



SPECIFIC DEVELOPMENT NO. 65
AMENDMENT APPLICATION 98-03
NS-2362

CITY COUNCIL ACTION
AUGUST 3, 1998

GAS: 7/14/98

ORDINANCE NO. NS-2362

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF SANTA ANA REZONING CERTAIN PROPERTY LOCATED AT 2500 NORTH MAIN STREET FROM THE PROFESSIONAL ZONE DISTRICT (P) TO SPECIFIC DEVELOPMENT NO. 65 (AA NO. 98-03) AND ADOPTING SPECIFIC DEVELOPMENT NO. 65 FOR SAID PROPERTY

WHEREAS, Amendment Application No. 98-03 has been filed with the City of Santa Ana by the Discovery Science Center (DSC), to change the zoning district designation of certain real property located generally at the northwest corner of Main Street and the I-5 Freeway, bound by Santiago Creek to the North, Main Street to the east and the I-5 Freeway to the west and south, in the City of Santa Ana, and more specifically delineated in Exhibit 1, attached hereto and incorporated herein by reference, from the P (Professional) Zoning District to the SD No. 65 (Specific Development) Zoning District, and to adopt Specific Development Plan No. 65, in the form set forth in Exhibit 2, attached hereto and incorporated herein by reference, for certain property located at 2500 North Main Street as hereinafter set forth; and

WHEREAS, the applicant, Discovery Science Center, proposes to develop said property in accordance with Development Agreement No. 97-01, Site Plan DP No. 97-27, and Specific Development Plan No. 65; and

WHEREAS, the Planning Commission of the City of Santa Ana held a duly noticed public hearing on July 13, 1998, on Amendment Application No. 98-03 and Specific Development Plan No. 65, and, based thereon, determined that the development as proposed therein is consistent with the General Plan of the City of Santa Ana, and, subject to certain modifications, recommended that the City Council approve Amendment Application No. 98-03 for Specific Development Plan No. 65; and

WHEREAS, this Council, prior to taking action on this ordinance, has held a duly noticed public hearing, on Amendment Application No. 98-03 for Specific Development Plan No. 65.

NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF SANTA ANA DOES ORDAIN AS FOLLOWS:

1. The SD (Specific Development) district designation and Specific Development Plan No. 65, as proposed in Amendment Application No. 98-03, are hereby found and determined to be consistent with the General Plan of the City of Santa Ana and otherwise justified by the public necessity, convenience and general welfare.

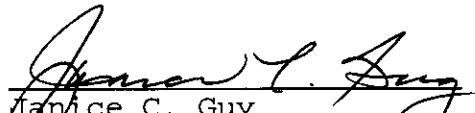
2. That certain real property located at 2500 North Main Street and designated in Exhibit 1, attached hereto and incorporated herein by reference, is hereby reclassified from the P (Professional) district to Specific Development No. 65.

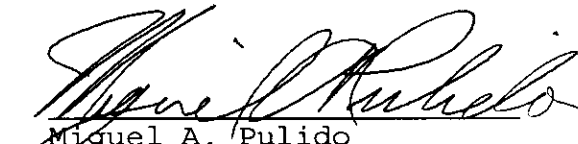
3. Amended Sectional District Map number 1-5-10, showing the above described change in use district designation, is hereby approved.

4. Specific Development Plan No. 65, set forth in Exhibit 2, attached hereto and incorporated herein, is hereby approved and adopted for the abovesaid property.

ADOPTED this 3rd day of August, 1998.

ATTEST:



Janice C. Guy
Clerk of the Council


Miguel A. Pulido
Mayor

COUNCILMEMBERS:

Pulido Absent
Richardson Aye
Espinoza Absent
Franklin Aye
Lutz Aye
McGuigan Aye
Moreno Aye

APPROVED AS TO FORM:


Gary A. Sheatz
Assistant City Attorney

Ordinance No. NS-2362

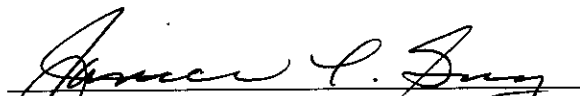
CERTIFICATE OF ORIGINALITY & PUBLICATION

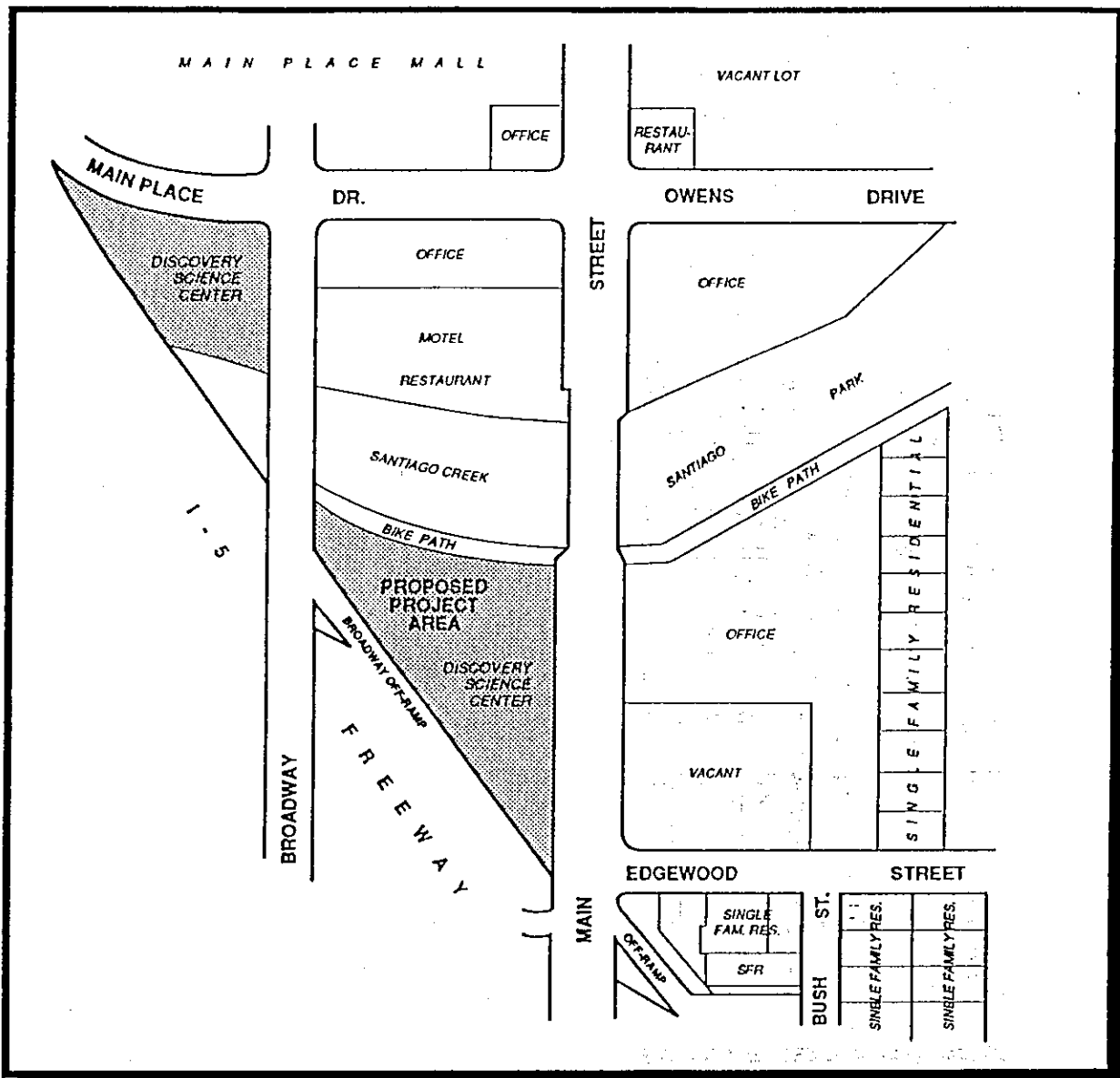
State of California

County of Orange


I, JANICE C. GUY, Clerk of the Council, do hereby certify the attached Ordinance No. NS-2362 to be the original ordinance adopted by the City Council of the City of Santa Ana on 8/3/98; and that said ordinance was published in accordance with the Charter of the City of Santa Ana.

Date: 8/6/98


Clerk of the Council
City of Santa Ana



AA 98-3/SD-65
DISCOVERY SCIENCE CENTER
2500 NORTH MAIN STREET

 Zoning: From (P) Professional to (SD -65) Specific Development



300' FEET RADIUS

P L A N N I N G A N D B U I L D I N G A G E N C Y

EXHIBIT 1

**SPECIFIC DEVELOPMENT 65
DISCOVERY SCIENCE CENTER**

SECTION 1 - APPLICABILITY OF ORDINANCE

The Specific Development zoning district for the subject property, as authorized by Chapter 41, Division 26, Section 41-593 of the Santa Ana Municipal Code, is specifically subject to the standards and regulations contained in this plan for the express purpose of establishing land use regulations and standards for the Discovery Science Center.

Development Agreement No. 97-01, Variance No. 97-03, and Development Review Process No. 96-27, and applicable sections of the City's Municipal Code and Design and Development shall apply to this district unless superseded by this ordinance. The approved plans, drawings, and specifications as noted in Development Review Process No. 96-27 are included as a part of this Specific Development District (Attachment A).

SECTION 2 - PURPOSE

The Santa Ana City Council has determined that the Discovery Science Center represents a cultural, education, and economic icon to the greater Santa Ana community. Specific Development 65 has been drafted to recognize the unique physical and technological characteristics of the Museum and Science Center complex.

The Specific Development District Plan incorporates the unique site plan components of the building and site structures by reference. The sign program identified in this Plan captures the value of excellence and design principles as defined by the community policy board.

The standards identified in this plan provide for property site planning and sound design principles which should provide positive education stimulus to the greater Santa Ana community.

SECTION 3 - USES PERMITTED

A. Museum and science center.

B. Professional zoned uses:

- 1. Uses permitted as adopted from the Professional (P) district:**
 - (a) Professional, business and administrative offices where no merchandise is sold.
 - (b) Banks, savings and loan offices, credit unions, and mortgage and finance companies.

- (c) Travel agencies.
 - (d) Medical and dental offices.
 - (e) Art galleries, art and photography studios.
 - (f) Museums and science centers.
 - (g) Print and copy services.
 - (h) Pharmacies, limited to the dispensing of goods and merchandise related to health care only, and excluding drive-through facilities.
 - (i) Day care and nursery schools.
 - (j) Non-freestanding commercial and service uses which do not exceed 10 percent of the floor space of the building in which they are located and which are supportive of, compatible with, and integrated into the professional and business uses on the same property, excluding drive-through facilities, and commercial uses which are open at any time between the hours of 12:00 a.m. (midnight) and 5:00 a.m.
 - (k) Freestanding restaurants, cafes, and eating establishments, excluding drive-through facilities and excluding any eating establishment specified in Section 41-313.5 of the Santa Ana Municipal Code.
- 2. Uses permitted subject to the issuance of a conditional use permit:**
- (a) Convalescent hospitals, nursing homes, rest homes, and extended care facilities.
 - (b) Hospitals.
 - (c) Trade and professional schools.
 - (d) Health clubs and gymnasiums.
 - (e) Recreational or entertainment uses if carried on in conjunction with any of the uses specified in clauses (e), (f) and (k) of Section 41-313 of the Santa Ana Municipal Code.
 - (f) Ambulance and emergency medical response services.
 - (g) Non-freestanding commercial and service uses which are open at any time between the hours of 12:00 a.m. (midnight) and 5:00 a.m., provided that such uses also meet the standards for commercial and service uses permitted under Section 41-313 of the Santa Ana Municipal Code, and further provided that such uses have less than 20,000 square feet of floor area.

- (h) Eating establishments open at any time between the hours of 12:00 a.m. (midnight) and 5:00 a.m. and located within 150 feet of residentially zoned or used property, measured from property line to property line.

SECTION 4 - BUILDING HEIGHT

A. Museum and science center.

Per Article III, Section 41-314, Chapter 41 of the Santa Ana Municipal Code.

B. Professional zoned uses.

Per Article III, Section 41-314, Chapter 41 of the Santa Ana Municipal Code.

SECTION 5 - BUILDING SETBACKS

A. Museum and science center.

North (front)

Fifteen (15') feet wide for the first 250 feet measured from the front property line; seven feet wide thereon, along the Santiago Creek.

South (rear)

Approximately 115 feet from the southern most intersection of the property lines as measured along the east property line. This measurement was taken to the perimeter edge of the cube structure.

East (side)

Fifteen (15') feet wide, except at the existing building where it shall be a minimum of 12 feet wide.

West (side)

Ten (10') feet, except between the building and the freeway property line, where five feet is required. No setback required in parking lot areas abutting the freeway.

B. Professional zoned uses.

Per Article III, Section 41-315, Chapter 41 of the Santa Ana Municipal Code.

SECTION 6 - LANDSCAPE REQUIREMENTS

A. Museum and science center.

1. Primary landscape areas:

North (front)

Fifteen (15') feet for the first 250 feet measured from the east property line. Seven (7') feet minimum thereon along the bike trail.

South (rear)

Ten (10') feet, except existing building where a minimum five feet setback must be maintained. No setback is required along parking areas adjacent to the freeway where vine pockets must be provided at six feet intervals.

East (side)

Fifteen (15') feet, except at existing building where a minimum twelve (12') feet wide setback must be maintained. Corner parcel on Main Street and the Freeway, is to remain open space for the Center's outdoor activities, except for an area under the cube structure and the required exit paths.

West (side)

None required.

2. Landscape around building perimeter.**North (front)**

Five (5') feet except at front plaza, and required exits. A five foot planter is required around the outdoor dining terrace, except at required exits and ticket booth.

South (rear)

Five (5') feet, except at exits and rear storage yard where the five feet landscape requirement is to be relocated along the west retaining wall of the exit ramp.

East (side)

Fifteen (15') feet, except at the existing building where twelve (12') feet is required.

West (side)

No landscaping is required on the west building wall.

3. Landscape in parking lot and parking structures.

- (a) Date palms along the pedestrian promenade.
- (b) One standard planter at each end of a row of parking spaces, plus seven standard 8'6" x 18' landscape fingers. All planters must have a canopy tree per landscape plans approved.
- (c) Any unimproved areas must be landscaped, except at required pedestrian paths.

4. Landscape along the Santiago Creek.

A 15 foot wide landscape planter along the first 250 feet measured from the east property line; and minimum seven (7') feet wide thereon.

NOTE:

Landscape standards not addressed above shall be subject to Article II, Section 41-316, 317, 319, and 320 and Article XVI, Chapter 41 of the Santa Ana Municipal Code.

B. Professional zoned uses.

Per Article II, Section 41-316, 317, 319, and 320, Chapter 41 of the Santa Ana Municipal Code.

Per Article XVI, Chapter 41 of the Santa Ana Municipal Code.

SECTION 7 - PARKING REQUIREMENTS

A. Museums and science centers.

Vehicular parking shall be per Article XV of the Santa Ana Municipal Code.

Bus parking spaces for five (5) vehicles on site; and off-site parking and queuing per the Bus Parking Management Plan. The Bus Parking Management Plan is herein incorporated by reference.

B. Professional zoned uses.

Per Article XV, Chapter 41 of the Santa Ana Municipal Code.

SECTION 8 - EXTERIOR WALL REQUIREMENTS

A. Museums and science centers.

Masonry sound walls (6') along west property line abutting the freeway. No solid wall required along the Santiago Creek.

B. Professional zoned uses.

Per Article IV, Section 41-322, Chapter 41 of the Santa Ana Municipal Code.

SECTION 9 - SIGNAGE

A. Museums and science centers

All signs and modifications to signs require Planning Commission site plan review approval. All signs shall be designed consistent with or proportionately smaller than that which is depicted on Attachment B.

1. Wall Signs

- (a) Two wall mounted signs with each face no greater than 544 square feet facing the I-5 Freeway, with no portion extending more than five feet above the parapet line, on the building's west and south elevations. No exposed external illumination is permitted.

Each sign may be composed of the following elements:

- (1) The top portion may be an internally illuminated fixed sign with the name of the facility.
- (2) The middle portion may consist of a tri-vision display with triangular blends displaying three different on-site exhibit images rotating at timed intervals. There may be no more than 10 items of text, not to exceed 15 percent of the tri-vision sign area. The tri-vision sign may contain external illumination from the bottom of the sign provided the sources of light are fully screened from public view.
- 3) The bottom portion may be an electronic reader board consisting of two lines of illuminated text with changing messages to the public. The reader board shall be utilized for the purpose of announcing information related to the programming and operations of the Discovery Science Center and may also be utilized to announce events related to other non-profit organizations in the community. Operation of the reader board is subject to an annual review by the City Council for the first two years of operation. Said review shall be a noticed public hearing to ensure compliance with the aforementioned provisions. Should the City Council determine that the operation of the reader board does not comply with the conditions contained herein, the Council may order cessation of the operation of the reader board or impose such other conditions that ensure acceptable standards for its operation.

2. Freestanding signs

One freestanding internally illuminated monument sign (7'x 5'6") located in the landscape setback on Main Street. The sign is to be designed consistent with the wall signs and is to consist of four elements:

- (a) The top portion is cabinet with routed letters displaying the facility's name.

- (b) The middle portion may not exceed two lines of manually changeable copy to accommodate two lines of six inch high letters in total. No off-premise advertising or advertising for the on-premise restaurant is permitted.
- (c) The bottom portion of the sign may include an additional four inch line of text displaying the name of the science store.
- (d) The site's address must be displayed at the bottom of the monument sign.

3. Wall Banners

- (a) Four 8' x 18', wall banners to be mounted on the Main Street elevation are permitted for on-site temporary and feature exhibits.
- (b) Flag poles may include City, County, State, and Federal Government flags. In addition, Discovery Science Center corporation flags may be permitted. No additional attachments to the flag poles are permitted.

B. Professional zoned uses.

Per Article XI, Chapter 41 of the Santa Ana Municipal Code.

SECTION 10 - OPERATIONAL STANDARDS

Operational standards for all uses in Specific Development District 65 are subject to the provisions of the Santa Ana Municipal Code. In addition, the standards that regulate the Discovery Science Center's operations and the manner in which business is conducted on-site such as hours of operation, special events and public activities are to be

consistent and in conformance with the project's conditions of approval listed and herein incorporated by reference in Development Agreement No. 97-01 by action of the City Council; and per the City of Santa Ana Municipal Code and the Mitigation Monitoring Program resulting from the project's Environmental Impact Report No. 97-01 (EIR No. 97-01), which regulates activities during construction as well as for the life of the project.

- A. No take out food service is permitted from the ancillary restaurant use.
- B. Hours of operation of the ancillary uses must coordinate with the museum hours.

ATTACHMENT A

- SITE INFORMATION**
1. NUMBER OF FLOORS: FIVE (5) FLOORS ABOVE GROUND
 2. TYPE OF CONSTRUCTION: TYPE I (CONCRETE)
 3. TYPE OF FOUNDATION: SPREADERS BUILT UP ON TYPICAL SEISMICALLY DESIGNER FOUNDATION
 4. FOOTINGS OF ALL EXTERIOR WALLS WITHIN 10 FEET OF PROPOSED BUILDING: TYPE I (CONCRETE)
 5. FIRE ACCESS SHALL HAVE:
 - a. ONE VERTICAL CLEARANCE
 - b. FIVE FEET MINIMUM CLEARANCE
 - c. FIVE FEET MINIMUM CLEARANCE
 - d. FIVE FEET MINIMUM CLEARANCE
 - e. FIVE FEET MINIMUM CLEARANCE
 6. FIRE ACCESS SHALL BE INSTALLED WITHIN FOUR FEET OF THE EXTERIOR FACE ACCESS POSITION
 7. FIRE ACCESS SHALL BE IN SERVICE PRIOR TO COMPLETION AND SHALL BE KEPT OPEN AT ALL TIMES

LINE DATA

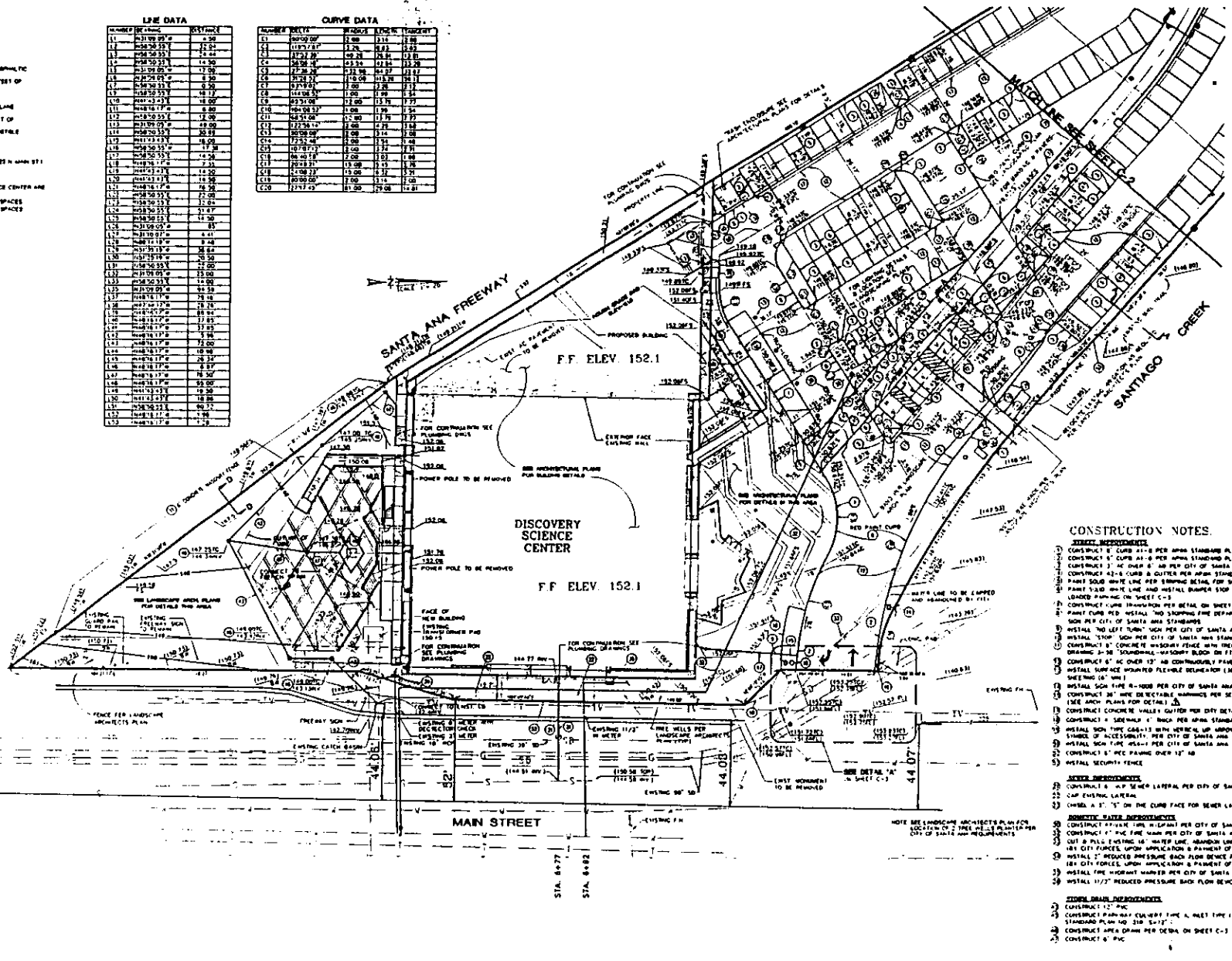
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| 92 | 1137.00 | 0.00 | 0.00 | 0.00 |
| 93 | 1137.00 | 0.00 | 0.00 | 0.00 |
| 94 | 1137.00 | 0.00 | 0.00 | 0.00 |
| 95 | 1137.00 | 0.00 | 0.00 | 0.00 |
| 96 | 1137.00 | 0.00 | 0.00 | 0.00 |
| 97 | 1137.00 | 0.00 | 0.00 | 0.00 |
| 98 | 1137.00 | 0.00 | 0.00 | 0.00 |
| 99 | 1137.00 | 0.00 | 0.00 | 0.00 |
| 100 | 1137.00 | 0.00 | 0.00 | 0.00 |

GRADING NOTES
FOR GRADING NOTES SEE SHEET C-1

- LEGEND**
- EXISTING**
- STREET LIGHT
 - ONE PAUL
 - PILE BOX
 - WATER METER
 - DISCRETE WIRE
 - STOP SIGN
 - TREE
 - TOP OF SLAB
 - BOTTOM OF SLAB
 - FENCE
 - BRIDGE FOLLIES
 - EXISTING ELEVATION
- PROPOSED**
- PROJECT BOUNDARY
 - CURB
 - CATCH BASIN
 - CURB & CUTTER
 - MARKED/PARKING STALL
 - VAR ACCESSIBLE PARKING STALL
 - TOP OF CURB
 - FLOW LINE
 - FURNISHED SURFACE
 - 6" AC OVER 12" SUBGRADE CONTINUOUSLY PAVED ALTERNATE 48 INCH L&S



- CONSTRUCTION NOTES**
- STREET IMPROVEMENTS**
1. CONSTRUCT 6" CURB 24" HIGH PER SANTA ANA STANDARD PLAN NO. 120-0
 2. CONSTRUCT 6" CURB 24" HIGH PER SANTA ANA STANDARD PLAN NO. 120-0
 3. CONSTRUCT 3" AC OVER 6" SAND PER CITY OF SANTA ANA STANDARD PLAN NO. 120-0
 4. CONSTRUCT 4" AC CURB & CUTTER PER SANTA ANA STANDARD PLAN NO. 120-0
 5. PAINT SOLID WHITE LINE PER SLOTTING BEHALF PER SLOTTING BEHALF PER SHEET C-3
 6. PAINT 12" WIDE LINE AND INSTALL BUMPER STOP PER SLOTTING BEHALF PER DOUBLE LANE MARKING ON SHEET C-3
 7. CONSTRUCT 1/2" CURB 24" HIGH PER SANTA ANA STANDARD PLAN NO. 120-0
 8. PAINT CURB RED INSTALL TWO STOPPING FIRE DEPARTMENT ACCESS LANE CHC 225001" SIGN PER CITY OF SANTA ANA STANDARDS
 9. INSTALL "NO LEFT TURN" SIGN PER CITY OF SANTA ANA STANDARDS
 10. INSTALL "STOP AHEAD" SIGN PER CITY OF SANTA ANA STANDARDS
 11. CONSTRUCT 6" CONCRETE WALKWAY 48" WIDE PER CITY OF SANTA ANA STANDARD PLAN NO. 120-0
 12. CONSTRUCT 6" AC OVER 12" SAND CONTINUOUSLY PAVED TO ACCOMMODATE 48" WIDE SURFACE WALKWAY 48" WIDE PER CITY OF SANTA ANA STANDARD PLAN NO. 120-0
 13. CONSTRUCT 6" AC OVER 12" SAND CONTINUOUSLY PAVED TO ACCOMMODATE 48" WIDE SURFACE WALKWAY 48" WIDE PER CITY OF SANTA ANA STANDARD PLAN NO. 120-0
 14. CONSTRUCT 6" AC OVER 12" SAND CONTINUOUSLY PAVED TO ACCOMMODATE 48" WIDE SURFACE WALKWAY 48" WIDE PER CITY OF SANTA ANA STANDARD PLAN NO. 120-0
 15. CONSTRUCT 6" AC OVER 12" SAND CONTINUOUSLY PAVED TO ACCOMMODATE 48" WIDE SURFACE WALKWAY 48" WIDE PER CITY OF SANTA ANA STANDARD PLAN NO. 120-0
 16. CONSTRUCT 6" AC OVER 12" SAND CONTINUOUSLY PAVED TO ACCOMMODATE 48" WIDE SURFACE WALKWAY 48" WIDE PER CITY OF SANTA ANA STANDARD PLAN NO. 120-0
 17. CONSTRUCT 6" AC OVER 12" SAND CONTINUOUSLY PAVED TO ACCOMMODATE 48" WIDE SURFACE WALKWAY 48" WIDE PER CITY OF SANTA ANA STANDARD PLAN NO. 120-0
 18. CONSTRUCT 6" AC OVER 12" SAND CONTINUOUSLY PAVED TO ACCOMMODATE 48" WIDE SURFACE WALKWAY 48" WIDE PER CITY OF SANTA ANA STANDARD PLAN NO. 120-0
 19. CONSTRUCT 6" AC OVER 12" SAND CONTINUOUSLY PAVED TO ACCOMMODATE 48" WIDE SURFACE WALKWAY 48" WIDE PER CITY OF SANTA ANA STANDARD PLAN NO. 120-0
 20. CONSTRUCT 6" AC OVER 12" SAND CONTINUOUSLY PAVED TO ACCOMMODATE 48" WIDE SURFACE WALKWAY 48" WIDE PER CITY OF SANTA ANA STANDARD PLAN NO. 120-0
 21. CONSTRUCT 6" AC OVER 12" SAND CONTINUOUSLY PAVED TO ACCOMMODATE 48" WIDE SURFACE WALKWAY 48" WIDE PER CITY OF SANTA ANA STANDARD PLAN NO. 120-0
 22. CONSTRUCT 6" AC OVER 12" SAND CONTINUOUSLY PAVED TO ACCOMMODATE 48" WIDE SURFACE WALKWAY 48" WIDE PER CITY OF SANTA ANA STANDARD PLAN NO. 120-0
 23. CONSTRUCT 6" AC OVER 12" SAND CONTINUOUSLY PAVED TO ACCOMMODATE 48" WIDE SURFACE WALKWAY 48" WIDE PER CITY OF SANTA ANA STANDARD PLAN NO. 120-0
 24. CONSTRUCT 6" AC OVER 12" SAND CONTINUOUSLY PAVED TO ACCOMMODATE 48" WIDE SURFACE WALKWAY 48" WIDE PER CITY OF SANTA ANA STANDARD PLAN NO. 120-0
 25. CONSTRUCT 6" AC OVER 12" SAND CONTINUOUSLY PAVED TO ACCOMMODATE 48" WIDE SURFACE WALKWAY 48" WIDE PER CITY OF SANTA ANA STANDARD PLAN NO. 120-0
 26. CONSTRUCT 6" AC OVER 12" SAND CONTINUOUSLY PAVED TO ACCOMMODATE 48" WIDE SURFACE WALKWAY 48" WIDE PER CITY OF SANTA ANA STANDARD PLAN NO. 120-0
 27. CONSTRUCT 6" AC OVER 12" SAND CONTINUOUSLY PAVED TO ACCOMMODATE 48" WIDE SURFACE WALKWAY 48" WIDE PER CITY OF SANTA ANA STANDARD PLAN NO. 120-0
 28. CONSTRUCT 6" AC OVER 12" SAND CONTINUOUSLY PAVED TO ACCOMMODATE 48" WIDE SURFACE WALKWAY 48" WIDE PER CITY OF SANTA ANA STANDARD PLAN NO. 120-0
 29. CONSTRUCT 6" AC OVER 12" SAND CONTINUOUSLY PAVED TO ACCOMMODATE 48" WIDE SURFACE WALKWAY 48" WIDE PER CITY OF SANTA ANA STANDARD PLAN NO. 120-0
 30. CONSTRUCT 6" AC OVER 12" SAND CONTINUOUSLY PAVED TO ACCOMMODATE 48" WIDE SURFACE WALKWAY 48" WIDE PER CITY OF SANTA ANA STANDARD PLAN NO. 120-0
 31. CONSTRUCT 6" AC OVER 12" SAND CONTINUOUSLY PAVED TO ACCOMMODATE 48" WIDE SURFACE WALKWAY 48" WIDE PER CITY OF SANTA ANA STANDARD PLAN NO. 120-0
 32. CONSTRUCT 6" AC OVER 12" SAND CONTINUOUSLY PAVED TO ACCOMMODATE 48" WIDE SURFACE WALKWAY 48" WIDE PER CITY OF SANTA ANA STANDARD PLAN NO. 120-0
 33. CONSTRUCT 6" AC OVER 12" SAND CONTINUOUSLY PAVED TO ACCOMMODATE 48" WIDE SURFACE WALKWAY 48" WIDE PER CITY OF SANTA ANA STANDARD PLAN NO. 120-0
 34. CONSTRUCT 6" AC OVER 12" SAND CONTINUOUSLY PAVED TO ACCOMMODATE 48" WIDE SURFACE WALKWAY 48" WIDE PER CITY OF SANTA ANA STANDARD PLAN NO. 120-0
 35. CONSTRUCT 6" AC OVER 12" SAND CONTINUOUSLY PAVED TO ACCOMMODATE 48" WIDE SURFACE WALKWAY 48" WIDE PER CITY OF SANTA ANA STANDARD PLAN NO. 120-0
 36. CONSTRUCT 6" AC OVER 12" SAND CONTINUOUSLY PAVED TO ACCOMMODATE 48" WIDE SURFACE WALKWAY 48" WIDE PER CITY OF SANTA ANA STANDARD PLAN NO. 120-0
 37. CONSTRUCT 6" AC OVER 12" SAND CONTINUOUSLY PAVED TO ACCOMMODATE 48" WIDE SURFACE WALKWAY 48" WIDE PER CITY OF SANTA ANA STANDARD PLAN NO. 120-0
 38. CONSTRUCT 6" AC OVER 12" SAND CONTINUOUSLY PAVED TO ACCOMMODATE 48" WIDE SURFACE WALKWAY 48" WIDE PER CITY OF SANTA ANA STANDARD PLAN NO. 120-0
 39. CONSTRUCT 6" AC OVER 12" SAND CONTINUOUSLY PAVED TO ACCOMMODATE 48" WIDE SURFACE WALKWAY 48" WIDE PER CITY OF SANTA ANA STANDARD PLAN NO. 120-0
 40. CONSTRUCT 6" AC OVER 12" SAND CONTINUOUSLY PAVED TO ACCOMMODATE 48" WIDE SURFACE WALKWAY 48" WIDE PER CITY OF SANTA ANA STANDARD PLAN NO. 120-0
 41. CONSTRUCT 6" AC OVER 12" SAND CONTINUOUSLY PAVED TO ACCOMMODATE 48" WIDE SURFACE WALKWAY 48" WIDE PER CITY OF SANTA ANA STANDARD PLAN NO. 120-0
 42. CONSTRUCT 6" AC OVER 12" SAND CONTINUOUSLY PAVED TO ACCOMMODATE 48" WIDE SURFACE WALKWAY 48" WIDE PER CITY OF SANTA ANA STANDARD PLAN NO. 120-0
 43. CONSTRUCT 6" AC OVER 12" SAND CONTINUOUSLY PAVED TO ACCOMMODATE 48" WIDE SURFACE WALKWAY 48" WIDE PER CITY OF SANTA ANA STANDARD PLAN NO. 120-0
 44. CONSTRUCT 6" AC OVER 12" SAND CONTINUOUSLY PAVED TO ACCOMMODATE 48" WIDE SURFACE WALKWAY 48" WIDE PER CITY OF SANTA ANA STANDARD PLAN NO. 120-0
 45. CONSTRUCT 6" AC OVER 12" SAND CONTINUOUSLY PAVED TO ACCOMMODATE 48" WIDE SURFACE WALKWAY 48" WIDE PER CITY OF SANTA ANA STANDARD PLAN NO. 120-0

CONSTRUCTION NOTES

1. VISIT THE SITE PRIOR TO SUBMITTING BIDS.

2. SUBMIT A UNIT COST FOR MOST SOIL PLACES AND BE COMPLETELY AWARE OF THE AMOUNT OF SOIL NECESSARY TO REACH THE SATISFACTORY GROUND LEVELS.

3. VERIFY ALL PROPERTY LINES OR OTHER LIMIT OF WORK LINES PRIOR TO COMMENCING WORK.

4. REMOVE ALL DEMOLITION ITEMS FROM THE PROJECT SITE AND DISPOSE OF IN ACCORDANCE WITH APPLICABLE CODES AND REGULATIONS. DO NOT BLIND RUBBER OR DEBRIS ON SITE.

5. REPAIR OR REPLACE ANY DAMAGE TO ADJACENT PROPERTIES, CURBS, WALKS, PLANTING WALLS, ETC. AT NO ADDITIONAL COST TO THE OWNER.

6. VERIFY ALL EXISTING CONDITIONS, DIMENSIONS AND ELEVATIONS BEFORE PROCEEDING WITH THE WORK. NOTIFY LANDSCAPE ARCHITECT IMMEDIATELY SHOULD FIELD CONDITIONS VARY FROM THOSE SHOWN ON PLAN.

7. REPORT DISCREPANCIES IN THE DRAWINGS OR BETWEEN THE DRAWINGS AND ACTUAL FIELD CONDITIONS TO THE LANDSCAPE ARCHITECT. CORRECTED DRAWINGS OR INSTRUCTIONS SHALL BE ISSUED PRIOR TO THE CONTINUATION OF THIS WORK. ASSUME FULL RESPONSIBILITY FOR ALL NECESSARY CORRECTIONS DUE TO FAILURE TO REPORT KNOWN DISCREPANCIES.

8. LOCATE ALL EXISTING UTILITIES WHETHER SHOWN UNLESS OR NOT AND PROTECT THEM FROM DAMAGE. NOTIFY OWNER IMMEDIATELY IF DAMAGE OCCURS AND ASSUME FULL RESPONSIBILITY FOR EXPENSE OF REPAIR OR REPLACEMENT.

9. COMPLY WITH ALL PROVISIONS OF THE LATEST BUILDING CODE AND WITH OTHER CURRENT RULES, REGULATIONS AND ORDINANCES GOVERNING THE PLACE OF THE WORK. BUILDING CODE REQUIREMENTS TAKE PRECEDENCE OVER THE DRAWINGS AND IT SHALL BE THE RESPONSIBILITY OF ANYONE SUPPLYING LABOR OR MATERIALS OR BOTH TO BRING TO THE ATTENTION OF THE ARCHITECT ANY DISCREPANCIES OR CONFLICT BETWEEN THE REQUIREMENTS OF THE CODE AND THE DRAWINGS.

10. LOCATIONS OF ALL CONSTRUCTION ELEMENTS SUCH AS LIGHTS, SIGNALS, VENTS, HYDRANTS, TRANSFORMERS, ETC. ARE APPROXIMATE. NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY SHOULD THE LOCATION OF THESE ITEMS INTERFERE WITH THE PROPER EXECUTION OF WORK.

11. VERIFY ALL PAVING AND LANDSCAPE CONSTRUCTION DRAWINGS WITH SOIL ENGINEER'S REPORT WITH REGARD TO BASE PREPARATION AND FOOTING REQUIREMENTS. NOTIFY OWNER IMMEDIATELY IF SOILS REPORT RECOMMENDATIONS DIFFER FROM DRAWINGS. THE SOILS REPORT RECOMMENDATIONS, IF MORE STRINGENT THAN DRAWINGS, SHALL TAKE PRECEDENCE.

12. BE RESPONSIBLE FOR COORDINATION BETWEEN SUBCONTRACTORS FOR PROPER AND TIMELY PLACEMENT OF SUBIRING, PILING AND/OR CONDUIT INSTALLATION UNDER OR THROUGH LANDSCAPE ELEMENTS.

13. LANDSCAPE LIGHT FIXTURE LOCATIONS AS NOTICED ON THESE PLANS ARE APPROXIMATE. REFER TO ELECTRICAL PLANS.

14. DO NOT SCALE DRAWINGS.

15. SEE CIVIL ENGINEER'S PLAN FOR PRECISE GRADING AND DRAINAGE INFORMATION.

16. PROVIDE A REPRESENTATIVE SAMPLE OF EACH PAINTED OR STAINED ELEMENT TO THE OWNER FOR REVIEW AND APPROVAL PRIOR TO APPLYING FINISH. REFER TO DETAILS AND SPECIFICATIONS FOR SPECIFIC SUBMITTAL REQUIREMENTS.

17. PROVIDE A 1/2" X 1/2" SAMPLE OF EACH PAVING TYPE IN LOCATION SPECIFIED BY OWNER'S REPRESENTATIVE FOR REVIEW AND APPROVAL BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. REFER TO SPECIFICATIONS.

18. WHERE PAVING AND FINISH GRADE MEET, DEPRESS FINISH GRADE 1/4" IN TURF AREAS AND 1/2" IN GROUND COVER AREAS UNLESS OTHERWISE NOTICED.

19. DO NOT EXCEED 3% SLOPE IN TURF AREAS.

20. FOR PROJECT WALKS DO NOT EXCEED A SLOPE OF 20% UNLESS OTHERWISE NOTICED.

21. DO NOT EXCEED 2% SLOPE IN PLANTED AREAS.

22. FOR RAMPS INTO BUILDINGS DO NOT EXCEED 84" OR 6" RISE UNLESS OTHERWISE NOTICED.

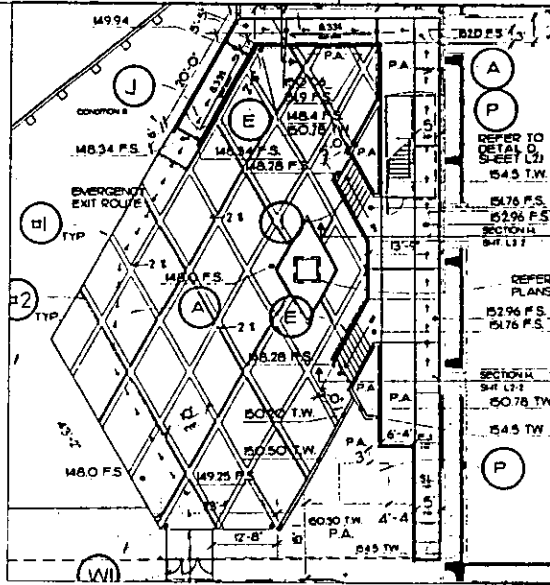
23. HOLD FINISH GRADE A MINIMUM OF 4" BELOW FINISH FLOOR UNLESS OTHERWISE NOTICED.

24. CONSTRUCT ALL CURVE TO CURVE AND CURVE TO TANGENT LINES TO BE NEAT, TIRM, SMOOTH AND UNIFORM.

25. CONSTRUCT ALL CONCRETE WITH A MINIMUM COMPRESSIVE STRENGTH OF 2500 PSI @ 28 DAYS.

26. PROVIDE OWNER WITH ALL WARRANTIES, GUARANTEES, AND INSTRUCTION MANUALS FOR EQUIPMENT, APPLIANCES, FIXTURES, ETC. AS DESCRIBED IN THE SPECIFICATIONS.

27. NOTE: ENTRANCES TO THE BUILDING OR FACILITY AND THE PRIMARY PATH OF TRAVEL TO THE SPECIFIC AREA OF NEW WORK. ALTERATION, STRUCTURAL REPAIR OR ADDITION SHALL BE ACCESSIBLE.



AREA ENLARGEMENT SCALE 1/4" = 1'-0"

TRASH ENCLOSURE AREA
SEE ARCHITECTURAL PLANS

ENTRY PLAZA AND PATIO
SEE ARCHITECTURAL PLANS

DISCOVERY
SCIENCE
CENTER

NOTE: REFER TO CIVIL ENGINEER'S PLANS FOR PARKING LOT LAYOUT AND DIMENSIONS.

LANDSCAPE CONSTRUCTION LEGEND

- A FURNISH AND INSTALL CONCRETE PAVING COLOR GRAY. PER DETAIL B, SHEET L31.
- B CONSTRUCT CONCRETE BAND PER DETAIL G, SHEET L31. BAND TO BE DELIVERED BY OWNER'S AUTHORIZED REPRESENTATIVE.
- C ASPHALTIC CONCRETE PER CIVIL ENGINEER'S PLANS.
- D FURNISH AND INSTALL 4" DECOMPOSED GRANITE AT 90% COMPACTION.
- E CONSTRUCT TUBULAR STEEL HANDRAILS 34" ABOVE FINISHED SURFACE OF RAMP (TYPICAL) PER DETAIL A, SHEET L3-2.
- F HANDICAP RAMP PER DETAIL F, SHEET L3-2.
- G CONSTRUCT CONCRETE SEPARATING WALLS PER DETAIL C, SHEET L3-2.
- H CONCRETE CURB FACE PER CIVIL ENGINEER'S PLANS.
- I CONSTRUCT CONCRETE STAIRS PER DETAIL F, SHEET L31 FOR SECTION OF STAIRS AND PLAZA REFER TO DETAIL M, SHEET L3-2.
- J CONSTRUCT HANDICAP RAMP PER DETAIL D, SHEET L31. DETECTABLE WARNING SHALL BE LOCATED PER ADA REQUIREMENTS.
- K FURNISH AND INSTALL BRIDGE (SEE BACK HERE) INSTALL PER MANUFACTURER'S SPECIFICATIONS.
- L PARKING LOT LIGHTS (SEE ELECTRICAL PLANS).
- M FURNISH AND INSTALL VERSTI ASH LUM (AET5701).
- N FURNISH AND INSTALL VERSTI LITTER RECEPTACLES (AET5708).
- O PEDESTRIAN LIGHT FIXTURE (SEE ELECTRICAL PLANS).
- P CONSTRUCT TUBULAR STEEL QUADRANT AT ABOVE FINISHED SURFACE OF LURID PLAZA (TYPICAL) PER DETAIL H, SHEET L3-2.
- Q CONSTRUCT 2" X 8" REDWOOD HEADERBOARD. 8" X 8" X 8" REDWOOD STAKES SHALL BE PLACED ON GROUND COVER SIDE 5' OC.
- R FLOATING GRANITE BALL POLYURAN (SEE ARCHITECTURAL PLANS).
- S FURNISH AND INSTALL CLUCK CRITE CONCRETE SPHERE BOLLARDS (HOB-30SP) PER DETAIL A, SHEET L3-2. PROVIDE ALTERNATE 80 FOR 7" DIA. 47" STEEL BOLLARD. SOLID HOLD CAP, 14" GAULS (COP), 34" HT, 30" DEEP, 4 COATS PAINT.
- T FURNISH AND INSTALL MORTAR VAN FLAG POLE (AET54-31) PER DETAIL B, SHEET L3-2. INSTALL PER MANUFACTURER'S SPECIFICATIONS.
- U OUT.
- V MONUMENT SIGN BY OTHERS. PROJECT SIGNAGE IS UNDER A SEPARATE PERMIT.
- W1 FURNISH AND INSTALL GATE PER DETAIL G, SHEET L3-2.
- W2 FURNISH AND INSTALL CEDAR GATE (C) W/ 1/2" X 1/2" MANUFACTURER'S SPECIFICATIONS. VERIFY FOOTING REQUIREMENTS WITH STRUCTURAL ENGINEER.
- X CONSTRUCT WROUGHT IRON FENCE PER DETAIL E, SHEET L3-2.
- Y SOUND WALL. SEE CIVIL ENGINEER'S PLANS.

JOINT LEGEND

- 1 CONTROL JOINT PER DETAIL G, SHEET L3-2.
- 2 DETECTABLE WARNING BAND WHERE SHOWN DIFFERENTLY ON PLAN.
- 3 EXPANSION JOINT PER DETAIL G, SHEET L3-2.
- 4 CONSTRUCT EXPANSION JOINT WHERE PAVED PAVEMENT MEETS FACE OF BUILDING, WALL, OR STAIRS (TYPICAL).

| | |
|--------|------|
| NO. 21 | DATE |
| NO. 22 | DATE |
| NO. 23 | DATE |
| NO. 24 | DATE |

MTI - LANDSCAPE ARCHITECTS - INC.
177 West 1st Street
Anaheim, CA 92801
(714) 755-1200



CONSTRUCTION PL.

DISCOVERY SCIENCE CENTER
DISCOVERY MUSEUM OF CALIFORNIA
SANTA ANA, CALIFORNIA

| | |
|--------|------|
| NO. 25 | DATE |
| NO. 26 | DATE |
| NO. 27 | DATE |
| NO. 28 | DATE |

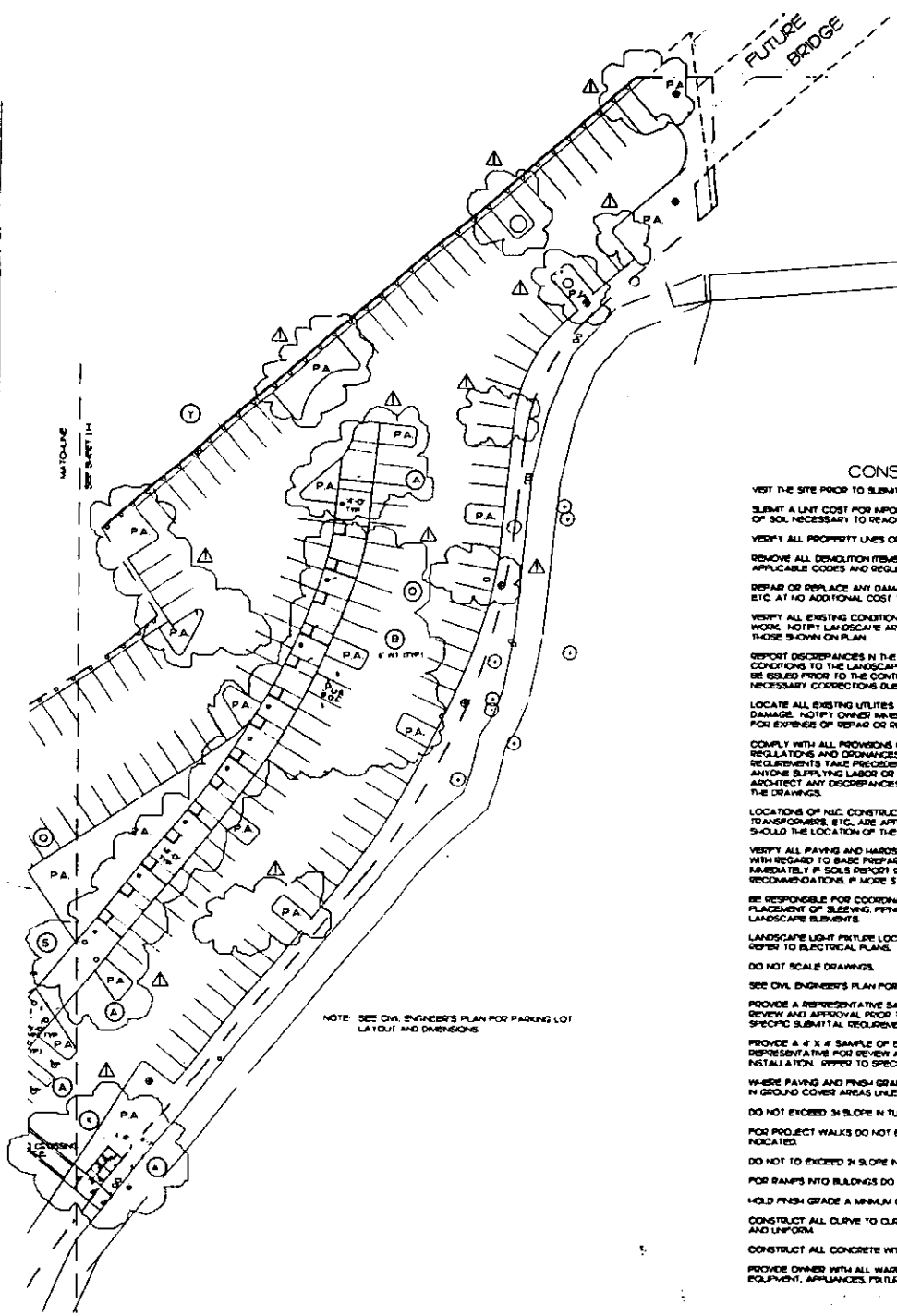
SCALE: 1/4" = 1'-0"

DATE: 10-24-97

BY: [Signature]

DATE: 10-24-97





CONSTRUCTION NOTES

VISIT THE SITE PRIOR TO SUBMITTING BIDS

SUBMIT A UNIT COST FOR IMPORT SOIL IN PLACE AND BE COMPLETELY AWARE OF THE AMOUNT OF SOIL NECESSARY TO REACH THE SATISFACTORY GROUND LEVEL.

VERIFY ALL PROPERTY LINES OR OTHER LIMIT OF WORK LINES PRIOR TO COMMENCING WORK.

REMOVE ALL DEMOLITION ITEMS FROM THE PROJECT SITE AND DISPOSE OF IN ACCORDANCE WITH APPLICABLE CODES AND REGULATIONS. DO NOT BURY RUBBISH OR DEBRIS ON SITE.

REPAIR OR REPLACE ANY DAMAGE TO ADJACENT PROPERTIES, CURBS, WALKS, PLANTING, WALLS, ETC. AT NO ADDITIONAL COST TO THE OWNER.

VERIFY ALL EXISTING CONDITIONS, DIMENSIONS AND ELEVATIONS BEFORE PROCEEDING WITH THE WORK. NOTIFY LANDSCAPE ARCHITECT IMMEDIATELY SHOULD FIELD CONDITIONS VARY FROM THOSE SHOWN ON PLAN.

REPORT DISCREPANCIES IN THE DRAWINGS OR BETWEEN THE DRAWINGS AND ACTUAL FIELD CONDITIONS TO THE LANDSCAPE ARCHITECT. CORRECTED DRAWINGS OR INSTRUCTIONS SHALL BE ISSUED PRIOR TO THE CONTINUATION OF THE WORK. ASSUME FULL RESPONSIBILITY FOR ALL NECESSARY CORRECTIONS DUE TO FAILURE TO REPORT KNOWN DISCREPANCIES.

LOCATE ALL EXISTING UTILITIES WHETHER SHOWN OR NOT AND PROTECT THEM FROM DAMAGE. NOTIFY OWNER IMMEDIATELY IF DAMAGE OCCURS AND ASSUME FULL RESPONSIBILITY FOR EXPENSE OF REPAIR OR REPLACEMENT.

COMPLY WITH ALL PROVISIONS OF THE LATEST BUILDING CODE AND WITH OTHER CURRENT RULES, REGULATIONS AND ORDINANCES GOVERNING THE PLACE OF THE WORK. BUILDING CODE REQUIREMENTS TAKE PRECEDENCE OVER THE DRAWINGS AND IT SHALL BE THE RESPONSIBILITY OF ANYONE SUPPLYING LABOR OR MATERIALS OR BOTH TO BRING TO THE ATTENTION OF THE ARCHITECT ANY DISCREPANCIES OR CONFLICT BETWEEN THE REQUIREMENTS OF THE CODE AND THE DRAWINGS.

LOCATIONS OF MEC CONSTRUCTION ELEMENTS SUCH AS LIGHTS, SIGNS, VENTS, HYDRANTS, TRANSFORMERS, ETC. ARE APPROXIMATE. NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY SHOULD THE LOCATION OF THESE ITEMS INTERFERE WITH THE PROPER EXECUTION OF WORK.

VERIFY ALL PAVING AND HARDSCAPE CONSTRUCTION DRAWINGS WITH SOIL ENGINEER'S REPORT WITH REGARD TO BASE PREPARATION AND FOOTING REQUIREMENTS. NOTIFY OWNER IMMEDIATELY IF SOILS REPORT RECOMMENDATIONS DIFFER FROM DRAWINGS. THE SOILS REPORT RECOMMENDATIONS IF MORE STRINGENT THAN DRAWINGS, SHALL TAKE PRECEDENCE.

BE RESPONSIBLE FOR COORDINATION BETWEEN SUBCONTRACTORS FOR PROPS AND TIMELY PLACEMENT OF SLEEVING, PIPING AND/OR CONDUIT INSTALLATION UNDER OR THROUGH LANDSCAPE ELEMENTS.

LANDSCAPE LIGHT FIXTURE LOCATIONS AS INDICATED ON THESE PLANS ARE APPROXIMATE REFER TO ELECTRICAL PLANS.

DO NOT SCALE DRAWINGS.

SEE CIVIL ENGINEER'S PLAN FOR PRECISE GRADING AND DRAINAGE INFORMATION.

PROVIDE A REPRESENTATIVE SAMPLE OF EACH PAINTED OR STAINED ELEMENT TO THE OWNER FOR REVIEW AND APPROVAL PRIOR TO APPLYING FINISH. REFER TO DETAILS AND SPECIFICATIONS FOR SPECIFIC SUBMITTAL REQUIREMENTS.

PROVIDE A 4" X 4" SAMPLE OF EACH PAVING TYPE IN LOCATION SPECIFIED BY OWNER'S REPRESENTATIVE FOR REVIEW AND APPROVAL BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. REFER TO SPECIFICATIONS.

WHERE PAVING AND FINISH GRADE MEET, DEPRESS FINISH GRADE 1" IN TURF AREAS AND 1/2" IN GROUND COVER AREAS UNLESS OTHERWISE NOTICED.

DO NOT EXCEED 3% SLOPE IN TURF AREAS.

FOR PROJECT WALKS DO NOT EXCEED A SLOPE OF 20% (5% GRADIENT) UNLESS OTHERWISE NOTICED.

DO NOT TO EXCEED 2% SLOPE IN PLANTED AREAS.

FOR RAMPS INTO BUILDINGS DO NOT EXCEED 6% OR 6:66 UNLESS OTHERWISE NOTICED.

HOLD FINISH GRADE A MINIMUM OF 6" BELOW FINISH FLOOR UNLESS OTHERWISE NOTICED.

CONSTRUCT ALL CURVE TO CURVE AND CURVE TO TANGENT LINES TO BE NEAT, TYPICAL, SMOOTH AND UNIFORM.

CONSTRUCT ALL CONCRETE WITH A MINIMUM COMPRESSIVE STRENGTH OF 2500 PSI + 75 DAYS.

PROVIDE OWNER WITH ALL WARRANTIES, GUARANTEES, AND INSTRUCTION MANUALS FOR EQUIPMENT, APPLIANCES, FIXTURES, ETC. AS DESCRIBED IN THE SPECIFICATIONS.

NOTE: SEE CIVIL ENGINEER'S PLAN FOR PARKING LOT LAYOUT AND DIMENSIONS

LANDSCAPE CONSTRUCTION LEGEND

- A FURNISH AND INSTALL CONCRETE PAVING COLOR GRAY PER DETAIL B, SHEET L2.1
- B CONSTRUCT CONCRETE BARS PER DETAIL C, SHEET L2.1. COLOR TO BE SELECTED BY OWNER'S AUTHORIZED REPRESENTATIVE.
- C ASPHALTIC CONCRETE PER CIVIL ENGINEER'S PLANS.
- D FURNISH AND INSTALL 4" DECOMPOSED GRANITE AT 90% COMPACTION.
- E CONSTRUCT TUBULAR STEEL HANDRAILS 3" ABOVE FINISH SURFACE OF RAMP (TYPICAL) PER DETAIL J, SHEET L2.2.
- F HANDCAP RAMP PER DETAIL P, SHEET L2.2.
- G CONSTRUCT CONCRETE SEATING WALLS PER DETAIL E, SHEET L2.1. OMT.
- H CONCRETE CURB FACE PER CIVIL ENGINEER'S PLANS.
- I CONSTRUCT CONCRETE STAIRS PER DETAIL F, SHEET L2.1. FOR SECTION OF STAIRS AND PLAZA REFER TO DETAIL H, SHEET L2.2.
- J CONSTRUCT HANDCAP RAMP PER DETAIL D, SHEET L2.1. DETECTABLE WARNINGS SHALL BE LOCATED PER ADA REQUIREMENTS.
- K FURNISH AND INSTALL BURR BRICK BACK (MIRRA). INSTALL PER MANUFACTURER'S SPECIFICATIONS.
- L PARKING LOT LIGHTS (SEE ELECTRICAL PLANS).
- M FURNISH AND INSTALL VERIST ASH URN (14475) FOR.
- N FURNISH AND INSTALL VERIST LITTER RECEPTACUL (14475) FOR.
- O PREESTRIM LIGHT FIXTURE (SEE ELECTRICAL PLANS).
- P CONSTRUCT TUBULAR STEEL QUADRANT 4" ABOVE FINISH SURFACE OF LAPPED PLAZA (TYPICAL) PER DETAIL H, SHEET L2.2.
- Q CONSTRUCT 2" X 4" REDWOOD HEADBOARD, 7" X 3" X 6" REDWOOD STAKES SHALL BE PLACED ON GROUND COVER 50% O.C.
- R FLOATING GRANITE BALL FOUNTAIN (SEE ARCHITECTURAL PLANS).
- S FURNISH AND INSTALL CLUCK CREEK CONCRETE SPHERE BOLLARDS (100-305) PER DETAIL A, SHEET L2.2. PROVIDE ALTERNATE 80# 1/2" DIA. 17" STEEL BOLLARD, SOLID WELD CAP, 1/4" RADIUS CORN. 30" HT., 30" DEEP., 2 COATS PAINT.
- T FURNISH AND INSTALL WHITE-VAN FLAG POLE (14744-5) PER DETAIL B, SHEET L2.2. INSTALL PER MANUFACTURER'S SPECIFICATIONS.
- U OMT.
- V MONUMENT SIGN BY OTHERS. PROJECT SIGNAGE IS UNDER A SEPARATE PERMIT.
- W1 FURNISH AND INSTALL GATE PER DETAIL D, SHEET L2.2.
- W2 FURNISH AND INSTALL CEDAR GATE, 80" W X 8' H PER MANUFACTURER'S SPECIFICATIONS. VERIFY FOOTING REQUIREMENTS WITH STRUCTURAL ENGINEER.
- X CONSTRUCT WOOD-LAM RAIL FENCE PER DETAIL E, SHEET L2.2.
- Y SOUND WALL. SEE CIVIL ENGINEER'S PLANS.

JOINT LEGEND

- 1 CONTROL JOINT PER DETAIL G, SHEET L2.2.
- 2 EXPANSION JOINT PER DETAIL E, SHEET L2.2. CONSTRUCT EXPANSION JOINT WHERE EVER FAVEMENT MEETS FACE OF BUILDING WALL OR STAIRS (TYPICAL).

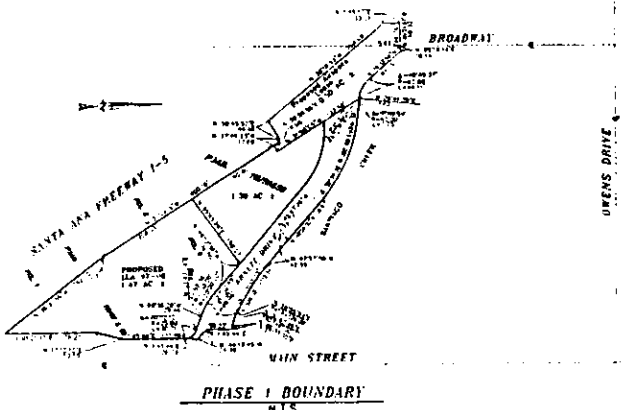
| | | |
|-------------------------|------|------|
| REV | DATE | BY |
| 4-13-97 | | |
| ADD 10' TO 11' DISTANCE | | |
| 0-29-97 | | |
| A-4-01 | | 1-02 |

INT-LANDSCAPE ARCHITECTS-INC.
720 East 17th Street
Anaheim, CA 92801
(714) 222-1200

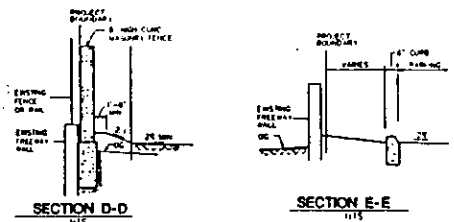
CONSTRUCTION PLAN

DISCOVERY, SCIENCE CENTER
DISCOVERY MUSEUM OF ORGANIC
SANTA ANA, CALIFORNIA

| | |
|-------------|-----------|
| DATE | 2-28-97 |
| SCALE | 1"=30'-0" |
| CDP | |
| PROJECT NO. | 97-048 |
| SHEET | 112 |

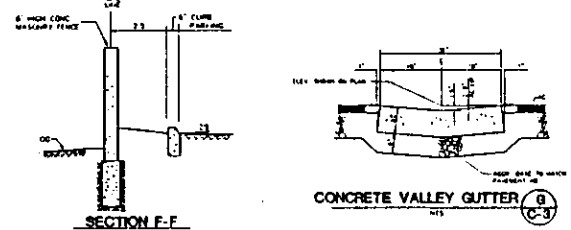


OPENERS DRIVE



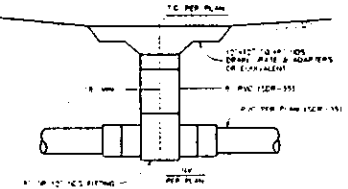
SECTION D-D
N.T.S.

SECTION E-E
N.T.S.

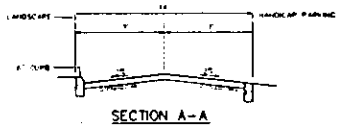


SECTION F-F
N.T.S.

CONCRETE VALLEY GUTTER (B)
N.T.S.



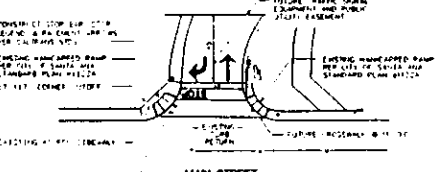
AREA DRAIN DETAIL
N.T.S.



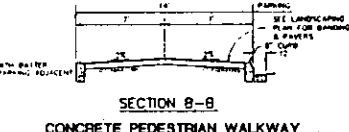
SECTION A-A
N.T.S.

PARKING LOT STRIPING
SCALE: 1/4\"/>

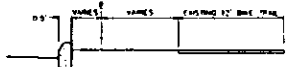
PARKING LOT STRIPING
SCALE: 1/4\"/>



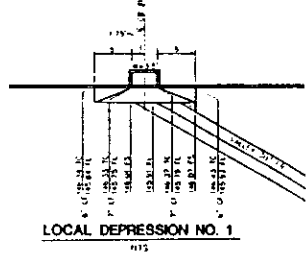
DETAIL 'A'
N.T.S.



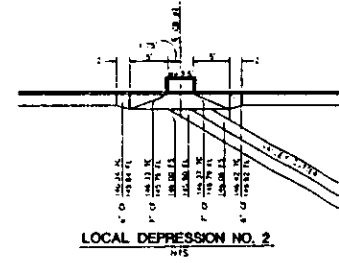
SECTION B-B
CONCRETE PEDESTRIAN WALKWAY
N.T.S.



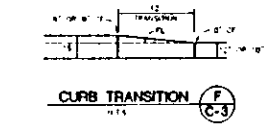
TYPICAL SECTION A-A
N.T.S.



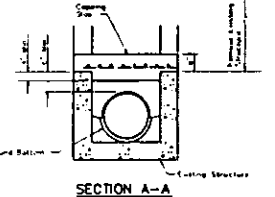
LOCAL DEPRESSION NO. 1
N.T.S.



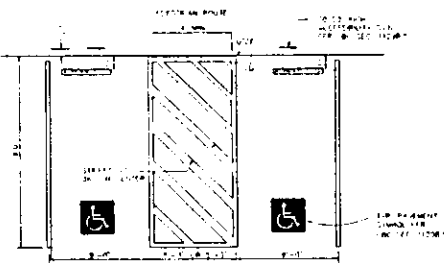
LOCAL DEPRESSION NO. 2
N.T.S.



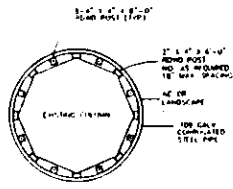
CURB TRANSITION (F)
N.T.S.



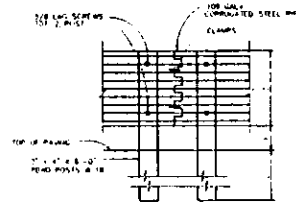
SECTION A-A
N.T.S.



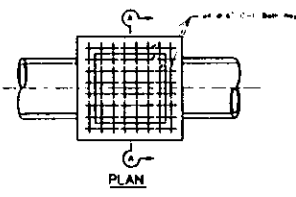
HANDICAPPED PARKING STALLS (B)
N.T.S.



COLUMN PROTECTOR (C)
N.T.S.



MODIFIED CATCH BASIN TYPE 'C' (E)
N.T.S.



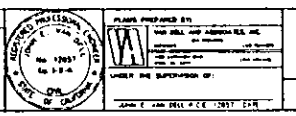
CAP INLET DETAIL (D)
N.T.S.

| ESTIMATE OF QUANTITIES | | |
|------------------------|-------------------|----------|
| NO. | ITEM | QUANTITY |
| 1 | CONSTRUCT 8\"/> | 100.00 |
| 2 | CONSTRUCT 12\"/> | 100.00 |
| 3 | CONSTRUCT 18\"/> | 100.00 |
| 4 | CONSTRUCT 24\"/> | 100.00 |
| 5 | CONSTRUCT 30\"/> | 100.00 |
| 6 | CONSTRUCT 36\"/> | 100.00 |
| 7 | CONSTRUCT 42\"/> | 100.00 |
| 8 | CONSTRUCT 48\"/> | 100.00 |
| 9 | CONSTRUCT 54\"/> | 100.00 |
| 10 | CONSTRUCT 60\"/> | 100.00 |
| 11 | CONSTRUCT 66\"/> | 100.00 |
| 12 | CONSTRUCT 72\"/> | 100.00 |
| 13 | CONSTRUCT 78\"/> | 100.00 |
| 14 | CONSTRUCT 84\"/> | 100.00 |
| 15 | CONSTRUCT 90\"/> | 100.00 |
| 16 | CONSTRUCT 96\"/> | 100.00 |
| 17 | CONSTRUCT 102\"/> | 100.00 |
| 18 | CONSTRUCT 108\"/> | 100.00 |
| 19 | CONSTRUCT 114\"/> | 100.00 |
| 20 | CONSTRUCT 120\"/> | 100.00 |
| 21 | CONSTRUCT 126\"/> | 100.00 |
| 22 | CONSTRUCT 132\"/> | 100.00 |
| 23 | CONSTRUCT 138\"/> | 100.00 |
| 24 | CONSTRUCT 144\"/> | 100.00 |
| 25 | CONSTRUCT 150\"/> | 100.00 |
| 26 | CONSTRUCT 156\"/> | 100.00 |
| 27 | CONSTRUCT 162\"/> | 100.00 |
| 28 | CONSTRUCT 168\"/> | 100.00 |
| 29 | CONSTRUCT 174\"/> | 100.00 |
| 30 | CONSTRUCT 180\"/> | 100.00 |
| 31 | CONSTRUCT 186\"/> | 100.00 |
| 32 | CONSTRUCT 192\"/> | 100.00 |
| 33 | CONSTRUCT 198\"/> | 100.00 |
| 34 | CONSTRUCT 204\"/> | 100.00 |
| 35 | CONSTRUCT 210\"/> | 100.00 |
| 36 | CONSTRUCT 216\"/> | 100.00 |
| 37 | CONSTRUCT 222\"/> | 100.00 |
| 38 | CONSTRUCT 228\"/> | 100.00 |
| 39 | CONSTRUCT 234\"/> | 100.00 |
| 40 | CONSTRUCT 240\"/> | 100.00 |
| 41 | CONSTRUCT 246\"/> | 100.00 |
| 42 | CONSTRUCT 252\"/> | 100.00 |
| 43 | CONSTRUCT 258\"/> | 100.00 |
| 44 | CONSTRUCT 264\"/> | 100.00 |
| 45 | CONSTRUCT 270\"/> | 100.00 |
| 46 | CONSTRUCT 276\"/> | 100.00 |
| 47 | CONSTRUCT 282\"/> | 100.00 |
| 48 | CONSTRUCT 288\"/> | 100.00 |
| 49 | CONSTRUCT 294\"/> | 100.00 |
| 50 | CONSTRUCT 300\"/> | 100.00 |

NOTES: 1. QUANTITIES SHOWN ARE ESTIMATED FOR GENERAL PURPOSES ONLY. 2. EACH CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN QUANTITY ESTIMATE FOR BIDDING AND SHALL BE A COMPLETE JOB.

| REV. NO. | DATE | DESCRIPTION | BY | CHECKED |
|----------|------|-------------|----|---------|
| 1 | | | | |
| 2 | | | | |
| 3 | | | | |
| 4 | | | | |
| 5 | | | | |

| SOIL ENGINEER | REFERENCES |
|---|---|
| CONCRETE CONSULTANTS INCORPORATED 2500 N. MAIN ST., SANTA ANA, CA. 92701 (714) 241-1000 | DISCOVER SCIENCE CENTER 2500 N. MAIN ST., SANTA ANA, CA. 92701 (FORMERLY 2522 MAIN ST.) PUBLIC WORKS AGENCY CITY OF SANTA ANA |



DISCOVER SCIENCE CENTER
SITE, PAVING AND GRADING PLAN (PHASE I)
2500 N. MAIN ST., SANTA ANA, CA., 92701
(FORMERLY 2522 MAIN ST.)
PUBLIC WORKS AGENCY
CITY OF SANTA ANA

PLANT SCHEDULE

| SYMBOL | SCIENTIFIC NAME | COMMON NAME | SIZE |
|--------|-----------------|-------------|------|
|--------|-----------------|-------------|------|

TREES

| | | | |
|-----|---------------------------------|---------------------|------------------------|
| 1-1 | MILVIA PENTAPETALA | DATE PALM | 5 BT. |
| 1-2 | QUERCUS AGROPHIA | COAST LIVE OAK | 5 GAL. |
| 1-3 | PLATANUS RACEMOSA | CALIFORNIA STEAMORE | 5 GAL. |
| 1-4 | CECROX OCCIDENTALS | WESTERN REDBUD | 5 GAL. |
| 1-5 | PIRUS KAWAKAMI | EVERGREEN PEAR | 24" BOX |
| 1-6 | MAGNOLIA GRANDIFLORA LITTLE GEM | MAGNOLIA LITTLE GEM | 24" BOX/ COLLAR # 4 OC |
| 1-7 | MAGNOLIA GRANDIFLORA LITTLE GEM | MAGNOLIA LITTLE GEM | 5 GAL / ESPALER |
| 1-8 | STACRUS ROMANOPANAMUM | QUEEN PALM | 4" |

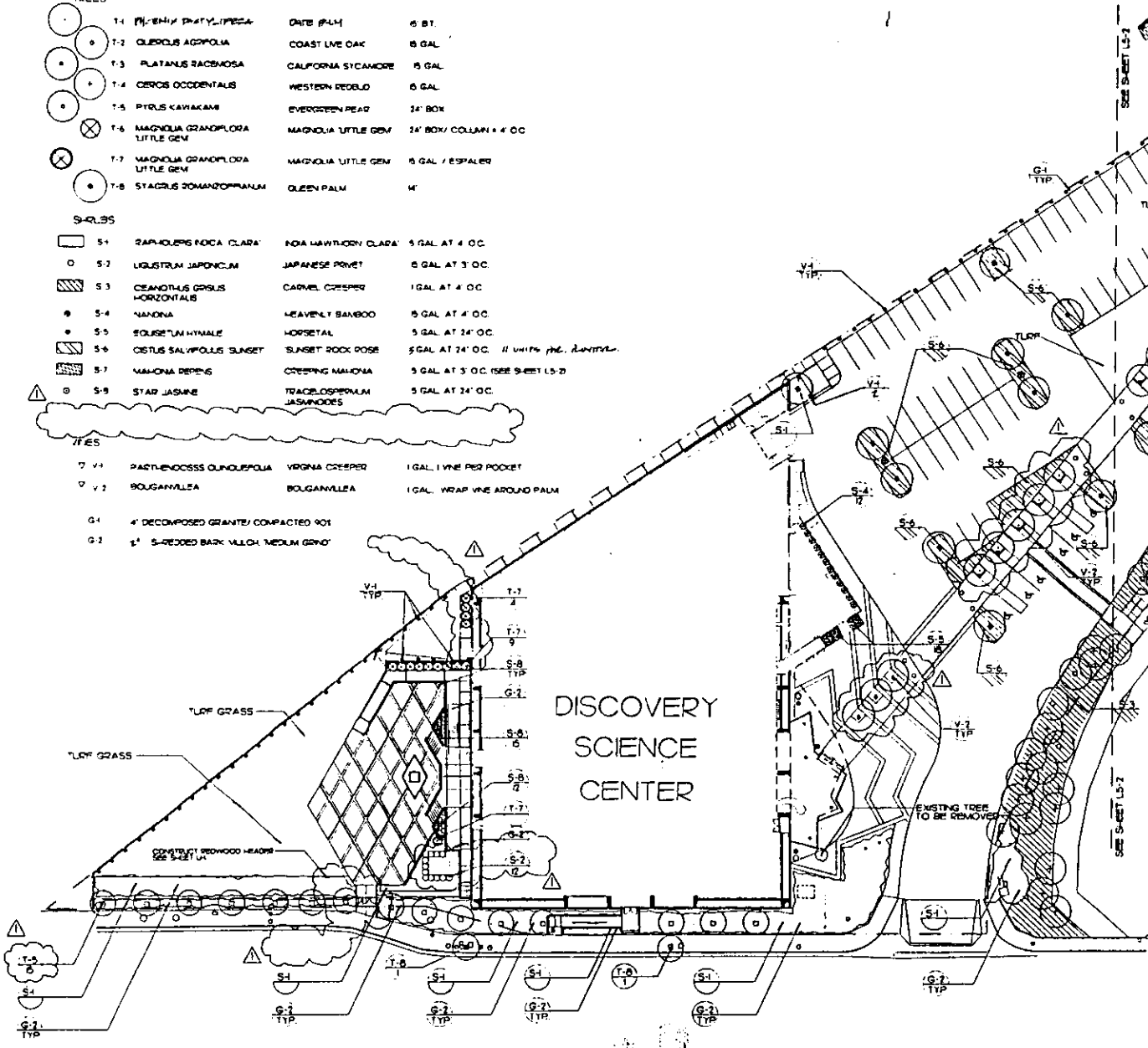
SHRUBS

| | | | |
|-----|------------------------------|--------------------------|--|
| 5-1 | ZAPHALGUS NOCA CLARA | INDIA MANTHORNY CLARA | 5 GAL AT 4' OC. |
| 5-2 | LIQISTRUM JAPONICUM | JAPANESE PRIVET | 5 GAL AT 3' OC. |
| 5-3 | CEANOTHUS ORPULS HORIZONTALS | CARVEL CREEPER | 1 GAL AT 4' OC. |
| 5-4 | NAHONIA | HEAVENLY BAMBOO | 5 GAL AT 4' OC. |
| 5-5 | SOUSUMYUM HYMALE | HORSETAIL | 5 GAL AT 24" OC. |
| 5-6 | CISTUS SALYPOLUS SUNSET | SUNSET ROCK ROSE | 5 GAL AT 24" OC. <i>11 units per container</i> |
| 5-7 | NAHONIA DEPENS | CREEPING NAHONIA | 5 GAL AT 3' OC. (SEE SHEET LS-2) |
| 5-8 | STAR JASMINE | TRACLOSOPALAM JASMINODES | 5 GAL AT 24" OC. |

VINES

| | | | |
|-----|--------------------------------------|------------------|------------------------------|
| V-1 | PARTENOCISS QUINQUEFOLIA | VIRGINIA CREEPER | 1 GAL. 1 VINE PER POCKET |
| V-2 | BOUGANVILLEA | BOUGANVILLEA | 1 GAL. WRAP VINE AROUND PALM |
| G-1 | 4" DECOMPOSED GRANITE/ COMPACTED 90% | | |
| G-2 | 2" S-REDDED BARK VULCAN MEDIUM GROW | | |

DISCOVERY
SCIENCE
CENTER



PLANTING NOTES

REFER TO PLANTING SPECIFICATIONS AND DETAILS FOR SOIL PREPARATION, FERTILIZATION, MULCHING AND OTHER PLANTING INFORMATION.

NOTIFY OWNER'S AUTHORIZED REPRESENTATIVE 48 HOURS PRIOR TO COMMENCEMENT OF WORK TO COORDINATE PROJECT INSPECTION SCHEDULES.

VERIFY ALL EXISTING CONDITIONS, DIMENSIONS AND ELEVATIONS BEFORE PROCEEDING WITH THE WORK. NOTIFY LANDSCAPE ARCHITECT IMMEDIATELY SHOULD FIELD CONDITIONS VARY FROM THOSE SHOWN ON PLAN.

REPORT DISCREPANCIES IN THE DRAWINGS OR BETWEEN THE DRAWINGS AND ACTUAL FIELD CONDITIONS TO THE LANDSCAPE ARCHITECT. CORRECTED DRAWINGS OR INSTRUCTIONS SHALL BE ISSUED PRIOR TO THE CONTINUATION OF THIS WORK. ASSUME FULL RESPONSIBILITY FOR ALL NECESSARY CORRECTIONS DUE TO FAILURE TO REPORT KNOWN DISCREPANCIES.

LOCATE ALL EXISTING UTILITIES WHETHER SHOWN HEREON OR NOT AND PROTECT THEM FROM DAMAGE. NOTIFY OWNER'S REPRESENTATIVE IMMEDIATELY AND ASSUME FULL RESPONSIBILITY FOR EXPENSE OF REPAIR OR REPLACEMENT IN CONJUNCTION WITH DAMAGED UTILITIES.

LOCATION OF IN-C CONSTRUCTION ELEMENTS SUCH AS LIGHTS, SIGNS, VENTS, HYDRANTS, TRANSFORMERS, ETC. ARE APPROXIMATE. NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY SHOULD THE LOCATION OF THESE ITEMS INTERFERE WITH THE PROPER EXECUTION OF WORK.

OBTAIN ALL SOIL FOR LANDSCAPE PLANTING AREAS OR BERMS FROM ON-SITE EXCAVATIONS. SHOULD APPROX SOIL BE NECESSARY, BUREAU APPROX SOIL TESTING RESULTS FOR APPROVAL PRIOR TO IMPORTATION. SOIL SHALL BE SANDY LOAM CONTAINING NO TOXIC CHEMICALS OR ELEMENTS WHICH MAY INHIBIT OR DELAY NORMAL PLANT GROWTH.

AFTER SOIL GRADES HAVE BEEN ESTABLISHED IN PLANTING AREAS, HAVE SOIL SAMPLES TAKEN AT THE LOCATIONS INDICATED BY DESIGNATION. HAVE SAMPLES TESTED BY SOIL AND PLANT LAB. (781) 555-8333 FOR SOIL, PERCENTURE, AGGREGATE, NUTRIENT TEST AND SOIL PREPARATION RECOMMENDATIONS. TAKE TWO SAMPLES AT EACH LOCATION @ GROUND LEVEL, 10" DEEP, 12" 24" TO 36" DEEP. EACH SAMPLE SHALL CONTAIN APPROXIMATELY 1 QUART OF SOIL TO BE LABELED PER LOCATION AND DEPTH. INSTALL SOIL PREPARATION AND BACK FILL TO CONFORM TO THESE RECOMMENDATIONS ONLY UPON RECEIPT OF WRITTEN CHANGE ORDER FROM OWNER. SUBMIT SOIL REPORT TO LANDSCAPE ARCHITECT PRIOR TO PLANTING.

KILL AND REMOVE ALL EXISTING WEEDS FROM SITE AREAS FOR SPECIFICATIONS.

ASSURE POSITIVE DRAINAGE IN ALL PLANTING AREAS, 2% MINIMUM.

LOCATE AND TAG ALL PLANT MATERIAL. MATERIAL SHALL BE IN CONFORMANCE WITH PLANTING PLAN DESCRIPTIONS AND SPECIFICATIONS. ALL PLANT MATERIAL IS SUBJECT TO REVIEW AND APPROVAL PRIOR TO INSTALLATION. PROVIDE PHOTOS OF REPRESENTATIVE SAMPLES OF EACH TAGGED BLOCK TO LANDSCAPE ARCHITECT APPROX 30 DAYS BEFORE ANTICIPATED DELIVERY. PHOTOS SHALL INCLUDE A PERSON FOR SCALE. PLANTING MATERIAL DELIVERED TO THE SITE MAY BE REJECTED BASED ON UNUSUAL APPEARANCE OR NON CONFORMANCE WITH SPECIFICATIONS, EVEN IF PRODUCE IS REVIEWED BY THE LANDSCAPE ARCHITECT OR OWNER.

ALL TREES WITH A SPECIES SHALL HAVE MATING POIN.

FINAL LOCATION OF ALL PLANT MATERIALS SHALL BE SUBJECT TO THE APPROVAL OF THE OWNER'S AUTHORIZED REPRESENTATIVE.

PLANTING QUANTITIES ARE GIVEN FOR CONFORMANCE ONLY. PLANT SYMBOLS AND SPECIFIED SPACING SHALL TAKE PRECEDENCE.

CONTACT LANDSCAPE ARCHITECT AND OBTAIN APPROVAL OF LOCATIONS OF CONTAINER POTS PRIOR TO PLANTING WITH SOIL MIX.

AT EDGES OF PLANTING AREAS, THE CENTER LINE OF THE LAST ROW OF SHRUBS AND/OR GROUND COVER SHALL BE LOCATED NO FURTHER FROM THE EDGE THAN ONE-HALF THE SPECIFIED CENTER SPACING.

INSTALL GROUND COVER AND/OR SHRUB MASSES WITH TRIANGULAR SPACING UNLESS OTHERWISE INDICATED (SEE DETAIL SHEET LS-4).

PROVIDE FERTILIZER TABLETS FOR EACH CONTAINER GROWN PLANT 1 GALLON AND LARGER PER SPECIFICATIONS.

FOR ALL TREES IN PARKING ISLANDS, INSTALL ROOT BARRIERS BY DEEP ROOT CORROPTION (781) 596 0543.

ALL CURVE TO CURVE AND CURVE TO TANGENT LINES SHALL BE NEAT, TIGHT, SMOOTH AND UNIFORM.

REMOVE ALL NURSERY STAKES AND ESPALER RACKS IMMEDIATELY AFTER INSTALLATION UPON PROVIDING SUPPORT PER PLAN.

LIST ON THE PLANT MATERIAL QUANTITIES ALL EXISTING TREES THAT HAVE HAD WORK PERFORMED WITHIN 5' OF TOLERANCE.

DURING THE LENGTH OF THE GUARANTEE PERIOD BE RESPONSIBLE FOR PROPER STAKING AND/OR GUINING OF TREES TO ENSURE STABILITY.

ANNUAL COLOR TO BE SELECTED BY LANDSCAPE ARCHITECT AT TIME OF INSTALLATION. REQUEST RECOMMENDATION A MINIMUM OF 48 HOURS IN ADVANCE OF NEED FOR DELIVERY.

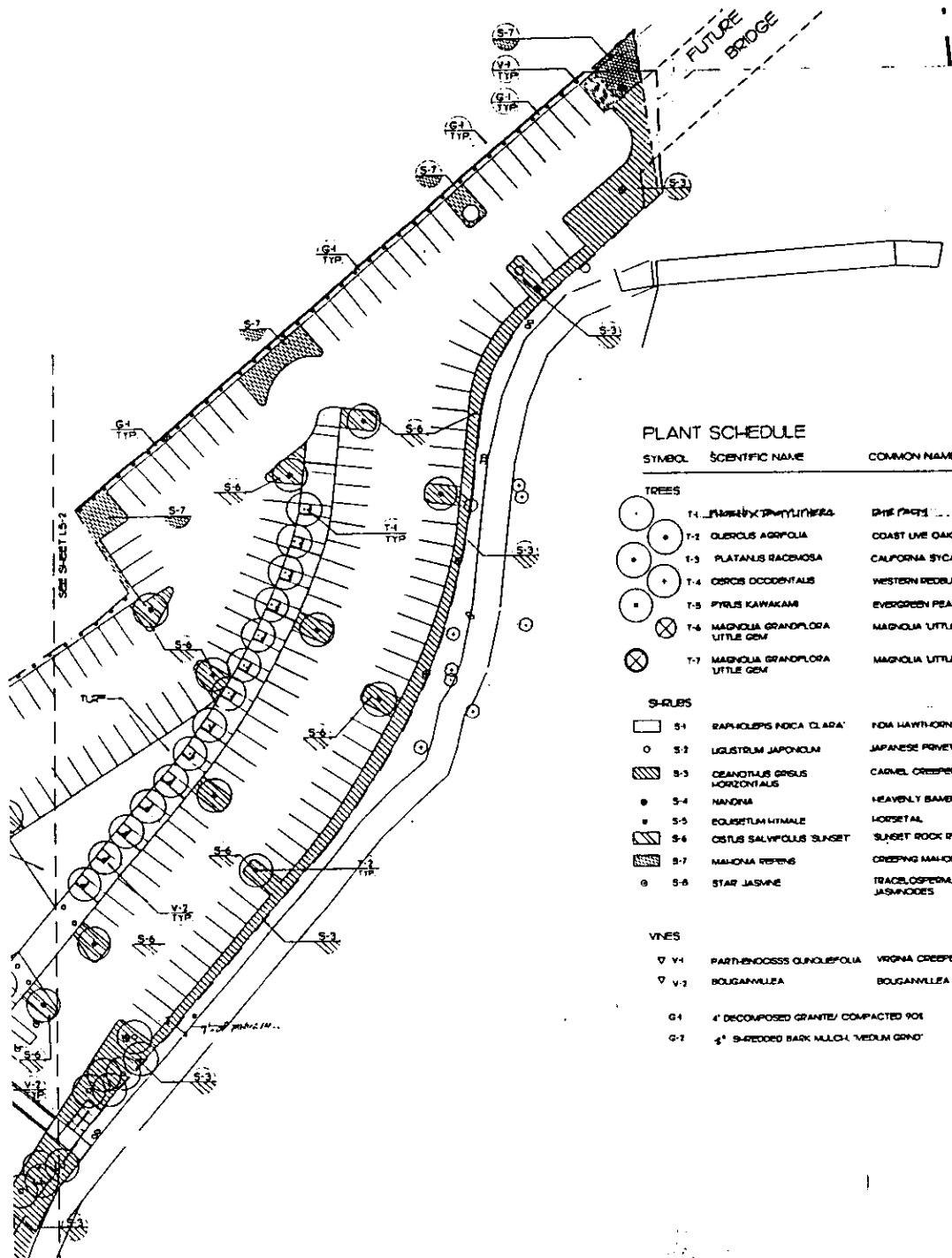
MULCH ALL LANDSCAPE AREAS EXCLUDING TURF HAVING LESS THAN A 2% SLOPE WITH A 1" DEEP LAYER OF MEDIUM GRAIN MULCH SUPPLIED BY MICHAEL BARKS COMPANY (781) 633-3666 AT THE CONCLUSION OF PLANTING OPERATIONS.

DISCOVERY SCIENCE CENTER
DISCOVERY MUSEUM OF OR
SANTA ANA, CALIFORNIA

PLANTING PLAN

DATE: 6-13-97
DRAWN BY: [Signature]
CHECKED BY: [Signature]
SCALE: 1"=10'-0"
SHEET: 15 OF 25

THE LANDSCAPE ARCHITECTS, INC.
781 West 17th Street, Suite 200
Santa Ana, California 92706
(714) 755-1000



PLANT SCHEDULE

| SYMBOL | SCIENTIFIC NAME | COMMON NAME | SIZE |
|---------------|---------------------------------------|---------------------------|--|
| TREES | | | |
| T-1 | QUERCUS PARVIFLORA | PIKE PINE | 8 FT. |
| T-2 | QUERCUS AGRIFOLIA | COAST LIVE OAK | 8 GAL |
| T-3 | PLATANUS BACCHOSA | CALIFORNIA Sycamore | 8 GAL |
| T-4 | OSYRIS OCCIDENTALIS | WESTERN REDBUD | 8 GAL |
| T-5 | PYRUS KAWAKAMI | EVERGREEN PEAR | 24" BOX |
| T-6 | MAGNOLIA GRANDIFLORA LITTLE GEM | MAGNOLIA LITTLE GEM | 24" BOX COLLAR + 4" OC. |
| T-7 | MAGNOLIA GRANDIFLORA LITTLE GEM | MAGNOLIA LITTLE GEM | 8 GAL / ESPALER |
| SHRUBS | | | |
| S-1 | BANKSIA INDIANA CLARA | INDIA HAWTHORN CLARA | 5 GAL AT 4" OC. |
| S-2 | LIGULSTRUM JAPONICUM | JAPANESE PRIVET | 8 GAL AT 3" OC. |
| S-3 | CEANOTHUS GRISUS HORIZONTALIS | CAMEL CREEPER | 1 GAL AT 4" OC. |
| S-4 | MAHONIA | HEAVENLY BAMBOO | 6 GAL AT 4" OC. |
| S-5 | EUSETIUM HIMALA | HORSETAIL | 5 GAL AT 24" OC. |
| S-6 | OSYRIS SALICIFOLIA SUNSET | SUNSET ROCK ROSE | 8 GAL AT 24" OC. - H.W.B.F. / PLANTER. |
| S-7 | MAHONIA REPENS | CREEPING MAHONIA | 5 GAL AT 3" OC. (SEE SHEET LS-2) |
| S-8 | STAR JASMINE | TRACHELOSPERUM JASMINODES | 5 GAL AT 24" OC. |
| VINES | | | |
| V-1 | PARTHENOISSIS QUINQUEFOLIA | VIOLIN CREEPER | 1 GAL, 1 PLANT PER VINE POCKET |
| V-2 | BOUGANVILLEA | BOUGANVILLEA | 1 GAL, W/AR VINE AROUND PALM |
| G-1 | 4" DECOMPOSED GRANITE / COMPACTED 90% | | |
| G-2 | 1/4" SHREDDED BARK MULCH, MEDIUM GRND | | |

PLANTING NOTES

REFER TO PLANTING SPECIFICATIONS AND DETAILS FOR SOIL PREPARATION FERTILIZATION MULCHING AND OTHER PLANTING INFORMATION.

NOTIFY OWNER'S AUTHORIZED REPRESENTATIVE 48 HOURS PRIOR TO COMMENCEMENT OF WORK TO COORDINATE PROJECT INSPECTION.

VERIFY ALL EXISTING CONDITIONS DIMENSIONS AND ELEVATIONS BEFORE PROCEEDING WITH THE WORK. NOTIFY LANDSCAPE ARCHITECT IMMEDIATELY SHOULD FIELD CONDITIONS VARY FROM THOSE SHOWN ON PLAN.

REPORT DISCREPANCIES IN THE DRAWINGS OR BETWEEN THE DRAWINGS AND ACTUAL FIELD CONDITIONS TO THE LANDSCAPE ARCHITECT. CORRECTED DRAWINGS OR INSTRUCTIONS SHALL BE ISSUED PRIOR TO THE CONTINUATION OF THE WORK. ASSUME FULL RESPONSIBILITY FOR ALL NECESSARY CORRECTING WORK TO REPORT KNOWN DISCREPANCIES.

LOCATE ALL EXISTING UTILITIES WHETHER SHOWN HEREON OR NOT AND PROTECT THEM FROM DAMAGE. NOTIFY OWNER'S REPRESENTATIVE IMMEDIATELY AND ASSUME FULL RESPONSIBILITY FOR EXPENSE OF REPAIR OR REPLACEMENT IN CONJUNCTION WITH DAMAGED UTILITIES.

LOCATION OF N.C. CONSTRUCTION ELEMENTS SUCH AS LIGHTS, SIGNS, VENTS, HYDRANTS, TRANSFORMERS, ETC. ARE APPROXIMATE. NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY SHOULD THE LOCATION OF THESE ITEMS INTERFERE WITH THE PROPER EXECUTION OF WORK.

OBTAIN ALL SOIL FOR LANDSCAPE PLANTING AREAS OR BORNE FROM ON-SITE EXCAVATIONS. SHOULD IMPORT SOIL BE NECESSARY, SUBMIT IMPORT SOIL TESTING RESULTS FOR APPROVAL PRIOR TO IMPORTATION. SOIL SHALL BE SANDY LOAM CONTAINING NO TOXIC CHEMICALS OR ELEMENTS WHICH MAY HARM OR RETARD NORMAL PLANT GROWTH.

AFTER ROUGH GRADES HAVE BEEN ESTABLISHED IN PLANTING AREAS, HAVE SOIL SAMPLES TAKEN AT THE LOCATIONS INDICATED BY DESIGNATION. HAVE SAMPLES TESTED BY SOIL AND PLANT LAB (714) 536-8333 FOR SOIL PERILITY, AGRICULTURAL SUITABILITY TEST AND SOIL PREPARATION RECOMMENDATIONS. TAKE TWO SAMPLES AT EACH LOCATION @ 8" SOILING LEVEL, TO 12" DEEP, TO 24" TO 36" DEEP. EACH SAMPLE SHALL CONTAIN APPROXIMATELY 1 QUART OF SOIL TO BE LABELED PER LOCATION AND DEPTH. INSTALL SOIL PREPARATION AND BACK FILL IN ACCORDANCE TO THESE RECOMMENDATIONS ONLY UPON RECEIPT OF WRITTEN CHANGE ORDER FROM OWNER. SUBMIT SOIL REPORT TO LANDSCAPE ARCHITECT PRIOR TO PLANTING.

KILL AND REMOVE ALL EXISTING WEEDS FROM SITE AREAS PER SPECIFICATIONS.

ASSURE POSITIVE DRAINAGE IN ALL PLANTING AREAS. 2% MINIMUM.

LOCATE AND TAG ALL PLANT MATERIAL. MATERIAL SHALL BE IN CONFORMANCE WITH PLANTING PLAN DESCRIPTION. SPECIFICATIONS. ALL PLANT MATERIAL IS SUBJECT TO REVIEW AND APPROVAL PRIOR TO INSTALLATION. PROVIDE PHOTOS OF REPRESENTATIVE EXEMPLARS OF EACH TAGGED BLOCK TO LANDSCAPE ARCHITECT WITHIN 8 DAYS BEFORE ANTICIPATED DELIVERY. PHOTOS SHALL INCLUDE A POSITION FOR SCALE PURPOSES. LANDSCAPE ARCHITECT MAY OPT TO REVIEW MATERIAL AT GROWING NURSERY. MATERIAL DELIVERED TO THE SITE MAY BE REJECTED BASED ON UNUSUAL APPEARANCE OR NON-COMPLIANCE WITH SPECIFICATIONS EVEN IF PREVIOUSLY REVIEWED BY THE LANDSCAPE ARCHITECT OR OWNER.

ALL TREES WITHIN A SPECIES SHALL HAVE MATCHING FORM.

FINAL LOCATION OF ALL PLANT MATERIALS SHALL BE SUBJECT TO THE APPROVAL OF THE OWNER'S AUTHORIZED REPRESENTATIVE.

PLANTING QUANTITIES ARE GIVEN FOR COMMENCEMENT ONLY. PLANT SYMBOLS AND SPECIFIED SPACING SHALL TAKE PRECEDENCE.

CONTACT LANDSCAPE ARCHITECT AND OBTAIN APPROVAL OF LOCATIONS OF CONTAINER POTS PRIOR TO PLANTING WITH SOIL MIX.

AT EDGES OF PLANTING AREAS, THE CENTER LINE OF THE LAST ROW OF SHRUBS AND/OR GROUND COVER SHALL BE LOCATED NO FARTHER FROM THE EDGE THAN ONE-HALF THE SPECIFIED CENTER SPACING.

INSTALL GROUND COVER AND/OR SHRUB MASSES WITH TRIANGULAR SPACING UNLESS OTHERWISE INDICATED. USE DETAIL, SHEET LS-2.

PROVIDE PER FLUZZER TABLETS FOR EACH CONTAINER GROWN PLANT 1 GALLON AND LARGER PER SPECIFICATIONS.

FOR ALL TREES IN PARKING ISLANDS, INSTALL ROOT BARRIERS BY DEEP ROOT COOPERATION (714) 890-0563.

ALL CURVE TO CURVE AND CURVE TO TANGENT LINES SHALL BE NEAT, TIGHT, SMOOTH AND UNIFORM.

REMOVE ALL NURSERY STAKES AND ESPALER BACKS IMMEDIATELY AFTER INSTALLATION UPON PROVIDING SUPPORT PER PLAN.

LIST ON THE PLANT MATERIAL GUARANTEE ALL EXISTING TREES THAT HAVE HAD WORK PERFORMED WITHIN 6' OF TRUNK.

DURING THE LENGTH OF THE GUARANTEE PERIOD BE RESPONSIBLE FOR PROPER STAKING AND/OR CUTTING OF TREES TO ENSURE STABILITY.

ANNUAL COLOR TO BE SELECTED BY LANDSCAPE ARCHITECT AT TIME OF INSTALLATION. REQUEST RECOMMENDATION A MINIMUM OF 48 HOURS IN ADVANCE OF NEED FOR DELIVERY.

MULCH ALL LANDSCAPE AREAS EXCLUDING TURF HAVING LESS THAN A 2% SLOPE WITH A 2" DEEP LAYER OF MEDIUM GRND MULCH SUPPLIED BY MICHAEL RAMUS COMPANY (714) 833-3666 AT THE CONCLUSION OF PLANTING OPERATIONS.

BY: LANDSCAPE ARCHITECT - INC.
 1100 S. MAIN ST. SUITE 100
 SANTA ANA, CALIFORNIA 92701
 (714) 255-1000

PLANTING PLAN

DISCOVERY SCIENCE CENTER
 DISCOVERY MUSEUM OF OC
 SANTA ANA, CALIFORNIA

DATE: 4-25-97
 SCALE: 1/32" = 1'-0"
 SHEET: 15.2 OF 15
 PROJECT: 92049

15.2

CONSTRUCTION KEY:

- (1) CONSTRUCTION
- (2) CONSTRUCTION
- (3) SEPARATION WALL
- (4) SEPARATION WALL

ROOM FINISH KEY:

- ROOM NAME
- ROOM NUMBER
- FINISH CODE

FINISH SCHEDULE

NOTE: ALL FINISH MATERIALS TO BE COMPLIANT AS PER CBC CHAPTER 8 TABLES 804 & 805
 1 = FINISH APPROVED BY OTHERS

FLOOR/BASE

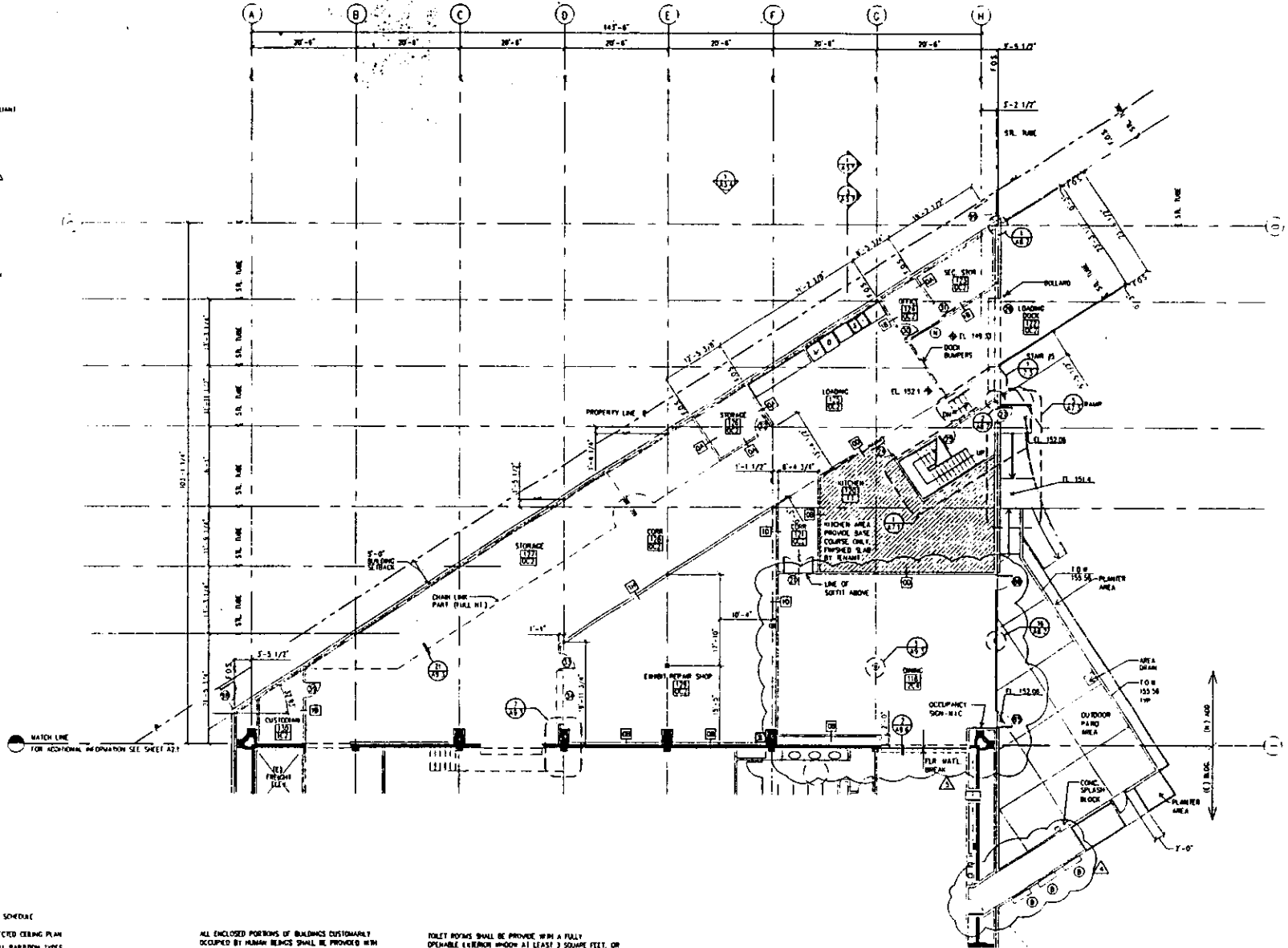
- 1 CONCRETE / NO BASE
- 2 CONCRETE / FURBER BASE
- 3 FINISH TILE / CERAMIC TILE
- 4 BRICK / NO FINISH
- 5 CARPET / RUBBER BASE
- 6 W/4 FLOOR / RUBBER BASE

WALL/PAINTSCOT

- 1 EXPOSED CONCRETE
- 2 GYPSUM BOARD - PAINTED - NO PAINT
- 3 GYPSUM BOARD - PAINTED
- 4 CERAMIC TILE
- 5 BRICK
- 6 W/4 WALL COVERING
- 7 W/4 PANELS - STAINLESS STEEL / PAINT / GYPSUM BOARD

CEILING

- 1 EXPOSED STRUCTURE
- 2 GYPSUM BOARD - PAINTED - NO PAINT
- 3 GYPSUM BOARD - PAINTED
- 4 1/2" LAY-IN ACoustICAL TILE
- 5 2" LAY-IN ACoustICAL TILE
- 6 W/4 FINE LINE GRID
- 7 EXT. GYM PLASTER
- 8 2" x 4" LAY-IN ACoustICAL TILE w/ FINE LINE GRID

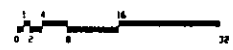


REFER TO 481 FOR DOOR SCHEDULE
 REFER TO 482 FOR REFLECTED CEILING PLAN
 SEE SHEET 414 FOR WALL PARTITION TYPES
 EXIT DOORS SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE
 PROVIDE 24 HOUR MINIMUM RATED FIRE EXTINGUISHERS TO BE LOCATED ON EACH LEVEL WITHIN 75 FEET OF TRAVEL DISTANCE FROM ALL AREAS. TRAVEL DISTANCE IS 30 FEET IN AREAS HAVING FLAMMABLE LIQUIDS
 PROVIDE A 100C MINIMUM RATED FIRE EXTINGUISHER IN KITCHEN
 CHEMICAL EXTINGUISHING (NET OR DRYS) SYSTEMS SHALL BE INSTALLED PER N.F.P.A. STANDARD 17 TO PROTECT COOKING EQUIPMENT AND EXHAUST SYSTEMS
 COMPOSITE WOOD JOIST CONSTRUCTION HAVING AUTOMATIC FIRE SPRINKLERS SHALL BE FIRESTOPPED IN CONFORMANCE WITH CURRENT EDITION OF N.F.P.A. 11

ALL ENCLOSED PORTIONS OF BUILDINGS CUSTOMARILY OCCUPIED BY HUMAN BEINGS SHALL BE PROVIDED WITH NATURAL VENTILATION BY MEANS OF OPENABLE EXTERIOR OPENINGS IN AN AREA NOT LESS THAN 1/200 OF THE TOTAL FLOOR AREA OR SHALL BE PROVIDED WITH A MECHANICALLY OPERATED VENTILATION SYSTEM. SUCH MECHANICALLY OPERATED VENTILATION SYSTEM SHALL BE CAPABLE OF SUPPLYING A MINIMUM OF 15 CUBIC FEET PER MINUTE OF OUTSIDE AIR PER OCCUPANT DURING SLEEP TIME AS THE BUILDING IS OCCUPIED. IF THE VELOCITY OF AIR AT A REGISTER EXCEEDS 10 FEET PER SECOND, THE REGISTER SHALL BE PLACED MORE THAN 6 FEET ABOVE THE FLOOR DIRECTLY THEREIN. CBC SECTION 1202.2.1
 COMPOSITE WOOD JOIST CONSTRUCTION HAVING AUTOMATIC FIRE SPRINKLERS SHALL BE FIRESTOPPED IN CONFORMANCE WITH CURRENT EDITION OF N.F.P.A. 11

TOILET ROOMS SHALL BE PROVIDED WITH A FULLY OPERABLE EXTERIOR WINDOW AT LEAST 3 SQUARE FEET, OR A VERTICAL DUCT NOT LESS THAN 100 SQUARE INCHES IN AREA FOR THE FIRST WATER CLOSET PLUS 50 ADDITIONAL SQUARE INCHES FOR EACH ADDITIONAL WATER CLOSET, OR A MECHANICALLY OPERATED EXHAUST SYSTEM CAPABLE OF PROVIDING A COMPLETE CHANGE OF AIR EVERY 15 MINUTES. SUCH MECHANICALLY OPERATED EXHAUST SYSTEMS SHALL BE CONNECTED DIRECTLY TO THE OUTSIDE, AND THE POINT OF DISCHARGE SHALL BE AT LEAST 3 FEET FROM ANY OPENING WHICH ALLOWS AIR ENTRY INTO OCCUPIED PORTIONS OF THE BUILDING. CBC SECTION 1202.2.1 (SECOND PARAGRAPH)
 NOTE: ALL EXTERIOR DOORS MUST BE EQUIPPED WITH A DOOR LOCK.

FIRST FLOOR PLAN
 SCALE 1/8" = 1'-0"



| ADDENDA | |
|---------|--------|
| 1 | 9.1.97 |
| 2 | 9.1.97 |

203

FIRST FLOOR PLAN
 SCALE 1/8" = 1'-0"

ARQUITECTONICA

DISCOVERY SCIENCE CENTER
 1400 STREET
 CALIFORNIA
 9516
 200
 SAN
 9516
A2.2

CONSTRUCTION KEY:

- (E) CONSTRUCTION
- (H) CONSTRUCTION
- 2" MIN. SEPARATION WALL
- 2" MIN. SEPARATION WALL

ROOM FINISH KEY:

- ROOM NAME
- ROOM NUMBER
- FLOOR CODE

FINISH SCHEDULE:

NOTE: ALL FINISH MATERIALS TO BE COMPLIANT AS PER CODE CHAPTER 9 UNLESS SHOWN OTHERWISE.
 F.I. = FINISH IMPROVEMENT BY OTHERS

FLOOR/BASE:

- CONCRETE / NO BASE
- CONCRETE / NUMBER BASE
- CONCRETE / FINISH CONCRETE
- CONCRETE / FINISH CONCRETE
- CONCRETE / FINISH CONCRETE
- CONCRETE / FINISH CONCRETE

HALL/WAINSCOT:

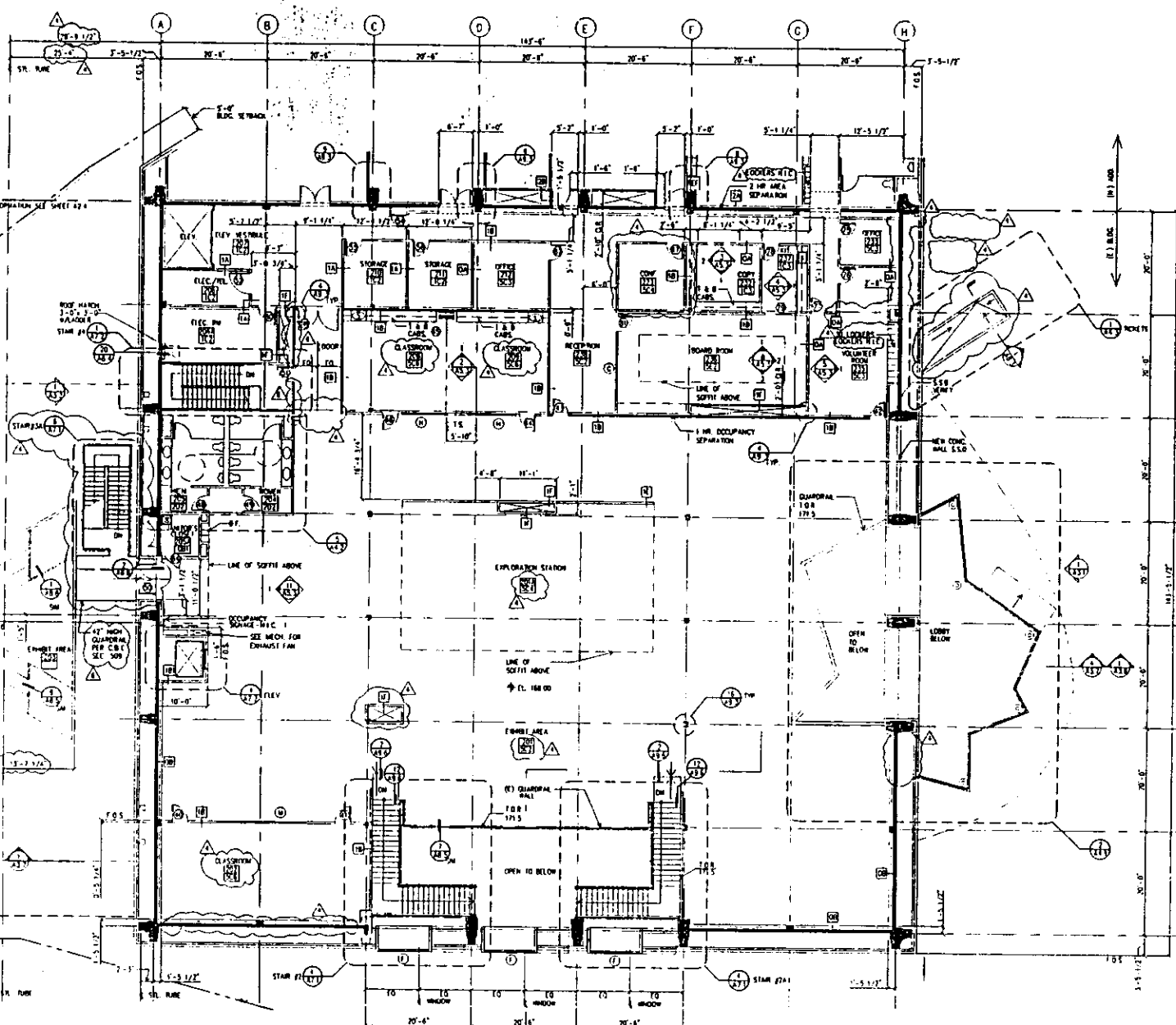
- SPRINKLED CONCRETE
- SPRINKLED CONCRETE - NO PAINT
- SPRINKLED CONCRETE - PAINTED
- SPRINKLED CONCRETE - PAINTED
- SPRINKLED CONCRETE - PAINTED
- SPRINKLED CONCRETE - PAINTED

CERAMIC:

- SPRINKLED CONCRETE
- SPRINKLED CONCRETE - NO PAINT
- SPRINKLED CONCRETE - PAINTED
- SPRINKLED CONCRETE - PAINTED
- SPRINKLED CONCRETE - PAINTED
- SPRINKLED CONCRETE - PAINTED

NOTE: CURB IS AN ALTERNATE ALTERNATE EXCEPT STRUCTURAL SHOWN OTHERWISE & 12" MIN. TO COL. & RELATED FLOOR FINISH @ COL. (INCLUDED IN BASE DOC)

NOTE: EMBASE AREA 202 - IN ROOMS STRUCTURE AND RISERS W/IC. ALSO 5.5.0



REFER TO A-1.1 FOR DOOR SCHEDULE

REFER TO A-1.2 FOR SELECTED CEILING PLANS

FOR ADDITIONAL SAN CUTS @ SET WALLS

SEE SHEET A-1.2 & A-1.3

SEE SHEET A-1.4 FOR WALL PARTITION TYPES

(A) DOORS SHALL BE OPERABLE FROM THE INSIDE

WHEN THE USE OF A KEY ON ANY SPECIAL

KNOWLEDGE

PROVIDE 24 HOUR MANUAL RAISED FINE EXTINGUISHERS TO BE LOCATED

ON EACH LEVEL WITHIN 10 FEET OF TRAVEL DISTANCE FROM ALL

AREAS. TRAVEL DISTANCE IS 30 FEET IN AREAS HAVING FLAMMABLE

LIQUIDS

COMPOSITE WOOD JOIST CONSTRUCTION HAVING AUTOMATIC FIRE

SPRINKLERS SHALL BE FIRE STOPPED IN CONFORMANCE WITH CURRENT

EDITION OF IBC P.A. 15.

ALL ENCLOSED PORTIONS OF BUILDINGS OCCUPIED BY HUMAN BEINGS SHALL BE PROVIDED WITH NATURAL VENTILATION BY MEANS OF OPERABLE EXTERIOR OPENINGS WITH AN AREA NOT LESS THAN 1/20 OF THE TOTAL FLOOR AREA OF SHALL BE PROVIDED WITH A MECHANICALLY OPERATED VENTILATION SYSTEM. SUCH MECHANICALLY OPERATED VENTILATION SYSTEM SHALL BE CAPABLE OF SUPPLYING A MINIMUM OF 15 CUBIC FEET PER MINUTE OF OUTSIDE AIR PER OCCUPANT DURING EACH HOUR AS THE BUILDING IS OCCUPIED. IF THE VELOCITY OF AIR AT A RECEPTOR EXCEEDS 50 FEET PER SECOND, THE RECEPTOR SHALL BE PLACED MORE THAN 10 FEET ABOVE THE FLOOR DIRECTLY BEHIND. CIRC SECTION 1402.2.1

TOILET ROOMS SHALL BE PROVIDED WITH A FULLY OPERABLE EXTERIOR WINDOW AT LEAST 3 SQUARE FEET, OR A VERTICAL DUCT NOT LESS THAN 100 SQUARE INCHES IN AREA FOR THE FIRST HOURS CLOSED PLUS 50 ADDITIONAL SQUARE INCHES FOR EACH ADDITIONAL HOURS CLOSED, OR A MECHANICALLY OPERATED EXHAUST SYSTEM CAPABLE OF PROVIDING A COMPLETE CHANGE OF AIR EVERY 15 MINUTES. SUCH MECHANICALLY OPERATED EXHAUST SYSTEMS SHALL BE CONNECTED DIRECTLY TO THE OUTSIDE, AND THE POINT OF OCCURRENCE SHALL BE AT LEAST 3 FEET FROM ANY OPENING WHICH ALLOWS AIR ENTRY INTO OCCUPIED PORTIONS OF THE BUILDING. CIRC SECTION 1402.2.1 (EXCERPT PARAGRAPHS)

NOTE: ALL EXTERIOR DOORS MUST BE EQUIPPED WITH A DOOR LIGHT.

SECOND FLOOR PLAN
 SCALE 1/4" = 1'-0"



| NO. | DATE | REVISION |
|-----|----------|----------|
| 1 | 05/07 | |
| 2 | 10/21/07 | |

SECOND FLOOR PLAN
 SCALE 1/4" = 1'-0"

ARQUITECTONICA
 1700 BROADWAY, SUITE 100
 SAN FRANCISCO, CA 94103

DISCOVERY SCIENCE CENTER
 2500 NORTH "N" STREET
 SANTA ANA, CA 92705



9516
A2.3

CONSTRUCTION KEY:

- (1) CONSTRUCTION
- (2) CONSTRUCTION
- HW SEPARATION WALL
- SWR SEPARATION WALL

ROOM FINISH KEY:

- ROOM NAME
- ROOM NUMBER
- FINISH CODE

FINISH SCHEDULE

NOTE: ALL FINISH MATERIALS TO BE COMPLIANT AS PER CBC CHAPTER 8 TABLES 801.0 & 802.0

FLOOR/BASE

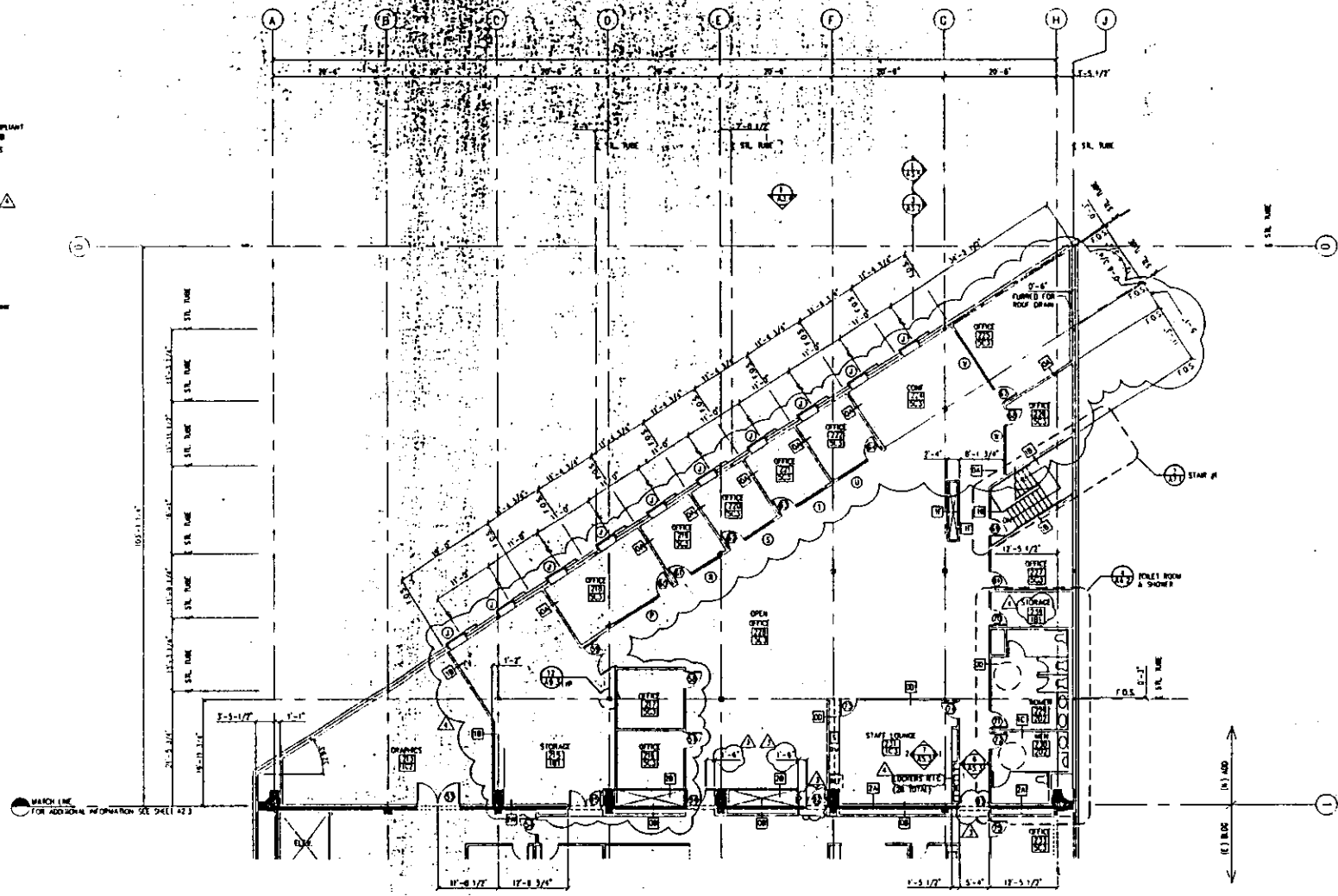
- 0 CONCRETE / NO BASE
- 1 W/VT. TILE / NUMBER BASE
- 2 CERAMIC TILE / CERAMIC CONC. FINISH
- 3 CARPET / NUMBER BASE
- 4 W/VT. TILE / NUMBER BASE

WALL/WAINSCOT

- 0 EXPOSED CONCRETE
- 1 C/P BR - PAINTED - NO PAINT
- 2 C/P BR - PAINTED
- 3 CERAMIC TILE
- 4 W/VT. WALL COVERING
- 5 FIB. PANELS (WAINSCOT) / PANELS @ SWR

CEILING

- 0 EXPOSED STRUCTURE
- 1 C/P BR - PAINTED - NO PAINT
- 2 C/P BR - PAINTED
- 3 1" LAY-IN ACOUSTICAL TILE
- 4 1" LAY-IN ACOUSTICAL TILE
- 5 1" LAY-IN PLASTER
- 6 1" LAY-IN ACOUSTICAL TILE / 1/4" LINE GRID



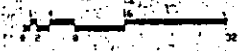
SECOND FLOOR PLAN
SCALE 1/8" = 1'-0"

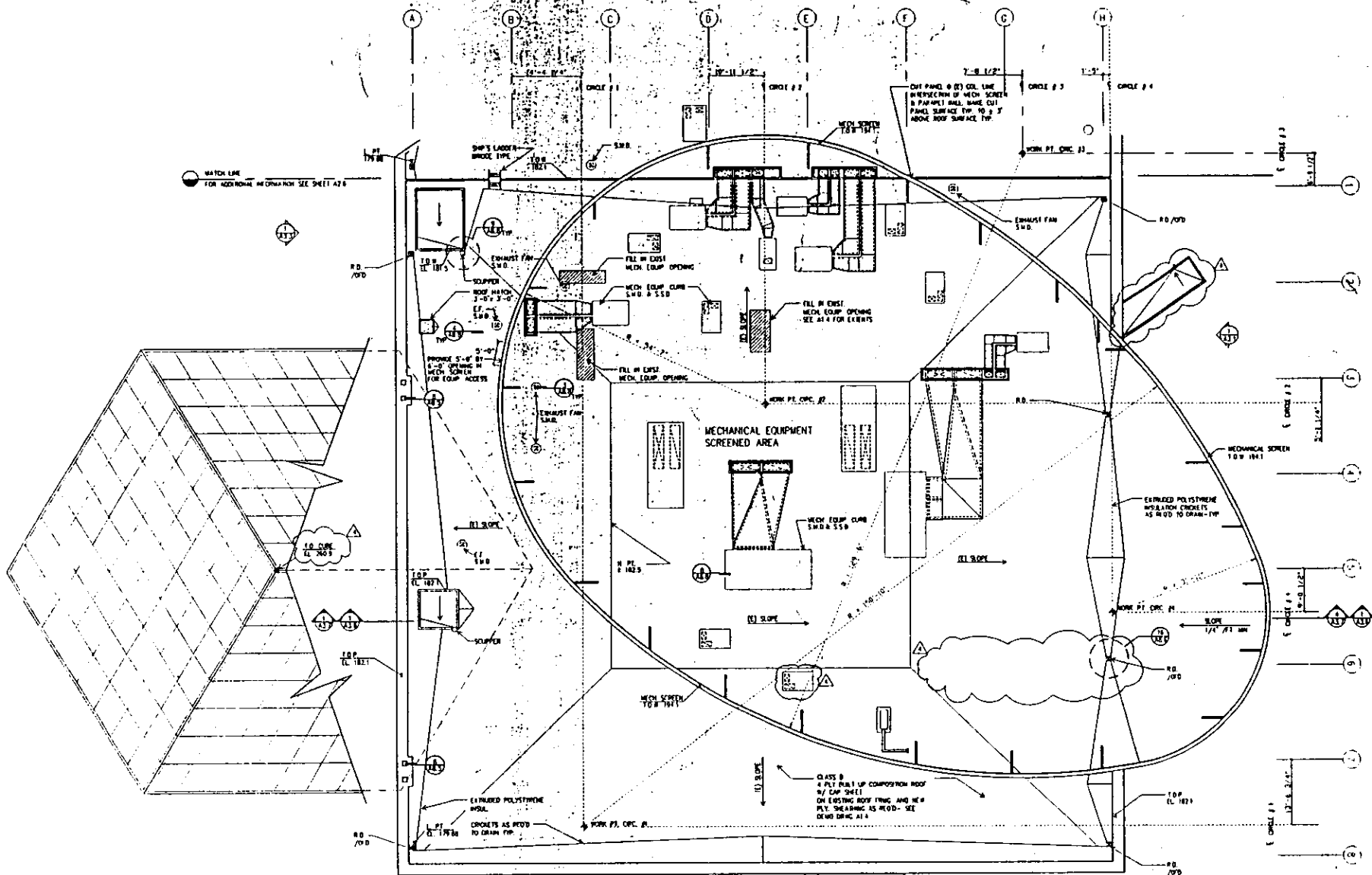
REFER TO A4.4 FOR REFLECTED CEILING PLANS
SEE SHEET A.4 FOR HALL PARTITION TYPES.
EXIT DOORS SHALL BE OPENABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL MECHANISM.
PROVIDE 7A 100M MINIMUM RATED FIRE EXTINGUISHERS TO BE LOCATED ON EACH LEVEL WITHIN 75 FEET OF TRAVEL DISTANCE FROM ALL AREAS. TRAVEL DISTANCE IS 30 FEET IN AREAS HAVING FLAMMABLE LIQUIDS.
COMPOSITE WOOD JOIST CONSTRUCTION HAVING AUTOMATIC FIRE SPRINKLERS SHALL BE FIRE STOPPED IN CONFORMANCE WITH CURRENT EDITION OF I.B.P.A. 13.

ALL ENCLOSED PORTIONS OF BUILDINGS OCCUPIED BY HUMAN BEINGS SHALL BE PROVIDED WITH NATURAL VENTILATION BY MEANS OF OPERABLE EXTERIOR OPENINGS WITH AN AREA NOT LESS THAN 1/20 OF THE TOTAL FLOOR AREA OR SHALL BE PROVIDED WITH A MECHANICALLY OPERATED VENTILATION SYSTEM. SUCH MECHANICALLY OPERATED VENTILATION SYSTEM SHALL BE CAPABLE OF SUPPLYING A MINIMUM OF 15 CUBIC FEET PER MINUTE OF OUTSIDE AIR PER OCCUPANT DURING SUCH TIME AS THE BUILDING IS OCCUPIED. IF THE VELOCITY OF AIR AT A RECESSED EXHAUST NOZZLE EXCEEDS 10 FEET PER SECOND, THE RECESSED NOZZLE SHALL BE PLACED MORE THAN 8 FEET ABOVE THE FLOOR DIRECTLY BEHIND. CBC SECTION 1002.2.1.
COMPOSITE WOOD JOIST CONSTRUCTION HAVING AUTOMATIC FIRE SPRINKLERS SHALL BE FIRE STOPPED IN CONFORMANCE WITH CURRENT EDITION OF I.B.P.A. 13.

TOILET ROOMS SHALL BE PROVIDED WITH A FULLY OPERABLE EXTERIOR WINDOW AT LEAST 3 SQUARE FEET, OR A VERTICAL SLIT NOT LESS THAN 100 SQUARE INCHES IN AREA FOR THE FIRST WATER CLOSET PLUS 50 ADDITIONAL SQUARE INCHES FOR EACH ADDITIONAL WATER CLOSET, OR A MECHANICALLY OPERATED EXHAUST SYSTEM CAPABLE OF PROVIDING A COMPLETE CHANGE OF AIR EVERY 15 MINUTES. SUCH MECHANICALLY OPERATED EXHAUST SYSTEMS SHALL BE CONNECTED DIRECTLY TO THE OUTSIDE, AND THE POINT OF DISCHARGE SHALL BE AT LEAST 3 FEET FROM ANY OPENING WHICH ALLOWS AIR ENTRY AND OCCUPIED PORTIONS OF THE BUILDING. CBC SECTION 1002.2.1 (SECOND PARAGRAPH).
NOTE: DESIGNING PARTITION WALLS BETWEEN SUITES MUST RUN FLOOR TO ROOF.

| NO. | REVISION | DATE |
|-----|-------------------|----------|
| 1 | ISSUED FOR PERMIT | 11/11/03 |
| 2 | REVISION | 11/11/03 |





ROOF PLAN
SCALE 1/8" = 1'-0"

OVERFLOW DRAINS SHALL BE CONNECTED TO DRAIN LINES
MULTIPLICATED FROM THE ROOF DRAIN LINES. (SEE SECTION 1504.3)
ROOF OVERFLOW DRAINS SHALL BE INSTALLED 12" TO THE ROOF'S
DRAINS SHALL BE INSTALLED 2" ABOVE THE DRAIN LINE LOCATED
2 INCHES ABOVE THE LOW POINT OF THE ROOF (SMALL LOCALIZED
DRAIN IS NOT CONSIDERED BY THE ROOF LOW POINT FOR THIS REQUIREMENT) (SEE SECTION 1504.3)
NOTE: ALL ROOF DRAIN BELLOWS, BELLOWS, INVERTS,
OR CANALS MUST BE BARRICADED BY 2" x 4" x 1/2"
NOTE: ROOF LADDERS MUST BE FULLY ENCLOSED
BY 2" x 4" x 1/2" METAL.

NOTES:
1. ALL ROOF DRAIN BELLOWS, BELLOWS, INVERTS, OR CANALS MUST BE BARRICADED BY 2" x 4" x 1/2" METAL.
2. ROOF LADDERS MUST BE FULLY ENCLOSED BY 2" x 4" x 1/2" METAL.
3. OVERFLOW DRAINS SHALL BE CONNECTED TO DRAIN LINES MULTIPLICATED FROM THE ROOF DRAIN LINES. (SEE SECTION 1504.3)
4. ROOF OVERFLOW DRAINS SHALL BE INSTALLED 12" TO THE ROOF'S DRAINS SHALL BE INSTALLED 2" ABOVE THE DRAIN LINE LOCATED 2 INCHES ABOVE THE LOW POINT OF THE ROOF (SMALL LOCALIZED DRAIN IS NOT CONSIDERED BY THE ROOF LOW POINT FOR THIS REQUIREMENT) (SEE SECTION 1504.3)
5. NOTE: ALL ROOF DRAIN BELLOWS, BELLOWS, INVERTS, OR CANALS MUST BE BARRICADED BY 2" x 4" x 1/2" METAL.

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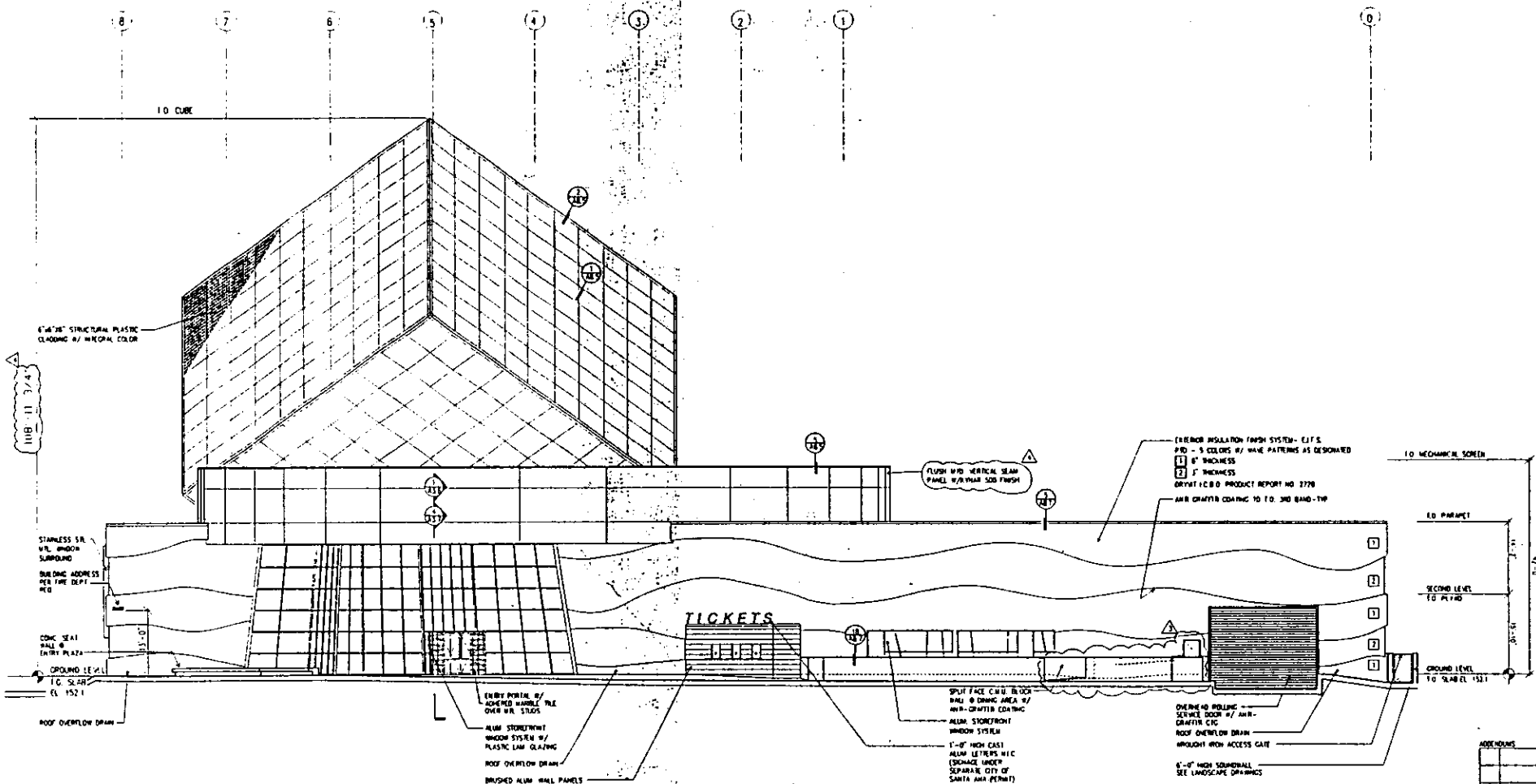
ROOF PLAN
SCALE 1/8" = 1'-0"

ARQUITECTONICA
1000 10th Street, Suite 200
Alpharetta, GA 30201
Phone: 770.442.2200
Fax: 770.442.2201

DISCOVERY SCIENCE CENTER
3000 W. STREET
ALPHARETTA, GA
BLANK

0516

A2.5



11B-11 3/4

10 CURB

6" MIN STRUCTURAL PLASTIC CLADDING w/ MINERAL COLOR

STAINLESS SR. W/ L. WINDOW SURROUND
BUILDING ADDRESS PER FIRE DEPT. REG.

CONC. SEAL WALL @ ENTRY PLAZA
GROUND LEVEL TO SLAB EL. 152.1

ROOF OVERFLOW DRAIN

ENTRY PORTAL w/ ADORNED HARBLE TILE OVER W.R. STAIRS
ALUM. STOREFRONT WINDOW SYSTEM w/ PLASTIC LAM. GLAZING
ROOF OVERFLOW DRAIN
BRUSHED ALUM. WALL PANELS

TICKETS

FLUSH W/ VERTICAL SEAM PANELS w/ MAR. 500 FINISH

EXTERIOR INSULATION FINISH SYSTEM - E.I.F.S.
PIF - 3' CEILING w/ WAVE PATTERNS AS DESIGNATED
1" THICKNESS
2" THICKNESS
DRYVAT I.C.B.O. PRODUCT REPORT NO. 2776
AIR CRACKER COATING TO E.O. 3RD BAND-TYP

10 MEGACOR SCREEN

E.O. PARAPET TO PLUMB

SECOND LEVEL TO PLUMB

GROUND LEVEL TO SLAB EL. 152.1

OVERHEAD ROLLING SERVICE DOOR w/ AIR CRACKER C.C. ROOF OVERFLOW DRAIN WROUGHT IRON ACCESS GATE
6"-8" HIGH SOUNDBALL SEE LANDSCAPE DRAWINGS

| ABBREVIATIONS | |
|---------------|--------|
| | 728.97 |
| | 55.97 |

NORTH ELEVATION
SCALE 1/8" = 1'-0"

NOTE: SEE SHEET A 92 FOR WINDOW SCHEDULE

NOTE: INSTALL WINDOW 24"-HIGH ADDRESS NUMBERS, FRONT AND REAR

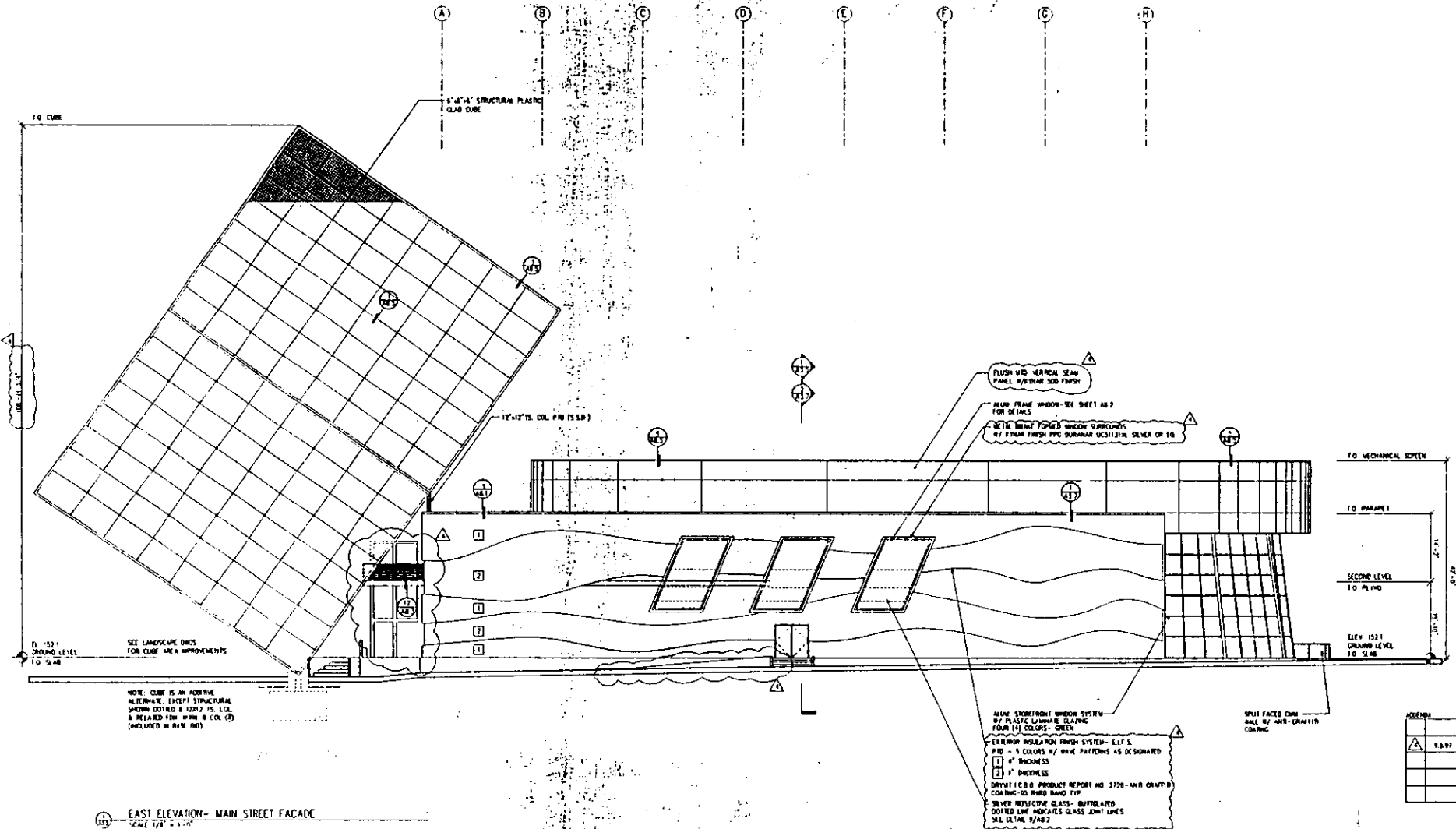
NORTH ELEVATION
SCALE 1/8" = 1'-0"

ARQUITECTONICA
3rd Floor, Suite 300, Santa Ana, CA 92701
TEL: 714.241.1111

DISCOVERY ICE CENTER
1100 N. ALPINE AVE.
SANTA ANA, CALIFORNIA 92701

9516
A3.1

208



SEE LANDSCAPE DWGS FOR CURB AREA IMPROVEMENTS

NOTE: CURB IS AN ALTERNATE ALTERNATIVE. EXCEPT STRUCTURAL SHEWEN COATED & 12x12 IS. COL. & RELATED FOR W/WH @ COL. (2) (INCLUDED IN B/S/S. 060)

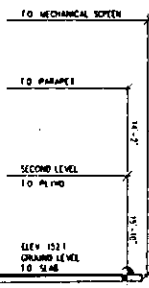
EAST ELEVATION - MAIN STREET FACADE
SCALE 1/8" = 1'-0"

NOTE: SEE SHEET 192 FOR WINDOW SCHEDULE

FLUSH W/HD. NEARICAL SEAM PANEL W/2" MIN. 300 FINISH
ALUM. FRAME WINDOW - SEE SHEET 192 FOR DETAILS
METAL BRASS FINISH WINDOW SUPPLEMENT W/ 2" MIN. FINISH PPC DURANAR W/31.31% SILVER OR 10

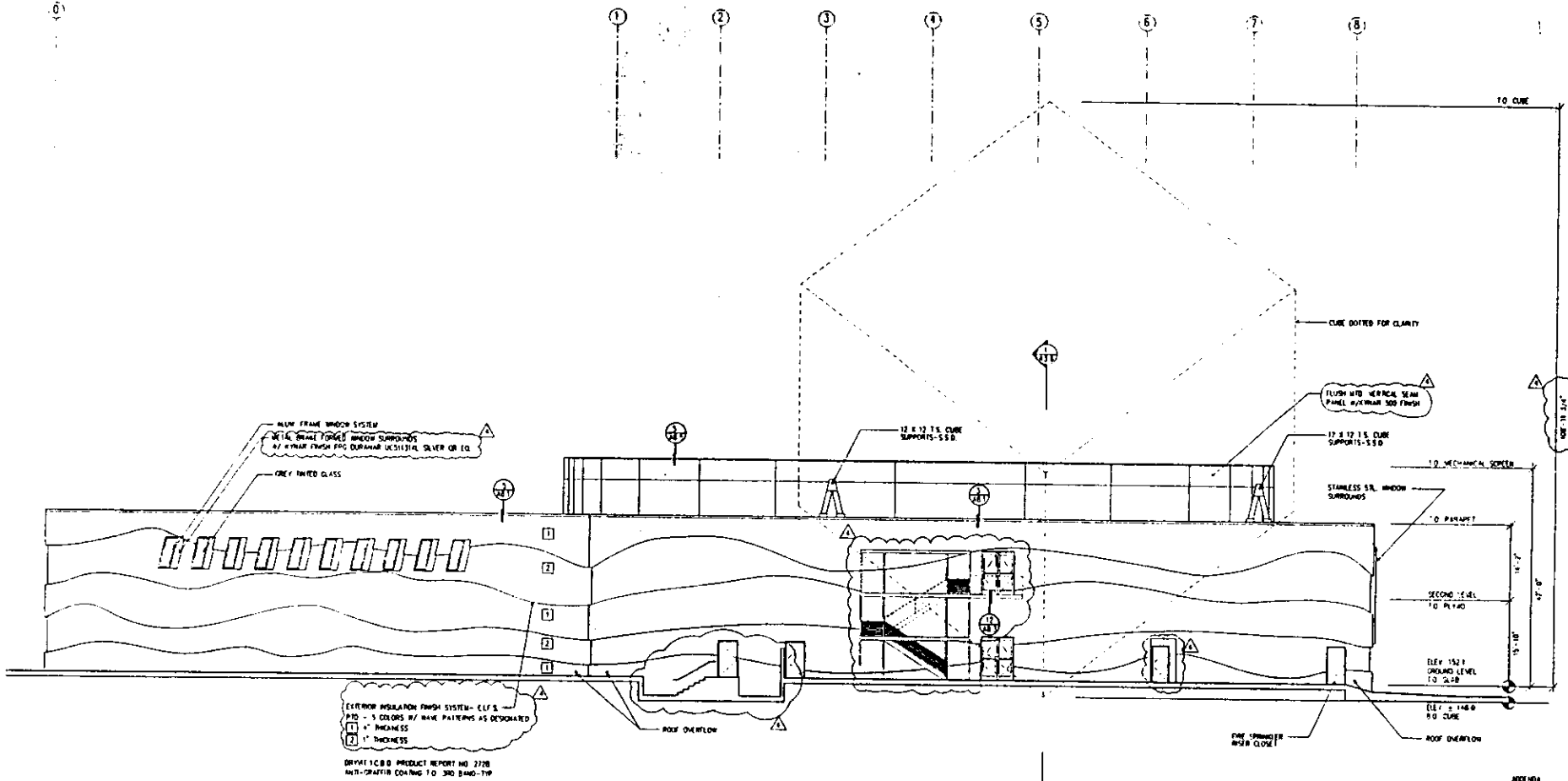
ALUM. STONEFRONT WINDOW SYSTEM W/ PLASTIC LAMINAR GLAZING FOUR (4) COLORS - GREEN
EXTERIOR INSULATION FINISH SYSTEM - EIFS
PFB - 3 COLORS W/ SHAVE PATTERNS AS DESIGNATED
1" THICKNESS
2" THICKNESS
DRYWALL (CSO PRODUCT REPORT NO. 2728 - AIR CRACKING)
COATING - 10. HARD BAND TYP.
SILVER REFLECTIVE GLAZING - BUTYLATED COATED LOW IR RADIATES GLASS UNIT LINES
SEE DETAIL 9/AB2

SPLIT FACED CURB CALL BY AIR - GRAPHIC COATING



| |
|------|
| 9597 |
| |
| |
| |





1 SOUTH ELEVATION- TRIANGULAR PARCEL FACADE
SCALE 1/8" = 1'-0"

DRYVIT CBS PRODUCT REPORT NO. 2228
MINI-DRAFTER COATING TO 3RD BAND-TYP

| REVISIONS | |
|-----------|-------------|
| NO. | DESCRIPTION |
| 1 | ISSUED |
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| 8 | |
| 9 | |
| 10 | |



SOUTH ELEVATION
SCALE 1/8" = 1'-0"

ARQUITECTONICA
3000 NORTH 14TH STREET
SANTA ANA, CA 92705
TEL: 714.241.1111

DISCOVERY SCIENCE CENTER
3000 NORTH 14TH STREET
SANTA ANA, CA 92705
TEL: 714.241.1111



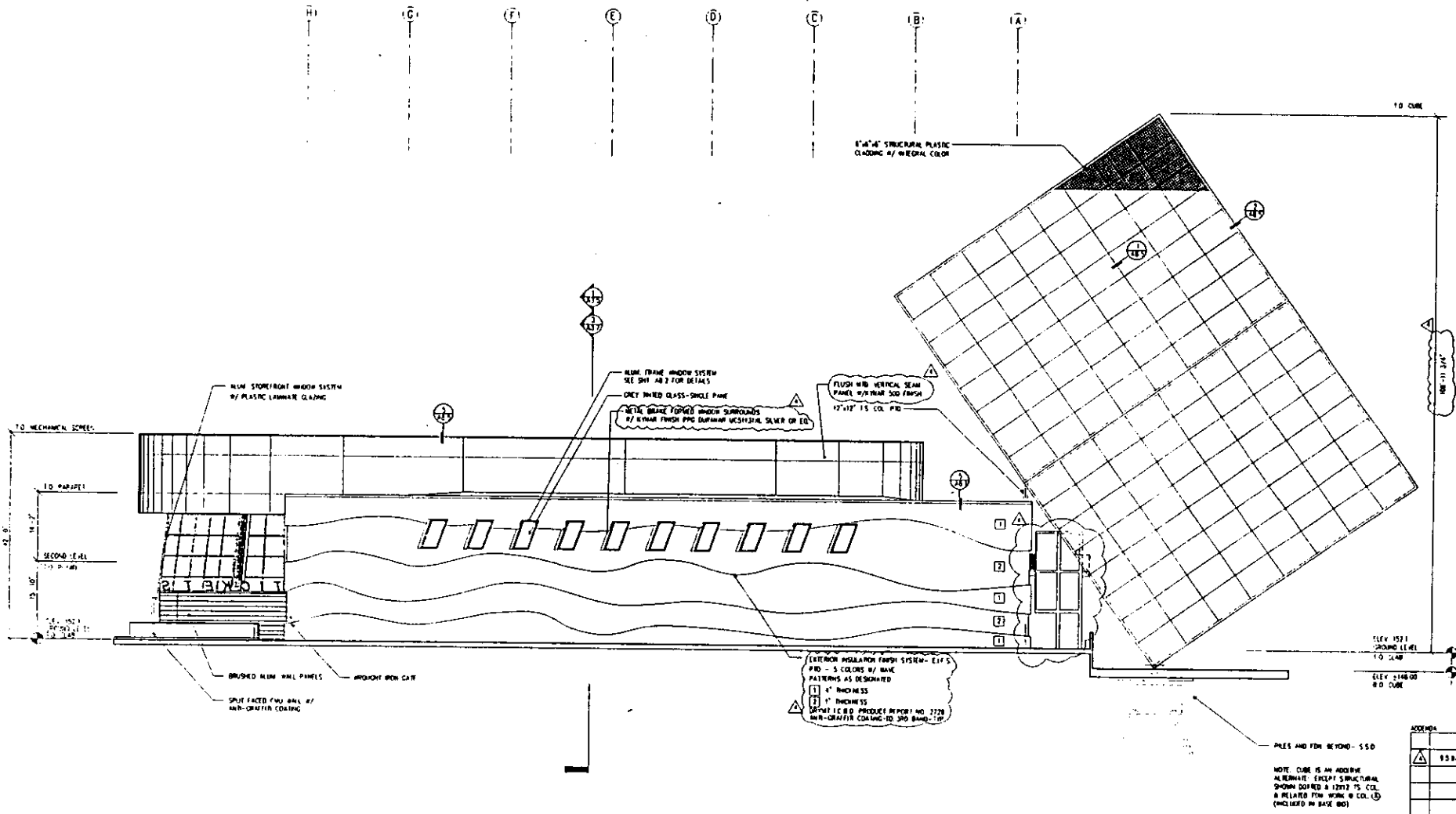
PROJECT NO. 9516
DATE 10/10/03

9516
A3.3

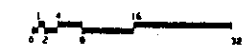
WEST ELEVATION
SCALE 1/8" = 1'-0"

ARQUITECTONICA

DISCOVERY SCIENCE CENTER
200 NORTH 4TH STREET
POMONA, CALIF. 91768



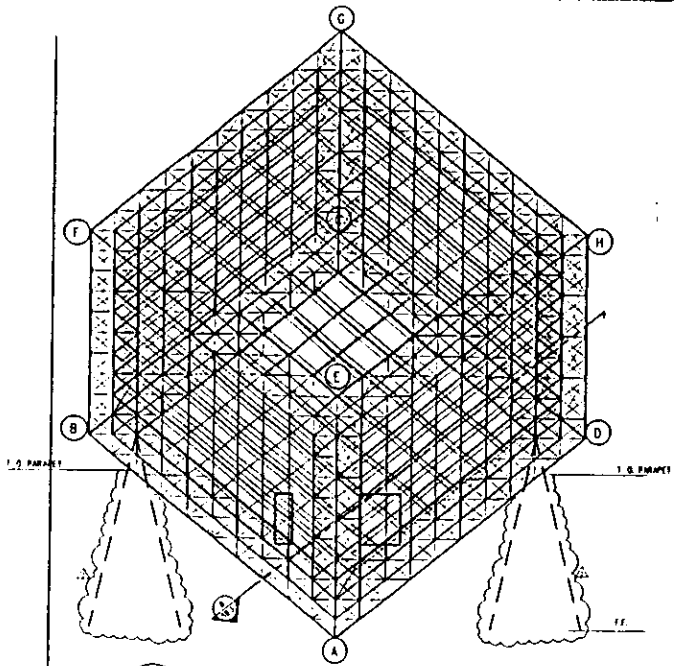
WEST ELEVATION - FREEWAY FACADE
SCALE 1/8" = 1'-0"



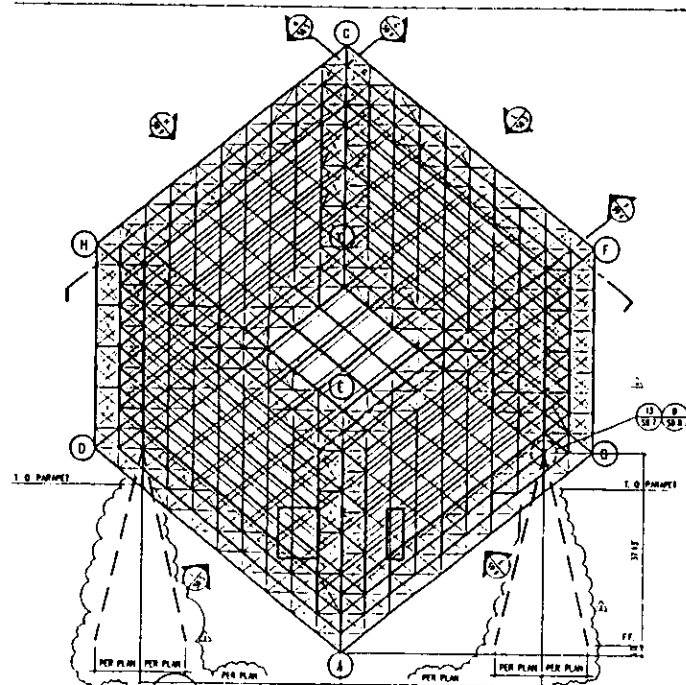
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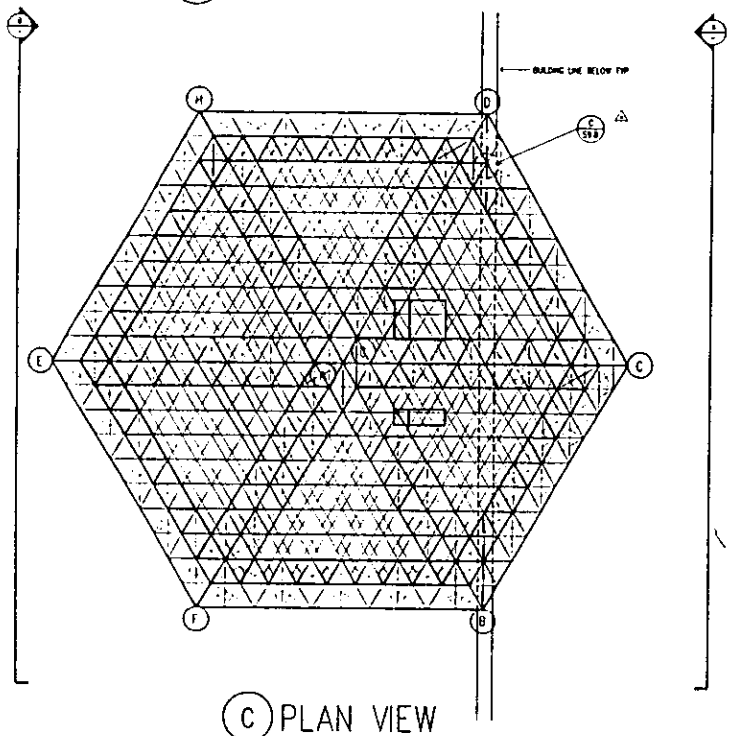
9516
A3.4



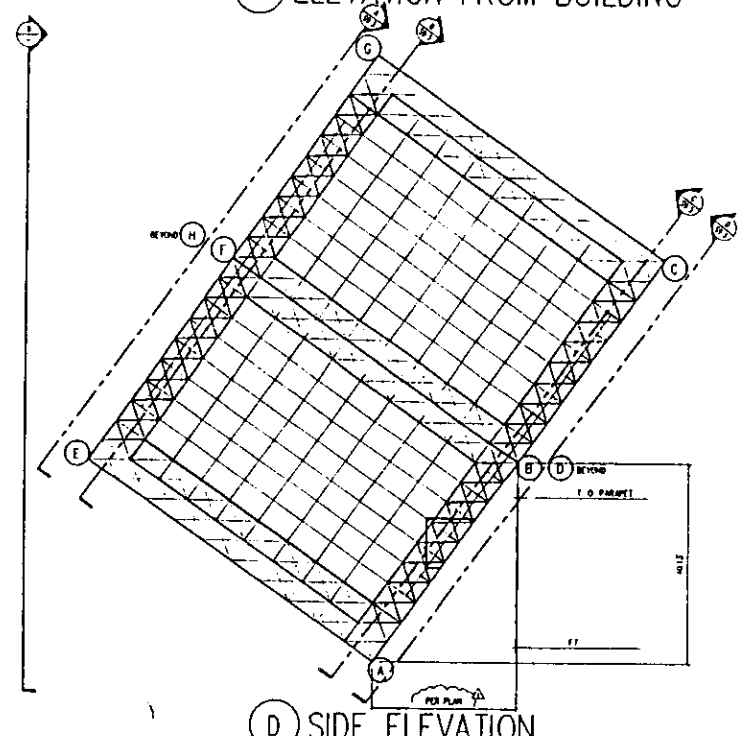
(A) ELEVATION FROM FRONT



(B) ELEVATION FROM BUILDING



(C) PLAN VIEW



(D) SIDE ELEVATION

JORGE ATENAS
 SOME SEPARATE BID PRICE
 FOR ALL ITEMS NOT RELATING
 TO THE 'CUBE'
 ONLY FOUNDATIONS AND IS 12417 CO.
 SHALL BE IN BASE BID

1" = 10'-0"

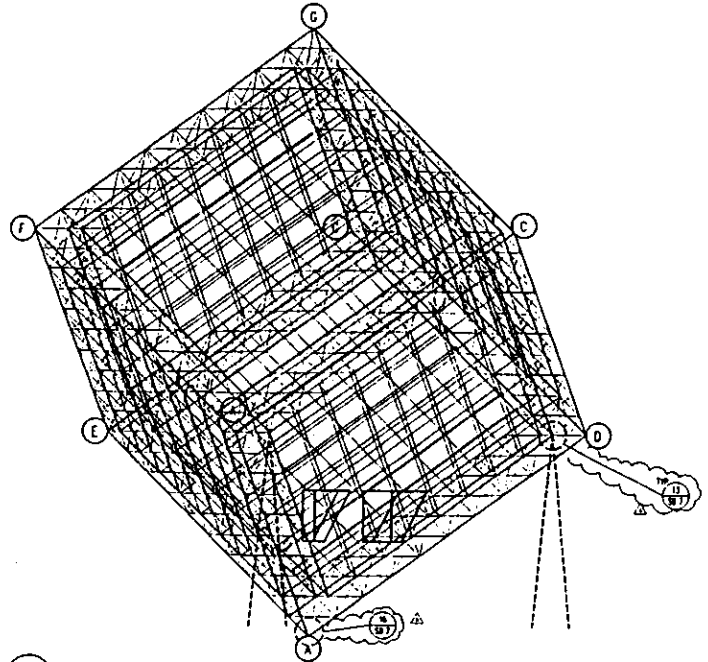
JIN

JIN ARCHITECTURE & DESIGN ASSOCIATES
 CONSULTING ARCHITECTS
 1000 W. 10TH STREET, SUITE 100
 SAN ANTONIO, TEXAS 78205
 TEL: 512-343-1111 FAX: 512-343-1112

ARQUITECTONICA

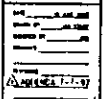
DISCOVERY SCIENCE CENTER
 2500 W. 10TH STREET
 SAN ANTONIO, CALIFORNIA

S9.1



(E) ISOMETRIC ELEVATION FROM BUILDING

99.2



1/4" = 1'-0"

DISCOVERY SCIENCE CENTER
2500 NORTH MAIN STREET
SANTO CALIFORNIA

ARQUITECTONICA
JN ARCHITECTS ASSOCIATES
ARCHITECTS AND INTERIORS
1000 AVENUE OF THE STARS
SUITE 1000
FARMINGTON HILLS, MI 48334

CUBE
ELEVATIONS
1" = 10'-0"

ATTACHMENT B

7 1/2"
16 7/8"
8 3/4"



TACO BELL
DISCOVERY
SCIENCE CENTER



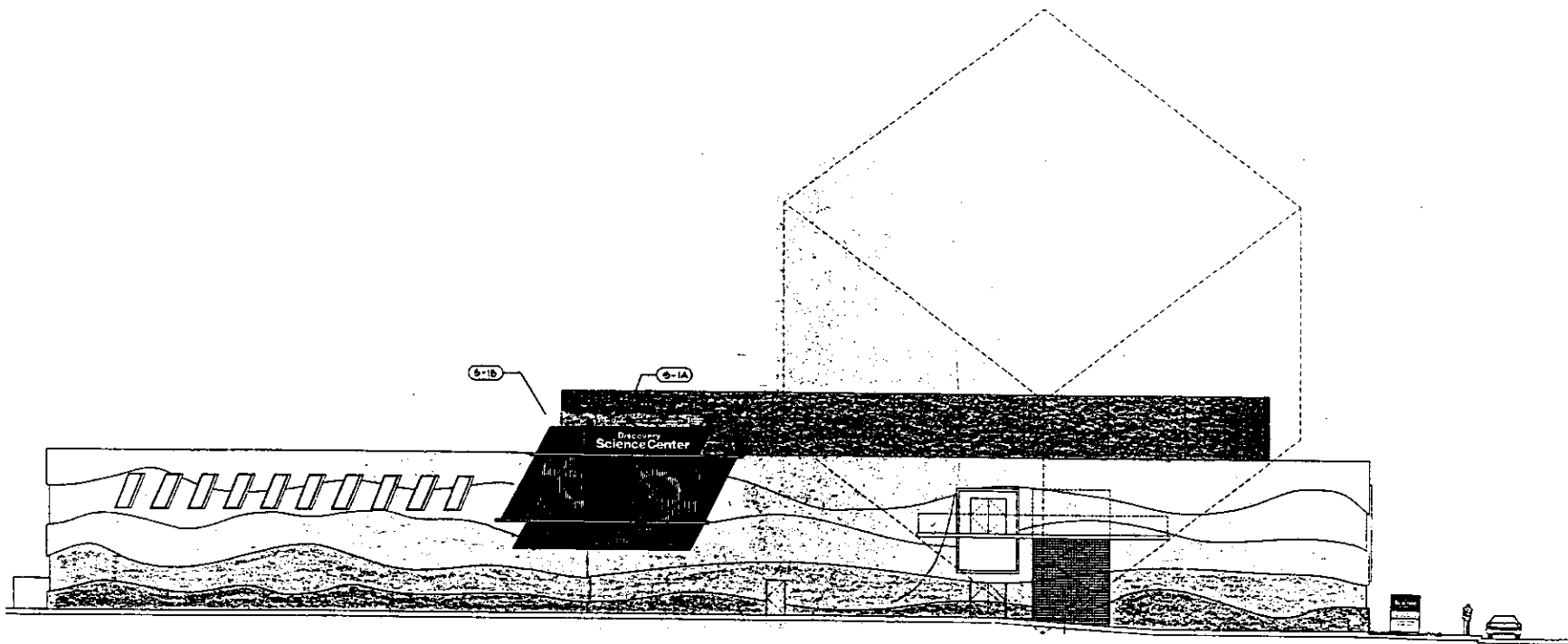
TACO BELL
DISCOVERY
SCIENCE CENTER

7 1/2"
16 7/8"
8 3/4"



WELCOME!
OPENING SEPT 12

WELCOME!
OPENING SEPT 12

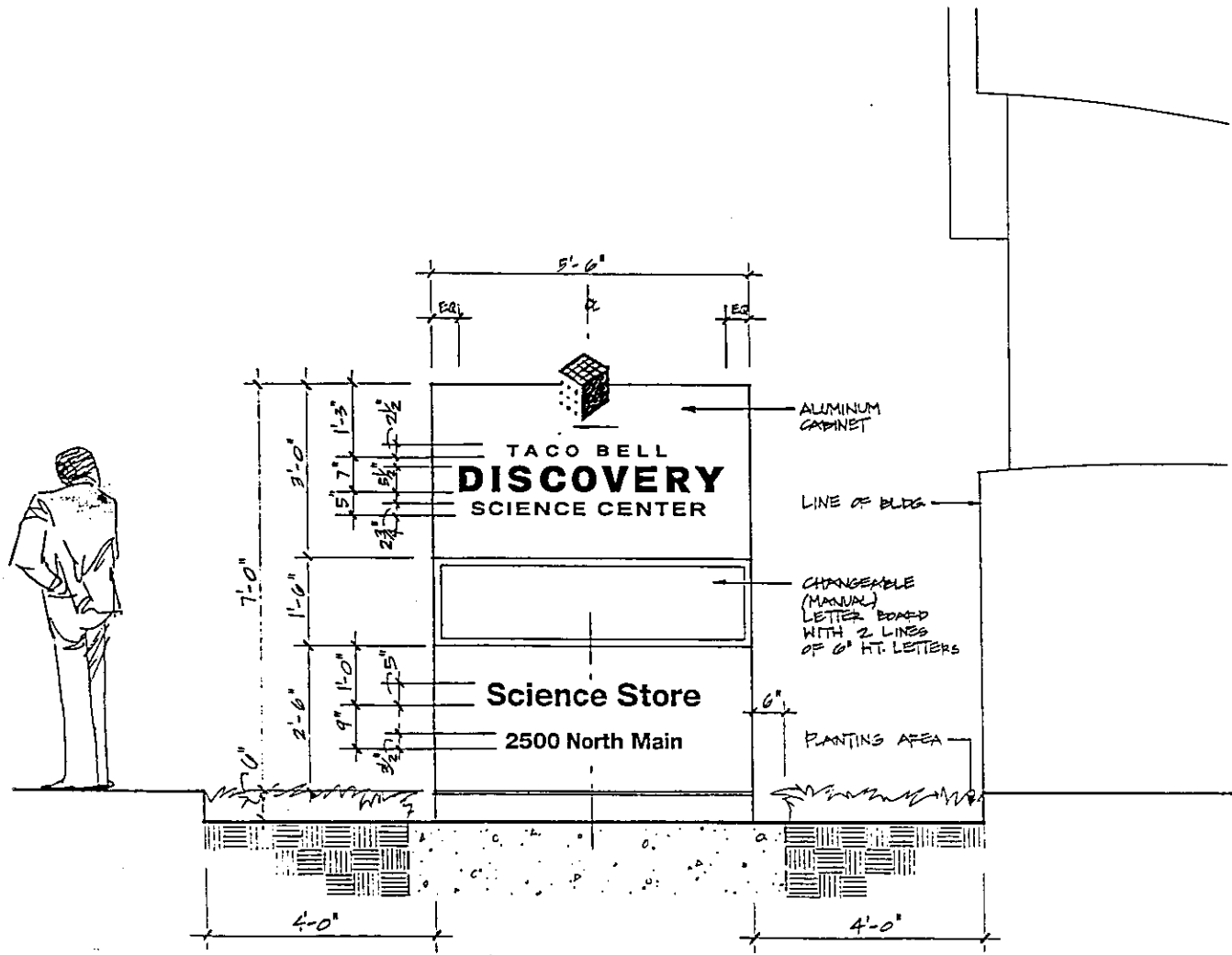


South Elevation

SIGN PROGRAM

D I S C O V E R Y
S C I E N C E C E N T E R

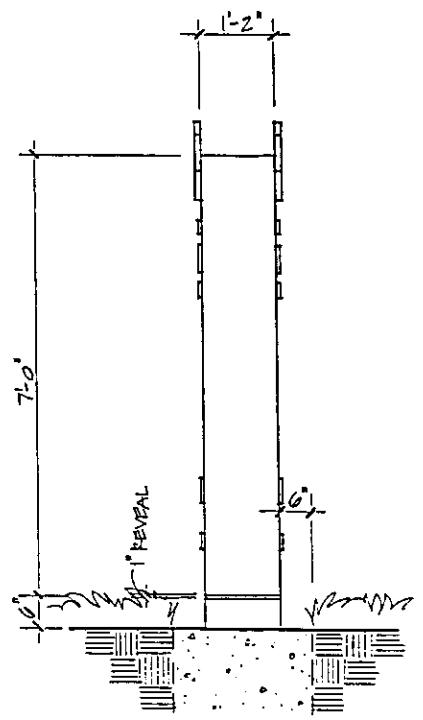
Davies Associates



MONUMENT SIGN ELEVATION
 $\frac{1}{2}'' = 1'-0''$

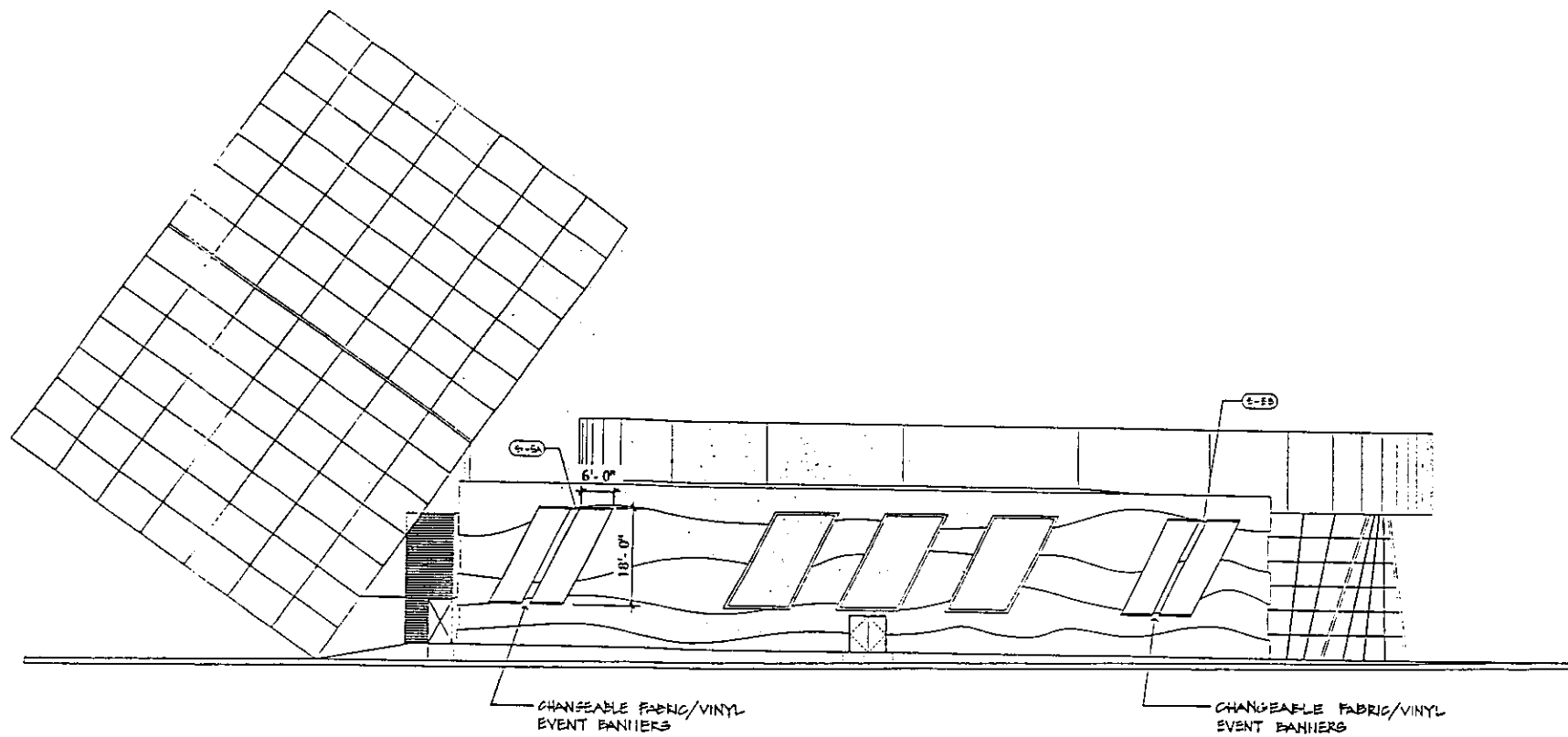
SIGN PROGRAM

**DISCOVERY
 SCIENCE CENTER**



SIDE ELEVATION
 $\frac{1}{2}'' = 1'-0''$

Note: Planning Commission deleted the "Food Court" reference and limited content information in the changeable board per Implementation Agreement.



East Elevation - Main Street Facade

SIGN PROGRAM
 DISCOVERY
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