

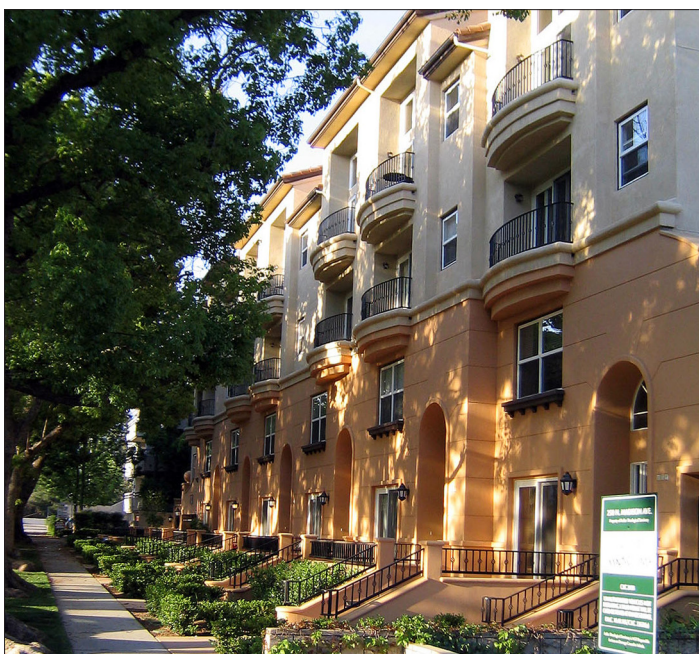
Illustrative Axonometric Diagram



Illustrative Photo: Stacked Dwellings



Illustrative Photo: Stacked Dwellings with a stoop entry



Illustrative Photo: Stacked Dwellings with stoops

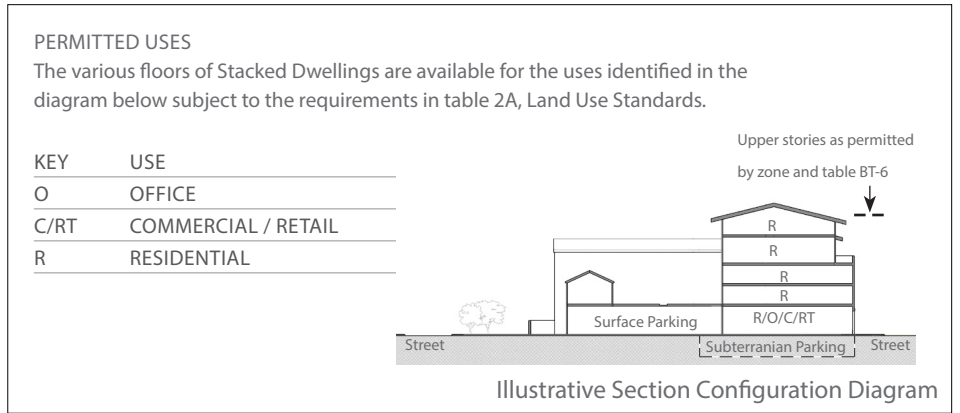
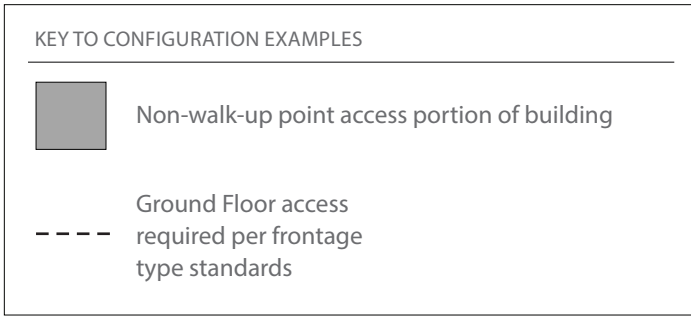
Sec. 41-2024. Stacked Dwellings Building Type.

- (a) A Stacked Dwelling is a structure of single-floor or multi-floor dwellings of similar configuration either above or below that are stacked.
- (b) Lot Width and Depth. The minimum and maximum lot width and the minimum lot depth shall be as prescribed in Table BT-1 (Permitted Building Types).
- (c) Access Standards
 - (1) Entrance to the residential portions of the building shall be through a street level lobby, courtyard access, or through a combination of street/podium lobby directly accessible from the street.
 - (2) The main entrance to each ground floor unit shall be directly from the street. Secondary access shall be through an elevator and corridor.
 - (3) Access to each unit above the second level, not accessed through a podium, is through an interior corridor of at least 6 feet in width with recessed doors or seating alcoves/offsets at least every 100 feet.
 - (4) Each level of the building shall have access to the garage via an elevator.
- (d) Parking Standards
 - (1) Required parking shall be accommodated in an underground garage, surface parking, tuck under parking, or a combination thereof.
 - (2) Dwellings shall have indirect access to their parking stall(s).
- (e) Service Standards
 - (1) Utility meters shall be screened from view from the street and shall not be located within any required landscape or setback area.
 - (2) Mail boxes shall not be located in any required open space, landscape or setback areas or detract from the primary entrance to the development.
- (f) Open Space Standards
 - (1) The common open space shall be designed as a courtyard. This common open space shall be equal to 15 percent of the lot and open to the sky. Courtyards may be located on the ground or on a podium. Side yards may be formed as common use gardens.
 - (2) Minimum courtyard dimension is 40 feet when the long axis of the courtyard is oriented EW and 30 feet for a NS orientation. Courtyard proportions shall not be less than 1:1 between the width of the courtyard and the height of the building for at least 2/3 of the court's perimeter. Horizontal shifts in upper floors adjacent to a court shall not exceed 1/2 the height of each upper floor.
 - (3) In 40 foot wide courtyards, frontages and architectural projections are permitted on two opposing sides of the courtyard provided a minimum courtyard width of 40 feet is maintained. Frontages and architectural projections are permitted on one side of a 30 foot wide courtyard provided a minimum courtyard width of 30 feet is maintained.
 - (4) Private open space shall be provided for each residential unit and shall be no less than 50 square feet with a minimum dimension of 6 feet in each direction.
 - (5) Private open space may be substituted for additional common open space or common interior space, the size of which will be equivalent to the displaced private open space. The minimum dimension of this space shall be 15 feet in each direction.
- (g) Landscape Standards
 - (1) Front yard trees shall not exceed the height of the buildings at maturity, except at the margins of the lot, where they may be used to frame and separate the building from its neighbors. The trees shall be planted at the rate of one (1) 24-inch box tree per 25 lineal feet of front yard. The trees may be placed in groups in order to achieve a particular design.
 - (2) In the rear yard, at least one (1) 36-inch box canopy tree per 30 lineal feet shall be planted directly in the ground.
 - (3) Courtyards located over garages shall be designed to avoid the sensation of forced podium hardscape.
 - (4) One 36-inch box specimen tree is required per courtyard that meets the minimum dimensions. For courtyards that exceed the minimum dimensions, two or more 24-inch box smaller size trees may be substituted for the 36-inch box tree.
 - (5) Six (6) 5-gallon size shrubs, ten (10) one-gallon size herbaceous perennials/shrubs and turf or acceptable dry climate ground cover shall be planted for every required tree.
 - (6) Side yard trees shall be placed to create a particular sense of place at a rate of one 24-inch box tree per 30 lineal feet.
- (h) Frontage Standards
 - (1) Living rooms, dining rooms and bedrooms are oriented fronting toward the courtyard(s) or street. Service rooms are oriented backing to corridors.
 - (b) Stoops up to 3 feet in height may be placed above subterranean parking, provided the area adjacent is landscaped and the stoops are scaled to the street and building.
- (i) Building Size and Massing Standards
 - (1) Buildings may contain any of 3 types of dwellings: flats, townhouses and lofts.
 - (2) Units may be as repetitive or unique as deemed by individual designs.
 - (3) Buildings may be composed of one dominant volume, flanked by secondary ones.
 - (4) Each unit shall have at least one side exposed to the outdoors with direct access to common or private open space.
 - (5) A Stacked Dwellings shall comply with the height ratios established in Table BT-6 entitled Maximum Ratio for Each Stacked Dwellings Story.

Table BT-6				
Maximum Ratio of each Stacked Dwellings Story				
STORY	Ground Floor	2	3-5	6
% of ground floor by story	100%	100%	85%[1]	85%

[1] For any percentage less than 100%, the percentage refers to the percentage of the ground floor footprint of the building area that is permitted for this particular story.

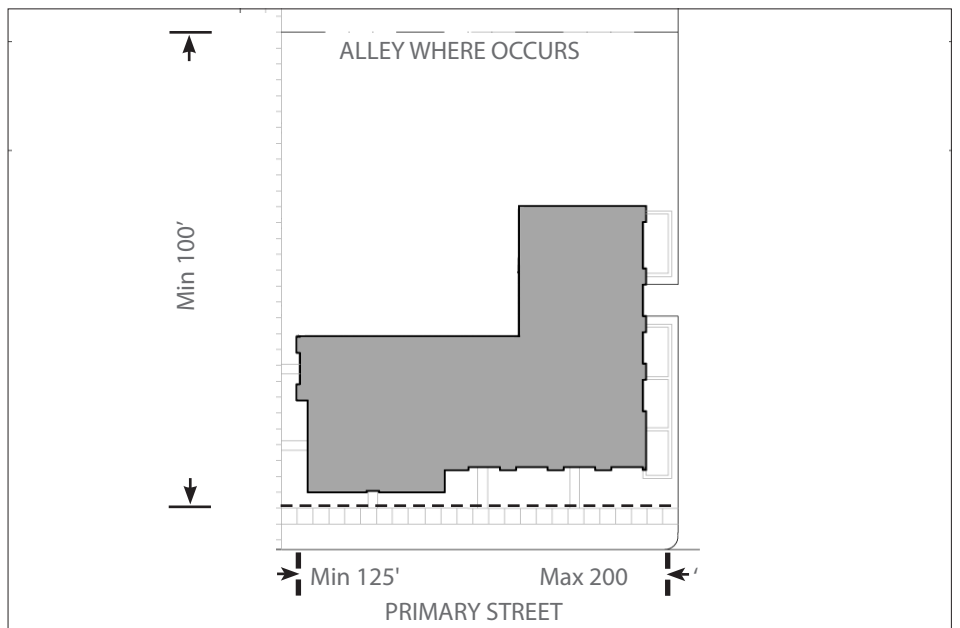
- (j) Accessory Dwellings. Accessory dwellings shall not be permitted.
- (k) Accessory Structures. Accessory structures shall not be permitted.



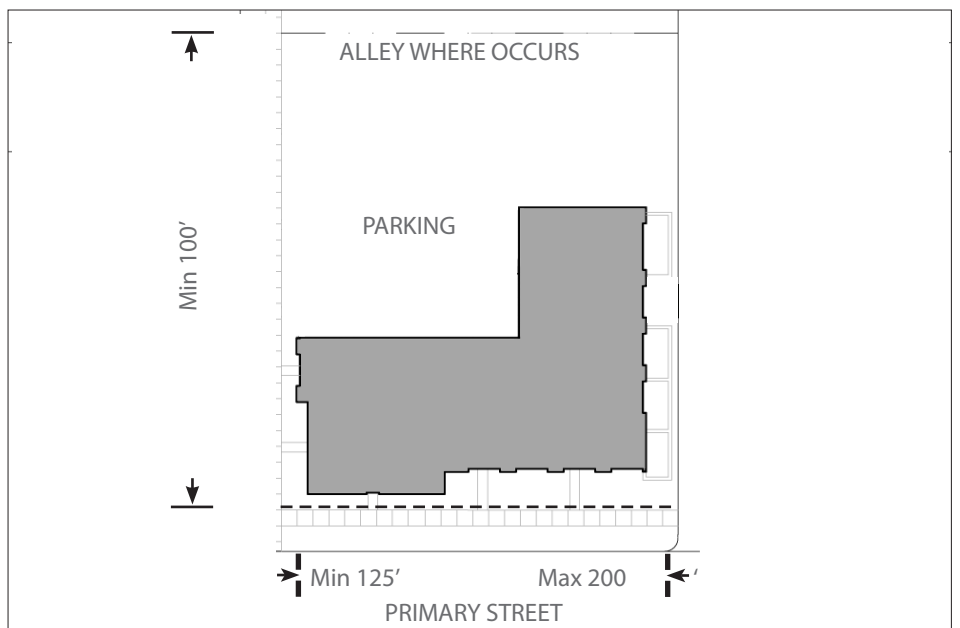
Below: Examples of allowed Stacked Dwelling site configurations



Illustrative Plan Diagram - Example A



Illustrative Plan Diagram - Example B



Illustrative Plan Diagram - Example C