]
Residential [b]	2 / unit min	0.15 / unit	guest only
Live-Work	2 / unit min	-	-
Non-Residential	1 / 400 sq ft	-	yes

[a] May be satisfied through In-Lieu Fee and/or Park-Once Program for Downtown District, if the City Council adopts an In-Lieu Fee and a Park-Once Program where such Program provides that the City Council shall be the final decision maker on approving for each project the use of the In-Lieu Fee alone or in combination with a Park-Once Program to satisfy the parking requirements.

[b] Permanent Special Need Housing including senior housing, will be parked at 1 space per unit minimum.

b. The parking requirements found in Table DT-6 shall apply only to new buildings, additional building area on existing buildings or conversion of existing building area to a new use. Conversion of building area of an historically designated building to a new use, where the building envelope is not increased in size shall have no parking requirement until such time as the City determines that 95 percent capacity on the five existing City controlled parking structures in the downtown has been reached.

(b) Building Setbacks.

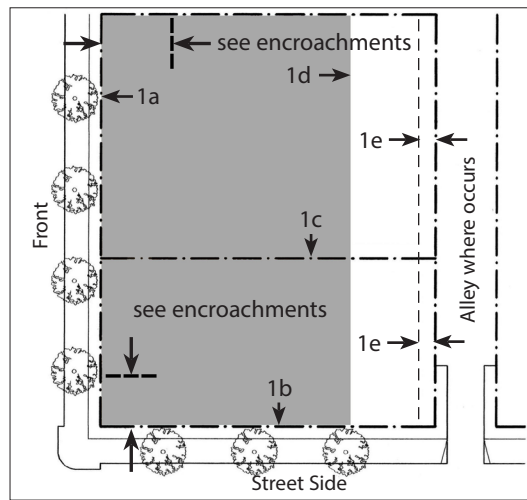
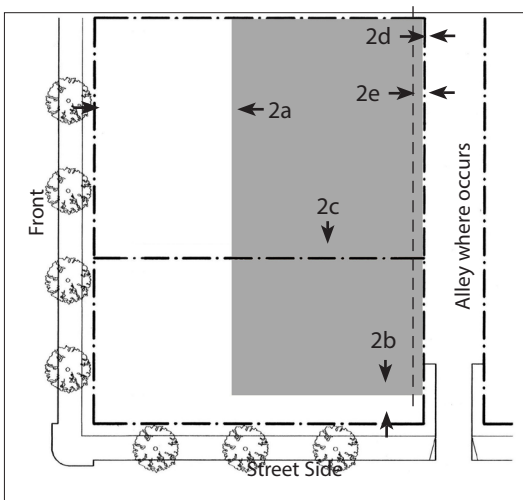


Table DT-2 identifies the minimum setbacks required and, where noted, maximum setbacks permitted. The setbacks shall apply to all stories of a building.

Table DT-2. Building Setback Standards

Setback	Min.	Max.
(1a) Front yard	0' [a]	0'
(1b) Street Side	0' [a]	10'
(1c) Side yard	0'	No requirement
(1d) Rear yard	15'	No requirement
(1e) Alley yard	3'	No requirement

[a] In situations where the existing sidewalk is 10 feet or less in width, at the discretion of the City of Santa Ana, a setback greater than identified in the above table may be required to effectively result in a 10 foot wide sidewalk.



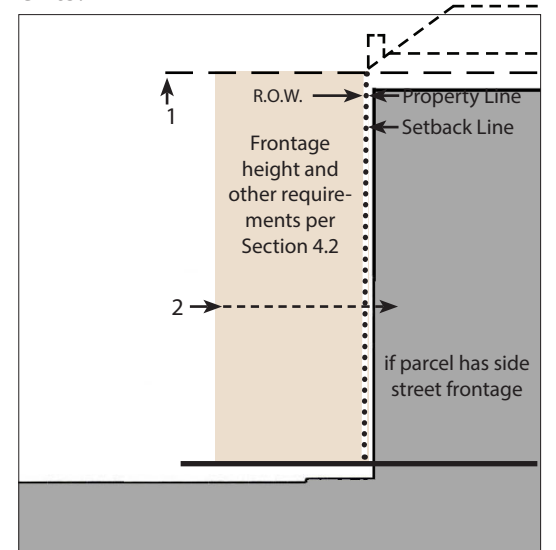
c. Vehicular access to the off-street parking is permitted only from an alley or side street when present. Vehicular access to the off-street parking may be taken from primary street only when an alley or side street is not present.

d. Parking Setback Standards - Table DT-7, entitled Parking Setback Standards identifies the minimum setback standards for the off-street parking.

Table DT-7. Parking Setback Standards

Setback	Above Grade	Subterranean
(2a) Front yard	min 40% lot depth	0' min
(2b) Street side	10' min	0' min
(2c) Side yard	0' min	0' min
(2d) Rear yard	10' min	3' min
(2e) Alley yard	3' min	3' min

(c) Building Height and Frontage Requirements.



(1) Building Height Table DT-3 entitled Building Height identifies the maximum building height permitted based upon the lot width and as permitted by individual building Type

Table DT-3. Building Height

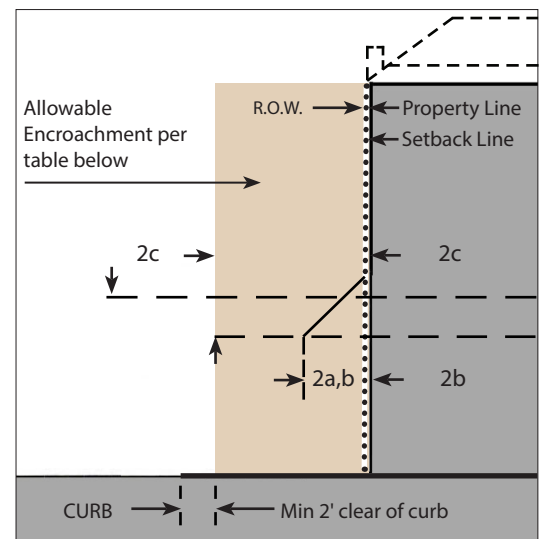
Lot Width	Building Height (stories)	
	Max.	
< 50 ft	3 stories	
51 to 125ft	4 stories	
125 to 175 ft	6 stories	

(2) The ground floor fronting a street or other right-of-way (not including alleys) shall comply with the frontage requirements per Section 41-2039 and per the Table DT-4, entitled Frontage Requirements.

Table DT-4. Frontage Types

Types Permitted	% of frontage
Arcade	Min. 50
Gallery	Min. 50
Shopfront	Min. 75
Forecourt	Max. 50; remainder of frontage per permitted types

(e) Encroachments



(1) Outdoor dining - Such encroachments per approval of PBA and PWA Directors, separate permit and agreement.

(2) Encroachments. Awnings, Signage, Balconies, Bay windows and Frontage Types may encroach into the required setback subject to the standards identified in Table DT-8, entitled Encroachments.

Table DT-8 Encroachments

	Encroachment	Vertical	Horizontal
(2a)	except awnings, and gallery, and arcade frontage types	min 8' clear	max 18"
(2b)	except awnings, and gallery, and arcade frontage types	min 12' clear	max 24"
(2c)	awnings, and gallery, and arcade frontage types	min 10' clear	within 2' of curb
	Side yard	N/A	0'
	Rear yard	to eave [1]	5'

[1] Eave allowed to 3' of property line.

Section 41-2012. Urban Center (UC)

(a) Permitted building types and minimum and maximum height

Table UC-1, entitled Building Types and Minimum and Maximum Height identifies the approved building types and the minimum and maximum height that is permitted for each building type within the UC zone subject to compliance with all applicable standards.

Table UC-1. Building Types and Minimum and Maximum Height.

Building Types	Min Stories	Max Stories
Tower-on-Podium	not allowed	not allowed
Flex Block	2	5
Lined Block	2	5
Stacked Dwellings	2	5
Hybrid Court	not allowed	not allowed
Courtyard Housing	2	5
Live-Work	2	3
Rowhouse	not allowed	not allowed
Tuck-Under Housing	2	3
Bungalow Court	not allowed	not allowed
Duplex/Triplex/Quadplex	not allowed	not allowed

(d) Parking.

(1) Driveway Standards. Table UC-4 identifies the minimum and maximum width of driveways and permitted parking on driveways.

Table UC-4. Driveway Standards

Type	Min Width	Max Width
1-way	8'	12'
2-way	20'	25' [a]
Parking	not permitted	not permitted

[a] Except as modified to meet fire and trash service requirements.

(2) Off-street parking standards

a. Table UC-5 identifies the minimum off-street parking spaces that shall be provided. All fractions shall be rounded up to the next whole number.

Table UC-5. Off-Street Parking Standards.

Use-Type	Parking	Guest Pkg.	In-Lieu [a]
Residential [a]-[b]	2 / unit min	0.15 / unit	guest only
Live-Work	2 / unit min	0.15 / unit	-
Non-Residential	1 / 300 sq ft	-	yes

[a] May be satisfied through In-Lieu Fee and/or Park-Once Program for Urban Center District, if the City Council adopts an In-Lieu Fee and a Park-Once Program where such Program provides that the City Council shall be the final decision maker on approving for each project the use of the In-Lieu Fee alone or in combination with a Park-Once Program to satisfy the parking requirements.

[b] Permanent Special Need Housing including senior housing, will be parked at 1 space per unit minimum.

b. The parking requirements found in Table UC-5 shall apply only to new buildings, additional building area on existing buildings or conversion of existing building area to a new use. Conversion of building area of an historically designated building to a new use, where the building envelope is not increased in size shall have no parking requirement until such time as the City determines that 95 percent capacity on the five existing City controlled parking structures in the downtown has been reached.

c. Vehicular access to the off-street parking is permitted only from an alley or side street when present. Vehicular access to the off-street parking may be taken from primary street only when an alley or side street is not present.

(b) Building Setbacks.

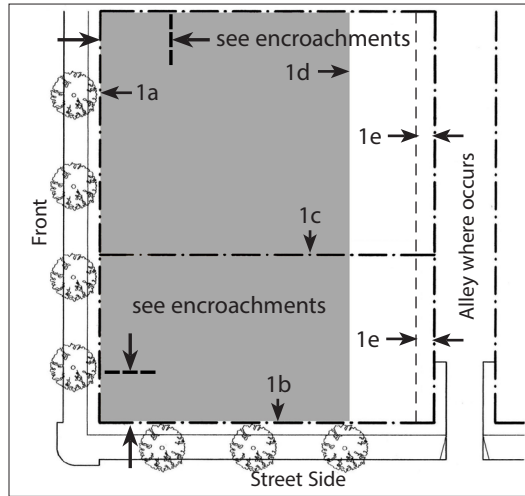
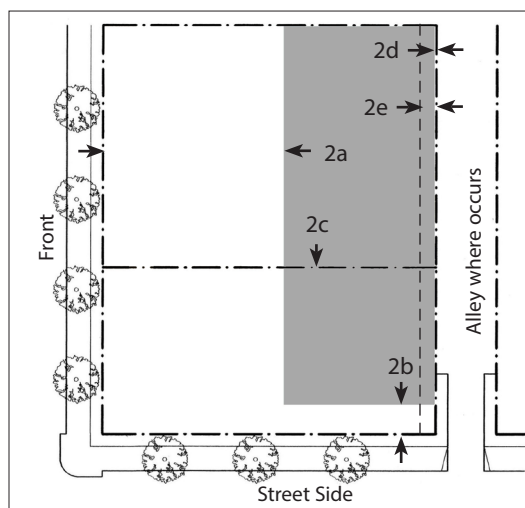


Table UC-2, entitled Building Setback Standards identifies the minimum setbacks required and, where noted, maximum setbacks permitted. The setbacks shall apply to all stories of a building.

Table UC-2. Building Setback Standards.

	Setback	Min.	Max.
(1a)	Front yard	0' [a]	0'
(1b)	Street Side	0' [a]	10'
(1c)	Side yard	0'	No reqmt
(1d)	Rear yard	15'	No reqmt

[a] In situations where the existing sidewalk is 10 feet or less in width, at the discretion of the City of Santa Ana, a setback greater than identified in the above table may be required to effectively result in a 10 foot wide sidewalk.

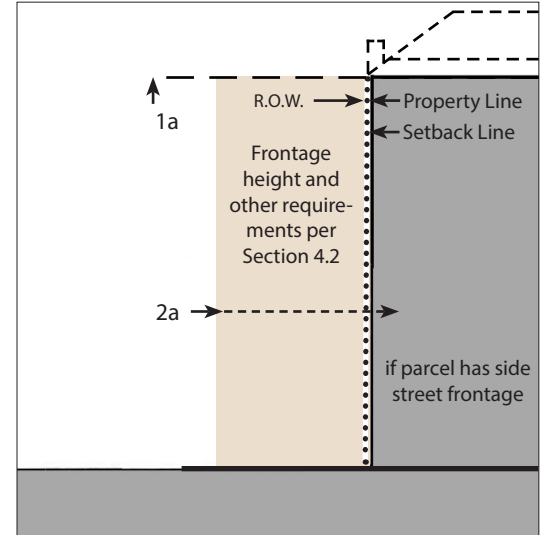


d. Parking setback standards. Table UC-6 identifies the minimum setback standards for the off-street parking.

Table UC-6. Parking Setback Standards.

Setback	Above Grade	Subterranean
(2a) Front yard	min 50% lot depth	5' min
(2b) Street side	5' min	5' min
(2c) Side yard	5' min	5' min
(2d) Rear yard	5' min	5' min
(2e) Alley yard	3' min	3' min

(c) Frontage Requirements.

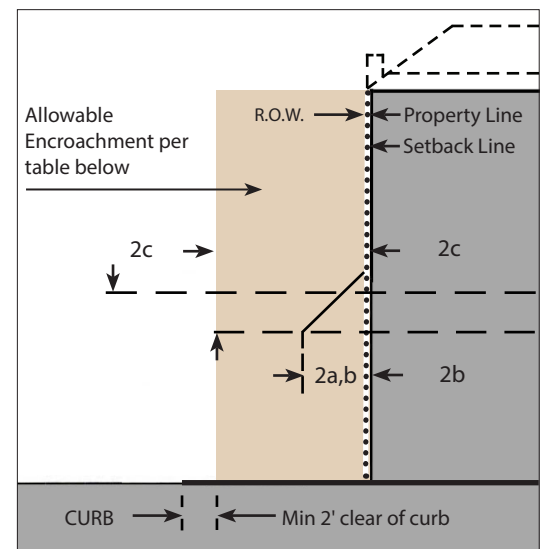


The ground floor fronting a street or other right-of-way (not including alleys) shall comply with the standards for the applicable frontage type, Sections 41-2033 through 41-2039 and the Table UC-3 entitled Permitted Frontage Types.

Table UC-3. Permitted Frontage Types

Frontage Types Permitted	% of frontage
Shopfront	min 65
Forecourt	max 50; remainder of frontage per allowed types
Stoop	max 50
Frontyard/Porch	max 100

(e) Encroachments



(1) Outdoor dining - Such encroachments per approval of PBA and PWA Directors, separate permit and agreement.

(2) Encroachments. Awnings, Signage, Balconies, Bay windows and Frontage Types may encroach into the required setback subject to the standards identified in Table UC-7, entitled Encroachments.

Table UC-7. Encroachments

	Encroachment	Vertical	Horizontal
(2a)	except awnings	min 8' clear	max 18"
(2b)	except awnings	min 12' clear	max 24"
(2c)	awnings	min 10' clear	within 2' of curb
	Side yard	N/A	0'
	Rear yard	to eave [1]	5'
	Alley yard	to eave [1]	3'

[1] Eave allowed to 3' of property line.

Section 41-2013 Corridor (CDR).

(a) Permitted building types and maximum height

Table CDR-1, entitled Building Types and Maximum Height identifies the approved building types and the maximum height that is permitted for each building type within the CDR zone subject to compliance with all applicable standards.

Table CDR-1. Building Types and Maximum Height.

Building Types	Max Stories in CDR
Tower-on-Podium	not allowed
Flex Block	3
Lined Block	not allowed
Stacked Dwellings	not allowed
Hybrid Court	not allowed
Courtyard Housing	not allowed
Live-Work	3
Rowhouse	not allowed
Tuck-Under Housing	not allowed
Bungalow Court	not allowed
Duplex/Triplex/Quadplex	not allowed
House	not allowed

(d) Parking.

(1) Driveway Standards. Table CDR-4 identifies the minimum and maximum width of driveways and permitted parking on driveways.

Table CDR-4. Driveway Standards

Type	Min width	Max width
1-way	8'	12'
2-way	20'	25' [a]
Parking	not permitted	not permitted

[a] Except as modified to meet fire and trash service requirements.

(2) Off-street parking standards

Table CDR-5, entitled Off-Street Parking Standards identifies the minimum off-street parking spaces that shall be provided. All fractions in the parking calculations shall be rounded up to the next whole number.

Table CDR-5. Off-Street Parking Standards.

Use-Type	Parking	Guest Pkg
Residential [a]	2 / unit min	0.25 / unit
Live-Work	2 / unit min	0.25 / unit
Non-Residential	1 / 200 sq ft	-

[a] Permanent Special Need Housing including senior housing, will be parked at 1 space per unit min.

(3) Vehicular Access. Vehicular access to the off-street parking is permitted only from an alley or side street when present. Vehicular access to the off-street may be taken from primary street only when an alley or side street is not present.

(b) Building Setbacks.

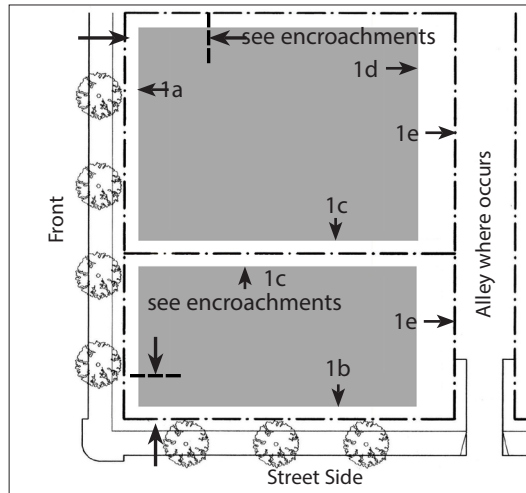
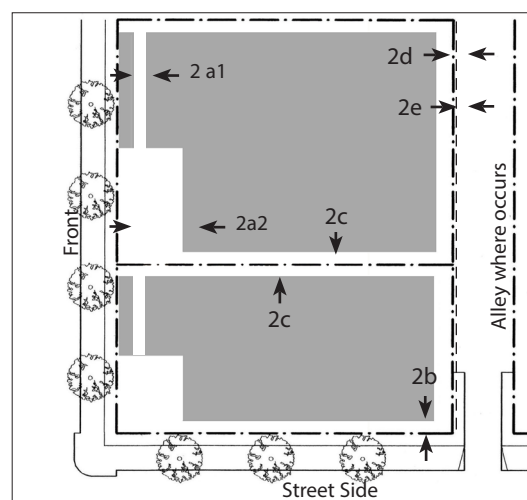


Table CDR-2, entitled Building Setback Standards identifies the minimum setbacks required and, where noted, maximum setbacks permitted. The setbacks shall apply to all stories of a building.

Table CDR-2. Building Setback Standards.

	Setback	Min.	Max.
(1a)	Front yard	5' [a] [b]	15' [b]
(1b)	Street side	5' [a] [c]	10' [c]
(1c)	Side yard	0'	Not applicable
(1d)	Rear yard	15'	Not applicable
(1e)	Alley yard	3'	Not applicable

- [a] In situations where the existing sidewalk is 10 feet or less in width, at the discretion of the City of Santa Ana, a setback greater than identified in the above table may be required to effectively result in a 10 foot wide sidewalk.
- [b] Setback at Grand Ave. is 20' min - 30' max measured from R.O.W as it exists in 2009.
- [c] Setback at Grand Ave. is 15' min - 25' max measured from R.O.W as it exists in 2009.



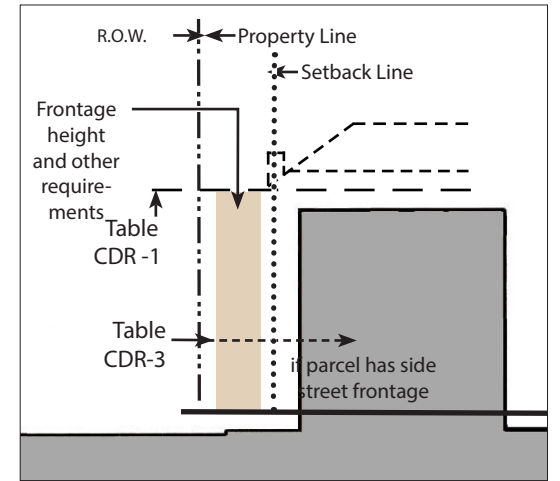
■ Parking Permitted

(4) Parking Setback Standards. Table CDR-6, entitled Parking Setback Standards identifies the minimum setback standards for the off-street parking.

Table CDR-6. Parking Setback Standards

Setback	Above Grade
(2 a1) Front yard	5' for 50% of lot width
(2 a2) Front yard	20% of lot depth for 50% of lot width
(2b) Street side	5' min
(2c) Side yard	5' min
(2d) Rear yard	5' min
(2e) Alley yard	3' min

(c) Frontage Requirements.

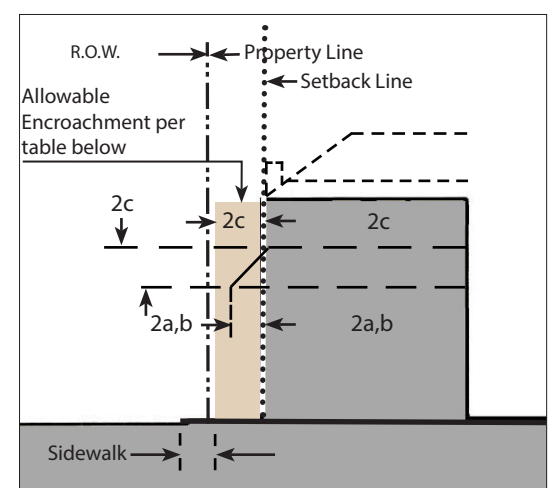


The ground floor fronting a street or other right-of-way (not including alleys) shall comply with the standards for the applicable frontage type, Sections 41-2033 through 41-2039 and the Table CDR-3 entitled Permitted Frontage Types.

Table CDR-3- Permitted Frontage Types

Frontage Types Permitted	% of frontage
Gallery	min 65
Forecourt	max 50; remainder of frontage per allowed types
Shopfront	min 65

(e) Encroachments



- (1) Outdoor dining. Such encroachments per approval of PBA and PWA Directors, separate permit and agreement.
- (2) Encroachments. Awnings, Signage, Balconies, Bay windows and Frontage Types may encroach into the required setback subject to the standards identified in Table CDR-7, entitled Encroachments.

Table CDR-7. Encroachments

	Encroachment	Min Vertical	Max Horizontal
(2a)	Front	(2c) 8' clear	2'
(2b)	Side Street	(2c) 10'	2'
(2c)	Awnings	min 10' clear	2'
	Side yard	Not applicable	0'
	Rear yard	to eave [1]	5'
	Alley yard	to eave [1]	3'

[1] Eave permitted to 3' of property line.

Section 41-2014. Urban Neighborhood 2 (UN-2)

(a) Permitted building types and maximum height.

Table UN2-1, entitled Building Types and Maximum Height identifies the approved building types and the maximum height that is permitted for each building type within the UN-2 zone subject to compliance with all applicable standards.

Table UN2-1. Building Types and Maximum Height.

Building Types	Max Stories in UN2
Tower-on-Podium	not allowed
Flex Block	not allowed
Lined Block	not allowed
Stacked Dwellings	not allowed
Hybrid Court	5 [a]
Courtyard Housing	4
Live-Work	3
Rowhouse	3
Tuck-Under Housing	3
Bungalow Court	2
Duplex/Triplex/Quad-plex	3
House	2

[a] See Regulating Plan for allowable location

(b) Building Setbacks.

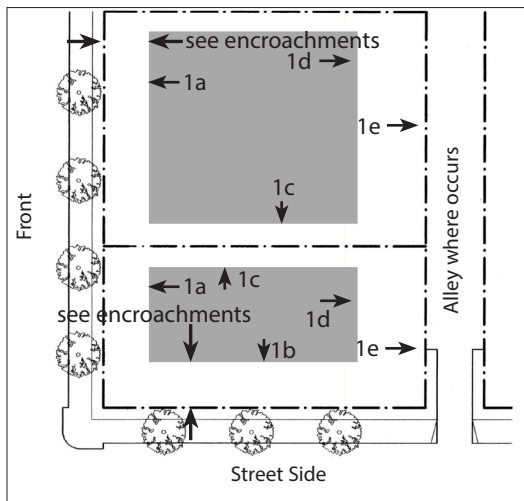


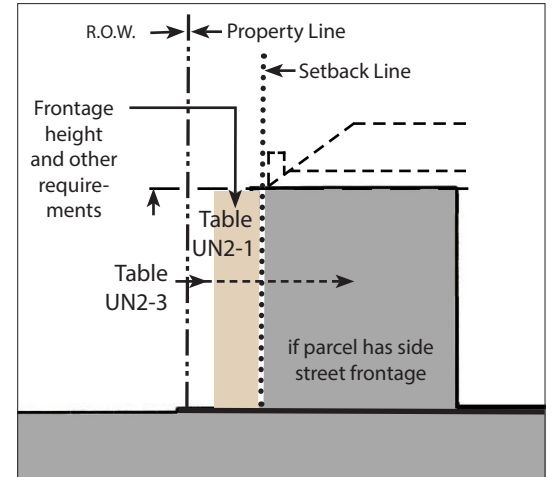
Table UN2-2, entitled Building Setback Standards identifies the minimum setbacks required and, where noted, maximum setbacks permitted. The setbacks shall apply to all stories of a building.

Table UN2-2. Building Setback Standards.

	Setback	Min.	Other Min.
(1a)	Front yard	10' [a]	25' min (Grand Ave 2009 r.o.w.)
(1b)	Street side	10' [a]	Not applicable
(1c)	Side yard	5'-1/2 story	8'- 3 story; 12'-4+stories
(1d)	Rear yard	15'	Not applicable
(1e)	Alley yard	3'	Not applicable

[a] In situations where the existing sidewalk is 10 feet or less in width, at the discretion of the City of Santa Ana, a setback greater than identified in the above table may be required to effectively result in a 10 foot wide sidewalk.

(c) Frontage Requirements.



The ground floor fronting a street or other right-of-way (not including alleys) shall comply with the standards for the applicable frontage type, Sections 41-2033 through 41-2039 and the Table UN2-3 entitled Permitted Frontage Types.

Table UN2-3. Permitted Frontage Types

Frontage Types Permitted	% of frontage
Shopfront	min 65
Forecourt	max 50; remainder of frontage per allowed types
Stoop	max 50
Frontyard/Porch	max 100

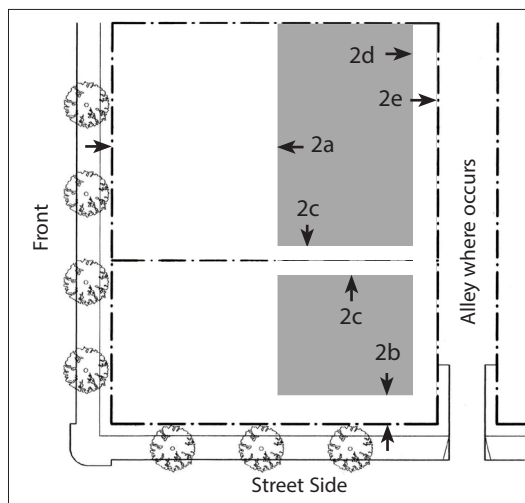
(d) Parking.

(1) Driveway Standards. Table UN2-4 identifies the minimum and maximum width of driveways and permitted parking on driveways.

Table UN2-4. Driveway Standards

Type	Min Width	Max Width
1-way	8'	12' or width of garage
2-way	20'	25' [a]
Parking [b]	permitted	permitted

[a] Except as modified to meet fire and trash service requirements.
 [b] Provided the vehicles on such driveway do not obstruct access to parking spaces serving any other unit.

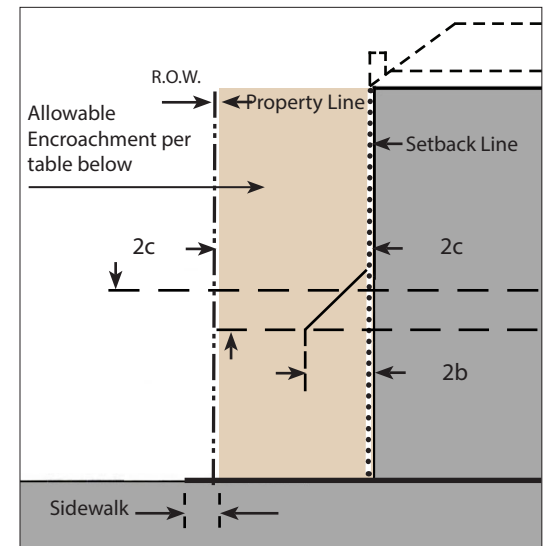


(4) Parking Setback Standards - Table UN2-6, entitled Parking Setback Standards identifies the minimum setback standards for the off-street parking.

Table UN2-6. Parking Setback Standards

Setback	Above Grade	Subterranean
(2a) Front yard	50% lot depth	10' min
(2b) Street side	10' min	10' min
(2c) Side yard	5' min	5' min
(2d) Rear yard	5' min	5' min
(2e) Alley yard	3' min	3' min

(e) Encroachments



1. Outdoor dining - Such encroachments per approval of PBA and PWA Directors, separate permit and agreement.
2. Encroachments. Awnings, Signage, Balconies, Bay windows and Frontage Types may encroach into the required setback subject to the standards identified in Table UN2-7, entitled Encroachments.

Table UN2-7. Encroachments

	Encroachment	Vertical	Horizontal
(2a)	except awnings	min 8' clear	max 18"
(2b)	except awnings	min 12' clear	max 24"
(2c)	awnings	min 10' clear	2'
	Side yard	N/A	0'
	Rear yard	to eave [1]	5'
	Alley rear yard	to eave [1]	3'

[1] Eave allowed to 3' of property line.

Section 41-2015. Urban Neighborhood 1 (UN-1)

(a) Permitted building types and maximum height

Table UN1-1, entitled Building Types and Maximum Height identifies the approved building types and the maximum height that is permitted for each building type within the UN1 zone subject to compliance with all applicable standards.

Table UN1-1. Building Types and Maximum Height.

Building Types	Max Stories in UN1
Tower-on-Podium	not allowed
Flex Block	not allowed
Lined Block	not allowed
Stacked Dwellings	not allowed
Hybrid Court	not allowed
Courtyard Housing	not allowed
Live-Work	2
Rowhouse	not allowed
Tuck-Under Housing	not allowed
Bungalow Court	2
Duplex/Triplex/Quadplex	2
House	2

(d) Parking.

(1) Driveway Standards. Table UN1-4 identifies the minimum and maximum width of driveways and permitted parking on driveways.

Table UN1-4. Driveway Standards

Type	Min Width	Max Width
1-way	8'	12' or width of garage
2-way	20'	25' [a]
Parking [b]	permitted	permitted

[a] Except as modified to meet fire and trash service requirements.
 [b] Provided the vehicles on such driveway do not obstruct access to parking spaces serving any other unit.

(2) Off-street parking standards

Table UN1-5, entitled Off-Street Parking standards identifies the minimum off-street parking spaces that shall be provided. All fractions in the parking calculations shall be rounded up to the next whole number.

Table UN1-5. Off-Street Parking Standards.

Use-Type	Parking	Guest Pkg
Residential [a]	2 / unit min	0.25 / unit
Live-Work	2 / unit min	0.25 / unit
Non-Residential: <750 sq ft	1 / unit min	-
Non-Residential: 751-1200 sq ft	2 / unit min	-
Non-Residential: 1201-1500 sq ft	2 + 0.5 / 500 s.f.	-

[a] Permanent Special Need Housing including senior housing, will be parked at 1 space per unit min.

(3) Vehicular access to the off-street parking is permitted only from an alley or side street when present. Vehicular access to the off-street may be taken from primary street only when an alley or side street is not present.

(b) Building Setbacks.

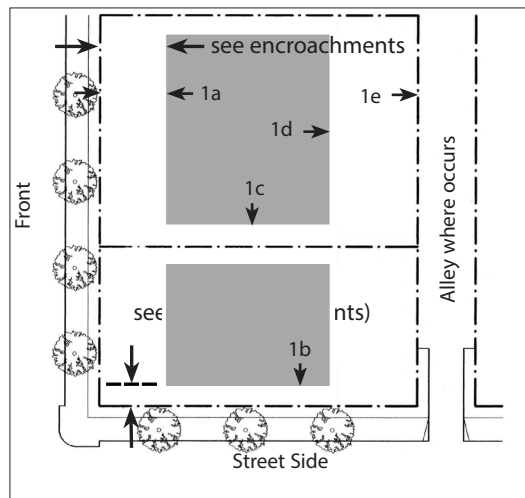
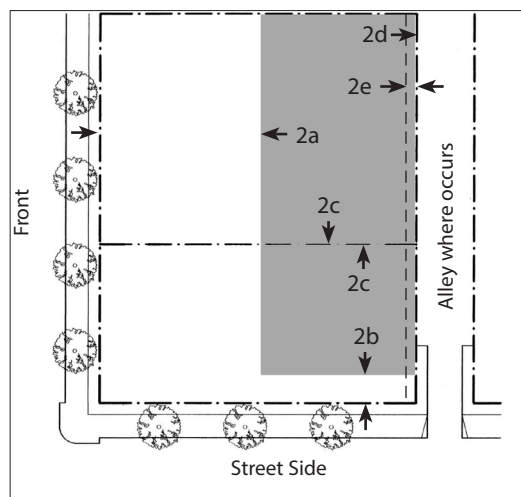


Table UN1-2, entitled Building Setback Standards identifies the minimum setbacks required. The setbacks shall apply to all stories of a building.

Table UN1-2. Building Setback Standards.

	Setback	Min.
(1a)	Front yard	20'
(1b)	Street side	10'
(1c)	Side yard	5'
(1d)	Rear yard	20'
(1e)	Alley yard	3'



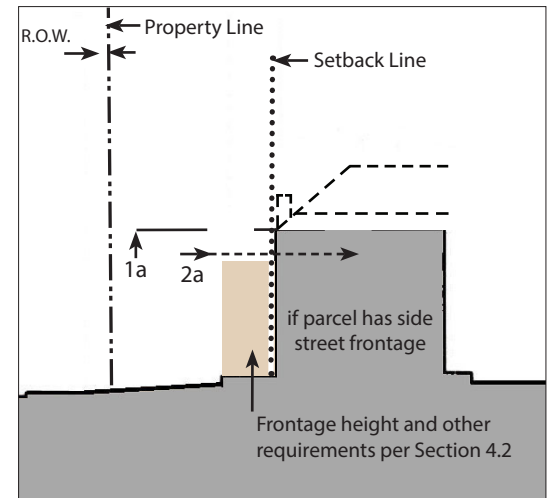
■ Parking Permitted

(4) Parking Setback Standards - Table UN1-6, entitled Parking Setback Standards identifies the minimum setback standards for the off-street parking.

Table UN1-6. Parking Setback Standards

Setback	Above Grade
(a) Front yard	20% lot depth
(b) Street side	10' min
(c) Side yard	0' min
(d) Rear yard	0' min
(e) Alley yard	3' min

(c) Frontage Requirements.

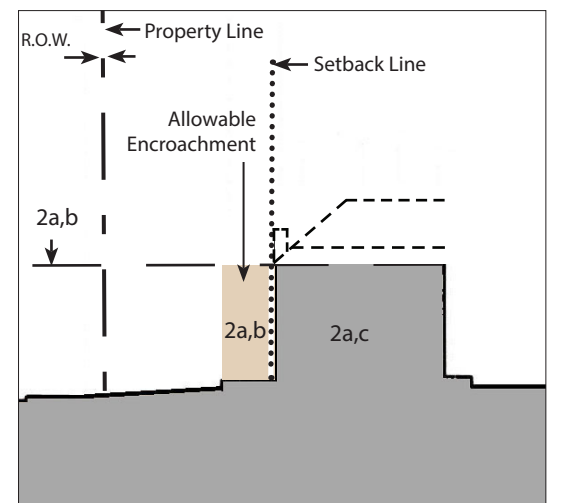


The ground floor fronting a street or other right-of-way (not including alleys) shall comply with the standards for the applicable frontage type, Sections 41-2033 through 41-2039 and the Table UN1-3 entitled Permitted Frontage Types.

Table UN1-3- Permitted Frontage Types

Types Permitted	% of frontage
Stoop	max 50
Frontyard/Porch	max 100

(e) Encroachments



1. Outdoor dining - Not permitted.
2. Encroachments. Awnings, Signage, Balconies, Bay windows and Frontage Types may encroach into the required setback subject to the standards identified in Table UN1-7, entitled Encroachments.

Table UN1-7. Encroachments

	Encroachment	Horizontal	Vertical
(2a)	Porch	max 5'	see 41-2039
(2b)	Bay window, balcony	max 2'	to eave [1]
(2c)	Side yard	max 2'	to eave [1]
	Rear yard	5'	to eave [1]
	Alley rear yard	3'	to eave [1]

[1] Eave allowed to 3' of property line.