

Illustrative Axonometric Diagram



Illustrative Photo: Tower on Podium



Illustrative Photo: Tower with stoop front-



Left: Illustrative Photo: Tower-on podium

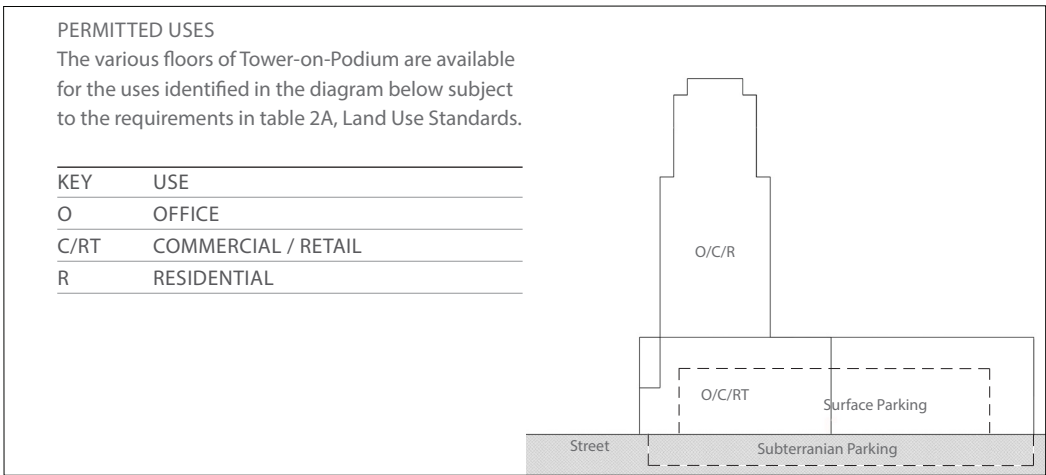
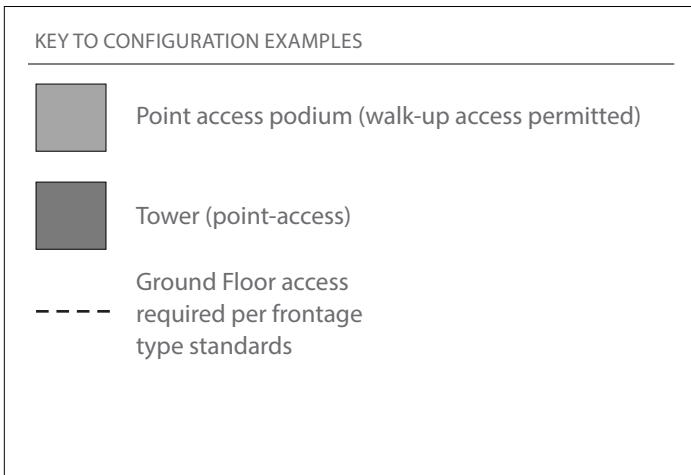
**Sec. 41-2021. Tower-on Podium Building Type**

- (a) Tower-on-Podium is a multi-level building organized around a central core with the first two to five floors expressed as a podium building.
- (b) Lot Width and Depth. The minimum and maximum lot width and the minimum lot depth shall be as prescribed in Table BT-1 (Permitted Building Types).
- (c) Access Standards
  - (1) Entrance to the tower shall be through a street level lobby.
  - (2) Entrance to each ground floor unit shall be directly from the street at least every 50 feet. The entrance to each podium floor unit shall be directly from the podium.
  - (3) Access to all other units shall be through a lobby and elevator.
  - (4) Access to each unit above the third level, not accessed through a podium, shall be through a central interior corridor of at least 6 feet in width with recessed doors or seating alcoves/off-sets at least every 100 feet.
  - (5) Each level of the building shall have access to the garage via an elevator.
  - (6) Entrance to the residential portion of the building shall be through a dedicated street level lobby, or through a dedicated podium lobby accessible from the street or through a side yard.
- (d) Parking Standards
  - (1) Required parking shall be in a completely concealed garage. If the garage is partially or wholly on the ground, then it shall be lined by a commercial or residential units.
  - (2) Dwellings shall have indirect access to their parking stall(s).
- (e) Service Standards
  - (1) Utility meters shall be screened from view from the street and shall not be located within any required landscape or setback area.
  - (2) Mail boxes shall not be located in any required open space, landscape or setback areas or detract from the primary entrance to the development.
- (f) Open Space Standards
  - (1) A quadrangle-shaped common open space (hereinafter 'quad') of at least 20 percent of the lot shall be located on the ground level, on a podium or on a roof garden. The quad shall be open to the sky.
  - (2) Minimum dimensions for the quad shall be 60 feet in each direction. Permitted frontage types and architectural projections are permitted on all sides of the quad provided that the overall minimum dimension of quad is maintained.
  - (3) Private open space shall be provided for each residential unit and shall be no less than 50 square feet with a minimum dimension of 6 feet in each direction.
  - (4) Private open space may be substituted for additional common open space or common interior space, the size of which will be equivalent to the displaced private open space. The minimum dimension of this space shall be 20 feet in each direction.
- (g) Landscape Standards
  - (1) A minimum of four (4), 36-inch box canopy trees shall be planted per quad.
  - (2) Where side yards are present, one (1) 24-inch box tree per 30 lineal feet to protect privacy of neighbors. The trees may be placed in groups in order to achieve a particular design.
  - (3) Smaller quads in interior courtyards will require shade tolerant plant materials.
  - (4) Six (6), five-gallon size shrubs, ten (10) one-gallon size herbaceous perennials/shrubs and turf or acceptable dry climate ground cover shall be planted for every required tree.
- (h) Frontage Standards
  - (1) Arcades, galleries, shopfront and forecourt may not encroach into the required minimum dimension of a quad.
- (i) Building Size and Massing Standards
  - (1) Buildings shall be composed of bases and towers. Bases shall be 2 to 5 stories with towers representing a proportionally smaller footprint as specified in Table BT-3, entitled Maximum Ratio for each Tower-on-Podium Story and composed as bundles of different heights to enrich the skyline of the City.
  - (2) Buildings may contain any of 3 types of dwellings: flats, townhouses and lofts.
  - (3) Units may be as repetitive or unique as deemed by individual designs.
  - (4) Buildings may be composed of one dominant volume, flanked by secondary ones.
  - (5) The Towers-on-Podium shall comply with the height ratios established in Table BT-3:

Table BT-3. Maximum Ratio for Each Tower-on-Podium Story				
STORY	Maximum Ratio of each Tower-on-Podium Story			
	Ground Floor	2-5	6-20 (or middle 3/5 of the building)	21-25 (or top 1/5 of the building)
% of ground floor by story	100%	100%	50% [1]	35%

[1] For any percentage less than 100%, the percentage refers to the percentage of the ground floor footprint of the building area that is permitted for this particular story.

- (j) Accessory Dwellings. Accessory dwellings shall not be permitted.
- (k) Accessory Structures. Accessory structures shall not be permitted.



Illustrative Section Configuration Diagram

Below: Examples of allowed Tower-on-Podium site configurations

