



**SOMERVILLE BOROUGH HALL &
PUBLIC LIBRARY**
PRESERVATION PLAN UPDATE

MARCH 2021

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I. EXECUTIVE SUMMARY

A. General Information

The building consists of an 1888 late Gothic-Revival masonry house with a large, simply designed, brick northwest addition built in 1939 and a small two-story brick southwest addition built c. 1967. It is located at 25 West End Avenue, Somerville, New Jersey in Somerset County, and set on a triangular plot of land at the end of Main Street. The house was constructed for Daniel Robert and designed by the architectural firm, Lambert and Bunnell as a faithful replica of the Alexander Jackson Davis designed Harral-Wheeler House in Bridgeport, Connecticut. The house has been well preserved, retaining most of its Gothic Revival details, both inside and out. It was historically known as the Daniel Robert House. Currently, the house serves, along with a modern southwest addition, as Somerville Borough Hall, and the large northwest addition houses the Somerville Branch of the Somerset County Library System of New Jersey. The two distinct sections of the building are connected to one another at the basement and first floor levels. The Daniel Robert House portion of Borough Hall was listed on the New Jersey and National Registers of Historic Places in 2008.

B. Building Names

“Somerville Borough Hall and Public Library” refers to all portions of the building on site. The two entities are neatly housed within the two distinct sections of the building, namely the Daniel Robert House, plus the modern southwest addition, and the large northwest addition constructed in 1939 for the Somerville Lodge of the Elks.

“Somerville Borough Hall” consists of the original house built for Daniel Robert along with the modern, two-story southwest addition connected to the original service wing. The west addition may be referred to as the “rear addition.”

“Somerville Public Library” refers to the large, single-story addition with a basement at the northwest of Borough Hall that was originally constructed in 1939 as an auditorium and ballroom for the Somerville Lodge of the Elks. It may be referred to in this plan as “the Elks addition,” “the two-story northwest/rear addition,” or simply “the Library.”

“Daniel Robert House” refers to only the original house constructed in 1888.

C. Overall Description

The Somerville Borough Hall and Public Library is situated slightly north-of-center of a three-acre triangular plot of land at the western end of Main Street. The plot is bounded by West End Avenue to the north, Somerset Street to the south, and Mountain Avenue to the east. The building is oriented east towards Main Street. There is a wraparound drive along the east and south sides of the building and a parking lot at the southeast corner of the triangular plot.

Built in 1888 as the third house on the property, the Somerville Borough Hall (historically known as the Daniel Robert House) is designed in the Gothic Revival style. It is two-stories tall with its main entrance on the east elevation. It was designed by Lambert and Bunnell Architects of Hartford, Connecticut as a replica of the Harral-Wheeler House in Bridgeport, Connecticut, which had been designed in 1847 by Alexander Jackson Davis. With its irregular massing, steeply pitched roofs, buff colored masonry, brownstone detailing, asymmetrical fenestration, pointed arched openings, towers and crenellation, the Somerville Borough Hall is quintessentially Davis and Gothic Revival. On the interior, the main block of the building originally had a center hall plan with connecting rooms. The square vestibule is flanked by large rectangular parlors. The adjacent central stair hall had a library and study to the north and dining room to the south. Bedrooms, bathrooms, and a music room were on the second floor. At the southwest was a rear service wing that

housed a kitchen and pantry on the first floor and bathrooms and servants' quarters on the second. Much of this original plan remains, but the rooms now house municipal offices.

The Robert family remained in the house until 1923 when it was sold to the Somerville Lodge of Elks. The Elks constructed a large brick auditorium and ballroom at the rear of the house in 1939.

In 1958, the building was acquired by the Borough of Somerville, with the house becoming Borough Hall, and the auditorium becoming the Borough Library. It continues in this capacity today, with the house being used for municipal service offices and providing small meeting spaces for the Borough, and the large rear addition housing the Somerville Branch of the Somerset County Library System of New Jersey.

The building has undergone two fires. In February 1967, a fire destroyed much of the interior of the rear wing. A second fire on January 21, 1980 resulted in the loss of most of the decorative ceilings of the second floor, among other loss of original finishes. Dropped acoustic tile ceilings were added throughout most of the second floor following the 1980 fire, covering up the ornamented vaulted ceilings. Apart from this, few alterations have been made to Borough Hall, and it retains many of its original character-defining features.

On the exterior, two porches have been lost. The rear porch was removed when the Elks constructed their addition in 1939. The front porch was removed by the Borough. Following the 1967 fire in the original rear wing, the Borough added a two-story addition to this wing. Other exterior changes include the replacement of the roof; it was originally red slate. The exterior masonry has been painted and grills for an added heat system now pierce the masonry.

The Somerville Borough Hall was listed on the New Jersey and National Registers of Historic Places in 2008 as the Daniel Robert House. It qualified under Criterion C and has a period of significance from 1888 to 1939. The large

northwest addition was not considered a contributing resource, but two brownstone gate posts, the only remnants of a wrought iron fence contemporaneous to the house, are contributing. Its National Register reference number is 08000137.

D. Previous Studies and Reports

The Somerville Historic Advisory Committee has accumulated significant information about the history of the property and is a great resource. Their knowledge was shared for this report.

In 1992, it was included in Heritage Studies Survey of Somerville.

In 2005, HMR Architects undertook an exterior conditions assessment of the building. This included an exterior paint analysis by Historic Preservation & Illumination, Inc. to determine the original color scheme.

In 2007, a cultural landscape analysis and master plan was conducted by Webster Associates, that evaluated the site around the building. It was included in the 2008 preservation plan, but is not updated in this version of the preservation plan.

In 2008, a National Register Nomination was written and submitted by Margaret Newman. It included a history and detailed architectural description of the building, established a period of significance, and determined which sections of the building contributed to its significance.

In January 2008, the first version of the preservation plan was completed by HMR Architects. It included the same sections that are in this updated version except for the finishes analysis and mural assessment.

In 2010, a conservation and analytical testing program was completed by Keystone Preservation Group. It included exterior finishes removal tests, and analyses of exterior finishes and mortar. This was conducted to determine the best method for removing the non-historic

paint on the masonry, as well as the original exterior color scheme and mortar mixture.

In 2013, an interior paint analysis of the stair hall was completed by Keystone Preservation Group to determine the original design and color scheme in that room.

E. Purpose and Scope of the Preservation Plan

This report is an update to the 2008 Preservation Plan also created by HMR Architects. No additional historic research was undertaken, although a review of prior documentation has been included and updated where appropriate. The main focus of this report is to update the existing conditions and to provide an updated cost estimate.

This purpose of this Preservation Plan is to document the existing conditions of the Somerville Borough Hall, as of Summer 2019, identify the key historic elements to be preserved during any future work at the building, and to make recommendations regarding the ongoing treatment and rehabilitation of the building. As described by the New Jersey Historic Preservation Office, the goal of a Preservation Plan is to “assess and guide the effects of a proposed treatment or construction related capital project on the existing fabric of a property.”¹

HMR and its team completed a full interior and exterior investigation of the building. This report documents the building’s existing conditions through written descriptions, photography, and drawings.

As a complete repository of the physical and historical information currently available on the Somerville Borough Hall, this Preservation Plan will serve as a valuable planning document and will form the basis for future decisions that affect the house and property.

¹ New Jersey Historic Preservation Office, “Historic Structure Reports and Preservation Plans, A Preparation Guide,” 5.

² Anne E. Grimmer, “The Secretary of the Interior’s Standards for the Treatment of Historic Properties with Guidelines for

F. Overall Recommended Treatment Philosophy

All future decisions regarding the Somerville Borough Hall should be planned, designed, and executed in compliance with the *Secretary of the Interior’s Standards for the Treatment of Historic Properties*. In order to continue its current use housing municipal offices and a public library, the appropriate overall treatment approach is *Rehabilitation*. In the *Standards*, Rehabilitation is defined as, “The act or process of making possible a compatible use for the property through repair, alterations and additions while preserving those portions or feature which convey its historical, cultural, or architectural values.”²

The material, design and craftsmanship of treatments should be informed by standards and typical approaches of the Gothic-Revival style and construction technology during the period of significance, 1888-1939.

G. Overall Recommended Interpretation Approach and Use Plan

The building will continue its public use housing municipal offices and a public library for the foreseeable future.

The original Preservation Plan included the long-term recommendation of moving high impact uses, such as the building department or tax office, to an alternate site and retaining the historic Borough Hall for meeting space and more ceremonial uses. After more than ten years there has been no movement in this direction, and during that time, the borough government has continued to operate in the building without any significant detrimental impacts on the historic building. In fact, it can be argued that the continuous use of the building and it being the focus of local government, has brought greater attention to the building from

Preserving, Rehabilitating, Restoring and Reconstructing Historic Buildings,” (2017), 163.

the community, and arguably a higher level of investment into restoration efforts by both city officials. Additionally, separating certain departments of the borough government from one another may negatively impact its functioning. Currently, they are all centrally located in one building. For these reasons, we are no longer recommending removal of certain functions from the building.

Since it will continue to be used as a public building for the foreseeable future, a concerted effort to address accessibility shortfalls should be included in long-term planning. The first floor of the Library and Borough Hall is accessible via a ramp at the Library entrance, but the basement levels of both sections, and the second floor of Borough Hall are not accessible. There are also no accessible restrooms in Borough Hall. In addition, the Borough should continue to address specific repairs recommended in the later sections of this report.

The interpretation of the history of the Daniel Robert House should be led by the Historic Advisory Committee (HAC) in partnership with Borough officials. HAC should continue to hold annual events and tours highlighting the history of the house. Additionally, interpretive signage should be placed at the interior and exterior of the building to highlight its history to the many regular visitors to Borough Hall.

II. INTRODUCTION

A. Property History and Significance

The significance of the Daniel Robert House lies in its architecture. It is a quintessential Gothic Revival residence. Although built in 1888, and therefore, a late example, the Daniel Robert House is an extremely faithful replica of an Alexander Jackson Davis design. It was designed by Lambert and Bunnell of Bridgeport, Connecticut. While some minor modifications were made from the original floor plan, for the most part, the design of the Daniel Robert House follows that of the Davis's 1847 Herral House in Bridgeport, Connecticut. Lambert and Bunnell were intimately familiar with the Herral House as they designed a library addition for it in 1866.

The year of the Daniel Robert House's construction, 1888, marks the beginning of its Period of Significance. In 1939, a large addition was constructed off the back of the building by the Somerville Lodge of Elks. This represents the end of its Period of Significance. The Period of Interpretation is the same as the Period of Significance and runs from 1888 to 1939.

B. Description of Methodology

HMR Architects first began work on the Preservation Plan Update by surveying the existing conditions of the building during the fall of 2019. As an update to the existing preservation plan, no additional historic research was undertaken, although a review of prior documentation has been included and updated where appropriate. The main focus of the report has been on updating the existing conditions and providing an updated cost estimate.

Once the historic building investigations were completed these findings were compiled in the report and treatment recommendations were developed. A detailed list of treatment recommendations was drawn up for future interventions. Finally, a cost estimate for the proposed recommendations was prepared.

C. Organization of Document

The Preservation Plan Update for the Borough Hall is organized into fourteen chapters plus appendices. Following the front matter which includes the executive summary and introduction, the history of the building is described. This chapter begins with a brief history of the development of Somerset County and Somerville and then describes the history of the buildings on the site, the Robert family and the architectural evolution of Borough Hall. Photographs and maps supplement this section.

The next chapters record the existing conditions of the building and include detailed assessments of the interior fabric, accessibility and code review, mechanical systems evaluation and a landscape evaluation. These chapters section contain color photographs of the current conditions of the house.

The last chapters address the future of the property. It begins with a discussion of the current use and treatment of the Robert House and describes suggestions for future interpretation and treatment. Included is a prioritized treatment analysis. Following this is a preliminary cost estimate for the implementation of the recommendations.

D. Parameters and Limitations of the Plan

The Preservation Plan Update was limited in scope to assessing the existing conditions, providing treatment recommendations, and evaluating the use and interpretation of the house. No additional historic research was undertaken for the completion of the report. Only readily observable conditions were recorded, and no probes or other invasive methods were used to uncover concealed conditions.

E. Areas of Future Study

Certain areas of the interior, including the main stair hall and the entrance foyer, have been the subject of extensive finishes analysis. A comprehensive study of interior wall and ceiling finishes throughout the Daniel Robert House would be very beneficial as the Borough plans for future rehabilitation of additional spaces in Borough Hall.

An accessibility study should be undertaken to evaluate options for providing accessibility to the basement of the building and second floor of Borough Hall, and also providing barrier free restrooms in Borough Hall.

F. Team Members & Directory

The architecture firm of HMR Architects, located in Princeton, New Jersey, was responsible for the preparation of the Somerville Borough Hall Preservation Plan Update. Mr. Eric Holtermann served as historic preservation architect for the report with Mr. Kurt Leasure as the project manager and Samuel Loos as historic preservation specialist.

The project team included sub-consultants Kelter and Gilligo as the mechanical, electrical, and plumbing engineer, Keystone Preservation completed the finishes analysis, Foreground Conservation assessed the entrance mural, and International Consultants, Inc. (ICI) provided cost estimating for the project.

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III. HISTORY

A. *History of Somerville, Somerset County*

The Somerset County area was first settled in 1681 in the vicinity of the upper Raritan Valley. Settlement of the land within the boundaries of modern Somerville generally date to 1683 and is taken from the first known deed for property along Peter's Brook.¹ On May 22, 1688, the county was established; most of the early residents were Dutch. Following the Revolutionary War, the county seat was established at Somerville, then called Raritan; it was the third location following Six-Mile Run in 1714 and Millstone in 1737.² Although the center of the county, Somerville evolved slowly. At the turn of the nineteenth century, Somerville was a small farming community with a population of slightly less than two hundred people. A map recalling Somerville in 1812 shows Main Street running from east to west with a sprinkling of approximately thirty houses and businesses on either side (Figure 1). Main Street was also known as the New Jersey Turnpike, which had been chartered in 1806, and was completed three years later. Bridge Street, the first local road extending from north to south, was opened in 1809; a chain bridge constructed over the Raritan five years earlier greatly increased traffic on this street.³ In the early nineteenth century, the village did not extend much more than a block to either the north or south of the main thoroughfare, and the outlying area consisted of a number of farms. The Court House, Jail, and County Offices were situated at the east end of town on a block with the First Reformed Church. Slightly to the west was a school which was replaced in 1802 by the Somerville Academy.⁴ Nearby was the gallows.

Throughout the early years of the nineteenth century, the town grew slowly. Abraham Messler, who came to the area in 1837 to assume the pastorate of the First Reformed Church, recalled that when he arrived, Somerville "had three taverns, three stores, and perhaps five mechanic shops. There were sixty-two families living in it, embracing about four hundred and fifty souls." The town "still had but a single street, no sidewalks, no shade trees save a few fruit trees, and in winter the most distinguishing characteristic of the place was its mud."⁵ With the 1840s came the major development that would change the face of Somerville completely. In 1841 the Elizabeth and Somerville Railroad reached its western terminus in town. In 1847, after several years of economic trouble, the line was purchased by the Somerville and Easton Railroad Company, which in 1849 became the Central Railroad of New Jersey. In 1852 the tracks were extended to Easton, and by the mid-1850s about one hundred passengers a day passed through the Somerville station, along with coal from Pennsylvania, and agricultural products from New Jersey farms.⁶

A map of Somerville published in 1850 shows that the town had begun to expand. The railroad line is visible running just south of, and roughly parallel to, Main Street. A number of new streets have been constructed, and the blocks between the two transit routes are filled with the names of business and property owners. The presence of a second hotel, a silversmith, and a jewelry store, are evidence of the growing prosperity of the village (Figure 2).

¹ Marge Sullivan, Somerville Historic Advisory Committee.

² *Somerset County 250 Years*. Reprinted from *Somerset Messenger-Gazette* (May 17, 1938), 5.

³ James Snell, *History of Hunterdon and Somerset Counties, New Jersey*. Philadelphia: J.B. Lippincott, 1881, 664.

⁴ Henry P. Mason, "The Schoolhouses and Schools of Somerville," *Somerset County Historical Quarterly*, (1912), 46.

⁵ *Somerset Messenger-Gazette*, 6/2/83.

⁶ Brock Haussamen, *The Iron Horse in Somerset County*, North Branch, NJ: Somerset County College, 1984, 114.

Yet, at mid-century, the community was just beginning its evolution. Writing before his death in 1911, Charles Clickner, a long-time Somerville resident, described the town in 1859 as a “quaint, country village, with a population of less than 2,000. Improvements were rare: here and there were brick sidewalks, gravel, and dirt paths, and no curbing. No electric lights, simply oil lamps, few and far between.” Four passenger trains ran daily between New York and Easton and “the fire department consisted of one small hand engine. Its home was where the West End Hose Co. is now quartered.”⁷

The railroads continued to expand, and in 1864 the Central Railroad negotiated entry into Jersey City on its own lines and acquired ferry dockage in New York.⁸ In 1868 the railroad formed its own real estate company, the Central Land Improvement Company, for the purpose of selling land owned by the railroad. The company also acted as an agent for any landowner along the line.⁹ By the 1870s the Central Land Improvement Company was actively pursuing those who were disillusioned with life in New York City, and were encouraging relocation to Somerville and other near-by towns. Pamphlets and brochures distributed by real estate agents sang the praises of these communities, and in particular described Somerville’s healthy location and bucolic setting. One publication from 1873 described the “beauty and taste displayed in most of [Somerville’s] private residences” and proclaimed the virtues of the “number and luxuriance of the trees, which provident hands in days gone by [had] planted along the streets.”¹⁰ Somerville enjoyed “a healthful atmosphere, while its quiet beauty [gave] it a charm to those in search of a peaceful retreat from the din and dust of the city.”¹¹ At that time the town was a mere one hour and twenty-four minutes by express train from New York, with fifteen trains running each way daily.

The Somerset County Atlas of 1873 shows that Somerville had experienced a substantial population boom in the years following the Civil War (Figure 3). Abraham Messler recalled that in 1872 there were nearly 400 houses in town. “Instead of three stores, there were 43 stores and shops, and where there had been 450 inhabitants, there were at least 2,000. Where there had been only one church, there were now five.”¹²

While still arranged in a linear fashion extending from east to west along Main Street, the town had begun to expand primarily to the northwest, but to the south as well. High and Cliff Streets now paralleled Main Street to the north, and contained numerous blocks filled with residential lots, schools, and churches. The blocks between Main Street and the railroad to the south were filled with homes and shops, with growth extending to the other side of the tracks, along Harrison and 2nd Streets. The municipal center of the borough remained clustered at the east end of town, in its original location. The 1873 map shows the Court House, Clerk’s Office, and Surrogate’s Office on a lot on the north side of Main Street, between Bridge and Grove Streets.

By 1880, Somerville’s population was 3,108 and the primary thrust of the town’s continued expansion was to the north and west. The families who were relocating from the city did not want to live in the middle of town. Instead, they preferred to build country villas in the hills to the north of Somerville, or to relocate to the quieter areas west of the commercial core (Figure

⁷ *Somerset Messenger-Gazette*, 3/28/85.

⁸ Heritage Studies, “Railroad Stations,” 71.

⁹ Haussamen, 134.

¹⁰ George Catlin, *Homes on the Central Railroad of New Jersey*, 1873, 51.

¹¹ *Ibid.* 52.

¹² *Somerville Messenger-Gazette*, 6/2/83

4). It was in this atmosphere that Daniel Robert and his wife, Angeline, came to Somerville and built their house at the western edge of town.

B. History of the Property

The triangular piece of land where the Daniel Robert House sits was created with the establishment of two major roads: the New Jersey Turnpike begun in 1806 now Main Street and the Raritan Road, an earlier road, now Somerset Street. The Daniel Robert House is the third building constructed on the site. The first was built at the beginning of the nineteenth century; the second by Albert Cammann in 1848; the Daniel Robert House was built in 1888.

Constructed at the end of the first decade of the nineteenth century, the first building on the site was of wood frame and served as a tavern. According to Snell's 1881 *History of Somerset County*, "Some time after the opening of the New Jersey turnpike, in 1807, a long low tavern-building was erected at the junction of the two roads, where Eugene Doughty now lives. It stood there until 1848, when it was purchased by Albert Cammann and removed west to the seminary [Somerset Institute for Young Ladies] building, where it still stands."¹³ The Somerset Institute for Young Ladies opened its doors in 1848. The tavern building was moved, added onto and served as its headquarters; it was depicted on the 1857 *Illustrated Map of Somerville* map (Figure 5). Between 1809 and 1837, there were two owners of the property. They were Dr. Samuel Swan and Dr. Peter Stryker. Investigations into their ownerships did not uncover the date of construction of this first building nor any record of a tavern license (a tenant who rented the tavern could easily have held in his own name the necessary license). Samuel Swan owned the triangular lot as part of a larger tract. He had acquired it from the Dutch Parsonage (established in 1751) in 1809. In 1811, Swan sold his lands to Peter Stryker. Stryker is known to have lived in the Dutch Parsonage from 1810-1836.¹⁴ Stryker sold to Albert Cammann in 1837.

In 1837, Albert Cammann acquired the "house and lot...being a triangular lot between the New Jersey Turnpike Road and the great Raritan Road"¹⁵ from Peter Stryker. As determined above, there was a tavern on the property. In addition to no record of a tavern license for either Swan or Stryker, there was no license for Cammann either. In 1848, Cammann moved the tavern and built a new house, the second building on the property. Although the date of construction of this house is generally attributed to 1844, this date must be incorrect. Because the tavern was not moved until 1848, the second house could not have been built before then; its depiction on an 1850 map proves it was constructed by 1850. The owner of a copper mine, Albert Cammann was wealthy prominent man in Somerville; he built his house in the Gothic Revival style. It was known as "Cammann's Castle" because of its Gothic Revival crenellation, stone construction, pointed arch doorway and corner turrets. Two images of the building survive. It was depicted on the 1857 *Illustrated Map of Somerville* (Figure 6); and a photo, although not of the best quality, also shows its Gothic design (Figure 7).

In 1867, Cammann sold the house and lot to Eugene Doughty, a State Senator who occupied it until his death in 1886. In 1886, Daniel Robert, and his wife Angeline, living in New York acquired the property.

¹³ Snell.

¹⁴ "Wallage House & Old Dutch Parsonage Historic Sites Overview," *New Jersey State Park Service*, <https://nj.gov/dep/parksandforests/historic/wallacedutch.html>

¹⁵ Somerset County Deed Book U page 218.

When he first acquired the property, Robert lived in the Cammann house; during this time he installed a new heating plant.¹⁶ After fewer than two years, however, he razed the building. In 1917, a newspaper described the demolition, "Robert tore down the old house in 1887 and erected the present mansion for his residence where he lived until his death. When the old house was torn down, it was found necessary to dynamite the walls, they were so strongly built of brown stone and brick covered stucco work. The size of the house was 56 x 50 feet and the massive corner pillars gave the appearance of a castle..."¹⁷

Daniel Robert lived in the house until his death on February 4, 1908, at the age of 60. In 1923, his widow sold the building to the Somerville Lodge of the Benevolent and Protective Order of Elks. The triangular plot of land soon became known as Elk's Point. Angeline Robert passed away on June 26, 1936. In 1939, the Elks erected the ballroom addition off the back of the house. The Elks used the Daniel Robert House for over thirty years until 1958 when the Borough acquired the property making it their Borough Hall; the ballroom became the Borough Library. The building remains Borough Hall today.

C. The Gothic Revival

During the Middle Ages, the Gothic style was the crowning achievement of Christian architecture. It began in France at the end of the twelfth century and quickly spread throughout Europe, becoming the dominant style for ecclesiastical architecture in England. Hundreds of years later in the mid-eighteenth century, there was a romantic movement that realized the importance of the Middle Ages, particularly in England. In architecture, this took the form of a revival of medieval Gothic design. This "Gothic Revival" is generally seen as having begun with Horace Walpole's 1750 "castle," Strawberry Hill. The Romantic Movement also led to the documentation of English medieval monasteries and abbeys, many of which were falling into ruin and needed repair. At this time, accurate restoration was unknown. "It was not until a great deal of damage had been done that public sentiment was aroused to the point of expression and explosions. At last, the committees and the best minds got around to thinking that an accurate knowledge of the existing monuments should precede any restoration. So several architectural draughtsmen... [like] Pugin made measured drawings of many English cathedrals and abbeys."¹⁸ The knowledge gained from the study of these architectural monuments increased the accuracy of the Gothic Revival. From England, it spread to the United States.

As early as 1800, Gothic Revival was a part of American architecture. In that year, Benjamin Latrobe designed the Gothic villa at Sedgely near Philadelphia. However, it wasn't until the 1830s that it became a popular style. Glen Ellen designed in 1832 by Alexander Jackson Davis for Robert Gilmore of Baltimore and the conversion of Sunnyside, Washington Irving's house on the Hudson into a picturesque Tudor villa in 1835 marked its beginnings as an architectural movement in America. Davis championed the style in the United States; his 1837 *Rural Residences* was dominated by examples of the style. Andrew Jackson Downing's four books on the theory and practice of architecture and landscape gardening ensured its dominance in the American architectural conscientiousness. Downing's books went into five and six editions through the 1840s and 50s and were found in the library of many country gentleman (Figure 8).

¹⁶ Jessie Havens, "County's 'Handsomest' House, *Somerset Messenger Gazette* (January 31, 1980).

¹⁷ "The History and Self-Guided Tour of Somerville Borough Hall and Free Public Library"

¹⁸ Edna Donnell, "A.J. Davis and the Gothic Revival," *Metropolitan Museum Studies*, Vol. 5, No. 2 (September 1936), 210.

The Gothic Revival broke the hegemony of classicism that dominated architecture and instead embraced the idea that buildings should be designed in relation to their natural settings. It emphasized variety in features, roughness of textures and irregularity of mass and silhouette; the belief was that this led to drama with the movement and contrast of light and shadow. The Gothic Revival was marked by sharply pitched roofs, castellated parapets, and drip molds at the windows. Stone was often used but “the popular medium was hollow brick coated with cement and painted, sometimes reddish, but more often a deep thick chocolate brown.”¹⁹ Rather than the simple rectangles that dominated American architecture, the Gothic Revival plan had to be adapted to absorb the irregularities of the bay windows and towers. The porch was an important feature of the style. Downing felt that no house was complete without one.²⁰ The “veranda” provided a link with the surrounding landscape and also provided the aesthetic quality of shadow. With the Gothic Revival, however, the projecting porch was often substituted for a recessed entrance; this harkened back to the medieval castle with a drawbridge entrance and the need for a solid exterior wall. Equally important was the roofline of the Gothic Revival. Earlier houses had simple rooflines broken only by a chimney. The Gothic Revival embraces steep lines and complex variations. The towers and pointed windows, crenellation, and variations of angles at the façade tracery were important as were grouped windows and pointed doors.

The desirability of the Gothic Revival over ordered classicism was expressed by Downing: “Now almost all persons who have not cultivated a taste for architecture...would prefer a regular house to a symmetrically irregular one, because with them the reason only demands to be satisfied; but with more cultivated minds the taste and imagination are active, and call for a more lively and varied kind of beauty, and the irregular building would be chosen, as affording more intense and enduring pleasure.”²¹

In the mid-nineteenth century, houses in the Gothic Revival style were seen as dramatic expressions of the owner’s affluence. With industrialization came increased prosperity, allowing men of humble beginnings to attain prominence and wealth that previously was not possible. These men chose an architectural style that articulated their distinction. Once again, we turn to Downing:

...there are men of imagination—men whose aspirations never leave them at rest—men whose ambition and energy will give them no peace within the mere bounds of rationality. These are the men for picturesque villas—country house with high roofs, steep gables, unsymmetrical and capricious forms. It is for such that the architect may safely introduce the tower and the campanile—any and every feature that indicates originality, boldness, energy, and variety of character. To find a really original man living in an original and characteristic house, is a satisfactory as to find an eagle’s nest built on top of a mountain crag...²²

While some found the literary overtones of the Gothic Revival style elitist, it was an important movement that dominated American architecture for thirty years in the mid-nineteenth century.

¹⁹ Donnell, 184.

²⁰ A.J. Downing, *Victorian Cottage Residences* (New York, Dover Publications, 1981), 13.

²¹ *Ibid.*, 19-20.

²² A.J. Downing, *The Architecture of Country Houses* (New York: Dover Publications, 1969), 268.

It was a radical change from the symmetrical boxes of American architecture and helped spur other new styles. During the second half of the nineteenth century, a combination of new buildings technologies along with numerous architectural and housekeeping books and the financial means led to an explosion of new architectural styles.²³ The Gothic Revival reached its apex at the mid-century and was in decline by the 1860s; there was a slight resurgence spurred by John Ruskin's writings in the 1870s but was no longer a leading style by the 1870s.²⁴ Of course the Gothic Revival style continued as evidenced by the Daniel Robert House built in 1888.

D. The Daniel Robert House and Alexander Jackson Davis

In 1886, Daniel Robert and his wife Angeline acquired the triangular property in Somerville. Robert was in his mid-forties when he moved to Somerville, a wealthy New Yorker from a well-established family. He was born in Long Island in 1840; his parents were from Holland.²⁵ In an article about the construction of the house, he was referred to as a "capitalist."²⁶ Although he had inherited substantial real estate in the city, he and his wife chose Somerville. His wife, Angeline Lance, born in 1856, was locally born; she was from Peapack. It seems likely that she pushed for their relocation to Somerville which was not yet a fashionable place to live.²⁷ For the construction of their new house, the Roberts chose to replicate a hallmark of the Gothic Revival style, the 1847 Harral House located in Bridgeport, Connecticut, designed by the quintessential Gothic Revival architect, Alexander Jackson Davis.

Alexander Jackson Davis was born in New York on July 24, 1803. He left school at sixteen and became a printer of a daily paper. In 1823, he became a draftsman, opening his own office in Wall Street in 1826. He was an early member of the National Academy of Design. In 1829, he joined Ithiel Town, a noted architect and engineer. They became one of the leading American architectural firms. While Town was more noted for his classical designs, he had made forays into the Gothic prior to his partnership with Davis; his 1813 Trinity Church in New Haven is considered one of the earliest Gothic Revival churches in America. Following the establishment of their partnership, Davis was responsible for all the Gothic Revival designs. Town and Davis remained partners until 1835.²⁸ Both within the partnership and as a sole practitioner, Davis was the true Romanticist; his designs revolutionized American architecture (Figure 9). They included the Harral House, Glen Ellen and Lyndhurst. In addition to the Gothic Revival, Davis also made another important contribution to American architecture. In 1837, he was one of the three original founding members of the American Institute of Architects.

In February 1846, Davis began the design for a house for Henry Kollock Harral of Bridgeport, Connecticut. At this time, Bridgeport was experiencing a major building boom as industry and population dramatically expanded. Although only in the city for ten years, Harral was a prominent citizen. His saddle and harness manufacturing firm made him a wealthy man. He was elected mayor in 1845; he also served as a senator in the state legislature. For the construction of his new house, he chose the undisputed master of the Gothic style, Alexander Jackson Davis. Davis had recently designed the William Waddell house in New York City and

²³ Stephen Calloway and Elizabeth Cromley, *The Elements of Style: A Practical Encyclopedia of Interior Architectural Details from 1485 to the Present* (New York: Simon and Schuster, 1991), 272-274.

²⁴ Virginia and Lee McAlester, *A Field Guide to American Houses* (New York: Alfred A. Knopf, 1996), 197-200.

²⁵ 1900 Federal Census, Bridgewater Township, Somerset County.

²⁶ "Residence of Daniel Robert, Esq." *The Somerset Democrat* (Friday, June 22, 1888), 1.

²⁷ Havens.

²⁸ Roger Hale Newton, *Town & Davis Architects: Pioneers in American Revivalist Architecture 1812-1870 Including a Glimpse of their Times and their Contemporaries* (New York: Columbia University Press, 1942), 76-105.

gained prominence; Harral may have known of this building (Figures 10 and 11). He also could have seen the pattern and design books of Davis and A. J. Downing that were immensely popular at this time. Americans were embracing the picturesque in the 1840s and the benefits that architecture could affect, as stated by Downing: "We believe that a house may have an absolute beauty of its own, growing out of its architecture, but that it may have a relative beauty no less interesting, which arises from it expressing the life and occupation of those who build or inhabit it."²⁹

In addition to the house, Davis designed a coach house, stable, gate and fence for Harral. He completed the design in June. Work began on the house in the summer of 1847; it was completed the following summer. It was called a castle in the local press: "The large and handsome edifice erected by Ex-Mayor HARRAL is nearly completed...There are few edifices in this part of the world to be compared with the new CASTLE. It has been built of the very best manner..."³⁰ (Figures 12-16)

Davis was pleased enough with his design that he exhibited a drawing of the Harral House in the 1853 World's Fair in New York City and again in 1865 at the National Academy of Design (Figure 17).

In 1852, Harral asked Davis to design an office and library addition for the house. Davis completed the drawings in September 1853 but in 1854, Henry Harral died of tuberculosis and the addition was not completed. In 1866, Harral's widow sold the house to Nathaniel Wheeler. Wheeler, like Harral, was a wealthy and prominent citizen of Bridgeport. Wheeler added the library as proposed by Harral; Davis's plans, however, were not used. The addition was designed by local architects, Edward Richard Lambert and Rufus William Bunnell. Their addition was two stories with a bay window and was compatible with the existing building (Figure 18). In 1958, the Harral House was demolished after a long local fight to save it. The house fairly well documented prior to its demolition and one bedroom was saved by the Smithsonian Institution.³¹

In Somerville in 1888, Daniel Robert built his house. He chose the Harral House design and called upon the Bridgeport, Connecticut firm of Lambert and Bunnell to design a replica; the same firm responsible for the Harral House addition. Bunnell practiced architecture for over forty years in Bridgeport and Stratford, Connecticut. Some of Bunnell's papers, along with those of four generations of his family, are housed at the Manuscripts and Archives at Yale University in the Bunnell Family Papers, 1772-1958. How Robert knew Lambert and Bunnell is unknown. However, his desire to recreate the Harral House must have drawn him to the firm. Because of their addition, Lambert and Bunnell were obviously intimate with Davis's design. Two things are interesting about Robert's choice of the Gothic Revival style. First, by the late 1880s, Gothic Revival was no longer a new style. The Harral House was designed in 1846 when the Gothic Revival was a fresh, innovative style that spoke of the pioneering nature of the owner and his desire to proclaim his wealth and originality. Forty years later, the choice of Gothic Revival would not have expressed this same sense of industriousness. Although no longer a cutting-edge style, the house was impressive nonetheless. It was considered an important asset to Somerville. Its size, its verticality, and the totality of its design ensured its prominence in the community. The second noteworthy fact is that Robert tore down an existing Gothic Revival building to construct

²⁹ A.J. Downing, *Rural Essays* (New York: G.P Putnam & Co., 1853), 207-08.

³⁰ Anne Castrodale Golovin, *Bridgeport's Gothic Ornament: The Harral- Wheeler House* (Smithsonian Vienna 1972), 5-6.

³¹ *Ibid.*, 6.

another one. Admittedly, Cammann's house featured a much less elegant design than the Harral House, but it is remarkable that Robert chose the same architectural style to rebuild on the site, instead of any of the then-current styles.

An 1888 article in the *Somerset Democrat* describes Robert's new house. When constructed, it was called the "Tudor-Gothic" style. It was built of buff-colored brick made by Sayre and Fisher of Sayreville, New Jersey, with brownstone trim from Longmeadow, Massachusetts. The foundation was called "Martinville stone" and the slate roof was "red." "The inside woodwork embraces the following: Parlor to be finished in mahogany; reception room in black walnut; drawing room in white maple; dining room in quartered white oak; library and study in cherry, mantels and shelving the same; hall, first and second floors and main stairway in black walnut, the dining room, hall, and library being wainscoted...Double floors are to be laid through the house, with heavy felt between the flooring... The music room will be a novelty, presenting the appearance of a miniature chapel...The house will have hot and cold water, gas, electric bells, steam heaters and all the modern improvements and conveniences." I.W. Pangborne of North Plainfield was the mason. John Chandler of Plainfield was the carpenter. Construction was overseen by superintendents Stewart W. Milligan and M.L. Connolly.³² (Figure 19)

From the exterior, the Robert House appears to be a very close match of Davis's Harral House. Minor differences are in the details. The Harral House had leaded, diamond-shaped glazing in casement windows whereas the Robert House has one-over-one sash. Some of the Harral House windows had exterior shutters while in the Robert House, all the shutters are on the interior. Ultimately, the differences are minor; the overall effects of the houses are the same (Figure 20). Similarly, the interior differences are more in the detailing. The overall floor plan is the same for both generally. Some room uses are different. For instance, the ground floor of the Harral House had one bed chamber in the location of the study in the Robert House. The closets off the front reception room of the Daniel Robert House do not exist in the Harral House design. The Harral House is no longer standing but Davis's drawings survive as do pictures. Although in the first-floor plan, the main stair is centered in the hall, photographs show the stair running up the side of the wall, exactly matching the location of the Robert House stair with very similar wainscot and woodwork. The second-floor plan of Davis's design shows a secondary stair tucked in behind one of the upper chambers. However, this stair is not shown going up from the first floor so whether it existed or not is difficult to say. Regardless, this stair is not found in the Robert House (Figures 14 and 15).

Daniel Robert and his wife lived in the house for over twenty years. Angeline and her brother, Orville Lance, are considered largely responsible for the décor of the interior of the house. Orville Lance was a painter and was familiar with the New York Academy of Design; it may have been through him that the Roberts were familiar with the Harral House and Lambert and Bunnell. The ceiling of the reception room retains one of Lance's contributions. It depicts a woman, doves and cherubs thought to represent chastity, peace, and love.³³ Unfortunately, no archival documentation of their roles in decoration of the house were found.

Daniel and Angeline Robert had no children, but according to the 1900 census, they had a boarder who lived with them, 73-year-old Lindeley Bellis.³⁴ Robert died in 1908. His will left everything to Angeline. Although an inventory was completed, it did not list any household

³² *Somerset Democrat*, 1.

³³ Somerville Historic Advisory Committee.

³⁴ 1900 Federal Census.

goods; instead, it was limited to financial information including several unpaid notes to Henry J. Robert. Although they added up to a significant amount of money, they were listed as “doubtful,” presumably for being paid back.³⁵

Angeline Robert owned the house until 1923 when she sold it to the local Elks. According to the 1910 census, she lived in the house alone; there were no boarders listed.³⁶ Her name was not found in the 1920 census; this may indicate that she no longer resided in the house.

In addition to the house, a carriage house was also constructed on the Robert property to match the Harral House carriage house. In the 1950s, this building became the Somerville police station; it was torn down with the construction of the senior center to the rear of the original property.

E. The Somerville Lodge of the Elks

In 1923, Angeline Robert sold the building to the Somerville Lodge of the Benevolent and Protective Order of Elks. Somerville Lodge B.P.O. Elks No. 1068 was instituted on March 7, 1907, with twenty-one charter members. Involved in local charities and community activities, the Elks had two different homes before they acquired the Robert property. Although they had their own property, meetings were on the third floor of the Knights of Columbus building on West Main Street. This remained the case after they acquired the Robert House until the construction of the auditorium off the rear of building in 1939, providing them with enough space to hold both meetings and social affairs³⁷ (Figures 21-26). Sunday dinner at the Elks was an important local event in the 1940s and 50s. The point where the house is located was known as “Elks Point” during their ownership.³⁸ Apart from adding restrooms and a bar in the basement, the Elks made few alterations to the Robert House.³⁹

A design competition was held for the rear wing auditorium. One design called for Gothic elaborations like a crenellated tower and arched windows (Figures 27 and 28). Ultimately, the simple design was chosen because of economic considerations. The Elks remained in the property until 1958 when the Borough of Somerville acquired it for their Borough Hall; the rear auditorium became the Borough Library. The local Lodge moved into a newly constructed clubhouse along Highway 22 in Bridgewater.⁴⁰ When the Elks left, they took some of the original furniture from the Robert House including two chairs and a dining room sideboard with mirror; the sideboard has the same quatrefoils and trefoil arch motifs found throughout the house.⁴¹

F. Construction Chronology

Few changes have been made to the building and The Daniel Robert House retains many of its original character-defining features. The building has undergone two fires. In February 1967, a fire destroyed much of the interior of the rear wing, originally the servants’ wing. Because the

³⁵ Somerset County Will R723, filed March 30, 1908.

³⁶ 1910 Federal Census.

³⁷ “History of Somerville Lodge,” *Benevolent and Protective Order of Elks*, <http://www.elks.org/lodges/LodgePages.cfm?LodgeNumber=1068&ID=1127>

³⁸ Somerville Historic Advisory Committee.

³⁹ Historic Advisory Committee Somerville Borough, *The County’s Handsomest House: The Story of Somerville’s American-Gothic Classic*, (New Jersey: Borough of Somerville, 2020), 10.

⁴⁰ “History of Somerville Lodge.”

⁴¹ Marge Sullivan, Somerville Historic Advisory Committee, discussions with Somerville Elk Lodge Historian.

fire started on a Saturday night, it engulfed much of that portion of the building before it was noticed. In the early morning of Monday, January 21, 1980, an arsonist set fire to Borough Hall. Then-Council President, Stuart Cameron, discovered the fire and the Somerville Fire Department and Rescue Squad, with assistance from neighboring fire departments, managed to put out the blaze.⁴² The damage from this fire was heaviest in the basement and first floor, but also damaged the decorative ceiling and original finishes in the stair hall.

On the exterior, two porches have been lost. The front porch was removed by the Borough (Figure 29). The rear porch was removed when the Elks constructed the ballroom addition in 1939. Following the 1967 fire in the original rear wing, the Borough added a two-story addition to this wing. Other exterior changes include the replacement of the roof; it was originally red slate. The exterior brick has been painted and grills for an added heat system now pierce the masonry.

On the interior, moderate changes have been made. In the cellar, a few partitions have been added to make smaller spaces. The Elks added a barroom in the cellar; the Borough also added partitions. On the first floor, the parlor and the drawing room have been set off by glass, enclosing two rooms that were once open. While it is surprising that these rooms did not have doors originally, this matches the Harral House design where these rooms were open. The original reception room has been made smaller; the original closets have been altered to allow the construction of a modern glass entry vestibule. Following the 1980 fire, the door that led into the dining room was removed and a reception desk inserted. Dropped acoustic tile ceilings were added throughout most of the second floor also following the 1980 fire.

At the rear of the original house, in what was the service wing, no original fabric or floor plan remains. Originally, this wing housed the kitchen, scullery, and other domestic workspaces at the first floor, and a series of water closets, bathrooms, and servants' quarters at the second floor. However, the wing was gutted by a fire in 1967. A survey was conducted after the fire which produced a report with recommendations. The wing was condemned, but restoration work began in late 1968 or early 1969 and the interior was completely rebuilt. The post-fire report and restoration specifications are held by the Borough. Following the 1967 fire, a small, two-story addition was added to the west of the original rear service wing.

The floor plan of the second floor of the main block was originally a series of chambers off the hall. This plan remains with only one of the rooms divided into smaller units. While the vaulted ceiling with exposed framing remains in the mayor's office, the other ceilings were lost or severely damaged in the 1980 fire and are now covered with dropped acoustic tile. In addition, sinks off the sleeping chambers have also been lost.

The other features that have been lost are the original finishes. On the exterior, paint analysis shows that the brick was not originally painted, and the wood features were painted in browns. On the interior, two pictures from the Elk tenure hint at the extent of the original finishes. One picture in the Reception Rooms shows that it was painted to look like stone. Another picture in the first-floor hall shows stenciling. Photographs taken of the Harral House prior to its demolition show dramatic finishes; it is likely that the Daniel Robert House was equally as extravagantly finished (Figures 30-35)

⁴² Historic Advisory Committee ..., *The County's Handsomest House...*, 14.

Besides the minor changes listed above, most of the original features remain throughout the house. This includes the original floor plan, wall plaster, partitions, all woodwork and trim, doors, hardware, windows, interior shutters, and fireplaces.

The Daniel Robert House is a handsome example of the Gothic Revival architectural style and is a close replica of an Alexander Jackson Davis design. Now Somerville Borough Hall, it is a largely unaltered example of the style and meets the National Register Criterion C for architectural significance.

G. Figures

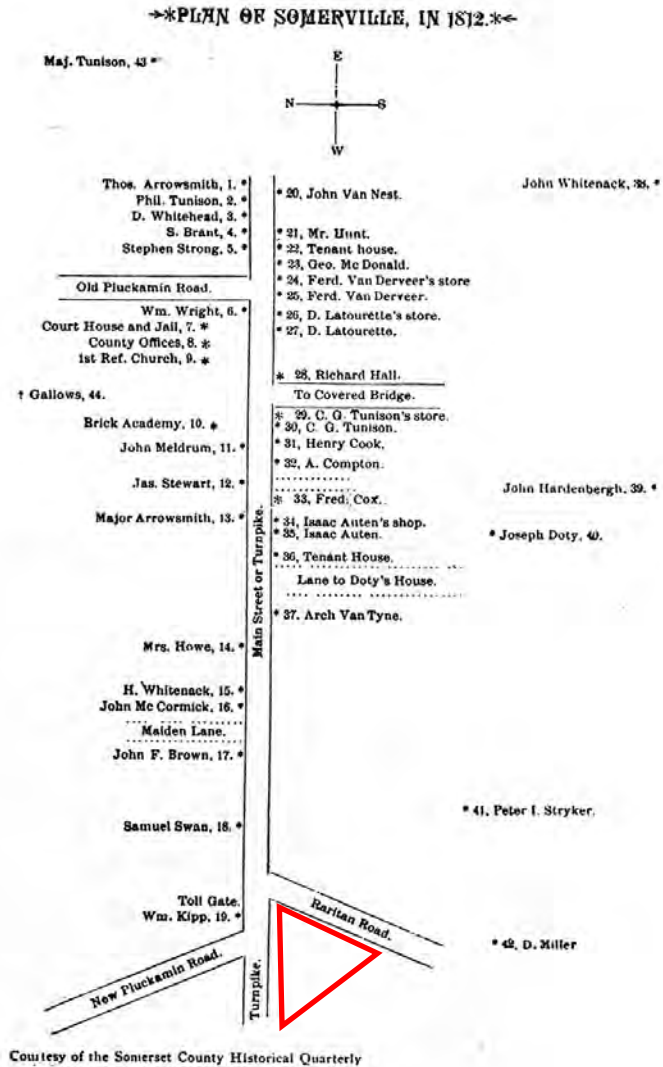


Figure 1: Somerville in 1812. The triangular property is at the bottom of the map to the right.

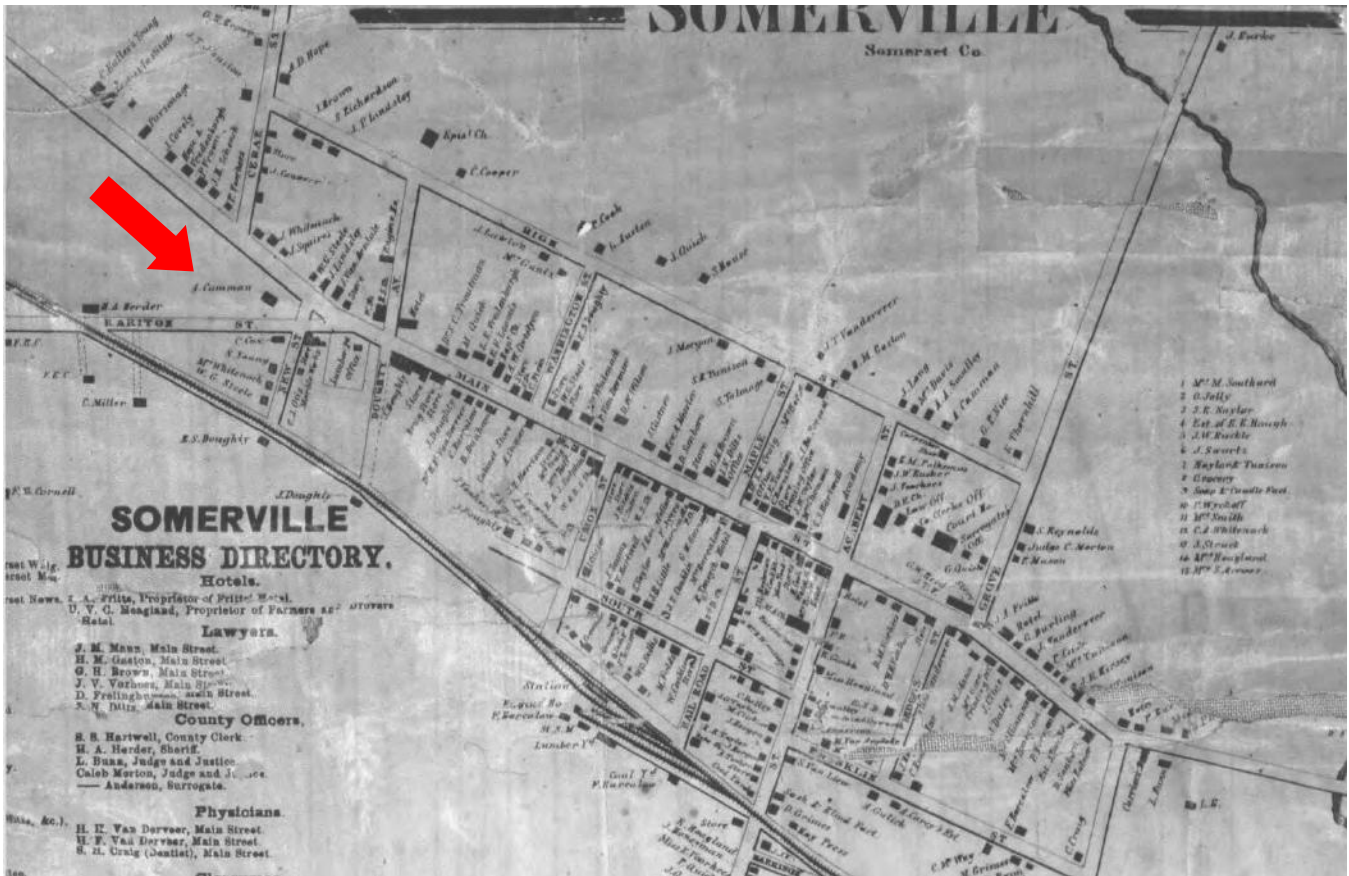


Figure 2: Somerville in 1850. The property is Cammann's.

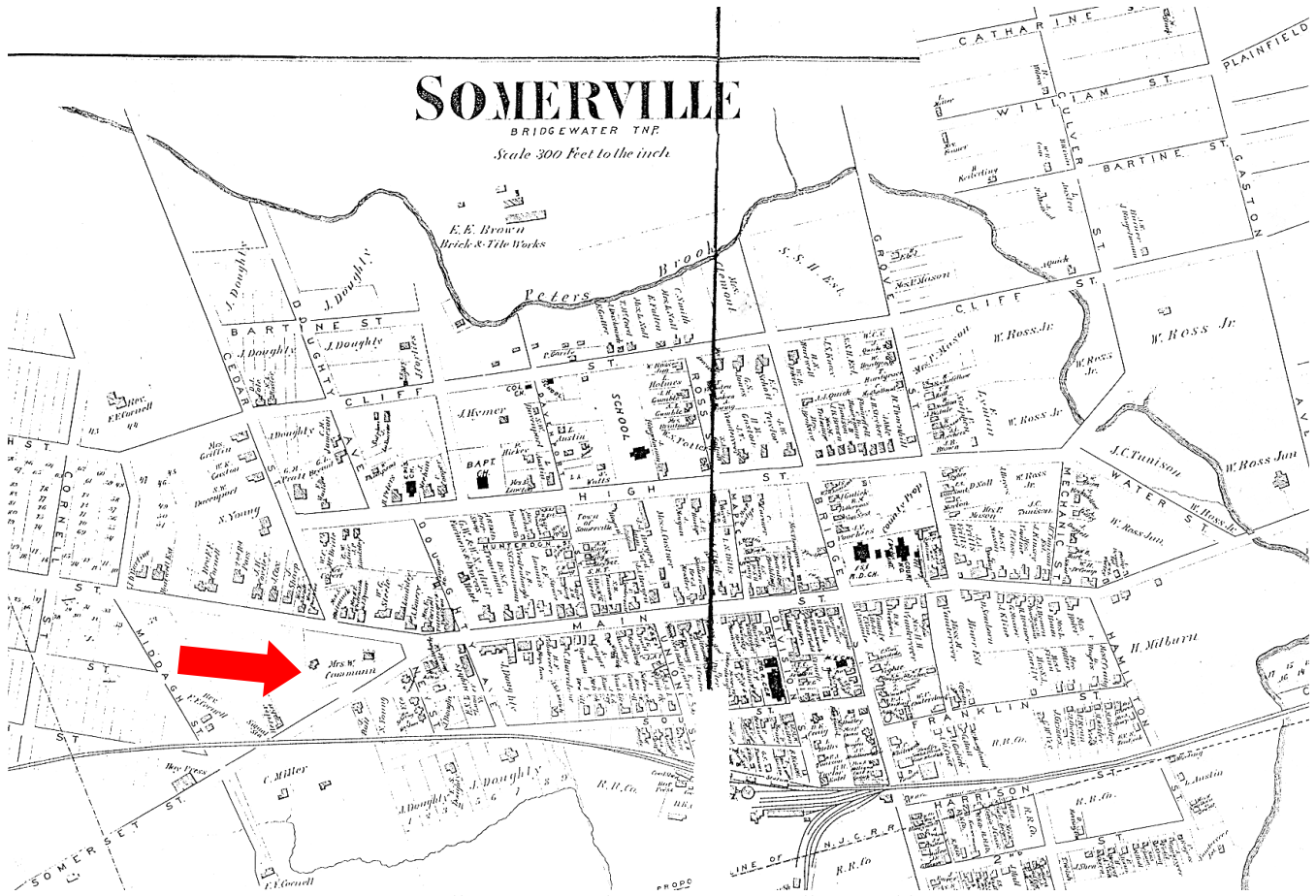


Figure 3: Somerville in 1873. The property is still owned by Cammann.

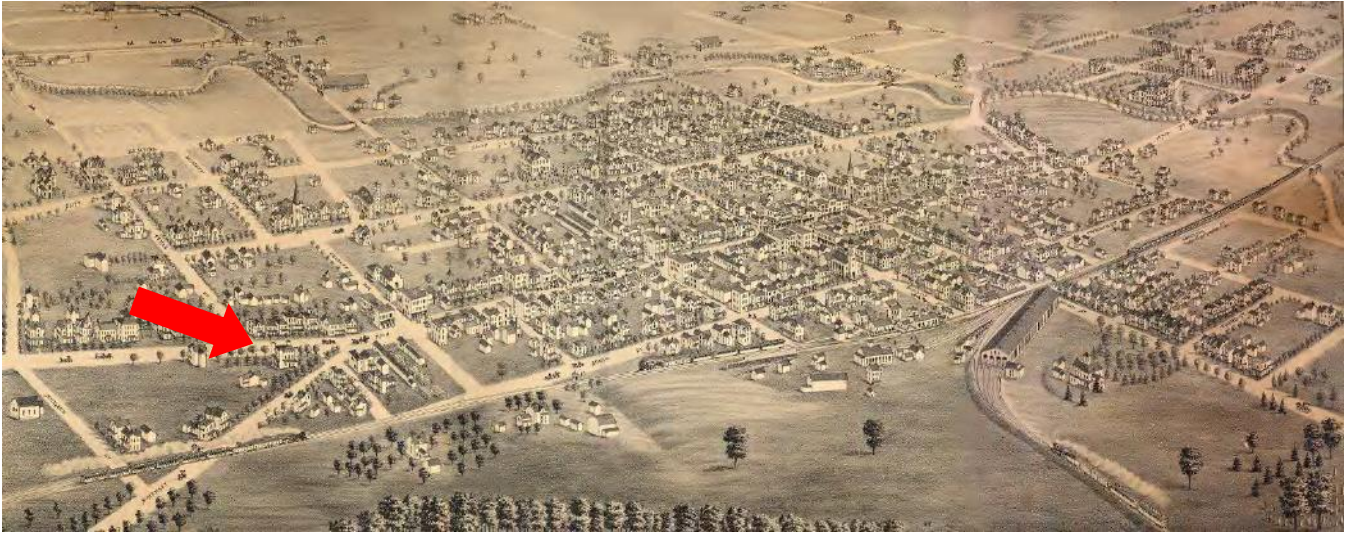


Figure 4: Somerville in 1882. "Cammann's Castle" is depicted. Robert and his wife moved in four years later.

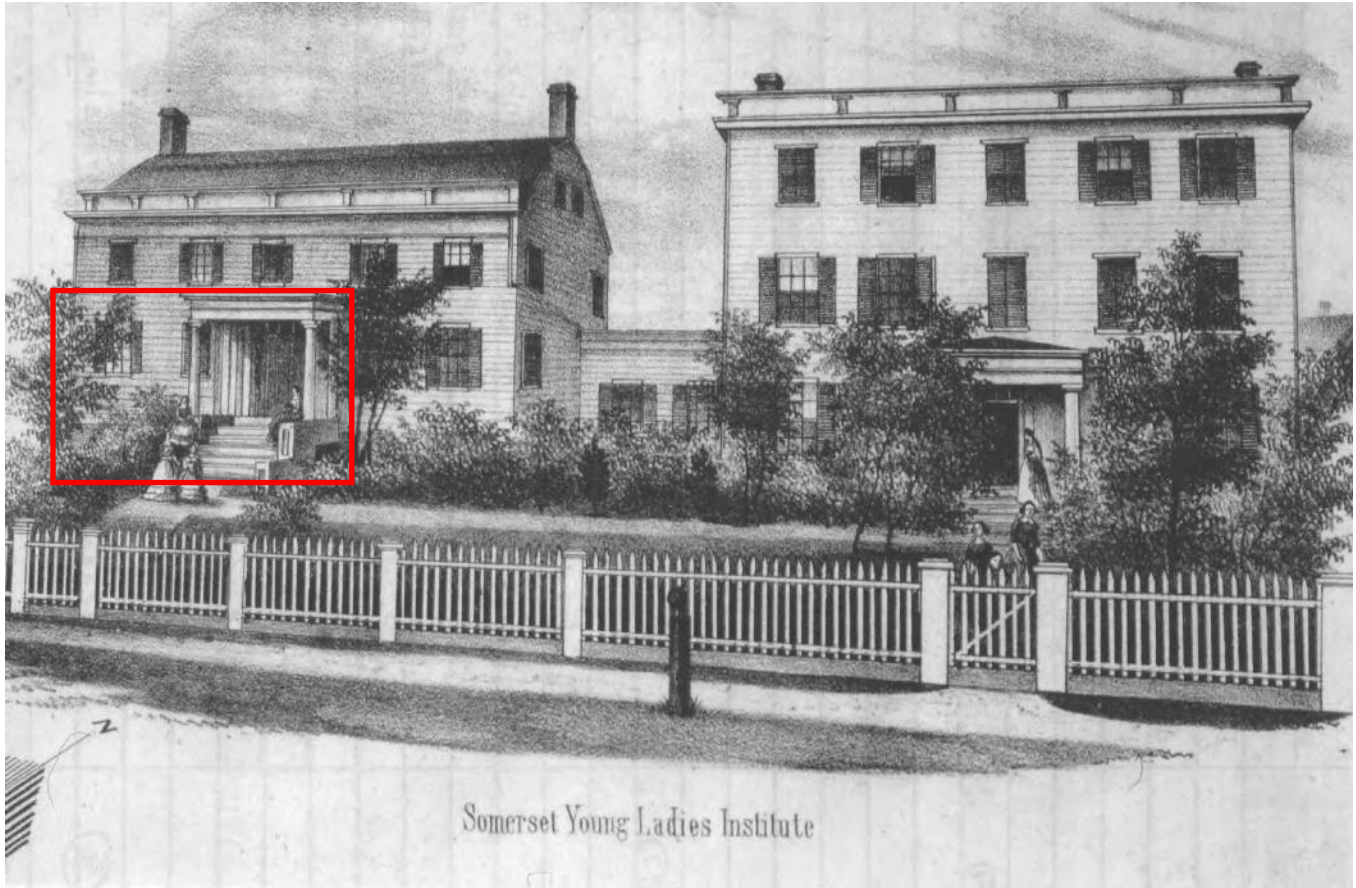


Figure 5: The original building on the site was a tavern depicted on the 1857 *Illustrated Map of Somerville*. In 1848, it was moved and added onto (both at the first story and a complete second story) to become the headquarters of the Somerset Young Ladies Institute. What is believed to be the extent of the original tavern is denoted. It was one story with three bays and a side hall plan.

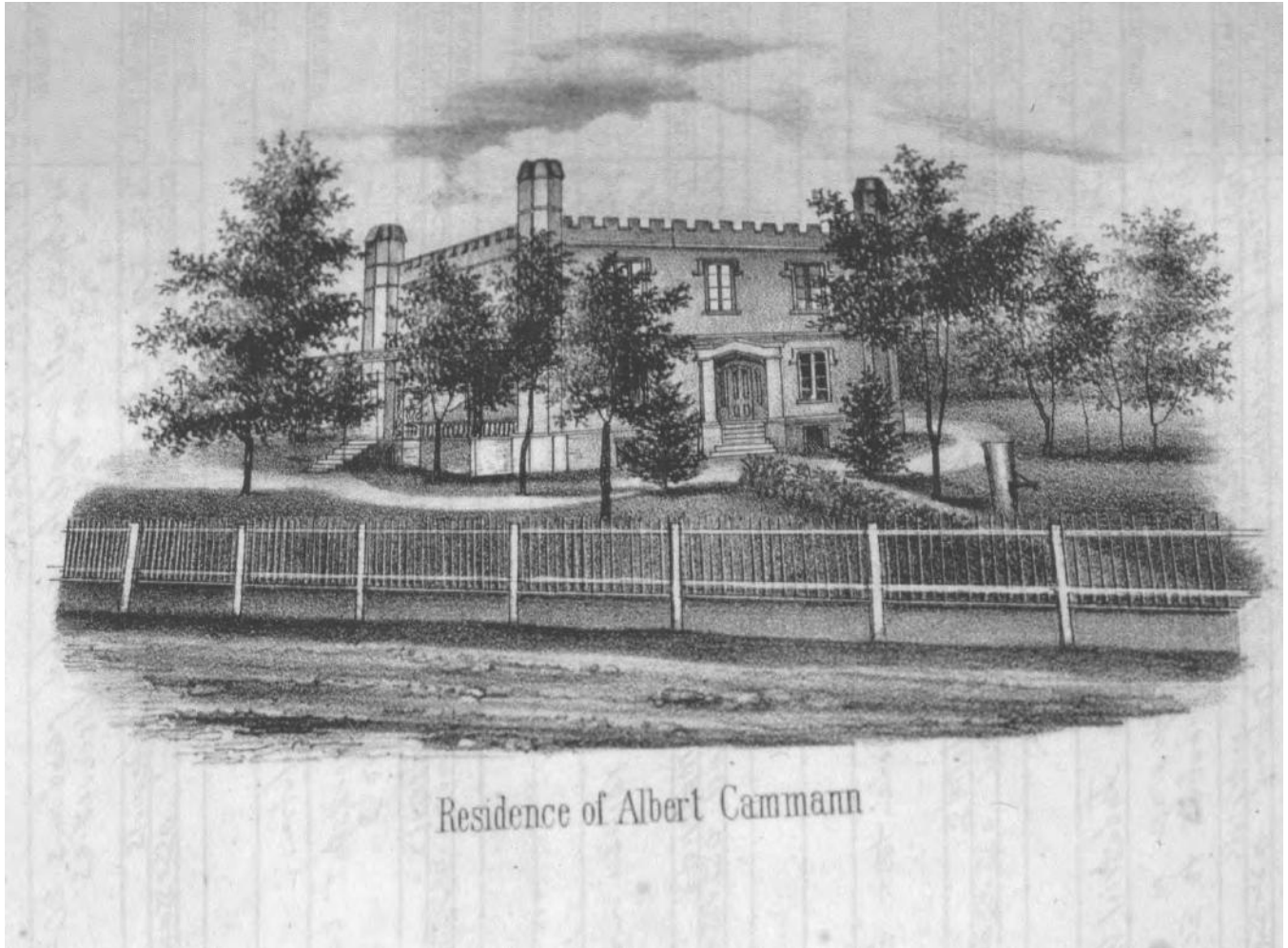


Figure 6: The Albert Cammann House was the second build on the property as shown in the 1857 *Illustrated Map of Somerville*.

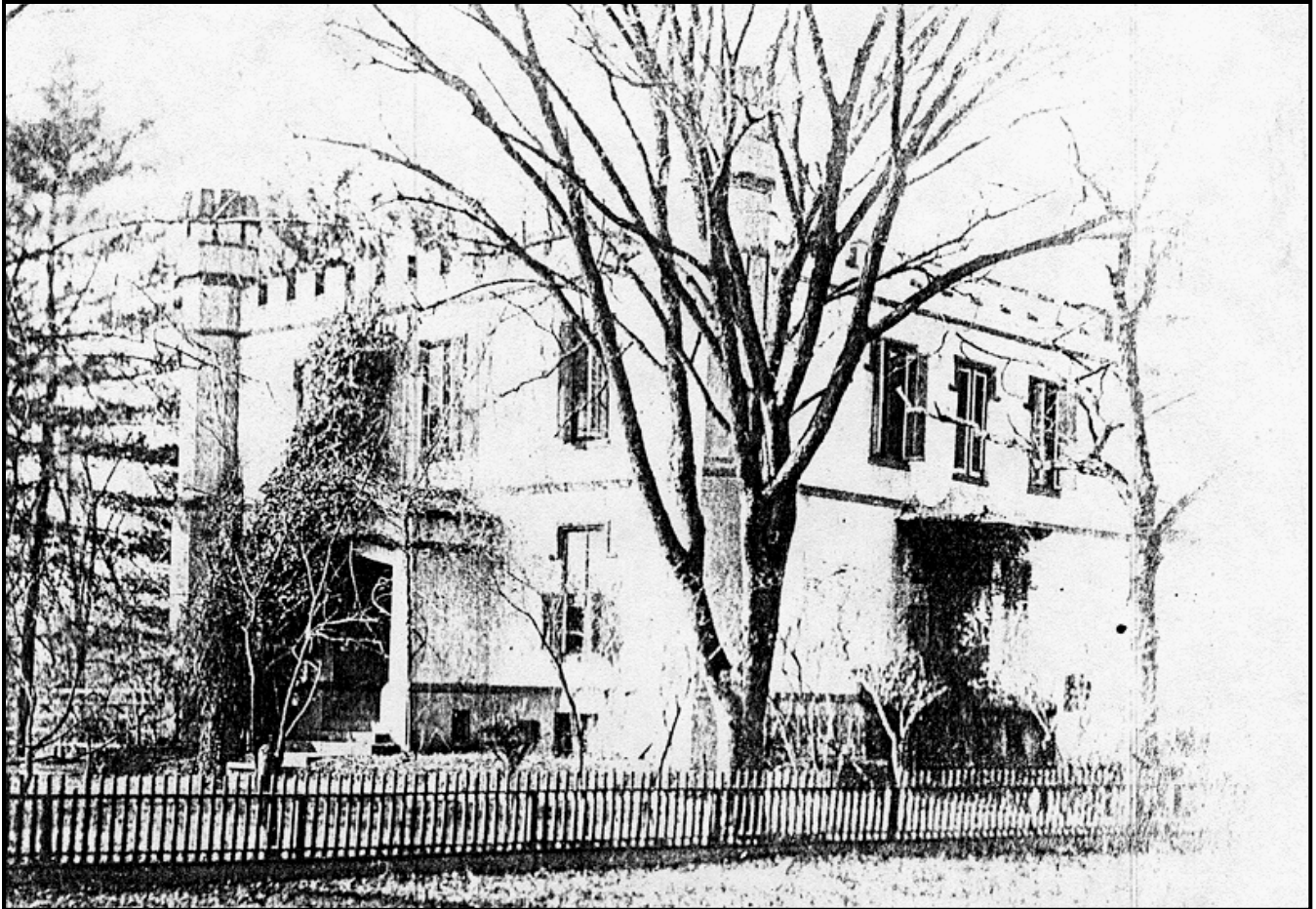


Figure 7: A photograph of the "Cammann's Castle." Although in the Gothic Revival style, it is much less elegant than the Daniel Robert House.

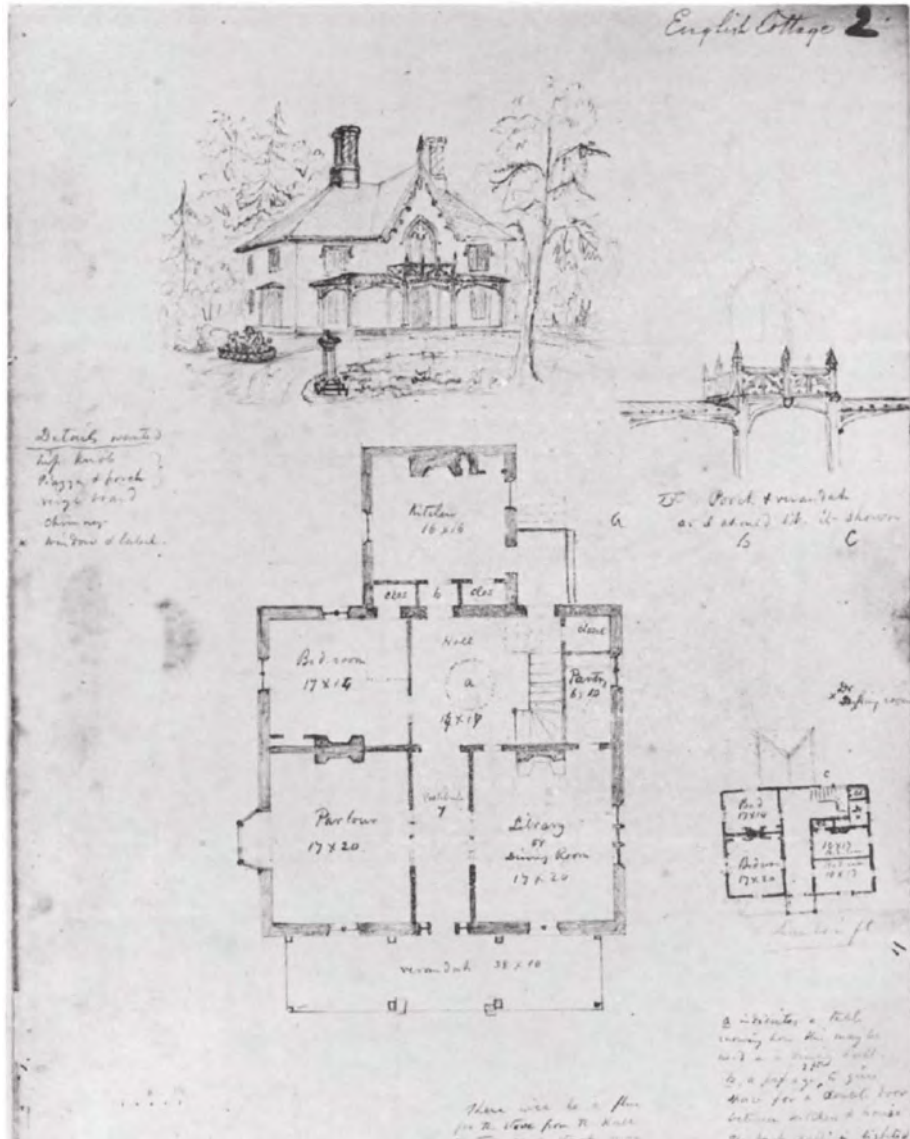


Figure 8: Andrew J. Downing pattern books on the theory and practice of architecture and landscape gardening ensured the dominance of the Gothic Revival style in the American architecture. Alexander J. Davis collaborated with him on the architectural designs. This is from a letter from Downing to Davis. Note the kitchen is in a separate wing off the back; this was a common feature of Downing and Davis designs and occurs at the Daniel Robert House.

(From Edna Donnell, *A.J. Davis and the Gothic Revival*.)



Figure 9: "A Residence in the English Collegiate Style"
(From A.J. Davis's 1838 *Rural Residences*.)



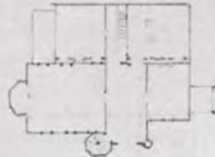
Figure 10: Davis's 1844 Waddell House in New York City. This design preceded the Harral House; the similarities are striking.
(From Edna Donnell, *A.J. Davis and the Gothic Revival*.)

76

1846



House on Murray's Hill, for
Wm. Coventry H. Waddell.



Specification, and Drawings:

- Plan of Basement, Pinn. and Sec. of Attic
- 1, 2, 3, 4, 5 Section thro' Hall & Passage
- 6 Elevation Front of V. Terrace
- 7 Elev. South End. 37 ft.
- 8 North End. 9 Rear. 10 Section N.S.

Aug. 1. 1844

Working Drawings.

- 11 Front Door.
- 12 Bay Window, plan. 13 Elev. and Section
- 14 Com. Window,
- 15 Com. door.
- 16 Oriel window
- 17 Angle brackets, full size
- 18 Plant cabinet.
- 19 Hoods and Cornice
- 20 Tower Battlement, full size.
- 21 2 3/4 window plan, full
- 22 Section 3/4 window, full

100.00

100.00

1845

Extra

- March 11. 23 Ceiling in drawing room, Perspective view, plan &c. 10
- Windows and doors. 18 1/2 Duplicates. Head and tail &c. 10
- 3 light windows over door, with tracery 10
- Dup. prin. plan, No. 2 with alterations 3
- Head of attic window, full 5

050.00

April

- From letter W. 3.00
- Sketch of 5th Avenue, and altering River view road to suit.

April 7. 1853 Additions to house
Stable.

not paid. 15.00

Figure 11: Page from Davis's diary with a sketch and specifications for the Waddell House. (From Edna Donnell, *A.J. Davis and the Gothic Revival*.)



Figure 12: The 1847 Harral House in 1935.
(From Edna Donnell, *A.J. Davis and the Gothic Revival*.)



Figure 13: The Harral House.
(From Anne Castrodale Golovin, *Bridgeport's Gothic Ornament: The Harral - Wheeler House.*)

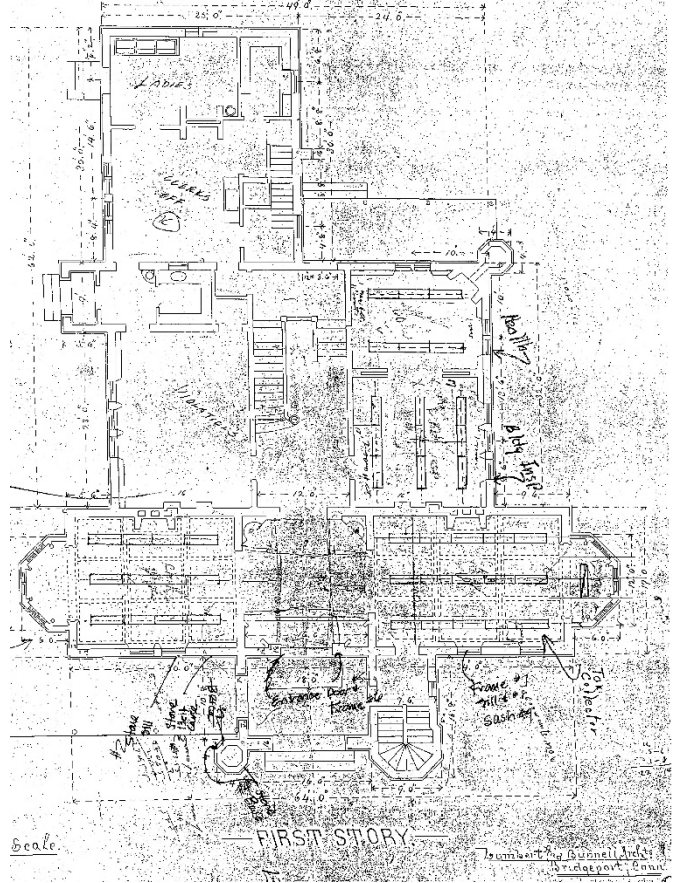
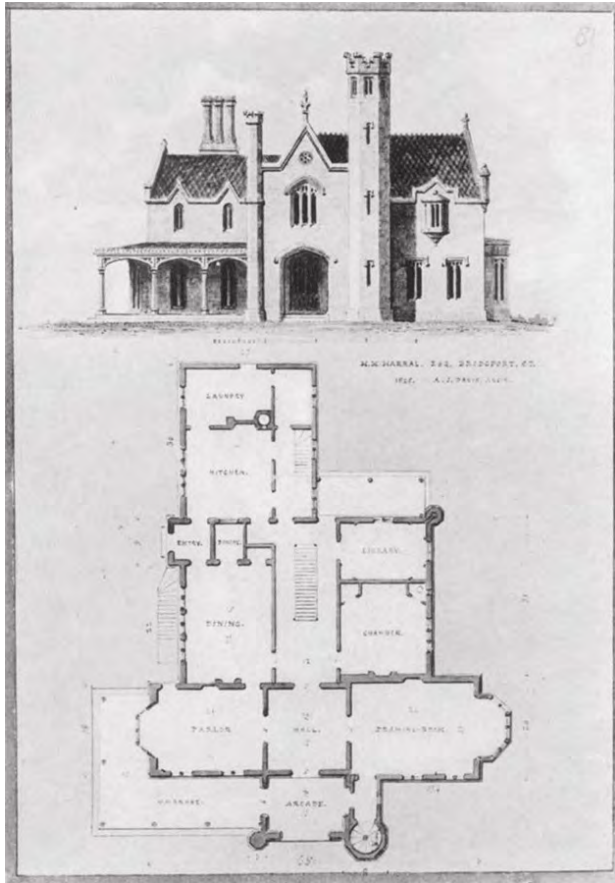


Figure 14: Davis's drawing and first floor plan of the Harral House at left. Note the similarities between it and the Daniel Robert House at right. Although the stairs are shown going up the middle of the hall, photographs show the stair going up the side wall like in the Robert House.

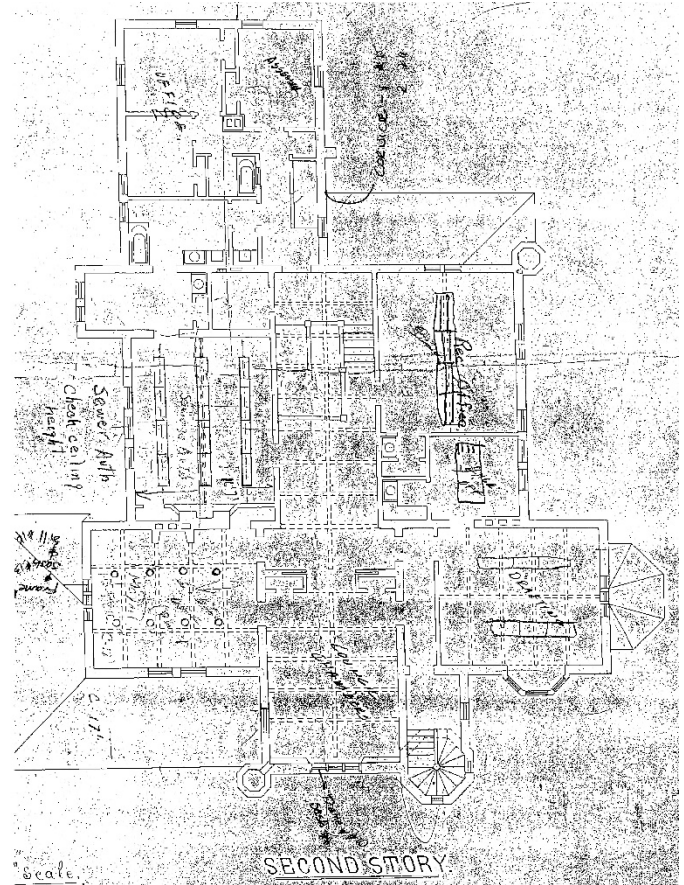
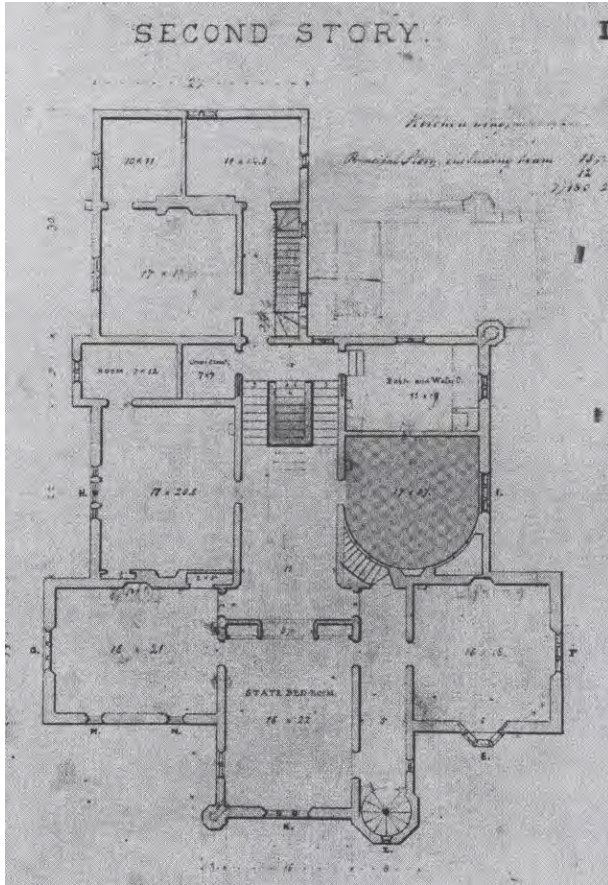


Figure 15: The second-floor plan of the Harral House at left. The stair within the chamber on the right is not shown on the first floor. Whether it existed or not is unclear. Note similarities to Daniel Robert House at right. (From Anne Castrodale Golovin, *Bridgeport's Gothic Ornament: The Harral - Wheeler House.*)



Figure 16: In addition to the house, Davis designed a coach house, stable, gate and fence for the Harral House.
(From Edna Donnell, *A.J. Davis and the Gothic Revival*.)



Figure 17: Ink and wash drawing of the Harral House. It is probable that this is the depiction of the Harral House that Davis exhibited at the New York's World Fair in 1853 and the National Academy of Design in 1865. (From Anne Castrodale Golovin, *Bridgeport's Gothic Ornament: The Harral - Wheeler House.*)



Figure 18: The Harral House with the library addition (the projecting bay at the back of the house) that was built in 1866 and designed by Lambert and Bunnell, the architects of the Robert House. (From Anne Castrodale Golovin, *Bridgeport's Gothic Ornament: The Harral - Wheeler House.*)



Figure 19: The Daniel Robert House, 1895. This is a modern print from a glass plate negative. Note the brownstone gateposts at the driveway entrance; these remain. The wrought iron fencing was removed during World War I.
(From the Somerville Historic Advisory Committee.)



Figure 20: From the exterior, the Robert House appears to be an exact match of Davis's Harral House shown above. Minor differences are in the details. The Harral House had leaded, diamond-shaped glazing in casement windows whereas the Robert House has one-over-one sash. Some of the Harral House windows had exterior shutters while in the Robert House, all the shutters are on the interior. Ultimately, the differences are minor; the overall effects of the houses are the same.
(From Edna Donnell, *A.J. Davis and the Gothic Revival*.)



Figure 21: The Daniel Robert House as the Somerville Elks Lodge, 1940. Note the original front porch and the flagpole.
(From the Somerville Historic Advisory Committee.)



Figure 22: The Somerville Elks Lodge, 1948-49.
(From the Somerville Historic Advisory Committee.)



Figure 23: The Somerville Elks in the first-floor hall. Note the stenciling and mirror.
(From the Somerville Elks to the Somerville Historic Advisory Committee.)



Figure 24: The Somerville Elks in the front entry. Note that the walls are painted to look like stone.
(From the Somerville Elks to the Somerville Historic Advisory Committee.)



Figure 25: The Somerville Elks in 1950 in the front entry. An original sconce remains in the niche. (From the Somerville Elks to the Somerville Historic Advisory Committee.)



Figure 26: A dinner party with the Elks.
(From the Somerville Elks to the Somerville Historic Advisory Committee.)



Figure 27: An Elks event in the rear auditorium.
(From the Somerville Elks to the Somerville Historic Advisory Committee.)



Figure 28: Before the auditorium addition was constructed, the Elks had a design competition. This is one of the proposed designs.
(From the Somerville Elks to the Somerville Historic Advisory Committee.)



Figure 29: Another design for the rear auditorium.
(From the Somerville Elks to the Somerville Historic Advisory Committee.)



Figure 30: The Daniel Robert House in the 1970s as Borough Hall. The front porch had already been removed.
(From the Somerville Historic Advisory Committee.)



Figure 31: Entrance hall of the Harral House showing painted niche and similar
woodwork to the Robert House.
(From Edna Donnell, *A.J. Davis and the Gothic Revival*.)



Figure 32: Staircase of the Harral House. Although the plans called for a stair up the middle, it was constructed to the side. Note the similarities to the Robert House stair.

(From Edna Donnell, *A.J. Davis and the Gothic Revival*.)



Figure 33: The hall of the Harral House at the second floor. Note the similarities to the Robert House.
(From Edna Donnell, *A.J. Davis and the Gothic Revival*.)



Figure 34: The dining room of the Harral House. While the windows are different, the wainscot appears to be an exact match.

(From Edna Donnell, *A.J. Davis and the Gothic Revival*.)



Figure 35: The pink parlor of the Harral House. The Robert House finishes may have been similar.
(From Edna Donnell, *A.J. Davis and the Gothic Revival*.)



Figure 36: The blue parlor of the Harral House.
(From Edna Donnell, *A.J. Davis and the Gothic Revival*.)

IV. EXISTING CONDITIONS ANALYSIS

A. Architectural Description

Built in 1888 in the Gothic Revival style, the Daniel Robert House (now Somerville Borough Hall) is located on a triangular plot of land at the west end of Main Street. Built for Daniel Robert of New York, the building is two stories of buff-colored brick masonry with a rusticated stone base. Currently, the walls and foundation are painted. It is picturesque with asymmetrical massing and steeply pitched slate gable roofs set on a strong wood cornice with built in gutters flanked by turrets and towers. Windows of varying styles and sizes punch the masonry. Most are one-over-one sash; many have wood tracery and decorative colored glass transoms. All window have brownstone detailing including stone sills, surrounds and projecting hoods. The building was designed by Lambert and Bunnell of Bridgeport, Connecticut. It is a near exact replica of Alexander Jackson Davis' 1846 Harral House in Bridgeport, Connecticut. Lambert and Bunnell were intimately familiar with this house; in 1866 they put a library addition on it for the house's second owner, Nathaniel Wheeler.

The current site of the building is three acres, although it was originally a much larger plot. It is triangular and located at the end of Main Street making it a prominent landmark within the Borough. The house is roughly centered on the property with surrounded by numerous trees and ornamental plantings. When first constructed, a wrought iron fence surrounded the property. This was removed during World War I, but two brownstone gate posts remain, marking one of the entrances into the building. These posts are contributing objects in the landscape. Various modern memorials have been added to the site since the Borough acquired the property.

The east elevation is dominated by a projecting central bay under a steep front gable. On the ground floor, this bay houses the entrance porch which is located in a recess below a deep pointed arched masonry opening with a projecting arched brick stringcourse above.

Above the entrance is a pointed arched window with three, one-over-one sash with colored glass and transoms of colored glass with wood tracery and topped by a projecting arched brownstone hood. Above this, within the gable end, is a circular window framed by brownstone with colored glass and wood tracery. Flanking this bay on either side are crenellated turrets—one small and the other larger with windows. Behind this projecting bay is the rectangular main block of the house. To the south is a single bay with a small center gable with strong wood cornice. On the ground floor are paired one-over-one windows under a single projecting brownstone hood. Above are arched paired windows with paired brownstone lintels, colored glass transoms and wood quatrefoil tracery on the second. Above this is a round window with quatrefoil wood tracery. To the north is a mirroring single bay with small center gable and strong wood cornice. The ground floor has two, one-over-one windows under projecting brownstone hoods. Above is an oriel window at the second floor with a metal roof and wood base and three one-over-one windows with wood stringcourse below.

The north elevation has a projecting single bay to the east and two bays behind completed by a corner turret topped with a slate roof. The projecting bay has a bay window at the ground floor with three one-over-one windows, flat roof, wood trim and wood quatrefoil insets at the cornice. Above this is a pointed arched window with three one-over-one sash with transoms of colored glass with wood tracery forming a quatrefoil and topped by a projecting arched brownstone hood.

Above this, within the gable end, is a circular window framed by brownstone with colored glass and wood tracery. To the west, there is a tall masonry chimney with three distinct shafts on top. Beyond this, the first of the two rear bays is made up of three grouped sash at the first and second floors topped by a front gable with a round recess in the brick. The second bay has

paired sash at the first and second floor. All the windows are one-over-one with brownstone sills and projecting hoods. The west corner turret used to be the extent of the original building. Beyond this is the Library.

In 1939, the Elks (who acquired the house from Angeline Robert in 1923) constructed an addition off the rear of the building. When this addition was constructed, the rear porch was removed and a pair of windows at the ground floor was infilled. This addition is now the Somerville Public Library. It is a simple design with a flat roof and brick parapets with a simple brownstone cornice. Like Borough Hall, the addition is buff brick with brownstone detailing. The foundation is parged concrete block. The library projects from the plane of the original building, sitting in front of the corner turret. It is five bays long with the entrance at the eastern end in the first projecting bay. The remaining four bays are separated by piers. Within each bay are a set of three metal one-over-one sash with six light transoms and stone sills. A large concrete ramp and set of stairs provides access into the Library.

The west elevation of the building is dominated by the west end of the Library. It is a blank masonry wall with parged foundation and brick parapet with brownstone cornice. Beyond the library, the roofline, chimneys, and tower of the original house are visible.

The south elevation, like the north, is a combination of the Library and Borough Hall. The Library has a brick parapet with simple brownstone cornice. It has three bays divided by brick piers with each bay containing the same three window combination as seen on the north. The south elevation of Borough Hall contains the original five bays of the main block of the house, the original rear service wing, two bays long, and a small, two-story addition, one bay wide, that was constructed after a 1967. This addition is at the far western end of Borough Hall, off the original rear wing which terminates in a masonry pier. It is made of painted brick with a flat roof and one-over-one windows. A metal fire escape is attached to its western wall. This addition is

set back slightly from the original rear wing; it fills in a corner between the Library and the original rear wing. On the interior, its construction added one additional office to each floor.

The south elevation of Borough Hall contains the original rear wing and the main block of the house. Each of the bays has a front gable with the strong wood cornice. On the rear wing, the western bay has a single one-over-one window with brownstone lintel and sill. Below it is a door; this was an original rear service entrance to the house. The eastern bay of the rear wing has a larger gable within which is the date "1888." Below this are paired one-over-one windows with a single brownstone lintel and sills on the second floor and two pairs of one-over-one sash with a single brownstone lintel and sill at the first floor. There is also an entrance to the basement here flanked by paired sash.

The rear wing and main block of the house are separated on this elevation by a square crenellated tower. This tower projects and houses an entrance within an arched opening with brownstone trim. Above the entrance is a pair one-over-one sash with transom delineated by wood quatrefoils. To the east of the tower, is the fourth bay with a center gable, three window oriel window on the second floor and a trio of windows on the first. All five windows are one-over-one. The oriel window has a metal roof and wood base with wood trim at the windows. The first-floor windows have a brownstone hood above them. After the tall masonry chimney which matches that on the north, the fifth and final bay is a projecting bay under a steep gable roof. The ground floor has a three-window bay window with one-over-one sash with wood tracery at the transom. There is a brownstone stringcourse above the windows and a simple wood cornice with a flat metal roof. At the second floor is a pointed arched window with three one-over-one sash with transoms of colored glass with wood tracery and topped by projecting arched brownstone hood. Above this within the gable end is a round window framed by brownstone with colored glass and wood tracery forming a quatrefoil.

The original plan of the building was basically a rectangle with extension bays defining the east entrance and gracing the north and south side elevations with the rear service wing located off-center to the south. The main block of the house was a center hall plan. From the original front door, there is an entry reception off which the parlor and drawing room extend. This reception room has its original corner niches, woodwork, floors, and closets. At the ceiling, one of the few places where original finishes remain, there is an elaborate allegorical painting attributed to local painter, Orville Lance. Depicted are a woman, doves, and cherubs, thought to represent chastity, peace, and love. Within this original space, a modern glass vestibule has been added; this resulted in moving the closets from their original angled positions into the corners of the room.

Beyond this is the center hall which retains its original mahogany woodwork, including, wainscoting with trefoil arches, doors, and trim, along with most of the original floors, plaster, and grand stair running up the south wall. The elaborate Gothic stair, carved newel posts and associated woodwork with quatrefoils, trefoil arches and floriated designs is also an original feature. The original door trim, a striking feature of the hall and reception room, can be found throughout the house. This trim is arched in most places with shoulders and a wide profile. Pilasters supplement the trim with capitals at the columns and bases that are at the height of the wide profile of the baseboard molding which also remains throughout the house. A fire on January 21, 1980 damaged the decorative ceiling and original finishes in the stair hall.

Off the reception room to the north was the drawing room which has a projecting bay window. West of this this were the study and then the library. Today, these house the tax collector, finance department, and health department offices. The original woodwork of the drawing room is white maple; it remains as does the original plaster walls, plaster beam ceiling, doors, hardware, windows, and interior shutters. At the southeast corner of the drawing room is a door to the tower. A stair in the tower

extends from the basement to an open room at its peak. Behind the drawing room, the library and study also retain their original cherry woodwork, wood floors, fireplaces, doors, hardware, windows, and shutters. The original decorative plaster ceilings remain, but are concealed behind dropped acoustic tile.

Off the reception room to the south was the parlor whose layout mirrors that of the drawing room. West of this was the dining room. They are now house the vital statistics and the clerk's offices. The parlor retains its mahogany woodwork, plaster walls, plaster beam ceiling, doors, hardware, windows, interior shutters, and fireplaces. The dining room retains its white oak woodwork, including, elaborate Gothic wainscot with trefoil arches, plaster walls, doors, hardware, windows, interior shutters, and fireplace. The ceiling is dropped acoustic tile, but its original decorative ceiling may remain behind.

At the rear of the original house, in what was the servants' wing, no original fabric or floor plan remains. Originally, this wing housed the kitchen, scullery, and other domestic workspaces at the first floor, and a series of water closets, bathrooms, and servants' quarters at the second floor. However, the wing was gutted by a fire in 1967. A survey was conducted after the fire which produced a report with recommendations. The wing was condemned, but restoration work began in late 1968 or early 1969, and the interior was completely rebuilt. The post-fire report and restoration specifications are held by the Borough. Following the 1967 fire, a small, two-story addition was added to the west of the original rear service wing.

The plan of the main block second floor was originally a series of bed chambers off the stair hall. This plan remains and is now houses Borough offices. At the top of the stairs, a set of double doors leads to the original Music Room at the center of the front of the house. Although now divided into two rooms (the only change to the original floor plan in the main block of the house), this room retains its original color glass

with musical figures and two composers: Michael William Balfe, an Irish composer famous in the nineteenth century for his English language operas, and Vincenzo Bellini, an early nineteenth-century composer of Italian operas. This room also retains its original doors, hardware, and woodwork, including the elaborate door casings found throughout the house. Originally, there was a vaulted ceiling with five busts of other composers; these are no longer extant. Vaulted ceilings were in most of the second-floor rooms. Their finishes were damaged during the 1980 fire and are now concealed behind dropped acoustic tiles. The vaulted ceiling with exposed framing in the Music Room, now the Mayor's Office, was restored and gives a hint as to the original grandeur of the second floor. Apart from this, the second floor remains intact. This includes all of the original wall plaster, partitions, woodwork, doors, hardware, and windows. In the northeast corner chamber, the stair in the tower connects this room with the drawing room on the first floor. The baseboards found throughout the second floor have the same wide profile that matches the first floor. Like downstairs, there is woodwork under the windows; it is simpler on the second floor. Finally, as on the first floor, each second-floor fireplace is unique with different colored tile, a cast iron insert, and a distinctive wood mantel. Originally, there were sinks off the sleeping chambers; these have been lost.

The basement, like the rest of the house, is largely intact, but has been supplemented by modern finishes and some new partitions walls. It now houses the Recreation Department.

IV. EXISTING CONDITIONS ANALYSIS

B. Conditions Analysis Terminology

Condition Rating

The following analysis includes ratings of the physical condition of each building element along with a detailed discussion. There are three categories of ratings: Good, Fair, and Poor.

Good

A building element or feature is determined to be in **Good** condition when it is intact, stable, structurally sound, and fully performing its intended purpose. It has low or no physical and aesthetic deterioration. The element needs no intervention other than routine maintenance.

Fair

A building element or feature is determined to be in **Fair** condition when it is generally intact and performing its intended purpose, but has moderate wear or deterioration. It may be exhibiting early signs of a condition, such as cracking or paint peeling, which may lead to severe deterioration or loss if not addressed. Its condition is generally isolated to itself and not affecting adjacent building elements or features. The element is in need of repair, but not replacement.

Poor

A building element or feature is determined to be in **Poor** condition when it is severely worn, deteriorated, or damaged. It may no longer be intact, stable, or structurally sound. Partial or full loss of the element, or failure of it performing its intended purpose, may be imminent or have already occurred. Its current condition may lead to deterioration of adjacent building elements or features if not addressed. The element or feature is in need of immediate intensive repair or full or partial replacement.

Recommendation Prioritization

Recommendations to address conditions found during our analysis are categorized into three priority levels: Immediate, Short-Term, and Long-Term.

Immediate

Those repairs and recommendations that must be completed to remedy current or impending threats to life-safety and prevent or reverse severe deterioration of major elements or character-defining features of the building. We recommend that these repairs be undertaken immediately and be completed within 1-2 years.

Short-Term

Those repairs and recommendations which can most efficiently be undertaken in conjunction with the overall rehabilitation of the building. If delayed, these will not threaten the life-safety of any users or major elements or character-defining features of the building. We recommend that work in this category be completed within 3-5 years.

Long-Term

Those repairs and recommendations which relate to furthering the interpretation of the building or which can be delayed. They are more desirable than necessary. Deferment of these recommendations will not create hazardous conditions for the building or its users.

IV. EXISTING CONDITIONS ANALYSIS

C. Exterior Conditions and Recommendations

The exterior of the Borough Hall and Library are generally in fair to good condition.

Since the completion of the original preservation plan in 2008, the Borough has undertaken several exterior repair projects. A summary of recent projects is included in Appendix B. Unless noted, HMR provided design and construction phase services for each of the following projects:

- 2008 South Tower Repair (not by HMR)
- 2010 Phase 1 Window Restoration
- 2010 North Tower Roof Replacement
- 2013 Library Ramp and Exterior Painting (not by HMR)
- 2017 Phase 2 Window Restoration
- 2018 North Tower Window Restoration (not by HMR)
- 2019 Phase 3 Window Restoration
- 2020 Built-in Gutter and Cornice Restoration

All previously completed projects have been consistent with the *Secretary of the Interior's Standards for the Treatment of Historic Properties*.

GENERAL RECOMMENDATIONS

In general, the Borough of Somerville, with guidance from the Somerville Historic Advisory Committee, has been an excellent steward of the Daniel Robert House. Our 2008 Preservation Plan recommended moving most Borough offices out of the building and instead use it as a "ceremonial and meeting space" in the long term. We now recommend that the building continue housing offices for the Borough, as the best way to maintain a building is to continually occupy and use it. Its current public use is not damaging the building fabric or detrimentally impacting the building; in fact, frequent use allows conditions, such as leaks, to be identified and addressed more quickly by Borough staff or others.

The Borough should continue to maintain the building with an appropriate maintenance budget and pursue funding for additional preservation projects. At the exterior, these projects include:

- Complete the current cornice and gutter restoration project. *Immediate.*
- Continue the ongoing phased window restoration. *Immediate.*
- Repair crack on southeast tower at main entry. *Immediate.*
- Replace Library vestibule roof. *Short-term.*
- Continue restoration of other exterior elements, such as the front porch ceiling. *Short-term.*
- At entry porch: Rebuild stone steps, replace guardrails and handrails, and re-point slate floor. *Short-term.*
- Rebuild entry steps at south elevation. *Short-term.*
- Strip paint from all masonry elements on both Borough Hall and the Library. *Long-term.*
- Provide barrier-free entrance to Borough Hall. *Long-term.*
- Replace the Borough slate roof. *Long-term.*
- Replace Library main roof. *Long-term.*
- Reconstruct stair hall window on west elevation. *Long-term.*

ROOFING & DRAINAGE

Borough Hall

Borough Hall is capped by a two intersecting steeply pitched gable roofs at the east end of the building and a moderately pitched gable roof to the west. A series of variously sized, stepped, gable wall dormers break through the main roof slopes. The main roofs and wall dormers are covered with rectangular grey slates and sheet metal flashing. Flashing below the slate roof and most of what caps the steps in wall dormers appears to be copper. Added flashing along some masonry walls and some of the flashing capping the wall dormer steps is a type of ferrous sheet metal painted green to give the appearance of a copper patina. The roof was originally covered in red slates that may have had a rounded, or "fish-scale," edge.

Behind the tower on the south elevation, black sheet membrane roofing has been installed and extends up rear wall of the tower.

Built-in, sheet metal lined gutters set within molded wood cornices collect the water from the roofs of the original building. The gutters connect to round metal downspouts. The downspouts on all elevations, except the north, connect to boots and then into an underground drainage system. On the north elevation, the downspouts are connected to surface pipes, which extend over the ground and drain into an area between Borough Hall and the accessible ramp at the Library.

A painted, molded wood cornice outlines the main and stepped wall dormer roofs.

A completely flat sheet membrane roof covers the rear addition at the southwest corner of Borough Hall.

Borough Hall Conditions

The existing grey slate roof was installed in 1968. The existing slate is a combination of new and older gray slate. New slate has been installed on the north-south gable north of the main entrance. The installation indicates



Photo 1: View from the east side of the building of slate roofs on Borough Hall, the sheet membrane roof on the rear addition, and membrane roof with ballast on the Library.



Photo 2: View from the east side of the building of slate roofs on Borough Hall, the sheet membrane roof on the rear addition, and membrane roof with ballast on the Library. Also note the step cracking on the square boiler chimney.

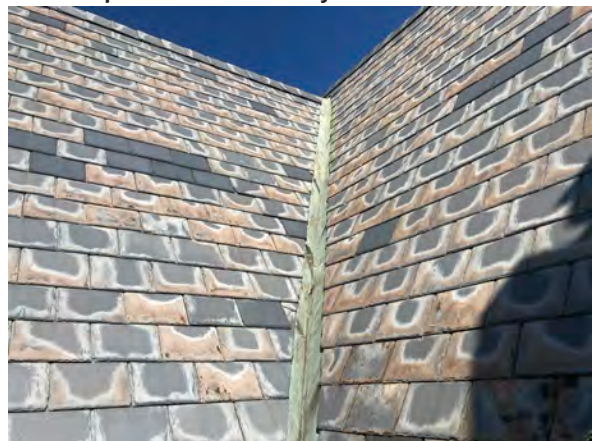


Photo 3: Valley between intersecting gable roofs on Borough Hall showing "gypsum smiles."

that maintenance and repair or replacement of damaged slate has been ongoing.

There are some unattached and broken slates throughout. Overall, it is a low number of slates and not atypical of a slate roof.

Mineral impurities in the slate have weathered, forming gypsum. Gypsum has a higher volume than the minerals inherent in the slate, creating internal stresses which cause the slate to delaminate. This delamination appears as white and brown areas on the slate and are referred to as "gypsum smiles." This condition is prevalent throughout most sections of the roof, save for the north slope of the west roof and west slope on the north wide of the north/south oriented main roof.

Well-maintained slate roofs made from high-quality slates can upwards of 125 years. The durability of slate depends on four factors; the physical properties of the slate; how it was fabricated; installation methods and maintenance.

A deficiency in any of those factors can create deterioration and lower the service life of the roof. If the existing slates are only 52 years old, being installed in 1968, then the slate installed was of inferior quality. In a high-quality slate, gypsum deterioration would not begin until much later after installation. Pennsylvania gray slates are typically softer and can have a service life of less than 60 years.

Some repair slates have been installed that are a dull green color that is noticeably different than the surrounding grey.

There is moderate black algae growth and some lichen growth on the west roof.

Continue ongoing maintenance and replacement of the slate roofs as required. Any future replacements should be new Vermont grey slates meeting ASTM



Photo 4: Black algae and lichen growth on west roof of Borough Hall. Taken from north elevation.



Photo 5: Replacement slates on west roof of Borough Hall. Taken from south elevation.



Photo 6: Black sheet membrane behind south tower. Deteriorated flashing on tower and oriel window roof. Slate shingles offset from edge of roof.

standards. If full replacement is undertaken, then replacement with round edged red slate should be considered.

A downspout is missing at the northwest corner of the rear section roof that drains onto the library addition roof. An existing downspout at the other end of that roof drains directly onto a corner of the library addition roof. The fast-moving concentrated stream of water created by this downspout could deteriorate the roof in that location.

A downspout on the east side of the north elevation by the bay window is completely rusted through at two locations.

The built-in gutter lining and flashing capping the wall dormer steps throughout are generally in fair to poor condition. The gutter liner in some locations has been replaced. A new copper gutter liner was added in 2016 at a portion of east elevation between the tower and wall dormer.

The flashing added along the masonry walls does not extend below the slate roof, making it mostly ineffective, and is rusting severely. Some pieces are deformed with their ends curling upward.

The wood cornice is generally in fair to poor condition. Some moldings have detached and there are some areas of rot. The paint is failing throughout, except at some areas that have been repainted relatively recently.

Restoration of the wood cornice, build-in gutters and flashing on the masonry walls and wall dormers is set to commence in Fall 2020.

Borough Hall Recommendations

Install a new downspout at the northwest corner of the rear section roof. (This is included in cornice restoration scope.) Add pipes at end of downspouts that drain onto library addition roof, extending to edge of roof. *Immediate.*



Photo 7: Copper flashing around chimney at south elevation.



Photo 8: Typical condition of deteriorated flashing along brick walls of Borough Hall.



Photo 9: Typical condition of deteriorated flashing along brick walls of Borough Hall.

Replace downspout at east end of north elevation. *Immediate.*

Install new slate roof. The existing roof has many more years remaining in its service life, but the Borough should be financially prepared to replace it in kind, not with asphalt shingles or other substitutes. *Long-term.*

Library

A sheet membrane roof with stone ballast covers the main library roof. It has a low parapet with cast stone coping units along its perimeter, except along the south elevation. It has a low-pitched ridge in line with the step in the parapet on the north and south walls. The entire roof slopes to the south where it drains into hung rectangular gutters. Downspouts connect to boots and then to an underground drainage system.

A sheet membrane roof without ballast covers the library addition between the main library section and the west elevation of Borough Hall. It drains via one opening in the east parapet.

A site drain is located at the south elevation between the two fire escapes on the south. The drain is raised above the adjacent grade level, making it unable to collect water.

Library Conditions

The main library roof is in good condition. Some of the coping stones are displaced, but most of the joints between coping stones are in good condition. The joints between the coping stones and flashing are showing signs of deterioration. There is some crazing on the roofing membrane sheets where they turn up onto the back face of the parapet.

The library addition roof is in fair condition. It appears to be near the end of its service life. Some of the sheets at their intersection with the parapet have become unadhered, forming a gap. There is also extensive crazing on the sheets along this intersection. The sheet membranes unnecessarily extend



Photo 10: Example photo of deteriorated built-in gutter liner, wall flashing and cap flashing at Borough Hall. Taken from south elevation.



Photo 11: Typical condition of deteriorated flashing capping wall dormer steps on Borough Hall. Taken from south elevation.

up the entire back of the parapet and onto its top. When the roof is replaced, the membrane should only extend six inches or so up the back of the parapet.

Library Recommendations:

Lower site drain to collect water. *Immediate.*

Replace addition roof in 5-10 years. *Short-term.*

Replace main library roof. Review maintenance records to determine age of existing flashing and membrane roof in order to plan for replacement. Continue to monitor coping joints. *Long-term.*



Photo 12: Deteriorated wall dormer step at southwest corner of Borough Hall.



Photo 13: Typical view of built-in gutter at cornices of Borough Hall.



Photo 14: Typical condition of deteriorated wood cornices on Borough Hall.



Photo 15: Detail view of deteriorated cornice on Borough Hall.



Photo 16: Parapet and cast stone coping units at north side of Library roof.



Photo 19: Missing Borough Hall downspout at Library Addition roof.



Photo 17: Roof of Library Addition with drain opening in its east parapet.



Photo 20: Downspout from Borough Hall roof empties onto Library Addition roof.



Photo 18: Sheets on Library Addition roof have crazing and are detached along base of parapet.

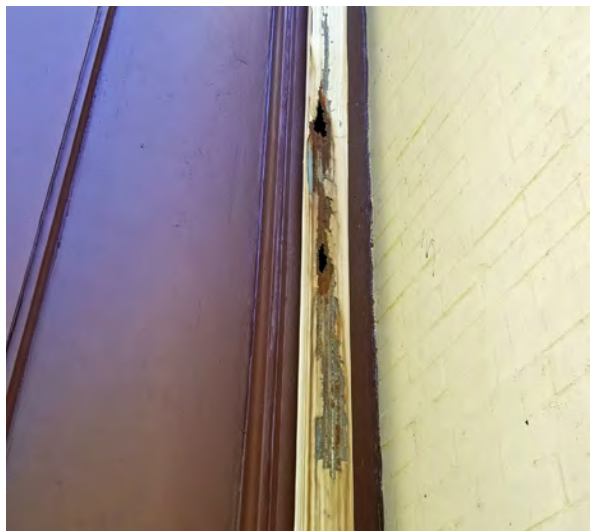


Photo 21: Rusted downspout at east end of north elevation

CHIMNEYS

There are several chimneys extending beyond the roof at Borough Hall.

At the intersection of the main east/west gable and west side of each of the north and south cross-gables are multi-flue chimneys, each with three stacks, which vented most of the fireplaces in the main rooms of the Daniel Robert house. At the northwest corner of the house is an octagonal chimney with a stepped, stone masonry cap. This chimney serves corner fireplaces in Rooms 112 and 209. Finally, a large, square brick chimney located near the southwest corner of the original house vents the modern boiler.

Conditions

The chimneys are generally in fair to good condition. The triple stack chimneys appear to need a fair amount of repointing and limited brick replacement.

There are what appear to be areas of rock varnish, a manganese- and iron- oxide rich deposit on the sandstone cap of the northwest chimney, similar to those on the tower crenellations. Rock varnish is a type of patina, usually black in color, which is not deleterious to the stone and is an aesthetic issue only. It is prevalent on stones in the natural environment.

The newer furnace chimney at the southwest area of the building is in poor condition with extensive step cracking.

Recommendations

Fully repoint rear southwest chimney. Install helical stitch ties along step cracks. Inspect flue liner to ensure that it is functioning properly. *Short-term.*

Strip paint and repoint chimneys with the rest of the brick walls. *Long-term.*



Photo 22: South chimney of Borough Hall.



Photo 23: North chimney of Borough Hall.



Photo 24: Northwest chimney of Borough Hall.



Photo 26: Black deposits, likely manganese oxide, on sandstone cap of northwest chimney.



Photo 25: Extensive step cracking on boiler chimney at southwest corner of Borough Hall.

EAST ELEVATION

This is the principal elevation, or façade, of the Borough Hall.

Foundations

The foundation of Borough Hall consists of rusticated serpentine sandstone blocks, referred to as “Martinville stone,” capped with an inclined, tooled brownstone water-table. The foundation is currently painted, but historically it was unfinished. Finish removal tests completed in 2010 by Keystone Preservation revealed the original stone colors. On the foundation south of the entry porch, the rusticated blocks have been covered with painted stucco. This was likely applied after the historic wood porch was removed.

Conditions

The foundation is generally in good condition, however there are open mortar joints and some delamination of the stone. The delamination is likely caused by moisture being trapped in the stone by the incompatible paint finish.

There are hairline cracks throughout the stucco on the south side of the entry porch.

Brownstone is a highly porous material, and the finish removal tests show that there maybe be a large degree of deposits and black and green algae growth on the foundation stones beneath the paint.

Recommendations

Regularly monitor build-up of mulch against base of building. Remove build up bi-annually and ensure that grade slopes away from building. *Maintenance.*

Strip paint from stone masonry foundation and repoint joints as needed. Retool stone to remove delamination. Consider consolidating deteriorated areas of foundation. *Long-term.*



Photo 27: East elevation of Borough Hall.



Photo 28: East elevation of Borough Hall, viewed from the south.



Photo 29: East elevation of Borough Hall, viewed from the north.

Walls

The exterior walls are constructed of a typical load-bearing brick with a buff finish brick and brownstone elements, including window sills, hood moldings, lintels, and arches, at the exterior. The bricks themselves are dense with sharp edges and were likely made using a mechanical press. They are laid in a stretcher bond pattern with thin joints. There are no header courses tying the outer wythe to an inner wythe, but there is presumably some type of anchor tying the outer with back to the inner brick wythes. There does not appear to be any systemic failure of the outer brick wythe. The exterior walls were painted following a fire at the building which caused extensive damage and discoloration of the exterior bricks. The walls are currently painted, but historically were unfinished. The painting creates a very flat appearance to the walls, which detracts from the architectural character of the building.

Conditions

The walls are generally in good condition, although the painted finish is worn or stained at much of the exterior. The paint is losing adhesion at some areas, mostly at the porch and small south tower. There is delamination on some foundation stones, particularly at those areas as well. There are small cracks along mortar joints at the ends of many of the stone window sills. This indicates that the joint around the window sill does not allow enough expansion. There is a small crack at the top of the arched opening of the main entry doors.

The heating and air conditioning system in the building consists of individual fan coil units in the rooms that rely on fresh air intake louvers through the exterior brick walls. Borough records indicate that these were installed in 1969. These louvers are large and are rusting and staining the brick walls. Additionally, there is also extensive mortar loss and evidence of rust jacking at some of the louvers.



Photo 30: Finish removal tests at north side of east elevation.



Photo 31: Rusted louver with deteriorated brick above on south side of east elevation.



Photo 32: Rusted louver and step crack above on south side of east elevation.

Recommendations

Monitor size and length of cracks at window sills and above entry door. If they widen or lengthen, the joint around the sills may need to be widened and filled with an elastomeric sealant. *Maintenance.*

As part of recommended HVAC upgrades, existing louvers should be replaced and reduced in size if possible. *Short-term.*

Strip paint from walls and repoint joints as needed. Consolidate delaminating stones. This work can be phased to limit cost impacts. *Long-term.*



Photo 35: Delamination and subsequent paint loss on foundation stones on east elevation.



Photo 33: Example photo of cracking around sills on east elevation.



Photo 34: Small crack above main entry door.



Photo 36: Paint loss at south tower of east elevation.

Towers

There are two, octagonal, crenelated brick towers of differing sizes on either side of the protruding gabled entrance. Materially, both towers match the rest of the Borough Hall exterior, having rusticated serpentine sandstone foundations, brownstone water tables directly above, and buff face brick walls laid in a stretcher bond. Both are capped by stone crenellations with a combed finish. The exteriors of both are fully painted.

The south tower, which now contains a mechanical flue, is much smaller than the north and rises to meet the main roofline. The turret is hollow and open at the top with an inner layer of structural red brick laid in a header bond. As with the building's walls, there are no header courses tying the outer wythe to an inner brick wythes.

The south tower was likely simply ornamental. Historic drawings show the vertical hollow center being connected to the basement, but since the house only relied on wood heat from the fireplaces, and not a boiler, when originally constructed, the opening was likely not used as a flue. The opening may have been connected to the basement to provide additional ventilation.

The north tower houses a spiral staircase that winds from the basement to an open room at the top of the tower, connecting to the first and second floors along the way. The tower rises above the main roofline.

South Tower Conditions

The south tower is in fair condition. The original design of the tower roof did not allow water to drain. It had a flat roof set below the surrounding crenellations with a hollow opening in the center. This allowed water to pool or infiltrate into the hollow center.

In 2008, cement was added to the roof to create a positive drain and a vented cap was installed over the center opening. An eleven-inch diameter lightweight concrete liner was also installed in the hollow center.



Photo 37: South tower roof with opening and cracked parging.



Photo 38: Positive slope and vented cap installed on south tower roof in 2008.



Photo 39: New membrane roof on north tower of east elevation installed in 2010.

There are two cracks at the top of the northeast face of the tower. One begins at a joint between two crenellations and continues straight down through the recessed portion of brick. There is rust staining at the crenellation indicating that metal anchorage may be rusting. Another is a set of step cracks, several feet long, spanning across the entire northeast face.

There are what appear to areas of rock varnish, a manganese- and iron- oxide rich deposit on the crenellations, similar to those on the other towers and northwest chimney. Rock varnish is a type of patina, usually black in color, which is not deleterious to the stone and is an aesthetic issue only. It is prevalent on stones in the natural environment.

North Tower Conditions

The north tower is in good condition. A new membrane roof was installed in 2010. The tower windows were restored sometime after 2010. There remains some cracking around the top of the tower.

There are what appear to areas of rock varnish, a manganese- and iron- oxide rich deposit on the crenellations, similar to those on the other towers and northwest chimney. Rock varnish is a type of patina, usually black in color, which is not deleterious to the stone and is an aesthetic issue only. It is prevalent on stones in the natural environment.

South Tower Recommendations

Rout and fill cracks. Install helical wall ties and stitching ties to re-anchor northeast face. *Immediate.*

Install membrane roof around flue cap. Change flue cap to accommodate new membrane. *Short-term.*

Strip paint from masonry and repoint joints as needed. *Long-term.*

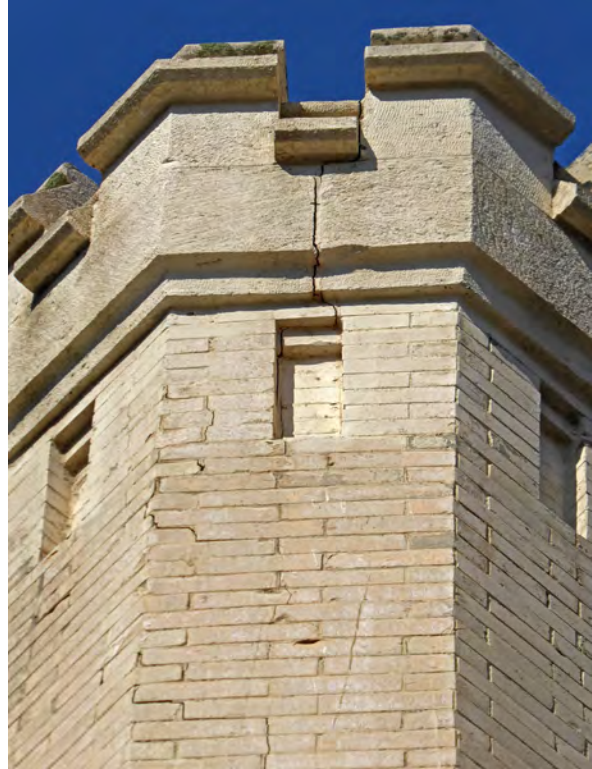


Photo 40: Long cracks on south tower of east elevation.

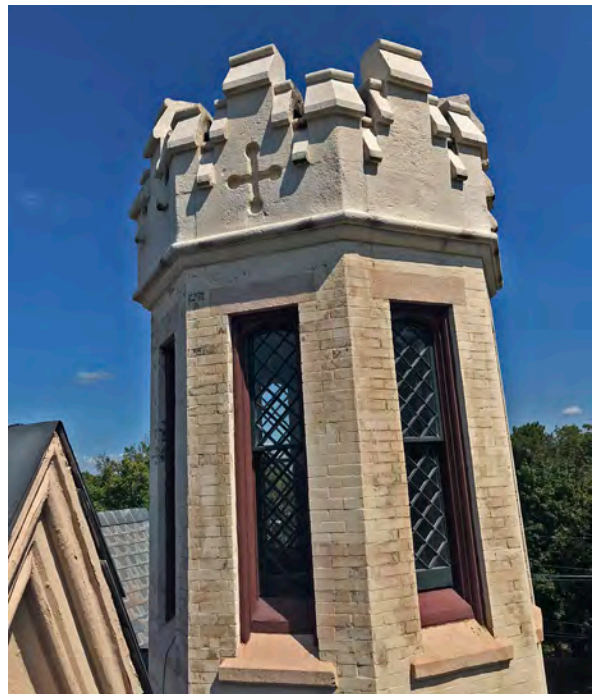


Photo 41: Diamon-pane wood windows on north tower of east elevation.

North Tower Recommendation

Strip paint from masonry and repoint joints as needed. *Long-term.*

Porch

The main entry porch is accessed via steps at its east side that connect to the public driveway. This porch is beneath what historically was the music room. There are two large, Tudor archways to the porch, one at the east and another at the south. The south opening originally connected to a covered wood porch that was removed.

A set of stairs of five stone steps leads from the asphalt driveway up to the porch. The bottom step is a serpentine sandstone and is wide and deep, almost like a landing. It is not as long as the step above it, so concrete was poured on either side to expand it. The concrete at the south is unpigmented and more utilitarian while that at the north is pigmented a brownstone color and has a finished surface. The step above this is brownstone and is wider and deeper than the step below. There are three typically sized steps above this that appear to be replacement stone as they do not match the color or texture of the other two stones below or the stones used on the building foundation. The porch floor itself forms the final step. A painted, wrought-iron rail is centered on the stairs.

Originally, all the steps may have been a serpentine sandstone, like the existing bottom step, to match the color of the foundation stone. Or all brownstone to contrast with the foundation.

The porch floor is made of square slate pavers laid at an angle to create a diamond pattern. Around the perimeter of the floor is a band of cast stone, pigmented to mimic the brownstone that it likely replaced. The south side of the porch is open and originally connected to a wood porch that was removed. A painted, wrought iron guard rail now spans this opening.

The porch ceiling is made of painted, tongue-and-groove wood boards with beaded edges. Rectilinear painted wood ribbing forms a grid on



Photo 42: Deteriorated steps to entry porch at east elevation.



Photo 43: Rusting iron railing and extensive cracking on entry porch steps.



Photo 44: Cementitious patch anchored with nails at bottom step of entry porch.

the ceiling. Each panel created by this grid has round molding around its perimeter.

A historic pendant light fixture hangs from the middle of the porch ceiling. It is a wrought iron cylindrical fixture with ochre colored textured glass.

Historically, a wood porch extended to the south and wrapped around the south elevation of this section of the building. It was covered by a shed roof, which also covered the bay window just around the corner. Historic images show this porch with rocking chairs set up over-looking the expansive lawn.

Conditions

The main entry porch is in fair to poor condition. The slate pavers, which are not original, are in good condition, but their joints are failing. The perimeter cast stone edging is also failing; its surface is eroded and there are cracks throughout. It is deteriorating most severely at the south side where the wrought iron guardrail is anchored into it. The guardrail was bolted directly into the steps with the iron directly abutting the masonry. Expansion joints were not used around the bolts and there is no break between the iron and masonry. Because of this, the iron and bolts are rusting and expanding, creating extensive cracking in the masonry.

The two lower steps of the porch stair are in poor condition and the three upper steps are in fair condition. The bottom step has started to delaminate and has been patched using poor methods and materials. The deteriorated areas were patched with a cementitious mixture that was not color matched to the stone. The repair material was feathered-in over the deteriorated areas. Typical screws and wiring were used to anchor the patches. The second step is extremely eroded and delaminated. It has been patched using similar methods and materials as the step below. Brownstone, or brown sandstone, is typically very soft and porous and is not a durable material for



Photo 45: Deteriorated cast stone edging and slate paver joints at entry porch.



Photo 46: Wrought iron railing on south side of entry porch.



Photo 47: Star cracks caused by rusting rail posts.

porches and steps.

The wrought iron stair handrail was installed similarly to the porch guardrail and is also causing extensive cracking on the steps.

The stair handrail and porch guardrail are in poor condition themselves due to the extensive rusting discussed above.

The paint on the porch ceiling is cracked throughout and there are some areas of paint loss. The ceiling itself appears in good condition.

Recommendations

Rebuild porch floor perimeter and steps using consistent alternate materials. Repoint slate pavers on porch floor. Provide new stair handrail and porch guardrail. *Short-term.*

Prep and paint porch ceiling. *Short-term.*

Add barrier free access to main entrance. Consider reconstructing original southeast porch and integrating barrier free access in its design. *Long-term.*

Protect historic pendant during any future work. If work is undertaken at the porch, it should include cleaning and restoration of the fixture as well as review of hanging hardware to ensure that it is secure.



Photo 48: Deteriorated slate paver joints at entry porch floor.



Photo 49: Deteriorated paint on entry porch ceiling.



Photo 50: Historic pendant light at front entry porch.

Windows

There are two foundation windows below grade with masonry window wells on the east elevation. One is on the north side of the north tower (N001) and the other centered on the protruding gable section north of the entry porch (E001). N001 has a single pane of frosted glass and is a replacement window of recent construction and not historic. The window opening for E001 is likely not original and appears to have been cut into the foundation later as there is no matching window on the south side of the entry porch and the lintel above is different from the brownstone water table and does not anchor into the adjacent sandstone blocks. If the opening were historic, it would match the design of the adjacent foundation window. There are painted plywood and metal security bars on the exterior.

As with the other elevations at Borough Hall, most of the windows on the east elevation include a wide variety of configurations of one-over-one single-hung wood sash. There is a large tri-partite window above the entry porch that contains single-hung sash with stained glass panels in the upper sash and multi-light stained-glass transoms. There is a stained-glass multi-light rose window centered in the gable above this. To the south of the entry porch at the first floor is a paired set of one-over-one single-hung windows. Above this is a pair of one-over-one windows with arched stained-glass transoms, above which is a small stained-glass rose window. Immediately to the north of the entry porch is the tower, which contains multi-light diamond pane single-hung windows. To the north of the tower at the first floor are two plain one-over-one windows. These are separated somewhat due to the projection of the oriel window structure into the first-floor level. The oriel window above contains three, plain one-over-one double hung sash and has a curved copper roof.

Conditions

The first and second floor windows are in good condition. The second-floor windows and the southern window in Room 103 were restored in 2010 (Phase 1) and repainted at



Photo 51: Foundation window (N001) at north wall of north tower.



Photo 52: Foundation window (E001) at north side of east elevation.



Photo 53: Arched stained glass window and rosette over entry porch on east elevation

the exterior in 2016 (Phase 2). The first-floor windows were restored in 2016 (Phase 2). N001 is also in good condition. E001 is in fair to poor condition, but could not be fully surveyed. It may need to be replaced.

Recommendations

Maintain and monitor the condition of recently restored windows. Clean out debris in foundation Window N001 light well annually. *Maintenance.*

Restore or replace foundation window E001 as part of the ongoing phased window restoration project. *Immediate.*

Repaint windows restored in Phases 1-3 in 3-5 years. *Short-term.*

Consider installing security bars to foundation window N001. *Long-term.*

See interior conditions analysis for additional information regarding windows.



Photo 54: Second-floor oriel window on north side of east elevation.



Photo 55: Base of oriel window.



Photo 56: Copper roof on oriel window.

Doors

The main entrance to the building is a large, Tudor arch opening and has large, arched, double doors. They are painted, stile-and-rail wood doors with detailed metal pulls and a dead bolt on the north door. Below the flat lock-rail is a row of three squared quatrefoil inserts and a row of three, pointed trefoil arch inserts with a flat rail between. The upper portion of the doors consists of a large single glass pane. This was likely installed in place of three vertical wood panels when the house became a public building.

At the north side of the entry porch, there is a side door that leads directly to the base of the tower. This door is a single, painted, stile-and-rail door with a pointed segmental arch top. It has a round metal knob with a skeleton keyhole below and a small dead bolt higher up on the stile. Below the flat lock-rail is a row of three squared quatrefoil panels and a row of three, short, pointed trefoil arch panels with a flat rail between. Above the lock-rail is a row of three-pointed trefoil arch panels, the flat portions of which have been replaced with three frosted glass panels. The door is hung at its west end by two, two-knuckle, ball-top butt hinges and swings into the porch. A mail slot is centered on the lock rail.

Conditions

The doors on the east elevation are in good condition.

Due to the weight of the main entrance doors and their frequent use, they need to be well maintained. These doors, along with the interior glass doors at the vestibule, likely do not meet the requirements for accessible entrance doors. The paint on the door surround is beginning to fail. There are some small areas of loss currently. A historic wood graining finish is exposed at these areas of loss. The doors also likely have a historic graining finish. The wood door surround has round moldings and a segmental arch top.



Photo 57: Main entry double doors and side tower door at entry porch.



Photo 58: Paint loss at archway around entry door showing possible historic graining beneath.

Recommendations

Regularly monitor and maintain main entrance doors in good working condition. *Maintenance.*

Remove current paint layer on main entrance doors surround and restore historic graining beneath. *Long-term.*

Future efforts to provide a barrier-free access via main entrance doors should include a review and any required hardware upgrades at these doors. *Long-term.*

Cornices

The cornices at Borough Hall are painted wood and consist of a large cove at the base that projects out to a beaded fascia and crown moulding behind which are built-in gutters lined with metal. Small metal-capped turrets and copings complete the roof edge details. The downspouts are of a variety of materials and shapes.

Conditions

The condition of the cornices and built-in gutters is poor. The painted finish is extremely worn and there are a few areas of advanced deterioration of the wood trim. Additionally, the section of cornice and gutter at the southeast corner is out of its original alignment. Some of sections of trim have been replaced with profiles that do not exactly match the original historic profiles. See photos of typical conditions in "Roofing & Drainage" section above.

A cornice and gutter restoration project commenced in late 2020. This project will return the cornices to a good condition.

Recommendations

Complete cornice restoration project began in late 2020. *Immediate.*

NORTH ELEVATION (BOROUGH HALL)

Foundations

The foundation of Borough Hall consists of rusticated serpentine sandstone blocks, referred to as "Martinville stone," capped with an inclined, tooled brownstone water-table. The foundation is currently painted, but historically it was unfinished. Finish removal tests completed in 2010 by Keystone Preservation revealed the original stone colors.

Conditions

The foundation is generally in good condition; however, there is some delamination of the stone. The paint is in poor condition. The delamination is likely caused by moisture being trapped in the stone by the incompatible paint finish.

Recommendations

Regularly monitor build-up of mulch against base of building. Remove build up bi-annually and ensure that grade slopes away from building. *Maintenance.*

Strip paint from stone masonry foundation and repoint joints as needed. Retool stone to remove delamination. *Long-term.*

Walls

The exterior walls are constructed of a typical load-bearing brick with a buff finish brick and brownstone elements, including window sills, hood moldings, lintels, and arches, at the exterior. The bricks themselves are dense with sharp edges and were likely made using a mechanical press. They are laid in a stretcher bond pattern with thin joints. There are no header courses tying the outer wythe to an inner wythe, so the finish buff bricks are likely applied directly to the structural bricks. The exterior walls were painted following a fire at the building which caused extensive damage and discoloration of the exterior bricks. The walls are currently painted, but historically were unfinished.



Photo 59: East end of north elevation of Borough Hall.



Photo 60: Crack along northwest chimney at intersection with Library addition.

Conditions

The walls are generally in good condition, although the painted finish in fair or poor condition. There is a large continuous crack at the corner of the northwest chimney at the intersection with the library addition.

Recommendations

Rout out and repoint crack at chimney and monitor. If crack continues to widen, consult structural engineer to determine cause and remedy. *Short-term.*

Strip paint from brick walls and repoint joints as needed. This work can be phased to limit cost impacts. *Long-term.*

Windows

There are three sets of window openings with masonry window wells in the north foundation. A single window open is on the west side of the protruding gable section. It was not surveyed closely as it is mostly covered on the exterior and the interior room it connects to was locked. Three window openings are side by side on the east end of the main wall, separated by stone piers. These windows are painted, wood-framed double casements which open inward. There are insect screens and metal security bars on their exteriors. Another window opening is west of these, but was not surveyed because it is completely covered at both its exterior and interior.

As with the other elevations, the windows on the north elevation include a wide variety of configurations of one-over-one single-hung wood sash. Towards the front of the building there is a three-sided bay window at the first floor has contains one-over-one, single-hung sash with small stained-glass panels above them. The bay window is covered with a low-pitched copper roof made of rectangular sheets soldered together. These windows were restored in 2016. Above this, at the second floor, is a tripartite window with single-hung sash and stained-glass transoms. There is a stained-glass rose window in the gable above this. These second-floor windows were restored in 2010 (Phase 1) and



Photo 61: Cover over foundation windows on north elevation.



Photo 62: Cover over foundation window on north elevation.

repainted at the exterior in 2016 (Phase 2).

Further to the west at the first floor is a ganged set of three one-over-one single-hung wood windows. As with the opposite windows at the south elevation, they are in three separate masonry openings, but under a single decorative stone hood and with a continuous stone sill across all three. Aligned above this is a similar set of windows, but with the center window being taller than the two flanking windows. To the right of these windows are paired one-over-one wood windows at the first and second floors. These sets of windows were restored in 2019 (Phase 3).

Conditions

The restored windows are in good condition. The paired windows at the west side of the north elevation of Borough Hall, at both floors, have not been restored and are in fair condition. The foundation windows on the west section of Borough Hall are in a similar condition. The foundation window on the protruding gable section appears to be a replacement of recent construction and is in good condition.

Recommendations

Maintain and monitor the condition of recently restored windows. Clean out debris in basement window light wells annually. *Maintenance.*

Restore west section foundation windows (N002-N005) as part of the ongoing phased window restoration project. *Immediate.*

Repaint windows restored in Phases 1-3 in 3-5 years. *Short-term.*

See interior conditions analysis for additional information regarding windows.

Doors

There are no doors on this elevation of Borough Hall.



Photo 63: Typical condition of deteriorated foundation windows on north elevation of Borough Hall.



Photo 64: Typical condition of deteriorated foundation windows on north elevation of Borough Hall.



Photo 65: Deteriorated sealant around first floor window N108.

Cornices

The cornices at Borough Hall are painted wood and consist of a large cove at the base that projects out to a beaded fascia and crown moulding behind which are built-in gutters lined with metal. Small metal-capped turrets and copings complete the roof edge details. The downspouts are of a variety of materials and shapes.

Conditions

The condition of the cornices and built-in gutters is poor. The painted finish is extremely worn and there are a few areas of advanced deterioration of the wood trim.

A cornice and gutter restoration project is currently ongoing. This project will return the cornices to a good condition.

Recommendation

Complete cornice restoration project began in late 2020. *Immediate.*



Photo 66: Deteriorated wood cornice at north elevation of Borough Hall.

NORTH ELEVATION (LIBRARY)

This is the principal elevation, or façade, of the Library.

Library Entry Stair & Ramp

New stairs and accessible ramp were constructed at the library entrance in 2013, replacing the concrete entry stair and concrete winding ramp that existed before.

The ramp is located on the west side of the entrance and is made up of two ninety-degree turns with intermediate landings. The ramp is made up of a concrete walkway with a buff face brick wall supported by CMU backing along either side of its rise. The brick walls are capped with pitched, rectangular cast stone coping which also serve as edge protections for the ramp. There are black metal guards and handrails along either side of the ramp, the posts of which are set into the coping units. Buff brick piers with cast stone caps are at the corners of each landing, at the beginning and end of the ramp, and at the middle of the bottom length of ramp. The caps have pyramidal tops and molded edges.

A concrete stair with two flights separated by an intermediate landing, leads to the Library entrance. The stair is flanked by buff brick walls with cast stone coping. The concrete steps have embedded, non-slip, metal edge nosings. Buff brick posts with cast stone caps, identical to those along the ramp, are at the top and bottom of the stair wall. Pathway light fixtures are set into the brick walls to illuminate the stair. Metal handrails are attached to either brick wall, and another handrail is centered on the stair.

There is a brick courtyard between the entrance stair and ramp. The brick pavers are dry laid in a herringbone pattern.

There is a sidewalk drain along the base of the stairs, edge of brick pavers and bottom of ramp.

Conditions

On the ramp, there are cracks on the cast stone coping at nearly every post installation. Most of



Photo 67: View of Library and entrance stairs and ramp from across street.



Photo 68: View of Library and entrance stairs and ramp from northeast.

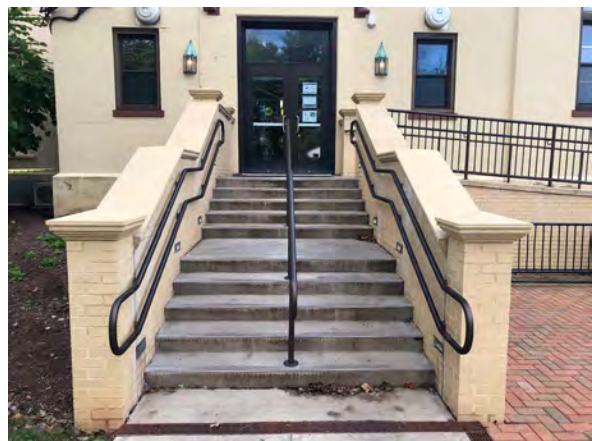


Photo 69: Recently constructed entrance stairs to Library.

the cracks are small and are only on one side of the post, but they will likely widen and lengthen if not addressed. There is also a spall with complete detachment at least one location and insipient spalls at a few others.

The holes in the coping units that received the posts may have been too tight, with the stone abutting the post. Ideally, there should be space around the post to allow it to expand. And this space should have been filled with a flexible material. This is called an expansion joint. The damage caused by the possible lack of expansion joints may have also been exacerbated by the heavy use of de-icing salts, aka "rock salt," as salts within stones expand when they dry. Masonry that has been salted during the winter should be rinsed in the spring to remove salt and prevent damage.

A few of the coping joints are deteriorated and have lost mortar. There is a spall unrelated to a post installation on one coping unit.

There is a white haze on both brick stair walls and some locations on the ramp walls. It starts at the top of the wall, so it is likely formed by salts present in the coping bedding mortar. Intrinsic salts can be present in sand. It is good practice to rinse sand before using in a mortar mix. This may not have been done.

A gap between the upper stair landing and the Library wall, causing significant through-wall water infiltration below.

Recommendations

Each spring, rinse walkways that had been salted during the winter, along with any adjacent masonry. *Maintenance.*

Deinstall coping units and railings. Install through-wall flashing atop bricks walls. Replace any damaged coping units. Widen post holes as needed. Reinstall railings and install expansion joint material around posts. *Immediate.*

Wash walkways and brick walls to remove salt deposits. *Immediate.*



Photo 70: Total loss of portion of ramp coping.



Photo 71: Crack on coping at railing post.



Photo 72: Spall on coping unit.

Demolish landing and excavate to area of water infiltration. Correct issue by installing waterproofing and/or sealing pipe penetrations. Reinstall landing with appropriate slope and sealants. *Immediate.*

Foundation

Poured concrete foundation that projects approximately four inches in front of the brick wall of the library, forming a water table. The foundation is painted to match the brick.

Conditions

With the exception of the water infiltration at the ramp, the condition of the foundation is good. There is some peeling paint and biological growth. At the east end, adjacent to the new ramp, the gardens slope back to the building and there is an area at the base of the foundation that needs to be patched.

Recommendations

Excavate at the east end, patch concrete and re-grade to slope away from the building. Clean biological growth. Scrape and paint. *Short-term.*

Walls

As with Borough Hall, the walls of the library are buff brick. The brick has been painted using a color that is lighter than the brick below.

Conditions

The brick walls are in good condition.

Recommendations

Strip paint from brick and repoint joints as needed. *Long-term.*

Parapet and Coping

There is a brick parapet with stone coping running around the perimeter of the library roof. The bricks are painted buff and the coping stones are painted dark brown to match the other masonry trim.

Conditions

The parapet and coping stones are in fair



Photo 73: Salt efflorescence on brick wall of ramp.



Photo 74: Step crack at base of ramp post (right) and poorly designed drainage of ramp (left).

condition. A number of coping stones are displaced, and the sealant appears worn.

Recommendations

Remove displaced stones (approximately six) and inspect flashing and sealant. Re-set stones and replace sealant 100%. Review maintenance records to determine age of existing flashing and membrane roof in order to plan for replacement. *Short-term.*

Windows

The windows are tri-partite, one-over-one, single-hung windows with fixed nine-light transoms with internal muntin bars. The windows are dark brown aluminum set in masonry openings.

There is a single one-over-one single-hung aluminum window to each side of the entrance door.

Conditions

The windows are generally in good condition, although the finish is beginning to fade and the bottom sealant between the aluminum and stone sill is failing.

Recommendations

Remove sealant and re-seal windows N006 - N011 & N109 - N114. *Immediate.*

See *interior conditions analysis for additional information regarding windows.*

Doors

The main library door is a new aluminum asymmetric double-door.

Conditions

The door is in good condition, but there is water infiltration at the intersection of the landing and the door sill.

Recommendations

See foundation recommendations. *Immediate.*



Photo 75: Typical first floor windows at north elevation of Library.



Photo 76: Typical basement windows at north elevation of Library.

WEST ELEVATION

The west elevation is dominated by the large, mostly blank, west wall of the library. To the right of this and set back is the two-story addition in the ell formed by the south wall of the library and the original rear (west) wall Borough Hall. Above the library mass is the rear gable wall of Borough Hall.

Foundation

The foundation consists of a poured concrete foundation that projects approximately four inches in front of the brick wall of the library, forming a water table. The foundation is painted to match the brick.

The west foundation of Borough Hall is completely covered by later additions.

Conditions

About one-third of the length of the wall from the southwest corner, there is a long vertical crack that extends through the height of the foundation. The crack does not appear to suggest significant differential settlement.

Recommendations

Install crack monitors and continue to monitor the crack for movement. *Immediate.*

Walls

At both Borough Hall and the Library, buff colored brick that have been painted a buff color to roughly match the color of the brick, although it is lighter than the actual brick color.

Conditions

The brick walls are in good condition. There are a few narrow step cracks on the Borough Hall wall.

Recommendation

Monitor step crack widths and lengths. *Maintenance.*

Strip paint from brick walls and repoint as needed. This work can be phased to limit cost impacts. *Long-term.*



Photo 77: West elevation of Library.



Photo 78: Outline of filled-in arched window above main staircase of Borough Hall.



Photo 79: Step cracks and paint loss on west elevation of Borough Hall.

Windows

There are no windows on the west elevation of the Library.

At Borough Hall, there is a pair of one-over-one, wood windows at the north end of the west elevation, above the library addition roof. They were restored in 2019 (Phase 3). There are also one-over-one single wood windows on the Borough Hall addition.

Originally, a large, Gothic-arched window, similar to those on the east side of the building, was above the main staircase. The stained glass and wood tracery was removed after the 1980 fire and its opening filled in with concrete masonry units on the interior and bricks on the exterior. Any exterior stone moldings were also removed. The stone sill remains, and an outline of the window opening is visible on the exterior.

Conditions

The foundation windows on the Borough Hall addition are in good condition.

The paired windows at the first and second floors of Borough Hall are in fair condition.

Recommendation

Restore windows at Rooms 111 (W101) and 213 (W202) as part of the ongoing phased window restoration project. *Immediate.*

Repaint windows restored in Phases 3 in 5 years. *Short-term.*

Reconstruct stair hall window based on existing exterior arched stained-glass second floor windows. *Long-term.*

See interior conditions analysis for additional information regarding windows.

SOUTH ELEVATION (BOROUGH HALL & LIBRARY)

Foundations

The foundation of Borough Hall consists of rusticated serpentine sandstone blocks, referred to as "Martinville stone," capped with an inclined, tooled brownstone water-table. The foundation is currently painted, but historically it was unfinished. Finish removal tests completed in 2010 by Keystone Preservation revealed the original stone colors.

At the 1967 Borough Hall addition and the Library, the foundation consists of a poured concrete foundation that projects approximately four inches in front of the brick wall of the library, forming a water table. The foundation is painted to match the brick.

Conditions

The foundation on this elevation is generally in fair condition. There are numerous open mortar joints and areas of mortar loss. There is extensive peeling paint.

Recommendations

The appropriate approach to address the conditions at the foundation is to remove the paint and repoint the entire foundation. Re-painting the foundation will continue an inappropriate treatment that causes moisture to be trapped in the wall damaging the stone and pointing mortar.

Strip paint from stone masonry foundation and repoint joints as needed. Retool stone to remove delamination. *Long-term.*

Walls

The exterior walls are constructed of a typical load-bearing brick with a buff finish brick and brownstone elements, including window sills, hood moldings, lintels, and arches, at the exterior. The bricks themselves are dense with sharp edges and were likely made using a mechanical press. They are laid in a stretcher bond pattern with thin joints. There are no header courses tying the outer wythe to an inner wythe, so the



Photo 80: South elevation of Borough Hall.



Photo 81: Tower porch and west entry on south elevation of Borough Hall.



Photo 82: Library and rear addition of Borough Hall. Both fire escape stairways shown in photo.

finish buff bricks are likely applied directly to the structural bricks. The exterior walls were painted following a fire at the building which caused extensive damage and discoloration of the exterior bricks. The walls are currently painted, but historically were unfinished.

There is a square tower on the west section of Borough Hall. Materially, the tower matches the rest of the Borough Hall exterior, having a rusticated serpentine sandstone foundation, brownstone water table directly above, and buff face brick walls laid in a stretcher bond. It is capped by stone crenellations with a combed finish. Its exterior is completely painted. It has a sheet membrane roof that is pitched to shed water.

As with Borough Hall, the walls of the library are buff colored brick that have been painted a buff color to roughly match the color of the brick, although it is lighter than the actual brick color.

Conditions

The brick walls are generally in good condition; however, this elevation is showing particular wear, extensive staining and vine growth. Although the painted finish at the walls is in better condition than the stone it still needs to be addressed at some point and it would not be advisable to continue to paint the brick.

The stone arch above the south tower entrance porch is showing signs of water penetration and displacement. The keystone is displaced at the right side and the joints are opening. There is also a significant step crack in the brick above, which originates at the center of the arch.

There are what appear to areas of rock varnish, a manganese- and iron- oxide rich deposit on the crenellations, similar to those on the other towers and northwest chimney. Rock varnish is a type of patina, usually black in color, which is not deleterious to the stone and is an aesthetic issue. It is prevalent on stones in the natural environment.



Photo 83: Sloped membrane roof on south tower.



Photo 84: Black deposits, likely manganese oxide, on crenellations of south tower.



Photo 85: Copper roof on bay at east end of south elevation of Borough Hall.

The tower roof is in good condition.

Recommendations

At south tower arch, investigate cause of movement, correct, and provide appropriate pointing and flashing to prevent further movement and water penetration. *Short-term.*

As part of recommended HVAC upgrades, existing louvers should be replaced and reduced in size if possible. *Short-term.*

Strip paint from brick walls and repoint as needed. This work can be phased to limit cost impacts. *Long-term.*

Porches and Entry Steps

At the south tower, a short flight of stone steps leads to a small porch and entry door (currently used as an emergency exit) at the first floor of the tower. The steps and handrail are not code compliant, but under the Rehab Subcode they could be repaired.

To the west of this is another set of steps with rusticated brownstone cheek walls leading to a nonpublic entrance. The bottommost step at this entrance is a thin bluestone slab atop a concrete base. The step above this appears to be original brownstone and the upper three steps and door sill are replacement stone, matching the replacement stone at the front entrance steps. The cheek walls are not on historic drawings so are likely not original and were added later.

Conditions

The steps at the south tower entry porch are in poor condition with the top step being excessively out of level and large open joints have been filled with an inappropriate sealant.

The condition of the west most steps is also poor. The steps are displaced and there is a large amount of mortar loss with open joints allowing water to penetrate into the base of the steps causing further deterioration. There are large cracks on the cheek walls,



Photo 86: Cracks in stone archway and bricks above at tower porch.



Photo 87: Displaced steps at tower porch.



Photo 88: Displaced west steps and sidewalls.

and they are bowing and kicking out. The west cheek wall is no longer attached to the building.

Recommendations

Because the tower steps need a significant amount of work, reset, or re-build them to be code compliant. All steps and landings should be replaced with a durable alternate stone. Remove the existing handrail and install historically appropriate code-compliant handrails on both sides of the steps. *Short-term.*

At the west entry, dismantle and rebuild the steps and sidewalls. Install code compliant handrails at each side of the steps. All steps should be replaced with a durable alternate stone. The cheek wall stones should be salvaged and reused. *Short-term.*

Windows

As with the other elevations, the windows on the south elevation include a wide variety of configurations of one-over-one single-hung wood sash. Towards the front of the building there is a three-sided bay window at the first floor with that contains one-over-one, single-hung sash with small stained-glass panels above them. The bay window is covered with a low-pitched copper roof made of rectangular sheets soldered together. These windows were restored in 2016. Above this, at the second floor, is a tripartite window with single-hung sash and stained-glass transoms. There is a stained-glass rose window in the gable above this. These second-floor windows were restored in 2010 and repainted at the exterior in 2016.

Further to the west at the first floor is a ganged set of three one-over-one single-hung windows. They are in three separate masonry openings, but under a single decorative stone hood and with a continuous stone sill across all three. Above this is a projecting bay window with three one-over-one sash. The bottom of the bay has sloped wood trim and the roof is a rolled copper roof.



Photo 89: Separation of west entry stair side wall from building, filled in.



Photo 90: Rusted louver at second floor on east end of south elevation.



Photo 91: Foundation windows with light wells at east end of south elevation of Borough Hall.

To the west of this, the tower contains paired single-hung sash with stained glass transoms at the second floor.

To the west of these are two sets of paired windows at the first floor and a single set of paired windows centered above this. The right-hand set at the first floor contains two window air conditioning units to provide cooling for the IT room.

Conditions

The restored windows on the protruding east end of Borough Hall are in good condition. The remaining windows on Borough Hall have not been restored and are in fair to poor condition. The stained-glass transoms above the second-floor tower windows are extremely bowed.

The Library windows are generally in good condition, although the finish is beginning to fade and the bottom sealant between the aluminum and stone sill is failing.

Recommendations

Maintain recently restored windows. Clean out debris in basement window light wells annually. *Maintenance.*

Continue to complete phased restoration of remaining windows on the western side of Borough Hall (S104-109 & S203-211). Paint frame around window S-005. Re-lead stained-glass transoms at tower windows. Remove sealant and re-seal windows S006 - S009 & S110 - S112. *Immediate.*

Repaint windows restored in Phases 1-3 in 3-5 years. *Short-term.*

See *interior conditions analysis for additional information regarding windows.*

Doors

A door at the tower connects to Room 105. It is a painted, stile-and-rail, wood door in an ornate Gothic style with a pointed arch top. It matches



Photo 92: Set of three deteriorated windows at first floor of south elevation of Borough Hall.



Photo 93: Deteriorated bay window with rolled copper roof on south elevation of Borough Hall.



Photo 94: Deteriorated windows at west end of south elevation of Borough Hall.

to design of other historic exterior doors. The door has three-over-three flat panels of differing heights which have applied wood moldings around their perimeters. The top row is made of long trefoil arch panels the flat portions of which have been replaced with clear glass. Below the flat lock-rail is a row of three squared quatrefoil panels and a row of three, short, pointed trefoil arch panels with a flat rail between. There is no door handle on the exterior and a push bar and closer on the interior as it is an emergency exit. It is hung by two, ball-top, butt hinges and swings out onto the porch.

To the west of this, the last door in the original part of the building, is a non-historic, stained, flat wood door with round knobs that is hung on its east side and swings into Room 109. It has a large undivided pane of glass on its upper half with white venetian blinds on the interior side. There is an aluminum storm with a large pane and lever knob. The historic brick mold and jamb are obscured by the contemporary door elements and a historic transom has been infilled.

A door at the very western end of the Library addition connects to the reading room of the library (Room 115). It is a painted flat wood door with a large undivided pane of glass on its upper half and a single raised hipped panel below. It is an emergency exit with no exterior handle.

Conditions

Protected from the elements, the door in the tower is in good condition.

The west entry is in fair condition. There is a wide opening between the door sill and masonry sill.

The Library emergency exit door is in good condition.

Recommendations

Make minor adjustments to the historic tower door to ensure it operated properly. At west entry, replace the non-historic door and storm door with an architecturally compatible door. Install a new transom. Fill



Photo 95: Deteriorated second floor windows with stained glass transoms at south tower.



Photo 96: Deteriorated windows at west end of south elevation of Borough Hall.



Photo 97: Void at west entry door sill.

void at door sill. *Short-term.*

Cornices

The cornices at Borough Hall are painted wood and consist of a large cove at the base that projects out to a beaded fascia and crown moulding behind which are built-in gutters lined with metal. Small metal-capped turrets and copings complete the roof edge details. The downspouts are of a variety of materials and shapes.

Conditions

The condition of the cornices and built-in gutters is poor. The painted finish is extremely worn and there are a few areas of advanced deterioration of the wood trim. The cornices at the south elevation are in the worst condition of the entire building. These sections contain the greatest amount of deteriorated wood. Just to the east of the square tower, the downspout is clogged, which has resulted in prolonged water damage. The painted finish is extremely worn. Some sections of trim have been replaced with profiles that do not exactly match the original historic profiles. See photos of typical cornice conditions in "Roofing & Drainage" section above.

A cornice and gutter restoration project is currently ongoing. This project will return the cornices to a good condition.

Recommendation

Complete cornice restoration project began in late 2020. *Immediate.*

Fire Escapes

There are two painted metal fire escapes on the south elevation.

A two-story stairway is on the west wall of the west addition at Borough Hall. It connects to a door at the second floor via two flights of stairs with an intermediate landing. The fire escape returns to an inside corner at the intersection of the Library and Borough Hall and discharges at a small concrete landing.



Photo 98: Deteriorated wood cornice at east end of south elevation of Borough Hall.



Photo 99: Base of fire escape stairway on rear addition of Borough Hall.

A single flight of stairs connects to the Library at the southwest corner of the reading room.

Condition

Both fire escapes have recently been painted and are in fair to good condition although there is rusting at some connections and on the decking.

The base of the two-story fire escape stairway is an unkempt area of gravel with cinder-block edging. The cinder-block units are displaced. The concrete landing is small and elevated above the surrounding grade. These conditions create an uneven travel path at the base of the fire escape which could prove unsafe during an emergency. There is also no lighting to illuminate the stairway.

The base of the single-story stairway is rusting and appears to be in direct contact with the ground. An emergency light fixture is at the top of the stairway.

Currently, a parking spot is at the open area between the two fire escapes. In the event of an emergency, a vehicle at that location could slow evacuation efforts.

Recommendations

Conduct routine inspections of the fire escapes and paint at regular intervals. *Maintenance.*

At Library: Create a one-inch standoff at the base of the stairs. Prep and paint rusted areas. *Immediate.*

At Borough Hall: Enlarge concrete landing. Install directly connecting the landing to the driveway. Remove cinder block units and install an angled solid concrete curb. Install exterior emergency lighting. *Short-term.*

Consider removing parking space to allow unhindered travel paths at bottom of both fire escapes. *Short-term.*

IV. EXISTING CONDITIONS ANALYSIS

D. Interior Conditions and Recommendations

The building is made up of two distinct sections based upon their use and date of construction: Somerville Borough Hall and the Somerville Branch of the Somerset County Library System of New Jersey. They will be referred to as "Borough Hall" and "Library" throughout this section of the Preservation Plan.

Since the completion of the original preservation plan in 2008, the Borough has undertaken one major interior rehabilitation project. In 2014 the dropped ceiling in the second floor stair hall was removed and the original vaulted ceiling with its ornamental plaster and decorative painting was restored. This project was consistent with the *Secretary of the Interior's Standards for the Treatment of Historic Properties*.

BASEMENT (BOROUGH HALL)

The eastern section of the basement is currently used by the Somerville Parks and Recreation Department.

Historically, the basement was much more open and later became divided up as partitions were added. It was originally referred to as the "cellar."

Overall Recommendation

Dehumidifiers should be added throughout the basement to lower air moisture content which can lead to mold growth and deterioration of building materials and stored items, especially papers. *Immediate.*

In the future, if any masonry foundations in the basement are to be finished, only use a vapor permeable, silicate mineral paint specifically designed for masonry.



Photo 1: View west in Room 001.



Photo 2: View east in Room 001.

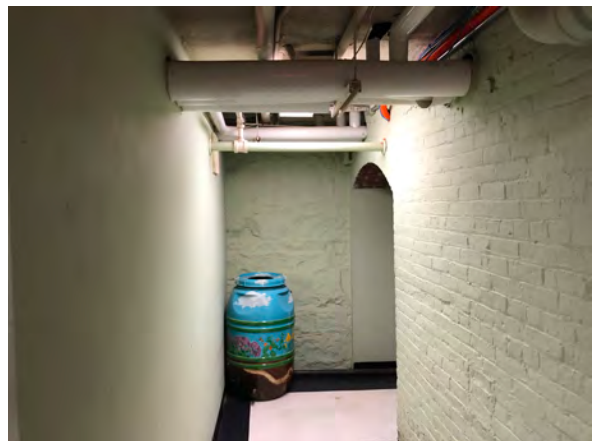


Photo 3: Western section of Room 001 that connects to Room 011.

ROOM 001 & OST1

Hallway at bottom of basement stair connecting to other sections of the basement.

Floor

Square vinyl composite tile over a concrete slab. The tiles are white with a black course along the room perimeter.

Condition

The floor is in good condition.

Recommendation

Maintain existing floor.

Walls/Foundations

Historically, the west section of the basement was likely an open area and later partitions created Rooms 011, 012, and 013. The walls of Rooms 011 and 013 form the western boundary of Room 001.

There are red brick foundation walls throughout the basement. Some are unfinished and others have been painted or plastered over. Segmental arches made of three courses of headers provide openings along these walls. Some of these openings have been filled in. The doors into Rooms 002, 009, and 010 have been built into these arched openings. Historically, the central section of the basement was also all connected and the filled in archways that now divide Rooms 001, 002, 009, and 010 were all open.

There is an enclosed stair to the first floor at the south side of Room 001. The walls enclosing the stair at the basement level are made of concrete masonry units.

There is a black vinyl wall base along the room perimeter.

Condition

The walls and brick foundations are in good condition.

Recommendation

Maintain the existing walls.



Photo 4: Filled in arched opening in brick interior foundation wall at bottom of basement stairs.

Ceiling

Finished ceiling of painted gypsum wall board.

Condition

The ceiling is in good condition.

Recommendations

Maintain existing ceiling. Monitor for leaks and mold.

Doors

The door at the top of the stair is discussed in the Room 101 description.

The door at the bottom of the stair is a stained, flat wood door with a round metal knob, rectangular vision lite and brass kick plate. The door is hung at its east end by three butt hinges and swings into the stair enclosure.

Condition

The stair door is in good condition.

Recommendation

Maintain existing door.

Windows

There are no windows in this room.

Stairs

There is a single flight of stairs entering into the Borough Hall basement on the south side of Room 001. The stairs and landing are enclosed and accessed by a door at both the top and bottom landings. The top landing is a finished wood floor, connecting to wood door that opens out into Room 101. It is a simple stair of fourteen steps with brown rubber ribbed tread covers. The stairway widens at the bottom five stairs. A round wood handrail is on the south side of the stairs.

Condition

The stairs are in good condition.

Recommendation

Install code-compliant handrails on either side of stair. *Long-term.*



Photo 5: View of basement stairs from top landing.

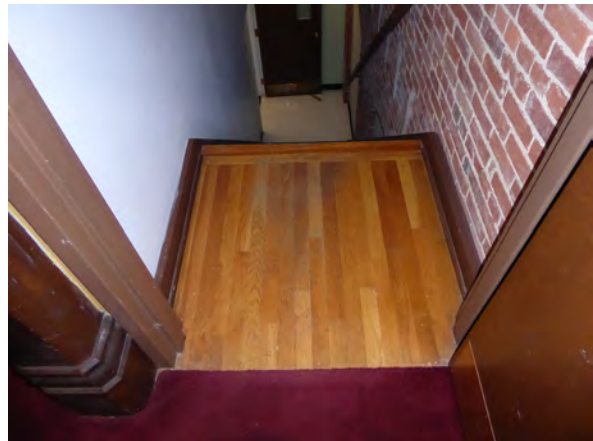


Photo 6: Top landing of basement stairs.

Electrical

Flush mounted, linear florescent fixtures provide light.

Utilities

Various pipes and wiring run overhead in this space, including piping and sprinkler heads for a fire suppression system.

See MEP report for additional information regarding plumbing, electrical and heating.

ROOM 002 - OFFICES

Open, rectangular room currently used as office space for the Somerville Parks and Recreation Department.

Floor

Square white vinyl composite tile over a concrete slab.

Condition

The floor is in good condition.

Recommendation

Maintain existing floor.

Walls/Foundations

The walls are finished with painted plaster or gypsum wall board, except on the north wall, where the brick foundation with its filled in arched openings is exposed. Historically, the perimeter stone foundation and interior brick foundation walls would have been unfinished.

There is a black vinyl wall base along the room perimeter.

Condition

The walls are in good condition.

Recommendation

Maintain existing wall finishes.

Ceiling

Finished ceiling of painted gypsum wall board. At the south side of the main section of the room a dropped ceiling of white rectangular acoustical tiles conceals a large number of pipes which are exposed in the small western section of the room.

Condition

The ceiling is in good condition.

Recommendations

Maintain existing ceiling. Monitor for leaks and mold.

Doors

The main door into Room 002 on the north wall



Photo 7: North wall in Room 002 showing brick foundations with filled in arched openings.



Photo 8: View southwest in Room 002, showing door to Room 011.



Photo 9: View east in Room 002, showing door to Room 003.

is a stained, flat wood door with a round metal knob. The door is hung at its east end by three, five-knuckle, button top butt hinges and swings into Room 001. The door is surrounded by painted flat wood casing.

The door to the closet is a stained, flat wood door that swings into the closet.

A door on the west wall connecting to Room 011 is discussed in that room's description.

A door on the east wall connecting to Room 003 is discussed in that room's description.

Condition

The doors are in good condition.

Recommendation

Maintain existing doors.

Windows

Historically, there were three windows on the south wall of Room 002. The east opening appears to have been filled in and the center window has been removed to install an air conditioning unit. The west historic window has been replaced with a contemporary double casement window operated by interior hand cranks.

Condition

The window is in good condition.

Recommendation

Maintain existing windows.

Closet

There is a large closet in the northwest corner of the room. The tile flooring extends into the closet. The masonry foundations are exposed and have been painted. The ceiling is unfinished ceiling, exposing the subfloor and joists above.

Electrical

Six flush mounted, linear florescent fixtures



Photo 10: Windows on south wall in Room 002.



Photo 11: Exposed piping at ceiling outside of closet in Room 002.



Photo 12: Painted exposed masonry foundation in closet of Room 002.

provide light in the main section of the room. An identical fixture illuminates the closet. There is an additional painted metal pendant fixture just outside the closet.

Utilities

Various pipes and wiring run overhead in this space, including piping and sprinkler heads for a fire suppression system.

See MEP report for additional information regarding plumbing, electrical and heating.

ROOM 003 - STORAGE

Room currently used as storage space for the Somerville Parks and Recreation Department.

Historically, the eastern section of the basement (Rooms 003-008) was one open area, but later partitions divided it into separate rooms.

Floor

Small square white and grey ceramic tiles in groups of four in a patchwork pattern with dark grey grout joints.

Condition

The tiled floor is in good condition.

Recommendations

Maintain existing flooring.

Walls/Foundations

White rectangular glazed tile with black grout joints on the lower half of the wall with painted plaster or gypsum wall board above. Historically, the perimeter stone foundation and interior brick foundation walls would have been unfinished. Originally, the east wall was solid masonry with foundations for the fireplaces above. This uniform wall was later disrupted when a door into Room 003 was added.

Condition

Both wall sections are in good condition.

Recommendation

Maintain existing finished walls.

Ceiling

Finished ceiling of painted gypsum wall board.

Conditions

The finished ceiling is in good condition.

Recommendations

Maintain existing finished ceiling. Monitor for leaks and mold.



Photo 13: View southeast in Room 003.



Photo 14: Recessed area of south wall in Room 003.



Photo 15: Southwest corner of Room 003.

Doors

One wood door at the west end of the room connects to Room 002. It is a stained, flat wood door that is hung on its north side and swings into Room 003.

Condition

The door is in good condition.

Recommendation

Maintain existing door.

Windows

There are no windows in this room.

Electrical

Flush mounted, linear florescent fixtures provide light in the room.

There is a dehumidifier mounted to the west wall in the southwest corner of the room.

Utilities

Various pipes and ductwork run overhead in this space, including piping and sprinkler heads for a fire suppression system.

See MEP report for additional information regarding plumbing, electrical and heating.

ROOM 004 - STORAGE

Room currently used as storage space for the Somerville Parks and Recreation Department. The room is divided into north and south sections by a brick foundation wall. Historically, the eastern section of the basement (Rooms 003-008) was one open area, but later partitions divided it into separate rooms.

Door

A door on the west wall connects to Room 001. It is a six-panel, stained, stile-and-rail, wood door. It has a brass kick plate and push plate and a keypad lock. The door is hinged on its south side and swings into Room 004.

Condition

The door is in good condition.

Recommendation

Maintain existing door.

Windows

There are no windows in this room.



Photo 16: Wood door into Room 004. Photo taken in 2007.

ROOM 005 - STORAGE

Room currently used as storage and janitorial space for the Somerville Parks and Recreation Department. The room is divided into north and south sections by a brick foundation wall. Historically, the eastern section of the basement (Rooms 003-008) was one open area, but later partitions divided it into separate rooms.

Floor

The room is divided into two sections with the southern portion's floor being slightly higher than the northern one's and the two connected by a concrete ramp.

In the south side: Small square white and grey ceramic tiles in groups of four in a patchwork pattern with dark grey grout joints.

In the north side: Square white vinyl composite tile flooring with dark grey flecks.

Condition

Both floor sections are in good condition.

Recommendation

Maintain existing flooring.

Walls/Foundations

The east/west oriented brick foundation wall in the middle of the room is painted on the north side. The entire south side is covered in painted cement plaster and white rectangular glazed tile is on the lower half of the wall. This tiling continues onto the east wall in the south section of the room. The other walls are finished with painted plaster or gypsum wall board.

The wall dividing Room 004 & 005 runs between an arched opening in the brick foundation wall to allow access to the south section in each room.

There is a black vinyl wall base along the room perimeter.

Condition

The walls are in good condition.



Photo 17: View north in Room 005.



Photo 18: View south in Room 005, showing brick foundation dividing the room.

Recommendation
Maintain existing walls.

Ceiling

Finished ceiling of painted gypsum wall board. The ceiling does not conceal overhead utilities.

Conditions
The finished ceiling is in good condition.

Recommendations
Maintain existing finished ceiling. Monitor for leaks and mold.

Doors

One wood door at the north end of the room connects to Room 006. It is a stained, flat wood door with round knobs that is hung on its west side by three, five-knuckle, button top butt hinges and swings into Room 005. It has a large undivided pane of glass on its upper half with white venetian blinds on the interior side. The door is surrounded by 1-1/2" painted flat wood casing.

Condition
The door is in good condition.

Recommendation
Maintain existing door.

Windows

There is one window on the north wall with a view of Room 006. It is a single, undivided pane of glass on the east side of the door. It has a white, solid roller shade on its interior side and 1-1/2" painted flat wood casing on either side.

Condition
The window is in good condition.

Recommendation
Maintain existing window.

Utilities

Various pipes and wiring run overhead in this space, including piping and sprinkler heads for a fire suppression system.

Plumbing

There is a plastic utility sink in south side of room.

Electrical

One flush mounted, linear florescent fixture centered in the ceiling of either section provides light in the room.

See MEP report for additional information regarding plumbing, electrical and heating.



Photo 19: East wall in south side of Room 005.

ROOM 006

Open room currently used by the Somerville Parks and Recreation Department.

Historically, the eastern section of the basement (Rooms 003-008) was one open area, but later partitions divided it into separate rooms.

Floor

Square white vinyl composite tile flooring with dark grey flecks over a concrete slab.

Condition

The flooring is in good condition.

Recommendation

Maintain existing flooring.

Walls/Foundations

The south wall is made of painted gypsum wall board and is shared by Rooms 004 and 005. The west wall is made of painted concrete masonry units and is shared by Rooms 007 and 008. An east/west oriented brick foundation wall travels through the middle of the room and is finished with painted cement plaster. A similarly finished brick wall runs north/south between Room 006 and 001. The east wall has been finished with painted gypsum wall board.

There is a black vinyl wall base along the room perimeter.

Condition

The walls are in good condition.

Recommendation

Maintain existing wall finishes.

Ceiling

Finished ceiling of painted gypsum wall board. The ceiling does not conceal overhead utilities.

Condition

The finished ceiling is in good condition.

Recommendations

Maintain existing finished ceiling. Monitor for leaks and mold.



Photo 20: View southwest through central archway in Room 006, showing door to Room 005 and archway to room 001



Photo 21: View north in Room 006 showing doors to Rooms 007 & 008 and to tower.



Photo 22: View east in Room 006.

Doors

All doors connecting to Room 006 are discussed in their respective room descriptions. A door to Room 006 is on the south wall. Doors to Rooms 007 and 008 are on the north wall. A door to the tower is on the east wall.

Windows

There are no windows in this room.

Closet

A small closet is in the northwest corner of the room between the middle brick foundation wall and the north concrete masonry wall. The closet is accessed by two wide painted flat metal doors. The north door has a round metal knob and the south door likely has a flush bolt to keep it in place. Both doors are held to their flat metal frame by three, five-knuckle, button top, butt hinges and swings into Room 006. The closet was locked during our survey so could not be assessed.

Electrical

Three flush mounted, linear florescent fixtures provide light in the room. Two on the south side of the brick foundation wall and one on the north.

Utilities

Various pipes and wiring run overhead in this space, including piping and sprinkler heads for a fire suppression system.

There is a large amount of telephone and cable wiring on the east wall and appears to be the hub of those systems. Much of the wiring is exposed, so protective boxes should be installed.

See MEP report for additional information regarding plumbing, electrical and heating.



Photo 23: Double doors to closet in Room 006.



Photo 24: View west in Room 006 showing archway connecting to Room 001.

ROOM 007

Room currently used by the Somerville Parks and Recreation Department. It was locked during our survey so could not be assessed. Historically, the eastern section of the basement (Rooms 003-008) was one open area, but later partitions divided it into separate rooms.

Door

There is one painted flat metal door on the south wall that swings out into Room 006. The door has a round metal knob and is held to its flat metal frame with three, five-knuckle, button top, butt hinges.

Condition

Fair. Moderate rusting along the bottom of the door and its frame.

Recommendation

Prep and paint door and its frame. *Immediate.*

Windows

There is one wood window on the east wall. It is below grade and has a window well at the exterior. There are painted plywood and metal security bars on the exterior. The window opening is likely not original and appears to have been cut into the foundation later. See the east elevation description for more detail.

Condition

The window is in fair to poor condition, but could not be fully surveyed. It may need to be replaced.

Recommendation

Restore or replace foundation window E001 as part of the ongoing phased window restoration project. *Immediate.*



Photo 25: Door to Room 007.

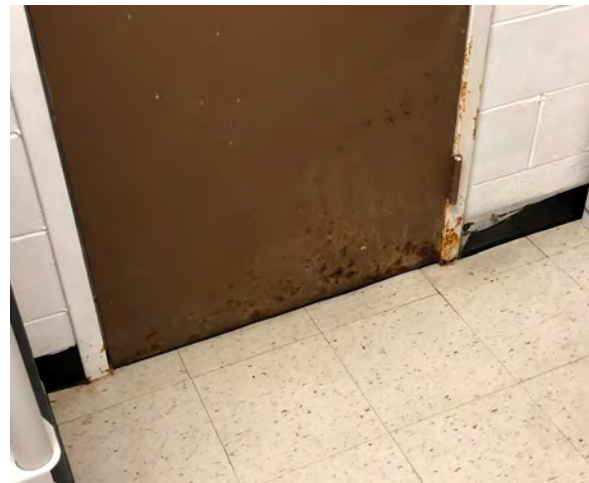


Photo 26: Rust along bottom of door to Room 007.

ROOM 008

Room currently used by the Somerville Parks and Recreation Department. It was locked during our survey so could not be assessed. Historically, the eastern section of the basement (Rooms 003-008) was one open area, but later partitions divided it into separate rooms.

Door

There is one painted flat metal door on the south wall that swings into Room 008. The door has a round metal knob.

Condition

The door is in good condition.

Recommendation

Maintain existing door.

Windows

There is one wood window on the west wall. It is below grade and has a window well at the exterior. Viewed from the exterior, it appears to be a replacement window of recent construction and not historic.

Condition

Viewed from the exterior, the window appears to be in good condition.

Recommendation

Maintain existing window W003.



Photo 27: View north in Room 008. Photo taken in 2007.

ROOM OST-2

Bottommost room in the northeast stair tower. A spiral staircase connects all levels in the tower.

Floor

Painted concrete slab.

Condition

The floor is in good condition.

Recommendation

Maintain existing flooring.

Walls/Foundations

The main perimeter brownstone foundation is exposed, and its surface has been painted. The west wall connecting to Room 006 is a wood framed wall finished with gypsum wall board.

Condition

Historically, the foundation was not painted. Paint can trap moisture within the stone and mortar and prevent proper vapor transmission. The paint also hinders the proper a visual assessment of the foundation's condition, possibly covering conditions, and allowing active deterioration of the foundation stones and mortar behind it to go unnoticed.

A few stones on the south wall are delaminating to a moderate degree. This condition may be more prevalent, but is currently concealed by paint.

The room was damp, and no dehumidifier was present. Apart from a small louver in the door, there is no ventilation in the space, as the stair is blocked by a large metal tank. This high humidity has allowed black mold to grow at the east end of the room.

Recommendations

Clean mold growth. Remove paint from foundation. *Immediate.*

If it is desired that that the stone foundations be finished, only use a vapor permeable, silicate mineral paint specifically designed



Photo 28: View west in Room OST-2 showing archway in brick foundation wall and door to Room 006.

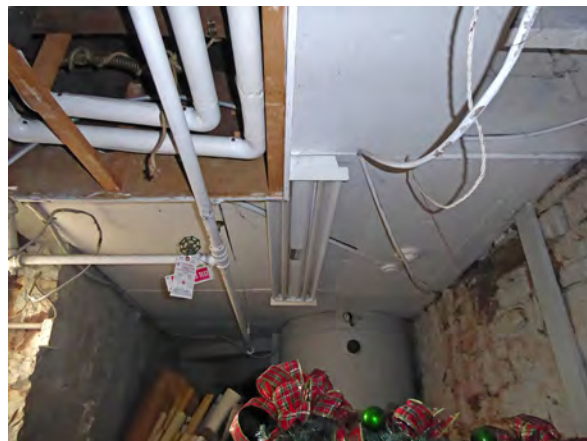


Photo 29: View east in Room OST-2.

for masonry.

Ceiling/First-Floor Structure

Painted gypsum wall board is nailed to the first-floor wood joists. Some areas at the west end of the room do not have any covering and the joists are exposed. Utility piping is also exposed at those locations.

Condition

The ceiling wall boards are in good condition.

Recommendations

Maintain existing ceiling. Monitor for leaks and mold.

Door

A door on the west wall connects to Room 006. It is a painted, stile-and-rail wood door with flat panels. It has a round knob with an Art Deco style plate and a skeleton keyhole. A small metal louver is installed in the top panel. It is hung on its south end by three, five-knuckle, ball top, butt hinges and swings into Room 006. The door is surrounded by painted flat wood casing on its west side only.

Condition

The lever has been removed from the lock and the door has to be closed with a hasp and staple.

Recommendation

Install one-hour fire rated door and frame.
Long-term.

Windows

There is one, fixed, wood-framed square window on the north wall. It is below grade and has a masonry window well at the exterior. It has a single pane of frosted glass. The window is a replacement window of recent construction and not historic.

Condition

The window is in good condition.

Recommendation

Maintain existing window.



Photo 30: Delaminating stones on south wall in Room OST-2.



Photo 31: Black mold in the northeast corner of Room OST-2.

Stairs

Wood spiral stairs at the east end of the room connects to the first floor. The bottom of the stair is blocked by a large metal tank.

Condition

The stairs are in good condition.

Recommendation

Maintain existing stairs.

Electrical

One flush mounted, linear florescent fixture provides light in the room.

Utilities

Various pipes and wiring run overhead in this space, including piping and sprinkler heads for a fire suppression system.

See MEP report for additional information regarding plumbing, electrical and heating.



Photo 32: Window on north side of Room OST-2.

ROOM 009

Room currently used by the Somerville Parks and Recreation Department. It was locked during our survey so could not be assessed.

Door

There is one painted flat metal door on the south wall that swings into Room 008. The door has a round metal knob.

Condition

The door is in good condition.

Recommendation

Maintain existing door.

Window

There is one window on the north wall. It is part of a three-window group that are separated by stone piers. The other two windows are in Room 010. The window is partially covered on the exterior and could not be viewed from inside. The window is likely identical to those in Room 010 and so is likely a painted, wood-framed double casement which opens into the room. There is an insect screen and metal security bars on its exterior.

Condition

Viewed from the exterior, the window is in good to fair condition.

Recommendation

Restore foundation window N002 as part of the ongoing phased window restoration project. *Immediate.*

ROOM 010 - OFFICES

Open room currently used as office space for the Somerville Branch of the Somerset County Library System of New Jersey.

Floor

Square white vinyl composite tile flooring with dark grey flecks over a concrete slab.

Condition

The flooring is in good condition.

Recommendation

Maintain existing flooring.

Walls/Foundations

The walls are finished with painted plaster or gypsum wall board, except on the south wall, where the brick foundation with its filled in arched openings is exposed. Historically, the perimeter stone foundation and interior brick foundation walls would have been unfinished.

A small lift is at the west end of the room used to transport carts of library books between the basement and first floor.

A steel I-beam runs east/west along the center of the room, supported by two steel lally columns.

There is a black vinyl wall base along the room perimeter.

Condition

The walls are in good to fair condition.

Recommendation

Patch and repaint walls. *Long-term.*

Ceiling

Finished ceiling of painted gypsum wall board. The ceiling does not conceal overhead utilities.

Conditions

Most of the ceiling is in good condition. There is an area of water damage in the northeast corner of the ceiling.



Photo 33: View east in Room 010.



Photo 34: View west in Room 010.



Photo 35: Water damage on the northeast corner of the ceiling.

Recommendations

Remove damaged portion of ceiling. Find and address the source of the water infiltration. Patch and paint damaged portion of ceiling.
Immediate.

Doors

A door on the south wall connects to Room 001. It is set into a filled in archway on a brick foundation wall. The door is a four panel, stained, stile-and-rail wood door with raised, hipped panels. The panels have molded profiles around their perimeters. It has a fixed, six-light sash in the top portion with thick wood muntin and mullions. A metal grate is attached over the lights and a closer installed. The top of the door opening is curved to mimic the brick arch and the top of the door and top row of lights are curved as well. It is hung on its west side and swings into Room 001. The door is surrounded by painted flat wood casing.

A door on the west wall connects to Room 015. It is discussed in that room's description.

Condition

The south door is in good condition overall. Its finish is slightly worn.

Recommendation

Maintain existing door.

Windows

There are three window openings on the north wall of Room 010.

One window opening is on the west end of the wall. It was covered at both the interior and exterior, so was not surveyed.

Two window openings are side by side on the east end of the wall. They are part of a three-window group that are separated by stone piers. The other window is in Room 009. Both windows are painted, wood-framed double casements which open into the room. There are insect screens and metal security bars on their exteriors. Each sash has a single undivided light and is held to its frame with two butt hinges. The



Photo 36: Door on the south wall connecting to Room 001.



Photo 37: Covered up window opening on the north wall.



Photo 38: Double casement windows on the north wall.

two casement sash are separated by a meeting stile. The windows are kept closed using a surface lock consisting of a small latch on each sash and keeps on the meeting stile.

Condition

The windows are in good to fair condition.

Recommendation

Restore foundation windows N002 - N005 as part of the ongoing phased window restoration project. *Immediate.*

Utilities

Various pipes and wiring run overhead in this space, including piping and sprinkler heads for a fire suppression system.

Plumbing

The fire sprinkler controls are housed in a closet on the north side of this room.

Electrical

Six flush mounted, linear florescent fixtures illuminate the room.

HVAC

There are two radiators on the north wall, one on either side of the sprinkler controls closet.

There is a ductless mini-split unit centered on the east wall.

See MEP report for additional information regarding plumbing, electrical and heating.



Photo 39: Sprinkler control room on the north wall of Room 010.

ROOM 011 - STORAGE

Room currently used as storage space for the Somerville Parks and Recreation Department. Historically, the west section of the basement was likely an open area and later partitions created Rooms 011, 012, and 013.

Floor

Painted concrete slab.

Condition

The floor is in good condition overall. The paint is worn and failing.

Recommendation

Maintain existing flooring.

Walls/Foundations

The north wall is a wood framed wall finished with painted gypsum wall board. A painted brick foundation wall forms the east wall. It has a filled in arched opening at its south end. It is not filled in as was done at most other locations in the basement, but rather a wood framed wall finished with painted gypsum wall board was installed just to the east. The main perimeter brownstone foundation is exposed on the south side of the room, and its surface has been painted. The west wall is painted concrete masonry unit.

Condition

Historically, the foundation was not painted. Paint can trap moisture within the stone and mortar and prevent proper vapor transmission. The paint also hinders the proper a visual assessment of the foundation's condition, possibly covering conditions, and allowing active deterioration of the foundation stones and mortar behind it to go unnoticed.

A few stones on the south wall are delaminating to a moderate degree. This condition may be more prevalent, but is currently concealed by paint.

Recommendations

Remove paint from foundation. *Immediate.*



Photo 40: View east in Room 011.

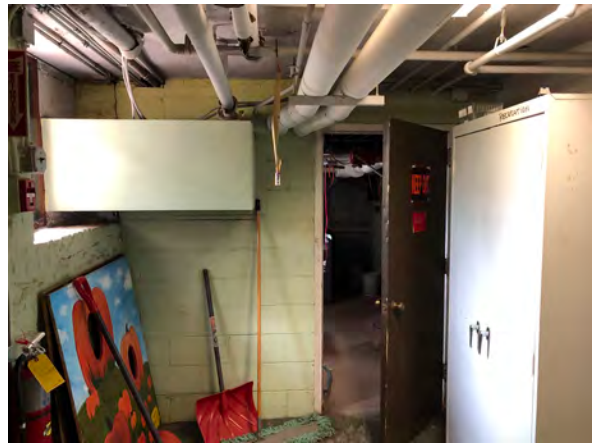


Photo 41: View west in Room 011.



Photo 42: Delaminating stones on south foundation wall.

If it is desired that the stone foundations be finished, only use a vapor permeable, silicate mineral paint specifically designed for masonry.

Ceiling

Finish ceiling of painted rough plaster. The ceiling does not conceal overhead utilities.

Condition

The ceiling is in good condition.

Recommendations

Maintain existing ceiling. Monitor for leaks and mold.

Doors

A door on the east wall connects to Room 002. The doorway is set into wood framed wall just east of an arched opening in a brick foundation wall. It is a stained, flat wood door with a round metal knob. It has a brass kick plate and closer on its side facing Room 011. The door is hung at its south end by three, five-knuckle, button top butt hinges and swings into Room 002. The door is surrounded by painted flat wood casing.

Two doors on the north wall connect to Rooms 001 and 013. They are identical to the door that connects to Room 002 and both swing into Room 011.

A door on the south wall connects to an exterior stair. It is a painted metal door with a horizontal push bar, a metal closer and a bottom sweep. It is hung from its metal frame at its east end and swings out onto the stair landing. There is a concrete threshold at the door opening.

A metal door on the west wall connects to Room 012. It is discussed in that room's description.

Condition

The door is in fair condition. A metal strip in the concrete threshold is rusting. There is a large amount of smudging and abrasion on the interior side of the door. The exterior side of the door was recently painted.



Photo 43: Exterior door on south wall in Room 011.



Photo 44: Rust on the exterior door threshold in Room 011.

Recommendation

Repaint interior side of door and threshold.
Short-term.

Windows

There is one window opening on the south wall. Historically, it held two wood sash separated by a meeting stile. Currently, the east side of the wood window frame holds an awning wood sash with a single undivided light while a sheet metal duct with a louvered cover exits the building on the west side of the frame. The window (S004) is of recent construction. Both sides of the wooden frame were recently painted.

Condition

The window is in good condition.

Recommendation

Maintain existing window S004.

See exterior conditions sections for more window recommendations.

Utilities

Various pipes and wiring run overhead, including piping and sprinkler heads for a fire suppression system.

Plumbing

The water meter shut off valve is on the south wall in this room.

The sanitary sewer main enters and exits the building at the south wall in this room.

Electrical

One flush mounted, linear florescent fixture illuminates the room.

See MEP report for additional information regarding plumbing, electrical and heating.



Photo 45: Window opening with awning sash and louvered duct on south wall in Room 011.

ROOM 012

This is a utility room for the building, housing electrical and plumbing control equipment. Historically, the west section of the basement was an open area and later partitions created Rooms 011, 012, and 013.

Floor

Unpainted concrete slab.

Condition

The concrete slab is in good condition.,

Recommendation

Maintain existing unfinished floor.

Walls/Foundations

Room 012 is built around an H-shaped brick foundation wall, which would have been roughly west-of-center in that historic open space.

This H-shaped brick foundation forms part of the east wall. The room continues east around it and ends at a painted concrete masonry unit wall dividing Room 012 from 011. The main perimeter brownstone foundation is exposed on the south and west sides of the room. Both foundation walls were previously painted, but most of the paint has been lost on the south wall. The brick foundation also forms part of the north wall while the remainder is made of painted concrete masonry units.

Condition

The south foundation wall is in fair condition. The surface on most of the stones is delaminating, which removed most of the paint on that wall. The H-shaped brick foundation is also in fair condition as some lower courses of bricks have eroded surfaces due to rising damp. These areas have been recently repointed, but an inappropriate high-strength cementitious mortar may have been used. There is also some mortar loss on the west wall.

All the conditions present on the walls were caused by water infiltration. The room is generally damp, doesn't have a dehumidifier,



Photo 46: View east in Room 012.



Photo 47: South foundation wall in Room 012.



Photo 48: Portion of north wall with deteriorated lower brick courses.

and has no ventilation.

Recommendations

Keep the door connecting to Room 011 open to provide some ventilation. Install a dehumidifier. *Immediate.*

Ceiling

Finish ceiling of painted rough plaster. The ceiling does not conceal overhead utilities.

Conditions

The ceiling is in good condition.

Recommendations

Maintain existing ceiling. Monitor for leaks and mold.

Door

A door on the east wall connects to Room 011. It is a painted, flat metal door with a round metal knob. It is hung from its metal frame at its north end by three, five-knuckle, button-top, butt hinges and swings into Room 011.

Condition

The door is in overall good condition, but the doorknob doesn't properly latch.

Recommendation

Repair doorknob. *Short-term.*

Windows

There is one window opening on the south wall (S005). It has a painted wood frame and a single painted wood rectangular awning window. The window has one undivided lite and is of recent construction. It has metal security bars on its exterior.

Historically, there was a window and light well on the west wall. The light well was removed, and window opening filled in when the Elks constructed their addition, now the Library, in 1939.

Condition

The window is in good condition.



Photo 49: Southeast corner of Room 012 showing one boiler and associated piping.



Photo 50: View north in Room 012 showing hot water heater and boiler piping.

Recommendation

Maintain existing window S005.

See exterior conditions sections for more window recommendations.

Utilities

Various pipes and wiring run overhead, including piping and sprinkler heads for a fire suppression system.

The natural gas service piping enters the building on the south wall.

Plumbing

A hot water heater is at the west side of the room.

Electrical

On the north wall, there is a branch panelboard and the HVAC control panel. There are exterior lighting controls on the south wall.

Heating

There are two boilers and large diameter distribution piping at the west side of the room. These boilers were installed sometime after our 2007 survey.

See MEP report for additional information regarding plumbing, electrical and heating.

ROOM 013

Room currently used as storage space for the Library. Historically, the west section of the basement was likely an open area and later partitions created Rooms 011, 012, and 013. The original stairs to the basement were located where this room is now along the north wall. The stairs were likely removed when the Elks constructed their addition, now the Library, in 1939.

Floor

Painted concrete slab. A set of steps in the northwest corner of the room connects to Room 015 since the Borough Hall section of the basement is higher than the Library section.

Condition

The concrete slab is in good condition.

Recommendation

Maintain existing flooring.

Walls/Foundations

Room 013 is built around an H-shaped brick foundation wall in its southwest corner, which would have been roughly west-of-center in that historic open space.

This H-shaped brick foundation forms portions of the west and south walls. Painted concrete masonry unit walls continue out from either flange of the foundation, creating the south wall of the room. The main perimeter brownstone foundation is exposed on the north and west sides of the room, and its surface has been painted. The east wall is a wood framed wall finished with painted gypsum wall board.

Since the Library basement floor is at a lower elevation than that of the Borough Hall, when the library was constructed, a concrete base was poured to underpin the north and west foundation walls in Room 013.

Two square brick columns are roughly in the middle of the room, in line with the brick foundation wall between Rooms 001 & 002. The tops of them are covered in concrete and they



Photo 51: View southeast in Room 013 showing brick columns and exhaust fan on east wall.



Photo 52: West wall in Room 013 with door to Room 015 and brick repair above.

have been fully painted.

A small louvered exhaust fan is on the east wall.

Condition

The walls, foundations and columns are all in good condition.

Historically, the foundation and brick columns were not painted. Paint can trap moisture within the stone and mortar and prevent proper vapor transmission. The paint also hinders the proper a visual assessment of the masonry condition, possibly covering conditions, and allowing active deterioration of the foundation stones and mortar behind it to go unnoticed. Currently, there does not appear to be any active conditions on the stone foundations.

The foundation had to be penetrated to connect to Room 015 and an area above the door to that room was repaired with brick. The repair and surrounding stone foundation are in good condition.

Recommendations

Remove paint from stone foundations and brick columns. *Immediate.*

If it is desired that that the stone foundations and brick columns be finished, only use a vapor permeable, silicate mineral paint specifically designed for masonry.

Ceiling

Finish ceiling of painted rough plaster. The ceiling does not conceal overhead utilities.

Conditions

The ceiling is in good condition.

Recommendations

Maintain existing ceiling. Monitor for leaks and mold.



Photo 53: Paneled door jamb on doorway to Room 015 and concrete underpinning under north foundation wall.



Photo 54: Door to Room 011 on the south wall in Room 013.

Doors

A door on the west wall connects to Room 015. It is a flat, stained, hollow core, wood door with a round metal knob. It is hung on its south side and swings into Room 015. The door opening has a wide, painted wood-paneled jamb.

A door on the south wall connects to Room 011. It is discussed in that room's description. The door is surrounded by painted flat wood casing at the side facing Room 013.

Recommendations

Install one-hour fire rated door and frame at Room 015. *Long-term.*

Windows

Currently, there are no windows in this room.

Historically, there was a window and light well on the north wall. The light well was removed, and window opening filled in when the Elks constructed their addition, now the Library, in 1939.

Utilities

Various pipes and wiring run overhead, including piping and sprinkler heads for a fire suppression system.

The fire alarm electrical service panel is on the south wall.

Heating

An expansion tank for the heating system is at the east side of the room.

See MEP report for additional information regarding plumbing, electrical and heating.



Photo 55: Fire alarm service panel on the south wall in Room 013.



Photo 56: Expansion tank and pump for heating system at east side of Room 013.

ROOM 014 - STORAGE

This room is currently used as storage space for the Library. It is a later addition constructed on the west end of Borough Hall. It was built at the same elevation as the Library section, so its floor is lower than the Borough Hall section.

Floor

Unpainted concrete slab.

Condition

The concrete slab is in good condition.

Recommendations

Maintain existing unfinished floor.

Walls/Foundations

The main perimeter brownstone foundation of Borough Hall is exposed on the east side of the room, and its surface has been painted. When this room was constructed, a concrete base was poured to underpin the historic foundation wall. The south and west walls are made of painted concrete masonry units. The north wall is made of poured concrete that has a painted surface. A brick chimney foundation is at the south end of the east wall. Much of it has been covered with cement plaster and it has been painted.

Condition

The walls are in good condition overall. The paint at the base of the north wall is wrinkling. There is some water staining at the stop of the south wall.

Historically, the foundation was not painted. Paint can trap moisture within the stone and mortar and prevent proper vapor transmission. The paint also hinders the proper a visual assessment of the foundation's condition, possibly covering conditions, and allowing active deterioration of the foundation stones and mortar behind it to go unnoticed.

Recommendations

Find and address the source of water infiltration on south wall. *Immediate.*



Photo 57: View south in Room 014. Note the water staining at the top of the wall.



Photo 58: View north in Room 014 showing door to Room 015.



Photo 59: Exposed stone foundation of Borough Hall on east wall of Room 014.

Remove paint on east wall. *Immediate.*

Remove failing paint on the north wall. Prep and repaint. *Short-term.*

Ceiling

Finish ceiling of painted gypsum wall board. The ceiling does not conceal overhead utilities.

Conditions

The ceiling is in good condition overall. A small section of the ceiling board at the west wall was cut out and then reinstalled with patching compound along the edges.

Recommendations

Maintain existing ceiling. Monitor for leaks and mold.

Door

A door on the north wall connects to Room 015. It is a stained, flat wood door with a round metal knob. It has a brass kick plate and closer on its side facing Room 011. The door is held to its painted metal frame on its west end by three, five-knuckle, button top butt hinges and swings into Room 014.

Condition

The door is in good condition.

Recommendation

Install one-hour fire rated door and frame. *Long-term.*

Windows

There are two windows on the west wall W001 & W002. Both are one-over-one hung painted aluminum windows set into painted wood frames. Each sash has a single undivided lite. Both windows have sash locks.

Condition

The windows are in good condition.

Recommendation

Maintain existing windows W001 & W002.

See exterior conditions sections for more window recommendations.

Utilities

Various pipes and wiring run overhead, including piping and sprinkler heads for a fire suppression system.

Electrical

One flush mounted, linear florescent fixture illuminates the room.

See MEP report for additional information regarding plumbing, electrical and heating.



Photo 60: Chimney foundation on east wall in Room 014.



Photo 61: View west in Room 015, showing windows and cut out section of ceiling.

BASEMENT (LIBRARY)

The western section of the basement is used by the Somerville Branch of the Somerset County Library System of New Jersey. This portion of the basement is lower than that under Borough Hall.

Overall Recommendation

Dehumidifiers should be added throughout the basement to lower air moisture content which can lead to mold growth and deterioration of building materials and stored items, especially papers and books. *Immediate.*

ROOM 015

Open room with shelves of books and tables and chairs for reading. There are multiple rooms along the north wall and a room in the northwest corner separated by walls which do not fully extend to the ceiling. A small lift is at the east end of the room transports carts of books between the basement and first floor. Stairs connecting to the first floor are at the east end of the room.

Floor

Low pile, square carpet tiles over a concrete slab.

Condition

The carpeting is in good condition.

Recommendation

Maintain existing carpeting.

Walls/Foundations

The library foundation is made of poured concrete. The interior sides of the foundation have been finished with a textured paint. The rooms along the north wall have wood framed, painted, gypsum wall board walls, as does the stair and lift built-outs at the east wall.

There is a dark grey vinyl wall base along the room perimeter.

Condition

The walls are in good condition.



Photo 62: View east in Room 015.



Photo 63: View west in Room 015.



Photo 64: View northwest in Room 015.

The concrete used in the Library foundation is likely of a high strength and low porosity, and some kind of vapor barrier was likely installed at the exterior, so painting its interior is not much of a concern as it is in the Borough Hall section of the basement.

Recommendations

Maintain existing walls.

When the concrete foundations are repainted in the future, strip the existing paint and only use a vapor permeable, silicate mineral paint specifically designed for masonry.

Ceiling

Applied twelve-inch by twelve-inch white acoustical tiles. The ceiling does not conceal overhead utilities.

Conditions

The ceiling tiles are in good condition.

Recommendations

Maintain existing ceiling tiles. Monitor for leaks and mold.

Doors

A door in the southeast corner connects to Room 013. It is discussed in that room's description.

A door on the south wall connects to Room 014. It is discussed in that room's description.

A door on the south wall in the southwest corner of the room connects to a covered exterior stairwell. It is a painted door with one raised, hipped bottom panel and a four-light-sash in the top portion. The panel has molded profiles around its perimeter. It has a cross bar rim device and surface mounted vertical rod device. It is hung on its east side and swings into the stairwell. The door is surrounded by painted flat wood casing with applied perimeter molding. It is emergency exit door and connected to an alarm.

There is a door to a partitioned storage room in the northwest corner of the room. It is a stained, flat wood door with a round metal knob. The



Photo 65: East side of Room 015 showing stairs, book lift and door to Room 010.



Photo 66: Exterior door on south wall in Room 015.

door is hung at its north end by three, five-knuckle, button top butt hinges and swings into Room 015. The door is surrounded by painted flat wood casing.

Doors connecting to rooms on the north wall are discussed in those room's descriptions.

A door on the east wall connects to Room 010. A set of carpeted stairs leads up to the door, since the floor in Room 010 is at a higher elevation than that in Room 015. It is a stained, flat wood door with a round metal knob. The door is hung at its north end by three, five-knuckle, button top butt hinges and swings into Room 010.

Condition

The doors are in good condition.

Recommendation

Install one-hour fire rated door and frame at Room 010. *Long-term.*

Windows

There are four windows high up on the north (N008 - N011) and south walls (S006 - S009), just above the exterior grades. All are double-hung, black aluminum windows of contemporary construction. Each sash has a single undivided lite and every window has a sash lock. There are exterior painted metal security bars at every window. At one window on the north wall and two on the south, an air conditioning unit is installed in the lower sash opening.

Condition

The windows are generally in good condition, although the finish is beginning to fade and the bottom sealant between the aluminum and stone sill is failing.

Recommendation

Remove sealant and re-seal windows N-008 - N011 & S006 - S009. *Immediate.*

Stairs

A set of painted metal stairs at the east end of the room that connects to the first floor in Room 116. It is a U-shaped set of stairs created



Photo 67: Window air conditioning unit on north wall in Room 015.



Photo 68: Stair to first floor at east end of Room 015.

by two parallel flights of stairs connected by two intermediate landings of differing heights. The stairs have black vinyl tread covers. There are metal guardrails and handrails along either side of the stair.

Condition

The stairs are in good condition.

Recommendation

Maintain existing stairs.

Utilities

Various pipes and wiring run overhead and along the walls.

Electrical

Multiple pendant linear florescent fixtures arrayed in four rows illuminate the room.

HVAC

There is one window air conditioning unit on the north wall and two on the south. There are multiple fan coil units on the walls throughout the room.

See MEP report for additional information regarding plumbing, electrical and heating.



Photo 69: Piping and wiring below applied acoustical ceiling tile in Room 015.

ROOM 016 - DIRECTOR'S OFFICE

Room currently the Library Director's Office

Floor

Low pile carpet over a concrete slab.

Condition

The carpeting is in good condition.

Recommendation

Maintain existing carpeting.

Walls/Foundations

The perimeter concrete foundation is exposed on the north wall and is painted. The east, south and west walls are all wood framed and finished with painted gypsum wall board.

There is a dark grey vinyl wall base along the room perimeter.

Condition

The walls are in good condition.

The concrete used in the Library foundation is likely of a high strength and low porosity, and some kind of vapor barrier was likely installed at the exterior, so painting its interior is not much of a concern as it is in the Borough Hall section of the basement.

Recommendations

Maintain existing walls.

When the concrete foundations are repainted in the future, strip the existing paint, and only use a vapor permeable, silicate mineral paint specifically designed for masonry.

Ceiling

Applied twelve inch by twelve-inch white acoustical tiles. The ceiling does not conceal overhead utilities.

Conditions

The ceiling tiles are in good condition.

Recommendations

Maintain existing ceiling tiles. Monitor for

leaks and mold.

Doors

A door on the south wall connects to Room 015. It is a stained, flat, solid-core, wood door with an undivided sheet of glass in its top half. The door has a round metal knob and is hung at its east end by three, five-knuckle, button top butt hinges and swings into Room 016. The door is surrounded by painted flat wood casing with applied perimeter molding.

A door on the east wall connects to Room 017. It is a stained, flat, solid-core, wood door with a round metal knob. The door is hung at its north end by three, five-knuckle, button top butt hinges and swings into Room 017. The door is surrounded by painted flat wood casing with applied perimeter molding.

Condition

The doors are in good condition.

Recommendation

Maintain existing doors.

Windows

There are two windows high up on the north wall, just above the exterior grade. They are double-hung, black aluminum windows of contemporary construction. Each sash has a single undivided lite and both windows have a sash lock. There are exterior painted metal security bars at both windows. An air conditioning unit is installed in the lower sash opening of the west window.

Condition

The windows are generally in good condition, although the finish is beginning to fade and the bottom sealant between the aluminum and stone sill is failing.

Recommendation

Remove sealant and re-seal windows N-006 & N007. *Immediate.*

Utilities

Various pipes and wiring run overhead.

Electrical

Pendant linear florescent fixtures illuminate the room.

HVAC

There is one fan coil unit and one window air conditioning on the north wall.

See MEP report for additional information regarding plumbing, electrical and heating.

ROOM 017

Room currently used as a meeting room for Library staff.

Floor

Low pile carpet over a concrete slab.

Condition

The carpeting is in good condition.

Recommendation

Maintain existing carpeting.

Walls/Foundations

The perimeter concrete foundation is exposed on the north wall and is painted. The east, south and west walls are all wood framed and finished with painted gypsum wall board.

There is a dark grey vinyl wall base along the room perimeter.

Condition

The walls are in good condition.

The concrete used in the Library foundation is likely of a high strength and low porosity, and some kind of vapor barrier was likely installed at the exterior, so painting its interior is not much of a concern as it is in the Borough Hall section of the basement.

Recommendation

Maintain existing walls.

When the concrete foundations are repainted in the future, strip the existing paint, and only use a vapor permeable, silicate mineral paint specifically designed for masonry.

Ceiling

Applied twelve inch by twelve-inch white acoustical tiles. The ceiling does not conceal overhead utilities.

Conditions

The copper pipe installed at the north wall is uninsulated, allowing condensation to form on it which drips onto the carpeted floor.



Photo 70: View west in Room 017, showing the closet and door to Room 016.



Photo 71: View east in Room 017.



Photo 72: View north in Room 017. Note location of ceiling leak in center of photo.

A long rectangular portion of the ceiling tiles have been removed. A wire mesh has been installed to cover the opening and is held in place by metal tees. There is a gypsum wall board chase along the north wall above the ceiling. A hole has been cut into this chase to allow electrical conduit to be installed.

Recommendations

Maintain existing ceiling. Monitor for leaks and mold.

Insulate exposed copper pipe. *Immediate.*

Replace ceiling tiles that have been removed. *Short-term.*

Doors

A door on the west wall connects to Room 016. It is discussed in that room's description.

A door on the south wall connects to Room 015. It is a stained, flat, solid-core, wood door with an undivided sheet of glass in its top half. The door has a round metal knob and is hung at its east end by three, five-knuckle, button top butt hinges and swings into Room 017. The door is surrounded by painted flat wood casing with applied perimeter molding.

There are double doors on the closet discussed below.

Condition

The doors are in good condition.

Recommendation

Maintain existing doors.

Windows

There are no windows in this room.

Closet

A small closet is in the northwest corner of the room. The closet is accessed by two stained flat wood doors. The north door has a round metal knob and the south door likely has a flush bolt to keep it in place. Both doors are hung by three, five-knuckle, button top, butt hinges and swing



Photo 73: Wire mesh covering section of removed tiles at north end of ceiling. Source of leak at left.



Photo 74: Gypsum wall board chase behind ceiling. Cut to allow conduit installation.

into Room 017. The doors are surrounded by painted flat wood casing with applied perimeter molding.

Utilities

Various pipes and wiring run overhead. One dehumidifier is in the room.

Electrical

Two rows of pendant linear florescent fixtures illuminate the room.

Heating

There is one fan coil unit with two associated insulated pipes and a baseboard unit at the north wall.

See MEP report for additional information regarding plumbing, electrical and heating.

ROOM 018

Room currently used as a break room for Library staff. On the east wall, there is a kitchenette with cabinets and a counter, a refrigerator, a microwave, and a sink.

Floor

Square vinyl composite tile with neutral colors in a mottled texture above a concrete slab.

Condition

The flooring is in good condition.

Recommendation

Maintain existing flooring.

Walls/Foundations

The perimeter concrete foundation on the north wall is finished with painted plaster. The east, south and west walls are all wood framed and finished with painted gypsum wall board.

There is a dark grey vinyl wall base along the room perimeter.

Condition

The north wall is in poor condition. The other walls are in good condition.

There is water damage at two locations on the north wall: in the center, from the ceiling down, and in the bottom east corner by the refrigerator. There is paint loss and detachment at both locations and possible black mold growth at the center location. The adjacent ceiling tiles have also been stained at the center location.

The water damage in the corner of the wall could be caused by improper drainage of the refrigerator. The damage in the middle of the wall is more serious and could be coming from an opening in the building envelope.

Recommendations

Find and address the sources of the water infiltration. *Immediate.*

Install dehumidifier. *Immediate.*



Photo 75: View north in Room 018.



Photo 76: View east in Room 018, showing kitchenette and closet.



Photo 77: View south in Room 018.

Ceiling

Dropped ceiling of metal t bars and white rectangular acoustical tiles in a grid pattern. Recessed florescent light fixtures are integrated into the ceiling grid. The ceiling conceals overhead utilities.

Conditions

The dropped ceiling is overall in good condition. There is water staining on one tile at the center of the north wall. An adjacent tile appears to be a replacement, so there may have been water staining at that location as well.

Recommendations

Maintain existing dropped ceiling. Monitor for leaks and mold.

Find and address the sources of the water infiltration. Replace stained tile. *Immediate.*

Door

A door on the south wall connects to Room 015. It is a stained, flat, solid-core, wood door with a round metal knob. The door is hung at its west end and swings into Room 018. A painted metal louver in the bottom of the door allows ventilation. The door is surrounded by painted flat wood casing with applied perimeter molding.

There is a door to the closet discussed below.

Condition

The doors are in good condition.

Recommendation

Maintain existing doors.

Windows

There are no windows in this room.

Closet

A small closet is in the northwest corner of the room. The closet is accessed by two stained flat wood doors. The north door has a round metal knob and the south door likely has a flush bolt to keep it in place. Both doors are hung by three, five-knuckle, button top, butt hinges and swing



Photo 78: Water damage on north wall and staining on ceiling tile.



Photo 79: Water damage at bottom east corner of the north wall, by the refrigerator.

into Room 017. The doors are surrounded by painted flat wood casing with applied perimeter molding.

Utilities

Various pipes and wiring run overhead, but are concealed by the drop ceiling.

Plumbing

A stainless-steel sink is part of the kitchenette on the east wall.

Electrical

Two recessed florescent light fixtures integrated into the dropped ceiling grid illuminate the room.

Electrical panelboard centered on north wall.

Heating

There is one fan coil unit and two associated insulated pipes at the west wall.

See MEP report for additional information regarding plumbing, electrical and heating.

ROOM 019

Room currently used as a restroom for Library staff.

Floor

Two-inch square ceramic tile laid out in a uniform grid pattern with black grout joints.

Condition

The ceramic tile is in good condition.

Recommendation

Maintain existing flooring.

Walls

The perimeter concrete foundation on the north wall is finished with painted plaster. The east, south and west walls are all wood framed and finished with painted gypsum wall board. 202

Condition

The walls are in good condition.

Recommendation

Maintain existing walls.

Ceiling

Dropped ceiling of metal t bars and white rectangular acoustical tiles in a grid pattern. Recessed florescent light fixtures are integrated into the ceiling grid. The ceiling conceals overhead utilities.

Conditions

The dropped ceiling is in overall good condition. There is some rust on the frame at the north wall.

Recommendations

Maintain existing dropped ceiling. Monitor for leaks, mold, and moisture damage.

Door

A door on the south wall connects to Room 015. It is a stained, flat, hollow-core, wood door with a round metal knob. The door is hung at its west end by three, five-knuckle, button top butt hinges and swings into Room 019. The door is surrounded by painted flat wood casing with



Photo 80: View north in Room 019.



Photo 81: View south in Room 019.

applied perimeter molding. There is a marble threshold at the bottom of the doorway.

Condition

The door is in fair condition.

Recommendation

Refinish door. *Short-term.*

Windows

There are no windows in this room.

Plumbing

Two ceramic toilets are at the north end of the room. A white vanity top sink is at the south side of the room.

Electrical

Two recessed florescent light fixtures integrated into the dropped ceiling grid illuminate the room.

Install new exhaust fan. *Short-term.*

Heating

There is one fan coil unit and two associated insulated pipes at the west wall.

See MEP report for additional information regarding plumbing, electrical and heating.



Photo 82: View of doorways into Rooms 019 & 020 from Room 015.

ROOM 020

Utility room housing electrical control equipment.

Overall Recommendation

Because of the large amount of electrical equipment housed in this small space, it is recommended that the room no longer be used as a janitor's closet. The utility sink should be removed, and its piping disconnected. Any overhead water piping should be rerouted through Room 015. This all should be done to make the space code compliant by providing proper clearances and reducing the risk of fire caused by leaking or burst water piping.

Floor

Unpainted concrete slab.

Condition

The concrete slab is in good condition.

Recommendation

Maintain existing unfinished floor.

Walls

The perimeter concrete foundation is exposed and unfinished at the north and east walls. The south and west walls are wood framed walls with gypsum wall board only on their exterior faces. The interior sides of those walls are unfinished and wood studs are exposed.

The masonry foundation of the northwest tower of Borough Hall is exposed in the southeast corner of the room. When the library was constructed, a concrete base was poured to underpin the tower foundation. There is wood framing around the foundation, but no finish material has been applied.

Condition

The walls are in good condition. Since it is a utility space, there is no need to finish the walls.

Recommendation

Maintain existing unfinished walls.



Photo 83: View south in Room 020, showing electrical service equipment at left and unfinished west wall to the right.



Photo 84: Masonry foundation of northwest tower of Borough Hall in southeast corner of room 020.



Photo 85: Wiring, piping, and duct at ceiling and walls in Room 020.

Ceiling

There is no finish ceiling in this room. The first-floor wood joists and wood plank subflooring are exposed.

Conditions

The ceiling is in good condition. Since it is a utility space, there is no need to finish the ceiling.

Recommendation

Maintain existing unfinished ceiling.

Door

A door on the south wall connects to Room 015. It is a two panel, painted, stile-and-rail wood door with flat panels. The panels have molded profiles around their perimeters. The door has a round metal knob with a skeleton keyhole. The door is hung at its east end by two, five-knuckle, ball top, butt hinges and swings into Room 015. A slide bolt is fastened to the outer face of the upper part of the door. The door is surrounded by painted flat wood casing with applied perimeter molding. There is a marble threshold at the bottom of the doorway.

Condition

The door is in good condition.

Recommendations

Maintain existing door.

Install keyed lock hardware on door to prevent unauthorized entry. *Immediate.*

Windows

There are no windows in this room.

Plumbing

A utility sink is on the east wall. A sump pit is in the floor at the north end of the room, but no pump is installed. The pit itself is dry.

Electrical

The main distribution panel is on the north wall. There are numerous other electrical panelboards and electrical service equipment on the north and east sides of the room.



Photo 86: Electrical service equipment throughout, utility sink on west wall and unused sump pump pit on floor in Room 020.



Photo 87: Electrical service equipment on north and east walls in Room 020.

FIRST FLOOR (BOROUGH HALL)

ROOM 100 - MAIN ENTRY

Referred to as the “reception room” when the building was a private residence, this room is the main entry of Borough Hall connecting to the stair hall and to the large rooms flanking it to the north and south. There is a small vestibule between the entrance porch and the main room. There are alcoves in the west corners of the room and small closets in the east corners, flanking the vestibule. Much of the room’s historic fabric has been retained, even as contemporary materials have been introduced such as carpeting and HVAC and electrical equipment.

Floor

Historic wood parquet floor in both the main room and vestibule. Double floors were laid through the house, with heavy felt between the flooring. Contemporary red carpet is fixed in the center of room and a moveable floor mat in the vestibule. The carpet is offset about a foot from the room perimeter, to reveal the historic floor beneath.

Condition

The historic wood floor is in good condition overall in the main room and in fair condition in the vestibule. The floor finish has been abraded and totally lost at the north glass entry door, exposing bare wood. The floor has some general wear in the vestibule. The wood boards at the base of the south alcove are dry and shrunken, caused by a previous radiator that was removed.

The carpet is in fair condition and is becoming worn along paths of high foot traffic.

Recommendations

Maintain carpeting as it protects the historic wood floor from abrasion by foot traffic. Replace carpeting as needed. Consider installing additional supportive backing to protect the historic wood floor the next time the carpeting is replaced. Use only mechanical fasteners to install carpeting. Do not use liquid adhesives. Survey the historic



Photo 88: View south in Room 100 into Room 102.



Photo 89: View north in Room 100 into Room 103.



Photo 90: View east in Room 100 showing vestibule and flanking closets.

wood floor below the next time the carpeting is replaced.

Replace carpeting with appropriate floor covering. Cover currently exposed areas at main entrance doors and archway. *Immediate.*

Refinish wood parquet floor. Consider doing so in conjunction with replacement of existing carpeting. *Short-term.*

Walls

Painted plaster. A photo taken when the building was owned by the Elks shows the walls in this room were painted, and possibly textured, to imitate rectangular stonework. Based on the finishes analysis, this was not the original finish scheme.

The west corners of the room are angled and pointed alcoves with wood bases are set into them.

The walls creating the vestibule are contemporary, added to create a buffer between the interior and exterior climates.

Condition

The walls are in good condition.

Recommendations

Restore historic paint scheme based on finishes analysis. *Short-term.*

Ceiling

Flat, painted plaster ceiling with Gothic style rectilinear painted plaster ribbing with pendants extending onto the walls, ending in decorative bosses with a foliage design. There is also a small plaster crown molding around the ceiling perimeter. The flat portion of the ceiling is painted white, and the ribbing and crown moldings are painted brown.

There is a large painted mural in the center of the ceiling depicting a woman with doves and cherubs. The mural is original to the building and was painted by Orville Lance, the brother-in-law of Daniel Robert.



Photo 91: View west in Room 100 into Room 101.

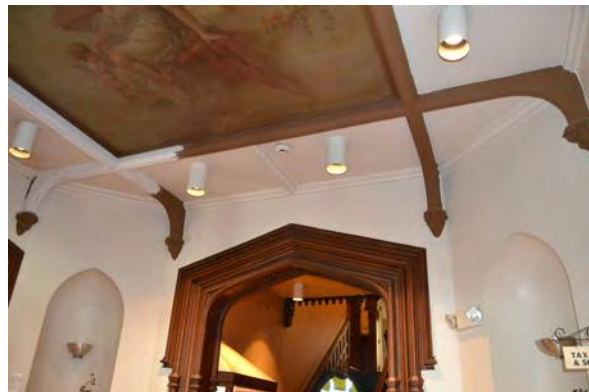


Photo 92: Alcoves on the west wall and ribbing and mural on the ceiling in Room 100.

Conditions

The ceiling is in good condition overall. There is some water staining in the southeast corner of the ceiling above the door to Room 102. Only part of the ribbing was repainted a historic brown.

Recommendations

Inspect stained area of ceiling. Find and address and sources of leaks. *Immediate.*

Finish painting ribbing and crown molding. *Short-term.*

Restore ceiling mural. Restore historic paint scheme based on finishes analysis. *Short-term.*

See Section VIII of the Preservation Plan for a more detailed assessment of the mural.

Doors

A set of double doors on the east side of the room connects to the vestibule. They are made of single, undivided sheets of glass held by bronze top and bottom rails which connect to pivot hinges. The doors swing into the vestibule. Both doors have one very large circular bronze pull. A bronze threshold is along the bottom of the doorway.

A set of double doors at the east wall within the vestibule connect to the east porch. They are discussed in the east elevation description.

Doors to the closets are described below.

Identical sets of non-historic double doors on the north and south walls connect to Rooms 103 and 102, respectively. They are stile-and-rail wood doors which hold large sheets of undivided glass. There are stained wood moldings around the glass to hold the sheets in place. At each set of doors, one door has a round metal knob while the other likely has a flush bolt to keep it in place. Both doors are hung by three, five-knuckle, button top, butt hinges and swing into Room 100.



Photo 93: Arched alcove in northwest corner of Room 100.



Photo 94: Staining on southwest corner of ceiling in Room 100.

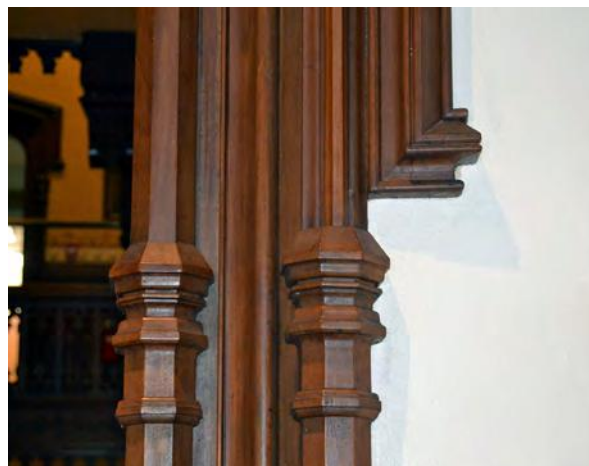


Photo 95: Detail of stained wood surround of pointed arched openings in Room 100.

Originally, the Tudor archways were open and did not have doors. Instead, drapes provided privacy as needed and were held at either side of the archway by rope tiebacks when not in use. Once the building became Borough Hall, contemporary rectangular doors were added, and the top of the arch infilled with glass to create separate office spaces.

Condition

The doors are in good condition.

Recommendation

Provide new all glass door between entry and stair hall, per security plan currently being developed. Use same design for new doors at two side offices. *Short-term.*

Windows

There are no windows in this room.

Closets

Small closets flank the vestibule on the east side of the room. The closets were likely angled as the west corners of the room are, but were reconfigured. Each closet has a stained, stile-and-rail, wood door made of black walnut with two-over-two flat panels of differing heights which have applied wood moldings around their perimeters. The doors have Gothic arch tops and Gothic-style tracery at the tops of their two upper panels. The doors have round brass knobs and are hung by two, two-knuckle, ball-top, butt hinges. The doors swing out into Room 100.

The closet doors, their hardware, and their surrounding trim all appear original.

Millwork

There is a fourteen-inch-high stained wood baseboard around the perimeter of the room made of black walnut. The baseboards are capped with a molding and have a quarter-round shoe molding.

Elaborate, Gothic-style, stained, black walnut trim surrounds the Tudor archways to the three connecting rooms and around the closet doors.



Photo 96: Shrunken boards in southwest corner of Room 100.

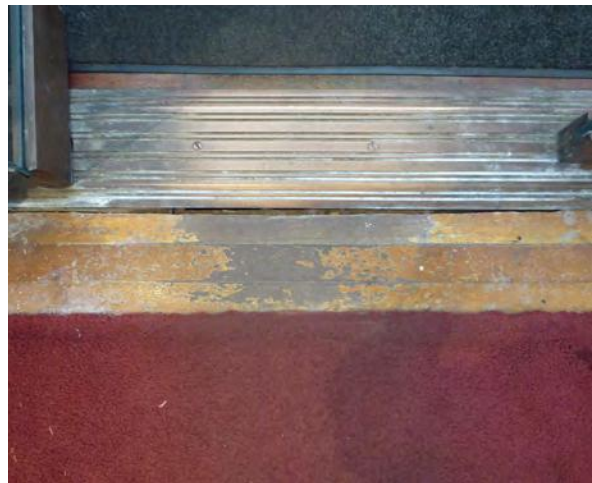


Photo 97: Worn floorboards at entry door in Room 100.



Photo 98: Historic photo showing stonework painted on walls and historic lamp in alcove in Room 100.

All the millwork in this room appears original and matches the design of that retained throughout the main section of the building.

Condition

The wood millwork is in good condition.

Recommendation

Maintain existing millwork.

Electrical

Six metal cylinder ceiling fixtures illuminate the room. Each alcove has an upward-facing wall sconce made of brushed metal. An exit sign and security camera are above the main entry, a smoke detector is in the ceiling and a fire pull is on the north side of the vestibule. All are modern additions.

Recommendation

Provide new, more architecturally sensitive lighting scheme in conjunction with restoration of historic finishes. *Short-term.*

Heating

A fan coil unit is set into the southwest corner of the room and into the north side of the vestibule. A supply grate is in the wood base of the southwest alcove above.

See MEP report for additional information regarding plumbing, electrical and heating.

ROOM 101 - STAIR HALL

Hall in the center of the building connecting all sections on the first floor and having a stair that connects to the second floor of the rear and main sections. Much of the room's historic fabric has been retained, even as contemporary materials have been introduced such as carpeting and HVAC and electrical equipment.

Floor

Contemporary red carpet installed above a finished wood floor. The wood floor is made of narrow tongue-and-groove boards and may have been installed after the 1980 fire. Originally, double floors were laid through the house, with heavy felt between the flooring. The carpet is offset about a foot from the room perimeter, to reveal the floor beneath.

Condition

The wood floor appears to be in good condition, but could not be fully assessed because of the carpeting.

The carpet is in fair condition and is becoming worn along paths of high foot traffic.

Recommendations

Maintain carpeting as it protects the historic wood floor from abrasion by foot traffic. Replace carpeting as needed. Use only mechanical fasteners to install carpeting. Do not use liquid adhesives. Survey the historic wood floor below the next time the carpeting is replaced.

Walls

Painted flat plaster with elaborate, stained wood wainscotting. Some of the plaster is original and other portions date from after the 1980 fire. Wood paneled wainscot lines the base of the walls and is described more below.

At the south wall at the bottom of the stairs is a reception desk that protrudes from the wall. It was installed after the 1980 fire, replacing a historic doorway into the dining room (Room 104). It has a rectangular shape with chamfered corners. The desk counter matches the height



Photo 99: View west in Room 101 prior to 2014 restoration.

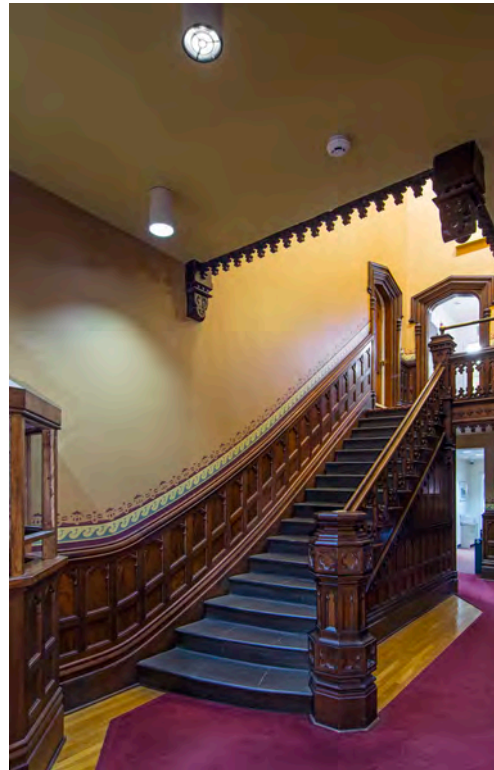


Photo 100: Grand central staircase in Room 101.

of the historic wainscoting. The wainscoting continues around the reception booth and is a closely matched reproduction. The booth has a painted gypsum wall board ceiling and a “roof” of the same material that terminates onto the south wall.

Condition

The plastered sections of the walls are in good condition. In 2014, the walls were painted in a historic paint scheme based on a paint analysis.

Recommendations

Maintain existing walls. Future security doors with video interface will likely eliminate the need for the reception booth. Consider removal or introduction of doors into Room 104 depending on the proposed use of this space.

Ceiling

Painted flat plaster or gypsum wall board installed after the 1980 fire.

Condition

The ceiling is in overall good condition. There are some small cracks in two locations at the stair opening.

Recommendation

Maintain existing ceiling.

Doors

Two doors on the north wall connect to Rooms 112 and 113. A door on the south wall at the intermediate landing on the staircase connects to Room 202. There is also a doorway without a door on the west wall of this landing connecting to Room 211. These doors discussed in in their respective room descriptions.

A door beneath the main stair connects to the basement stair. It is a stained, flat wood door with brass kick plates that is hung from a metal frame on its south side and swings into Room 101. The door is non-historic.

A door on the west wall originally connected to



Photo 101: View of Room 100 from staircase landing prior to 2014 restoration.



Photo 102: Reception booth and archway into main entry at east end of Room 101.



Photo 103: View west in Room 101, showing door which originally connected to the rear porch and hall to rear section of building.

the rear porch. When the Elks constructed their addition, now the Library, in 1939, the doorway was filled in, but the original door was retained, and its hardware removed. It is a stained, stile-and-rail wood door with a flat top, unlike most of the historic doors. It has a flat upper panel below which is a row of three squared quatrefoil inserts and another row of three, pointed trefoil arch inserts.

Condition

The door to the basement, and the fixed west door are both in good condition.

Recommendation

Retain existing doors.

Millwork

Elaborate, Gothic-style, stained, black walnut trim surrounds the Tudor archway to the main entry and around the north and west doorways.

Stained wood paneled wainscot made of black walnut lines the room and continues along the staircase. It has trefoil arch inserts and a crown molding.

Along the bottom of the wainscoting is a fourteen-inch-high stained wood baseboard also made of black walnut. The baseboards are capped with a molding and have a quarter-round shoe molding.

All the millwork in this room appears original, except for that around the receptionist's booth, and matches the design of that retained throughout the main section of the building.

Condition

The millwork is in good condition.

Recommendation

Maintain existing millwork and wainscot.

Stair

A grand staircase to the second floor begins along the south wall. It is constructed of wood treads and risers in two parallel flights connected by an intermediate landing, creating a U-shaped



Photo 104: Cracks on ceiling at stair opening in Room 101.



Photo 105: Typical wainscot in Room 101 and along staircase.



Photo 106: Carved newel post, railing and other elaborate woodwork on staircase.

set of stairs. The bottom flight has many more steps than the top flight and is flared at the end. The elaborate woodwork along the stair is a Gothic style similar to that throughout the building. Pendants drop down from posts and carved floral ornamentation hangs along the outline of the stair opening. A large, octagonal, carved wood newel post is at the bottom flight has quatrefoil and pointed trefoil arch inserts. Originally, a light fixture, like that retained at the intermediate landing, rose out of the newel post.

The intermediate landing connects to the second floor of the rear section and to a room in the southwest tower. The stair continues and its top flight connects to the second floor of the main section. A contemporary brass tube railing was added at the landing above the historic wood railing to guard against falls.

The wood steps have non-slip rubber covers and new carpeting was installed on the intermediate landing in 2014 atop tongue-and-groove wood floorboards.

Conditions

The staircase is in overall good condition.

Some of the trefoil wood details along the stair railing are loose. There are some cracks in the wood at the top of the post at the top of the first flight of stairs.

The original finish on the brass railing at the intermediate landing is worn from use.

The previous carpeting on the landing was installed using an adhesive applied across the entire surface of the wood flooring. The floorboards themselves appeared in good condition, but they would be difficult to restore if that is desired in the future.

Recommendations

Maintain step covers and carpeting as they protect the historic staircase from abrasion by foot traffic. Consider replacing the step covers with a carpet runner.



Photo 107: Wood floor of landing exposed during carpet installation in 2014.



Photo 108: View of staircase flights and connecting landing from Room 201.

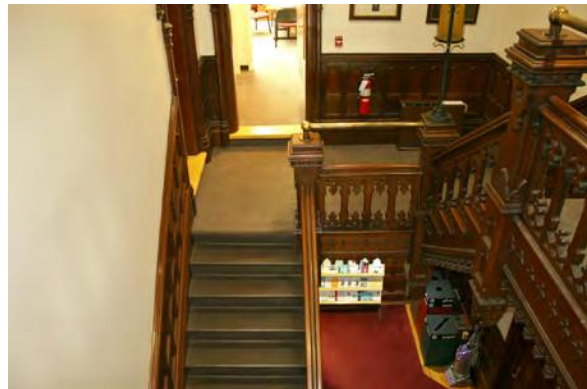


Photo 109: View of staircase flights and connecting landing from Room 201.

Glue or fasten loose trefoil details. *Short-term.*

Refinish brass railing at landing. *Long-term.*

Plumbing

There is a boxed plumbing chase in the southwest corner.

Electrical

Metal cylinder fixtures at the first-floor ceiling illuminate the room. An original wrought iron lamp with a pale gold colored glass shade rises out the railing post at the intermediate landing

Recommendations

The ceiling fixtures are in good condition, but they are dated and do not provide adequate illumination for the space. Provide architecturally sensitive lighting scheme consistent with lighting in the entry.

Historically, a lamp, likely matching that at the intermediate landing, was also installed at on the newel post at the bottom of the stairs. Consideration should be given to reinstalling a replication lamp at that location.

Heating

A fan coil unit is in the southwest corner and on the intermediate landing of the staircase.

See MEP report for additional information regarding plumbing, electrical and heating.



Photo 110: Wrought iron lamp at staircase landing.



Photo 111: Location of previous lamp on newel post at bottom of stair.

ROOM 102

Large rectangular room on the south side of the main entry room (Room 100), with a canted bay area at its south end. It is currently used as office space for the Borough. Referred to as the “parlor” when the building was a private residence. Much of the room’s historic fabric has been retained, even as contemporary materials have been introduced such as carpeting and HVAC and electrical equipment.

Floor

Low pile, grey carpeting fully covers the floor. There is likely a historic wood parquet floor beneath. Originally, double floors were laid through the house, with heavy felt between the flooring.

Condition

The carpet is in good condition.

Recommendations

Maintain carpeting as it protects the historic wood floor from abrasion by foot traffic. Replace carpeting as needed. Consider installing additional supportive backing to protect the historic wood floor the next time the carpeting is replaced. Use only mechanical fasteners to install carpeting if there is historic flooring beneath. Do not use liquid adhesives. Survey the historic wood floor below the next time the carpeting is replaced.

Walls

Painted plaster. There is a painted plaster picture rail around the room level with the bosses at the ends of the ribbing pendants. A Tudor archway on the north wall connects to Room 100 and another on the south wall connects to a canted bay.

Condition

The walls are in overall good condition. There are some minor cracks.

Recommendation

Restore historic paint scheme based on finishes analysis. *Long-term.*



Photo 112: View into Room 102 from Room 100.



Photo 113: Rib pendant with foliage corbel and picture rail in Room 102.



Photo 114: Mahogany trim around archway on north wall connecting to Room 100.

Ceiling

Painted plaster flat ceiling with Gothic style, rectilinear, painted plaster ribbing with pendants extending onto the walls, ending in decorative bosses with a foliage design. There is also a small crown molding around the ceiling perimeter.

Painted fiberboard panels have been attached between the ribbing, covering up the historic ceiling.

Conditions

The ceiling is overall in good condition. There are some minor cracks, particularly at the ribbing.

Recommendations

Remove fiberboard panels. Restore historic paint scheme based on finishes analysis. *Long-term.*

Doors

A set of non-historic double doors has been installed in the north archway connecting to Room 101. They are discussed in that room's description.

A door at the north end of the west wall connects to Room 104. It is a stile-and-rail, stained wood door with three-over-three raised hipped panels of differing heights on either side of the door. The door has round metal knobs with a keyed lock above. The door is hung on its north side and swings into Room 102. The doorway is not original to the building, and was installed at unknown later date.

Condition

The door on the west wall is in good condition.

Recommendation

Maintain existing door.

Windows

There are three, one-over-one, single-hung, wood-framed sash windows on the canted bay on the south wall. The bottom sash are rectangular and the top sash have ogee arch tops. Four small



Photo 115: Windows in canted bay on south wall in Room 102.



Photo 116: Interior shutters on south windows in Room 102.



Photo 117: Baseboard and base of trim around south archway in Room 102.

lancet windows are above each arch and have stained glass. Each window has a metal sash lock and chains with pulleys connected to weights. Each bottom sash also has two metal hand pulls recessed into its bottom rail.

There are two, one-over-one, single-hung, wood-framed sash windows centered on the east wall in recessed openings. Both sash of each window are rectangular. The top sash has a decorative arched top. Each window has a metal sash lock and chains with pulleys connected to weights. Each bottom sash also has two metal hand pulls recessed into its bottom rail.

Each window has four sets of shutters, two on either side, one on top of the other, to fully cover the window opening. They are folding interior shutters with operable louvers made of stained mahogany. The shutters are held to each other and to the window frame by small butt hinges. There is one metal pull on the outer side of each set of shutters and a keep and flat latch holds the two sets of shutters closed. The shutters fold into pockets on either side of each window.

The windows and shutters all appear original.

Conditions

The windows are in good condition. All windows in this room were restored in 2016.

Recommendations

Clean and condition interior shutters. Trim and adjust shutters and hardware so shutters operate smoothly and fully fold into window pockets. *Long-term.*

Millwork

There is a fourteen-inch-high stained wood baseboard around the perimeter of the room made of mahogany. The baseboards are capped with a molding and have a quarter-round shoe molding.

Under the east windows there are stained mahogany panels with trefoil arch inserts similar to the stair hall wainscot. There are also stained mahogany panels under the south windows with



Photo 118: Fireplace on west wall in Room 102.



Photo 119: Detail of painted plaster fireplace surround in Room 102.

recessed square inserts.

Elaborate, Gothic-style, stained, mahogany trim surrounds the Tudor archways.

Simple stained wood trim surrounds the west doorway.

All the millwork in this room appears original and matches the design of that retained throughout the main section of the building.

Condition

The millwork is in good condition.

Recommendation

Maintain existing millwork.

Fireplace

Centered on the west wall is a fireplace with a painted plaster surround and mantle and a hearth. The mantel and surround have a Gothic-style design with floral motifs. The firebox has a Tudor arch opening and has not been closed off. The fireplace and its components all appear original.

Condition

The fireplace is in good condition.

The flue likely remains open at this floor inside the firebox.

Recommendation

Close flue at first floor to prevent chimney effect. *Long-term.*

Electrical

Flush-mounted rectangular ceiling fixtures illuminate the room.

A pendant, five-blade fan is centered on the ceiling.

Heating

One fan coil unit is in on the east wall, north of the windows and a different kind of fan coil unit is on the south wall, west of the windows.

See MEP report for additional information regarding plumbing, electrical and heating.

ROOM 103

Large rectangular room on the north side of the main entry room (Room 100), with a canted bay area at its north end and connected to the tower at its southeast corner. It is currently used as office space for the Borough. Referred to as the “drawing room” when the building was a private residence. Much of the room’s historic fabric has been retained, even as contemporary materials have been introduced such as carpeting and HVAC and electrical equipment.

Floor

Low pile, grey carpeting fully covers the floor. There is likely a historic wood parquet floor beneath. Originally, double floors were laid through the house, with heavy felt between the flooring.

Condition

The carpet is in good condition.

Recommendations

Maintain carpeting as it protects the historic wood floor from abrasion by foot traffic. Replace carpeting as needed. Consider installing additional supportive backing to protect the historic wood floor the next time the carpeting is replaced. Use only mechanical fasteners to install carpeting if there is historic flooring beneath. Do not use liquid adhesives. Survey the historic wood floor below the next time the carpeting is replaced.

Walls

Painted plaster. A Tudor archway on the north wall connects to Room 100 and another on the south wall connects to a canted bay.

Condition

The walls are in overall good condition. There are some minor cracks, especially on the east wall.

Recommendation

Restore historic paint scheme based on finishes analysis. *Long-term.*



Photo 120: View into Room 103 from Room 100.



Photo 121: White maple trim around archway on south wall connecting to Room 100.



Photo 122: Tudor archway and windows in canted bay on north wall in Room 103.

Ceiling

Painted plaster flat ceiling with Gothic style, rectilinear, painted plaster ribbing with pendants extending onto the walls, ending in decorative bosses with a foliage design. There is also a small crown molding around the ceiling perimeter.

Conditions

The ceiling is overall in good condition. There are some minor cracks. Paint is peeling in the northeast corner.

Recommendations

Monitor area of peeling paint.

Restore historic paint scheme based on finishes analysis. *Long-term.*

Doors

A set of non-historic double doors has been installed in the south archway connecting to Room 101. They are discussed in that room's description.

A door on the east wall connects to Room 1ST-2 in the northeast stair tower. It is a stained, stile-and-rail, wood door with three-over-three flat panels of differing heights which have applied wood moldings around their perimeters. The door has a Tudor arch top and Gothic-style tracery at the top of its three upper panels. The wood veneer and moldings on the door are white maple. The door has round brass knobs and a small dead bolt. It is hung by two, two-knuckle, ball-top, butt hinges and swings into Room 1ST-2. The stair tower door, its hardware, and its surrounding trim all appear original.

Conditions

The tower door is in fair condition.

The bottom panels have been removed and a metal louvered ventilation panel installed.

The wood veneer throughout has cracks, possibly caused by shrinkage as the wood dried out. The wood veneer panel at the top of the door has two cracks and an area of loss on the side facing Room 103 and a crack on



Photo 123: Window and interior shutters on east wall in Room 103.

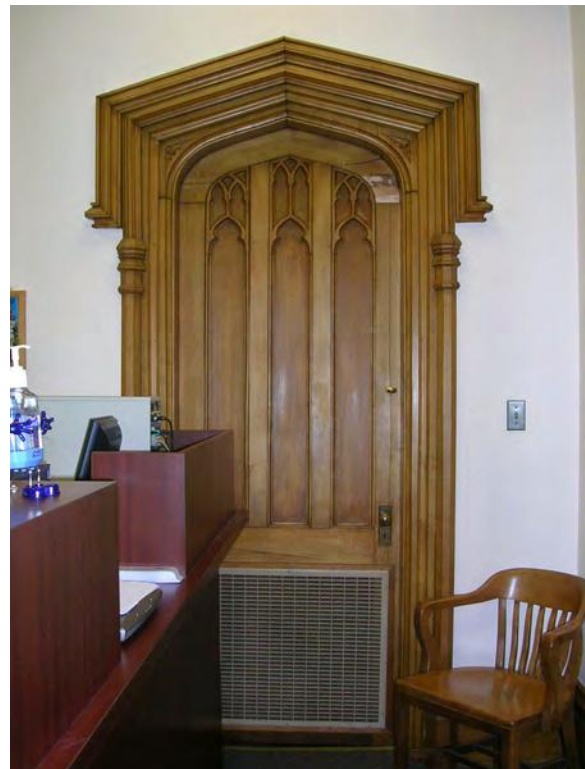


Photo 124: White maple door and trim on east wall connecting to stair tower in Room 103.

the side facing the tower. The veneer around the cracks has detached from the door core.

The top hinge has pulled away from the door jamb, causing a crack in the jamb. The top of the door slants to the other side of the doorway creating abrasion.

Recommendations

Replace top wood veneer on the side facing Room 103 of door to stair tower. Reattach top wood veneer on tower side of door. Reinstall top hinge. Condition woodwork. *Short-term.*

Windows

There are three, one-over-one, single-hung, wood-framed sash windows on the canted bay on the north wall. The bottom sash are rectangular and the top sash have ogee arch tops. Four small lancet windows are above each arch and have stained glass. Each window has a metal sash lock and chains with pulleys connected to weights. Each bottom sash also has two metal hand pulls recessed into its bottom rail.

There are two, one-over-one, single-hung, wood-framed sash windows centered on the east wall in recessed openings. Both sash of each window are rectangular. The top sash has a decorative arched top. Each window has a metal sash lock and chains with pulleys connected to weights. Each bottom sash also has two metal hand pulls recessed into its bottom rail.

Each window has four sets of shutters, two on either side, one on top of the other, to fully cover the window opening. They are folding interior shutters with operable louvers made of stained mahogany. The shutters are held to each other and to the window frame by small butt hinges. There is one metal pull on the outer side of each set of shutters and a keep and flat latch holds the two sets of shutters closed. The shutters fold into pockets on either side of each window.

The windows and shutters all appear original.



Photo 125: Cracks and area of loss on top wood veneer of door stair tower in Room 103.



Photo 126: Hinge pulled away from jamb, causing a crack on door to stair tower in Room 103.



Photo 127: Abrasion and detached top wood veneer on door to stair tower in Room 103.

Conditions

The windows are in good condition. The north windows and north window on the east elevation were restored in 2016. The south window on the east elevation was restored in 2010.

Recommendations

Clean and condition interior shutters. Trim and adjust shutters and hardware so shutters operate smoothly and fully fold into window pockets. *Long-term.*

Millwork

There is a fourteen-inch-high stained wood baseboard around the perimeter of the room made of white maple. The baseboards are capped with a molding and have a quarter-round shoe molding.

Under the east windows there are stained mahogany panels with trefoil arch inserts similar to the stair hall wainscot. There are also stained mahogany panels under the south windows with recessed square inserts.

Elaborate, Gothic-style, stained, mahogany trim surrounds the Tudor archways and tower door.

All the millwork in this room appears original and matches the design of that retained throughout the main section of the building.

Condition

The millwork is in good condition.

The peak of the molding above the south archway has been cut off.

Recommendation

Maintain existing millwork.

Electrical

Flush-mounted rectangular ceiling fixtures illuminate the room.

Heating

There is one fan coil unit below each window on the east wall.

See MEP report for additional information regarding plumbing, electrical and heating.

ROOM 1ST-1

First floor room in the northeast stair tower, connected to Room 103 and the main entry porch. It is currently used as storage space by the Borough. A spiral staircase connects all levels in the tower.

Floor

Painted wood floor. Originally, double floors were laid through the house, with heavy felt between the flooring.

Condition

The wood floor is in good condition.

Recommendation

Maintain existing wood floor.

Walls

Painted plaster.

Condition

The walls are in overall good condition. There are some cracks and two areas of loss: one along the stair and another just above the baseboard behind the door to Room 103.

Recommendations

Rout and fill cracks. Patch areas of loss. Paint walls. *Long-term.*

Ceiling

Painted plaster.

Conditions

The ceiling is overall in good condition. There are some minor cracks at the transitions between the flat and sloped sections of the ceiling at the staircase. There are also a couple cracks in the northwest corner of the room around the two pipe penetrations.

Recommendations

Rout and fill cracks. Install plaster buttons along cracks at staircase. Paint ceiling. *Long-term.*



Photo 128: Cracks on ceiling at transition between flat and sloped sections at staircase.



Photo 129: Cracks in ceiling around pipes.

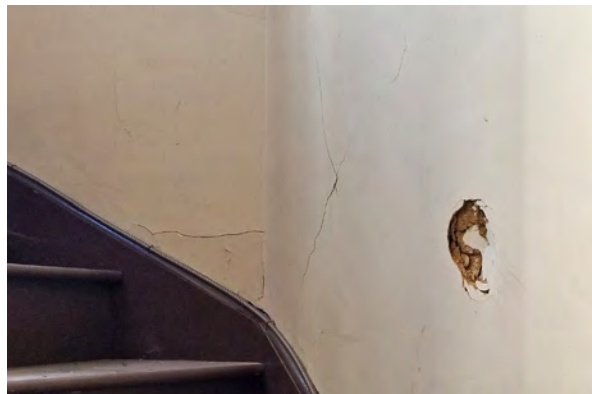


Photo 130: Cracks and loss on wall at staircase.

Doors

A door at the west wall connects to Room 103. It is discussed in that room's description.

A door at the south wall connects to the main entry porch. It is discussed in the east elevation description.

A door at the east end of room below the spiral stair connects to basement section of the stair. It is a stained, stile-and-rail, wood door with three-over-three flat panels of differing heights which have applied wood moldings around their perimeters. The door has a Tudor arch top and Gothic-style tracery at the top of its three upper panels. The door has a round brass knob and is hung by two, two-knuckle, ball-top, butt hinges and swings into the room. The door, its hardware, and its surrounding trim all appear original.

Condition

The basement door is in good condition.

Recommendation

Maintain existing basement door.

Windows

There is one, one-over-one, single-hung, wood-framed sash window on the north wall. Both sash of the window are rectangular. The top sash has a decorative arched top. The window has a metal sash lock and chains with pulleys connected to weights. The bottom sash has two metal hand pulls recessed into its bottom rail.

There are two, narrow, rectangular multi-light diamond pane single-hung wood windows following the spiral stair at this level.

The windows appear original.

Conditions

The windows are in good condition. The north window was restored in 2016. The staircase windows were restored sometime after 2010.



Photo 131: Cracks and areas of loss on wall behind door connecting to Room 103.



Photo 132: Painted wood floor.

Millwork

There is a simple wood baseboard around the perimeter of the room.

Elaborate, Gothic-style, stained, wood trim surrounds the door and window openings.

All the millwork in this room appears original and matches the design of that retained throughout the main section of the building.

Condition

The millwork is in good condition.

Recommendation

Maintain existing millwork.

Stairs

Wood spiral stairs at the east end of the room connects to a landing at the second floor. The stairs are painted brown and have no protective covering.

Condition

This portion of the tower stairs is in good condition.

Recommendation

Maintain existing stairs.

Electrical

There is one, surface-mounted, exposed single-bulb, fixture on the ceiling.

Heating

There is one fan coil unit below the north window.

Utilities

Various pipes and wiring run along the walls and ceilings in this room.

See MEP report for additional information regarding plumbing, electrical and heating.



Photo 133: Door connecting to Room 103.

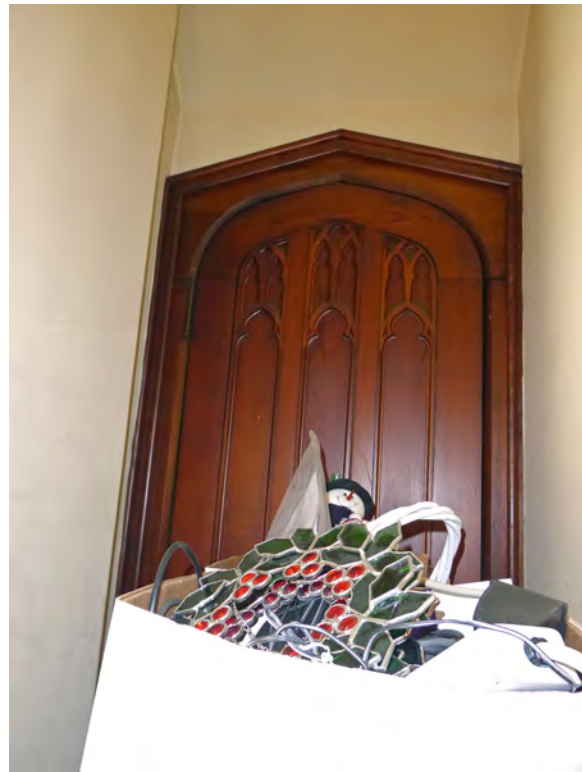


Photo 134: Door connecting to basement.

ROOM 104

Large rectangular room on the south side of the stair hall (Room 101) currently used as office space by the Borough. Much of the room's historic fabric has been retained, even as contemporary materials have been introduced such as a drop ceiling and carpeting. One significant alteration is the addition of a reception desk on the north wall at the northeast corner of the room where a door was originally. This was the dining room when the building was a private residence.

Floor

Low pile, grey carpeting fully covers the floor. There is likely a historic wood parquet floor beneath.

Condition

The carpet is in good condition.

Recommendations

Maintain carpeting as it protects the historic wood floor from abrasion by foot traffic. Replace carpeting as needed. Use only mechanical fasteners to install carpeting if there is historic flooring beneath. Do not use liquid adhesives. Survey the historic wood floor below the next time the carpeting is replaced.

Walls

Painted flat plaster with elaborate, stained wood wainscoting.

At the north wall in the northeast corner of the room is a reception desk that protrudes from the wall. It was installed after the January 1980 fire, replacing a historic doorway into the stair hall (Room 101). It has a rectangular shape with chamfered corners. The desk counter matches the height of the historic wainscoting. The wainscoting continues around the reception booth and is a closely matched reproduction. The booth has a painted gypsum wall board ceiling and a "roof" of the same material that terminates onto the south wall.

Condition

The walls are in overall good condition.



Photo 135: View east in Room 104.



Photo 136: View west in Room 104.



Photo 137: Windows on south wall in Room 104.

Recommendations

Restore historic paint scheme based on finishes analysis. *Long-term.*

Future security doors with video interface will likely eliminate the need for the reception booth. Consider removing it or install door(s) at opening depending on the proposed use of this space.

Ceiling

Dropped ceiling of metal t bars and rectangular acoustical tiles in a grid pattern, likely concealing a Gothic-style ribbed ceiling behind similar to that in Rooms 102 & 103. Florescent light fixtures are included in the ceiling grid.

The ceiling overall is quite high, and the historic ceiling was not viewed during our survey, so its condition was not assessed.

Condition

The dropped ceiling is in good condition.

Recommendations

Remove dropped ceiling and florescent fixtures. Restore historic ceiling as needed. Install new light fixtures. *Long-term.*

Doors

A door at the north end of the east wall connects to Room 102. It is discussed in that room's description.

A door at the north end of the west wall connects to Room 114 and another at the south end of that wall connects to Room 105. Both are stained, stile-and-rail, wood door with three-over-three flat panels of differing heights which have applied wood moldings around their perimeters. The doors have Tudor arch tops and Gothic-style tracery at the top of their three upper panels. The wood veneer and moldings on the doors are white oak. The doors have round brass knobs and are hung by two, two-knuckle, ball-top, butt hinges and swing into Room 104. The doors, their hardware, and their surrounding trim all appear original.



Photo 138: Reception desk in northeast corner of Room 104.



Photo 139: Doorway into Room 115 with half door and showing ventilation panel on historic door.



Photo 140: Veneer detached at top of door connecting to Room 115.

A small, half-sized flat wood door is in the doorway connecting to Room 114. It has a round metal knob and swings into Room 114. It was installed to reduce use of the historic door.

Condition

The doors are in good condition overall.

The veneer at the edge of top of both doors is starting to detach from the door core.

At the door to Room 115, the bottom panels have been removed and a metal louvered ventilation panel installed.

Recommendations

Maintain existing doors.

Glue detached areas of veneer. *Short-term.*

Windows

There are three, one-over-one, single-hung, wood-framed sash windows centered on the south wall in recessed openings. Both sash of each window are rectangular. Each window is in a separate recess into the wall. Each window has a metal sash lock and chains with pulleys connected to weights. Each bottom sash also has two metal hand pulls recessed into its bottom rail.

Each window has four sets of shutters, two on either side, one on top of the other, to fully cover the window opening. They are folding interior shutters with operable louvers made of stained white oak. The shutters are held to each other and to the window frame by small butt hinges. There is one metal pull on the outer side of each set of shutters and a keep and flat latch holds the two sets of shutters closed. The shutters fold into pockets on either side of each window.

The windows and shutters all appear original.

Conditions

The window sash and shutters are in fair condition.



Photo 141: Degraded finish on window sill in Room 104.



Photo 142: Section of wainscoting on the west wall in Room 104.

Much of the finish has been degraded on the shutters and interior sills as they receive a large amount of sunlight being south-facing windows.

Recommendation

Restore windows as part of the ongoing phased window restoration project. *Immediate.*

Clean and condition interior shutters and sills. Trim and adjust shutters and hardware so shutters operate smoothly and fully fold into window pockets. *Long-term.*

Millwork

Elaborate, Gothic-style, stained, white oak trim surrounds the Tudor archways.

Stained wood paneled wainscot made of white oak lines the room. It has trefoil arch inserts and a crown molding.

Along the bottom of the wainscoting is a fourteen-inch-high stained wood baseboard also made of white oak. The baseboards are capped with a molding and have a quarter-round shoe molding.

All the millwork in this room appears original and matches the design of that retained throughout the main section of the building.

Condition

The millwork is in good condition.

Recommendation

Maintain existing millwork.

Fireplace

Centered on the east wall is a fireplace with a stained white oak surround and mantle and a hearth. The mantel and surround have a Gothic-style design with floral motifs below the mantle and quatrefoils surrounding the firebox. Square green glazed ceramic tiles also surround the firebox. The firebox has a decorative cast iron insert and rectangular green glazed ceramic tile on its floor. A ceramic tile hearth may be covered



Photo 143: Fireplace on the east wall in Room 104.



Photo 144: Ceramic tile floor with some cracking at fireplace.



Photo 145: Firebox interior showing open flue, shims under support beam and crack in plaster on beam.

by carpet. The fireplace and its components all appear original.

Condition

The fireplace and mantel in overall good condition. The top of the cast iron box is sagging and reportedly, has been for years. It has been repaired several times with caulk but continues to sag.

At the firebox interior, there appears to be an iron beam coated with plaster that has been supported with wood shims. There is a wide crack in the plaster along the entire beam, but which is not an issue so long as the fireplace remains unused. The beam itself may be moving and may be what is causing the cast iron insert to sag.

Some of the firebox floor tiles are cracked.

The flue remains open at this floor inside the firebox.

Recommendation

Survey firebox interior with structural engineer. *Short-term.*

Close flue at first floor to prevent chimney effect. *Long-term.*

Electrical

Six rectangular florescent light fixtures are included in the dropped ceiling grid.

Heating

There is one fan coil unit below each window on the south wall.

See MEP report for additional information regarding plumbing, electrical and heating.

ROOMS 105 & 106

Small accessory rooms connecting to the entry at the south tower. Currently, the two rooms are connected to one another, and were previously separated by a door that has been removed. The rooms serve as a kitchenette for the Borough staff. Room 106 has cabinets and shelves along the walls topped with a laminate countertop. These two rooms were likely damaged during the February 1967 fire.

Floor

Both rooms have sheet linoleum flooring with a faux ceramic tile pattern. The historic flooring may be retained beneath.

Condition

The linoleum is in good condition.

Recommendations

Survey the historic floor below the next time the applied flooring is replaced. Consider using a resilient flooring which doesn't have an adhesive backing or requires liquid adhesive for installation.

Walls

Painted plaster or gypsum wall board. There is a black vinyl wall base along the perimeter of Room 105. Originally, a doorway on the west wall of Room 105 connected to Room 108, but has since been filled in.

Condition

The walls are in good condition.

Recommendation

Maintain existing walls.

Ceilings

Painted plaster or gypsum wall board.

Condition

The ceilings are in good condition.

Recommendation

Maintain existing ceilings.



Photo 146: View west in Room 105.



Photo 147: View northwest in Room 106.

Door

An exterior door on the south wall of Room 105 connects to a small porch at the south tower. It is discussed in the south elevation description of the exterior conditions section.

Windows

There are no windows in either room.

Millwork

Elaborate, painted wood trim surrounds the two doorways.

Condition

The millwork is in good condition.

Recommendation

Maintain existing millwork.

Plumbing

There is a two-basin stainless-steel sink in Room 106.

Electrical

A square surface mounted fluorescent light fixture is on the ceiling in Room 105 and a similar rectangular fixture is in Room 106.

An exit sign is above the exterior door.

Heating

One fan-coil unit, with a return above, is recessed in the west wall of Room 105.

See MEP report for additional information regarding plumbing, electrical and heating.



Photo 148: View of floor showing doorway separating Rooms 105 & 106.



Photo 149: Exterior door on south wall in Room 105.

ROOM 107 - HALLWAY

Hallway connecting the main section of Borough Hall with the rear section. Also connects to the Library. Rooms 107-110 made up the first floor of the service wing when the building was a private residence. Historically, the stairs to the basement were located where this room is now and there was no opening in the east wall. The stairs were likely removed and the opening in the east wall created when the Elks constructed their addition, now the Library, in 1939. This section of the building was gutted by a fire in February 1967 and its interior was completely rebuilt.

Floor

Low pile, dark pink carpeting with white and red flecks.

Condition

The carpet is in good condition.

Recommendation

Maintain existing carpet.

Walls

Painted gypsum wall board. Black vinyl wall base along the room perimeter.

Condition

The walls are in good condition.

Recommendation

Maintain existing walls.

Ceiling

Dropped ceiling of metal t bars and rectangular acoustical tiles in a grid pattern.

Condition

The dropped ceiling is in good condition.

Recommendation

Maintain existing ceiling.

Doors

A door on the north wall at the west end of the hallway connects to Room 116 in the Library. It is a flat, solid-core wood door that swings into Room 116.



Photo 150: View east in hallway.



Photo 151: View west in hallway.

A door at the west end of the hallway connects to Room 110. It is discussed in that room's description.

A door at the south wall connects to Room 108. It is discussed in that room's description.

Condition

The door is in good condition.

Recommendation

Install one-hour fire rated door and frame at doorway to Room 107. *Long-term.*

Electrical

There are three circular light fixtures recessed into the dropped ceiling.

Heating

One fan-coil unit is in the southwest corner of the hallway.

See MEP report for additional information regarding plumbing, electrical and heating.

ROOM 108

Room on the south side of Room 107. It is currently used as IT space for the Borough. Rooms 107-110 made up the first floor of the service wing when the building was a private residence. This section of the building was gutted by a fire in 1967 and its interior was completely rebuilt.

Floor

Low pile grey carpet.

Condition

The carpet is in good condition.

Recommendation

Maintain existing carpet.

Walls

Painted gypsum wall board. Black vinyl wall base along the room perimeter.

Condition

The walls are in good condition.

Recommendation

Maintain existing walls.

Ceiling

Dropped ceiling of metal t bars and rectangular acoustical tiles in a grid pattern.

Condition

The dropped ceiling is in good condition.

Recommendation

Maintain existing ceiling.

Door

A door on the north wall connects to a hallway (Room 107). It is a flush, painted, metal hollow-core door attached to a metal frame. The door has a lever knob and is hung by three, five-knuckle, button-top, butt hinges and swing into Room 108.

Doors to the closets are described below.

Condition

The door is in good condition.



Photo 152: View south in Room 108.



Photo 153: View north in Room 108.



Photo 154: View west in Room 108.

Recommendation
Maintain existing door.

Windows

There are two openings in the south wall separated by a masonry pier on the exterior. Each opening has two rectangular windows. All four windows (S107 & S108) have one-over-one, single hung, wood framed sash.

Condition
The windows are in fair condition. The most recent coat of paint is beginning to fail.

Recommendation
Restore windows S107 & S108 as part of the ongoing phased window restoration project.
Immediate.

Closets

Two closets were built against the original east wall in the room. A third closet is accessible from Room 114 and completes the current east wall.

The south closet has a flat, wood hollow-core door. It has a round knob and is hung by three, five-knuckle, button-top hinges and swings into Room 108.

The north closet has a painted wood, hollow core bifold door. Each side of the door has three hipped faux panels. The south panel has a round knob and keyed bolt at its top to lock the door.

Condition
The closet doors are in good condition.

Recommendation
Maintain existing doors.

Electrical

Four rectangular florescent light fixtures are included in the dropped ceiling grid.

Networking equipment for the Borough is currently housed here.

Two window air conditioning units are in the eastern windows.



Photo 155: View east in Room 108.



Photo 156: West pair of windows in Room 108.



Photo 157: East pair of windows in Room 108 with air conditioning units.

Heating

There is one fan coil unit below each window on the south wall.

See MEP report for additional information regarding plumbing, electrical and heating.

ROOMS 109 & 110

Two rooms, separated by a half-walk with glass partitions, in the southwest corner of the rear section used as office space for the Borough. A door on the south wall connects to the exterior and a door on the west wall connects to the Library. Rooms 107-110 made up the first floor of the service wing when the building was a private residence. This section of the building was gutted by a fire in February 1967 and its interior was completely rebuilt.

Floor

Low pile, dark pink carpeting with white and red flecks,

Condition

The carpet is in fair condition with some minor wear.

Recommendation

Maintain existing carpet.

Walls

Painted gypsum wall board. Black vinyl wall base along the room perimeter.

Condition

The walls are in good condition.

Recommendation

Maintain existing walls.

Ceiling

Dropped ceiling of metal t bars and rectangular acoustical tiles in a grid pattern.

Condition

The dropped ceiling is in good condition.

Recommendation

Maintain existing ceiling.

Doors

There are five doors in these rooms, two in Room 109 and three in Room 110.

An exterior door on the south wall of Room 109 connects to a small stoop. It is a flat, stained



Photo 158: View south in Room 109 showing exterior door.



Photo 159: Dividing wall and door between Rooms 109 & 110.



Photo 160: View west in Room 110.

solid wood door with an undivided lite with blinds on its top half. It has a round knob and is hung by three, five-knuckle, button-top hinges and swings into Room 109.

There are four other flat, solid wood doors interior in Rooms 109 & 110. One is painted and is at the dividing wall between the rooms. One stained door is on the east wall in Room 110, connecting to the hallway. And two stained doors are on the west wall, connecting to Room 111 and Room 115 in the Library. The door to Room 111 has a lever knob with a secure keypad while the other doors have round knobs. There are metal kick plates on the door to Room 111 and the door dividing the rooms.

Condition

The doors are in good condition.

Recommendation

Install one-hour fire rated door and frame at doorway to Room 115. *Long-term.*

Windows

Historically, there was a set of side-by-side windows on the west wall. The windows were removed, and their openings filled in when the west addition was constructed after the 1967 fire.

Atop the half-wall dividing the rooms are three windows made of undivided rectangular panes in painted, extruded metal frames above a painted wood sill. The east window at the door dividing the rooms slides while the other two are fixed.

There are no exterior windows in these rooms.

Condition

The windows are in good condition.

Recommendation

Maintain existing windows.

Millwork

There is a stained chair rail along the dividing wall in Room 109.

Electrical

Two florescent light fixtures are included in the ceiling grid of each room.

There is an exit sign above the exterior door in Room 109.

Heating

There is one fan coil unit in the northwest corner of Room 109 and one in the southwest corner of Room 110.

See MEP report for additional information regarding plumbing, electrical and heating.



Photo 161: View west in Room 110.

ROOM 111

Room in the rear addition of Borough Hall. The addition was constructed in 1968 as part of the work after the February 1967 fire. It was locked during our survey so could not be assessed.

Windows

There is one-over-one, single-hung, wood-framed sash window on both the south wall (S109) and the west wall (W101). Both sash of each window are rectangular.

Recommendation

Restore windows S109 & W101 as part of the ongoing phased window restoration project.
Immediate.

ROOM 112

Room to the north of the stair hall. It is currently used as office space for the Borough and was used as a study when the building was a private residence.

Floor

Wood parquet floors likely original to the building. It has a square pattern made of small strips of wood, which alternate orientation between each square. The floor is less ornate and more utilitarian than that in Room 113 which was originally the library. Originally, double floors were laid through the house, with heavy felt between the flooring.

Condition

The wood floor is in good condition. A thick, non-historic protective clear coating appears to have been applied.

Recommendation

Maintain existing flooring.

Walls

Painted plaster.

Shelves have been installed in a recessed portion of the west wall. A pair of windows was originally there, but were removed when the Elks constructed their addition, now the Library, in 1939. The original window trim has been retained.

Condition

The walls are in overall good condition. There are some minor cracks, particularly at the southwest corner.

Recommendation

Maintain existing walls.

Ceiling

Dropped ceiling of metal t bars and rectangular acoustical tiles in a grid pattern, installed after the 1980 fire. The historic plaster ceiling may be retained behind, though may have some fire or smoke damage. It may also have been removed as it was in adjacent Room 113.



Photo 162: Shelves installed in a historic window opening on the west wall in Room 112.



Photo 163: Water stains on drop ceiling tiles at windows of Room 112.



Photo 164: Water stains on drop ceiling tile at southwest corner of Room 112.

Conditions

The dropped ceiling is in good condition overall with areas of water staining in the southwest corner and at the window. The water source has not been identified and addressed since the original Preservation Plan. In that report, the condition at the window was described as only one "small" stain, whereas now there are multiple, and one is large. The staining pattern in the southwest corner seen on a photo in that report is different than what was recently surveyed, so that tile was likely replaced, and new stains appeared since.

Recommendations

Inspect behind drop ceiling at stain locations. Determine water source. *Immediate.*

Remove dropped ceiling and florescent fixtures. Restore historic ceiling as needed. Install new plaster ceiling if not retained. Install new light fixtures. *Long-term.*

Doors

A door on the south wall connects to Room 101. It is a stained, stile-and-rail wood door with three-over-three flat panels of different heights which have applied moldings around their perimeters. The door has a Tudor arch top and Gothic-style tracery at the top of its three upper panels. The wood veneer and moldings on the door are likely cherry wood. The door has a round brass knob and is hung by two, five-knuckle, button-top, butt hinges and swings into Room 112. The door and its surrounding trim appear original. Its hinges are likely replacements.

A historic drawing shows that, originally, there was a set of double pocket doors between Rooms 112 and 113 similar to those at Room 205. Currently, there is one door centered on the east wall that connects to Room 113. This door is similar in design as that described above, but has a flat, not arched, top.

Condition

Both doors are in good condition.



Photo 165: Sealant on top of door connecting to Room 113.



Photo 166: Distressed hinge on the door to Room 101.

The hinges on the door to Room 101 do not appear strong enough to support the weight of the door. Some of the knuckles are being warped and ground down.

Recommendations

Install stronger hinges on door to Room 101. *Short-term.*

Remove sealant and tape residue from door into Room 113. *Long-term.*

Windows

There are two, one-over-one, single-hung, stained wood-framed sash windows located side by side on the north wall. Both sash of each window are rectangular. Each window has a metal sash lock and chains with pulleys connected to weights.

The window pair shares a set of four shutters, two on either side, one on top of the other, to fully cover the window opening. They are folding interior shutters with operable louvers made of stained cherry wood. The shutters are held to each other and to the window frame by small butt hinges. There is one metal pull on the outer side of each set of shutters and a keep and flat latch holds the two sets of shutters closed. The shutters fold into pockets on either side of each window.

Condition

The windows are in good condition. Both windows were restored in 2019.

Recommendations

Repaint windows in about 5 years. *Short-term.*

Clean and condition interior shutters. Trim and adjust shutters and hardware so shutters operate smoothly and fully fold into window pockets. *Long-term.*

Millwork

There is a fourteen-inch-high stained wood baseboard around the perimeter of the room made of cherry wood. The baseboards are capped with a molding and have a quarter-round



Photo 167: Overpainting and paint flecks on baseboard in Room 112.



Photo 168: Crack and small loss on wood panel below windows in Room 112.

shoe molding.

Under the north windows there are stained cherry wood panels with pointed trefoil arch inserts.

Elaborate, Gothic-style, stained, cherry wood trim surrounds the door and window openings and shelves.

All the millwork in this room appears original and is similar in design of that retained throughout the main section of the building.

Condition

The millwork is in overall good condition.

There is some overpainting and paint flecks on the baseboard. There are some cracks on the wood panels below the window likely due to the temperature and humidity changes caused by the fan coil unit.

Recommendation

Repair cracked panels below windows. Remove paint on baseboards. *Long-term.*

Fireplace

In the northwest corner is a fireplace with a stained cherry wood surround and mantle and a ceramic tile hearth. The mantel and surround have a Gothic-style design with floral motifs below the mantle, quatrefoils at the two upper corners of the firebox surround and panels with trefoil arch inserts between. Rectangular brown glazed ceramic tiles also surround the firebox and extend onto the hearth and firebox floor. The firebox has a decorative cast iron insert with a small hood and fleur-de-lis motifs. The fireplace and its components all appear original.

Condition

The fireplace woodwork and cast iron insert are in good condition while the ceramic tile heart and surround are in fair condition. Tiles at the top of the surround have been displaced. At the hearth, there are a couple cracks, and some tiles are missing.



Photo 169: Fireplace in northwest corner of Room 112.



Photo 170: Displaced ceramic tiles on top corner of fireplace surround.



Photo 171: Missing ceramic tiles on fireplace hearth.

The flue likely remains open at this floor inside the firebox.

Recommendation

Close flue at first floor to prevent chimney effect. Replace missing ceramic tiles on hearth. Match to existing. *Long-term.*

Electrical

Florescent light fixtures are included in the dropped ceiling grid.

Heating

There is one fan coil unit below the window on the north wall.

See MEP report for additional information regarding plumbing, electrical and heating.

ROOM 113

Room to the north of the stair hall. It is currently used as office space for the Borough and was used as a library when the building was a private residence.

Floor

Ornate wood parquet floors original to the building. It has a square diamond pattern made of small strips of wood, which alternate orientation between each square. A decorative pattern of dark wood inlay is around the room perimeter. Originally, double floors were laid through the house, with heavy felt between the flooring.

Condition

The wood floor is in good condition.

Recommendation

Maintain existing flooring.

Walls

Painted plaster.

Condition

The walls are in good condition. There are some small cracks on the west wall.

Recommendation

Restore historic paint scheme based on finishes analysis. *Long-term.*

Ceiling

Dropped ceiling of metal t bars and rectangular acoustical tiles in a grid pattern, installed after the 1980 fire. The historic plaster ceiling has not been retained and was likely removed after the fire.

Conditions

The dropped ceiling is in good condition.

Recommendations

Remove drop ceiling and florescent fixtures. Install new plaster ceiling. Install new light fixtures. *Long-term.*



Photo 172: View southeast in Room 113 showing door to Room 101, cabinet and fireplace.



Photo 173: View northwest in Room 113.

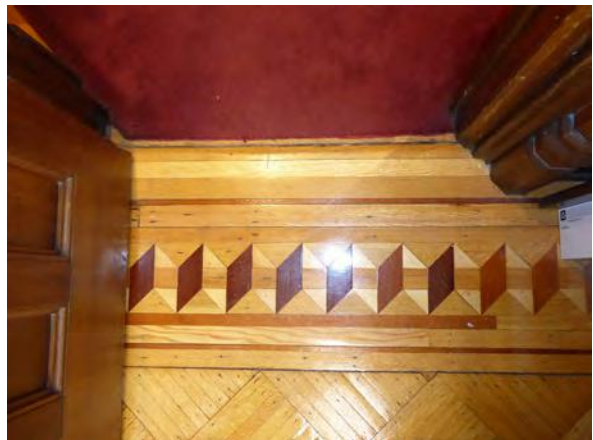


Photo 174: Wood inlay pattern along floor perimeter in Room 113.

Doors

A door on the south wall connects to Room 101. It is a stained, stile-and-rail wood door with three-over-three flat panels of different heights which have applied moldings around their perimeters. The door has a Tudor arch top and Gothic-style tracery at the top of its three upper panels. The wood veneer and moldings on the door are likely cherry wood. The door has a round brass knob and is hung by two, five-knuckle, button-top, butt hinges and swings into Room 112. The door and its surrounding trim appear original. Its hinges are likely replacements.

A historic drawing shows that originally, there was a set of double pocket doors between Rooms 112 and 113. Currently, there is one door centered on the west wall that connects to Room 112. It is discussed in that room's description.

Condition

The door to Room 101 is in fair condition. There is some damage and loss at the top. The veneer at the edge of top of the doors is starting to detach from the door core.

Recommendations

Glue detached areas of veneer and fill area of loss on door to Room 101. *Short-term.*

Windows

There are three, one-over-one, single-hung, stained wood-framed sash windows located side by side in recessed openings on the north wall. Both sash of each window are rectangular. Each window has a metal sash lock and chains with pulleys connected to weights.

Each window has four sets of shutters, two on either side, one on top of the other, to fully cover the window opening. They are folding interior shutters with operable louvers made of stained cherry wood. The shutters are held to each other and to the window frame by small butt hinges. There is one metal pull on the outer side of each set of shutters and a keep and flat latch holds the two sets of shutters closed. The shutters fold into pockets on either side of each window.



Photo 175: View above drop ceiling showing that historic plaster ceiling has been removed.



Photo 176: Detached veneer and area of loss at top of door into Room 101.

The windows and shutters all appear original.

Condition

The windows are in good condition. All three windows were restored in 2019.

Recommendations

Repaint windows in about 5 years. *Short-term.*

Clean and condition interior shutters. Trim and adjust shutters and hardware so shutters operate smoothly and fully fold into window pockets. *Long-term.*

Millwork

On either side of the fireplace on the east wall are enclosed, cherry wood cabinets with elaborate, Gothic-style details similar to those found throughout the historic section of the house.

There is a fourteen-inch-high stained wood baseboard around the perimeter of the room made of cherry wood. The baseboards are capped with a molding and have a quarter-round shoe molding.

Under the north windows there are stained cherry wood panels with pointed trefoil arch inserts.

Elaborate, Gothic-style, stained, cherry wood trim surrounds the door and window openings and shelves.

All the millwork in this room appears original and is similar in design of that retained throughout the main section of the building.

Condition

The millwork is in overall good condition.

There is some overpainting and paint flecks on the baseboard. There are some cracks on the wood panels below the window likely due to the temperature and humidity changes caused by the fan coil unit.



Photo 177: View of door into Room 113 from Room 101.



Photo 178: Cherry wood cabinet on east wall in Room 113.

Recommendation

Remove paint on baseboards. *Long-term.*

Fireplace

Centered on the east wall is a fireplace with a stained cherry wood surround and mantle and a ceramic tile hearth. The mantel and surround have a Gothic-style design with quatrefoils around the firebox surround. Rectangular green glazed ceramic tiles also surround the firebox and extend onto the hearth and firebox floor. The firebox has a decorative cast iron insert with a floral design. The fireplace and its components all appear original.

Condition

The fireplace woodwork and cast iron insert are in good condition while the ceramic tile heart and surround are in fair condition. Tiles at the top of the surround have been displaced. At the hearth, there are a couple cracks, and a couple tiles are missing. The tile grout at the hearth is in poor condition.

The flue likely remains open at this floor inside the firebox.

Recommendations

Close flue at first floor to prevent chimney effect. Replace missing ceramic tiles on hearth. Match to existing. RegROUT hearth tiles. *Long-term.*

Electrical

Florescent light fixtures are included in the dropped ceiling grid.

Heating

There is one fan coil unit below two windows on the north wall.

See MEP report for additional information regarding plumbing, electrical and heating.



Photo 179: Door on west wall connecting to Room 112.



Photo 180: Fireplace centered on east wall in Room 113.



Photo 181: Displaced ceramic tiles on top corner of fireplace surround.

ROOM 114

Small hallway connecting the stair hall to Room 104. Originally, a doorway between the main section of the house and the service wing was on the west wall of this room.

Floor

Low pile, grey carpeting fully covers the floor. There is likely a historic wood floor beneath. There is a brass carpet transition strip between Room 114 and Room 101. Originally, double floors were laid through the house, with heavy felt between the flooring.

Condition

The carpet is in good condition.

Recommendations

Maintain carpeting as it protects the historic wood floor from abrasion by foot traffic. Replace carpeting as needed. Consider installing additional supportive backing to protect the historic wood floor the next time the carpeting is replaced. Use only mechanical fasteners to install carpeting if there is historic flooring beneath. Do not use liquid adhesives. Survey the historic wood floor below the next time the carpeting is replaced.

Walls

Painted gypsum wall board. Black vinyl wall base along the room perimeter.

Condition

The walls are in good condition.

Recommendation

Maintain existing walls.

Ceiling

Painted gypsum wall board.

Condition

The ceiling is in good condition.

Recommendation

Maintain existing ceiling.



Photo 182: View of Room 114 and Room 107 from Room 101.



Photo 183: View west in Room 114 showing closet.

Door

A door on the east wall connects to Room 104 and is discussed in that room's description.

A door on the west wall connects to a closet and is described below.

Closet

There is a closet housing electrical control equipment on the west wall. It has low pile grey carpeting on the floor, painted gypsum wall board walls, and a dropped ceiling of metal t bars and rectangular acoustical tiles. There is a black vinyl wall base around the closet perimeter. There is one recessed light fixture centered in the ceiling. The closet has a flat, wood hollow-core door. It has a round knob and is hung by three, five-knuckle, button-top hinges and swings into Room 114.

Condition

The closet is in fair condition given its use as an electrical closet. The west and south walls have been cut to install electrical equipment. There are water stains on the middle acoustical ceiling tile and two ceiling tiles are displaced.

Recommendations

Inspect stained area of ceiling. Find and address and sources of leaks. *Immediate.*

Install new drop ceiling tiles. *Long-term.*

Millwork

Flat painted wood trim around closet door.

Electrical

One long can light is centered on the ceiling

Recommendation

Replace with recessed ceiling fixture to provide more illumination on walls. *Long-term.*

See MEP report for additional information regarding plumbing, electrical and heating.



Photo 184: View inside closet of Room 114.



Photo 185: Dropped ceiling in closet of Room 114.

FIRST FLOOR (LIBRARY)

Rooms 115 through 119 were constructed in 1939 as a ballroom for the local Elks lodge. The rooms currently house the Somerville Branch of the Somerset County Library System of New Jersey.

ROOM 115

A large, high-ceilinged, open room used as the main stacks and reading room for the Library. There is a meeting room and partial second floor with bookcases and seating at the west side of the room. This was used as the dining room when the building was a private residence. The stairs were likely removed when the Elks constructed their addition, now the Library, in 1939.

Floor

Low pile carpet covers the floor.

Condition

The carpet is in good condition.

Recommendation

Maintain existing carpet.

Walls

Painted plaster.

Condition

The walls are in good condition.

Recommendation

Maintain existing walls.

Ceiling

Painted plaster with rough texture.

Condition

The ceiling is in good condition.

Recommendation

Maintain existing ceiling.

Door

An exterior emergency door in the southwest corner of the connects to a fire escape stairway. It is discussed in the south elevation description.



Photo 186: View west in Room 115 showing stacks and meeting room.



Photo 187: View northwest in Room 115 showing loft with stacks and seating area.



Photo 188: View southeast in Room 115.

Windows

There are three, side by side windows at four locations along the north wall and along the south wall as well, historically. The easternmost group of windows on the south wall was filled in when the rear addition of Borough Hall was constructed in 1968. The west window on the westernmost group of windows on the south wall was altered to install an emergency exit door.

All are double-hung, black aluminum windows of contemporary construction. Each sash has a single undivided lite and every window has a sash lock. Each window also has a square transom above with three-by-three black simulated divided lites.

Condition

The windows are generally in good condition, although the finish is beginning to fade and the bottom sealant between the aluminum and stone sill is failing.

Recommendation

Remove sealant and re-seal windows N-111 - N114 & S110 - S112. *Immediate.*

Electrical

Multiple pendant linear florescent fixtures arrayed in four rows illuminate the room. Four rows of identical, surface mounted fixtures are at the loft area.

Heating

Fan coil units are below some windows.

See MEP report for additional information regarding plumbing, electrical and heating.



Photo 189: View of meeting room in southwest corner of Room 115.



Photo 190: Typical windows in Room 115.

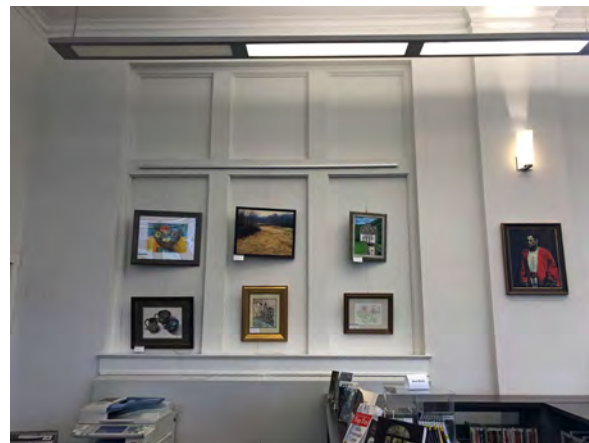


Photo 191: Enclosed window openings at southeast corner of Room 115.

ROOM 116

Entry room for the Library with the circulation desk and connecting to the main reading room. Stairs between the basement and first floor are in the southeast corner of the room. The book cart lift is on the east wall of the room, just north of the stairs.

Floor

Low pile carpet covers the floor.

Condition

The carpet is in good condition.

Recommendation

Maintain existing carpet.

Walls

Painted plaster.

Condition

The walls are in good condition.

Recommendation

Maintain existing walls.

Ceiling

Painted plaster.

Condition

The ceiling is in good condition.

Recommendation

Maintain existing ceiling.

Doors

There are double doors at the north end of the room connecting to the main entrance vestibule. They are stile-and-rail, stained wood doors with large undivided panes of glass on their upper half and a single raised hipped panel below. They have metal pulls on their north sides and a rectangular metal push on their south sides. There is a closer at the top of the west doors. Both doors are hung by three, five-knuckle, button top, butt hinges and swing into the vestibule. These are not the original vestibule doors, as evidenced by hinge ghosting on the opposite side of the doorframe, but are historic, likely added when the Borough



Photo 192: View of entrance vestibule on north side of Room 116.



Photo 193: View of entrance vestibule on north side of Room 116.

acquired the building.

The double main entry doors are discussed in the north elevation description.

Condition

The vestibule doors are in good condition.

Recommendation

Maintain vestibule doors.

ROOM 117 - STORAGE
ROOM 118 - WOMEN'S RESTROOM
ROOM 119 - MEN'S RESTROOM

These rooms were not extensively surveyed, but are in good condition overall and should be regularly maintained.

SECOND FLOOR (BOROUGH HALL)

Historically, when the building was a private residence, the second floor was a series of bed chambers and music room connecting to the stair hall. Many of these rooms originally had vaulted ceilings.

ROOM 201 - STAIR HALL

Vaulted central hall with the main stair connecting the first and second floors. A fire on January 21, 1980 damaged much of the decorative ceiling and finishes in this room. In 2014, the dropped acoustical tile ceiling installed after the fire was removed and the vaulted ceiling and walls were restored.

Floor

Red carpet with a simple gold floral motif fully covers the floor. It was installed in 2014. Historic wood floorboards are beneath. Originally, double floors were laid through the house, with heavy felt between the flooring.

Condition

The carpet is in excellent condition.

The previous carpeting was installed using an adhesive applied across the entire surface of the wood flooring. The floorboards themselves appeared in good condition, but they would be difficult to restore if that is desired in the future.

Recommendations

Maintain carpeting as it protects the historic wood floor from abrasion by foot traffic. Replace carpeting as needed. Use only mechanical fasteners to install carpeting. Do not use liquid adhesives.

Walls

Painted flat plaster. The ribs from the vaulted ceiling extend onto the walls and end with plaster grotesques.

Condition

The walls are in excellent condition.



Photo 194: View east in stair hall from intermediate landing of staircase.

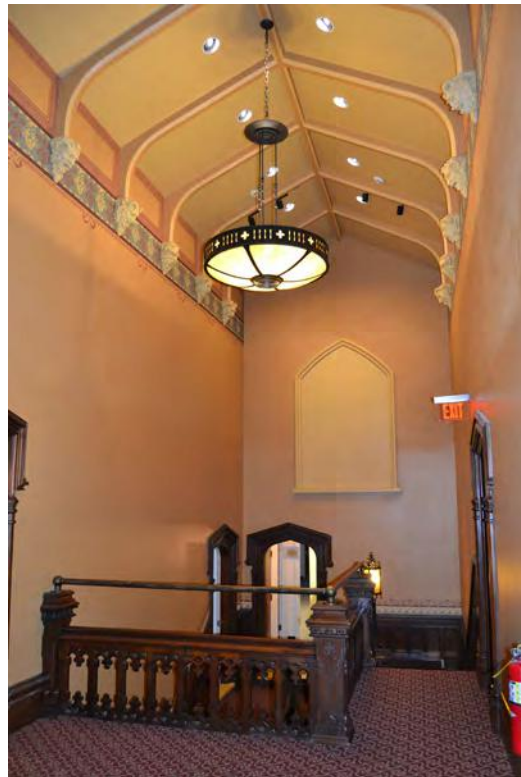


Photo 195: View west in stair hall.

The walls were damaged from the January 1980 fire. The portion of the wall below the dropped ceiling were restored at that time, while the portion above remained damaged. This portion was restored in 2014 and all the walls were painted in a historic paint scheme based on a paint analysis.

Recommendation

Maintain existing walls.

Ceiling

Low-sloped, vaulted ceiling of painted plaster. Painted plaster ribbing supports the ceilings and extend down onto the walls, ending in painted plaster grotesques.

Conditions

The ceiling is in excellent condition.

The ceiling was damaged from the January 1980 fire. It was not restored at that time and a dropped ceiling of square acoustical tiles was installed. This dropped ceiling was removed and the historic vaulted ceiling above was restored in 2014.

Recommendation

Maintain existing ceiling.

Doors

Many doors connect to this room and are discussed in their respective room's description.

Windows

Originally, Gothic-style arched windows were on both the east and west walls. The west window connected to the exterior and likely matched those in Rooms 204, 206 and 207. The east window connected to Rooms 205 & 206, which at that time was an undivided room and known as the Music Room. The west window was removed after the January 1980 fire and its opening filled in with concrete masonry units. Its outline is visible on the exterior. An outline was added to the interior during the 2014 restoration. The east window was restored in 2014.



Photo 196: Vaulted ceiling and pendant light fixture in stair hall.



Photo 197: Grotesques at end of vaulted ceiling ribbing with reproduced historic paint scheme.

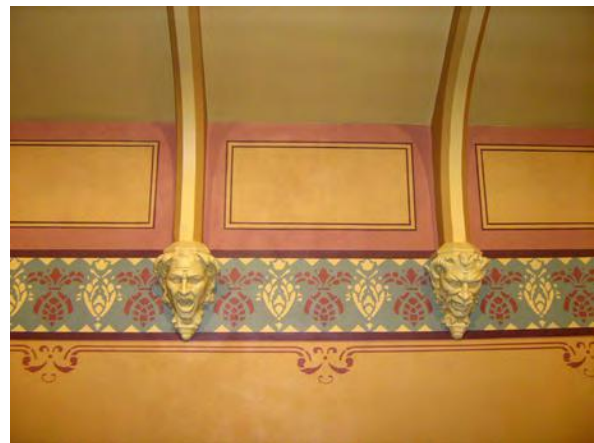


Photo 198: Grotesques at end of vaulted ceiling ribbing with reproduced historic paint scheme.

Condition

The east window is in excellent condition.

Recommendation

Reconstruct new west window based on existing exterior arched stained-glass second floor windows. *Long-term.*

Millwork

Elaborate, Gothic-style, stained, wood trim surrounds the doorways.

There is a fourteen-inch-high stained wood baseboard around the perimeter of the room. The baseboards are capped with a molding and have a quarter-round shoe molding.

All the millwork in this room appears original and matches the design of that retained throughout the main section of the building.

Condition

The millwork is in good condition.

Recommendation

Maintain existing millwork.

Stair

A grand staircase to the first floor is at the west side of the room. It is discussed in the Room 101 description. The wood railing continues to the second floor, outlining the stair opening. The elaborate woodwork is a Gothic style similar to that throughout the building. Pendants drop down from posts and carved floral ornamentation hangs along the outline of the stair opening. A contemporary brass tube railing was added above the historic wood railing to guard against falls.

Electrical

There are two rows of seven recessed circular downlights in the vaulted ceiling. There are also four track lights attached to the west end of the vaulted ceiling to illuminate the west wall and staircase. A decorative pendant bowl light fixture with quatrefoil motifs and pigmented glass is at the staircase.



Photo 199: Wood floor exposed during carpet installation in 2014.

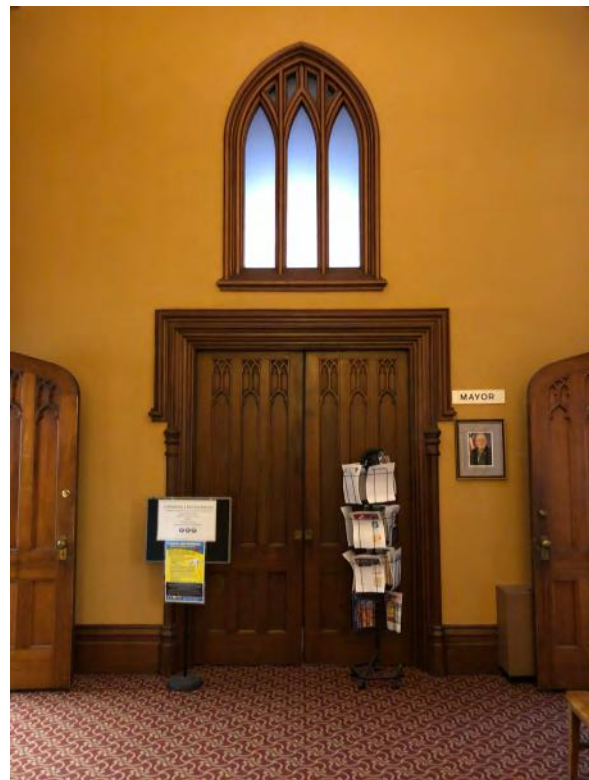


Photo 200: View west in stair hall showing doors to connecting rooms and restored Gothic window.

Heating

There is one fan coil unit on the east wall at the doorway to Room 204.

See MEP report for additional information regarding plumbing, electrical and heating.

ROOM 202 - WOMEN'S RESTROOM

Narrow rectangular room accessed by the intermediate landing of the staircase. There is a step up from the landing into the room. Historically, this space was two different rooms separated by the wall that now holds a door. The north room was likely used as storage and the south room was a dressing room with a sink.

Floor

Low-pile, grey carpeting in the north section. There may be historic wood flooring beneath.

Ceramic tile with a midcentury rectilinear design in the south section. Square white ceramic tile laid out in a uniform grid pattern with black grout joints at the toilets which appear more modern.

Condition

The carpeting and both types of ceramic tile are in good condition.

Recommendation

Maintain existing flooring.

Walls

Painted plaster and gypsum wall board. There is a black vinyl wall base along the room perimeter in the north section. Square ceramic tile covers the lower portion of the walls in the south section.

Condition

The walls are in good condition.

Recommendation

Maintain existing walls.

Ceiling

Painted gypsum wall board.

Condition

The ceiling is in good condition.

Recommendation

Maintain existing ceiling.

Doors

A door on the north wall connects to the intermediate landing of the staircase. It is a stile-



Photo 201: View north in Room 202 from north section.



Photo 202: View south in Room 202.

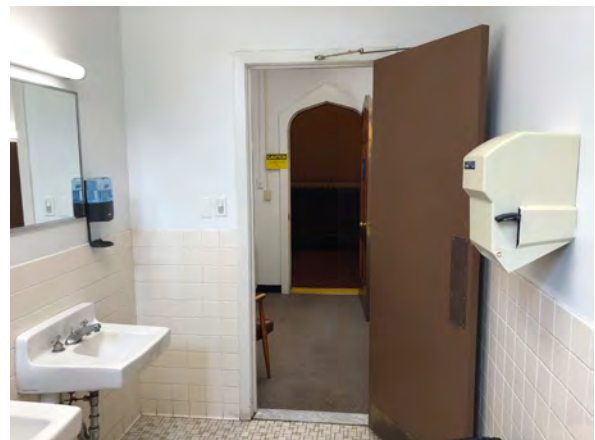


Photo 203: View north in Room 202 from south section.

and-rail wood door with three-over-three flat panels of different heights which have applied moldings around their perimeters. The door has a Tudor arch top and Gothic-style tracery at the top of its three upper panels. It is painted on its interior side and stained on the other. The door has a round brass knob and is hung by two, five-knuckle, button-top, butt hinges and swings into Room 202. The door, its hardware, and its surrounding trim at the staircase side appear original; the trim at the interior side appears to be a replacement. There is a step up into the room at this door and therefore, the door has a yellow accessible threshold.

A non-historic door connects the two sections of the room. It is a flat, painted wood door with a metal push on its north side and a metal pull on the south. The door has a metal kick plate and a marble threshold.

Condition

Both doors are in overall good condition. There is some abrasion at the top of the staircase door.

Recommendation

Maintain existing doors.

Windows

There are two, one-over-one, single-hung, wood-framed sash windows (S206 & S207) centered on the south wall. Both sash of each window are rectangular. Each window has a metal sash lock and chains with pulleys connected to weights. Each bottom sash also has one metal hand pull recessed into its bottom rail. An interior retractable insect screen is at the east window.

Directly above these are windows are rectangular stained-glass transoms with painted wood tracery. They have been blocked off by the gypsum wall board ceiling and are only visible from the exterior.

Condition

The windows are in fair condition.



Photo 204: Windows on south wall in Room 202.



Photo 205: View of door into Room 202 from staircase landing.

Recommendation

Restore windows S206 & S207 as part of the ongoing phased window restoration project. Re-lead stained-glass transoms. *Immediate.*

Millwork

Elaborate, Gothic-style, stained, wood trim surrounds the exterior side of the doorway connecting to the staircase. The trim at the interior side of the door connecting to the staircase is flat and plain and is likely a replacement.

There is also elaborate painted wood trim around the window openings.

Condition

The millwork is in good condition.

Recommendations

Maintain existing millwork.

Plumbing

Two ceramic toilets are at the south end of the room. Two white wall-mounted sinks are on the west wall in the south section.

Electrical

In both sections, there are linear, ceiling-mounted fluorescent light fixtures and linear, wall-mounted, fluorescent fixtures above mirrors.

Heating

There is one fan coil unit in the northwest corner of the north section and a baseboard heater along the floor of the south wall and part of the west wall in the south section.

See MEP report for additional information regarding plumbing, electrical and heating.

ROOM 203 - OFFICE

Room to the south of the stair hall. It is currently used as office space for the Borough and was a bed chamber when the building was a private residence.

Floor

Low pile, grey carpeting fully covers the floor. Historic wood floorboards are likely beneath. Originally, double floors were laid through the house, with heavy felt between the flooring.

Condition

The carpet is in good condition.

Recommendations

Maintain carpeting as it protects the historic wood floor from abrasion by foot traffic. Replace carpeting as needed. Use only mechanical fasteners to install carpeting if there is historic flooring beneath. Do not use liquid adhesives. Survey the historic wood floor below the next time the carpeting is replaced.

Walls

Painted plaster. A Tudor archway on the south wall connects to a canted bay window. The archway is partially covered by the dropped ceiling.

Condition

The walls are in good to fair condition. There are some small cracks. Its paint is worn.

Recommendation

Repaint walls. *Short-term.*

Ceiling

Dropped ceiling of square acoustical tiles in a grid pattern, likely concealing a Gothic-style ribbed vaulted ceiling.

Conditions

The dropped ceiling is in good condition.

Recommendations

Remove dropped ceiling and florescent fixtures. Restore historic ceiling as needed.



Photo 206: View east in Room 203 showing fireplace and closet.



Photo 207: View south in Room 203 showing canted bay and windows with archway.



Photo 208: View north in Room 203 showing door to Room 201.

Install new light fixtures. *Long-term.*

Door

A door on the north wall connects to Room 201. It is a stile-and-rail, stained wood door with three-over-three flat panels of different heights which have applied moldings around their perimeters. The door has a Tudor arch top and Gothic-style tracery at the top of its three upper panels. The door has a round brass knob and is hung by two, two-knuckle, ball-top, butt hinges and swings into Room 203. The door, its hardware, and its surrounding trim appear original.

The closet door is described below.

Condition

The north door is in good condition.

Recommendation

Maintain existing door.

Windows

There are three, one-over-one, single-hung, wood-framed sash windows on the canted bay on the south wall (S203-205). Both sash of each window are rectangular. The top sash has a decorative arched top. Each window has a metal sash lock and chains with pulleys connected to weights. Each bottom sash also has one metal hand pull recessed into its bottom rail. There are no interior shutters on these windows.

Condition

The windows are in fair condition.

Recommendation

Restore windows S203-205 as part of the ongoing phased window restoration project. *Immediate.*

Closets

Small closets flank the fireplace on the east side of the room. The south closet is accessible in this room while the north closet is accessible from Room 204. The south closet has a stile-and-rail, stained wood door with two-over-two flat panels of different heights which have applied moldings around their perimeters. The door has a Tudor



Photo 209: Closet on south side of fireplace at the east wall in Room 203.

arch top and Gothic-style tracery at the top of its two upper panels. The door has a round brass knob and is hung by two, two-knuckle, ball-top, butt hinges. The door swings out into Room 203. The closet door, its hardware, and its surrounding trim all appear original.

Condition

The south closet door is in good condition.

Recommendation

Maintain south closet door.

Millwork

There is a fourteen-inch-high stained wood baseboard around the perimeter of the room. The baseboards are capped with a molding and have a quarter-round shoe molding.

Under the bay windows are stained wood panels with pointed trefoil arch inserts.

Elaborate, Gothic-style, stained, wood trim surrounds the door and window openings.

All the millwork in this room appears original and is similar in design of that retained throughout the main section of the building.

Condition

The millwork is in overall good condition.

Recommendation

Maintain existing millwork.

Fireplace

Centered on the east wall is a fireplace with a stained wood surround and mantel and a ceramic tile hearth. The mantel and surround have a Gothic-style design with quatrefoils along the top of the firebox surround and double pointed trefoil arch inserts on either side. Rectangular glazed ceramic tiles with a dark purplish brown color also surround the firebox and extend onto the hearth and firebox floor. The firebox has a decorative cast iron insert. The fireplace and its components all appear original.



Photo 210: Detail view of fireplace mantel and surround on east wall in Room 203.



Photo 211: Decorative cast iron firebox insert at fireplace in Room 203.

Condition

All the components of the fireplace are in good condition.

The flue likely remains open at this floor inside the firebox.

Recommendation

Close flue to prevent chimney effect. *Long-term.*

Electrical

Two rows of four rectangular florescent light fixtures are included in the dropped ceiling.

Heating

There are two fan coil units on the south wall, one on either side of the canted bay.

See MEP report for additional information regarding plumbing, electrical and heating.

ROOM 204 - MAYOR'S OFFICE

Large rectangular room on the south side of the stair hall. It is currently used as the office for the Mayor of the Borough of Somerville and was a bed chamber when the building was a private residence.

Floor

Low pile, grey carpeting fully covers the floor. Historic wood floorboards are likely beneath. Originally, double floors were laid through the house, with heavy felt between the flooring.

Condition

The carpet is in good condition.

Recommendations

Maintain carpeting but consider restoring wood flooring if it is good condition beneath as foot traffic is much less in this room. If carpet is replaced, use only mechanical fasteners to install carpeting if there is historic flooring beneath. Do not use liquid adhesives. Survey the historic wood floor beneath the next time the carpeting is replaced.

Walls

Painted plaster. A stained wood rail is installed just below the shoulders on the door surrounds with decorative wallpaper below.

Condition

The walls are in good condition.

Recommendation

Restore historic paint scheme based on finishes analysis. *Long-term.*

Ceiling

Vaulted ceiling made of painted plaster with exposed painted wood framing ending in decorative bosses with a foliage design.

Conditions

The ceiling and framing are in good condition.



Photo 212: View southeast in Room 204..



Photo 213: Windows on south wall in Room 204.

Recommendation

Restore historic paint scheme based on finishes analysis. *Long-term.*

Door

A door on the north wall connects to Room 201. It is a stile-and-rail, stained wood door with three-over-three flat panels of different heights which have applied moldings around their perimeters. The door has a Tudor arch top and Gothic-style tracery at the top of its three upper panels. The door has a round brass knob and is hung by two, two-knuckle, ball-top, butt hinges and swings into Room 201. The door, its hardware, and its surrounding trim appear original.

The closet door is described below.

Condition

The north door is in good condition overall. There is a crack and area of loss at the jamb around the strike plate.

Recommendation

Repair door jamb. *Short-term.*

Windows

A large, pointed arched window opening is on the south wall. Within the opening are three, one-over-one, wood-framed sash windows. The center window is fixed in place and the flanking are single-hung, but are currently non-operable. The bottom sash are rectangular and the top are pointed. There are no interior shutters on these windows. Stained glass is above each sash and a stained-glass quatrefoil is centered below the point of the arch.

High above the arched window opening is a rose window. Within it, wood tracery forms a quatrefoil shape that holds stained glass.

Two lancet window openings are on the east wall. In each opening is a one-over-one, single-hung, wood-framed sash window. Both sash are rectangular. Each window has a metal sash lock and chains with pulleys connected to weights. Each bottom sash also has two metal hand pulls recessed into its bottom rail. There are



Photo 214: Vaulted ceiling with painted wood framing in Room 204..

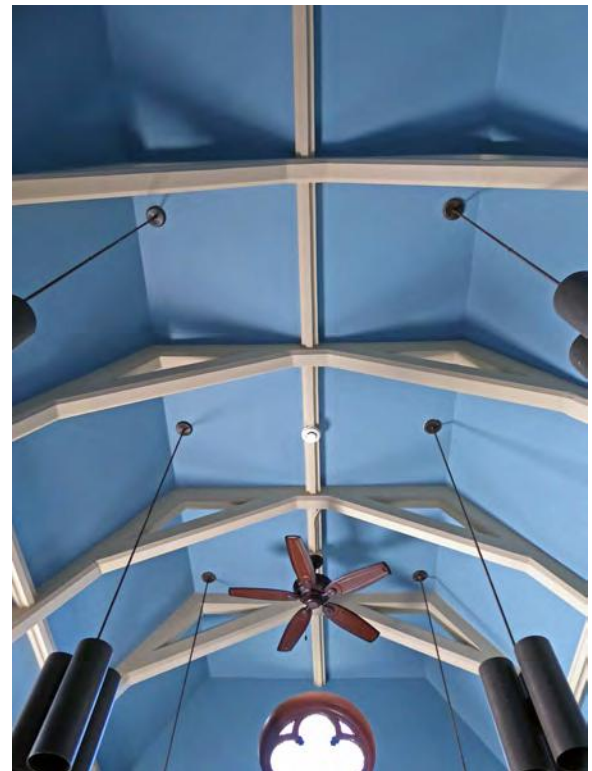


Photo 215: Vaulted ceiling with painted wood framing in Room 204.

no interior shutters on these windows. Stained glass is above each sash to fill in the rest of the lancet opening.

Above the lancet window openings, cutting into the side of the vaulted ceiling, is a small rose window. Within it, wood tracery forms a quatrefoil shape that holds stained glass.

Condition

The windows are in good condition. All windows in this room were restored in 2010. Their exteriors were prepped and repainted in 2016.

Recommendation

Maintain existing windows.

Closet

A closet is on the north side of the fireplace on the west wall. It has a stile-and-rail, stained wood door with three-over-three flat panels of different heights which have applied moldings around their perimeters. The door has a Tudor arch top and Gothic-style tracery at the top of its three upper panels. The door has a round brass knob and is hung by two, two-knuckle, ball-top, butt hinges. The door swings out into Room 204. The closet door, its hardware, and its surrounding trim all appear original.

Condition

The closet door is in good condition.

Recommendation

Maintain closet door.

Millwork

There is a fourteen-inch-high stained wood baseboard around the perimeter of the room. The baseboards are capped with a molding.

Under the windows are stained wood panels with pointed trefoil arch inserts.

Elaborate, Gothic-style, stained, wood trim surrounds the door and window openings.



Photo 216: View northwest in Room 203 showing closet and door to Room 201.



Photo 217: View of door into Room 204 from Room 201.



Photo 218: Two lancet windows on east wall in Room 204.

All the millwork in this room appears original and is similar in design of that retained throughout the main section of the building.

Condition

The millwork is in overall good condition. The panels below the windows have some wear.

Recommendation

Fill any abrasion on panels. Refinish panels. *Long-term.*

Fireplace

Centered on the west wall is a fireplace with a stained wood surround and mantle and a ceramic tile hearth. The mantel and surround have a Gothic-style design with panels with trefoil arch inserts and quatrefoils between around the firebox. Rectangular green glazed ceramic tiles also surround the firebox and extend onto the hearth and firebox floor. The firebox has a decorative cast iron insert with fleur-de-lis motifs. The fireplace and its components all appear original.

Condition

All the components of the fireplace are in good condition.

The flue likely remains open at this floor inside the firebox.

Recommendation

Close flue to prevent chimney effect. *Long-term.*

Electrical

There are six pendant fixtures consisting of three tall can lights in a triangular form which hang down from the ceiling. A ceiling fan is surface mounted to a rib on the ceiling at the south end of the room.

Recommendation

Replace existing pendant can light fixtures with fixtures that have a more historic design or are less obtrusive, and which allow light to be thrown more widely, to illuminate the walls and ceiling. *Long-term.*

Heating

One fan coil unit is on either side of the east windows and another is directly under the south window opening.

See MEP report for additional information regarding plumbing, electrical and heating.



Photo 219: Rose window above lancet windows on east wall in Room 204.



Photo 220: Fireplace on west wall in Room 204.

ROOMS 205 & 206 - OFFICES

Room to the east of the stair hall. Currently used as office space for the Borough. Originally, Rooms 205 and 206 were one undivided space that was referred to as the "Music Room."

Floor

Red carpet with a simple gold floral motif fully covers the floor. It is identical to that in the adjacent stair hall. Historic wood floorboards are beneath. Originally, double floors were laid through the house, with heavy felt between the flooring.

Condition

The carpet is in excellent condition.

Recommendations

Maintain carpeting as it protects the historic wood floor from abrasion by foot traffic. Replace carpeting as needed. Use only mechanical fasteners to install carpeting if there is historic flooring beneath. Do not use liquid adhesives. Survey the historic wood floor below the next time the carpeting is replaced.

Walls

Painted plaster on the outer walls. A partition wall made of stained wood framing and large sheets of textured privacy glass divides the room.

Condition

The walls are in good condition.

Recommendation

Restore historic paint scheme based on finishes analysis. *Long-term.*

Ceiling

Dropped ceiling of metal t bars and rectangular acoustical tiles in a grid pattern, concealing a Gothic-style vaulted ceiling behind similar to that in Room 204. Florescent light fixtures are included in the ceiling grid.

Conditions

The dropped ceiling is in good condition.



Photo 221: Partition wall between Rooms 205 & 206.



Photo 222: View south in Room 206.



Photo 223: View north in Room 206.

The historic vaulted ceiling was not viewed during our survey, so its condition was not assessed, though it was likely damaged during the January 1980 fire.

Recommendations

Remove dropped ceiling and florescent fixtures. Restore historic ceiling as needed. Install new light fixtures. *Long-term.*

Doors

Double pocket doors on the west wall in Room 205 connect to the stair hall. They are stile-and-rail, stained wood doors with three-over-three flat panels of different heights which have applied moldings around their perimeters. The doors have Gothic-style tracery at the top of their three upper panels.

A door on the partition wall connects the two rooms. This door is similar in design as that described above, but has a flat, not arched, top. The door has a round brass knob and is hung by two, two-knuckle, ball-top, butt hinges and swings into Room 206. The door and its hardware appear original and may have been relocated from the doorway into Room 207, which does not have a door.

A doorway on the north wall in Room 205 connects to Room 207. The doorway does not hold a door.

The closet doors are described below.

Condition

The doors are in good condition overall. There is a long crack on an interior stile of the south pocket door.

Recommendation

Repair crack on pocket door. *Long-term.*

Windows

A large, Gothic-arched window opening is centered on the east wall. Within the opening are three, one-over-one, single-hung, wood-framed sash windows. The bottom sash are rectangular with clear glass and the top are arched with



Photo 224: Pocket doors on west wall in Room 205.

music-themed stained glass. The top sash of the center window depicts the muse of Music. The lower sash of the adjacent windows have stained glass inserts depicting composers Michael William Balfe and Vincenzo Bellini. The windows are currently non-operational and fixed in place. There are no interior shutters on these windows. Stained glass is above each sash and a stained-glass small rose window is centered below the point of the arch.

Above the arched window opening is a stained glass rose window. It has been blocked off by the dropped ceiling and is only visible from the exterior.

There is one, one-over-one, single-hung, wood-framed sash window on the south wall in Room 206. Both sash of the window are rectangular. The top sash has a decorative arched top. The window has a metal sash lock and chains with pulleys connected to weights. The bottom sash also has two metal hand pulls recessed into its bottom rail.

The window has a set of two stained wood shutters at the top of the window opening. They have operable louvers and a pull on the outer stile. The shutters are held to each other and to the window frame by small butt hinges.

The windows appear original. The wood shutters on the south window are a later addition.

Conditions

The windows are in good condition. The east windows were restored in 2010 and had their exteriors were prepped and repainted in 2016. The south window was restored in 2016.

Recommendation

Maintain existing windows.

Closets

Closets flank the pocket doors on the west wall in Room 205. Each has a stile-and-rail, stained wood door with two-over-two flat panels of different heights which have applied moldings



Photo 225: Large, Gothic-arched window on east wall in Room 206.



Photo 226: Top of arched window above dropped ceiling.

around their perimeters. The doors have a Tudor arch top and Gothic-style tracery at the top of their two upper panels. Each door has a round brass knob and are hung by two, two-knuckle, ball-top, butt hinges. The doors swing out into Room 205. The closet doors, their hardware, and their surrounding trim all appear original.

Condition

The closet doors are in good condition.

Recommendation

Maintain closet doors.

Millwork

There is a fourteen-inch-high stained wood baseboard around the perimeter of the room. The baseboards are capped with a molding.

Under the windows are stained wood panels with pointed trefoil arch inserts.

Elaborate, Gothic-style, stained, wood trim surrounds the door and window openings.

All the millwork in this room appears original and is similar in design of that retained throughout the main section of the building.

Condition

The millwork is in overall good condition. There is general wear and scuffing throughout the millwork.

Recommendation

Recondition or refinish millwork. *Long-term.*

Electrical

Five-blade ceiling fans are centered in both rooms.

Two rectangular florescent light fixtures are included in the dropped ceiling of each room.

Heating

There are two fan coil units in Room 206 along with an air conditioning unit in the south window.

See MEP report for additional information regarding plumbing, electrical and heating.



Photo 227: North closet in Room 205.



Photo 228: South closet in Room 205.

ROOM 207 - OFFICE

Room to the north of the stair hall. It is currently used as office space for the Borough and was a bed chamber when the building was a private residence.

Floor

Low pile, grey carpeting fully covers the floor. Historic wood floorboards are likely beneath. Originally, double floors were laid through the house, with heavy felt between the flooring.

Condition

The carpet is in fair condition. It is worn from use.

Recommendations

Maintain carpeting as it protects the historic wood floor from abrasion by foot traffic. Replace carpeting as needed. Use only mechanical fasteners to install carpeting if there is historic flooring beneath. Do not use liquid adhesives. Survey the historic wood floor below the next time the carpeting is replaced.

Walls

Painted plaster. A Tudor archway on the east wall connects to a canted bay window. The archway is partially covered by the dropped ceiling.

Condition

The walls are in good condition.

Recommendation

Restore historic paint scheme based on finishes analysis. *Long-term.*

Ceiling

Dropped ceiling of metal t bars and rectangular acoustical tiles in a grid pattern, concealing a Gothic-style vaulted ceiling. Florescent light fixtures are included in the ceiling grid.

Behind the dropped ceiling is a vaulted ceiling made of painted plaster with exposed painted wood framing, similar to that in Room 204.



Photo 229: Vaulted ceiling concealed behind dropped ceiling in Room 207.



Photo 230: Vaulted ceiling concealed behind dropped ceiling in Room 207. Portion of ceiling lost at left.



Photo 231: Dropped ceiling in Room 207.

Conditions

The dropped ceiling is in good condition.

The historic vaulted ceiling is in poor condition. A portion at the south end has been totally removed. The plaster that remains has smoke damage and is cracked throughout. The wood framing is also damaged.

Recommendations

Remove dropped ceiling and florescent fixtures. Restore historic ceiling as needed. Install new light fixtures. *Long-term.*

Doors

A door on the south wall connects to Room 201. It is a stile-and-rail, stained wood door with three-over-three flat panels of different heights which have applied moldings around their perimeters. The door has a Tudor arch top and Gothic-style tracery at the top of its three upper panels. The door has a round brass knob and is hung by two, two-knuckle, ball-top, butt hinges and swings into Room 201. The door, its hardware, and its surrounding trim appear original.

A door on the west wall connects to Room 208 and another on the east wall connects to the stair tower (Room 2ST-1). Both are the same design as that above.

Another doorway on the south wall connects to Room 205. The doorway does not hold a door. It was likely moved to the doorway between Rooms 205 and 206.

Both existing doors, their hardware, and their surrounding trim appear original.

Condition

The doors are in good condition. A modern deadbolt has been installed on the door to Room 208.

Recommendation

Maintain existing doors.



Photo 232: Door into Room 208 on west wall.



Photo 233: Door into Room 205 on south wall.

Windows

There are three, one-over-one, single-hung, wood-framed sash windows on the east wall canted bay. Both sash of each window are rectangular. The top sash has a decorative arched top. Each window has a metal sash lock and chains with pulleys connected to weights. Each bottom sash also has one metal hand pull recessed into its bottom rail. There are no interior shutters on these windows.

A large, pointed arched window opening is on the north wall. Within the opening are three, one-over-one, wood-framed sash windows. The center window is fixed in place and the flanking are single-hung, but are currently non-operable. The bottom sash are rectangular and the top are pointed. There are no interior shutters on these windows. Stained glass is above each sash and a stained-glass quatrefoil is centered below the point of the arch.

Above the arched window opening is a stained glass rose window. It has been blocked off by the dropped ceiling and is only visible from the exterior.

Conditions

The windows are in good condition. All windows in this room were restored in 2010. Their exteriors were prepped and repainted in 2016.

Recommendation

Maintain existing windows.

Millwork

There is a fourteen-inch-high stained wood baseboard around the perimeter of the room. The baseboards are capped with a molding.

Under the windows are stained wood panels with pointed trefoil arch inserts.

Elaborate, Gothic-style, stained, wood trim surrounds the door and window openings.

All the millwork in this room appears original and is similar in design of that retained throughout



Photo 234: Arched window opening on north wall in Room 207.



Photo 235: Windows on canted bay area on east wall in Room 207.

the main section of the building.

Condition

The millwork is in overall good condition.

Recommendation

Maintain existing millwork.

Fireplace

Centered on the west wall is a fireplace with a stained wood surround and mantle and a ceramic tile hearth. Rectangular green glazed ceramic tiles surround the firebox and extend onto the hearth and firebox floor. The firebox has a decorative cast iron insert. The fireplace and its components all appear original.

Condition

All the components of the fireplace are in good condition.

The flue likely remains open at this floor inside the firebox.

Recommendation

Close flue to prevent chimney effect. *Long-term.*

Electrical

Two rows of four rectangular florescent light fixtures are included in the dropped ceiling.

Electrical

One fan coil unit below the north window.

See MEP report for additional information regarding plumbing, electrical and heating.



Photo 236: Fireplace on west wall in Room 207.

ROOM 2ST-1

Second floor room in the northeast stair tower, connected to Room 207. It is currently used as storage space by the Borough. A spiral staircase connects all levels in the tower.

Floor

Painted wood floor. Originally, double floors were laid through the house, with heavy felt between the flooring.

Condition

The wood floor is in good condition.

Recommendation

Maintain existing wood floor.

Walls

Painted plaster.

Condition

The walls are in overall good condition.

Recommendation

Paint walls. *Short-term.*

Ceiling

Painted plaster.

Condition

The ceiling is overall in good condition.

Recommendation

Paint ceiling. *Short-term.*

Door

A door at the west wall connects to Room 207. It is discussed in that room's description.

Windows

There is one, one-over-one, single-hung, wood-framed sash window on the north wall. Both sash of the window are rectangular. The window has a metal sash lock and chains with pulleys connected to weights. The bottom sash has two metal hand pulls recessed into its bottom rail.

There are two, narrow, rectangular multi-light diamond pane single-hung wood windows



Photo 237: Second floor landing in northeast stair tower.

following the spiral stair at this level.

The windows appear original.

Conditions

The windows are in good condition. The north window was restored in 2016. The staircase windows were restored sometime after 2010.

Millwork

There is a simple wood baseboard around the perimeter of the room.

Elaborate, Gothic-style, stained, wood trim surrounds the door and window openings.

All the millwork in this room appears original and matches the design of that retained throughout the main section of the building.

Condition

The millwork is in good condition.

Recommendation

Maintain existing millwork.

Stairs

Wood spiral stairs at the east end of the room connects to a landing at the second floor. The stairs are painted brown and have no protective covering.

Condition

This portion of the tower stairs is in good condition.

Recommendation

Maintain existing stairs.

Electrical

There is one, surface-mounted, exposed single-bulb, fixture on the ceiling.

Heating

There is one fan coil unit below the north window.

ROOM 208 - OFFICE

Room to the north of the stair hall. It is currently used as office space for the Borough. Originally, this room was a divided space, not open as it currently is. It originally dressing room and connected to bed chamber (Room 207) and had a connecting washroom in the southeast corner. Another washroom was in the southwest corner and connected to the adjacent bed chamber (Room 209). The walls creating these washrooms have been removed and the doorway between Room 209 and its washroom was filled in. A doorway between Room 208 and 209 was added.

Floor

Low pile, grey carpeting fully covers the floor. Historic wood floorboards are likely beneath. Originally, double floors were laid through the house, with heavy felt between the flooring.

Condition

The carpet is in fair condition. It is worn and stained from use.

Recommendations

Maintain carpeting as it protects the historic wood floor from abrasion by foot traffic. Replace carpeting as needed. Use only mechanical fasteners to install carpeting if there is historic flooring beneath. Do not use liquid adhesives. Survey the historic wood floor below the next time the carpeting is replaced.

Walls

Painted plaster.

Condition

The walls are in good to fair condition. There is some cracking and plaster loss in the northeast corner.

Recommendation

Repair deteriorated plaster. *Short-term.*



Photo 238: Panels below north window in Room 208.

Ceiling

Dropped ceiling of metal t bars and rectangular acoustical tiles in a grid pattern, concealing a Gothic-style ribbed vaulted ceiling. Florescent light fixtures are included in the ceiling grid.

Conditions

The dropped ceiling is in good condition. The historic ceiling was not viewed during our survey, so its condition was not assessed.

Recommendations

Remove dropped ceiling and florescent fixtures. Restore historic ceiling as needed. Install new light fixtures. *Long-term.*

Doors

A door on the west wall connects to Room 209. It is a stile-and-rail, stained wood door with three-over-three flat panels of different heights which have applied moldings around their perimeters. The door has a Tudor arch top and Gothic-style tracery at the top of its three upper panels. The door has a round brass knob and is hung by two, two-knuckle, ball-top, butt hinges and swings into Room 209. The door, its hardware, and its surrounding trim appear original.

A door at the east wall connects to Room 207. It is discussed in that room's description.

Condition

The doors are in good condition. A modern deadbolt has been installed on the door to Room 209.

Recommendation

Maintain existing doors.

Windows

There are two, one-over-one, single-hung, wood-framed sash windows on the north wall. Both sash of each window are rectangular. Each window has a metal sash lock and chains with pulleys connected to weights. Each bottom sash also has one metal hand pull recessed into its bottom rail. There are no interior shutters on these windows.

Condition

The windows are in good condition. Both windows were restored in 2019.

Recommendation

Repaint windows in about 5 years. *Short-term.*

Millwork

There is a fourteen-inch-high stained wood baseboard around the perimeter of the room. The baseboards are capped with a molding.

Under the windows are stained wood panels with pointed trefoil arch inserts.

Elaborate, Gothic-style, stained, wood trim surrounds the door and window openings.

All the millwork in this room appears original and is similar in design of that retained throughout the main section of the building.

Condition

The millwork is in overall good condition. There is general wear and scuffing throughout the millwork.

Recommendation

Recondition or refinish millwork. *Long-term.*

Electrical

Florescent light fixtures are included in the dropped ceiling.

See MEP report for additional information regarding plumbing, electrical and heating.

ROOM 209 - MEETING ROOM

Room to the north of the stair hall. It is currently used as a meeting room for the Borough and was used as a bed chamber when the building was a private residence. Originally, the bed chamber connected to a washroom, in what is now Room 208, at the south side of the east wall.

Floor

Low pile, grey carpeting fully covers the floor. Historic wood floorboards are likely beneath. Originally, double floors were laid through the house, with heavy felt between the flooring.

Condition

The carpet is in fair condition. It is worn from use.

Recommendations

Maintain carpeting as it protects the historic wood floor from abrasion by foot traffic. Replace carpeting as needed. Use only mechanical fasteners to install carpeting if there is historic flooring beneath. Do not use liquid adhesives. Survey the historic wood floor below the next time the carpeting is replaced.

Walls

Painted plaster.

Condition

The walls are in good condition.

Recommendation

Maintain existing walls.

Ceiling

Dropped ceiling of square acoustical tiles in a grid pattern, likely concealing a Gothic-style ribbed vaulted ceiling.

Conditions

The dropped ceiling is in good condition. An area of the ceiling is patched in the southeast corner of the room.

Recommendations

Remove dropped ceiling and florescent



Photo 239: View northwest in Room 209.



Photo 240: View northeast in Room 209.



Photo 241: View southeast in Room 209.

fixtures. Restore historic ceiling as needed. Install new light fixtures. *Long-term.*

Doors

A door on the south wall connects to Room 201. It is a stile-and-rail, stained wood door with three-over-three flat panels of different heights which have applied moldings around their perimeters. The door has a Tudor arch top and Gothic-style tracery at the top of its three upper panels. The door has a round brass knob and is hung by two, two-knuckle, ball-top, butt hinges and swings into Room 209. The door, its hardware, and its surrounding trim appear original.

A door at the east wall connects to Room 208. It is discussed in that room's description.

Condition

The doors are in good condition.

Recommendation

Maintain existing doors.

Windows

There are two, one-over-one, single-hung, wood-framed sash windows on the north wall and the west wall. Both sash of each window are rectangular. Each window has a metal sash lock and chains with pulleys connected to weights. Each bottom sash also has one metal hand pull recessed into its bottom rail. There are no interior shutters on these windows.

There is another similar window at the east end of the north wall that is part of a set of three. The other two are in Room 208.

Condition

The windows are in good condition. All windows were restored in 2019.

Recommendations

Repaint windows in about 5 years. *Short-term.*

Millwork

There is a fourteen-inch-high stained wood baseboard around the perimeter of the room.



Photo 242: Patched area of acoustical tile ceiling in southeast corner of Room 209.



Photo 243: Fireplace in northwest corner of Room 209.

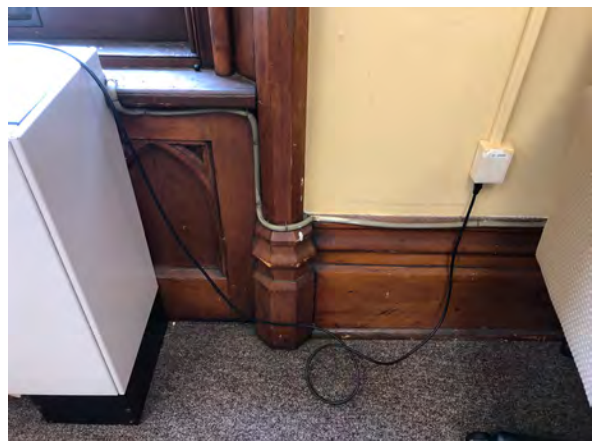


Photo 244: Baseboard and panels below windows in Room 209.

The baseboards are capped with a molding.

Under the windows are stained wood panels with pointed trefoil arch inserts.

Elaborate, Gothic-style, stained, wood trim surrounds the door and window openings.

All the millwork in this room appears original and is similar in design of that retained throughout the main section of the building.

Condition

The millwork is in overall good condition.

Recommendation

Maintain existing millwork.

Fireplace

In the northwest corner is a fireplace with a stained wood surround and mantle and a ceramic tile hearth. Rectangular light grey glazed ceramic tiles surround the firebox and extend onto the hearth and firebox floor. The firebox has a decorative cast iron insert. The fireplace and its components all appear original.

Condition

All the components of the fireplace are in good condition.

The flue likely remains open at this floor inside the firebox.

Recommendation

Close flue to prevent chimney effect. *Long-term.*

Electrical

Two rows of four rectangular florescent light fixtures are included in the dropped ceiling.

Heating

A fan coil unit is centered below the double windows on the north wall and below the window on the west wall.

See MEP report for additional information regarding plumbing, electrical and heating.

ROOM 210 – MEN’S RESTROOM

Currently used as a men’s restroom for the Borough. There is a small vestibule before entering the main restroom. The space also as a bathroom when the building was a private residence. Rooms 210-212 made up the servants’ quarters when the building was a private residence. This section of the building was gutted by a fire in 1967 and its interior was completely rebuilt.

Floor

Small square ceramic tiles laid out in a uniform grid pattern with black grout joints.

Condition

The ceramic tile is in good condition.

Recommendation

Maintain existing flooring.

Walls

Painted gypsum wall board. Square ceramic tile covers the lower portion of the walls.

Condition

The walls are in good condition.

Recommendation

Maintain existing walls.

Ceiling

Painted gypsum wall board.

Condition

The ceiling is in good condition.

Recommendation

Maintain existing ceiling.

Doors

There is a door connecting to the hall to enter the vestibule and another to enter the main room. Both are flat, painted wood doors with a metal push on their north side and a metal pull on the south. Both doors have metal kick plates.

Condition

Both doors are in overall good condition.



Photo 245: View south in Room 210.



Photo 246: View north in Room 210.



Photo 247: Urinals on east wall in Room 210.

Recommendation

Maintain existing doors.

Windows

There is one, one-over-one, single-hung, wood-framed sash windows on the south wall. Both sash of are rectangular. The bottom sash has textured privacy glass while the top has clear glass. The bottom sash also has one metal hand pull recessed into its bottom rail.

Condition

The window is in fair condition. The meeting rails do not line up.

Recommendation

Restore window S208 as part of the ongoing phased window restoration project.
Immediate.

Millwork

Elaborate, Gothic-style, painted, wood trim around the window has been retained. There is simple, flat, non-historic wood trim around the doors.

Condition

The millwork is in good condition.

Recommendation

Maintain existing millwork.

Plumbing

Two urinals are on the east wall and a ceramic toilet is at the south end of the room. Two white wall-mounted sinks are on the east wall.

Electrical

There is one linear, ceiling-mounted fluorescent light fixture in the vestibule and the main room.

Heating

There is a baseboard heater along the floor of the south wall.

See MEP report for additional information regarding plumbing, electrical and heating.



**Photo 248: Window on south wall in room 210.
Meeting rails do not line up.**

ROOM 211

The room currently serves as storage space and acts as a hallway between offices. Historically, the servants' stairs between the first and second floors were located where this room is now along the north wall. The stairs were likely removed when the Elks constructed their addition, now the Library, in 1939. Rooms 210-212 made up the servants' quarters when the building was a private residence. This section of the building was gutted by a fire in 1967 and its interior was completely rebuilt.

Floor

Low pile, grey carpeting fully covers the floor.

Condition

The carpeting is in good condition.

Recommendation

Maintain existing carpeting.

Walls

Painted gypsum wall board. There is a black vinyl wall base along the room perimeter.

Condition

The walls are in good condition.

Recommendation

Maintain existing walls.

Ceiling

Dropped ceiling of square acoustical tiles in a grid pattern.

Condition

The dropped ceiling is in good condition.

Recommendation

Maintain drop ceiling.

Door

A door on the east wall connects to the hallway that leads to the intermediate landing of the main staircase. It is a flat, painted wood door with a round knob and is hung by three, five-knuckle, button-top, butt hinges and swings into the hallway.



Photo 249: View east in Room 211.



Photo 250: View west in Room 211.

A door on the south wall connects to Room 212. It is discussed in that room's description.

The closet door is described below.

Condition

The door is in good condition.

Recommendation

Maintain existing door.

Windows

There are no windows in this room.

Millwork

There is simple, flat, non-historic wood trim around the doors.

Condition

The millwork is in good condition.

Recommendation

Maintain existing millwork.

Closet

A square closet constructed of gypsum wall board is in the northwest corner of the room. It has doors on its east wall and south wall. They are flat, stained wood doors with round knobs and are hung by three, five-knuckle, button-top, butt hinges and swing into Room 211.

Condition

The closet doors are in good condition.

Recommendation

Maintain existing closet doors.

Electrical

There are two rectangular, ceiling-mounted fluorescent light fixtures.

Heating

There is a fan coil unit in the hallway and another on the south wall at the west end of the room.

See MEP report for additional information regarding plumbing, electrical and heating.

ROOM 212 – OFFICE

Rooms 210-212 made up the servants' quarters when the building was a private residence. This section of the building was gutted by a fire in 1967 and its interior was completely rebuilt.

Floor

Low pile, grey carpeting fully covers the floor.

Condition

The carpeting is in good condition.

Recommendation

Maintain existing carpeting.

Walls

Painted gypsum wall board. There is a black vinyl wall base along the room perimeter.

Condition

The walls are in good condition.

Recommendation

Maintain existing walls.

Ceiling

Dropped ceiling of square acoustical tiles in a grid pattern.

Conditions

The dropped ceiling is in good condition.

Recommendation

Maintain drop ceiling.

Door

A door on the north wall connects to Room 211. It is a flat, painted wood door with a round knob and is hung by three, five-knuckle, button-top, butt hinges and swings into Room 212.

Condition

The door is in good condition.

Recommendation

Maintain existing door.



Photo 251: View east in Room 212.

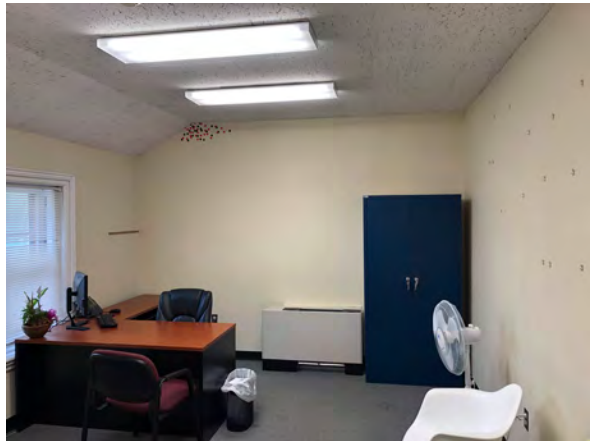


Photo 252: View west in Room 212.

Windows

There are two, one-over-one, single-hung, wood-framed sash windows on the north wall in separate locations. Both sash of each window are rectangular. Each window has a metal sash lock and chains with pulleys connected to weights. There are no interior shutters on these windows.

Condition

The two windows are in fair condition.

Recommendation

Restore windows S209 & S210 as part of the ongoing phased window restoration project. *Immediate.*

Millwork

There is simple, flat, non-historic wood trim around the doors.

Condition

The millwork is in good condition.

Recommendation

Maintain existing millwork.

Electrical

There are three rectangular, ceiling-mounted fluorescent light fixtures.

Heating

There is one fan coil unit below the window on the east side of the roof and another centered on the west wall.

See MEP report for additional information regarding plumbing, electrical and heating.



Photo 253: Window at west end of south wall in Room 212.



Photo 254: Window at east end of south wall in Room 212.

ROOM 213 – OFFICE

Room in the rear addition of Borough Hall. The addition was constructed after the 1967 fire.

Floor

Low pile, grey carpeting fully covers the floor.

Condition

The carpeting is in good condition.

Recommendation

Maintain existing carpeting.

Walls

Painted gypsum wall board. There is a black vinyl wall base along the room perimeter.

Condition

The walls are in good condition.

Recommendation

Maintain existing walls.

Ceiling

Dropped ceiling of square acoustical tiles in a grid pattern.

Conditions

The dropped ceiling is in good condition.

Recommendation

Maintain drop ceiling.

Door

A door on the east wall connects to Room 211. It is a flat, painted wood door with a round knob and is hung by three, five-knuckle, button-top, butt hinges and swings into Room 212.

An exit door on the west wall connects to the exterior fire escape. It is a flat, painted metal door with a push bar, closer and metal kick plate. It swings out onto the fire escape.

Condition

The doors are in good condition.

Recommendation

Maintain existing doors.



Photo 255: Exit door on west wall in Room 213.



Photo 256: Chimney on east wall in Room 213.

Windows

There is one, one-over-one, single-hung, wood-framed sash window on the west wall and another on the south. Both sash of are rectangular. The bottom sash has a hand pull recessed into its bottom rail.

Conditions

The windows are in fair condition.

Recommendation

Restore windows S211 & W202 as part of the ongoing phased window restoration project.
Immediate.

Millwork

There is simple, flat, non-historic wood trim around the doors.

Condition

The millwork is in good condition.

Recommendation

Maintain existing millwork.

Electrical

Rectangular, ceiling-mounted fluorescent light fixtures.

Heating

There is one fan coil unit on the west wall and an air conditioning unit in a window.

See MEP report for additional information regarding plumbing, electrical and heating.



Photo 257: Typical window in Room 213.

ROOM 3ST-1

Third level in the northeast stair tower. A spiral staircase connects all levels in the tower.

Floor

Painted wood floor. Originally, double floors were laid through the house, with heavy felt between the flooring.

Condition

The wood floor is in good condition.

Recommendation

Maintain existing wood floor.

Ceiling

Painted plaster. A plaster covered dropped beam is at the top of the stair.

Condition

The ceiling is in fair condition. There are some small cracks throughout and a long, wide crack at the edge of the plaster covered beam which has created an area of detachment.

Recommendation

Install plaster buttons along crack on beam. *Immediate.*

Rout and fill other cracks. Paint ceiling. *Long-term.*

Walls

Painted plaster.

Condition

The walls are in fair condition. There are some small cracks throughout.

Recommendation

Rout and fill other cracks. Paint walls. *Long-term.*

Door

A thin wood door at the landing connects to the final flight of stairs to the top of the tower. The door is non-historic and has a sliding bolt lock.



Photo 258: Crack and associated detachment of plaster on beam at third level of northeast stair tower.



Photo 259: Cracks on wall at third level of northeast stair tower.

Windows

There are three, narrow, rectangular multi-light diamond pane single-hung wood windows following the spiral stair at this level.

There is one lancet window opening at on the north wall of the landing. In the opening is a one-over-one, single-hung, wood-framed sash window. The top sash is arched, and the bottom sash is rectangular. The window has chains with pulleys connected to weights. It does not have a sash lock.

The windows appear original.

Condition

The windows are in good condition. The north window was restored in 2016. The staircase windows were restored sometime after 2010.

Recommendation

Maintain existing windows.

Millwork

There is a simple wood baseboard around the perimeter of the landing.

Elaborate, Gothic-style, stained, wood trim surrounds the door and window openings.

All the millwork in this room appears original and matches the design of that retained throughout the main section of the building.

Condition

The millwork is in good condition.

Recommendation

Maintain existing millwork.

Stairs

Wood spiral stairs at the east end of the room connects to a landing at the second floor. The stairs are painted brown and have no protective covering.



Photo 260: Arched window on south wall at third level of northeast stair tower.



Photo 261: View of landing and spiral stair at third level of northeast stair tower.

Condition

This portion of the tower stairs is in good condition.

Recommendation

Maintain existing stairs.

Electrical

A circuit breaker panel is on a wall at the stairs.



Photo 262: Door to final flight of stairs and top level at third level of northeast stair tower.

ROOM 4ST-1

Octagonal-shaped top room in the northeast stair tower. A spiral staircase connects all levels in the tower.

Floor

Painted wood floor. Originally, double floors were laid through the house, with heavy felt between the flooring.

Condition

The wood floor is in good condition.

Recommendation

Maintain existing wood floor.

Ceiling

Painted plaster.

Condition

The ceiling is in good condition. It was replastered sometime after 2012.

Recommendation

Paint ceiling. *Long-term.*

Walls

Painted plaster.

Condition

The walls are in overall good condition. There is an area of paint loss on the east side of the room.

Recommendation

Paint walls. *Long-term.*

Windows

There are eight, narrow, rectangular multi-light diamond pane single-hung wood windows around the room.

The windows appear original.

Condition

The windows are in good condition and were restored sometime after 2010.



Photo 263: Repaired ceiling of top room in northeast stair tower.



Photo 264: Wood post and guardrail at landing in top room in northeast stair tower.

Recommendation
Maintain existing windows.

Millwork

There is a simple wood baseboard around the perimeter of the landing.

Elaborate, Gothic-style, stained, wood trim surrounds the door and window openings.

All the millwork in this room appears original and matches the design of that retained throughout the main section of the building.

Condition
The millwork is in good condition.

Recommendation
Maintain existing millwork.

Stairs

Wood spiral stairs at the east end of the room connects to a landing. The stairs are painted brown and have no protective covering.

Condition
This portion of the tower stairs is in good condition.

Recommendation
Maintain existing stairs.



Photo 266: Spiral stair in top room of northeast stair tower.



Photo 265: Landing in top room in northeast stair tower.



Photo 267: Spiral stair to door in top room of northeast stair tower.



Photo 268: Typical wood window in northeast stair tower.



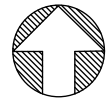
Photo 270: Paint loss on wall in northeast stair tower.



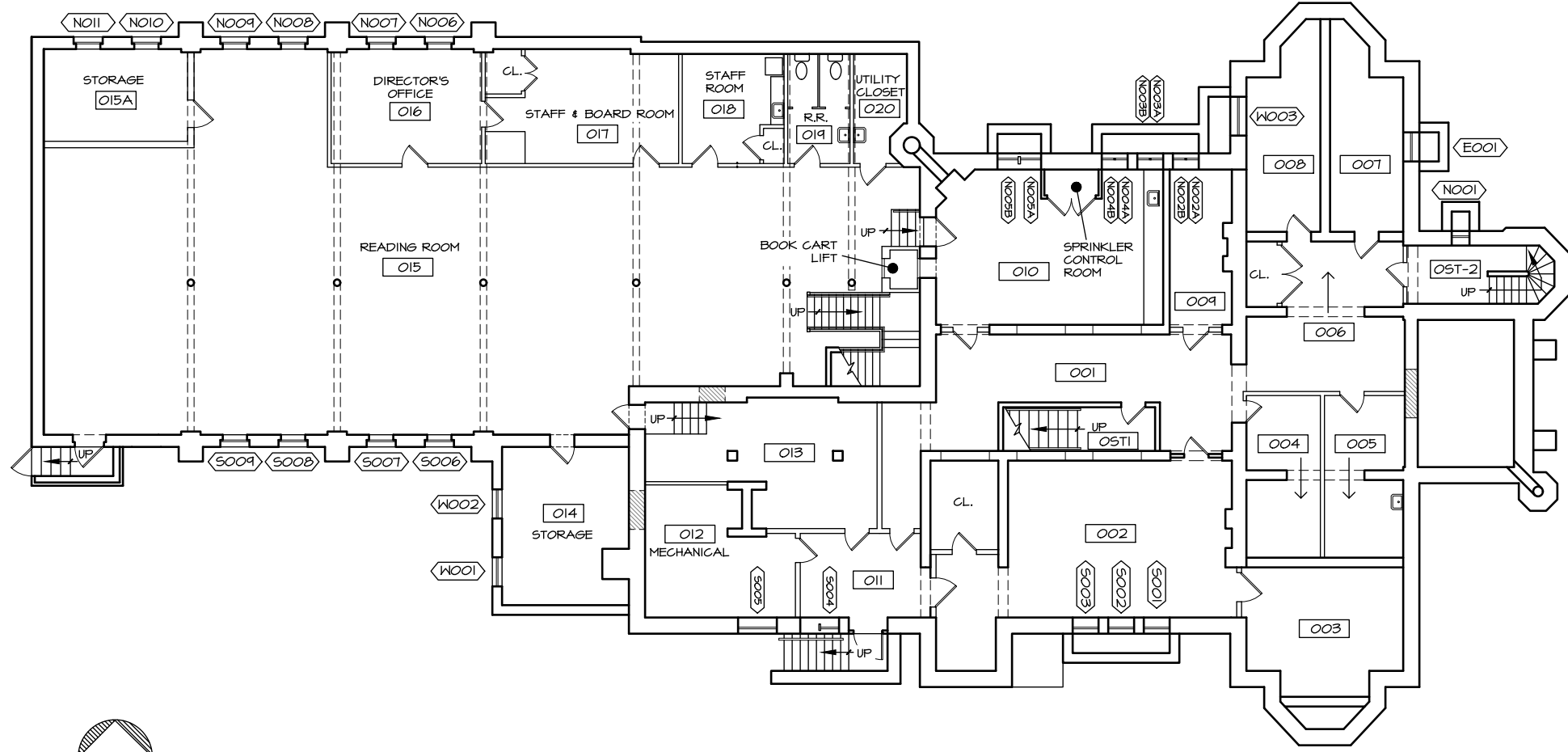
Photo 269: Typical wood window in northeast stair tower.

IV. EXISTING CONDITIONS ANALYSIS

E. Existing Conditions Drawings



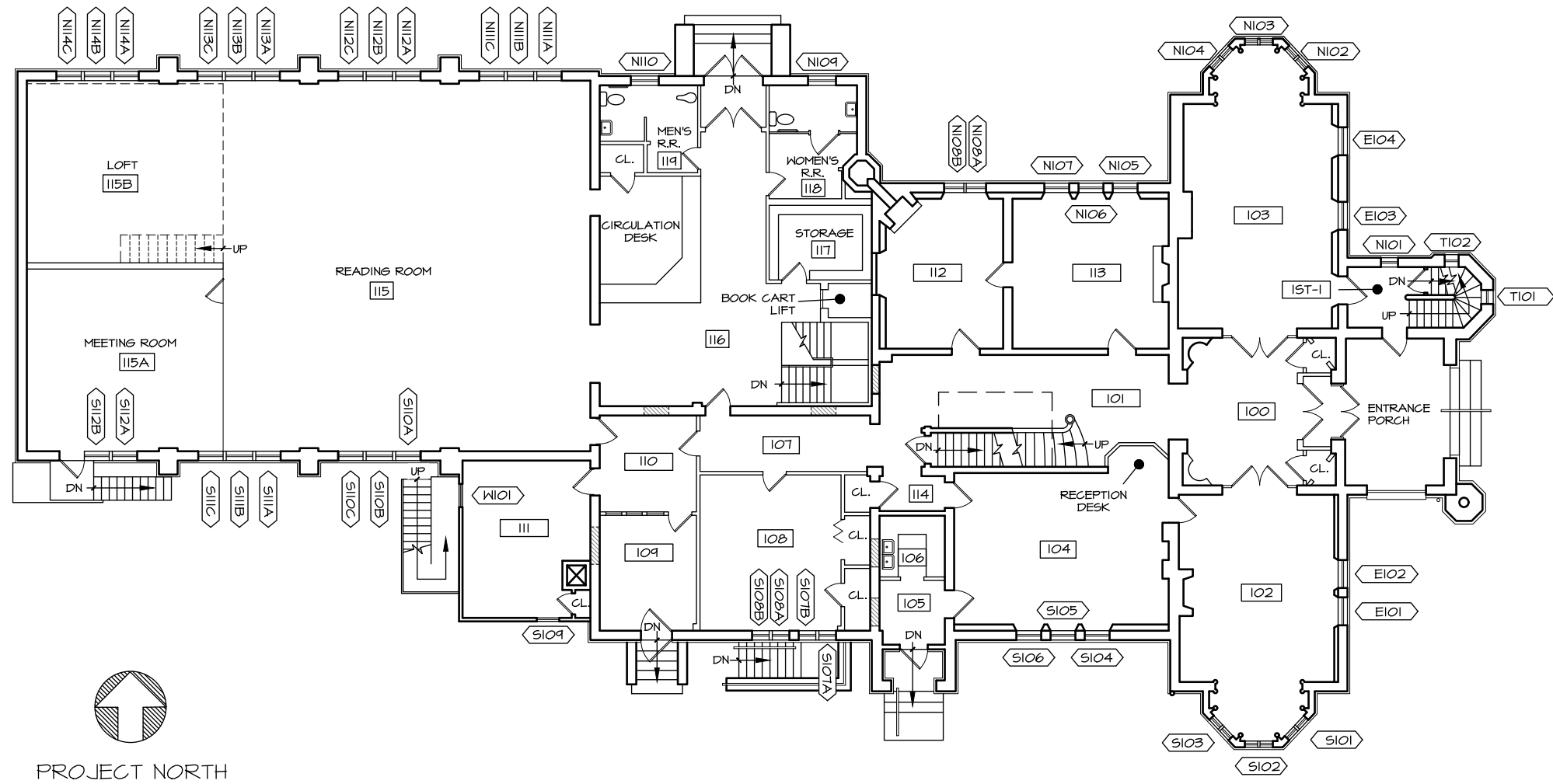
PROJECT NORTH



1
100

BASEMENT FLOOR PLAN

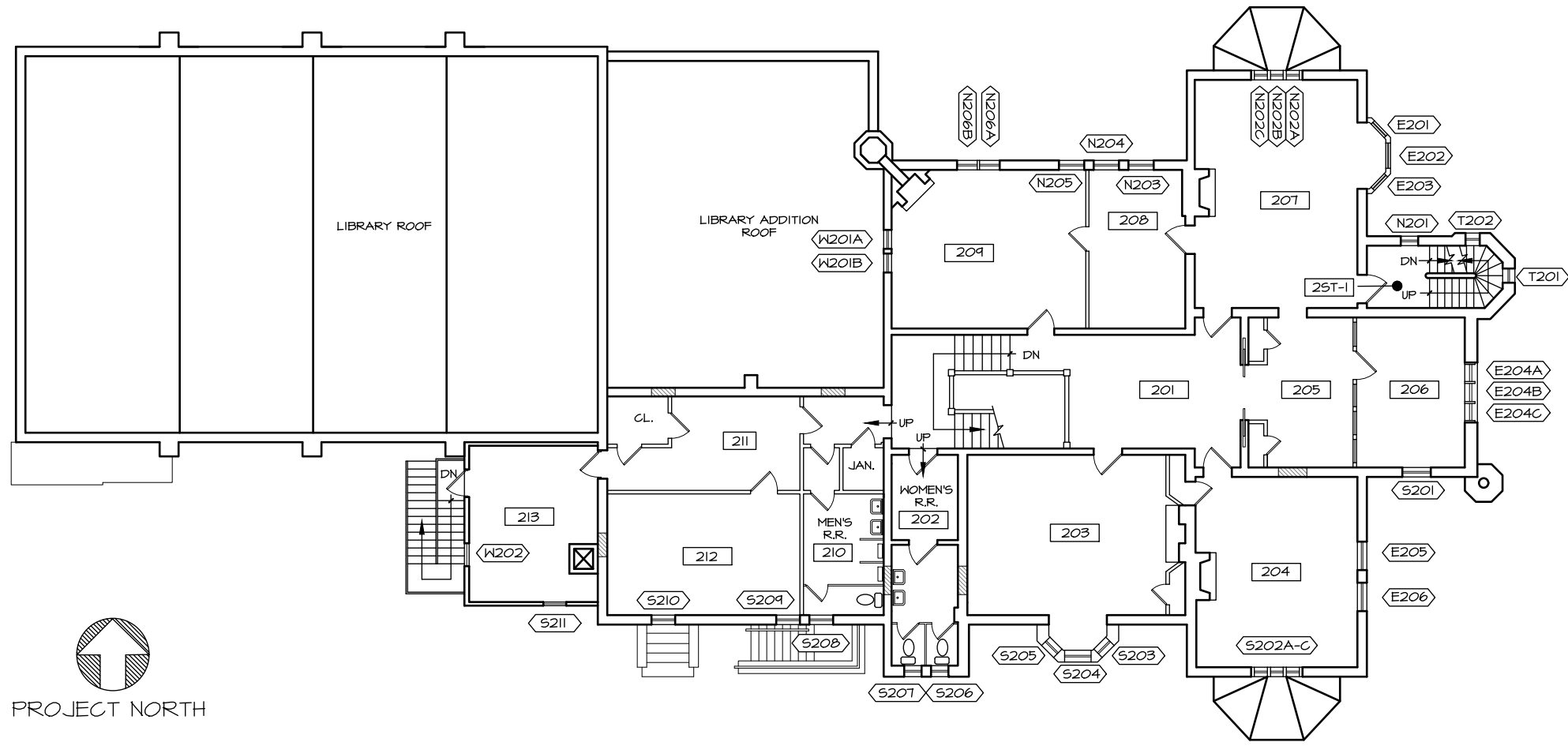
SCALE: 1/16" = 1'-0"



PROJECT NORTH

1 FIRST FLOOR PLAN
A-101

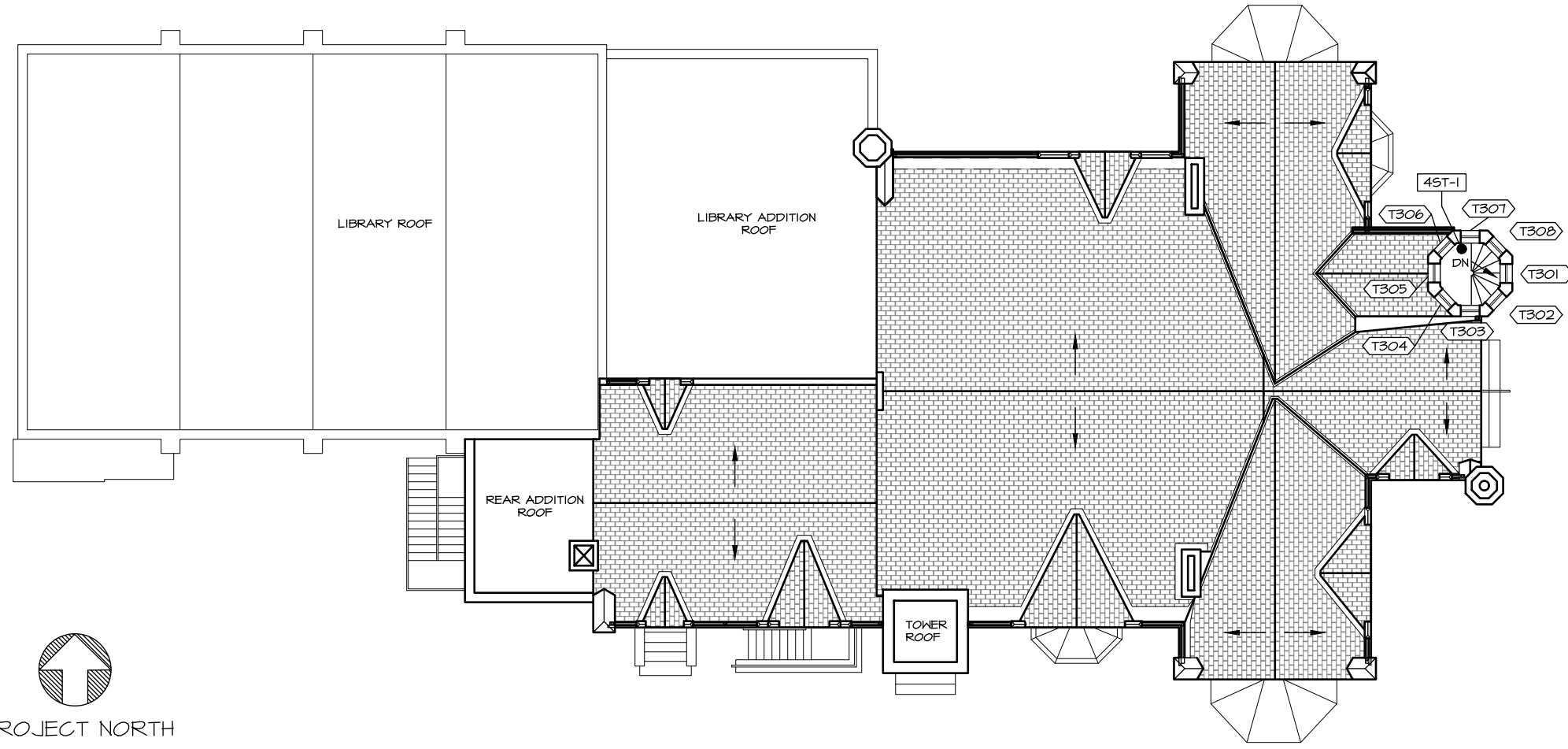
SCALE: 1/16" = 1'-0"



1
A-102

SECOND FLOOR PLAN

SCALE: 1/16" = 1'-0"



1 ROOF PLAN
A-103

SCALE: 1/16" = 1'-0"



1 EAST ELEVATION
A-200

SCALE: 1/16" = 1'-0"



2 SOUTH ELEVATION
A-200

SCALE: 1/16" = 1'-0"

V. BUILDING CODE AND ACCESSIBILITY ANALYSIS

A. Methodology

This section provides an overview of the major code issues that may impact the future use and function of the Somerville Borough Hall and Public Library.

The basis for this architectural code review is the State of New Jersey, Uniform Construction Code, Rehabilitation Subcode, NJ AC 5:23-6 known as the Rehab Code. This Subcode, first adopted by the State in 1998, and updated in 2002, regulates work on existing buildings, whether that work is a change of use, addition, or renovation. Included within this Subcode are specific requirements for designated historic structures, including those structures individually listed on the State and/or National Registers, and structures denoted as "contributing" within districts listed on these registers. Provisions of other subcodes of the Uniform Construction Code for the State do not apply to existing buildings unless referenced within this Subcode.

The Somerville Borough Hall was listed on the New Jersey and National Registers of Historic Places on March 5, 2008 as the Daniel Robert House. The Historic Buildings Section of the Rehabilitation Subcode therefore applies to future work on the building.

Key to utilizing the sub-code is to first identify the level of proposed work to be undertaken during any given project. The four work categories are "Repair", "Renovation", "Alteration", and "Reconstruction," listed in order of extent of intervention, with "Repair" being the lowest, and "Reconstruction" being the greatest. Also critical to the application of the sub-code is determining the existing Use Group, or if there is to be a change in use. The Subcode outlines the basic code requirements for each use group along with special requirements for historic structures, changes of use, and additions.

The Daniel Robert House was designed and constructed in 1888 as a private, single-family residence. Expanded and converted to public use in 1928 by the Somerville Lodge of the Elks, and in 1958 to the Somerville Borough Hall and Public Library, the uses of which have continued to the present day. Although housed in different areas of the building and separated by masonry walls, there is an overlap between the uses in the basement and the two sections connect via doorways at the basement and first floors. The building should be classified as mixed use, with offices for the Borough classified as "B" Business Use; the Library as "A-3" Assembly Use. Therefore, our review of the Rehabilitation Subcode will include the specific code requirements for a mixed-use building, "B" Business Use, "A-3" Assembly Use, as well as any supplemental requirements.

This code analysis is not based on any one specific proposed project, but rather is intended to be a general assessment based on general requirements for the continuation of the current Use Groups. The analysis is also based on the assumption that the current organizations will continue to occupy the building for the foreseeable future. As a result, any future work will need to be assigned to one of the four work categories in order to appropriately apply the rehab sub-code.

Some key elements of this code review are highlighted below and includes complete code references and compliance notes.

B. Key Code Review Notes

While much of the recommended immediate and short-term work would be considered Repair or Renovation work, some of the long-term recommendations concerning accessibility would be considered to be Alteration work.

Subchapter 6.6 Alterations

The work as proposed in the documents would be defined as an alteration in the Rehabilitation Subcode. This section identifies basic requirements for alterations including interior finish ratings, structural requirements, exit capacity, barrier free requirements, etc. for all alteration projects. Of particular concern were the following.

Letter (c) (3)

Number 3 indicates that no work shall be undertaken that reduces accessibility below that required by the Barrier Free Subcode.

Interpretation

NJ UCC 5:23-7.4 indicates that all nonresidential buildings with less than 10,000 square feet, must have one accessible entrance. Small buildings with less than 3,000 square feet are not required to have an elevator. All buildings owned by public entities regardless of the square footage must provide an accessible route to the upper floors.

The Somerville Borough Hall and Public Library is a public building owned by a public entity, and has more than 3,000 square feet. Therefore, an accessible route must be provided to all occupied floor levels. The first floor of the Library and Borough Hall is accessible via a ramp at the Library entrance, but the basement levels of both sections, and the second floor of Borough Hall are not accessible. There is no accessible route connecting the two basement sections.

Currently, there are no accessible bathroom facilities in the Borough Hall, although they are provided at the Library on the first floor. The staff restroom in the Library basement, presumably also used by Borough staff whose offices are in the basement, is not accessible.

Provide accessible access to all occupied areas of the Borough Hall and Public Library, and an accessible route between the basement sections. Install accessible bathroom facilities in Borough Hall and at basement. This is a long-term recommendation, but one that should be

accounted for in the ongoing planning for work at Borough Hall.

Letter (e)

Number 3 Replacement Doors

Number 3, letter *i* indicates that in buildings required by the Barrier Free Subcode to be accessible when new door openings are created, existing door openings enlarged or door assemblies replaced the new doors shall be made accessible.

Interpretation

When a door is replaced, enlarged or modified, the new door shall be made accessible. As part of the long-term accessibility planning for Borough Hall, entrance and interior doors should be adapted to be accessible.

Number 4, Barrier Free Subcode

Number 4 indicates that buildings required by the Barrier Free Subcode to be accessible, an accessible entrance shall be provided when entrance steps area being replaced provided the work does not add more than 20 percent to the cost of the step replacement project. Letter (I) indicates that if at least 50% of the other building entrances are accessible, then the installation of a ramp shall not be required.

Interpretation

The existing building, Borough Hall and Library, has two public entrances at the first floor. The Library entrance is accessible, made possible by a ramp. When replaced, at least one set of entrance steps must be made accessible. While this arrangement meets the "letter of the law", long-term planning should also include creating barrier free access at the main entrance at Borough Hall.

Number 14, Fire Blocking

Number 14 indicates that when work being performed exposes wood framing, fire blocking shall be provided as required by IBC.

Interpretation

Fire blocking as required by IBC should be installed when wood framing is exposed during the completion of any Alteration work.

Letter (i)

Number 2, Handrails

Number 2 indicates that replacement handrails and guardrails shall comply with indicated sections of the building code [1003.3.3.11, 1003.3.4.7 & 1003.2.12]. When 50% or more of the handrail or guardrail is replaced on a flight or level then it is considered a complete replacement and must comply with referenced sections of the building code. When less than 50% of handrail or guardrail is replaced, it can match the existing.

Interpretation

If more than 50% of an existing handrail is to be replaced, the new handrail must meet the code as outlined above. If less than 50% of an existing handrail is being replaced, the handrail can match the existing. Currently there is no intention to replace any of the handrails at any of the stairs in the building.

Subchapter 6:11 Basic & Supplemental Requirements all use groups

Letter c, Interior Finishes

Number one indicates that all interior finishes of walls and ceilings shall have a flame spread rating not greater than the class prescribed in Table 2. Table 2 requires the following for B-Business Use:

- Exit Enclosures, Class I
- Exit Access Enclosure, Class II
- Rooms and Spaces, No Minimum.

Interior finishes that do not comply are to be treated with an approved fire-retardant coating.

Exceptions are available for finishes that do not cover more than 10% of the aggregate walls and ceilings and for buildings with an automatic sprinkler system.

Interpretation

The decorative wood wainscot in the stair and corridor of Borough Hall is likely to not be in compliance with the classification rating as outlined above.

Subchapter 6:33, Historic Building, number 8, Interior Finishes, indicates that existing or replacement finishes can remain on corridor walls and ceilings if it can be demonstrated that they are historic. To be considered historic the building must be listed on the State or National Registers or located in a district listed on the State or National Registers. The historic wood wainscot is protected by this section of the code since the building is listed on the State and National Registers of Historic Places.

Subchapter 6:29 Mixed Use Buildings

Although our work has been limited to the Borough Hall, the Somerville Public Library is attached to Borough Hall and thus the building as a whole will be classified as mixed use, B-Business for the Borough Hall Offices and A-3 Assembly for the Library. This section identifies specific requirements for mixed use buildings. Of particular concern was the following:

Letter a. Automatic Sprinkler System

Letter a, indicates that each portion of a building will be separately classified as to use. The requirements of this subcode shall apply to specific portions of the building based on use. Except that the most restrictive requirements of this subcode for installation of an automatic sprinkler system shall apply to the entire building. Number 1, indicates that if the two uses are separated by a one-hour rating, a sprinkler system is not required for uses that would not otherwise require a sprinkler system.

Interpretation

If a sprinkler system is required by this code for either use, B-Business or A-3 Assembly/Library, then the entire building shall be sprinklered, unless there is a one-hour fire separation between the two uses. The library and offices share two

common walls at the basement and first floor levels. The walls are masonry. On the first floor the door between the two uses is HM with wired glass. In the basement there are two doors between the Library and the Borough Hall offices and at least one Library office is located beneath Borough Hall offices.

Install rated doors in the masonry openings between the Library and Borough Hall basement. Confirm all doors separating Borough Hall and the Library are one-hour rated.

Subchapter 6:14 A-3 Assembly, Basic & Supplemental Requirements [Library]

This section identifies basic requirements for alterations including interior finish ratings, structural requirements, exit capacity, barrier free requirements, etc. for the Library wing of the building. Of particular concern were the following:

Letter b. Exits

Two means of exit shall be required for stories with less than 500 occupants.

Number 1. Indicates that existing fire escapes will be accepted as providing one of the means of egress unless it is judged unsafe. Unobstructed access to the fire escapes without having to pass through a room subject to locking is required.

Number 2. A single exit is permitted in the story at the level of exit discharge when the occupant load does not exceed 50 and the exit access travel distance does not exceed 75 feet.

Interpretation

The maximum allowable occupant load of the first floor of the Library is approximately 42 people. An existing exterior fire escape is located at the southeast corner of the reading room. The fire escape is in fair condition. The first floor of the library is in compliance with the code.

The maximum allowable occupant load in the basement of the library is approximately 24. There is one exit to the exterior via an enclosed

stairway in the southeast corner of the reading room. The library is in compliance with the code.

Supplemental Requirements, Letter a. Automatic Sprinkler System

An automatic sprinkler system shall be installed on all floors in use group A-3 when the work area is located on a floor other than the level of exit discharge.

Interpretation

There is one exit from the library basement to the exterior but the travel distance to the exit from some locations in the basement is greater than 75 feet. The installation of an automatic sprinkler system may be required if work is undertaken in this area.

Letter j and Supplemental letter d, Vertical Opening Protection

For interior stairs and other vertical opening protection shall be provided. For openings not exceeding three stories a minimum 30-minute UFC fire barrier rating is required, except when all of the following conditions are met:

- the communicating area has a low hazard occupancy or moderate hazard protected by a sprinkler system
- the lowest or next to the lowest level is the street level.
- the entire area is open and unobstructed
- exit capacity is sufficient to accommodate all occupants simultaneously
- each floor level has at least one half of its occupancy provided by a direct exit to the exterior.

Interpretation

All vertical openings in the Library are located within or in the level below the street level, but direct exit to the exterior is not available. Enclose the interior stair at the basement level. [See letter b, Exit Recommendations above]

Subchapter 6:17 B- Business; Basic & Supplemental Requirements [Borough Offices]

This section identifies basic requirements for alterations including interior finish ratings, structural requirements, exit capacity, barrier free requirements, etc. for the Borough Hall wing of the building. Of particular concern were the following:

Letter a. Exits

Two means of exit shall be required for stories with less than 500 occupants.

Number 1. indicates that existing fire escapes will be accepted as providing one of the means of egress unless it is judged unsafe. Unobstructed access to the fire escapes without having to pass through a room subject to locking is required.

Number 2. A single exit is permitted in the story at the level of exit discharge when the occupant load does not exceed 50 and the exit access travel distance does not exceed 75 feet.

Interpretation

The maximum allowable occupant load of the second floor of the Borough Hall is approximately 38 people [100 gross square feet / person]. Travel distance from the furthest point on the second floor and from the furthest distance from the rear wing intermediate level exceeds the 75 feet allowable distance. Second means of egress are required from the second floor and second floor mezzanine.

An existing fire escape is located at the intermediate level of the rear wing. The fire escape is in fair condition. Access to the fire escape is through an office. This office must remain unlocked at all times to be in compliance with the code.

The distance from the second floor to the existing intermediate level fire escape is approximately 126 feet. It exceeds the allowable travel distance of 75 feet.

Open the doors to the existing tower stair and clear the stairs of all stored material to provide the code required second means of egress. Remove tank in Room OST-2. Reconfigure filing cabinets in the building department office to provide open unimpeded access to the tower stairs in Room 2ST-1. Install new hardware as needed on door to entrance porch in Room 1ST-1. Provide handrail at tower stair.

The doors to basement room 011 should remain unlocked at all times in order to access the exterior stairs.

Letter f Means of Egress Lighting

A lighting level of not less than one-foot candle at the floor level shall be maintained at all times.

Interpretation

Install emergency egress lighting as required by the code in the reopened tower stairs.

Letter g Illuminated Exit Signs

Illuminated exit signs shall be required in all buildings on all levels.

Interpretation

Install exit signs as required by the code in the newly reopened tower stairs.

Letter h Handrails

Every required exit stair having three or more risers not provided with handrails or in which the handrail is in danger of collapse shall be provided with a handrail on at least one side.

Interpretation

Install a handrail in the main stair at Borough Hall and tower stairs.

Subchapter 6:33, Historic Building, number 10. Railings, letter i indicates that handrails on existing stairs can remain or be replaced with handrails to match the existing. To be considered historic the building must be listed on the State or National Registers or located in a district listed on the State or National Registers. The installation of a new handrail is not required because the building

is listed on the New Jersey and National Registers of Historic Places.

Despite this exception, installation of handrails should be installed in the tower stairs since they are a secondary space, and their narrow, spiral design make them more difficult to traverse.

Letter g, Guards

Every open portion of a stair, landing or balcony which is more than 30" above the floor below or from grade shall be provided with guards

Interpretation

A brass rail at guard height has been installed from the intermediate landing up to and including the second-floor landing. Install a guard rail from the intermediate landing to the first floor.

Subchapter 6:33, Historic Building, number 10. Railings, letter ii indicates that where the vertical drop 30" - 48" railings 30" height will be accepted and the existing balustrade spacing can remain. To be considered historic the building must be listed on the State or National Registers or located in a district listed on the State or National Registers. The building is listed on the New Jersey and National Registers.

According to DCA, Code Assistance Division, if work, on the building or in the stair hall, is not completed, then installation of guards will not be required. When work is completed in the stair hall, review and negotiations with the local code official should be undertaken.

Letter J Vertical Opening Protection

When work area exceeds 50% of the overall area, for interior stairs and other vertical opening protection shall be provided. Number 3, for openings not exceeding three stories a minimum 30-minute UFC fire barrier rating is required.

Interpretation

Somerville Borough Hall does not exceed three stories, a minimum 30-minute vertical opening protection is required. Buildings with an

automatic sprinkler system are exempt from this requirement.

Subchapter 6:33, Historic Building, number 9. Stairway, letter i indicates that the stairway enclosure maybe omitted for that portion of a stair serving the first and second floors for one stair only. To be considered historic the building must be listed on the State or National Registers or located in a district listed on the State or National Registers. Since the building is listed on the New Jersey and National Registers of Historic Places, an enclosure is not required.

C. Code Deficiencies Review

Means of Egress

Two means of egress are required from the second floor of the Borough Hall. The existing fire escape on the west elevation of the two-story addition can serve as the second means of egress from the intermediate level between the first and second floors, provided the fire escape is well maintained, and the office through which the escape is accessed remains unlocked at all times.

The existing fire escape does not meet the code as a second means of egress from the second floor. The distance to the exit exceeds code requirements. Reopen the tower stair to provide a second means of egress from the second floor.

There are multiple exits from the first floor of Borough Hall, but many are accessed through other rooms. Provide direct access to a second means of egress from the first floor.

The library basement is used for stacks and has one direct exit to the exterior. Install a sprinkler system and enclose the stair to the first floor at this level.

Vertical Opening Protection, Handrails, Guards and Finishes

Because Borough Hall is listed on the New Jersey and National Registers of Historic

Places the existing open stair, finishes and railings are permitted to remain.

Accessibility

Accessibility to any historic structure is often difficult and may require major changes to grade, entrances, porch configurations and in the case of elevators major interior alterations and/or additions.

As a publicly owned building, Borough Hall and the Public Library must be accessible. Currently, only the first floor of Borough Hall is accessible via a ramp at the Library entrance. Construction of at least one barrier-free exterior entry at Borough Hall and the installation of an elevator to provide access to all levels is required. The entrance and vestibule doors themselves must also be made barrier-free at both Borough Hall and the Library. The Library basement is at a lower level than the Borough Hall basement, and the two sections are only connected by stairs. Therefore, there currently is no barrier-free route between the two basement sections. A barrier-free route should be installed, particularly if basement restroom facilities are to be shared between the two sections.

Currently there are no accessible facilities in Borough Hall or the basement. Construction of accessible bathroom facilities is required. The existing staff restroom in the basement (Room 019) may need to become a single-occupancy restroom to accommodate the required clear space around an accessible toilet. Additional restrooms may need to be installed in the Borough Hall basement if a barrier-free route to the Library is not constructed.

Because Borough Hall has three levels, installation of an elevator in an area where all levels can be accessed would be best. However, given the historic character of the building, this might not be feasible, and a combination of a limited access elevator and space programming might be more practical. The Borough should undertake a long-term

planning effort to address accessibility needs in the building.

Construct new accessible toilet facilities and fixtures in Borough Hall. New accessible facilities could be constructed in the rear wing of Borough Hall.

Recommendations

- Provide barrier-free access to Borough Hall entrance.
- Ensure doors at main public entrances and vestibules at Borough Hall and Public Library are barrier-free.
- Provide barrier-free access to all levels of Borough Hall and the Public Library via an elevator.
- Provide barrier-free route between basement sections.
- Make stair tower useable as a second means of egress from Borough Hall. Remove contents from rooms in tower stair and ensure clear paths at doorways in connecting rooms. Remove tank in basement room OST-2. Install general lighting, emergency lighting, and exit signage as necessary per code in tower. Install handrails along stairs.
- Keep door to second-floor office connected to fire escape unlocked at all times.
- Keep doors to basement room 011 connected to exterior stairs unlocked at all times.
- Fire blocking as required by IBC should be installed in all wood framing exposed during work.
- Install rated doors in openings between the Library and Borough Hall.
- Construct barrier-free toilet facilities in Borough Hall and basement.
- Install barrier-free fixtures in Library basement restroom.
- Enclose the main Library stair in the basement.
- Install sprinkler system in the basement of the Library.

VI. BUILDING SYSTEMS REPORT

SOMERVILLE BOROUGH HALL



35 WEST END AVE, SOMERVILLE, NJ 08876

MECHANICAL & ELECTRICAL CONDITIONS ASSESSMENT AND RECOMMENDATIONS

PREPARED FOR:

HMR Architects
821 Alexander Road, Suite 115
Princeton, NJ 08540

Date: August 27, 2020

PREPARED BY:

KELTER & GILLIGO Consulting Engineers
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K&G Project Number: 2871

MECHANICAL/ELECTRICAL SYSTEMS ANALYSIS

Introduction:

This report has been prepared by Kelter & Gilligo Consulting Engineers to assist HMR Architects in the preparation of a building assessment to evaluate the existing conditions of the historic Somerville Borough Hall. The intent of this document is to provide an overview of the existing mechanical and electrical systems, along with recommendations for repairs and improvements.

Our observations are based on a visual examination of the existing facility that was performed on July 2, 2019. Invasive testing procedures were not utilized to substantiate our observation provided in this report.

General:

The original portion of Somerville Borough Hall, not including the Library addition, is two stories with a full size basement. The basement, first and second floors are approximately 4,250 square-foot each for a total of approximately 12, 750 square-feet. It is our understanding that the building is classified as a group B use. The Library portion of the building is approximately 7,400 square-feet and except for were noted, is not included under this building evaluation.

Fire Protection Systems:

The building is partially protected by a sprinkler system. The basement is an occupied windowless story and therefore provided with a sprinkler system. We did not see fire protection in areas other than the basement.

The incoming fire water service main is sized at 4" and is flanged steel piping. After the main valve, the building piping system utilizes steel Victaulic piping. The piping and associated valves at the point of service appear to be in functional condition (See Photographs No. 7 & 8).

The fire sprinkler main shut off valve has recently been replaced and the detector check valve appear to be in working condition. The backflow preventor should be serviced regularly to assure proper protection of the municipal water system.

Consideration should be given to providing a full coverage system throughout the entire building in accordance with NFPA 13. Depending upon the type of protection necessary a double-interlocking system should be considered. This system would provide a basic level of protection to the historic building structure, in the event of a fire. Due to the historic nature of this building, careful coordination would be required to how the system is plumbed and piping is concealed without a major impact to the building aesthetics.

Plumbing Systems:

The 1" domestic water service for the building is supplied from the city water utility. This system was functional at the time of our survey. The incoming service is located within the basement (See Photograph No.1). Visible portions of the domestic water system are of copper construction. The incoming water service main and shutoff valve appear to be in acceptable condition.

The existing domestic water distribution system should be tested for lead and other contaminants. Depending upon the test results, treatment or pipe replacement may be recommended. In general, copper piping has a 50 year life cycle. In many cases with ideal conditions, the useful life of the piping system may exceed 50 years.

However, it is difficult to access and determine the condition of old piping because the pitting, corrosion and deterioration of the piping wall primarily occurs on the inside of the pipe. At this site the domestic water piping system is of varying ages. The exact age of the older portions of piping is unknown. It is anticipated that the concealed portions of piping are the oldest. If this piping were to rupture and leak, it could cause major damage to the historic building.

The sanitary sewer main is routed through the basement and exits the building towards the South. The visible portion of the sanitary piping within the basement is hub and spigot type cast iron piping (See Photograph No. 2). This existing piping appears to be old and is showing signs of past leakage. It is recommended that a plan to replace the sanitary drainage and venting system be prepared and incorporated with the capital improvements plan.

The bathroom facilities are in average condition. Not all of the plumbing fixtures are in compliance with the current water fixture usage requirements. The existing bathroom should be reconfigured to make provisions for ADA accessibility. At the same time the old plumbing systems serving these areas should be replaced. This includes the sanitary waste drain and venting system as well as the domestic cold, hot and hot water return systems. The new plumbing fixtures should be selected to meet the current energy code requirements. In addition, a master mixing valve and/or temper water valves should be provided per code to prevent scalding.

There is a 2" natural gas service that serves the two (2) 500 CFH boilers. The PSE&G natural gas meter is located in the corner of the basement mechanical room. The assembly appears to be in good condition (See Photograph No. 3).

Domestic hot water is provided from a 50 gallon, 7,000 watt electric water heater. The water heater was manufactured in 04/2007 and is thirteen years old. The system does not have a thermostatic mixing valve arrangement. Hot water is distributed to the plumbing fixtures at storage temperature. There is a risk that someone will be scalded (See Photograph No. 4). It is recommended that the hot water distribution be upgraded to meet current code and energy standards. The size and capacity of the domestic water heating system should be revised under any plumbing alterations plan.

HVAC Systems:

The building is heated by use of two (2) new Lochinvar gas fired boilers (See Photograph No. 9). It is our understanding that these boilers heat the entire building, including the Library. Each boiler is rated for 500 MBH input capacity at 90% efficiency. Each boiler has a 5:1 turndown ratio. At the time the boilers were replaced, the heating hot water piping in the immediate area was replaced and reconnected to the original dual pipe distribution system and the hot water loop serving the Library. The heating hot water loop that serves the Library only has one (1) circulator pump.

The historic portion of the building, excluding the Library, is cooled through the use of an outdoor grade mounded 20 ton chiller (See Photographs No. 10), fan coil units and packaged air terminal units are located throughout the building. This chiller was manufactured by Carrier, model number 30RAP0205DA0000, serial number 1713Q47860. The unit has two compressors and one refrigerant circuit that utilizes R-410A refrigerant. It appears to be in new condition. At the time the chiller was replaced the chilled water piping in the immediate area was replaced and reconnected to the original dual pipe distribution system. Chilled and hot water is distributed to fan coil units located throughout the building.

The fan coil units and packaged air terminal units provide heating and cooling within the spaces they are

located. Borough records indicate that these were installed in 1969. At the time of our survey it was summer and the system was in cooling mode. Nine of the sixteen units on the first floor were not working. The remaining seven units appeared to be providing cooling at a reduced capacity. The discharge air temperature of the functional units was in the range of 61 to 68 degrees F. On the second floor, not all spaces were accessible. Of the twelve units surveyed, three units did not appear to be fully functional. The discharge air temperature of the functional units was in the range of 55 to 62 degrees F. (See Photographs No. 12 thru 16). It is recommended to replace the existing fan coil units and packaged air terminal units to provide code required ventilation and proper heating and cooling.

The outside air louvers are in poor condition and aesthetically displeasing. Each louver is connected to an indoor mechanical unit serving the respective space. The louvers are rust staining the exterior wall. It is unclear if this rust is from rain water or condensate drain water (See Photograph No. 17). It is recommended to replace the louvers when the indoor units are upgraded and provide proper condensate drainage. The louvers should be manufactured to match the exterior wall color.

There is a dual chilled and hot water distribution system that serves the older portion of the building. This piping loop has one (1) circulation pump that distributes dual water to the fan coil units. There are two (2) 3-way valves to change over seasonally from chilled water in the summer, to hot water in the winter. There is an older relay based control system in a large control panel in the mechanical room that appears to have controlled this seasonal switchover. This control system appears to be old, and it is unknown if this system is working properly.

The dual water distribution piping throughout the building is old and in questionable condition. An environmental consultant should test the insulation for hazardous materials. It is recommended to replace all of the old dual water distribution piping system. This includes the 3-way valves, circulation pump, distribution piping and control valves at the point of use. The new piping system should have a primary and standby pump arrangement to provide redundancy in the case of pump failure. This is also recommended for the hot water loop serving the Library.

It is recommended to provide new bathroom exhaust fans, ductwork and exterior louvers.

Consideration could be given to providing a dedicated outside air system. This system would provide ventilation and makeup air to the building. It may be able to be located on the roof of the Library, if it is determined to be structurally feasible. The installation of this system would depend upon the feasibility of where new ductwork can be provided and routed throughout the building. It should be noted, that the installation of new supply and return ductwork of this magnitude, would take away from the historical significance of the spaces it serves.

Electrical Systems:

The electrical service is located in the basement level. The service is a 208/120-volt, three phase, four wire, light commercial configuration and is rated for 600 amperes (See Photograph No. 20). It enters the building overhead on the north side of the building near the main entry to the Library. The overhead service cables aesthetically do not look very nice and are sagging very low in front of the main entry. The overhead service cables connect to a B-K Equipment type CDP main panelboard. There are five (5) main breakers in this panel. The panelboard and breakers are old and do not appear to have been recently tested.

The PSE&G electric meter is located at the point of service. Meter No. 9197435D. This meter has exposed unprotected wiring and should be upgraded to a full enclosed type of meter enclosure.

The electrical service supplies both the older portion of the building and the Library. The combined area served is approximately 19,800 square-feet. The electrical service can support up to 7.4 watts per square-foot at a 0.85 power factor. Based on the current use, it is anticipated that the existing electrical service is suitable to continue to serve the building. However, this should be reevaluated if the HVAC is planned to be upgraded.

The main panel supplies a wireway located in the main electrical room. There are many fused disconnect switches and circuit breakers connected off this wireway. Some of the devices are labeled, but many are either missing labels or it is unclear what they serve (See Photographs No.22 & 23).

It is recommended to separate the janitor's closet and main electrical equipment. Currently the janitor's sink is located within the working space clearance of the electrical equipment. In addition, there is plumbing located above the panels. Per code the space directly above the electrical equipment should be clear of foreign equipment.

Most of the existing branch panelboards throughout the building appear to be in acceptable condition (See Photographs No. 24 & 27). There are some old B-K Electric panels that should be planned to be replaced (See Photographs No. 20 & 25). The panels did have circuit directories. However, they did not appear to be complete for all panels. The space in front of the panels needs to be kept clear of storage to provide access. Most of the panels had equipment stored in front that should be relocated.

It is believed that is still old cloth insulated wiring supplying devices within the building. Cloth insulated wiring was commonly installed from the 1920's through the 1950's. It is estimated to be at least 70 years old. Some of the receptacles, fixtures and raceway systems are also of the same vintage. All of these old electrical components should be replaced.

Lighting in the lobby, offices, restroom, store tenant and other spaces is predominantly fluorescent fixtures (See Photographs No. 28 & 30). While most of the existing fixtures are in functional condition, significant energy savings could be realized by upgrading to LED fixtures with LED drivers per current industry standards.

The fire alarm control panel is a Simplex conventional zoned fire alarm system and serves the entire building. This system is anticipated to be over 40 years old and is way beyond the end of its service life. It is recommended to replace the fire alarm system with a new addressable system. The new system will provide full detection coverage detection, notification and monitoring of the fire sprinkler system. The system should also be provided with carbon monoxide detection.





<u>MECHANICAL AND ELECTRICAL RECOMMENDATIONS:</u>		
<u>Recommendations for the Fire Protection Systems:</u>	<u>Priority:</u>	<u>Budgetary Cost:</u>
1. It is recommended that consideration be given to providing a full coverage, double-interlock fire protection system throughout the entire building, in accordance with NFPA 13.	5 year	Estimated Range of \$100,000 to \$120,000

<u>Recommendations for the Plumbing Systems:</u>	<u>Priority:</u>	<u>Budgetary Cost:</u>
2. It is recommended that the existing domestic water distribution system be tested for lead and other contaminants. The need for remediation would depend upon the water quality test results. Budgetary cost includes testing only.	Near Term	\$1,500
3. Provide ADA bathroom facilities in order to comply with current code.	Near Term	TBD
4. The domestic water and sanitary waste drain and venting piping is old and nearing the end of its life cycle. It is recommended that a plan be developed to replace these piping systems. This upgrade should coincide with the ADA alterations.		Estimated Range of \$150,000 to \$175,000
5. Relocation of janitors closet out of the electrical room.	5 Year	TBD
6. Add thermostatic mixing valve to serve the bathrooms to meet current code. This will prevent scalding.	Near Term	Estimated Range of \$8,000 to \$10,000

<u>Recommendations for the HVAC Systems:</u>	<u>Priority:</u>	<u>Budgetary Cost:</u>
<p>7. Upgrade the older remaining HVAC components to place the system in fully functional condition:</p> <ul style="list-style-type: none"> a. It is recommended to replace all of the old dual water distribution piping and associated, valves and accessories. b. It is recommended to replace the existing fan coil units and packaged air terminal units to provide code required ventilation and proper heating and cooling. c. It is recommended to replace the louvers when the indoor units are upgraded and provide proper condensate drainage. d. It is recommended to provide new bathroom exhaust fans, ductwork and exterior louvers. e. Dedicated outside air system. f. Provide a new HVAC temperature control system. 	5 Year	Estimated Range of \$375,000 to \$425,000

<u>Recommendations for the Electrical Systems:</u>	<u>Priority:</u>	<u>Budgetary Cost:</u>
8. Provide a new fire alarm and automatic smoke detection system complying with IBC 2018 throughout the entire building. We recommend providing an addressable fire alarm system. Activation of any device would sound all audio/visual devices within the building, and the control panel would immediately identify the specific device in alarm.	Near Term	\$120,000
9. Replace existing light fixtures at the main building with new high-efficiency LED fixtures.	5 Year	Estimated range of \$75,000 to \$95,000
10. Upgrade the existing electrical service, main distribution panel and branch panelboards serving the entire building. Provide a new underground electrical service.	7 Year	Estimated range of \$135,000 to \$160,000

PHOTOGRAPHS:

<p>1. Incoming 1" domestic water service, main shutoff valve and utility company meter located in the basement.</p>	
<p>2. Sanitary sewer main leaving the building. In the photo the sanitary main enters the furred out wall cavity and exits the building below grade.</p>	
<p>3. Incoming PSE&G natural gas service, main shutoff valve and utility company meter located in the basement.</p>	
<p>4. Domestic electric water heater. This unit was made by Bradford White and is rated for 7 KW and has a 50 gallon storage capacity. The unit appears to be in acceptable condition. However, the overflow pipe should be extended to 6" AFF.</p>	

5. It is recommended to relocate either the janitor's closet or the electrical service equipment. The janitor's sink is located within the working space clearance of the electrical equipment. There is water piping within this room routed directly above the electrical panels. This piping should be relocated to reduce the risk of fire caused by a leak.



6. Janitor's closet, the plumbing fixtures appears to be in acceptable condition.



7. Fire sprinkler service arrangement. The fire sprinkler main shut off valve has recently been replaced and the detector check valve appear to be in good condition. The backflow preventor should be serviced regularly to assure proper protection of the municipal water system.



8. Fire service main shutoff valve recently replaced.



9. Lochinvar Knight XL boilers, two separate units each rated for 500 MBH at 90%. The boilers were not running at the time of our summer survey. However, they are in relatively new condition and believed to be fully functional. Typical maintenance in accordance with the manufacturer's written directions should be performed.



10. Outdoor grade mounted 20 ton chiller recently replaced. It is our understanding that this unit is in good operational condition. General maintenance should be provided in accordance with the manufacturer's written directions.



11. Mechanical room dual water distribution piping. At the time the chiller and boilers were upgraded the piping in the immediate area was also replaced. Other than that, the piping appears to be very old. Due to oxidation, over time pipe corrodes and loses strength. If this old piping ruptures it could cause server damage to the historic structure. It is recommended to replace it in the near term.



12. Fan coil unit partially blocked by filing cabinet.



13. Retroaire fan coil unit. This unit appears to be relatively new compared to the other units.



14. Fan coil unit blocked by refrigerator.



15. Fan coil unit with two (2) packaged air terminal units located in the windows above the cooling unit. Clearly the fan coil unit does not provide proper cooling to the space.



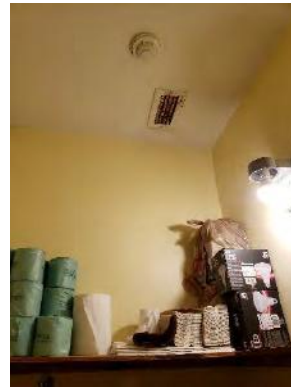
16. Fan coil unit blocked by copy machine.



17. The outside air louvers are in poor condition and aestically displeasing. Each louver is connected to an indoor mechanical unit serving the respective space. The louvers are rust staining the exterior wall. It is unclear if this rust is from rain water or condensate drain water. It is recommended to replace the louvers when the fan coil units are upgraded and provide proper condensate drainage.



18. Janitor's closet exhaust fan appears to old and in need of replacement.



19. HVAC control panel located in the basement mechanical room. The controls are old and at the end of their life cycle. It is recommended to upgrade the existing HVAC control system throughout the building.



20. Main electrical services is a 120/208V, 3P, 4W rated for 600A. Janitor wall mounted sink is within the working space clearance of the electrical equipment. It is recommended to relocate the janitor's closet or when the electrical service is upgraded, the new electrical service be relocated.



21. Main electrical PSE&G meter located at the point of service. Meter No. 9197435D. This meter has exposed unprotected wiring and should be upgraded to a full enclosed type of meter enclosure.



22. Existing branch panelboards, enclosed circuit breakers, disconnect switch are all old and reaching the end of their useful life.



23. Existing disconnect switches and circuit breakers are all old and reaching the end of their useful life.



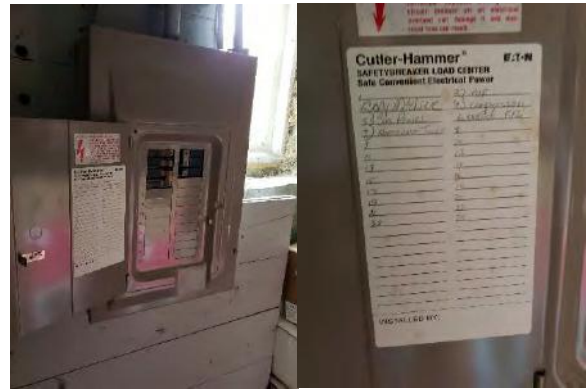
24. Existing branch panelboard in main electrical room with multiple tandem circuit breakers.



25. Existing B-K branch panelboard in basement mechanical room. This panel should be replaced.



26. Existing branch panelboard in basement mechanical room. This panel appears to be in good condition.



27. Existing branch panelboards on first floor. These panels appear to be in functional equipment.



28. Lighting in main lobby is old and should be upgraded with high efficiency LED type light fixtures.



29. Lighting in corridor is old and should be upgraded with high efficiency LED type light fixtures.



30. Lighting in offices is old and should be upgraded with high efficiency LED type light fixtures.



31. Old Simplex conventional zoned fire alarm system. This system is anticipated to be over 40 years old and is way beyond the end of its service life. It is recommended to replace the fire alarm system with a new addressable system.



32. Fire sprinkler service valves are not monitored via tamper switches interconnected with the fire alarm system. They valves are chain locked. Proper monitoring of the sprinkler system should to be provided.



33. Storage should be removed from in front of the fire alarm control system.



VII. ANALYSIS OF SELECTED HISTORIC FINISHES



KEYSTONE
PRESERVATION
GROUP

HISTORIC PRESERVATION
ARCHITECTURAL CONSERVATION

CHRISTOPHER FREY
PRESIDENT, PRINCIPAL CONSERVATOR

**SOMERVILLE BOROUGH HALL
SOMERVILLE, NJ
ANALYSIS OF HISTORIC FINISHES**

**KEYSTONE PRESERVATION PROJECT # 19-026
FINAL REPORT: MARCH 8, 2021**

**PREPARED FOR:
HMR ARCHITECTS**

**PREPARED BY:
KEYSTONE PRESERVATION GROUP**

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Project Team

Project: Somerville Borough Hall: Somerville, NJ

Project Architect: HMR Architects

Materials Analyst: Keystone Preservation Group:
Christopher Frey
Elizabeth L. Covolus

Section A: Summary of Findings

A.1 Introduction

This section constitutes an analysis of selected historic architectural finishes from Somerville Borough Hall in Somerville, NJ. As consultant to HMR Architects, Keystone Preservation Group has completed the following:

- One site visit on July 2, 2019 - during which representative paint samples were removed from selected architectural features on the interior of the building. The study area included Rooms 100, 102, 103, 104, 106, 204, 206 and 207. In general terms, a greater number of samples were removed from rooms that were considered most likely to contain evidence of ornamentation, including Rooms 100, 102, 103 and 204.
- One site visit on August 28, 2019 – during which preliminary, exploratory exposure windows were installed to investigate the presence of decoration/ornament in Rooms 100 and 204.
- Microscopic analysis of 44 paint samples deemed to contain information that might be considered useful when interpreting the chronology/evolution of the building. Analysis included cataloguing samples, cross-sectioning all samples manually, embedding a portion of most samples in clear stable resin, evaluating samples microscopically at various magnifications up to 200x in color-corrected reflected light and longwave ultraviolet light; matching the shade of finishes dating to the early 20th century period of interpretation to standards within the Munsell System of Color and within the Benjamin Moore line of architectural paint finishes are included.
- Submission of a draft report on findings on September 24, 2020.
- Submission of a final report on findings on March 8, 2021.

A.2 Historical Considerations

History

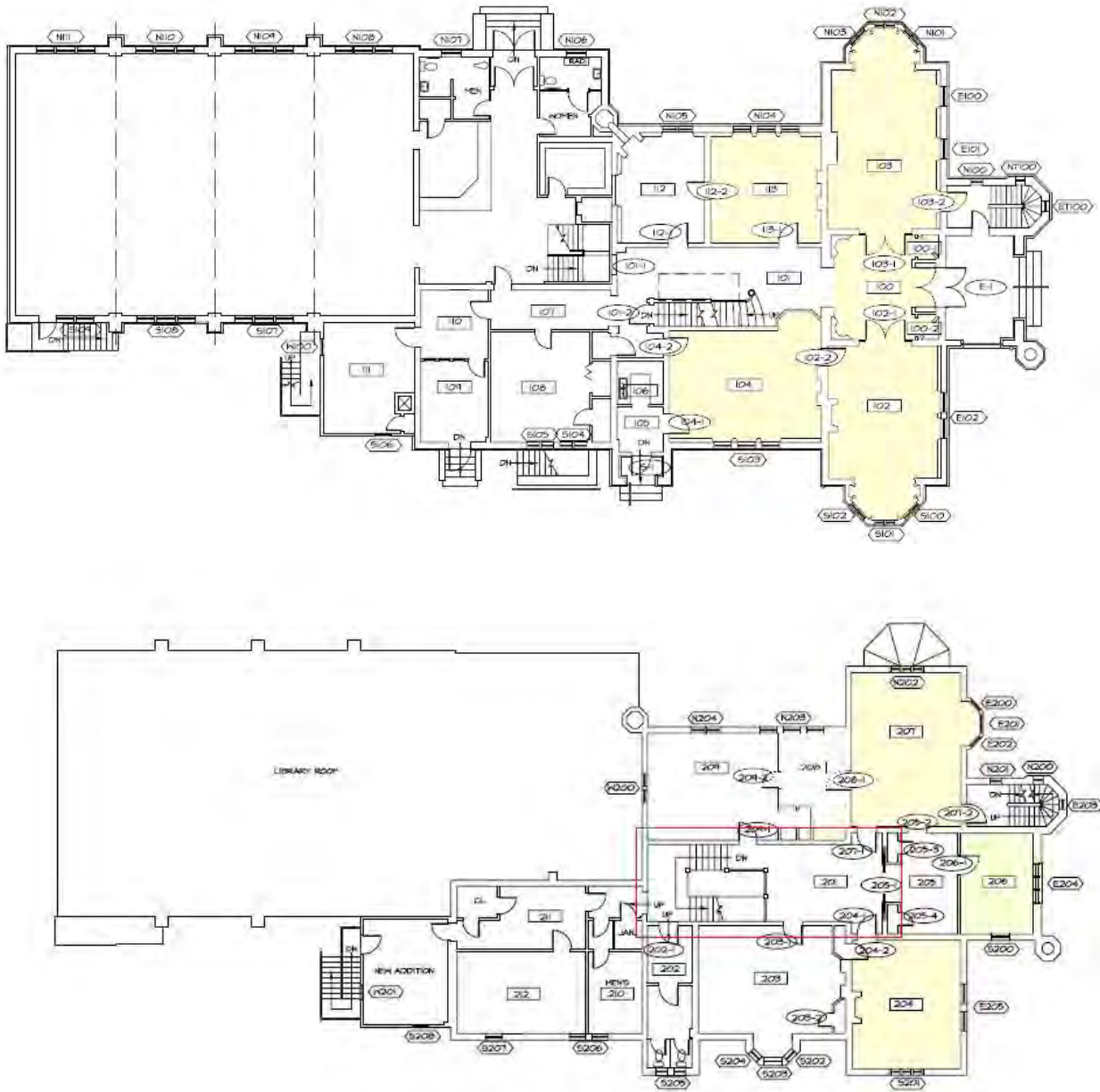
Although the scope of work did not include an evaluation of primary research, information pertaining to the evolution of the building was provided by HMR Architects:

- Ca. 1888: Construction of existing building (replacing a previous structure on site) as a residence for Daniel Robert, based on drawings attributed to the architectural firm of Lambert and Bunnell.¹
- Ca. 1923: Property purchased and renovated by the Elks.²
- Early 20th century: Archival photograph depicts Elks standing in 1st floor Hall; ornamentation is clearly visible above wainscot level.³ This period served as the period of interpretation for a restoration of the stair hall which was completed in 2014.
- Ca. 1958-1959: Property sold to Somerville Borough, used as borough hall afterwards.

¹ http://www.somervillenj.org/filestorage/140/Somerville_Borough_Hall_Somerville_Public_Library_History_and_Tour_Booklet.pdf

² http://www.somervillenj.org/filestorage/140/Somerville_Borough_Hall_Somerville_Public_Library_History_and_Tour_Booklet.pdf

³ Archival photograph provided by HMR Architects.



Figures 1-2. Study area included rooms on the 1st and 2nd floors (shaded). Drawings provided by HMR Architects.

A.3 Data, Observations and Conclusions

A.3.1 Objective

This document constitutes an analysis of *selected* historic finishes for specific spaces within Somerville Borough Hall. By their very nature, *selective* analyses are intended to establish basic information about the history of a building/space or how they may have looked at different points in time. Depending on the complexity of design, the extent to which changes have taken place or the scope of study, *selective* analyses may form the basis for *comprehensive* analyses in which very specific questions regarding building evolution and/or the specific vintage of individual elements or finish layers may be based. *Comprehensive* analyses generally include the assessment of one or more samples from each unique element within a study area and archival research to help correlate findings; such analyses may also include identification of binding media (e.g. distemper, mineral, oil, acrylic), analysis of pigments, and installation of many exposure windows to reveal specific campaigns.

This analysis is thus intended to be *broad* with respect to finishes in spaces within rooms contained within the overall study area. It may be used to help clarify chronology and establish specific information on finishes dating to a single, pre-determined period of historic significance (in this case, the early 20th century). It may also be used to generate questions and identify locations where further study is warranted. It should not, however, be construed as conveying unequivocal, comprehensive interpretation for every single architectural surface in the building. It should also be noted that this document is intended to assist in planning for future assessment of the building.

A.3.2 Paint Terminology

This study references different types of analysis which were required to properly interpret historic finishes:

- “Cross-sections” refer to cross-sectioned paint samples, which consist of fragments of material (paint on plaster and/or wood) which have been removed from the building, embedded in resin, and then cut (cross-sectioned) and polished so that paint campaigns are presented as a series of layers, one on top of another. Cross-sections are assessed microscopically in incident color-corrected visible light and also with incident longwave ultraviolet light.
- “Bulk samples” consist of loose fragments of material which are not embedded but are retained for supplemental analysis and/or color matching. Sample size permitting, portions of each paint layer are selectively revealed and removed one at a time so that their optical characteristics can be assessed and each layer color-matched. Selective removal allows for an assessment of physical characteristics – such as whether a paint layer is stable, or whether it is more or less fragile than another layer. Whereas cross-sections allow examination of only one portion of each fragment, it is possible to examine a greater amount of surface area in bulk samples; doing so sometimes uncovers information which is not always detectable in cross-section.
- “Exposure windows.” The installation of exposure windows employs a process known as destratification, which is essentially the removal of subsequently-installed paint layers to reveal large areas of a specific, targeted finish layer. Preliminary exposure windows were included in the scope of this project – with the intent of investigating the possible presence of historic decoration in selected locations (but not all locations where decorating might be present).

A.3.3 Observations

This analysis has produced the following general observations which have been incorporated into the interpretation of historic finishes for each space in the study area:

- Previous studies have focused on the stair hall, on which both analysis and restoration was completed in the mid 2010s. Although they focused on very specific areas with directed interpretation, previously- completed studies were limited in scope, without having completed comparative analysis elsewhere in the building. That stated, observations contained herein generally confirm the results and recommendations of those studies, with respect both to the vintage of historic finishes and the integrity of paint materials in this building. Additionally, previous work has provided a benchmark against which evidence presented in this study may be compared and assessed.
- Previous studies documented the presence of original ca. 1888 ornament and early 20th century ornament on wall, cornice-level and ceiling surfaces in the stair hall. Evidence produced during this analysis suggests that original finishes included a greater amount of ornament ca. 1888 than was present in the early 20th century. However, analysis raises the possibility that ornament was installed in many rooms between the picture rail and the ceiling during the early 20th century.
- That observation must be qualified; additional analysis might uncover evidence of early 20th century ornament.
- The number of samples which were included in this study varied somewhat in accordance with the public importance of each space, and the likelihood that decoration/ornament might be found therein. For instance, the Entrance Hall, which is the most significant public space in the study area, was allotted 11 samples and several exposure windows, whereas secondary spaces like side offices, were allotted 3 samples and no exposure windows. Regardless of the scope allotted herein, this study offers broad information which may pave the way for future study.
- This building retains an exceptional degree of historic integrity with respect to historic finishes – at least within the spaces which are discussed herein. Most spaces possess evidence of what appear to be original finishes on sanded plaster walls and ceilings, as well as original finishes on smooth plaster ceiling elements such as ribs, moldings and ornament (Figures 3-4).
- With respect to ca. 1888 original finishes, analysis sometimes suggests that ornament such as polychrome, stencils, metallic finishes, etc. are present – especially in significant spaces such as Room 100 (Entrance Hall). In others, there is an extensive amount of chromatic variation in early finishes, and it is not clear whether such variation constitutes the presence of ornament, or the installation or subsequent finish campaigns. To the greatest degree possible, variations which suggest ornament as well as those which suggest changes over time are identified on a room-by room and sometimes a surface-by-surface basis. In selected cases, preliminary exposure windows have confirmed the presence of ornament (Figure 5).
- At some point between original construction ca. 1888 and the early 20th century period of interpretation, nearly all elements appear to have been primed with a paint coating which is generally light in shade, and then also coated with a glaze or a transparent sealer coat which may vary in shade slightly from space to space. This campaign has been noted in previous studies as a possible response to a fire which occurred in the building, but neither the nature nor specific intent of these coatings has not been identified because they appear to fall outside the periods of significance and interest for this building. Regardless, the consistency of the layers present in this campaign serve as a chronological benchmark against which the subsequent layer has been assessed (Figures 6-9).
- In general terms, paint layers associated with the early 20th century period of interpretation appear to be identical to, similar to or compatible with those which have been used to re-create decorative stencils in the Stair Hall. Although at least one metallic finish appears to have been present, they are generally characterized by opaque paint colors which include shades such as *light brown*, *mod orange yellow*, *light grayish green* and *light yellowish brown*; they generally fluoresce *yellow to orange yellow*, which would suggest an oil medium (Figures 10-12). Colors from this period present as slightly different

from space to space. For instance, in some spaces, the same layer may present as Munsell 10YR 7/6, Munsell 10YR 6/4, or Munsell 10YR 6/8. It is possible either that the layers were originally identical, but have lightened or darkened over time depending on exposure and light. It should also be noted that background wall and/or ceiling colors in some spaces present as Munsell 10YR 6/8 which is likely the same color as the Munsell 10YR 5/8 used to repaint the stair hall in the 2010s.

- As was noted during the installation of exposure windows in the Stair Hall, ca. 1988 original finishes proved to be easier to clearly expose than those from the early 20th century. For instance, attempts to expose early 20th century metallic ornament and other finishes in the Entrance Hall were complicated by poor bonding of those finishes as well as the propensity of all finishes to delaminate from the plaster substrate (Figures 13-16).



Figure 3. Sample 100-11 (Upper wall from Room 100 Entrance Hall; 100x magnification in color-corrected reflected visible light (left) and longwave ultraviolet light (right)). Evidence of comprehensive chromachronology from ca. 1888 original construction (line) through current finishes.

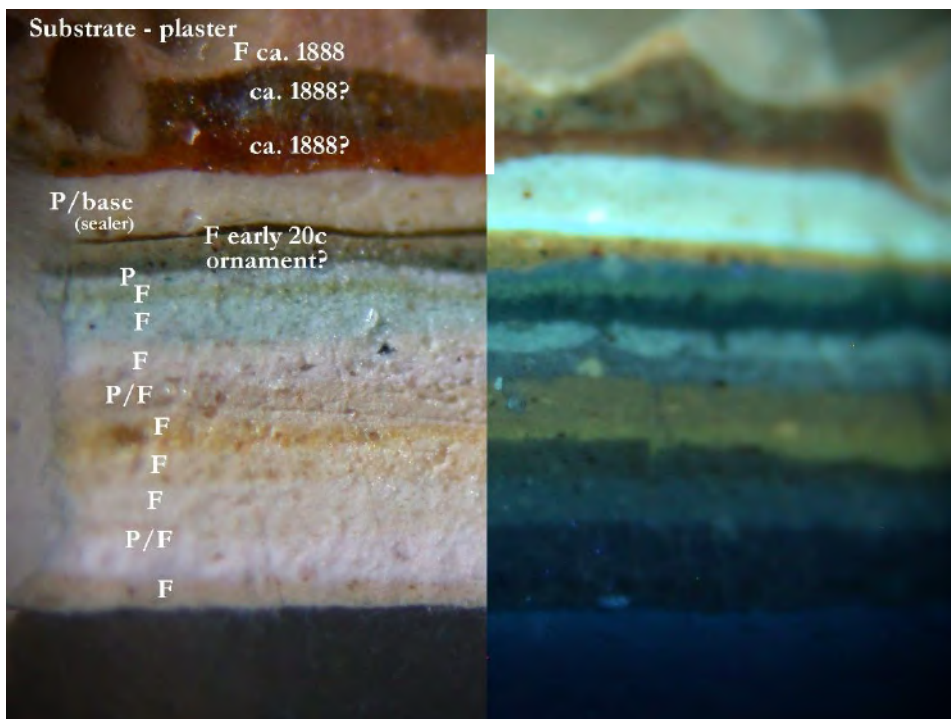


Figure 4. Sample 103-04 (Upper wall from Room 103 Office; 100x magnification in color-corrected reflected visible light (left) and longwave ultraviolet light (right)). Evidence of comprehensive chromachronology from ca. 1888 original construction (line) through current finishes.



Figure 5. Preliminary exposure window on wall surface in Room 100 indicates presence of ca. 1888 geometric and floral stenciling on a wall surface. Exposure did not indicate presence of early 20th century ornament, but some ornament or decoration was suggested by cross-section analysis.

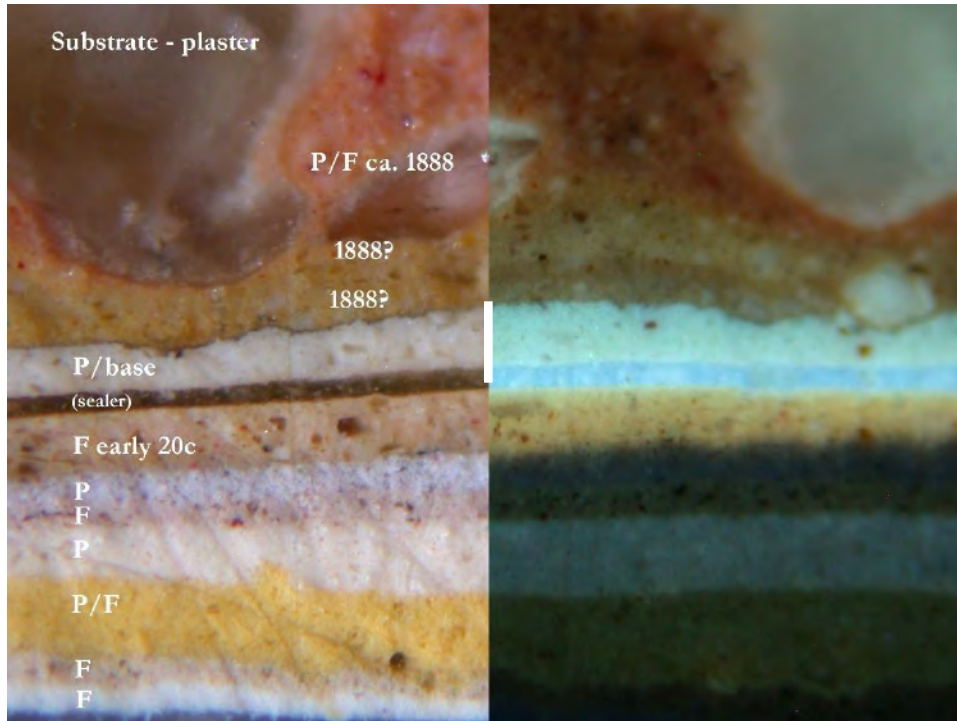


Figure 6. Sample 100-06 (Upper wall from Room 100 Entrance Hall; 100x magnification in color-corrected reflected visible light (left) and longwave ultraviolet light (right)). Evidence of intermediate campaign (line) after early finishes but preceding early 20th century, consisting of a primer paint and a sealer/glaze – intent unknown.

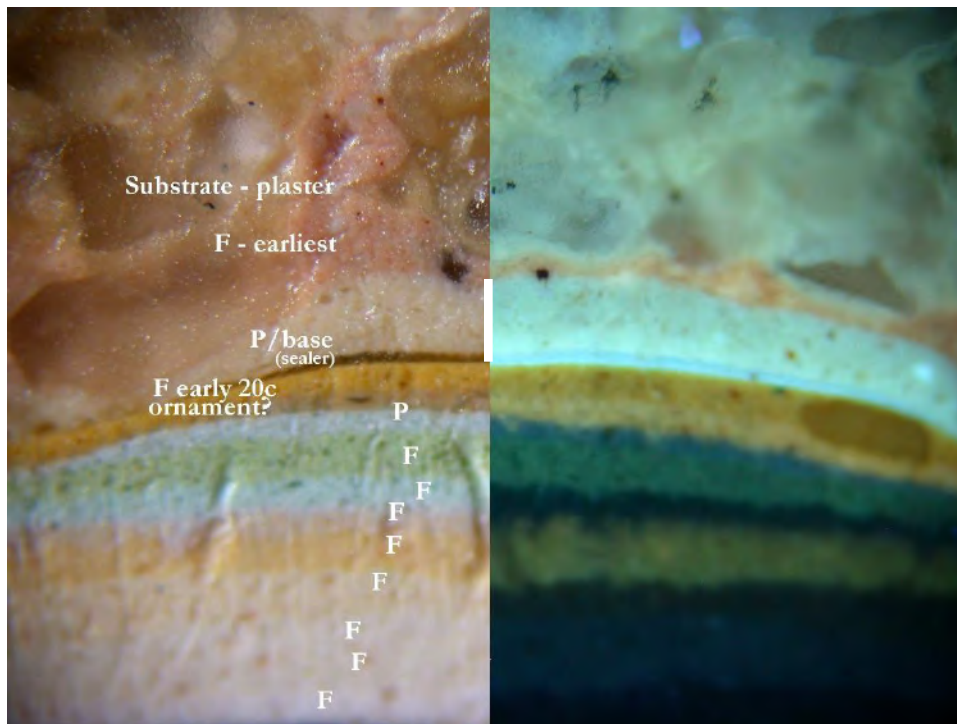


Figure 7. Sample 103-06 (Wall from Room 103 Office; 100x magnification in color-corrected reflected visible light (left) and longwave ultraviolet light (right)). Evidence of intermediate campaign (line) after early finishes but preceding early 20th century, consisting of a primer paint and a sealer/glaze – intent unknown.

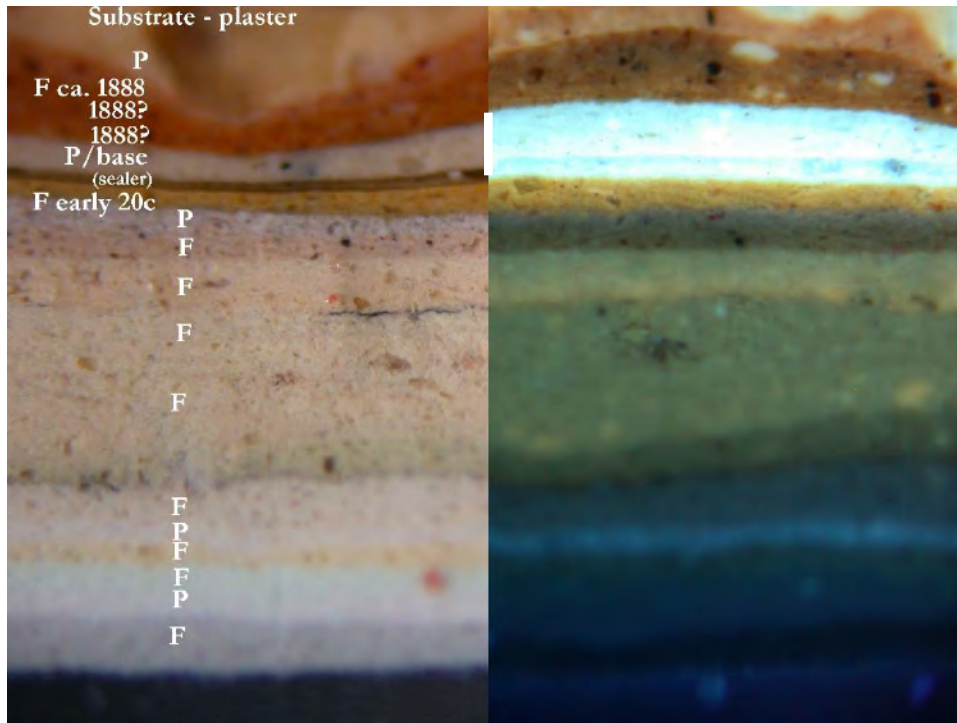


Figure 8. Sample 104-03 (Wall from Room 104 Office; 100x magnification in color-corrected reflected visible light (left) and longwave ultraviolet light (right)). Evidence of intermediate campaign (line) after early finishes but preceding early 20th century, consisting of a primer paint and a sealer/glaze – intent unknown

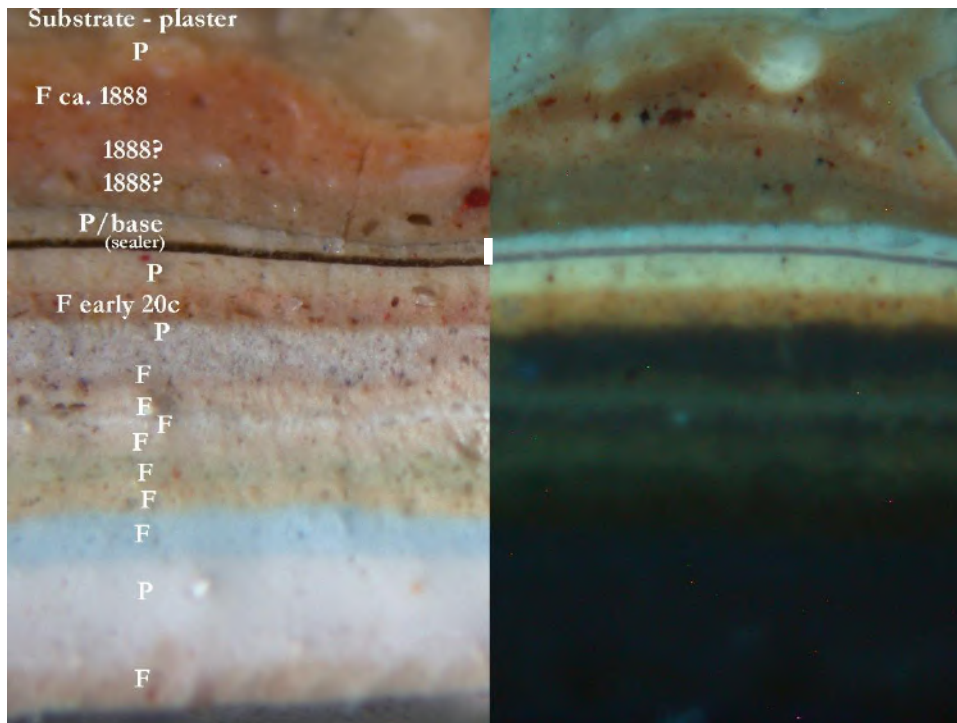


Figure 9. Sample 206-01 (Wall from Room 206 Office; 50x magnification in color-corrected reflected visible light (left) and longwave ultraviolet light (right)). Evidence of intermediate campaign (line) after early finishes but preceding early 20th century, consisting of a primer paint and a sealer/glaze – intent unknown.

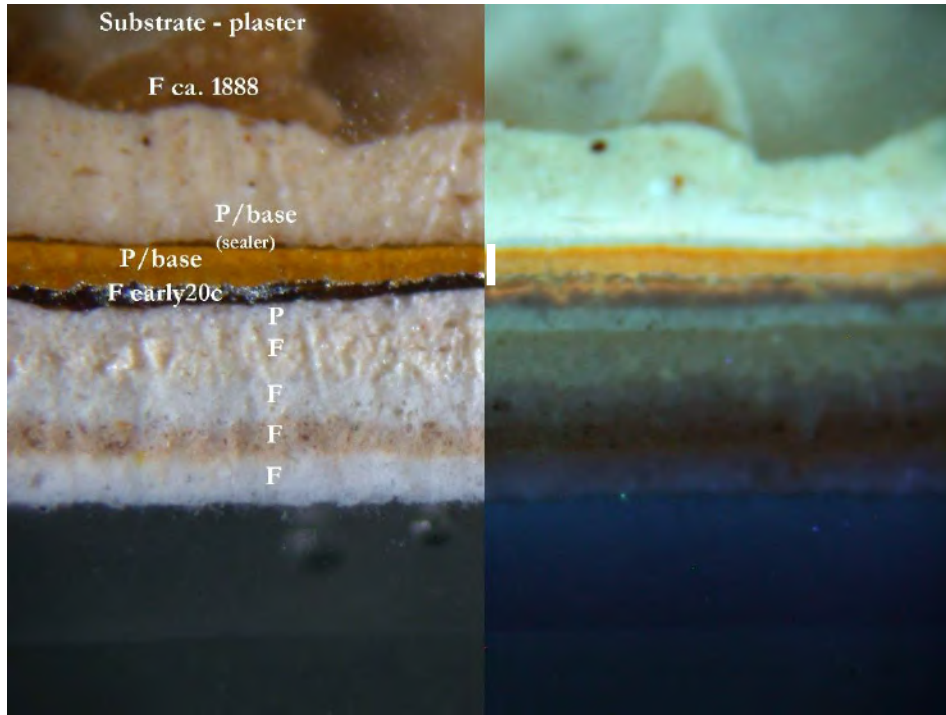


Figure 10. Sample 100-02 (Ceiling from Room 100 Entrance Hall; 100x magnification in color-corrected reflected visible light (left) and longwave ultraviolet light (right)). Early 20th century period of interpretation finishes consisting of silver-colored metallic leaf over mod orange yel base (line); note characteristic orange yellow autofluorescence of paint layers.

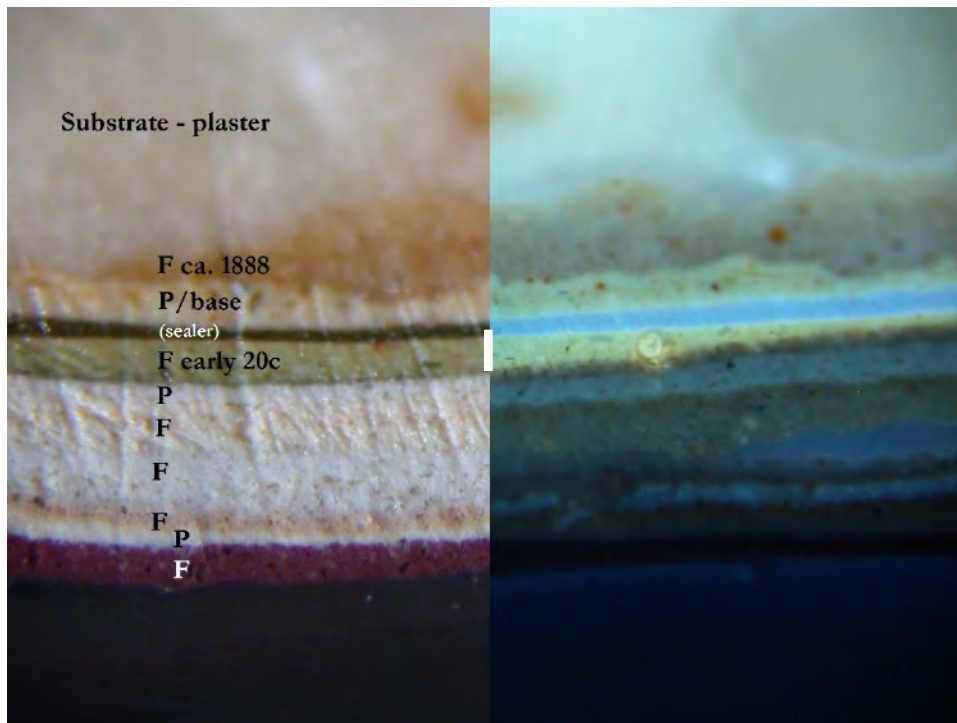


Figure 11. Sample 100-04 (Molding from Room 100 Entrance Hall; 100x magnification in color-corrected reflected visible light (left) and longwave ultraviolet light (right)). Early 20th century period of interpretation finish consisting of light grayish green paint (line); note characteristic yellow autofluorescence of paint layers.

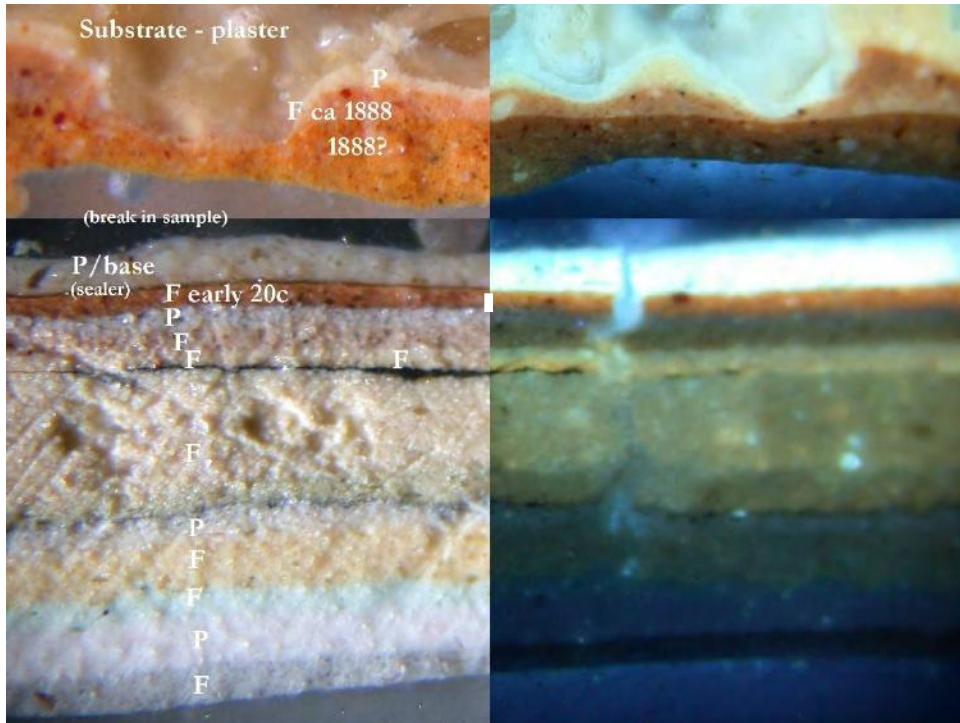


Figure 12. Sample 104-01 (Wall from Room 104 Office; 100x magnification in color-corrected reflected visible light (left) and longwave ultraviolet light (right)). Early 20th century period of interpretation finish consisting of light brown paint (line); note characteristic orange yellow autofluorescence of paint layers.



Figure 13. Preparation for exposure windows in Room 100.



Figure 14. Pre-existing conditions and detachment between paint layers at ceiling level in Room 100; difficulty in installing exposure windows.



Figure 15. Pre-existing conditions and detachment between paint layers at ceiling level in Room 101; difficulty in installing exposure windows.



Figure 16. Pre-existing conditions and detachment between paint layers at ceiling level in Room 100; difficulty in installing exposure windows. Reverse side of detachment exposes metallic powder from early/original finish.

A.3.4 Conclusions

Room 100: Entrance Hall

General observations:

Samples (11) display evidence of comprehensive chromachronologies, possessing layers which date from ca. 1888 original construction through the present.

Period of historic interest (ca. 1888 Original construction)

Possible distemper on ceiling, and hand-mixed paints on wall surfaces. Stenciling found during initial exposure window on wall surface. Colors from this period include *yellowish brown, metallic flake (possibly bronze in suspension), light yellow, orange brown, orange red, olive.*

Period of significance/interpretation (early 20th century)

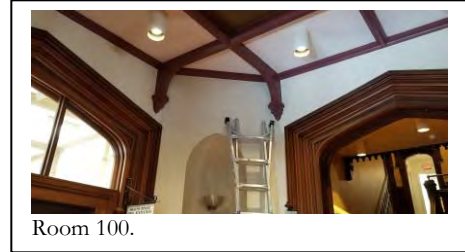
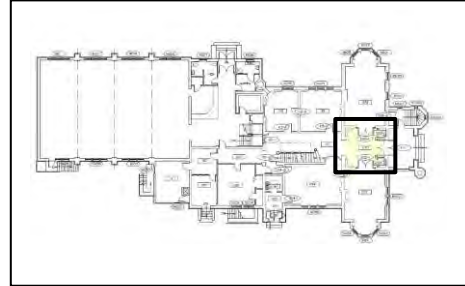
Paint finishes were installed on plaster surfaces such as walls, ceilings, moldings and ribs. Cross-sections and exposure windows suggest the presence of silver-colored leaf in some ceiling areas, but poor adhesion and detachment of finishes make the intent unclear; no other evidence of ornament was suggested by analysis. In general terms, the following was observed:

- Ceiling surfaces: *moderate orange yellow*, with selected *silver-colored metallic* highlights; intent uncertain.
- Ribs/moldings: *light grayish yellowish green*
- Wall surfaces: *light brown*; no ornament found in exposures, but possible evidence in cross-sections

Recommendations

If desired to fully document the ca. 1888 original decorative scheme, additional sampling and exposure windows would be required in multiple locations – including ceiling panels and different locations on wall surfaces.

Analysis has established a basic understanding of and basic color palette for this space during the early 20th century period of interpretation. Additional sampling, color matching, and additional exposure windows would be required to confirm colors and investigate the possible presence of decoration in the early 20th century.



Room 102: Front South Office

General observations:

Moderately limited sampling in this space. Samples (5) vary in comprehensiveness with respect to chromachronologies; some are complete, but several are missing layers that date to the early 20th century.

Period of historic interest (ca. 1888 Original construction)

Ceiling has been laminated with fiberboard or drywall. At a minimum, analysis suggests polychrome, with colors on wall surfaces above the chair rail differing from those below. However, it is not clear whether variation in colors on wall surfaces below the chair rail can be attributed to original decoration, or to successive layers of paint having been installed. It is not clear whether ornamentation is present. Colors dating to this period include *dark red*, *grayish green* (possible), and *yellowish brown*.

Period of significance/interpretation (early 20th century)

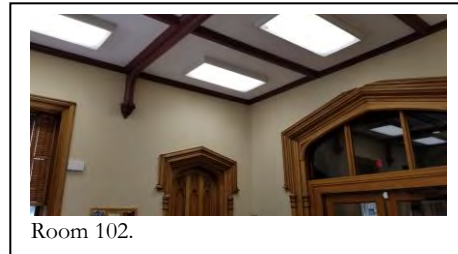
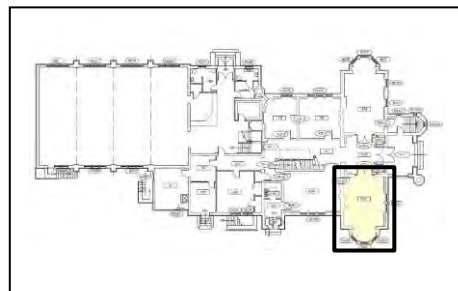
Several (3 of 5) samples are missing layers which date to this period; as such, it is difficult to establish color/material information for this period. In general terms, the following was observed:

- Ceiling surfaces: *Unknown*, given that ceilings have been laminated with drywall
- Ribs/moldings: *light yellowish brown*
- Wall surfaces: *unknown* below chair rail due to missing layers; possible ornament with *light grayish green*, *light brown* and *moderate olive brown* in architrave above chair rail

Recommendations

If desired to fully document the ca. 1888 original decorative scheme, additional sampling and exposure windows would be required in multiple locations – including wall surfaces above and below the picture rail.

Understanding of finishes during the early 20th century is limited. Additional sampling would be required to determine if any wall finishes survive. Probes would be required to determine if ceiling finishes survive beneath laminated drywall. Additional sampling and exposure windows would be required to determine whether ornament is present on wall surfaces/architraves above the picture rail.



Room 103: Front North Office

General observations:

Moderate sampling in this space. Samples (7) are comprehensive, retaining evidence of finishes which date from ca. 1888 original construction to the present.

Period of historic interest (ca. 1888 Original construction)

At a minimum, analysis suggests polychrome, or possible ornament on upper wall surfaces. Ceiling samples did not suggest polychrome or ornament. Colors dating to this period include *light red, pale orange yellow, dark brown, moderate red, and reddish brown* – with most of the variation present on upper wall surfaces.

Period of significance/interpretation (early 20th century)

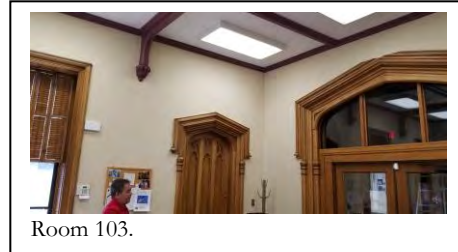
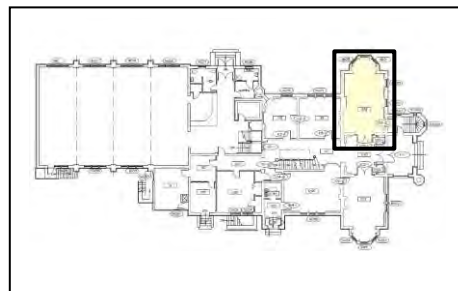
Variations in cross-sections suggest that ornament was installed in this period – both on walls and ceilings. In general terms, the following was observed:

- Ceiling surfaces: Ornament – possibly delineated between ceiling ribs with borders and fields (at a minimum); colors include *mod orange yel* and *light brown/moderate reddish brown*
- Ribs/moldings: sampling was inconclusive; possibly *pale orange yellow*
- Wall surfaces: polychrome or ornament likely; colors include *light grayish olive, dark olive green, light yellowish brown, light grayish yellowish brown* (possible), and *mod orange yel*

Recommendations

If desired to fully document the ca. 1888 original decorative scheme, additional sampling and exposure windows would be required in multiple locations – including but not limited to upper wall surfaces.

Analysis of cross-sections suggests the presence of ornament on upper wall surfaces. It is not known whether ornament could be present elsewhere. If a greater understanding of early 20th century finishes is desired in this room, a comprehensive analysis including additional sampling and exposure windows in several locations should be considered.



Room 104: Side South Office

General observations:

Limited sampling in this space. Samples (3) appear to possess comprehensive chromachronologies. Multiple samples displayed evidence of poor adhesion between layers.

Period of historic interest (ca. 1888 Original construction)

It is not clear whether different early colors constitute decoration or different painting campaigns. Colors dating to this period *may* include *light red (definite)*, *orangish red (possible)* and *dark orange red (possible)*.

Period of significance/interpretation (early 20th century)

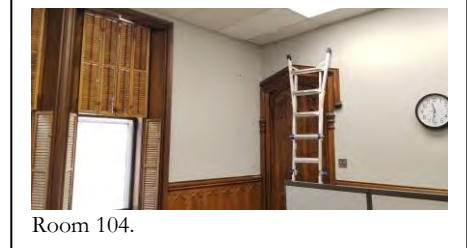
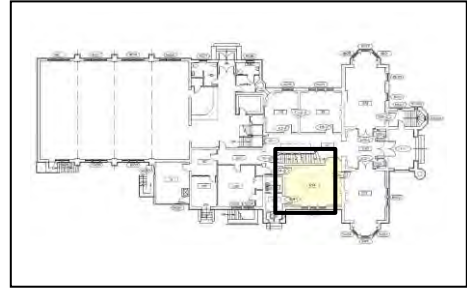
Variations in cross-sections suggest the possibility that ornament *may have been* installed in this period. In general terms, the following was observed:

- Ceiling surfaces: Not sampled
- Wall surfaces: polychrome possible, or ornament possible at shoulders of door trim; colors *may* include *light brown*, *moderate orange yellow*, *light grayish olive* and *light olive green*

Recommendations

If desired to fully document the ca. 1888 original decorative scheme, additional sampling should be completed throughout the space, possibly followed by exposure windows to determine whether color variations are present due to ornament or if they can be attributed to subsequent repainting.

Analysis of cross-sections suggests the presence of ornament on upper wall surfaces. Additional sampling and exposure windows would be required to determine whether ornament is present. At a minimum, sampling would include wall surfaces in multiple locations, and also ceiling surfaces.



Room 104.

Room 113: Side North Office

General observations:

Limited sampling in this space. Samples (4) appear to possess comprehensive chromachronologies, with finishes dating from ca. 1888 through the present.

Period of historic interest (ca. 1888 Original construction)

It is not clear whether different early colors constitute decoration or different painting campaigns. Colors dating to this period *may* include *moderate orange red (definite)*, *light grayish green (possible)* and *light grayish yellow (possible)*.

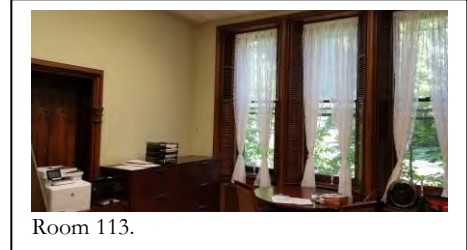
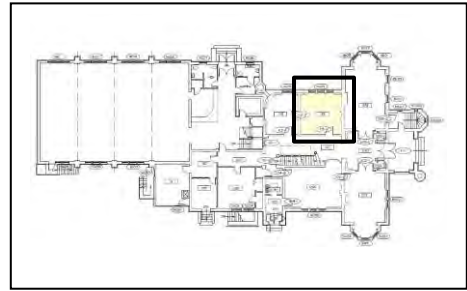
Period of significance/interpretation (early 20th century)

Cross-sections suggest a consistent color was applied in this space, as no variation was observed in layers dating to this period. In general terms, the following was observed:

- Ceiling surfaces: Not sampled
- Wall surfaces: *light yellowish brown*

Recommendations

Analysis completed to date suggests neither polychrome nor ornament in this space. However, to confirm, or to rule out the presence of decoration, additional sampling, with the possibility of exposure windows being completed, would be required.



Room 204: Mayor's Office

General observations:

Moderate sampling in this space. Samples (6) appear to possess reasonably comprehensive chromachronologies, although early layers may be missing from some.

Period of historic interest (ca. 1888 Original construction)

It is not clear whether different early colors constitute decoration or different painting campaigns. However, cross-sections suggest that ceiling and wall surfaces were painted different colors; at a minimum, a polychromatic scheme seems to have been installed. Colors dating to this period *may* include *dark red (definite)*, *gold/ bronze metallic flake (likely)*, *orangish yellow (possible)* and *orangish brown (possible)*, *grayish brown (possible)*, *pale blue*, *reddish brown*, and *light grayish green (possible)*.

Period of significance/ interpretation (early 20th century)

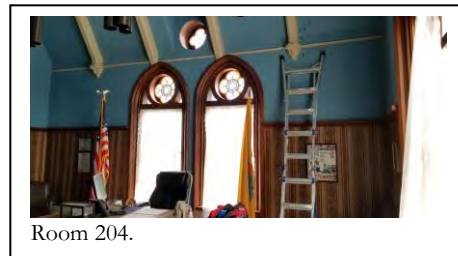
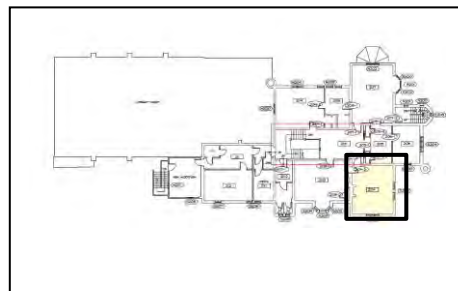
Preliminary exposure windows and variations in cross-sections suggest the possibility that ornament were installed on ceilings in this period. It is not clear whether ornament was also installed on wall surfaces. In general terms, the following was observed:

- Ceiling surfaces: Likely polychrome or ornament, possibly including a border and a field; colors include *light yellowish brown* and *light brown*
- Ceiling ribs: Limited sampling, with color including *light grayish olive*
- Wall surfaces: no evidence of ornament in samples taken; differentiation between surfaces above and below picture rail. Colors include *grayish green* and *light brown*

Recommendations

If desired to fully document the ca. 1888 original decorative scheme, additional sampling should be completed throughout the space, possibly followed by exposure windows to determine whether color variations are present due to ornament or if they can be attributed to subsequent repainting.

Initial exposure window confirms the evidence of a decorative scheme on the ceiling in the early 20th century – possibly with colors which complement those in the 2nd floor Stair Hall, although the pattern has not been fully defined. Analysis of cross-sections suggests the presence of ornament or polychrome. Space would benefit from a comprehensive analysis, including additional sampling and exposure windows in multiple locations.



Room 206: East Front Office

General observations:

Limited sampling in this space. Samples (3) appear to possess comprehensive chromachronologies, with finishes dating from ca. 1888 through the present.

Period of historic interest (ca. 1888 Original construction)

It is not clear whether different early colors constitute decoration or different painting campaigns. Colors dating to this period *may* include *light red (definite)*, *orange red (possible)* and *yellowish brown (possible)*.

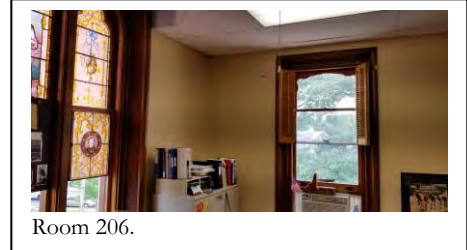
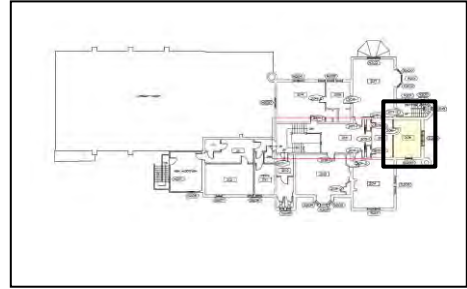
Period of significance/interpretation (early 20th century)

Cross-sections suggest a consistent color was applied in this space, as no variation was observed in layers dating to this period. In general terms, the following was observed:

- Ceiling surfaces: Not sampled
- Wall surfaces: *light brown* or *light orange red*

Recommendations

Analysis completed to date suggests neither polychrome nor ornament in this space. However, to confirm, or to rule out the presence of decoration, additional sampling, with the possibility of exposure windows being completed, would be required.



Room 206.

Room 207: North Office

General observations:

Limited sampling in this space. Samples (3) appear to possess comprehensive chromachronologies, with finishes dating from ca. 1888 through the present.

Period of historic interest (ca. 1888 Original construction)

It is not clear whether different early colors constitute decoration or different painting campaigns. Colors dating to this period *may* include *light red (definite)*, *dark orange red (possible)* and *orange red (possible)*.

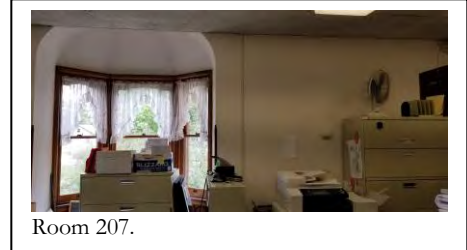
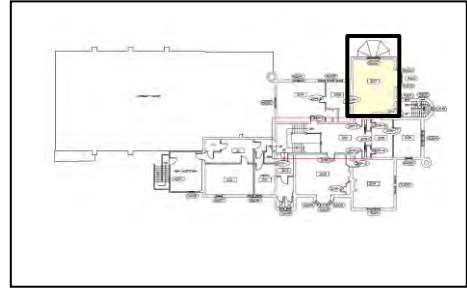
Period of significance/interpretation (early 20th century)

Cross-sections suggest the possibility of polychrome in this space, with certain walls being painted different colors. In general terms, the following was observed:

- Ceiling surfaces: Not sampled
- Wall surfaces: *light grayish yellowish green green* and possibly *light brown* or *light orange red*; variation not clear

Recommendations

Analysis completed to date is inconclusive with respect to both ca. 1888 colors and early 20th century colors. Additional sampling, with the possibility of exposure windows being completed, would be required to fully understand this space.






Room 207.

A.4 Color Placement -

The following color placement charts provide information on finishes that have been identified as dating to potential periods of historic interest. Digital approximations using RGB values have been integrated for illustrative purposes only; under no circumstances should they be used as a basis to re-create historic colors. Munsell Color designations and notations for the closest stock match within the Benjamin Moore line of paint products have been identified below; matching physical Benjamin Moore chips will be inserted at the end of Section A.

Period of Interpretation: Early 20th Century

<u>Color Name</u>	<u>Munsell Color</u>	<u>Benjamin Moore Equivalent</u>	<u>Approx. Color</u>
Light brown	5YR 5/4	1161 Birdwood	
Light yellowish brown	10YR 6/4	1131 Autumn Leaf	
Moderate orange yellow	10YR 6/8	AF-345 Turmeric	
Light yellowish brown	10YR 7/2-7/4	AF-140 Pensive	
Moderate orange yellow	10YR 7/6	194 Hathaway Gold	
Moderate olive brown	2.5Y 3/2	2137-10 Otter brown	
Pale yellow	2.5Y 8/4	186 Harvest Time	
Light olive	5Y 5/4	2148-10 Foot Hills	
Light grayish olive	7.5Y 4/2	2142-20 Turtle Green	
Light grayish olive	7.5Y 6/2	HC-97 Hancock Gray	

Grayish olive green	2.5GY 3/2	2141-10 Artichoke
Moderate yellow green	2.5GY 6/2-6/4	531 Ponderosa Pine
Grayish green	10GY 5/1	HC-163 Duxbury Gray



Section B: Analytical Methodology

B.1 Sampling

In order to produce findings that accurately portray the way a building looked at one point in time or to develop an understanding about how a building has evolved, it is essential to conduct proper site investigation and sampling. Sampling consists of cratering and examining selected elements to ensure that samples will be representative, and then removing small fragments of material for microscopic analysis. Samples were removed from the building and analyzed in Keystone's conservation laboratory shortly thereafter in accordance with the following methodology:

- Sample locations were selected by creating craters (small, circular incisions) in selected surfaces and examining them with a 10x loupe microscope – the objective being to identify locations where a sufficient quantity of historical information was present.
- Representative samples were removed using a combination of all-in-one Dremel tools and utility knives. Despite care taken during the sampling process, it is not always possible to procure samples without some finishes becoming detached from the substrate material.
- Samples were bagged, assigned numeric designations and tagged with information regarding feature and location. Photographic documentation was also completed for each sample location.

B.2 Sample Preparation

As a component of finishes analysis, paint samples are cross-sectioned – either manually using a scalpel or embedded and then cut with a specialized saw. Both techniques were employed for this analysis. Manual cross-sectioning without embedding was used primarily for color-matching.

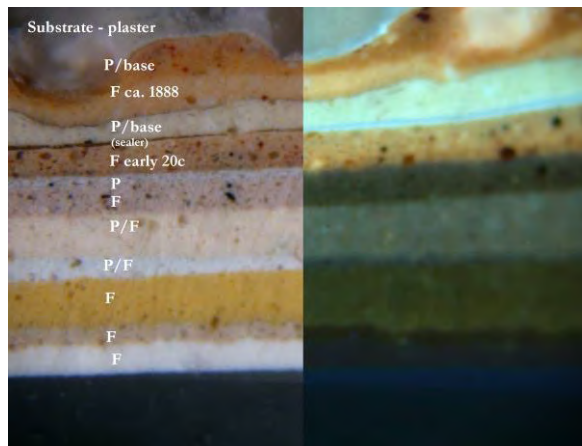
A portion of each sample was embedded in stable resin (either polyester or epoxy) in order to stabilize its microstructure. Once cured, cast samples were de-molded and cross-sectioned using a high-speed lapidary saw. Samples were then polished successively with 400-grit, 600-grit and 1000-grit sanding sheets and swabbed with mineral oil during microscopy to saturate colors and enhance stratigraphic distinctions.

B.3 Optical Microscopy and Color Matching

Analysis, photomicrography and color was completed using the following instruments:

- Leica DMLM Microscope capable of evaluating specimens in reflected incident light and transmitted polarized light at magnifications of 50x, 100x, 200x and 500x – fitted with a Nikon Coolpix 995 digital camera attached to its photo port. Reflected, color-corrected incident light is produced at 3000 Kelvin by a quartz-halogen fiber optic illumination system. Incident fluorescent light is generated by an internal mercury vapor lamp and long-pass blue filter cube capable of passing longwave ultraviolet light at wavelengths of 320-400 nm, with peak excitation ~365 nm.
- Nikon SMZ-2T Stereo Zoom Microscope capable of evaluating specimens in reflected incident light and transmitted polarized light at magnifications between 7-63x.

Colors are matched by visually comparing target layers with chips that conform to the Munsell System of Color in color-corrected incident light or natural daylight. Munsell Colors are organized into designations by



Typical photomicrograph (Sample 100-05) in color-corrected incident visible light (left half) and in incident long wave fluorescent ultraviolet light (right half).

“hue” (R: Red, YR: Yellow red, Y: Yellow, GY: Green yellow, G: Green, BG: Blue green, B: Blue, PB: Purple blue, P: Purple, RP: Red-purple, N: Neutral). The “hue” designation is followed by a value designation that corresponds to the relative lightness/darkness of the color on a scale of 0 to 10, whereby 0 is absolute black and 10 is absolute white. The final number is a “chroma” designation which indicates the intensity of the color on a scale of 0 to 12, with 0 being neutral and 12 being intense. For example, a finish matching 2.5Y 8/2 would be deemed to possess a yellow hue, light in shade and neutral in intensity. Comparatively, a 5YR 5/12 finish would be orange (yellow-red), moderately-shaded, with an intense, bright color.

Munsell Color Numbers were cross-referenced with ISCC-NBS (Inter-Society Color Council and the National Bureau of Standards) color names. Munsell colors were also matched to the closest available Benjamin Moore paint products for selected periods of interpretation.

Section C: Analytical Data

C.1 Sample Locations

Sample	Room/Location	Element
100-01	Entrance Hall - Room 100	Ceiling field within panel (8"x 8")
100-02	Entrance Hall - Room 100	Ceiling, possible line within panel (4"x 8")
100-03	Entrance Hall - Room 100	Ceiling border within panel (1"x 1")
100-04	Entrance Hall - Room 100	Ceiling crown molding, west end of room
100-05	Entrance Hall - Room 100	Upper wall (1" x 1") west wall, left of doorway
100-06	Entrance Hall - Room 100	Upper wall (6" x 6") west wall, left of doorway
100-07	Entrance Hall - Room 100	Upper wall (12" x 12") west wall, left of doorway
100-08	Entrance Hall - Room 100	Ceiling rib
100-09	Entrance Hall - Room 100	Ceiling rib ornament
100-10	Entrance Hall - Room 100	Upper wall by door surround shoulder
100-11	Entrance Hall - Room 100	Upper wall below door surround shoulder
100-12	Entrance Hall - Room 100	Lower wall above baseboard (2" x 2")
102-01	Front South Office, First Floor, Room 102	Ceiling field, possibly drywall (12" x 12")
102-03	Front South Office, First Floor, Room 102	Upper east wall architrave
102-04	Front South Office, First Floor, Room 102	East wall below picture rail (~16" below)
102-05	Front South Office, First Floor, Room 102	Ceiling rib
102-06	Front South Office, First Floor, Room 102	Lower east wall
103-01	Front North Office, First Floor (103)	Ceiling field (8" x 8")
103-02	Front North Office, First Floor (103)	Ceiling, possible line (6" from corner)
103-03	Front North Office, First Floor (103)	Ceiling border (3" from corner)
103-04	Front North Office, First Floor (103)	Upper east wall (2" x 2")
103-05	Front North Office, First Floor (103)	Ceiling rib
103-06	Front North Office, First Floor (103)	East wall, shoulder height
103-07	Front North Office, First Floor (103)	Lower east wall above baseboard
104-01	Side South Office, First Floor, Room 104	Lower south wall above chair rail
104-02	Side South Office, First Floor, Room 104	South wall field, shoulder height
104-03	Side South Office, First Floor, Room 104	Upper/mid. south wall field
113-01	Side North Office, First Floor (113)	North wall in corner above chair rail (~18")
113-02	North wall field above chair rail (~12")	North wall field above chair rail (~12")
113-03	North wall field above chair rail (~12")	North wall next to window above chair rail (1")
113-04	North wall field above chair rail (~12")	North wall in corner below chair rail [height] (1")
204-01	Mayor's Office, 2nd Floor, Room 204	Ceiling border
204-02	Mayor's Office, 2nd Floor, Room 204	Ceiling "line"
204-03	Mayor's Office, 2nd Floor, Room 204	Ceiling field
204-04	Mayor's Office, 2nd Floor, Room 204	East wall above picture rail (3")
204-05	Mayor's Office, 2nd Floor, Room 204	East wall below picture rail (3")
204-06	Mayor's Office, 2nd Floor, Room 204	Ceiling rib
206-01	East Front Office, 2nd Floor, Room 206	Rear east wall (3 ft above floor)
206-02	East Front Office, 2nd Floor, Room 206	Rear east wall, above baseboard
206-03	East Front Office, 2nd Floor, Room 206	South wall field, upper-to mid-wall (4" inwards from window frame)
207-01	North Office, 2nd Floor, Room 207	West wall adjacent to fireplace wall, above mantel height
207-02	North Office, 2nd Floor, Room 207	West wall adjacent to fireplace wall, below mantel height
207-03	North Office, 2nd Floor, Room 207	East wall above baseboard

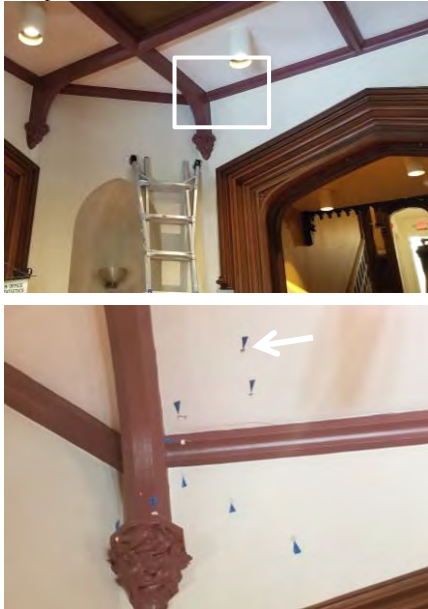
C.2 Analytical Datasheets

The datasheets that follow present laboratory data in the form of stratigraphic analysis and photomicrographs. The left half of each photomicrograph features a microscopic view of each sample in color-corrected reflected light. The right half depicts the sample subjected to longwave fluorescent ultraviolet light, which enhances distinctions between different layers (or paint campaigns) and materials (oil-based, latex, glaze, etc.). Notations within the datasheets may include the following:

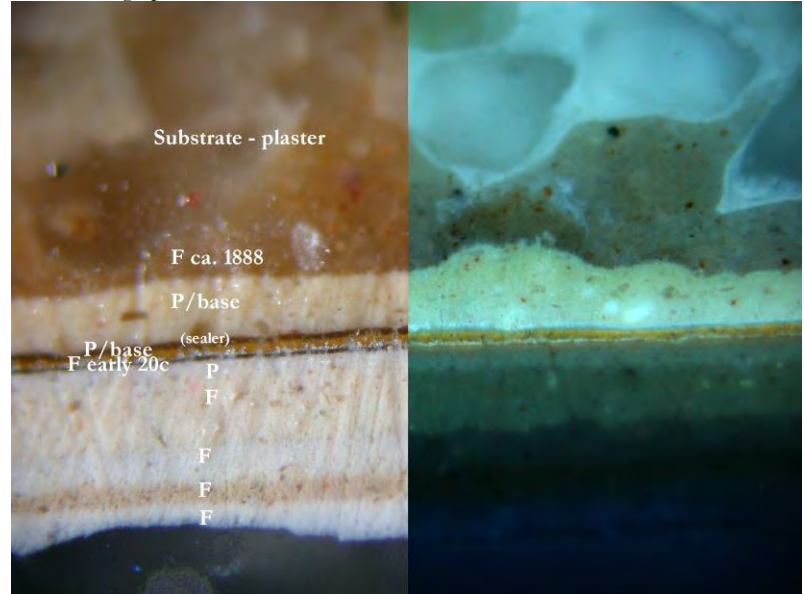
Substrate:	Base substrate material (wood, plaster, cast iron, etc.)
Primer (P):	Denoted “P” when present. A primer layer is defined as a layer that is applied on the surface of the substrate material before the finish layer but is associated with the same painting campaign.
Finish ca. 1888:	Denoted “ca. 1888” when present, the earliest detectable finish that may date to the construction of the building.
Finish early 20c:	Denoted “F early 20c” when present, for layers believed to date to early 20 th century period of significance/interpretation
Finish (F):	Denoted “F” for layers which are not believed to date to original construction ca. 1888 or finishes dating to the early 20 th century period of significance/interpretation

Location:	Entrance Hall - Room 100			
Sample:	100-01			
Element:	Ceiling field within panel (8"x 8")			
Analysis:	() Manual cross-section/RLM	(x) Embedded cross-section/RLM	(x) Ultraviolet fluorescence	
	() Binder characterization	() Pigment analysis	() Exposure window	

Sample Location:



Photomicrograph:



Chromachronology:

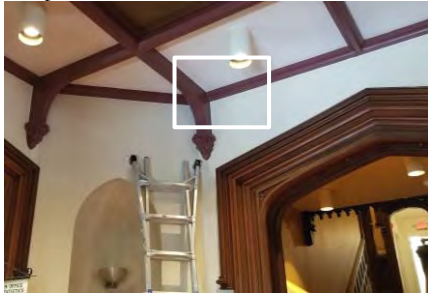
<u>Campaign</u>	<u>Layer</u>	<u>Munsell</u>	<u>Color Name</u>	<u>UV AF</u>	<u>Notes</u>
	Plaster				
Ca. 1888	Finish		Yellow brown	Dark brown	
	Primer/base		Pale yellow	Lt yellow	
	Sealer		Yellow brown	White	
Early 20 c	Primer/base	10YR 6/8	Mod orange yel	Yellow	Background field
	Finish		Silver		Possible ornament
	Primer		White	Lt gray	
	Finish		Pale orange yel	Gray	
	Finish		White	Little/none	Modern
	Finish		Pale orange yel	Little/none	Modern
	Finish		Pale yellow	Little/none	Modern

Observations:

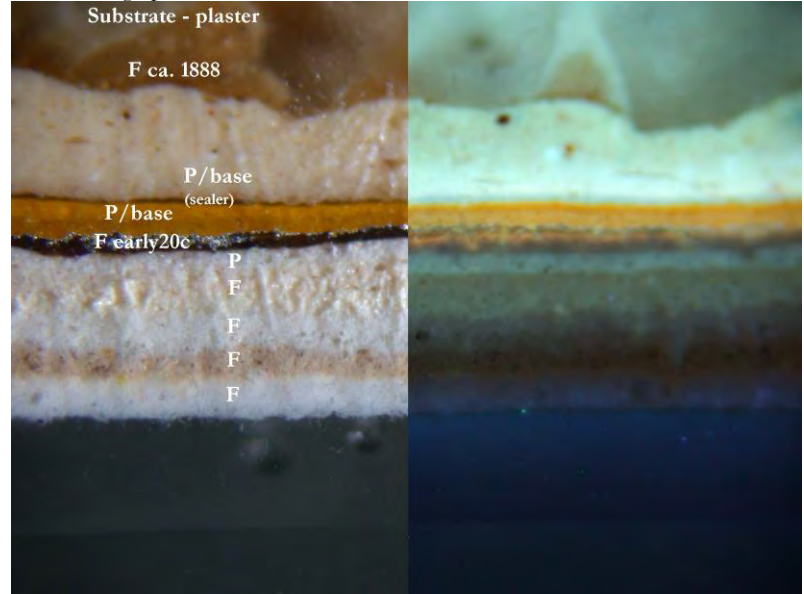
This sample contains an original substrate – the surface of which suggests sanded plaster as has been found in other spaces in the building. Optical and fluorescent characteristics of the earliest finish suggest the possibility of a distemper/calimine or other non-oil-based coating (additional study would be required to clarify). Samples taken in many spaces display evidence of a pale yellow primer/base and what appears to be a sealer – possibly applied after a fire and before the building appears to have been repainted in the early 20th century. Early 20th century finish appears to include a background layer and a silver-colored leaf in this location.

Location:	Entrance Hall - Room 100			
Sample:	100-02			
Element:	Ceiling, possible line within panel (4"x 8")			
Analysis:	() Manual cross-section/RLM	(x) Embedded cross-section/RLM	(x) Ultraviolet fluorescence	
	() Binder characterization	() Pigment analysis	() Exposure window	

Sample Location:



Photomicrograph:



Chromachronology:

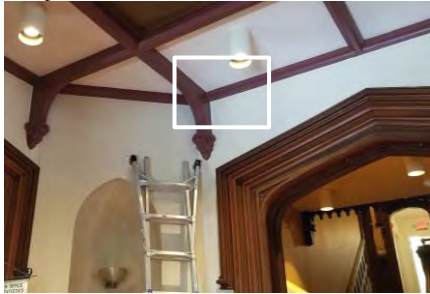
<u>Campaign</u>	<u>Layer</u>	<u>Munsell</u>	<u>Color Name</u>	<u>UV AF</u>	<u>Notes</u>
	Substrate		Plaster		
Ca. 1888	Finish		Yellow brown	Dark brown	
	Primer/base		Pale yellow	Lt yellow	
	Sealer		Yellow brown	White	
Early 20 c	Primer/base	10YR 6/8	Mod orange yel	Yellow	Background field
	Finish		Silver		Possible ornament
	Primer		White	Lt gray	
	Finish		Pale orange yel	Gray	
	Finish		White	Little/none	Modern
	Finish		Pale orange yel	Little/none	Modern
	Finish		Pale yellow	Little/none	Modern

Observations:

This sample contains an original substrate – the surface of which suggests sanded plaster as has been found in other spaces in the building. Optical and fluorescent characteristics of the earliest finish suggest the possibility of a distemper/calimine or other non-oil-based coating (additional study would be required to clarify). Earliest layer is fragmentary – suggesting possible loss or removal. Samples taken in many spaces display evidence of a pale yellow primer/base and what appears to be a sealer – possibly applied after a fire and before the building appears to have been repainted in the early 20th century. Early 20th century finish appears to include a background layer and a silver-colored leaf in this location.

Location:	Entrance Hall - Room 100			
Sample:	100-03			
Element:	Ceiling border within panel (1"x 1")			
Analysis:	() Manual cross-section/RLM	(x) Embedded cross-section/RLM	(x)	Ultraviolet fluorescence
	() Binder characterization	() Pigment analysis	()	Exposure window

Sample Location:



Photomicrograph:



Chromachronology:

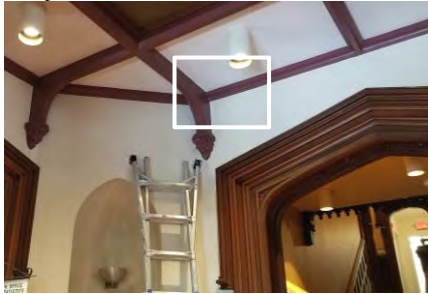
Campaign	Layer	Munsell	Color Name	UV AF	Notes
	Substrate	Plaster			
Ca. 1888	P/base Finish		Yellow brown Bronze/gold	Dark brown	Flake in suspension - highlight
	Primer/base Sealer		Pale yellow Yellow brown	Lt yellow White	Possibly 2 layers Transparent glaze or barrier - sometimes pigmented
Early 20 c	Primer/base Finish	10YR 6/8	Mod orange yel Silver	Yellow	Background field, possibly 2 layers Possible ornament
	Primer Finish		White Pale orange yel	Lt gray Gray	
	Finish		White	Little/none	Modern
	Finish		Pale orange yel	Little/none	Modern
	Finish		Pale yellow	Little/none	Modern

Observations:

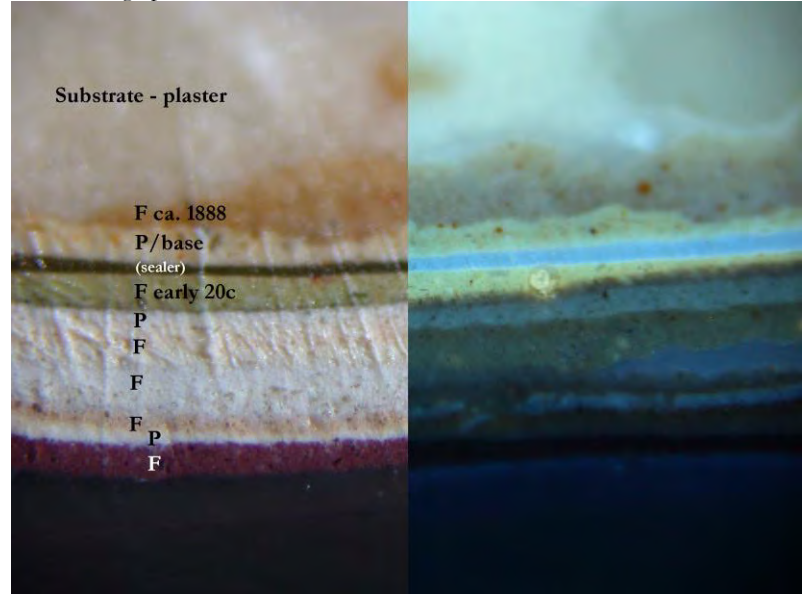
This sample contains an original substrate – the surface of which suggests sanded plaster as has been found in other spaces in the building. Optical and fluorescent characteristics of the earliest finish suggest the possibility of a distemper/calimine or other non-oil-based coating (additional study would be required to clarify) to which a metallic highlight was applied. Earliest finish is fragmentary – suggesting possible loss or removal. Samples taken in many spaces display evidence of a pale yellow primer/base and what appears to be a sealer – possibly applied after a fire and before the building appears to have been repainted in the early 20th century. Early 20th century finish appears to include a background layer and a silver-colored leaf in this location.

Location:	Entrance Hall - Room 100			
Sample:	100-04			
Element:	Ceiling crown molding, west end of room			
Analysis:	() Manual cross-section/RLM	(x) Embedded cross-section/RLM	(x)	Ultraviolet fluorescence
	() Binder characterization	() Pigment analysis	()	Exposure window

Sample Location:



Photomicrograph:



Chromachronology:

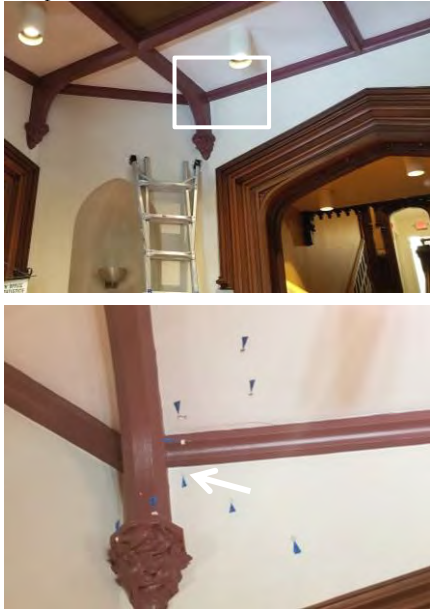
<u>Campaign</u>	<u>Layer</u>	<u>Munsell</u>	<u>Color Name</u>	<u>UV AF</u>	<u>Notes</u>
Substrate	Plaster				
Ca. 1888	Finish		Lt yellow	Lt gray	
	Primer/base Sealer		Pale yellow Gray/brown	Lt yellow White	Transparent glaze or barrier - sometimes pigmented
Early 20 c	Finish	2.5GY 6/2-6/4	Lt gray yellow green	Yellow	
	Primer		White	Lt gray	
	Finish		Pale orange yel	Gray	
	Finish		White	Little/none	Modern
	Finish		Pale orange yel	Little/none	Modern
	Primer		Pale yellow	Little/none	Modern
	Finish		Brown red	Little/none	Modern

Observations:

This sample contains an original substrate – the surface of which suggests smooth finish plaster as opposed to sanded. Optical and fluorescent characteristics of the earliest finish suggest the possibility of a distemper/calimine or other non-oil-based coating (additional study would be required to clarify). Earliest layer is fragmentary – suggesting possible loss or removal. Samples taken in many spaces display evidence of a pale yellow primer/base and what appears to be a sealer – possibly applied after a fire and before the building appears to have been repainted in the early 20th century. Early 20th century finish appears to be an opaque paint layer.

Location:	Entrance Hall - Room 100			
Sample:	100-05			
Element:	Upper wall (1" x 1") west wall, left of doorway			
Analysis:	<input type="checkbox"/> Manual cross-section/RLM	<input checked="" type="checkbox"/> Embedded cross-section/RLM	<input checked="" type="checkbox"/> Ultraviolet fluorescence	
	<input type="checkbox"/> Binder characterization	<input type="checkbox"/> Pigment analysis	<input type="checkbox"/> Exposure window	

Sample Location:



Photomicrograph:



Chromachronology:

Campaign	Layer	Munsell	Color Name	UV AF	Notes
Substrate	Plaster				
Ca. 1888	Finish		Orange brown	Dark brown	
	Finish/Detail		Orange yellow	Yellow	Possible ornament
	Primer/base		Pale yellow	Lt yellow	
	Sealer		Yellow brown	White	Transparent glaze or barrier - sometimes pigmented
Early 20 c	Primer/base	5YR 6/4	Lt brown	Orange yellow	
	Finish	5Y 5/4	Lt olive	Lt orange brn	Possible ornament
	Primer		Lt gray	Lt gray	
	Finish		Gray red	Gray	
	P/Finish		White	Gray	Modern
	P/Finish		Gray	Little/none	Modern
	P/Finish		Mod yellow	Little/none	Modern
	Finish		Pale orange yel	Little/none	Modern
	Finish		Pale yellow	Little/none	Modern

Observations:

This sample contains an original substrate – the surface of which suggests sanded plaster as has been found in other spaces in the building. Optical characteristics of earliest layer suggest the possibility of oil or hybrid finish. It is not clear whether earliest finish included ornament.

Samples taken in many spaces display evidence of a pale yellow primer/base and what appears to be a sealer – possibly applied after a fire and before the building appears to have been repainted in the early 20th century.

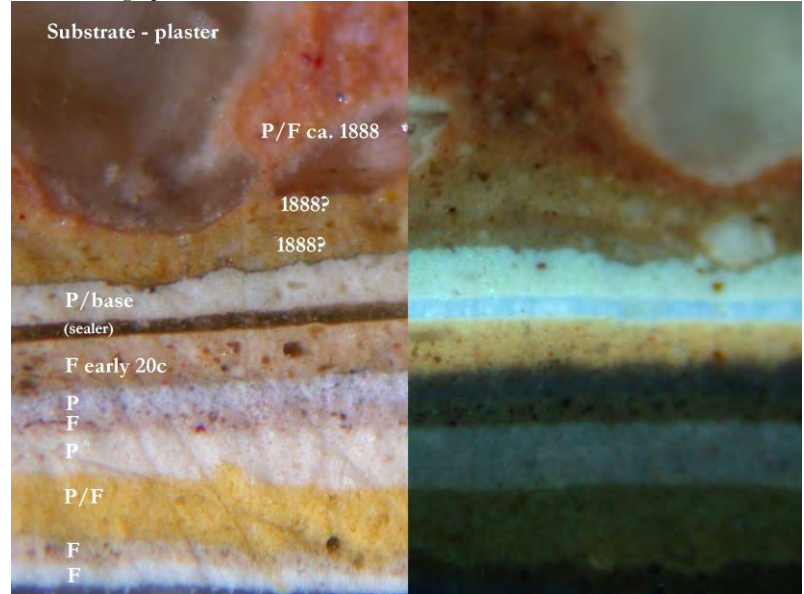
Early 20th century finish appears to be an opaque paint layer with possible ornament.

Location:	Entrance Hall - Room 100			
Sample:	100-06			
Element:	Upper wall (6" x 6") west wall, left of doorway			
Analysis:	() Manual cross-section/RLM	(x) Embedded cross-section/RLM	(x)	Ultraviolet fluorescence
	() Binder characterization	() Pigment analysis	()	Exposure window

Sample Location:



Photomicrograph:



Chromachronology:

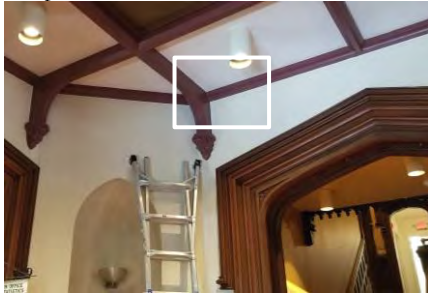
Campaign	Layer	Munsell	Color Name	UV AF	Notes
	Substrate	Plaster			
Ca. 1888	Primer/Finish		Orange brown Orange yellow Olive	Dark brown Yellow Lt brown	Ornament or separate finish? Ornament or separate finish?
	Primer/base Sealer		Pale yellow Yellow brown	Lt yellow White	Transparent glaze or barrier - sometimes pigmented
Early 20 c	Finish	5YR 6/4	Lt brown	Orange yellow	
	Primer Finish		Lt gray Gray red	Lt gray Gray	
	P/Finish		White	Gray	Modern
	Finish		Mod yellow	Little/none	
	Finish		Pale orange yel	Little/none	Modern
	Finish		Pale yellow	Little/none	Modern

Observations:

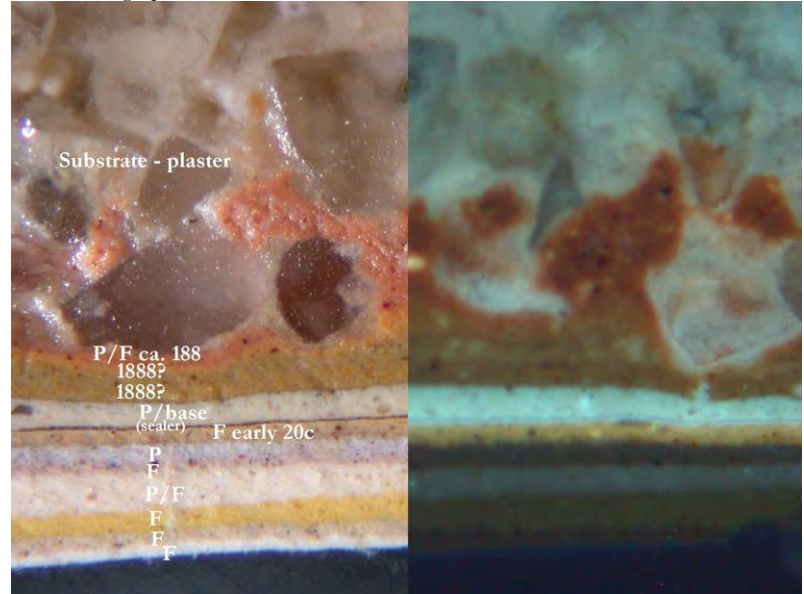
This sample contains an original substrate – the surface of which suggests sanded plaster as has been found in other spaces in the building. Optical characteristics of earliest layer suggest the possibility of oil or hybrid finish. It is not clear whether earliest few layers are contemporary with one another and comprise ornament.
 Samples taken in many spaces display evidence of a pale yellow primer/base and what appears to be a sealer – possibly applied after a fire and before the building appears to have been repainted in the early 20th century.
 Early 20th century finish appears to be an opaque paint layer.

Location:	Entrance Hall - Room 100			
Sample:	100-07			
Element:	Upper wall (12" x 12") west wall, left of doorway			
Analysis:	<input type="checkbox"/> Manual cross-section/RLM	<input checked="" type="checkbox"/> Embedded cross-section/RLM	<input checked="" type="checkbox"/> Ultraviolet fluorescence	
	<input type="checkbox"/> Binder characterization	<input type="checkbox"/> Pigment analysis	<input type="checkbox"/> Exposure window	

Sample Location:



Photomicrograph:



Chromachronology:

Campaign	Layer	Munsell	Color Name	UV AF	Notes
	Substrate	Plaster			
Ca. 1888	P/Finish		Orange brown Orange yellow Olive	Dark brown Yellow Lt brown	Ornament or separate finish? Ornament or separate finish?
	Primer/base Sealer		Pale yellow Yellow brown	Lt yellow White	Transparent glaze or barrier - sometimes pigmented
Early 20 c	Finish	5YR 6/4	Lt brown	Orange yellow	
	Primer Finish		Lt gray Gray red	Lt gray Gray	
	P/Finish		White	Gray	Modern
	Finish		Mod yellow	Little/none	
	Finish		Pale orange yel	Little/none	Modern
	Finish		Pale yellow	Little/none	Modern

Observations:

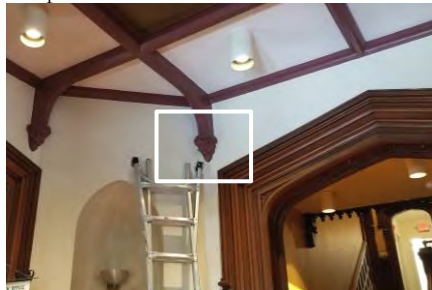
This sample contains an original substrate – the surface of which suggests sanded plaster as has been found in other spaces in the building. Optical characteristics of earliest layer suggest the possibility of oil or hybrid finish. It is not clear whether earliest few layers are contemporary with one another and comprise ornament.

Samples taken in many spaces display evidence of a pale yellow primer/base and what appears to be a sealer – possibly applied after a fire and before the building appears to have been repainted in the early 20th century.

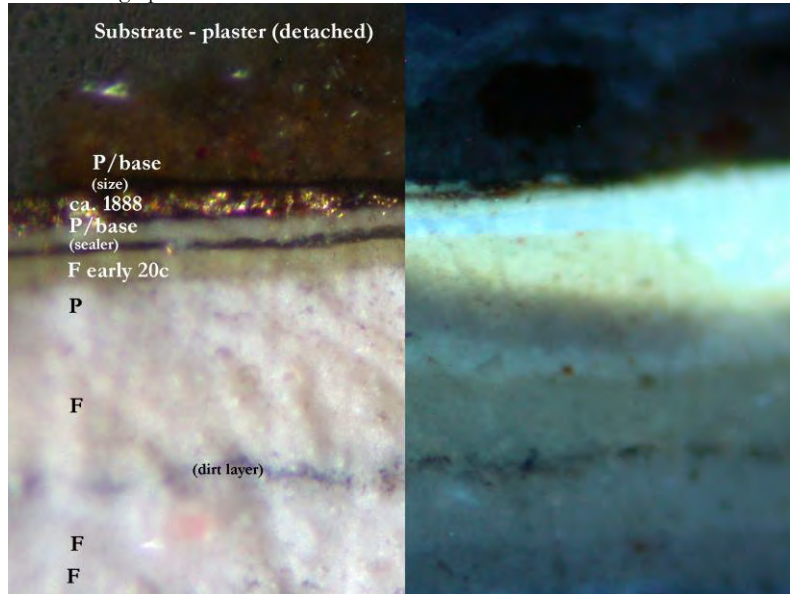
Early 20th century finish appears to be an opaque paint layer.

Location:	Entrance Hall - Room 100			Somerville Borough Hall, Somerville, New Jersey	
Sample:	100-08			Date Sampled: July 2, 2019	
Element:	Ceiling rib				
Analysis:	<input type="checkbox"/> Manual cross-section/RLM	<input checked="" type="checkbox"/> Embedded cross-section/RLM	<input checked="" type="checkbox"/> Ultraviolet fluorescence		
	<input type="checkbox"/> Binder characterization	<input type="checkbox"/> Pigment analysis	<input type="checkbox"/> Exposure window		

Sample Location:



Photomicrograph:



Chromachronology:

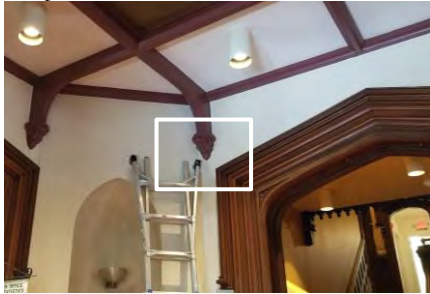
<u>Campaign</u>	<u>Layer</u>	<u>Munsell</u>	<u>Color Name</u>	<u>UV AF</u>	<u>Notes</u>
	Substrate	Plaster			
Ca. 1888	P/base Ornament		Dark brown Bronze/gold	Dark brown	Flake in suspension, possible ornament
	Primer/base Sealer		Pale yellow Gray/brown	Lt yellow White	Transparent glaze or barrier - sometimes pigmented
Early 20 c	Finish	2.5GY 6/2-6/4	Lt gray yellow green	Orange yellow	
	Primer Finish		White Pale yellow	Lt gray Gray	Dirt layer after
	Finish		White	Gray	Modern, possibly 2 layers
	Finish		White	Gray	
	Finish		Orange brown	Little/none	Modern (not pictured)
	Finish		Red brown	Little/none	Modern (not pictured)

Observations:

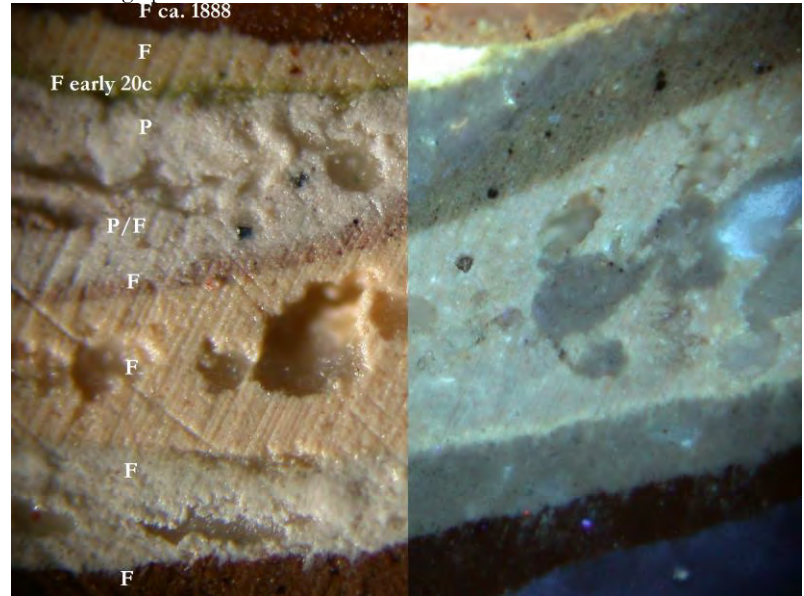
The substrate has detached from this sample, but comparable samples from similar elements suggest a smooth plaster finish. Earliest layer may be an opaque finish with metallic highlight. Samples taken in many spaces display evidence of a pale yellow primer/base and what appears to be a sealer – possibly applied after a fire and before the building appears to have been repainted in the early 20th century. Early 20th century finish appears to be an opaque paint layer.

Location:	Entrance Hall - Room 100			
Sample:	100-09			
Element:	Ceiling rib ornament			
Analysis:	() Manual cross-section/RLM	(x) Embedded cross-section/RLM	(x) Ultraviolet fluorescence	
	() Binder characterization	() Pigment analysis	() Exposure window	

Sample Location:



Photomicrograph:



Chromachronology:

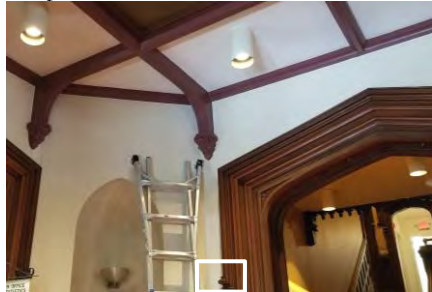
<u>Campaign</u>	<u>Layer</u>	<u>Munsell</u>	<u>Color Name</u>	<u>UV AF</u>	<u>Notes</u>
Substrate	Plaster				Detached
Ca. 1888	P/base		Red brown	Dark brown	
	Finish		Red brown	Yellow brown	
	Finish		Pale yellow	White	Vintage/intent uncertain
Early 20 c	Finish	2.5GY 6/2-6/4	Lt gray yellow green	Orange yellow	Fragmentary layer
	Primer		White	Lt gray	
	P/Finish		Pale yellow	Gray	
	Finish		Gray red	Gray	
	Finish		Yellow	Lt gray	
	Finish		White	Gray	
	Finish		Red brown	Little/none	

Observations:

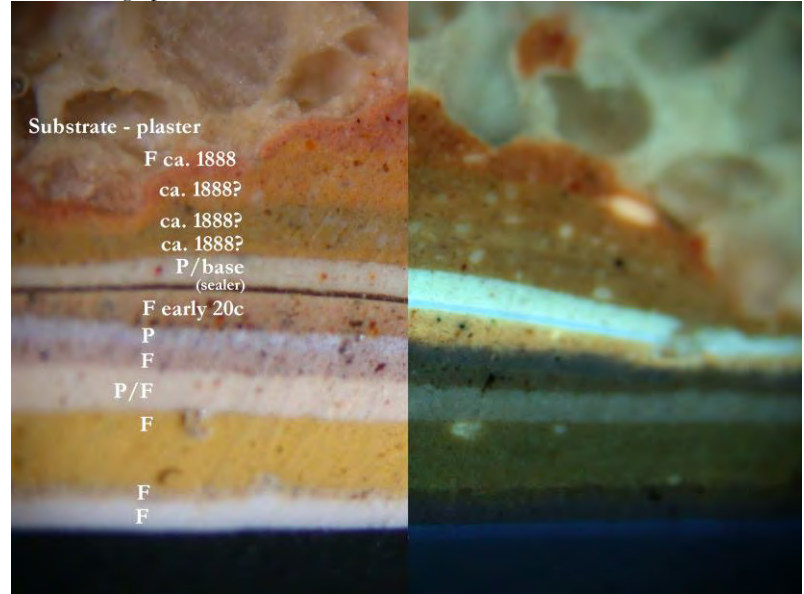
The substrate has detached from this sample, but comparable samples from similar elements suggest a smooth plaster finish. Earliest layer may be an opaque finish – unclear whether metallic highlight was present. Samples taken in many spaces display evidence of a pale yellow primer/base and what appears to be a sealer – possibly applied after a fire and before the building appears to have been repainted in the early 20th century. Early 20th century finish appears to be an opaque paint layer.

Location:	Entrance Hall - Room 100		Somerville Borough Hall, Somerville, New Jersey	
Sample:	100-10		Date Sampled: July 2, 2019	
Element:	Upper wall by door surround shoulder			
Analysis:	<input type="checkbox"/> Manual cross-section/RLM	<input checked="" type="checkbox"/> Embedded cross-section/RLM	<input checked="" type="checkbox"/> Ultraviolet fluorescence	
	<input type="checkbox"/> Binder characterization	<input type="checkbox"/> Pigment analysis	<input type="checkbox"/> Exposure window	

Sample Location:



Photomicrograph:



Chromachronology:

<u>Campaign</u>	<u>Layer</u>	<u>Munsell</u>	<u>Color Name</u>	<u>UV AF</u>	<u>Notes</u>
	Substrate	Plaster			
Ca. 1888	Finish		Light red Orange yellow Olive Yellow brown	Red brown Yellow Lt brown Lt brown	Ornament or separate finish? Ornament or separate finish? Ornament or separate finish?
	Primer/base Sealer		Pale yellow Yellow brown	Lt yellow White	Transparent glaze or barrier - sometimes pigmented
Early 20 c	Finish	5YR 6/4	Lt brown	Orange yellow	
	Primer Finish		Lt gray Gray red	Lt gray Gray	
	P/Finish		White	Gray	Modern
	Finish		Mod yellow	Little/none	
	Finish		Pale orange yel	Little/none	Modern
	Finish		Pale yellow	Little/none	Modern

Observations:

This sample contains an original substrate – the surface of which suggests sanded plaster as has been found in other spaces in the building. Optical characteristics of earliest layer suggest the possibility of oil or hybrid finish. It is not clear whether earliest few layers are contemporary with one another and comprise ornament.

Samples taken in many spaces display evidence of a pale yellow primer/base and what appears to be a sealer – possibly applied after a fire and before the building appears to have been repainted in the early 20th century.

Early 20th century finish appears to be an opaque paint layer.

Location:	Entrance Hall - Room 100		Somerville Borough Hall, Somerville, New Jersey	
Sample:	100-11		Date Sampled: July 2, 2019	
Element:	Upper wall below door surround shoulder			
Analysis:	() Manual cross-section/RLM	(x) Embedded cross-section/RLM	(x) Ultraviolet fluorescence	() Exposure window
	() Binder characterization	() Pigment analysis	()	

Sample Location:



Photomicrograph:



Chromachronology:

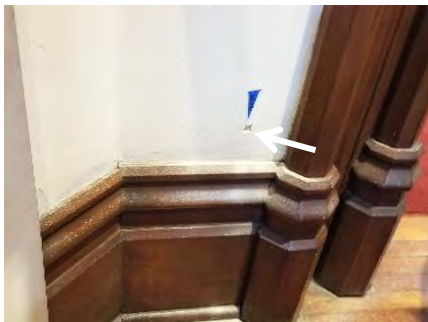
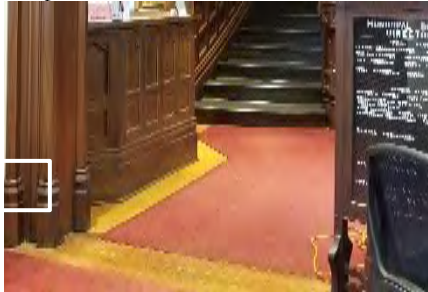
Campaign	Layer	Munsell	Color Name	UV AF	Notes
Substrate	Plaster				
Ca. 1888	Finish		Light red Orange yellow Olive Yellow brown	Red brown Yellow Lt brown Lt brown	Ornament or separate finish? Ornament or separate finish? Ornament or separate finish?
	Primer/base Sealer		Pale yellow Yellow brown	Lt yellow White	Transparent glaze or barrier - sometimes pigmented
Early 20 c	Finish	5YR 6/4	Lt brown	Orange yellow	
	Primer Finish		Lt gray Gray red	Lt gray Gray	
	P/Finish		White	Gray	Modern
	Finish		Mod yellow	Little/none	
	Finish		Pale orange yel	Little/none	Modern
	Finish		Pale yellow	Little/none	Modern

Observations:

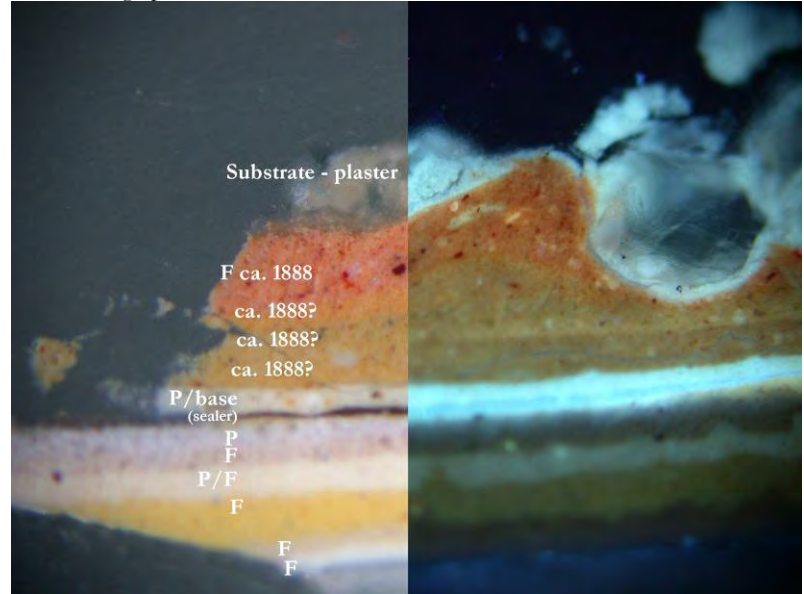
This sample contains an original substrate – the surface of which suggests sanded plaster as has been found in other spaces in the building. Optical characteristics of earliest layer suggest the possibility of oil or hybrid finish. It is not clear whether earliest few layers are contemporary with one another and comprise ornament.
 Samples taken in many spaces display evidence of a pale yellow primer/base and what appears to be a sealer – possibly applied after a fire and before the building appears to have been repainted in the early 20th century.
 Early 20th century finish appears to be an opaque paint layer.

Location:	Entrance Hall - Room 100			
Sample:	100-12			
Element:	Lower wall above baseboard (2" x 2")			
Analysis:	() Manual cross-section/RLM	(x) Embedded cross-section/RLM	(x) Ultraviolet fluorescence	
	() Binder characterization	() Pigment analysis	() Exposure window	

Sample Location:



Photomicrograph:



Chromachronology:

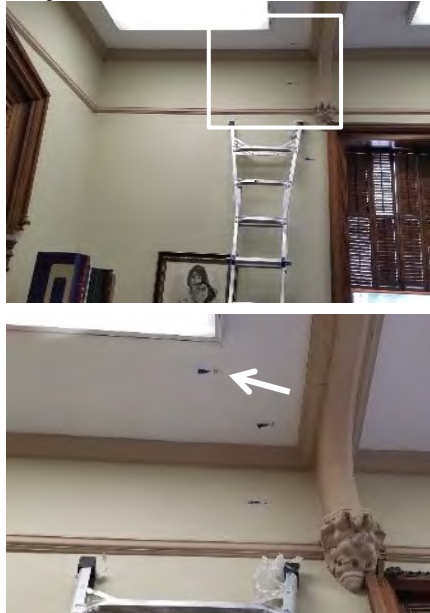
<u>Campaign</u>	<u>Layer</u>	<u>Munsell</u>	<u>Color Name</u>	<u>UV AF</u>	<u>Notes</u>
	Substrate	Plaster			
Ca. 1888	Finish		Light red Orange yellow Olive Yellow brown	Red brown Yellow Lt brown Lt brown	Ornament or separate finish? Ornament or separate finish? Ornament or separate finish?
	Primer/base Sealer		Pale yellow Yellow brown	Lt yellow White	Transparent glaze or barrier - sometimes pigmented
Early 20 c	Finish				Missing
	Primer Finish		Lt gray Gray red	Lt gray Gray	
	P/Finish		White	Gray	Modern
	Finish		Mod yellow	Little/none	
	Finish		Pale orange yel	Little/none	Modern
	Finish		Pale yellow	Little/none	Modern

Observations:

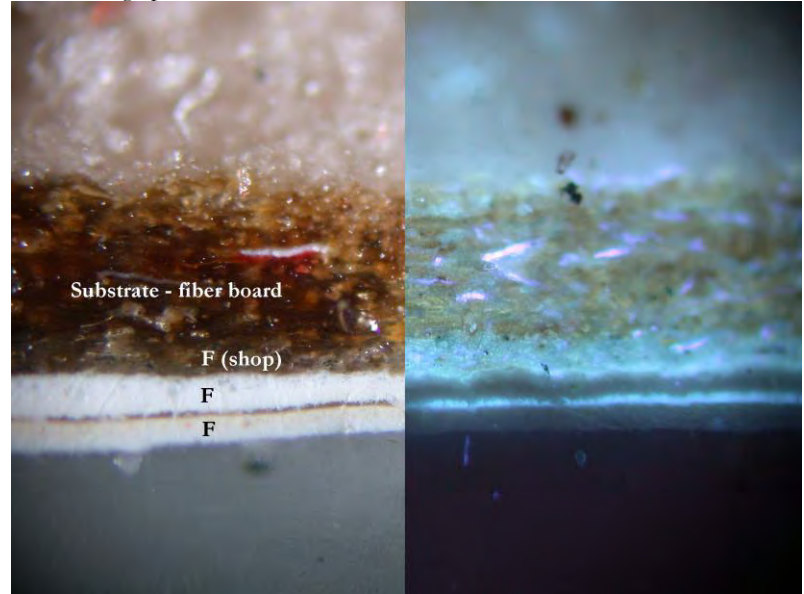
This sample contains an original substrate – the surface of which suggests sanded plaster as has been found in other spaces in the building. Optical characteristics of earliest layer suggest the possibility of oil or hybrid finish. It is not clear whether earliest few layers are contemporary with one another and comprise ornament.
 Samples taken in many spaces display evidence of a pale yellow primer/base and what appears to be a sealer – possibly applied after a fire and before the building appears to have been repainted in the early 20th century.
 Early 20th century finish is not present in this sample. Additional work would be required to investigate the presence of 20th century finishes and/or ornament.

Location:	Front South Office, First Floor, Room 102			
Sample:	102-01			
Element:	Ceiling field, possibly drywall (12" x 12")			
Analysis:	<input type="checkbox"/> Manual cross-section/RLM	<input checked="" type="checkbox"/> Embedded cross-section/RLM	<input checked="" type="checkbox"/> Ultraviolet fluorescence	
	<input type="checkbox"/> Binder characterization	<input type="checkbox"/> Pigment analysis	<input type="checkbox"/> Exposure window	

Sample Location:



Photomicrograph:



Chromachronology:

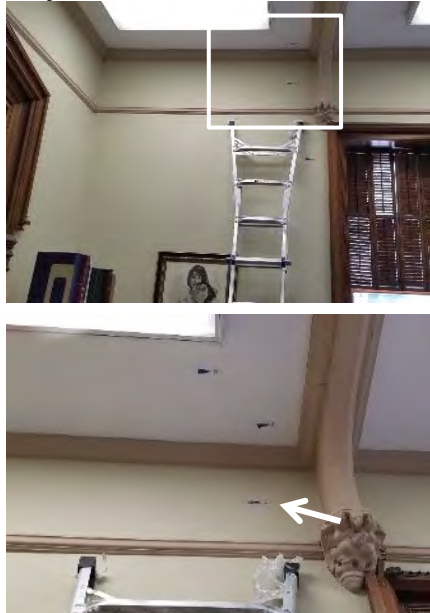
<u>Campaign</u>	<u>Layer</u>	<u>Munsell</u>	<u>Color Name</u>	<u>UV AF</u>	<u>Notes</u>
	Substrate		Fiber board		
Ca. 1888	Finish				Modern material, shop finish
	Finish		White	Little/none	Oxidation or sealer after
	Finish		White	Little/none	

Observations:

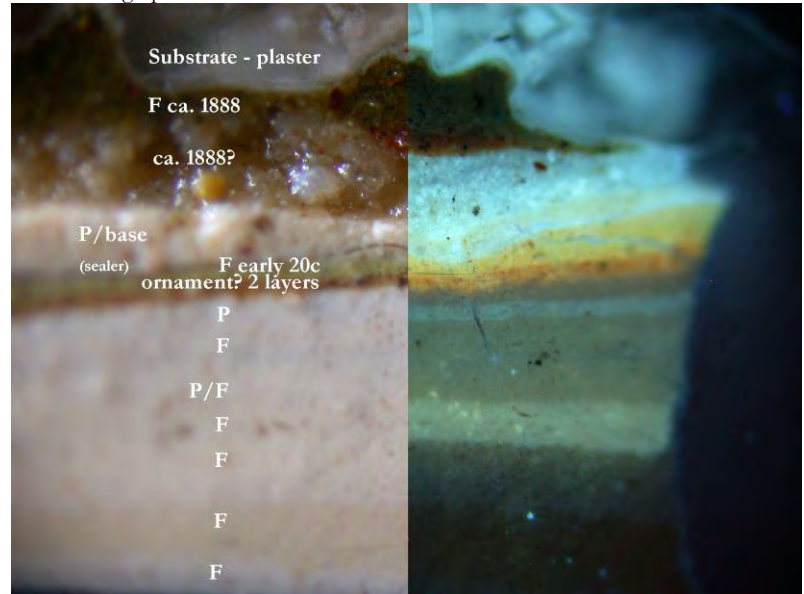
No historic finishes present. Additional investigations, including localized removal of the contemporary board, would be required to determine whether original plaster and finishes survive below.

Location:	Front South Office, First Floor, Room 102			
Sample:	102-03			
Element:	Upper east wall architrave			
Analysis:	() Manual cross-section/RLM	(x) Embedded cross-section/RLM	(x)	Ultraviolet fluorescence
	() Binder characterization	() Pigment analysis	()	Exposure window

Sample Location:



Photomicrograph:



Chromachronology:

Campaign	Layer	Munsell	Color Name	UV AF	Notes
	Substrate		Plaster		
Ca. 1888	Finish		Dark red Lt brown	Red brown Yellow	Ornament or separate finish?
	Primer/base Sealer		Pale yellow Yellow brown	Lt yellow White	Transparent glaze or barrier - sometimes pigmented
Early 20 c	Finish	2.5GY 6/4 5YR 6/4 2.5Y 3/2	Lt gray green Lt brown Mod olive brn	Yellow Orange yellow Gray	Possible ornament Possible ornament
	Primer Finish		White Pale yellow	Lt gray Gray	Poss. 2 layers
	P/Finish		White	Gray	Modern
	Finish		Pale yellow	Lt gray	
	Finish		Pale orange yel	Little/none	Modern
	Finish		Pale yellow	Little/none	Modern

Observations:

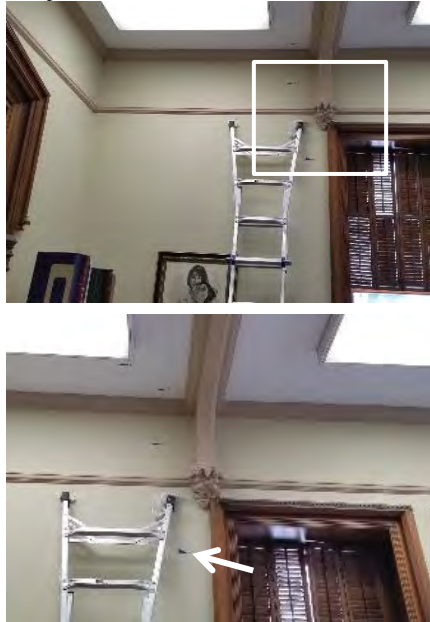
This sample contains an original substrate – the surface of which suggests sanded plaster as has been found in other spaces in the building. Optical characteristics of earliest layer suggest the possibility of oil or hybrid finish. It is not clear whether earliest two layers are contemporary with one another and comprise ornament.

Samples taken in many spaces display evidence of a pale yellow primer/base and what appears to be a sealer – possibly applied after a fire and before the building appears to have been repainted in the early 20th century.

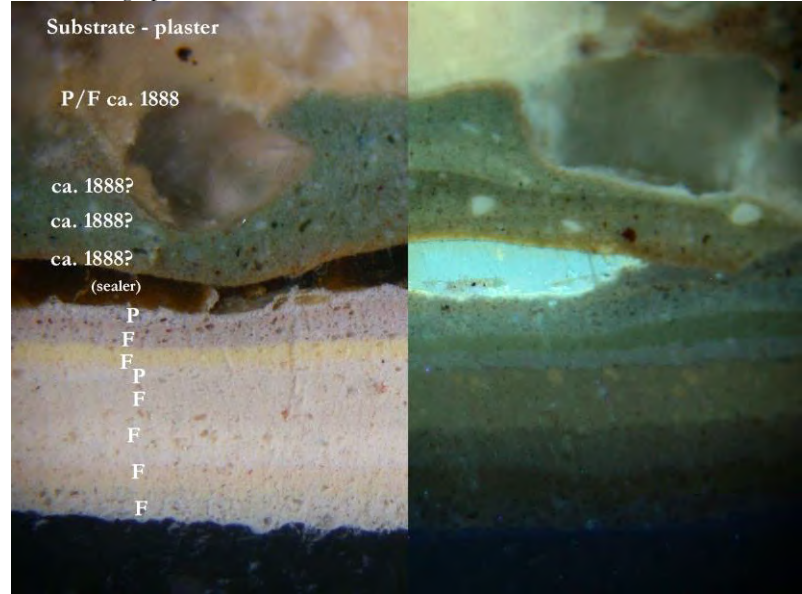
Early 20th century finish appears to be an opaque paint layer to which ornament may have been applied.

Location:	Front South Office, First Floor, Room 102	Somerville Borough Hall, Somerville, New Jersey		
Sample:	102-04	Date Sampled: July 2, 2019		
Element:	East wall below picture rail (~16" below)			
Analysis:	<input type="checkbox"/> Manual cross-section/RLM	<input checked="" type="checkbox"/> Embedded cross-section/RLM	<input checked="" type="checkbox"/>	Ultraviolet fluorescence
	<input type="checkbox"/> Binder characterization	<input type="checkbox"/> Pigment analysis	<input type="checkbox"/>	Exposure window

Sample Location:



Photomicrograph:



Chromachronology:

<u>Campaign</u>	<u>Layer</u>	<u>Munsell</u>	<u>Color Name</u>	<u>UV AF</u>	<u>Notes</u>
	Substrate	Plaster			
Ca. 1888	Finish		Dark red Gray green Gray green Lt brown	Red brown Gray brown Gray brown Yellow	Ornament or separate finish? Ornament or separate finish? Ornament or separate finish?
	Sealer ?		Yellow brown	White	Transparent glaze or barrier - sometimes pigmented
Early 20c	Finish				Missing
	Primer		Lt gray	Gray	
	Finish		Lt gray red	Lt gray	
	Finish		Lt yellow	Gray	
	Primer		White	Lt gray	Poss. 2 layers
	Finish		Pale yellow	Gray	
	P/Finish		White	Gray	Modern
	Finish		Pale yellow	Lt gray	
	Finish		Pale orange yel	Little/none	Modern
	Finish		Pale yellow	Little/none	Modern

Observations:

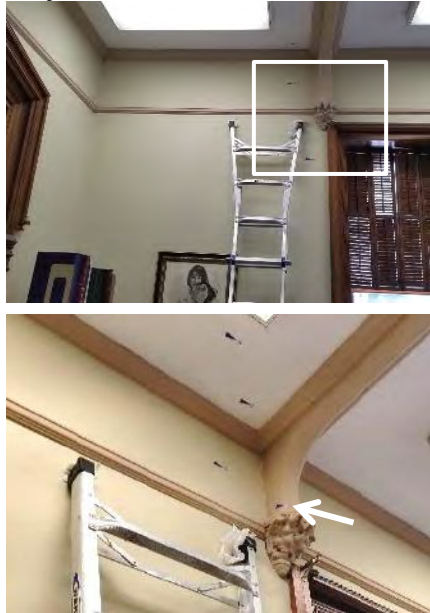
This sample contains an original substrate – the surface of which suggests sanded plaster as has been found in other spaces in the building. Optical characteristics of earliest layer suggest the possibility of oil or hybrid finish. It is not clear whether earliest few layers are contemporary with one another and comprise ornament.

Samples taken in many spaces display evidence of a pale yellow primer/base and what appears to be a sealer – possibly applied after a fire and before the building appears to have been repainted in the early 20th century.

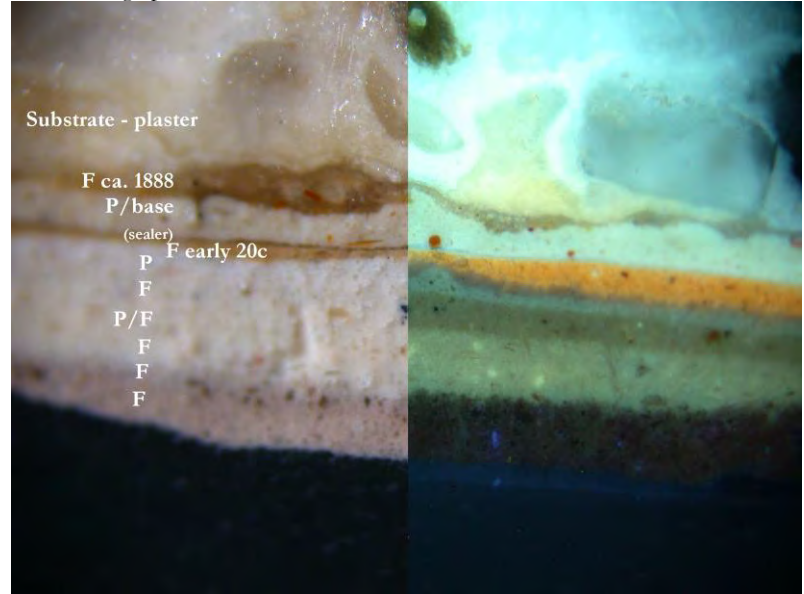
Early 20th century finish is not present. Additional investigations would be required to determine.

Location:	Front South Office, First Floor, Room 102			
Sample:	102-05			
Element:	Ceiling rib			
Analysis:	<input type="checkbox"/> Manual cross-section/RLM	<input checked="" type="checkbox"/> Embedded cross-section/RLM	<input checked="" type="checkbox"/> Ultraviolet fluorescence	
	<input type="checkbox"/> Binder characterization	<input type="checkbox"/> Pigment analysis	<input type="checkbox"/> Exposure window	

Sample Location:



Photomicrograph:



Chromachronology:

<u>Campaign</u>	<u>Layer</u>	<u>Munsell</u>	<u>Color Name</u>	<u>UV AF</u>	<u>Notes</u>
	Substrate		Plaster		
Ca. 1888	Finish		Yellow brown	Gray brown	Fragmentary/disrupted
	Primer/base		Pale yellow	Lt yellow	
	Sealer		Yellow brown	White	Transparent glaze or barrier - sometimes pigmented
Early 20c	Finish	10YR 7/4-7/6	Lt yellowish brown	Orange yellow	
	Finish		Lt yellow	Gray	Fragmentary
	Primer		White	Lt gray	
	Finish		Pale yellow	Gray	
	P/Finish		White	Gray	Modern
	Finish		Pale yellow	Lt gray	
	Finish		Gray red	Little/none	Modern
	Finish		Lt gray red	Little/none	Modern

Observations:

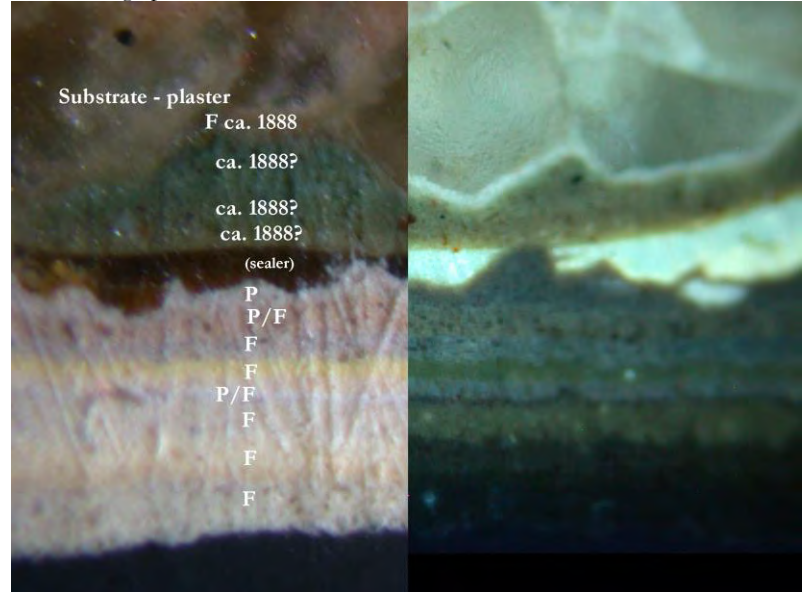
This sample contains an original substrate – the surface of which suggests a smooth finish plaster. There is not enough information present in this sample to determine the composition of the earliest finish. Samples taken in many spaces display evidence of a pale yellow primer/base and what appears to be a sealer – possibly applied after a fire and before the building appears to have been repainted in the early 20th century. Early 20th century finish appears to be an opaque paint layer.

Location:	Front South Office, First Floor, Room 102			
Sample:	102-06			
Element:	Lower east wall			
Analysis:	<input type="checkbox"/> Manual cross-section/RLM	<input checked="" type="checkbox"/> Embedded cross-section/RLM	<input checked="" type="checkbox"/> Ultraviolet fluorescence	
	<input type="checkbox"/> Binder characterization	<input type="checkbox"/> Pigment analysis	<input type="checkbox"/> Exposure window	

Sample Location:



Photomicrograph:



Chromachronology:

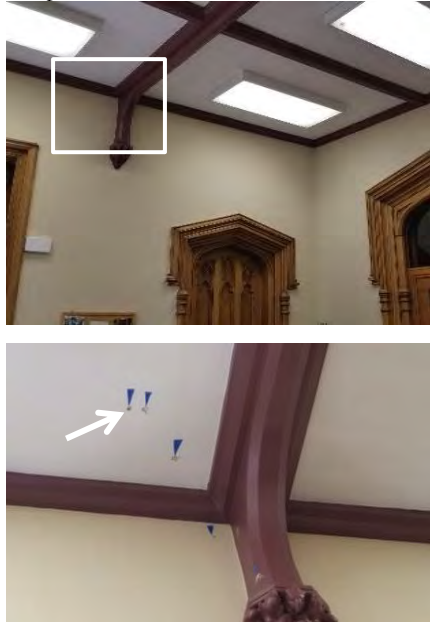
<u>Campaign</u>	<u>Layer</u>	<u>Munsell</u>	<u>Color Name</u>	<u>UV AF</u>	<u>Notes</u>
	Substrate	Plaster			
Ca. 1888	Finish		Dark red	Red brown	
	F/Detail		Gray green	Gray brown	Ornament or separate finish?
	F/Detail		Lt brown	Yellow	Ornament or separate finish?
	Sealer		Yellow brown	White	Transparent glaze or barrier - sometimes pigmented
Early 20c	Finish				Missing
	Primer		Lt gray	Gray	
	Finish		Lt gray red	Lt gray	
	P/Finish		Gray	Gray	
	Finish		Pale yellow	Gray	
	P/Finish		White	Gray	Modern
	Finish		Pale yellow	Lt gray	
	Finish		Pale orange yel	Little/none	Modern
	Finish		Pale yellow	Little/none	Modern

Observations:

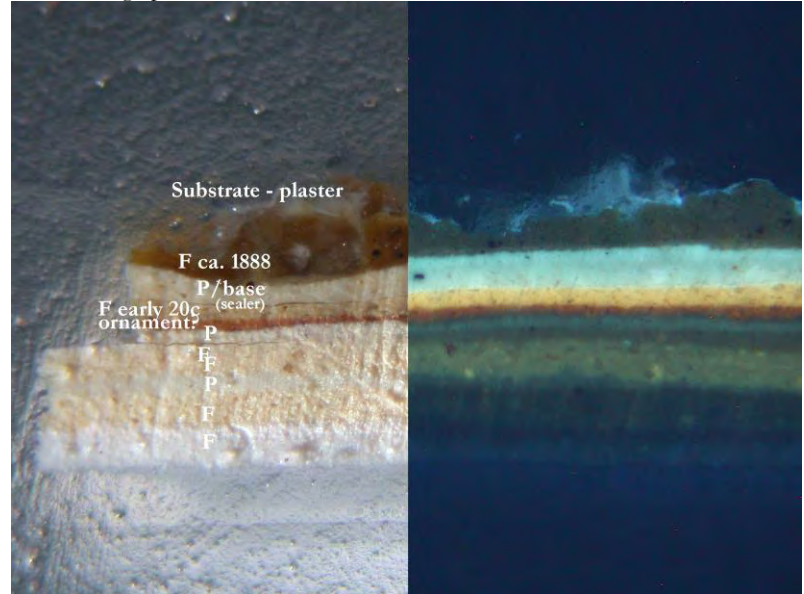
This sample contains an original substrate – the surface of which suggests sanded plaster as has been found in other spaces in the building. Optical characteristics of earliest layer suggest the possibility of oil or hybrid finish. It is not clear whether earliest few layers are contemporary with one another and comprise ornament.
 Samples taken in many spaces display evidence of a pale yellow primer/base and what appears to be a sealer – possibly applied after a fire and before the building appears to have been repainted in the early 20th century.
 Early 20th century finish does not appear to be present in this sample.

Location:	Front North Office, First Floor (103)	Somerville Borough Hall, Somerville, New Jersey		
Sample:	103-01	Date Sampled: July 2, 2019		
Element:	Ceiling field (8" x 8")			
Analysis:	() Manual cross-section/RLM () Binder characterization	(x) Embedded cross-section/RLM () Pigment analysis	(x) ()	Ultraviolet fluorescence Exposure window

Sample Location:



Photomicrograph:



Chromachronology:

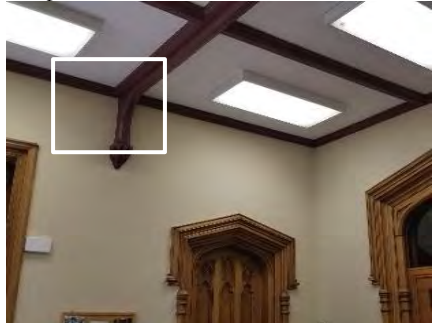
Campaign	Layer	Munsell	Color Name	UV AF	Notes
	Plaster				
Ca. 1888	P/Finish		Red brown	Dark brown	Possible ornament after? Unclear.
	Primer/base Sealer		Pale yellow Yellow brown	Lt yellow White	Transparent glaze or barrier - sometimes pigmented
Early 20 c	Finish	2.5Y 8/4	Pale yellow Mod red brown	Orange yellow Orange brown	Possible ornament?
	Primer		White	Gray	
	Finish		Pale yellow	Gray	
	Finish		Mod yellow	Little/none	
	Primer		White	Little/none	Modern
	Finish		Pale yellow	Little/none	Modern
	Finish		White	Little/none	Modern

Observations:

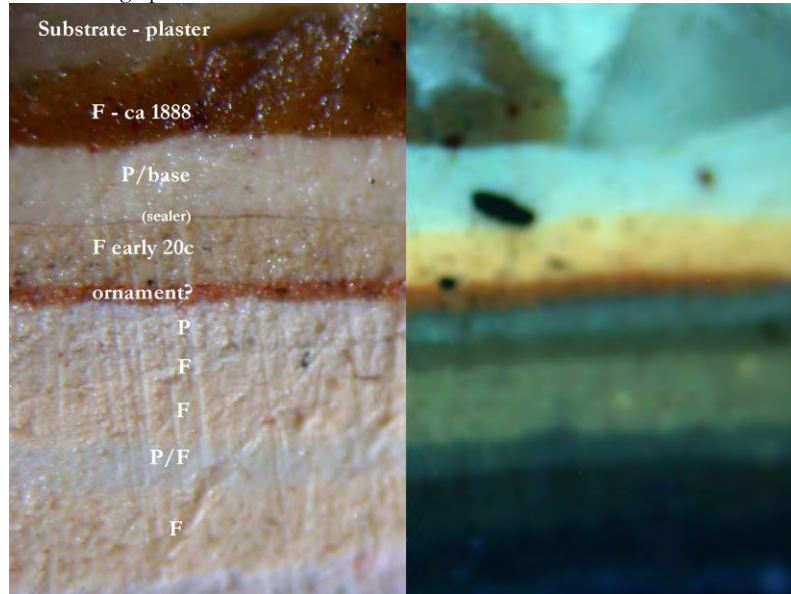
This sample contains an original substrate – the surface of which suggests sanded plaster as has been found in other spaces in the building. Optical and fluorescent characteristics of the earliest finish suggest the possibility of a distemper/calimine or other non-oil-based coating (additional study would be required to clarify).
 Samples taken in many spaces display evidence of a pale yellow primer/base and what appears to be a sealer – possibly applied after a fire and before the building appears to have been repainted in the early 20th century.
 Early 20th century finish appears to be an opaque background with possible ornament (layer fragmentary, could not be matched).

Location:	Front North Office, First Floor (103)	Somerville Borough Hall, Somerville, New Jersey		
Sample:	103-02	Date Sampled: July 2, 2019		
Element:	Ceiling, possible line (6" from corner)			
Analysis:	() Manual cross-section/RLM	(x) Embedded cross-section/RLM	(x) Ultraviolet fluorescence	
	() Binder characterization	() Pigment analysis	() Exposure window	

Sample Location:



Photomicrograph:



Chromachronology:

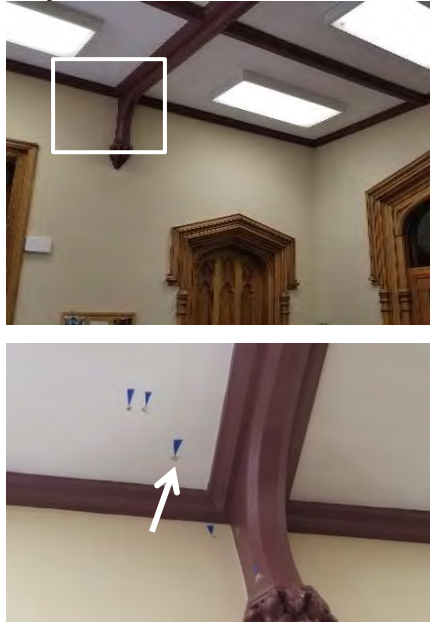
Campaign	Layer	Munsell	Color Name	UV AF	Notes
	Substrate		Plaster		
Ca. 1888	P/Finish		Red brown	Dark brown	
	Primer/base		Pale yellow	Lt yellow	Transparent glaze or barrier - sometimes pigmented
	Finish		Yellow brown	White	
Early 20 c	Finish	2.5Y 8/4	Pale yellow Mod red brown	Orange yellow Orange brown	Possible ornament?
	Primer		White	Gray	Modern
	Finish		Pale yellow	Gray	Modern
	Finish		Mod yellow	Little/none	
	Primer		White	Little/none	Modern
	Finish		Pale yellow	Little/none	Modern
	Finish		White	Little/none	Modern

Observations:

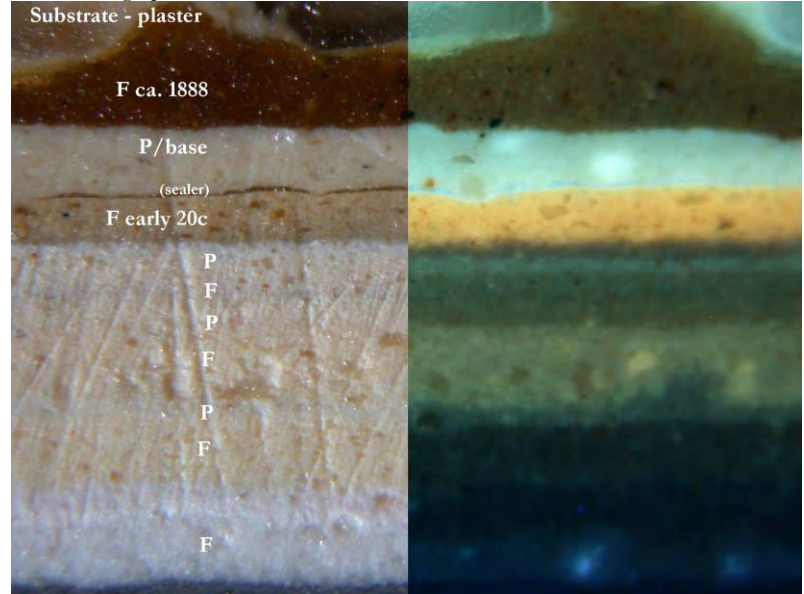
This sample contains an original substrate – the surface of which suggests sanded plaster as has been found in other spaces in the building. Optical and fluorescent characteristics of the earliest finish suggest the possibility of a distemper/calimine or other non-oil-based coating (additional study would be required to clarify).
 Samples taken in many spaces display evidence of a pale yellow primer/base and what appears to be a sealer – possibly applied after a fire and before the building appears to have been repainted in the early 20th century.
 Early 20th century finish appears to be an opaque background with possible ornament. (layer fragmentary, could not be matched).

Location:	Front North Office, First Floor (103)			
Sample:	103-03			
Element:	Ceiling border (3" from corner)			
Analysis:	() Manual cross-section/RLM	(x) Embedded cross-section/RLM	(x) Ultraviolet fluorescence	
	() Binder characterization	() Pigment analysis	() Exposure window	

Sample Location:



Photomicrograph:



Chromachronology:

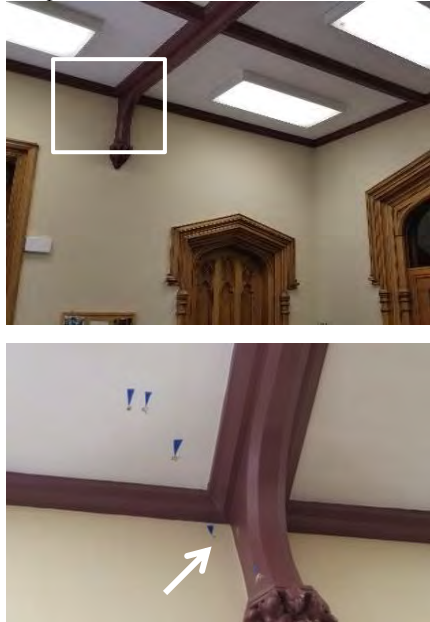
<u>Campaign</u>	<u>Layer</u>	<u>Munsell</u>	<u>Color Name</u>	<u>UV AF</u>	<u>Notes</u>
Substrate	Plaster				
Ca. 1888	P/Finish		Red brown	Dark brown	
	Primer/base		Pale yellow	Lt yellow	
	Sealer		Yellow brown	White	Transparent glaze or barrier - sometimes pigmented
Early 20 c	Finish	10YR 7/6	Mod orange yel	Orange yellow	
	Primer		White	Gray	Modern
	Finish		Pale yellow	Gray	Modern
	Primer		Pale yellow	Little/none	
	Finish		Mod yellow	Gray	
	Primer		White	Little/none	Modern
	Finish		Pale yellow	Little/none	Modern
	Finish		White	Little/none	Modern, poss. 2 layers

Observations:

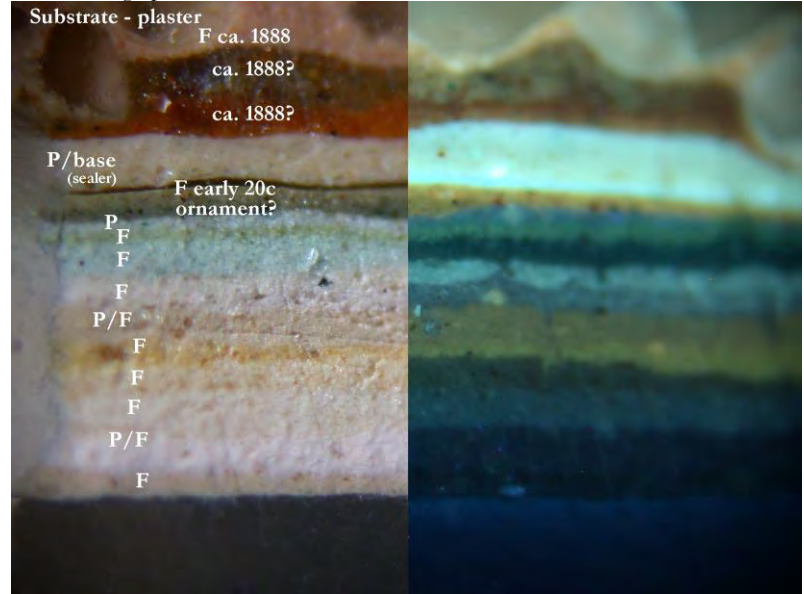
This sample contains an original substrate – the surface of which suggests sanded plaster as has been found in other spaces in the building. Optical and fluorescent characteristics of the earliest finish suggest the possibility of a distemper/calimine or other non-oil-based coating (additional study would be required to clarify).
 Samples taken in many spaces display evidence of a pale yellow primer/base and what appears to be a sealer – possibly applied after a fire and before the building appears to have been repainted in the early 20th century.
 Early 20th century finish appears to be an opaque background.

Location:	Front North Office, First Floor (103)			
Sample:	103-04			
Element:	Upper east wall (2" x 2")			
Analysis:	() Manual cross-section/RLM	(x) Embedded cross-section/RLM	(x)	Ultraviolet fluorescence
	() Binder characterization	() Pigment analysis	()	Exposure window

Sample Location:



Photomicrograph:



Chromachronology:

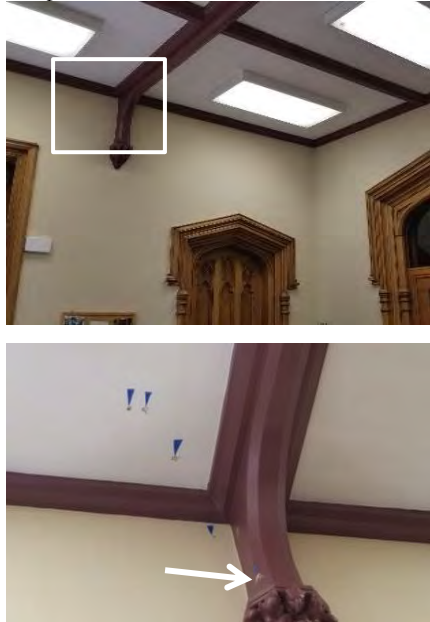
Campaign	Layer	Munsell	Color Name	UV AF	Notes
	Substrate	Plaster			
Ca. 1888	Finish		Light red Dark brown Moderate red	Yellow Gray brown Red	Ornament or separate finish? Ornament or separate finish?
	Primer/base Sealer		Pale yellow Yellow brown	Lt yellow White	Transparent glaze or barrier - sometimes pigmented
Early 20 c	Finish	7.5Y 4/2 2.5GY 3/2	Lt gray olive Dk olive green	Orange yellow Orange brown	Need additional sample for color match Need additional sample for color match
	Primer Finish		Gray Gray green	Dk gray Gray	Modern Modern
	Finish		Pale blue	Little/none	
	Finish		Lt gray red	Gray	
	Primer/finish Finish		Pale yellow Mod yellow	Little/none Yellow	
	Finish		Pale yellow	Dk gray	
	Finish		Pale yellow	Lt gray	
	Primer Finish		White Pale yellow	Little/none Little/none	Modern Modern

Observations:

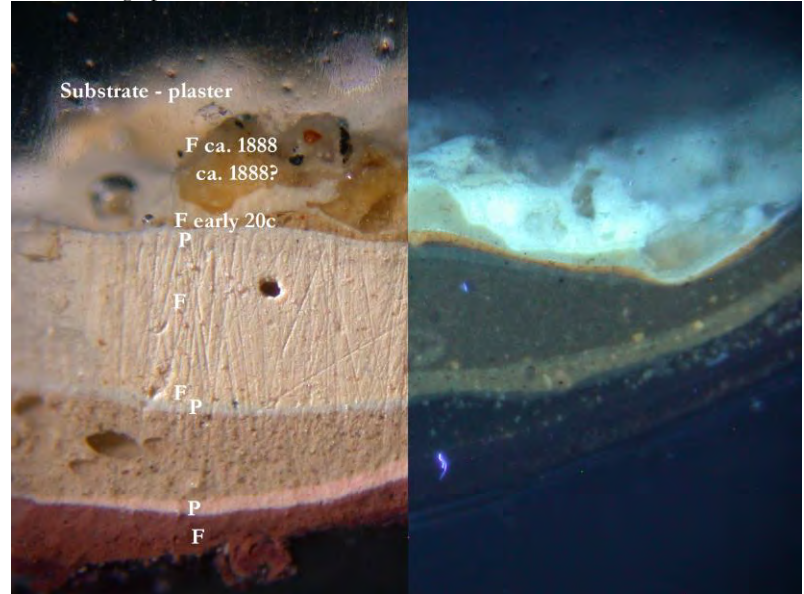
This sample contains an original substrate – the surface of which suggests sanded plaster as has been found in other spaces in the building. Optical characteristics of earliest layer suggest the possibility of oil or hybrid finish. It is not clear whether earliest few layers are contemporary with one another and comprise ornament.
 Samples taken in many spaces display evidence of a pale yellow primer/base and what appears to be a sealer – possibly applied after a fire and before the building appears to have been repainted in the early 20th century.
 Early 20th century finish appears to be an opaque background with possible ornament.

Location:	Front North Office, First Floor (103)			
Sample:	103-05			
Element:	Ceiling rib			
Analysis:	<input type="checkbox"/> Manual cross-section/RLM	<input checked="" type="checkbox"/> Embedded cross-section/RLM	<input checked="" type="checkbox"/> Ultraviolet fluorescence	
	<input type="checkbox"/> Binder characterization	<input type="checkbox"/> Pigment analysis	<input type="checkbox"/> Exposure window	

Sample Location:



Photomicrograph:



Chromachronology:

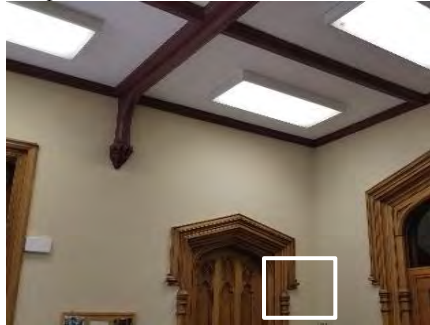
<u>Campaign</u>	<u>Layer</u>	<u>Munsell</u>	<u>Color Name</u>	<u>UV AF</u>	<u>Notes</u>
Substrate	Plaster				
Ca. 1888	Finish		Gray brown Mod yellow	Dark brown Lt gray	Ornament or separate finish?
Early 20 c	Finish	10YR 6/8	Pale orange yel	Orange yellow	Need additional sampling to confirm
	Primer Finish		White Pale orange yel	Gray Gray	
	Finish		Pale orange yel	Lt gray	
	Primer Finish		Pale yellow Lt brown	Little/none Gray	
	Primer Finish		Pink Mod red brown	Little/none Little/none	Modern poss. 2 layers

Observations:

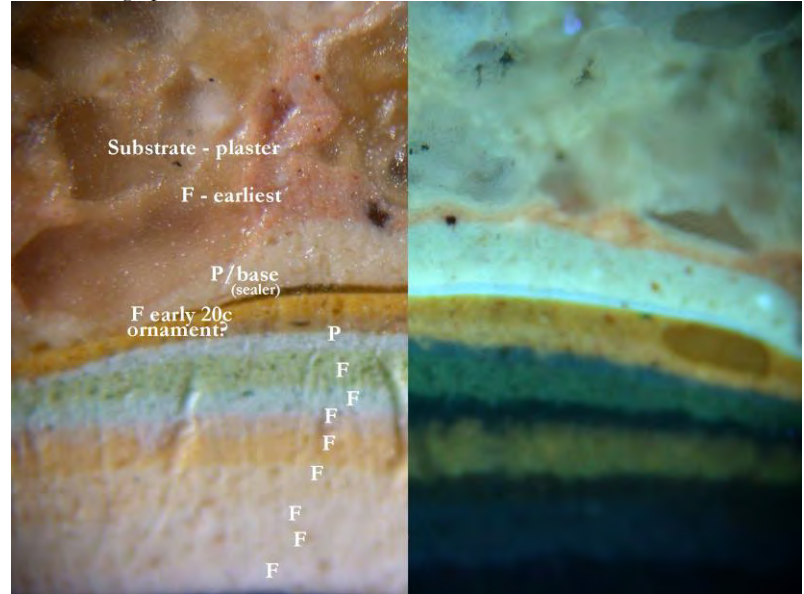
This sample contains an original substrate – the surface of which suggests finish plaster. The earliest layer is fragmentary. Samples taken in many spaces display evidence of a pale yellow primer/base and what appears to be a sealer – possibly applied after a fire and before the building appears to have been repainted in the early 20th century. Early 20th century finish appears to be an opaque paint layer.

Location:	Front North Office, First Floor (103)	Somerville Borough Hall, Somerville, New Jersey		
Sample:	103-06	Date Sampled: July 2, 2019		
Element:	East wall, shoulder height			
Analysis:	() Manual cross-section/RLM () Binder characterization	(x) Embedded cross-section/RLM () Pigment analysis	(x) Ultraviolet fluorescence () Exposure window	

Sample Location:



Photomicrograph:



Chromachronology:

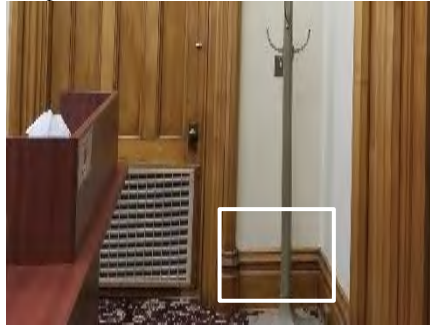
Campaign	Layer	Munsell	Color Name	UV AF	Notes
	Substrate		Plaster		
Ca. 1888	Finish		Light red	Orange yellow	
	Primer/base		Pale yellow	Lt yellow	Transparent glaze or barrier - sometimes pigmented
	Sealer		Yellow brown	White	
Early 20 c	Finish	10YR 6/8 10YR 6/4	Mod orange yel Ly gray yel brn	Orange yellow Yellow	Unclear if ornament or subsequent finish
	Primer		Gray	Dk gray	Modern
	Finish		Gray green	Gray	Modern
	Finish		Pale blue	Little/none	
	Finish		Lt gray red	Gray	
	Finish		Mod yellow	Yellow	
	Finish		Pale yellow	Dk gray	
	Finish		Pale yellow	Lt gray	
	Primer		White	Little/none	Modern
	Finish		Pale yellow	Little/none	Modern

Observations:

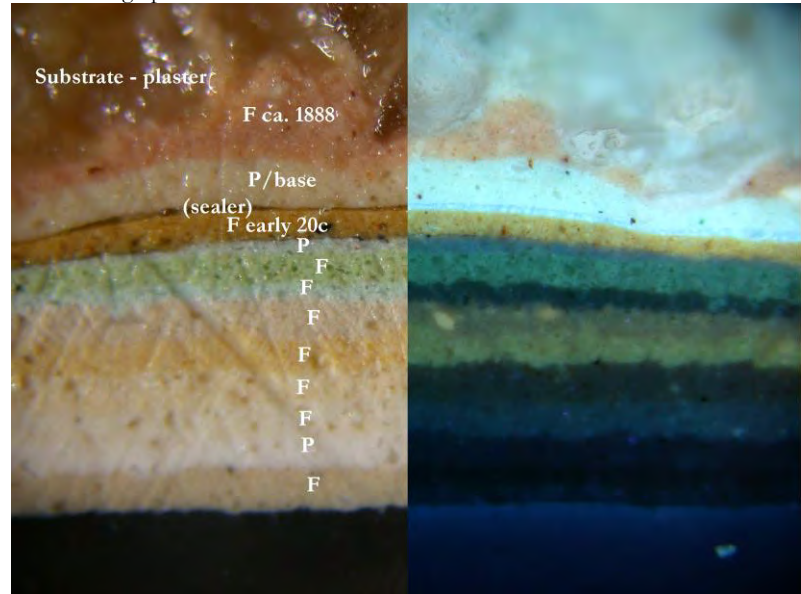
This sample contains an original substrate – the surface of which suggests sanded plaster as has been found in other spaces in the building. Optical characteristics of earliest layer suggest the possibility of oil or hybrid finish. The color used on this sample is noticeably lighter in shade than found on samples elsewhere. Samples taken in many spaces display evidence of a pale yellow primer/base and what appears to be a sealer – possibly applied after a fire and before the building appears to have been repainted in the early 20th century. Early 20th century finish appears to be an opaque background with possible ornament.

Location:	Front North Office, First Floor (103)	Somerville Borough Hall, Somerville, New Jersey		
Sample:	103-07	Date Sampled: July 2, 2019		
Element:	Lower east wall above baseboard			
Analysis:	() Manual cross-section/RLM	(x) Embedded cross-section/RLM	(x)	Ultraviolet fluorescence
	() Binder characterization	() Pigment analysis	()	Exposure window

Sample Location:



Photomicrograph:



Chromachronology:

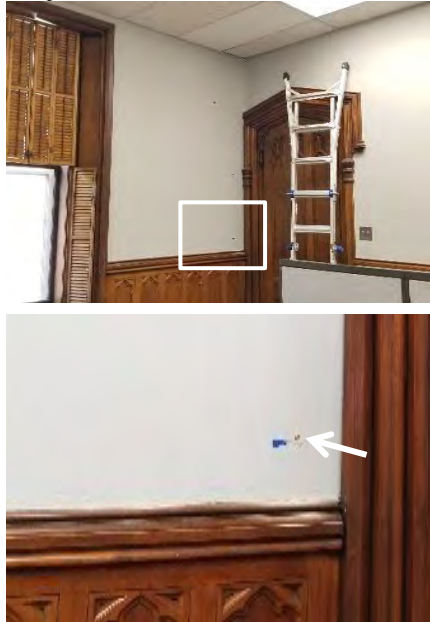
Campaign	Layer	Munsell	Color Name	UV AF	Notes
	Substrate	Plaster			
Ca. 1888	Finish		Light red	Orange yellow	
	Primer/base		Pale yellow	Lt yellow	Transparent glaze or barrier - sometimes pigmented
	Sealer		Yellow brown	White	
Early 20 c	Finish	10YR 6/8	Mod orange yel	Orange yellow	
	Primer		Gray	Dk gray	Modern
	Finish		Gray green	Gray	Modern
	Finish		Pale blue	Little/none	
	Finish		Lt gray red	Gray	
	Finish		Mod yellow	Yellow	
	Finish		Pale yellow	Dk gray	
	Finish		Pale yellow	Lt gray	
	Primer		White	Little/none	Modern
	Finish		Pale yellow	Little/none	Modern

Observations:

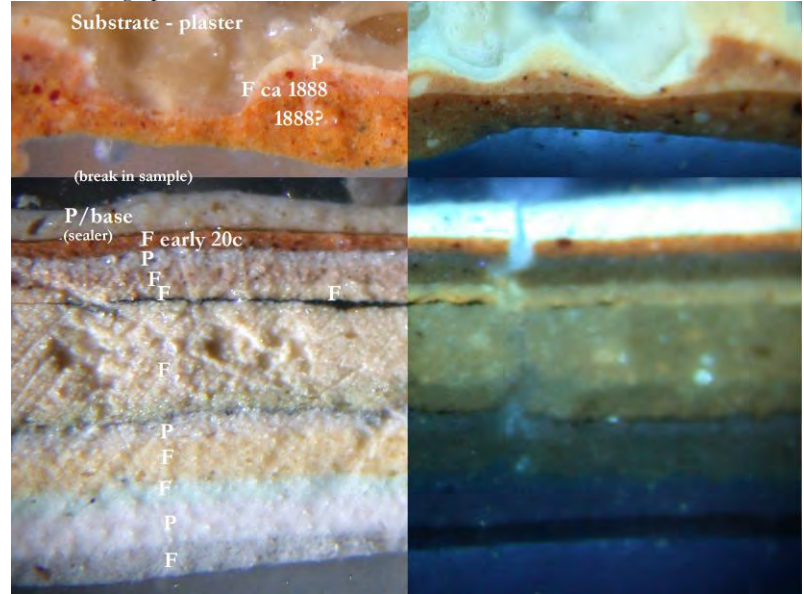
This sample contains an original substrate – the surface of which suggests sanded plaster as has been found in other spaces in the building. Optical characteristics of earliest layer suggest the possibility of oil or hybrid finish. Samples taken in many spaces display evidence of a pale yellow primer/base and what appears to be a sealer – possibly applied after a fire and before the building appears to have been repainted in the early 20th century. Early 20th century finish appears to be an opaque background. Differences in this sample and 103-06 suggest that lower wall surfaces may have been painted differently than those above. Additional investigations would be required to clarify.

Location:	Side South Office, First Floor, Room 104			
Sample:	104-01			
Element:	Lower south wall above chair rail			
Analysis:	() Manual cross-section/RLM () Binder characterization	(x) Embedded cross-section/RLM () Pigment analysis	(x) Ultraviolet fluorescence () Exposure window	

Sample Location:



Photomicrograph:



Chromachronology:

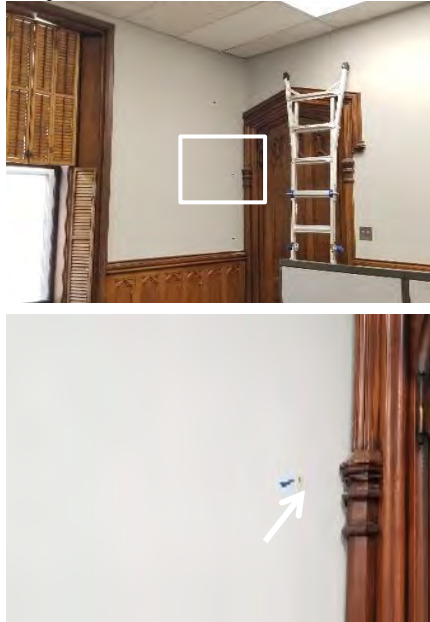
<u>Campaign</u>	<u>Layer</u>	<u>Munsell</u>	<u>Color Name</u>	<u>UV AF</u>	<u>Notes</u>
	Substrate	Plaster			
Ca. 1888	Primer Finish		Pale yellow Light red Orange red	Yellow Orange yellow Orange brown	Ornament or separate finish? Ornament or separate finish?
	Primer/base Sealer		Pale yellow Yellow brown	Lt yellow White	Transparent glaze or barrier - sometimes pigmented
Early 20 c	Finish	5YR 6/4	Lt brown	Orange yellow	
	Primer Finish		Gray Lt gray red	Dk gray Gray	Modern Modern
	Finish		Pale yellow	Little/none	
	Finish		Pale yellow	Gray	
	Finish		Pale yellow	Brown gray	
	Finish		Pale yellow	Gray	
	Primer Finish		White Pale yellow	Little/none Little/none	Modern Modern

Observations:

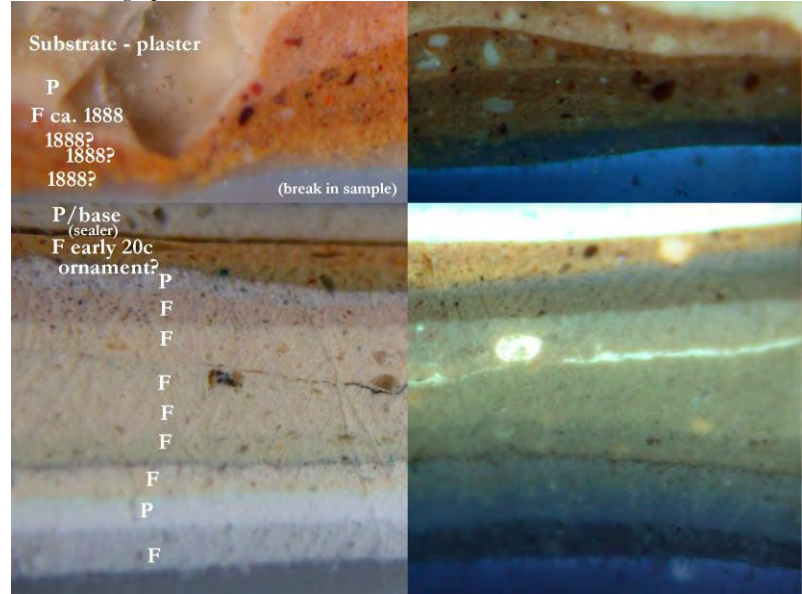
This sample contains an original substrate – the surface of which suggests sanded plaster as has been found in other spaces in the building. Optical characteristics of earliest layer suggest the possibility of oil or hybrid finish. It is not clear whether earliest few layers are contemporary with one another and comprise ornament.
 Samples taken in many spaces display evidence of a pale yellow primer/base and what appears to be a sealer – possibly applied after a fire and before the building appears to have been repainted in the early 20th century.
 Early 20th century finish appears to be an opaque paint layer.

Location:	Side South Office, First Floor, Room 104	Somerville Borough Hall, Somerville, New Jersey		
Sample:	104-02	Date Sampled: July 2, 2019		
Element:	South wall field, shoulder height			
Analysis:	() Manual cross-section/RLM () Binder characterization	(x) Embedded cross-section/RLM () Pigment analysis	(x) ()	Ultraviolet fluorescence Exposure window

Sample Location:



Photomicrograph:



Chromachronology:

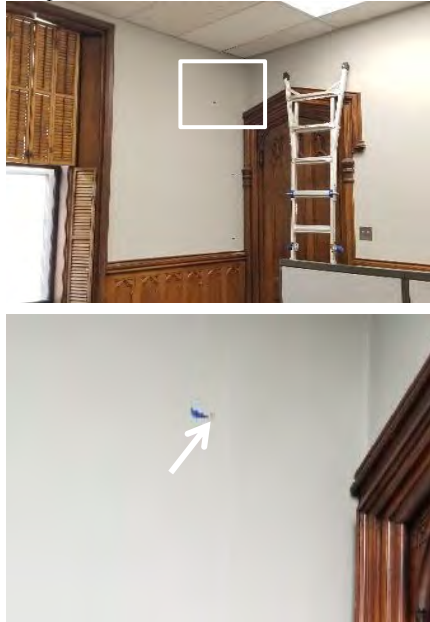
Campaign	Layer	Munsell	Color Name	UV AF	Notes
	Substrate	Plaster			
Ca. 1888	Primer Finish		Pale yellow Light red Orange red Dk orange red Orange	Yellow Orange yellow Orange brown Orange brown Dk brown	Possibly 2 layers Ornament or separate finish? Ornament or separate finish? Ornament or separate finish?
	Primer/base Sealer		Pale yellow Yellow brown	Lt yellow White	Transparent glaze or barrier - sometimes pigmented
Early 20 c	Finish Finish	5YR 6/4 2.5Y 5/4	Lt brown Lt olive brown	Orange yellow Orange yellow	Possible ornament? Need additional for match.
	Primer Finish		Gray Lt gray red	Dk gray Gray	Modern Modern
	Finish		Pale yellow	Little/none	
	Finish		Pale yellow	Gray	
	Finish		Pale yellow	Brown gray	
	Finish		Pale blue	Gray	
	Primer Finish		White Pale yellow	Little/none Little/none	Modern Modern

Observations:

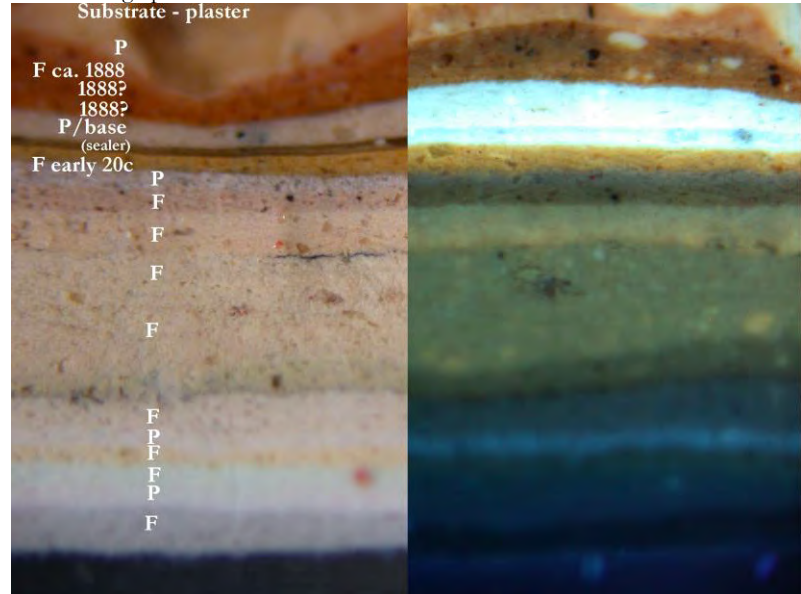
This sample contains an original substrate – the surface of which suggests sanded plaster as has been found in other spaces in the building. Optical characteristics of earliest layer suggest the possibility of oil or hybrid finish. It is not clear whether earliest few layers are contemporary with one another and comprise ornament.
 Samples taken in many spaces display evidence of a pale yellow primer/base and what appears to be a sealer – possibly applied after a fire and before the building appears to have been repainted in the early 20th century.
 Early 20th century finish appears to be an opaque background with possible ornament.

Location:	Side South Office, First Floor, Room 104	Somerville Borough Hall, Somerville, New Jersey		
Sample:	104-03	Date Sampled: July 2, 2019		
Element:	Upper/mid. south wall field			
Analysis:	() Manual cross-section/RLM () Binder characterization	(x) Embedded cross-section/RLM () Pigment analysis	(x) Ultraviolet fluorescence () Exposure window	

Sample Location:



Photomicrograph:



Chromachronology:

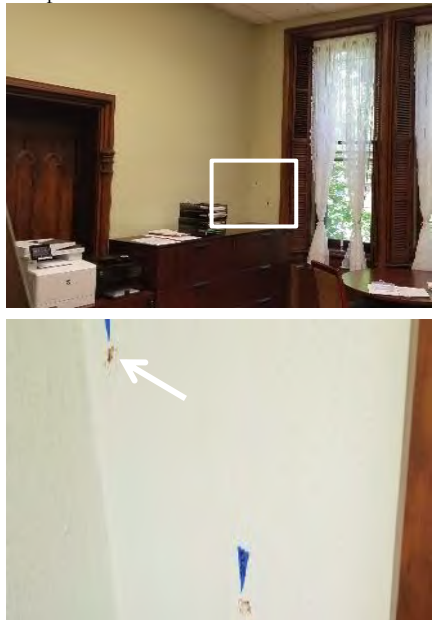
<u>Campaign</u>	<u>Layer</u>	<u>Munsell</u>	<u>Color Name</u>	<u>UV AF</u>	<u>Notes</u>
	Substrate	Plaster			
Ca. 1888	Primer Finish		Pale yellow Light red Orange red Dk orange red	Yellow Orange yellow Orange brown Orange brown	Possibly 2 layers Ornament or separate finish? Ornament or separate finish?
	Primer/base Sealer		Pale yellow Yellow brown	Lt yellow White	Transparent glaze or barrier - sometimes pigmented
Early 20 c	Finish	5YR 5/4	Lt brown	Orange yellow	
	Primer Finish		Gray Lt gray red	Dk gray Gray	Modern Modern
	Finish		Pale yellow	Little/none	
	Finish		Pale yellow	Gray	
	Finish		Pale yellow	Brown gray	
	Finish		Pale orange yel	Little/none	
	Primer Finish		White Mod yellow	White Little/none	
	Finish		Pale blue	Gray	
	Primer Finish		White Pale yellow	Little/none Little/none	Modern Modern

Observations:

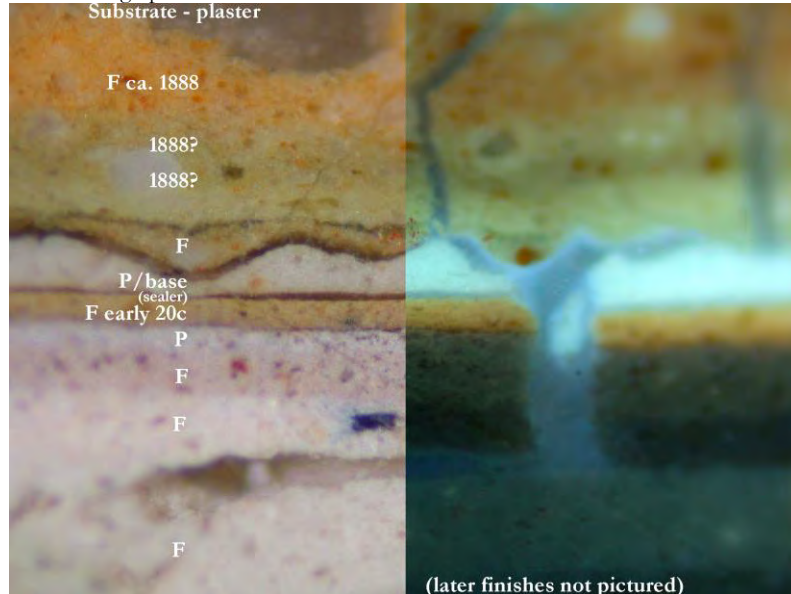
This sample contains an original substrate – the surface of which suggests sanded plaster as has been found in other spaces in the building. Optical characteristics of earliest layer suggest the possibility of oil or hybrid finish. It is not clear whether earliest few layers are contemporary with one another and comprise ornament.
 Samples taken in many spaces display evidence of a pale yellow primer/base and what appears to be a sealer – possibly applied after a fire and before the building appears to have been repainted in the early 20th century.
 Early 20th century finish appears to be an opaque paint layer.

Location:	Side North Office, First Floor (113)	Somerville Borough Hall, Somerville, New Jersey		
Sample:	113-01	Date Sampled: July 2, 2019		
Element:	North wall in corner above chair rail (~18")			
Analysis:	() Manual cross-section/RLM	(x) Embedded cross-section/RLM	(x)	Ultraviolet fluorescence
	() Binder characterization	() Pigment analysis	()	Exposure window

Sample Location:



Photomicrograph:



Chromachronology:

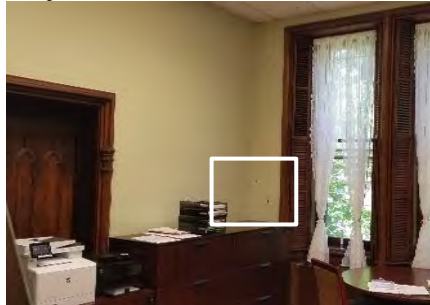
<u>Campaign</u>	<u>Layer</u>	<u>Munsell</u>	<u>Color Name</u>	<u>UV AF</u>	<u>Notes</u>
	Substrate	Plaster			
Ca. 1888	Finish		Mod orange yel Lt gray green Lt gray yel	Orange yellow Gray yel Orange brown	Ornament or separate finish? Ornament or separate finish?
	Finish		Gray yellow		Possible glaze or soiling
	Primer/base Sealer		Pale yellow Yellow brown	Lt yellow White	Transparent glaze or barrier - sometimes pigmented
Early 20 c	Finish	10YR 6/4	Lt yellow brn	Orange yellow	Oxidation at surface
	Primer Finish		Gray Lt gray red	Dk gray Gray	
	Finish		Pale yellow	Little/none	
	Finish		Pale yellow	Gray	
	Finish		Lt gray green	Little/none	
	Primer Finish		White Mod yellow	Little/none Little/none	
	Finish		White	Little/none	
	Finish		Lt gray		
	Primer Finish		White Pale yellow	Little/none Little/none	

Observations:

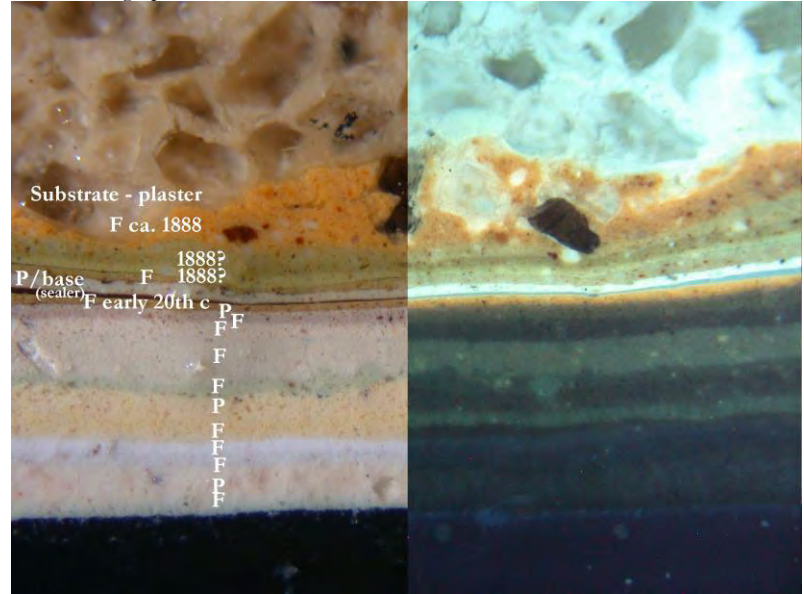
This sample contains an original substrate – the surface of which suggests sanded plaster as has been found in other spaces in the building. Optical characteristics of earliest layer suggest the possibility of oil or hybrid finish. It is not clear whether earliest few layers are contemporary with one another and comprise ornament.
 Samples taken in many spaces display evidence of a pale yellow primer/base and what appears to be a sealer – possibly applied after a fire and before the building appears to have been repainted in the early 20th century.
 Early 20th century finish appears to be an opaque paint layer.

Location:	Side North Office, First Floor (113)	Somerville Borough Hall, Somerville, New Jersey		
Sample:	113-02	Date Sampled: July 2, 2019		
Element:	North wall field above chair rail (~12")			
Analysis:	() Manual cross-section/RLM	(x) Embedded cross-section/RLM	(x)	Ultraviolet fluorescence
	() Binder characterization	() Pigment analysis	()	Exposure window

Sample Location:



Photomicrograph:



Chronology:

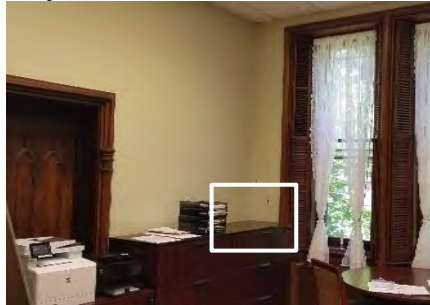
Campaign	Layer	Munsell	Color Name	UV AF	Notes
	Substrate	Plaster			
Ca. 1888	Finish		Mod orange yel Lt gray green Lt gray yel	Orange yellow Gray yel Orange brown	Ornament or separate finish? Ornament or separate finish?
	Finish		Gray yellow		Possible evidence of fire residue (smoke)?
	Primer/base Sealer		Pale yellow Yellow brown	Lt yellow White	Possible glaze or soiling
Early 20 c	Finish	10YR 6/4	Lt yellow brn	Orange yellow	Oxidation at surface
	Primer Finish		Gray Lt gray	Dk gray Gray	
	Finish		Lt gray green	Little/none	
	Primer Finish		Pale yellow Mod yellow	Little/none Little/none	Possible 2 layers
	Finish		White	Little/none	
	Finish		Lt gray		
	Primer Finish		White Pale yellow	Little/none Little/none	

Observations:

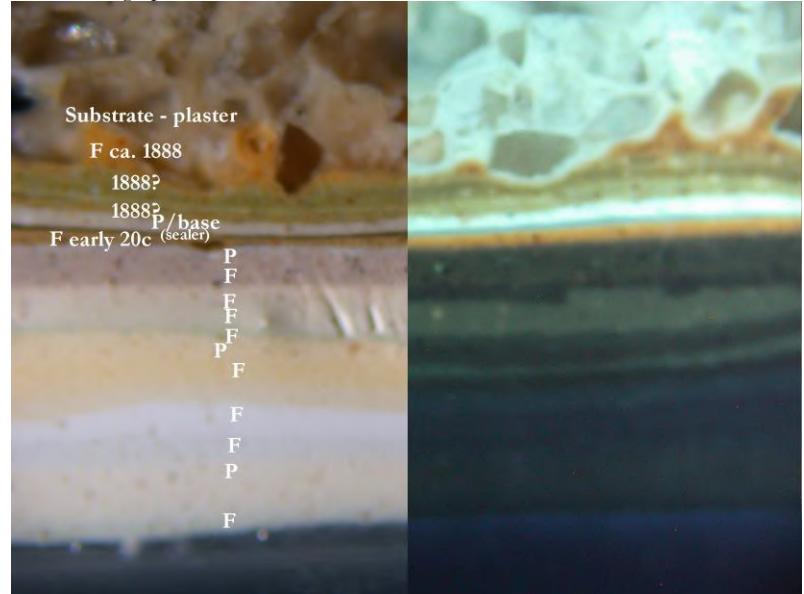
This sample contains an original substrate – the surface of which suggests sanded plaster as has been found in other spaces in the building. Optical characteristics of earliest layer suggest the possibility of oil or hybrid finish. It is not clear whether earliest few layers are contemporary with one another and comprise ornament. Samples taken in many spaces display evidence of a pale yellow primer/base and what appears to be a sealer – possibly applied after a fire and before the building appears to have been repainted in the early 20th century. Early 20th century finish appears to be an opaque paint layer.

Location:	Side North Office, First Floor (113)	Somerville Borough Hall, Somerville, New Jersey		
Sample:	113-03	Date Sampled: July 2, 2019		
Element:	North wall next to window above chair rail (1")			
Analysis:	<input type="checkbox"/> Manual cross-section/RLM	<input checked="" type="checkbox"/> Embedded cross-section/RLM	<input checked="" type="checkbox"/> Ultraviolet fluorescence	
	<input type="checkbox"/> Binder characterization	<input type="checkbox"/> Pigment analysis	<input type="checkbox"/> Exposure window	

Sample Location:



Photomicrograph:



Chromachronology:

Campaign	Layer	Munsell	Color Name	UV AF	Notes
	Substrate	Plaster			
Ca. 1888	Finish		Mod orange yel Lt gray green Lt gray yel	Orange yellow Gray yel Orange brown	Ornament or separate finish? Ornament or separate finish?
	Primer/base Sealer		Pale yellow Yellow brown	Lt yellow White	Possible glaze or soiling
Early 20 c	Finish	10YR 6/4	Lt yellow brn	Orange yellow	Oxidation at surface
	Primer		Gray	Dk gray	
	Finish		Lt gray	Gray	
	Finish		Lt gray green	Little/none	
	Primer		Pale yellow	Little/none	Possible 2 layers
	Finish		Mod yellow	Little/none	
	Finish		White	Little/none	
	Finish		Lt gray		
	Primer		White	Little/none	
	Finish		Pale yellow	Little/none	

Observations:

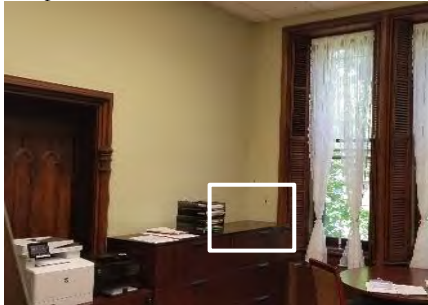
This sample contains an original substrate – the surface of which suggests sanded plaster as has been found in other spaces in the building. Optical characteristics of earliest layer suggest the possibility of oil or hybrid finish. It is not clear whether earliest few layers are contemporary with one another and comprise ornament.

Samples taken in many spaces display evidence of a pale yellow primer/base and what appears to be a sealer – possibly applied after a fire and before the building appears to have been repainted in the early 20th century.

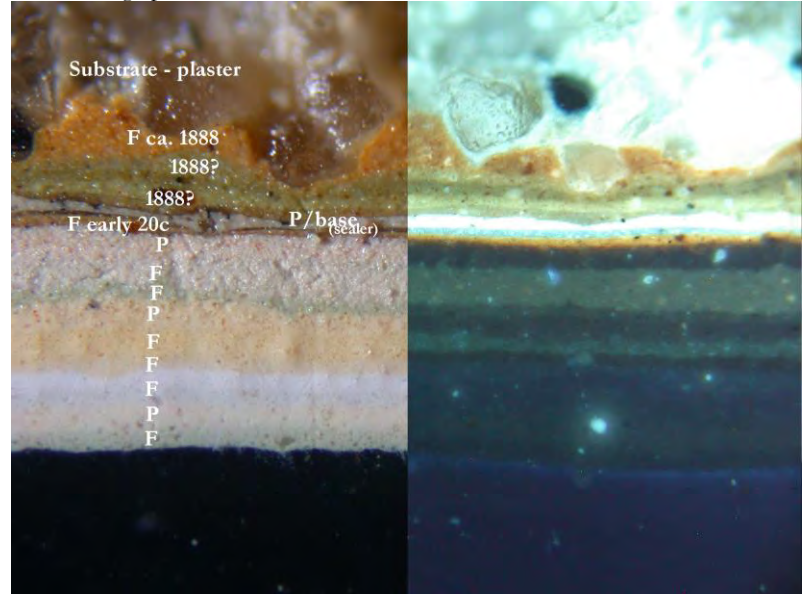
Early 20th century finish appears to be an opaque paint layer.

Location:	Side North Office, First Floor (113)	Somerville Borough Hall, Somerville, New Jersey		
Sample:	113-04	Date Sampled: July 2, 2019		
Element:	North wall in corner below chair rail [height] (1")			
Analysis:	() Manual cross-section/RLM	(x) Embedded cross-section/RLM	(x)	Ultraviolet fluorescence
	() Binder characterization	() Pigment analysis	()	Exposure window

Sample Location:



Photomicrograph:



Chromachronology:

Campaign	Layer	Munsell	Color Name	UV AF	Notes
	Substrate	Plaster			
Ca. 1888	Finish		Mod orange yel Lt gray green Lt gray yel	Orange yellow Gray yel Orange brown	Ornament or separate finish? Ornament or separate finish?
	Primer/base Sealer		Pale yellow Yellow brown	Lt yellow White	Possible glaze or soiling
Early 20 c	Finish	10YR 6/4	Lt yellow brn	Orange yellow	Oxidation at surface
	Primer		Gray	Dk gray	
	Finish		Lt gray	Gray	
	Finish		Lt gray green	Little/none	
	Primer		Pale yellow	Little/none	Possible 2 layers
	Finish		Mod yellow	Little/none	
	Finish		White	Little/none	
	Finish		Lt gray		
	Primer		White	Little/none	
	Finish		Pale yellow	Little/none	

Observations:

This sample contains an original substrate – the surface of which suggests sanded plaster as has been found in other spaces in the building. Optical characteristics of earliest layer suggest the possibility of oil or hybrid finish. It is not clear whether earliest few layers are contemporary with one another and comprise ornament.

Samples taken in many spaces display evidence of a pale yellow primer/base and what appears to be a sealer – possibly applied after a fire and before the building appears to have been repainted in the early 20th century.

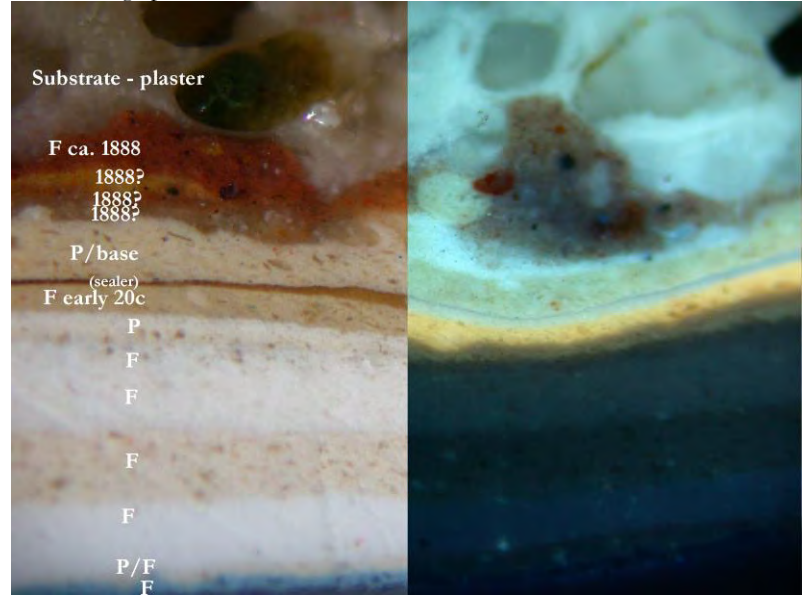
Early 20th century finish appears to be an opaque paint layer.

Location:	Mayor's Office, 2nd Floor, Room 204			
Sample:	204-01			
Element:	Ceiling border			
Analysis:	() Manual cross-section/RLM	(x) Embedded cross-section/RLM	(x) Ultraviolet fluorescence	
	() Binder characterization	() Pigment analysis	() Exposure window	

Sample Location:



Photomicrograph:



Chromachronology:

<u>Campaign</u>	<u>Layer</u>	<u>Munsell</u>	<u>Color Name</u>	<u>UV AF</u>	<u>Notes</u>
	Substrate	Plaster			
Ca. 1888	Finish		Dark red Orange yellow Orange brown Gray brown	Red brown Lt gray Orange brown White	Ornament or separate finish? Ornament or separate finish? Ornament or separate finish?
	Primer/base Sealer		Pale yellow Yellow brown	Lt yellow White	Transparent glaze or barrier - sometimes pigmented
Early 20 c	Finish	10YR 5/4	Lt yellow brn	Orange yellow	
	Primer Finish		White Lt gray	Dk gray Gray	
	Finish		Pale yellow	Little/none	
	Finish		Pale orange yel	Little/none	
	Finish		White	Little/none	
	Primer/Finish		White	Little/none	
	Finish		Pale blue	Little/none	

Observations:

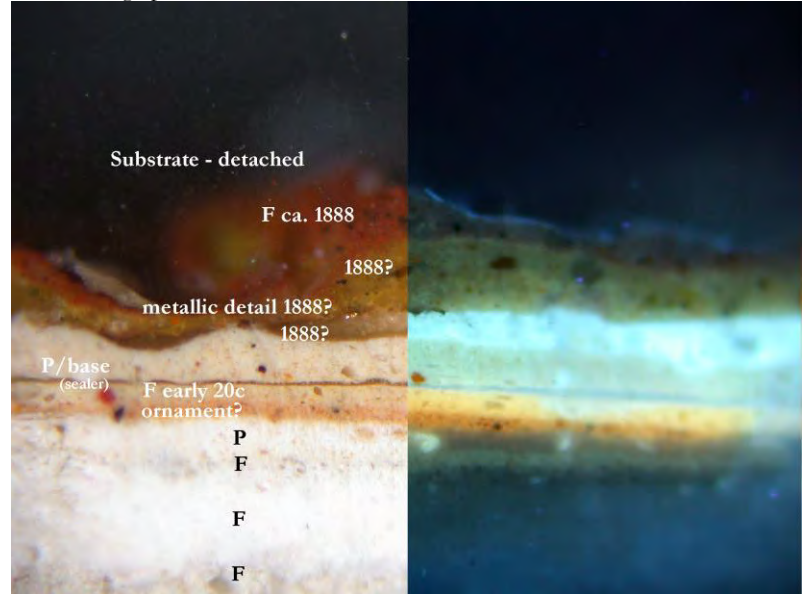
This sample contains an original substrate – the surface of which suggests sanded plaster as has been found in other spaces in the building. Optical and fluorescent characteristics of the earliest finish suggest the possibility of a distemper/calimine or other non-oil-based coating (additional study would be required to clarify).
 It is not clear whether earliest few layers are contemporary with one another and comprise ornament.
 Samples taken in many spaces display evidence of a pale yellow primer/base and what appears to be a sealer – possibly applied after a fire and before the building appears to have been repainted in the early 20th century.
 Early 20th century finish appears to be an opaque paint layer.

Location:	Mayor's Office, 2nd Floor, Room 204	Somerville Borough Hall, Somerville, New Jersey		
Sample:	204-02	Date Sampled: July 2, 2019		
Element:	Ceiling "line"			
Analysis:	() Manual cross-section/RLM () Binder characterization	(x) Embedded cross-section/RLM () Pigment analysis	(x) ()	Ultraviolet fluorescence Exposure window

Sample Location:



Photomicrograph:



Chromachronology:

<u>Campaign</u>	<u>Layer</u>	<u>Munsell</u>	<u>Color Name</u>	<u>UV AF</u>	<u>Notes</u>
Substrate	Plaster				Detached from sample
Ca. 1888	Finish		Dark red Orange yellow Orange brown Gray brown	Red brown Lt gray Orange brown White	Ornament or separate finish? Plus metallic flake. Ornament or separate finish? Ornament or separate finish?
	Primer/base Sealer		Pale yellow Yellow brown	Lt yellow White	Transparent glaze or barrier - sometimes pigmented
Early 20 c	Finish	10YR 5/4	Mod orange yel Lt brown	Orange yellow Orange	Need additional sample to confirm ornament
	Primer Finish		White Lt gray	Dk gray Gray	
	Finish		Pale yellow	Little/none	
	Finish		Pale orange yel	Little/none	
	Finish		White	Little/none	
	Primer/Finish		White	Little/none	
	Finish		Pale blue	Little/none	

Observations:

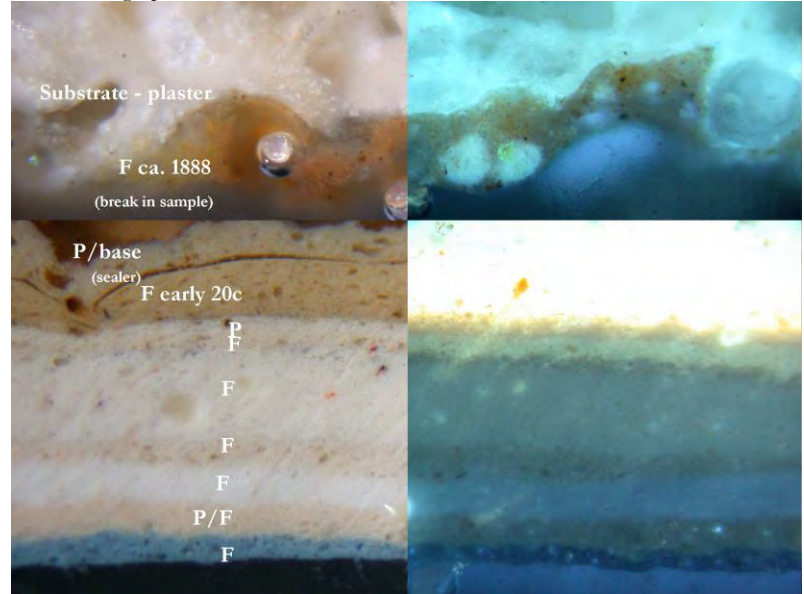
This sample contains an original substrate – the surface of which suggests sanded plaster as has been found in other spaces in the building. Optical and fluorescent characteristics of the earliest finish suggest the possibility of a distemper/calimine or other non-oil-based coating (additional study would be required to clarify).
 It is not clear whether earliest few layers are contemporary with one another and comprise ornament.
 Samples taken in many spaces display evidence of a pale yellow primer/base and what appears to be a sealer – possibly applied after a fire and before the building appears to have been repainted in the early 20th century.
 Early 20th century finish appears to be an opaque paint layer.

Location:	Mayor's Office, 2nd Floor, Room 204	Somerville Borough Hall, Somerville, New Jersey		
Sample:	204-03	Date Sampled: July 2, 2019		
Element:	Ceiling field			
Analysis:	() Manual cross-section/RLM () Binder characterization	(x) Embedded cross-section/RLM () Pigment analysis	(x) ()	Ultraviolet fluorescence Exposure window

Sample Location:



Photomicrograph:



Chromachronology:

<u>Campaign</u>	<u>Layer</u>	<u>Munsell</u>	<u>Color Name</u>	<u>UV AF</u>	<u>Notes</u>
	Plaster				
Ca. 1888	Finish		Dark red	Red brown	
	Primer/base Sealer		Pale yellow Yellow brown	Lt yellow White	Transparent glaze or barrier - sometimes pigmented
Early 20 c	Finish	10YR 5/4	Lt yellow brn	Orange yellow	
	Primer		White	Dk gray	
	Finish		Lt gray	Gray	
	Finish		Pale yellow	Little/none	
	Finish		Pale orange yel	Little/none	
	Finish		White	Little/none	
	Primer/Finish		White	Little/none	
	Finish		Pale blue	Little/none	

Observations:

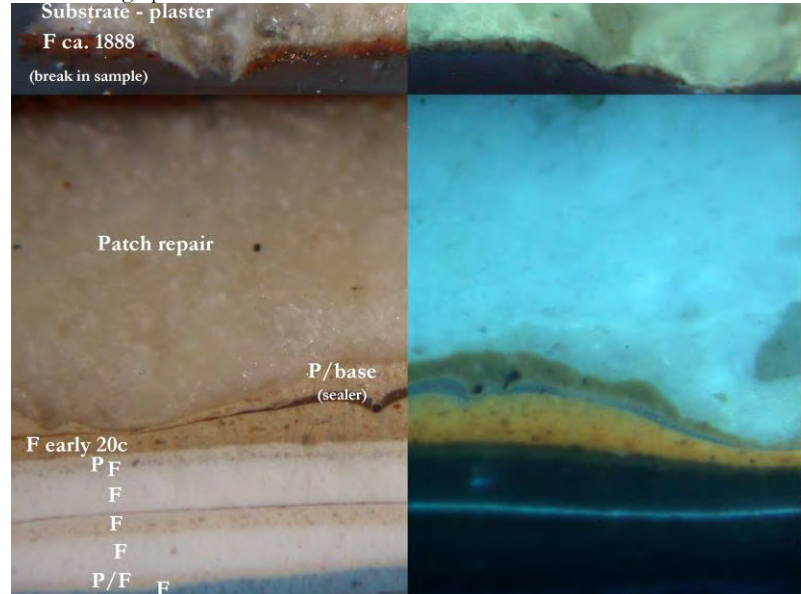
This sample contains an original substrate – the surface of which suggests sanded plaster as has been found in other spaces in the building. Optical and fluorescent characteristics of the earliest finish suggest the possibility of a distemper/calimine or other non-oil-based coating (additional study would be required to clarify).
 It is not clear whether earliest few layers are contemporary with one another and comprise ornament.
 Samples taken in many spaces display evidence of a pale yellow primer/base and what appears to be a sealer – possibly applied after a fire and before the building appears to have been repainted in the early 20th century.
 Early 20th century finish appears to be an opaque paint layer.

Location:	Mayor's Office, 2nd Floor, Room 204	Somerville Borough Hall, Somerville, New Jersey		
Sample:	204-04	Date Sampled: July 2, 2019		
Element:	East wall above picture rail (3")			
Analysis:	() Manual cross-section/RLM	(x) Embedded cross-section/RLM	(x)	Ultraviolet fluorescence
	() Binder characterization	() Pigment analysis	()	Exposure window

Sample Location:



Photomicrograph:



Chromachronology:

<u>Campaign</u>	<u>Layer</u>	<u>Munsell</u>	<u>Color Name</u>	<u>UV AF</u>	<u>Notes</u>
	Substrate	Plaster			
Ca. 1888	Finish		Dark red	Red brown	Possible missing layers, skim patch after
	Primer/base		Pale yellow	Lt yellow	Transparent glaze or barrier - sometimes pigmented
	Sealer		Yellow brown	White	
Early 20 c	Finish	10YR 5/4	Lt yellow brn	Orange yellow	
	Primer		White	Dk gray	
	Finish		Lt gray	Gray	
	Finish		Pale yellow	Little/none	
	Finish		Pale orange yel	Little/none	
	Finish		White	Little/none	
	Primer/Finish		White	Little/none	
	Finish		Pale blue	Little/none	

Observations:

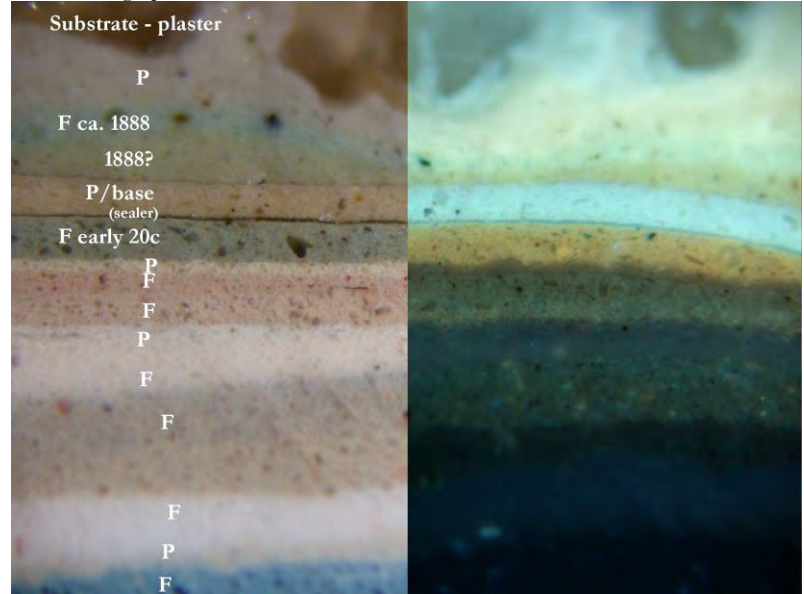
This sample contains an original substrate – the surface of which suggests sanded plaster as has been found in other spaces in the building. Optical and fluorescent characteristics of the earliest finish suggest the possibility of a distemper/calimine or other non-oil-based coating (additional study would be required to clarify).
 It is not clear whether earliest few layers are contemporary with one another and comprise ornament.
 Samples taken in many spaces display evidence of a pale yellow primer/base and what appears to be a sealer – possibly applied after a fire and before the building appears to have been repainted in the early 20th century.
 Early 20th century finish appears to be an opaque paint layer.

Location:	Mayor's Office, 2nd Floor, Room 204	Somerville Borough Hall, Somerville, New Jersey		
Sample:	204-05	Date Sampled: July 2, 2019		
Element:	East wall below picture rail (3")			
Analysis:	() Manual cross-section/RLM () Binder characterization	(x) Embedded cross-section/RLM () Pigment analysis	(x) Ultraviolet fluorescence () Exposure window	

Sample Location:



Photomicrograph:



Chromachronology:

<u>Campaign</u>	<u>Layer</u>	<u>Munsell</u>	<u>Color Name</u>	<u>UV AF</u>	<u>Notes</u>
	Substrate	Plaster			
Ca. 1888	Finish		Pale gray Pale blue Lt grayish green	Lt yellow Lt green Lt yellow	Possibly 2 layers, slightly different color Ornament or separate finish? Ornament or separate finish?
	Primer/base Sealer		Pale yellow Yellow brown	Lt yellow White	Transparent glaze or barrier - sometimes pigmented
Early 20 c	Finish	10GY 5/1	Gray green	Orange yellow	
	Primer		White	Dk gray	
	Finish		Lt gray red	Gray	
	Finish		Pale red	Little/none	
	Primer		White	Little/none	
	Finish		Pale pink	Little/none	
	Finish		Pale orange yel	Little/none	
	Finish		White	Little/none	
	Primer/Finish		White	Little/none	
	Finish		Pale blue	Little/none	

Observations:

This sample contains an original substrate – the surface of which suggests sanded plaster as has been found in other spaces in the building. Optical characteristics of earliest layer suggest the possibility of oil or hybrid finish. It is not clear whether earliest finish included ornament.

Samples taken in many spaces display evidence of a pale yellow primer/base and what appears to be a sealer – possibly applied after a fire and before the building appears to have been repainted in the early 20th century.

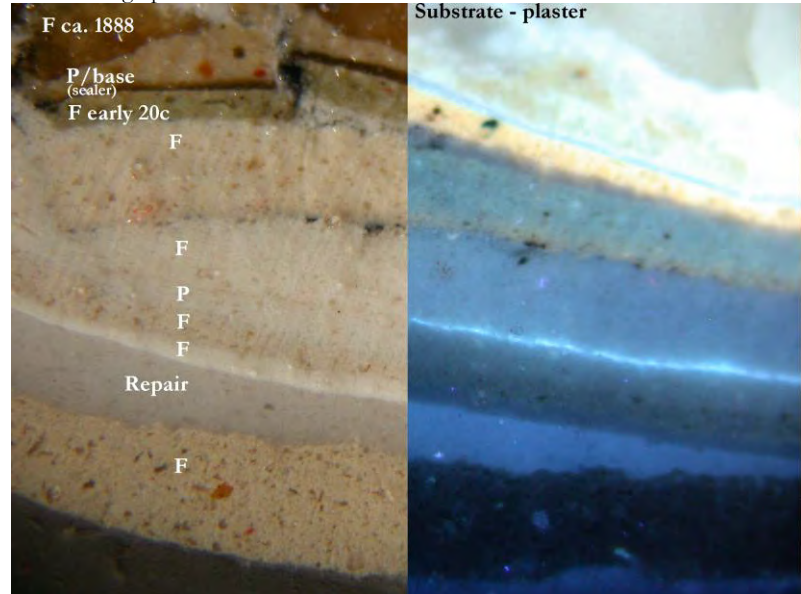
Early 20th century finish appears to be an opaque paint layer.

Location:	Mayor's Office, 2nd Floor, Room 204	Somerville Borough Hall, Somerville, New Jersey		
Sample:	204-06	Date Sampled: July 2, 2019		
Element:	Ceiling rib			
Analysis:	() Manual cross-section/RLM () Binder characterization	(x) Embedded cross-section/RLM () Pigment analysis	(x) ()	Ultraviolet fluorescence Exposure window

Sample Location:



Photomicrograph:



Chromachronology:

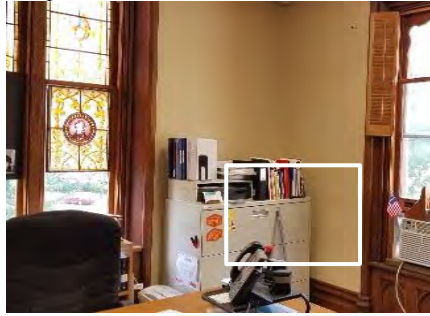
<u>Campaign</u>	<u>Layer</u>	<u>Munsell</u>	<u>Color Name</u>	<u>UV AF</u>	<u>Notes</u>
	Substrate				
	Plaster				
Ca. 1888	Finish		Red brown Brown orange	Yellow Lt green	Ornament or separate finish?
	Sealer		Yellow brown	White	Transparent glaze or barrier - sometimes pigmented
Early 20 c	Finish	7.5Y 6/2	Lt gray olive	Yellow	
	Primer		Lt gray	Dk gray	
	Finish		Pale orange yel	Gray	Dirt layer after
	Finish		Pale yellow	Little/none	
	Primer		White	Little/none	
	Finish		Pale yellow	Little/none	
	Finish		White	Little/none	Repair after
	Finish		Gray yellow	Little/none	

Observations:

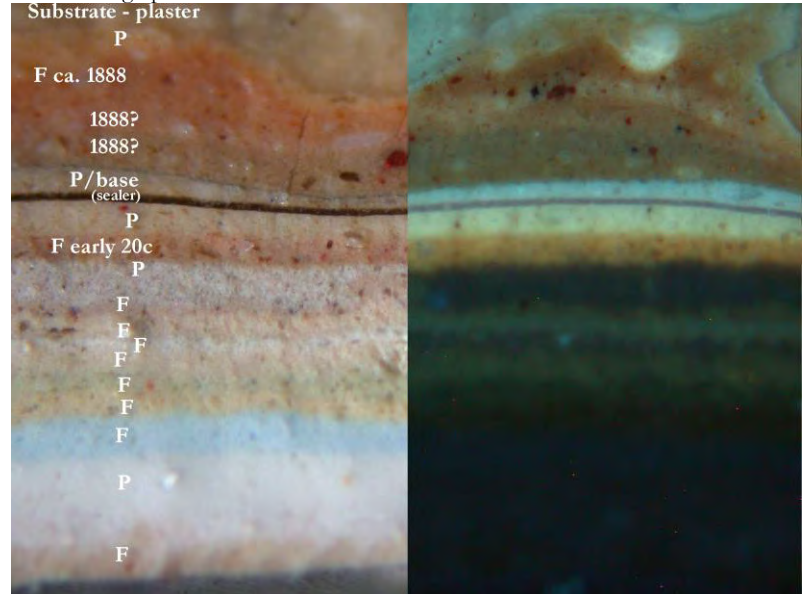
This sample contains an original substrate – the surface of which suggests smooth plaster. Optical characteristics of earliest layer suggest the possibility of oil or hybrid finish.
 Samples taken in many spaces display evidence of a pale yellow primer/base and what appears to be a sealer – possibly applied after a fire and before the building appears to have been repainted in the early 20th century.
 Early 20th century finish appears to be an opaque paint layer.

Location:	East Front Office, 2nd Floor, Room 206			
Sample:	206-01			
Element:	Rear east wall (3 ft above floor)			
Analysis:	() Manual cross-section/RLM	(x) Embedded cross-section/RLM	(x)	Ultraviolet fluorescence
	() Binder characterization	() Pigment analysis	()	Exposure window

Sample Location:



Photomicrograph:



Chromachronology:

<u>Campaign</u>	<u>Layer</u>	<u>Munsell</u>	<u>Color Name</u>	<u>UV AF</u>	<u>Notes</u>
	Substrate	Plaster			
Ca. 1888	Primer Finish		Pale yellow Light red Orange red Yellow brown	Yellow Orange yellow Orange brown Dk brown	Possibly 2 layers Ornament or separate finish? Ornament or separate finish? Ornament or separate finish?
	Primer/base Sealer		Pale yellow Yellow brown	Lt yellow White	Transparent glaze or barrier - sometimes pigmented
Early 20 c	Primer Finish	5YR 6/4	Gray yellow Lt brown	Yellow Orange yellow	Ornament or separate finish?
	Primer Finish		Gray Lt gray red	Little/none Little/none	Modern Modern
	Finish		Pale yellow	Little/none	
	Finish		Pale yellow	Little/none	
	Finish		Pale yellow	Little/none	
	Finish		Lt gray green	Little/none	
	Finish		Mod yellow	Little/none	
	Finish		Pale blue	Little/none	
	Primer Finish		White Pale yellow	Little/none Little/none	Modern Modern

Observations:

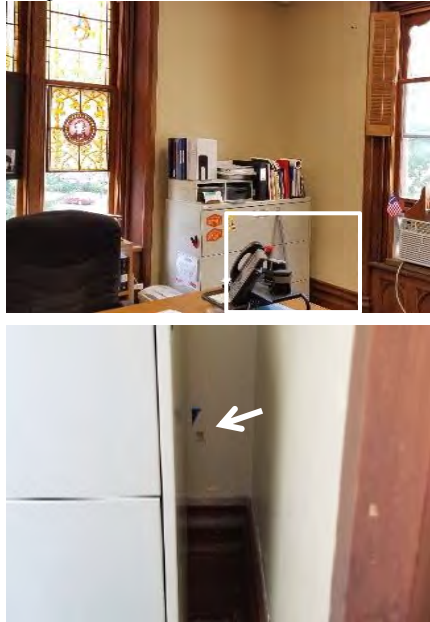
This sample contains an original substrate – the surface of which suggests sanded plaster as has been found in other spaces in the building. Optical characteristics of earliest layer suggest the possibility of oil or hybrid finish. It is not clear whether earliest few layers are contemporary with one another and comprise ornament.

Samples taken in many spaces display evidence of a pale yellow primer/base and what appears to be a sealer – possibly applied after a fire and before the building appears to have been repainted in the early 20th century.

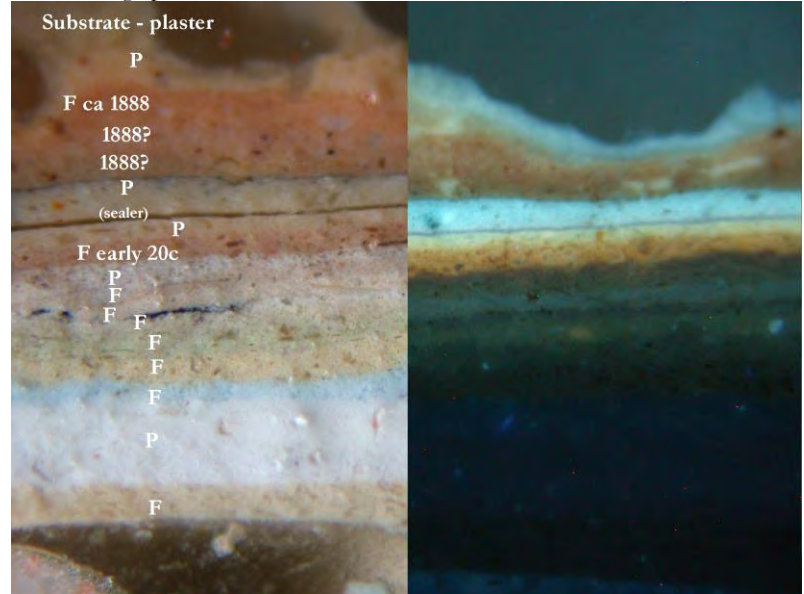
Early 20th century finish appears to be an opaque primer and finish.

Location:	East Front Office, 2nd Floor, Room 206	Somerville Borough Hall, Somerville, New Jersey		
Sample:	206-02	Date Sampled: July 2, 2019		
Element:	Rear east wall, above baseboard			
Analysis:	() Manual cross-section/RLM () Binder characterization	(x) Embedded cross-section/RLM () Pigment analysis	(x) ()	Ultraviolet fluorescence Exposure window

Sample Location:



Photomicrograph:



Chromachronology:

<u>Campaign</u>	<u>Layer</u>	<u>Munsell</u>	<u>Color Name</u>	<u>UV AF</u>	<u>Notes</u>
Substrate	Plaster				
Ca. 1888	Primer Finish		Pale yellow Light red Orange red Yellow brown	Yellow Orange yellow Orange brown Dk brown	Possibly 2 layers Ornament or separate finish? Ornament or separate finish? Ornament or separate finish?
	Primer/base Sealer		Pale yellow Yellow brown	Lt yellow White	Transparent glaze or barrier - sometimes pigmented
Early 20 c	Primer Finish	5YR 6/4	Gray yellow Lt brown	Yellow Orange yellow	Ornament or separate finish?
	Primer Finish		Gray Lt gray red	Little/none Little/none	
	Finish		Pale yellow	Little/none	
	Finish		Pale yellow	Little/none	
	Finish		Lt gray green	Little/none	
	Finish		Mod yellow	Little/none	
	Finish		Pale blue	Little/none	
	Primer Finish		White Pale yellow	Little/none Little/none	

Observations:

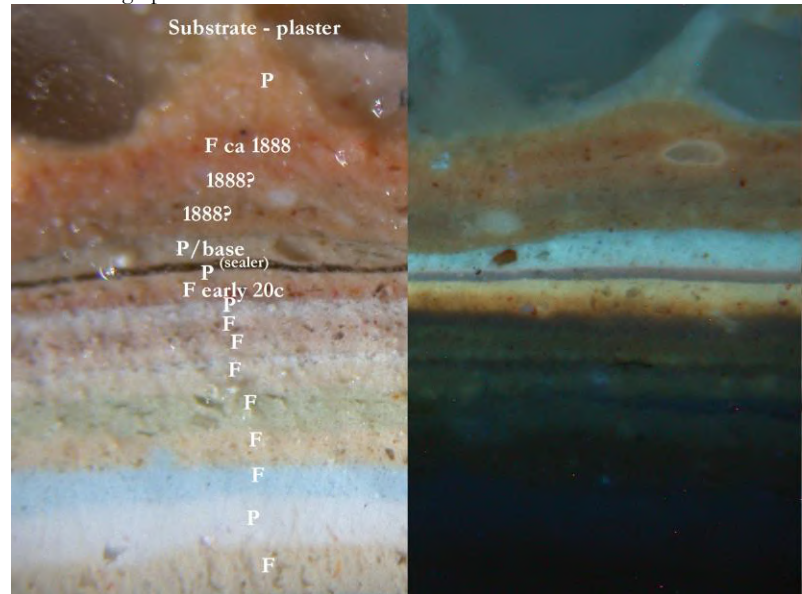
This sample contains an original substrate – the surface of which suggests sanded plaster as has been found in other spaces in the building. Optical characteristics of earliest layer suggest the possibility of oil or hybrid finish. It is not clear whether earliest few layers are contemporary with one another and comprise ornament.
 Samples taken in many spaces display evidence of a pale yellow primer/base and what appears to be a sealer – possibly applied after a fire and before the building appears to have been repainted in the early 20th century.
 Early 20th century finish appears to be an opaque primer and finish.

Location:	East Front Office, 2nd Floor, Room 206	Somerville Borough Hall, Somerville, New Jersey		
Sample:	206-03	Date Sampled: July 2, 2019		
Element:	South wall field, upper-to mid-wall (4" inwards from window frame)			
Analysis:	() Manual cross-section/RLM () Binder characterization	(x) Embedded cross-section/RLM () Pigment analysis	(x) ()	Ultraviolet fluorescence Exposure window

Sample Location:



Photomicrograph:



Chromachronology:

Campaign	Layer	Munsell	Color Name	UV AF	Notes
	Substrate		Plaster		
Ca. 1888	Primer Finish		Pale yellow Light red Orange red Yellow brown	Yellow Orange yellow Orange brown Dk brown	Ornament or separate finish? Ornament or separate finish?
	Primer/base Sealer		Pale yellow Yellow brown	Lt yellow White	Transparent glaze or barrier - sometimes pigmented
Early 20 c	Primer Finish	5YR 6/4	Gray yellow Lt brown	Yellow Orange yellow	Ornament or separate finish?
	Primer Finish		Gray Lt gray red	Little/none Little/none	
	Finish		Pale yellow	Little/none	
	Finish		Pale yellow	Little/none	
	Finish		Pale yellow	Little/none	
	Finish		Lt gray green	Little/none	
	Finish		Mod yellow	Little/none	
	Finish		Pale blue	Little/none	
	Primer Finish		White Pale yellow	Little/none Little/none	

Observations:

This sample contains an original substrate – the surface of which suggests sanded plaster as has been found in other spaces in the building. Optical characteristics of earliest layer suggest the possibility of oil or hybrid finish. It is not clear whether earliest few layers are contemporary with one another and comprise ornament.

Samples taken in many spaces display evidence of a pale yellow primer/base and what appears to be a sealer – possibly applied after a fire and before the building appears to have been repainted in the early 20th century.

Early 20th century finish appears to be an opaque primer and finish.

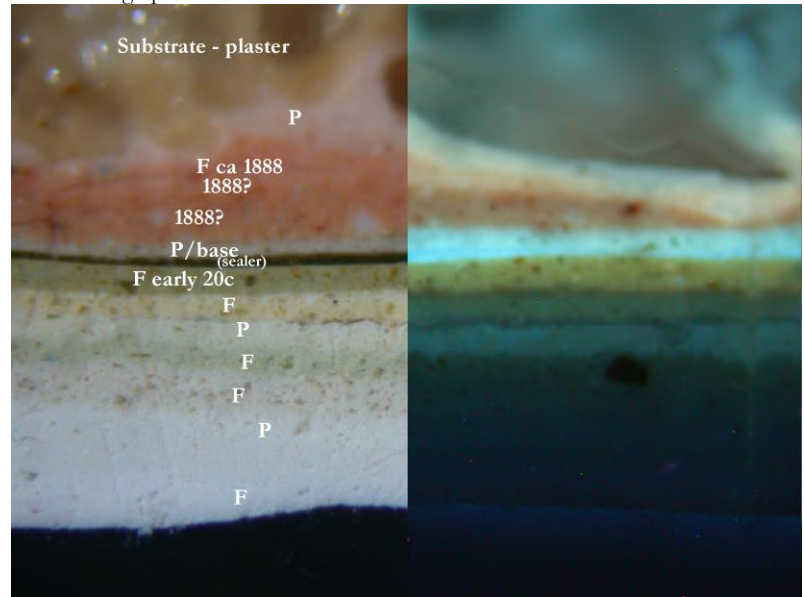
Location:	North Office, 2nd Floor, Room 207	Somerville Borough Hall, Somerville, New Jersey
Sample:	207-01	Date Sampled: July 2, 2019
Element:	West wall adjacent to fireplace wall, above mantel height	

Analysis:	() Manual cross-section/RLM	(x) Embedded cross-section/RLM	(x) Ultraviolet fluorescence
	() Binder characterization	() Pigment analysis	() Exposure window

Sample Location:



Photomicrograph:



Chromachronology:

Campaign	Layer	Munsell	Color Name	UV AF	Notes
	Substrate		Plaster		
Ca. 1888	Primer Finish		Pale yellow Light red Dk orange red Orange red	Yellow Orange yellow Orange brown Orange brown	Ornament or separate finish? Ornament or separate finish?
	Primer/base Sealer		Pale yellow Yellow brown	Lt yellow White	Transparent glaze or barrier - sometimes pigmented
Early 20 c	Finish	2.5GY 6/2-6/4	Lt gray green	Yellow	Check color
	Finish		Gray yellow	Little/none	
	Primer Finish		White Light gray green	Little/none Little/none	
	Primer Finish		White White	Little/none Little/none	

Observations:

This sample contains an original substrate – the surface of which suggests sanded plaster as has been found in other spaces in the building. Optical characteristics of earliest layer suggest the possibility of oil or hybrid finish. It is not clear whether earliest few layers are contemporary with one another and comprise ornament.

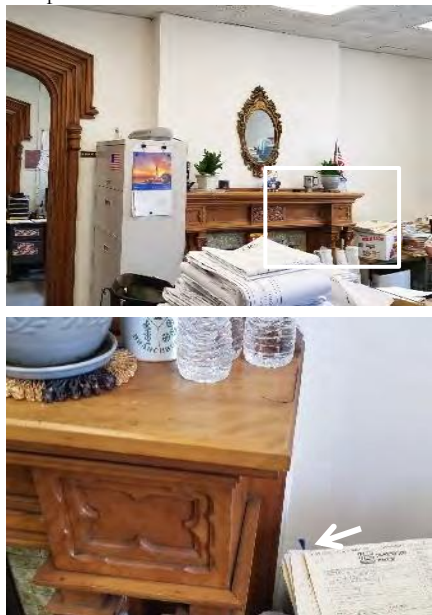
Samples taken in many spaces display evidence of a pale yellow primer/base and what appears to be a sealer – possibly applied after a fire and before the building appears to have been repainted in the early 20th century.

Early 20th century finish appears to be an opaque finish.

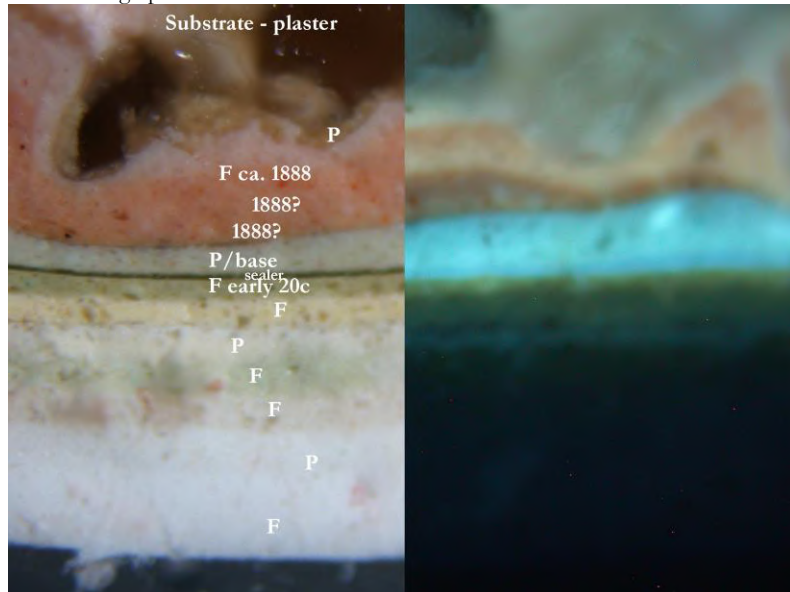
Location:	North Office, 2nd Floor, Room 207
Sample:	207-02
Element:	West wall adjacent to fireplace wall, below mantel height

Analysis:	<input type="checkbox"/> Manual cross-section/RLM	<input checked="" type="checkbox"/> Embedded cross-section/RLM	<input checked="" type="checkbox"/> Ultraviolet fluorescence
	<input type="checkbox"/> Binder characterization	<input type="checkbox"/> Pigment analysis	<input type="checkbox"/> Exposure window

Sample Location:



Photomicrograph:



Chromachronology:

<u>Campaign</u>	<u>Layer</u>	<u>Munsell</u>	<u>Color Name</u>	<u>UV AF</u>	<u>Notes</u>
	Plaster				
Ca. 1888	Primer Finish		Pale yellow Light red Dk orange red Orange red	Yellow Orange yellow Orange brown Orange brown	Ornament or separate finish? Ornament or separate finish?
	Primer/base Sealer		Pale yellow Yellow brown	Lt yellow White	Transparent glaze or barrier - sometimes pigmented
Early 20 c	Finish	2.5GY 6/2	Lt gray green	Yellow	Check color
	Finish		Gray yellow	Little/none	
	Primer Finish		White Light gray green	Little/none Little/none	
	Finish		Pale orange yel	Little/none	
	Primer Finish		White White	Little/none Little/none	

Observations:

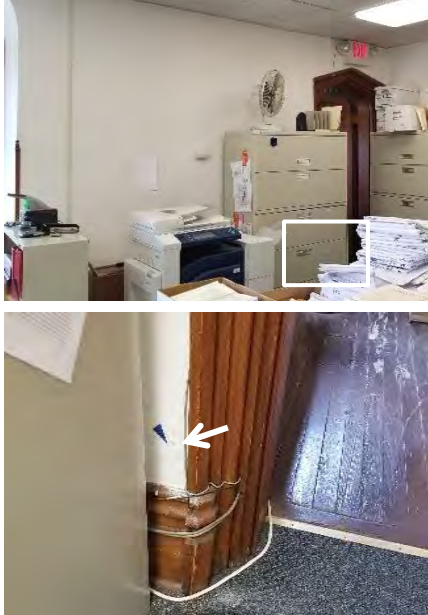
This sample contains an original substrate – the surface of which suggests sanded plaster as has been found in other spaces in the building. Optical characteristics of earliest layer suggest the possibility of oil or hybrid finish. It is not clear whether earliest few layers are contemporary with one another and comprise ornament.

Samples taken in many spaces display evidence of a pale yellow primer/base and what appears to be a sealer – possibly applied after a fire and before the building appears to have been repainted in the early 20th century.

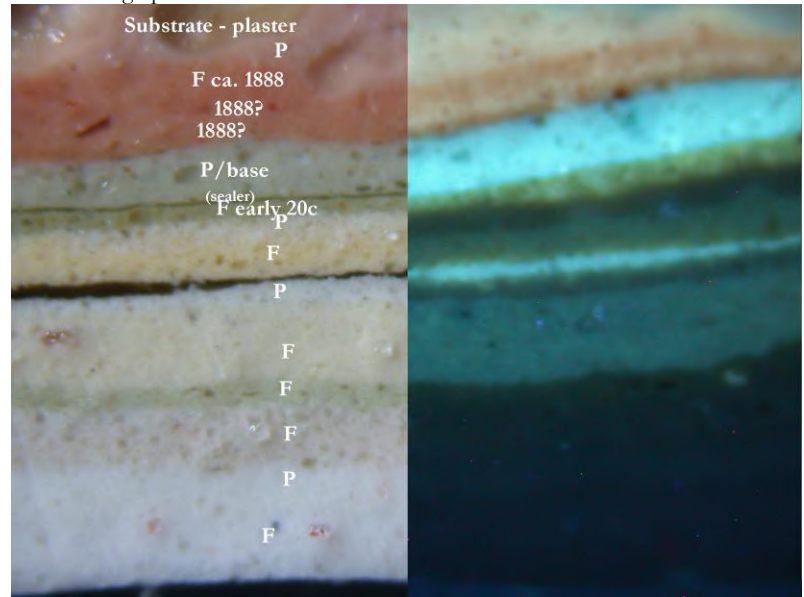
Early 20th century finish appears to be an opaque finish.

Location:	North Office, 2nd Floor, Room 207			
Sample:	207-03			
Element:	East wall above baseboard			
Analysis:	() Manual cross-section/RLM	(x) Embedded cross-section/RLM	(x) Ultraviolet fluorescence	
	() Binder characterization	() Pigment analysis	() Exposure window	

Sample Location:



Photomicrograph:



Chromachronology:

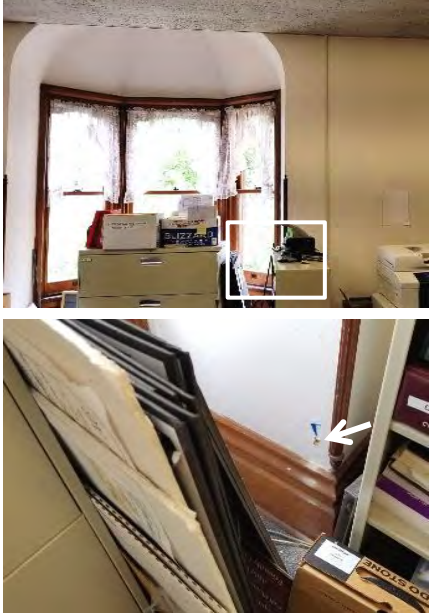
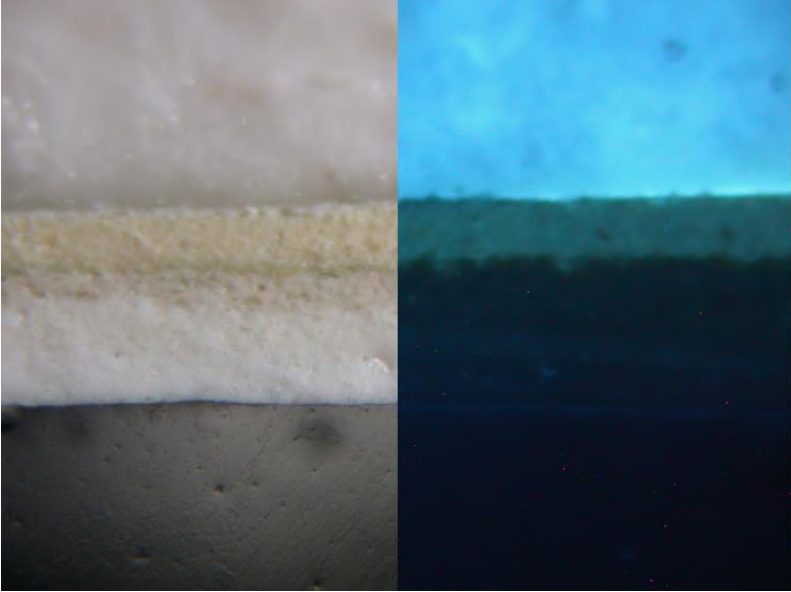
Campaign	Layer	Munsell	Color Name	UV AF	Notes
	Plaster				
Ca. 1888	Primer Finish		Pale yellow Light red Dk orange red Orange red	Yellow Orange yellow Orange brown Orange brown	Ornament or separate finish? Ornament or separate finish?
	Primer/base Sealer		Pale yellow Yellow brown	Lt yellow White	Transparent glaze or barrier - sometimes pigmented
Early 20 c	Finish	2.5GY 6/2	Lt gray green	Yellow	Check color
	Primer Finish		White Gray yellow	Lt yellow Little/none	
	Primer Finish		White Lt yellow	Pale yellow	
	Finish		Light gray green	Little/none	
	Finish		Pale orange yel	Little/none	
	Primer Finish		White White	Little/none Little/none	

Observations:

This sample contains an original substrate – the surface of which suggests sanded plaster as has been found in other spaces in the building. Optical characteristics of earliest layer suggest the possibility of oil or hybrid finish. It is not clear whether earliest few layers are contemporary with one another and comprise ornament.

Samples taken in many spaces display evidence of a pale yellow primer/base and what appears to be a sealer – possibly applied after a fire and before the building appears to have been repainted in the early 20th century.

Early 20th century finish appears to be an opaque finish.

Location: North Office, 2nd Floor, Room 207		Somerville Borough Hall, Somerville, New Jersey	
Sample: 207-04		Date Sampled: July 2, 2019	
Element: Window alcove wall above baseboard, southeast face			
Analysis:	<input type="checkbox"/> Manual cross-section/RLM	<input checked="" type="checkbox"/> Embedded cross-section/RLM	<input checked="" type="checkbox"/> Ultraviolet fluorescence
	<input type="checkbox"/> Binder characterization	<input type="checkbox"/> Pigment analysis	<input type="checkbox"/> Exposure window
Sample Location: 		Photomicrograph: 	
Chromachronology:			
Observations: Modern plaster or repair with no historic layers			

Section D: Color Chips (actual color chips included in physical copies of report)

ISCC-NBS Color Name: Light brown
Munsell Color: 5YR 5/4

Benjamin Moore Color Equivalent (closest match): 1161 Birdwood	
----------------------------------------------------------------	------------------------------------------------------------------------------------

ISCC-NBS Color Name: Light yellowish brown
Munsell Color: 10YR 6/4

Benjamin Moore Color Equivalent (closest match): 1131 Autumn Leaf	
-------------------------------------------------------------------	------------------------------------------------------------------------------------

ISCC-NBS Color Name: Moderate orange yellow
Munsell Color: 10YR 6/8

Benjamin Moore Color Equivalent (closest match): AF-345 Turmeric	
------------------------------------------------------------------	-------------------------------------------------------------------------------------

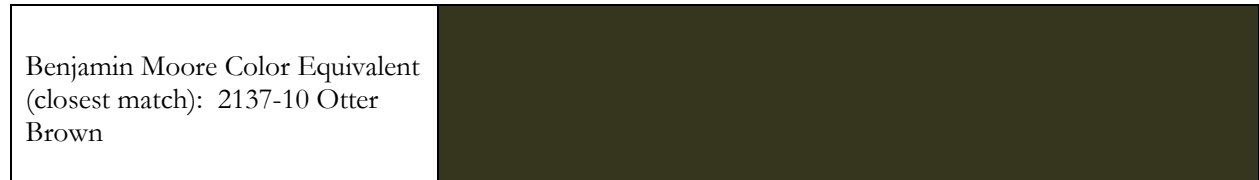
ISCC-NBS Color Name: Light yellowish brown
Munsell Color: 10YR 7/2-7/4

Benjamin Moore Color Equivalent (closest match): AF-140 Pensive	
-----------------------------------------------------------------	--------------------------------------------------------------------------------------

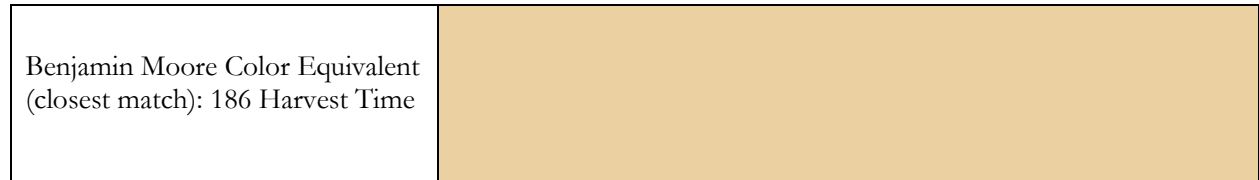
ISCC-NBS Color Name: Moderate orange yellow
Munsell Color: 10YR 7/6

Benjamin Moore Color Equivalent (closest match): 194 Hathaway Gold	
--------------------------------------------------------------------	--------------------------------------------------------------------------------------

ISCC-NBS Color Name: Moderate olive brown
Munsell Color: 2.5Y 3/2



ISCC-NBS Color Name: Pale yellow
Munsell Color: 2.5Y 8/4



ISCC-NBS Color Name: Light olive
Munsell Color: 5Y 5/4



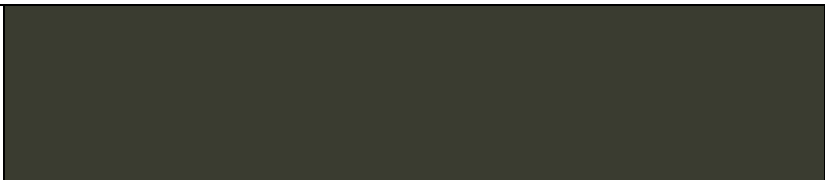
ISCC-NBS Color Name: Light grayish olive
Munsell Color: 7.5Y 4/2



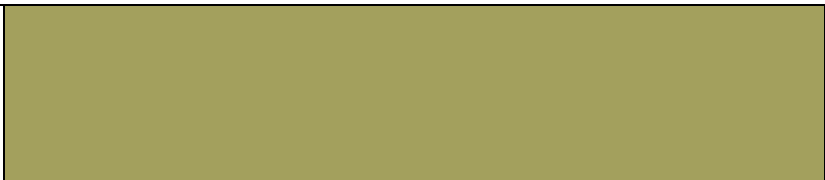
ISCC-NBS Color Name: Light grayish olive
Munsell Color: 7.5Y 6/2



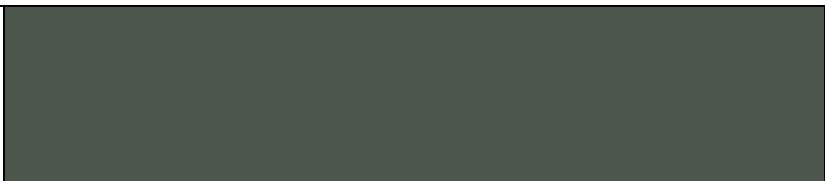
ISCC-NBS Color Name: Grayish olive green
Munsell Color: 2.5GY 3/2

Benjamin Moore Color Equivalent (closest match): 2141-10 Artichoke	
--------------------------------------------------------------------------	------------------------------------------------------------------------------------

ISCC-NBS Color Name: Moderate yellowish green
Munsell Color: 2.5GY 6/2-6/4

Benjamin Moore Color Equivalent (closest match): 531 Ponderosa Pine	
---------------------------------------------------------------------------	------------------------------------------------------------------------------------

ISCC-NBS Color Name: Grayish green
Munsell Color: 10GY 5/1

Benjamin Moore Color Equivalent (closest match): HC-163 Duxbury Gray	
----------------------------------------------------------------------------	-------------------------------------------------------------------------------------

VIII. ENTRANCE HALL MURAL ASSESSMENT

A. Introduction

On July 2, 2019, Dawn D'Aluisio and John Lippert, of Foreground Conservation and Decorative Arts, visited the Somerville Borough Hall in Somerville, NJ in order to assess the condition of the entryway ceiling mural.

The 8' x 8' mural was examined in daylight, the elevation accessed using a 10' ladder. The entire mural was sounded to determine attachment.

The oil painting on canvas is not signed or dated. It is in very good condition. We found one area of detachment in the bottom left corner (size approximately a triangle 4" x 4" extending from the corner.)

B. Cleaning Test

The mural is dirty, additionally there is a yellowed picture varnish. We performed cleaning tests in the top right corner, at one of the doves, and at one of the roses @ left center. Cleaning tests utilized a solution of Vulpex Conservation Soap and water to clean away the dirt layers; and, ethanol to remove the discolored picture varnish.

C. Estimate

We estimate that the mural could be cleaned, varnished, any necessary touch ups installed using conservation grade paints, and the bottom corner reattached over a 2-day period. All work to be reversible and documented as per AIC standards.

Foreground Conservation proposes to do this work over a weekend, including all labor, materials and equipment for a total of \$6000.

(HMR Note: Estimate made on July 9, 2019)

D. Photos



Figure 1: View of mural prior to cleaning test.



Figure 2: View of mural after cleaning test.



Figure 3: View of mural after cleaning test. Note the right dove, which has been cleaned, compared to the left dove, which as not. Also note the cleaned rose compared to the others.



Figure 4: Detail view of dove and rose after cleaning test.

IX. PRESERVATION PHILOSOPHY

2020 UPDATE: While the basis for the Period of Significance has not changed, and the fundamental treatment philosophy has not changed, the Borough should continue to assess and plan for future accessibility measures at the building. Making dual use of the accessible entrance and restrooms at the Library, Borough Hall can meet minimal accessibility measures. However, in reality, the building on its own currently does not provide for fully barrier free access to the public. Per code, the two sections of the building have difference uses and are treated as distinct from one another. Planning for barrier free access and facilities at Borough Hall should be part of the Borough's long-term planning effort.

A. Philosophical Basis for Period of Significance

A building's Period of Significance may be defined as the years in which a structure achieved its historic importance and the time span during which that significance was maintained. The Period of Significance usually begins when the building was constructed and continues until a change of ownership, use, or appearance that significantly alters or detracts from the historic importance and integrity.

The significance of the Daniel Robert House lies in its Gothic Revival architecture. It does not lie in its association with historic figures or events. Constructed in 1888, this year marks the beginning of its Period of Significance. In 1923, Angeline Robert sold the building to the Somerville Lodge of Elks. This change of ownership does not mark the end of its significance, however. Instead, this occurs in 1939 with the construction of the large northwest addition, now the Somerville Public Library. Because the

significance of the building lies in its architecture, all of the major phases of construction should be included. By stretching the period through 1939, this is accomplished. The Period of Significance, therefore, begins in 1888 and ends in 1939.

In 1958, the Daniel Robert House became Somerville Borough Hall. While this is an important chapter of the history of the building, it does not contribute to the building's significance, which lies in its architecture, not its history. Therefore, the Borough tenure is not included in the Period of Significance.

2020 UPDATE: The Period of Significance and its philosophical basis has not changed.

B. Philosophical Basis for Period of Interpretation

In general, the Period of Interpretation for a building may reflect, or vary from, the Period of Significance. In the case of the Daniel Robert House, the Period of Interpretation will be the same and will span from 1888 until 1939.

Again, although the Borough of Somerville's tenure of the building is historically important, it does not add to the significance of the building and therefore, will not be a part of the overall interpretation of the building. This does not mean that the changes that have occurred under the Borough need to be removed. Because rehabilitation will be the overarching treatment philosophy (see below), all extant fabric can remain.

2020 UPDATE: The Period of Interpretation and its philosophical basis has not changed.

C. Treatment Philosophy

The preservation of the Daniel Robert House should be planned, designed, and executed in compliance with the Secretary of the Interior's *Standards for the Treatment of Historic Properties* (2017). The building has evolved over time, and this complete history will be embraced and interpreted. In addition, because the property will be open to the public, accessibility and modern facilities will be required. This will result in changes to both the exterior and the interior. For all these reasons, Rehabilitation should be the guiding treatment philosophy for both the exterior and interior.

Rehabilitation is defined in the Standards as, "the process of returning a property to a state of utility, through repair or alteration, which makes possible an efficient contemporary use while preserving those portions and features of the property which are significant to its historic, architectural, and cultural values." This will be the approach taken at the Daniel Robert House.

On the exterior, all elements from the Period of Significance should be retained. Although the Library is not listed on the National or State Registers of Historic Places, it is directly connected to the Daniel Robert House and is viewed at the exterior in context with it. The original design of the Library, at that time an addition to the Elk's Lodge, was sympathetic to the design of the Daniel Robert House. Therefore, future work at the exterior of the Library should continue to be sympathetic and also retain its own original design and features.

With the exception of the two lost porches, most of the original fabric of the house remains. These features will be retained and restored. Changes will occur to those features that were added after the Periods of

Significance and Interpretation, and where new modifications are required for barrier-free access into and within the building along with accessible restroom facilities. Changes and modifications will be sympathetic to the design and materials of the house.

2020 UPDATE: Future work on the Daniel Robert House will continue to follow the Secretary of Interior's Standards for the Treatment of Historic Properties. Rehabilitation is still recommended as the guiding treatment philosophy for both the interior and exterior of the Daniel Robert House.

On the interior, because the building will continue to serve a public use, rehabilitation will again be the guiding philosophy. All efforts will be made to retain the character defining features and the surviving historic fabric from the Period of Significance. These will include the woodwork, doors, hardware, trim, fireplaces, plaster, floors, and other significant features.

D. Advantages and Disadvantages to Rehabilitation

The key advantage to rehabilitation is that all of the existing materials can be retained. Even though some of the existing features date to the tenure of the Borough and therefore fall outside the Periods of Significance and Interpretation, because rehabilitation is the overarching philosophy, they can be retained. This includes such features as the modern additions in the entry reception room, the glass vestibule, and the glass doors at the parlor and drawing room. Similarly, the post-1967 two-story addition off the rear can also remain. In addition, new features can be incorporated into the existing. This will be

required to improve the overall accessibility of the building.

The disadvantage of rehabilitation is that the residential scale and sense of the original Daniel Robert House is obscured by the Elks addition and by the modern Borough Hall additions on the interior. This does not mean that it is lost altogether. Instead, it is simply not overtly available.

Similarly, because rehabilitation is the guiding philosophy, the plain functional finishes introduced by the Borough can remain and be perpetuated. If restoration was the philosophy, the decorative finishes—like the stenciling in the hall and the simulated stone in the entry reception room—would necessarily have to be recreated. While challenging given the heavy public use of the building, finish restoration may want to be considered in the future. Similar to the second-floor hall ceiling, the borough is interested in possibly restoring the ceilings in the building department (Rooms 205, 206 and 207), the second-floor conference room (Room 209) and the opposite office (Room 203). These treatments would be acceptable within the overarching rehabilitation treatment, and they would greatly improve the overall appearance and interpretive opportunities at the building. Although the ceilings are exposed in the mayor’s office (Room 204) and the two offices to the side of the main foyer (Rooms 102 and 103), paint analysis in these spaces would provide valuable information on the original paint colors in these spaces. This would also contribute significantly to the understanding of the original building.

2020 UPDATE: The advantages and disadvantages of Rehabilitation as a treatment philosophy have not changed. This does not preclude the Borough from using Restoration as the treatment philosophy on select projects.

E. Statement of Potential Impacts of Recommendations

The impact of this rehabilitation will be visible because of the accessibility enhancements. On the exterior, a new accessible ramp can be integrated with the reconstruction of the original porch so as to not adversely impact the architectural character of the Daniel Robert House. The two temporary ramps providing direct access to the public services and tax offices during the Covid pandemic will eventually be removed. On the interior, the addition of an elevator will impact the existing Borough Hall and Library.

2020 UPDATE: Given the different floor levels at the second floor, and the location of the stairs, very careful consideration and planning is necessary to minimize the impact of introducing an elevator into Borough Hall.

The other proposed changes are limited to improvements and necessary repairs.

X. USE AND INTERPRETATION OF THE RESOURCE

A. Proposed and Recommended Use

Constructed in 1888 as the residence of a large estate of a wealthy businessman, the Daniel Robert House remained a private residence for thirty-five years until 1923. At this time, it became a clubhouse for the Somerville Lodge of the Elks. In 1958, it became Somerville Borough Hall, its current use today. The Daniel Robert House, therefore, has been a community resource—as the private Elks Lodge and then as the public Borough Hall—for almost eighty-five years.

This conversion from a private space, to a semi-public clubhouse, to a public Borough Hall has been done surprisingly successfully, resulting in relatively minor changes to the building. The biggest and most obvious—the addition off the northwest that is now the Somerville Branch of the Somerset County Library System of New Jersey —has gained significance in its own right. In addition, the public use of the building has brought thousands of people into this architecturally significant space. If it remained a private home or even the Elks Lodge, it would not have the audience it does as Borough Hall. For this reason, while returning a building to its original use as a private residence may be the ultimate form of preservation, it does not make sense here. The Daniel Robert House should remain a public resource.

In the short term, we recommend rearranging the existing office spaces within the building to put all of the public uses on the first floor, wherever possible and the non-public offices on the second floor. Thus, the building department, one of the most heavily visited departments by the public, would be relocated to the first floor. While the finance department, a non-public office, would be moved to the second floor. Currently, while the first floor of the building is accessible via the ramp into the library, some of the public needs are located on the second floor which is not accessible. Rearranging the office spaces would assist in the short term with public

access until an elevator can be added which will make the entire building accessible.

Our 2008 Preservation Plan recommended moving most Borough offices out of the building and instead use it as a “ceremonial and meeting space” in the long term. We now recommend that the building continue housing offices for the Borough, as the best way to maintain a building is to continually occupy and use it. Its current public use is not damaging the building fabric or detrimentally impacting the building; in fact, frequent use allows conditions, such as leaks, to be identified and addressed more quickly by Borough and Library staff or other visitors.

B. Impact of the Proposed Use

The short-term recommendation of rearranging offices will have little or no impact on the existing historic fabric. Office furniture and modern equipment have commingled with the surviving historic materials since it first became Borough Hall in 1958; rearranging the offices will not impact this relationship.

C. Reasoning for the Capital Project

This Preservation Plan Update is being funded through a matching grant from the New Jersey Historic Trust Preserve New Jersey Historic Preservation Fund. Future funding for the rehabilitation project is likely to require funding by local, county, public grants, and private investment.

Without capital investment, deferred maintenance will continue to cause deterioration to the Daniel Robert House. In addition, the building is not currently accessible and as a public resource, should be made compliant. Therefore, financial commitment for the rehabilitation of the building including accessibility upgrades and repairs is necessary and recommended.

D. Ownership and Resource Stewardship

Since 1958, the Borough of Somerville has owned the building and will so for the foreseeable future. It will continue to serve as the steward of the building and surrounding site, planning for and over-seeing its long-term use and preservation.

XI. VULNERABILITY AND HAZARD ASSESSMENT

Located at the west end of Somerville's main commercial street, in general the likelihood of exposure to hazards is fairly typical for a commercial area. At the same time, the Somerville Borough Hall and Public Library is the only building on a large building lot, so it is also somewhat isolated from other typical hazards that might be associated with dense commercial districts. The following is a discussion of some typical and less typical hazards for which stewards of historic buildings should be prepared:

A. Flooding

The building is well outside the 500-year flood plain.

Hazard Assessment: Low.

B. Fire and Emergency Response

As with any historic property, the Borough should coordinate with the local fire department and first responders to ensure that they are familiar with the building and have clear means of access the building in the event of an emergency.

The building systems report recommends that a new addressable fire alarm system and a complete fire protection system should be installed throughout the building.

Hazard Assessment: Normal.

C. Storm Related Hazards

There are several mature trees located on the property; however, the largest of them are not immediately adjacent to the building. Regardless, high winds have the potential to cause the loss of large limbs or entire trees that could result in damage to the building. These trees are valuable to the character of the property. They should be maintained assessed regularly to ensure that they are healthy. Any

unhealthy trees should be evaluated for possible removal and replacement.

Loss of power during winter storms could result in broken pipes and possible water damage. A system for building inspections during such storm events should be implemented to ensure that internal building temperatures are monitored and water service in the building is shut-off as appropriate.

Hazard Assessment: Moderate

D. Building System Related Hazards

According to the building systems report, the condition of all the domestic water distribution piping is unknown. It is of varying ages, and it is likely that the concealed portions of the system are the oldest. This system has the potential to develop leaks resulting in possible damage to historic fabric.

Although the building systems report did not include a hazardous materials assessment, it was pointed out that existing pipe insulation should be tested for asbestos containing materials. A complete hazardous materials assessment should be undertaken, and the appropriate mitigation measures should be completed.

Hazard Assessment: Moderate

E. Commercial Proximity Hazards

As mentioned above, the building is located where West End Avenue and Somerset Street merge at the west end of Main Street, the primary commercial street in Somerville. While there is a high volume of vehicular traffic circulating around the building, the speeds are not very high. Direct impact hazards from vehicles is low and more likely to have an impact on surrounding landscaping.

Due to relative isolation on the large lot, impacts such as fires from close proximity to other commercial buildings is low.

As building along a busy commercial corridor that is unoccupied at night, the potential for intrusion and vandalism exists. The appropriate central station monitored burglar alarm and exterior site lighting should be included as a deterrent.

Hazard Assessment: Low

F. Antagonistic or Hostile Intrusion

While not necessarily a threat to the building itself, Borough Hall has experienced a number of antagonistic visitors in recent years. In order to provide a secure working environment, the Borough should continue to pursue additional security measures at the front entry hall.

Hazard Assessment: Low/Moderate

XII. PRIORITIZED TREATMENT RECOMMENDATIONS

A. Introduction

The Existing Conditions & Recommendations Section of this Preservation Plan made recommendations for each interior room and exterior elevation of Somerville Borough Hall and Library. This section combines all those recommendations and groups them by priority, to use as a tool for future planning.

The recommendations are cross-referenced to their mention the Existing Conditions section.

Recommendations to address conditions found during our analysis are categorized into three priority levels: Immediate, Short-Term, and Long-Term.

Immediate

Those repairs and recommendations that must be completed to remedy current or impending threats to life-safety and prevent or reverse severe deterioration of major elements or character-defining features of the building. We recommend that these repairs be undertaken immediately and be completed within 1-2 years.

Short-Term

Those repairs and recommendations which can most efficiently be undertaken in conjunction with the overall rehabilitation of the building. If delayed, these will not threaten the life-safety of any users or major elements or character-defining features of the building. We recommend that work in this category be completed within 3-5 years.

Long-Term

Those repairs and recommendations which relate to furthering the interpretation of the building or which can be delayed. They are more desirous than necessary. Deferment of these recommendations will not create hazardous conditions for the building or its users.

B. Immediate Recommendations

EXTERIOR (Borough Hall)

Roof and Roof Drainage

- Install a new downspout at the northwest corner of the rear section roof. (This is included in cornice restoration scope.) Add pipes at end of downspouts that drain onto library addition roof, extending to edge of roof. (IV-9)
- Replace downspout at east end of north elevation. (IV-10)

Towers

- At south tower of east elevation: Rout and fill cracks. Install helical wall ties and stitching ties to re-anchor northeast face. (IV-19)

Windows

- Continue ongoing phased window restoration project. Restore windows **E001** (IV-24, 58), **N002-N005** (IV-29, 63, 66), **S104-S109** (IV-41, 118, 125, 129), **W101** (IV-36, 129), **S203-S211** (IV-41, 151, 153, 176, 180, 182), & **W202** (IV-36, 182).
- Repaint frame of window S-005. (IV-41)
- Re-lead stained-glass transoms in windows S206 & S207 (IV-41).

Cornices

- Complete cornice restoration project began in late 2020.

EXTERIOR (Library)

Roof and Drainage

- Lower site drain at east elevation to collect water. (IV-11)

Library Entry Stair & Ramp

- Deinstall coping units and railings. Install through-wall flashing atop bricks walls. Replace any damaged coping units. Widen post holes as needed. Reinstall railings and

install expansion joint material around posts. (IV-32)

- Wash walkways and brick walls to remove salt deposits. (IV-32)
- Demolish landing and excavate to area of water infiltration. Correct issue by installing waterproofing and/or sealing pipe penetrations. Reinstall landing with appropriate slope and sealants. (IV-33)

Foundation

- At west elevation: Install crack monitors and continue to monitor the crack for movement. (IV-35)

Windows

- Remove sealant and re-seal windows **N006-N011** (IV-80, 82), **N109-N114**, **S006-S009** (IV-80, 142), & **S110-S112**. (IV-34, 41, 142)

Fire Escape

- Create a one-inch standoff at the base of the stairs. Prep and paint rusted areas. (IV-44)

BASEMENT

Install dehumidifiers throughout in both the Borough Hall and Library sections. (IV-45, 78)

Walls

- Room OST-2: Clean mold growth. Remove paint from foundation. (IV-60)
- Room 011: Remove paint from foundation. (IV-67)
- Room 013: Remove paint from stone foundations and brick columns. (IV-74)
- Room 014: Find and address source of water infiltration on south wall. Remove paint on east wall. (IV-76)
- Room 018: Find and address the sources of the water infiltration. (IV-87)

Ceiling

- Room 010: Remove damaged portion of ceiling. Find and address the source of the water infiltration. Patch and paint damaged portion of ceiling. (IV-65)

- Room 017: Insulate exposed copper pipe. (IV-85)
- Room 018: Find and address the sources of the water infiltration. Replace stained tile. (IV-88)

Door

- Room 007: Prep and paint door and its frame. (IV-58)
- Room 020: Install keyed lock hardware on door to prevent unauthorized entry. (IV-91)

FIRST & SECOND FLOORS

Floors

- Room 100: Replace carpeting with appropriate floor covering. Cover currently exposed areas at main entrance doors and archway. (IV-95)

Ceilings

- Rooms 100, 112, & 114: Inspect stained area of ceiling. Find and address and sources of leaks. (IV-96, 131, 140)
- Room 3ST-1: Install plaster buttons along crack on beam. (IV-183)

MEP (BOROUGH HALL & LIBRARY)

- Conduct a water quality test. (VI-5)

C. Short-Term Recommendations

EXTERIOR (Borough Hall)

Chimneys

- Fully repoint rear southwest chimney. Install helical stitch ties along step cracks. Inspect flue liner to ensure that it is functioning properly. (IV-13)

Walls

- At east and south elevations: As part of recommended HVAC upgrades existing louvers should be replaced and reduced in size if possible. (IV-17,39)
- Rout out and repoint crack at north elevation chimney and monitor. If crack continues to widen, consult structural engineer to determine cause and remedy. (IV-28)

Towers

- At south tower of east elevation: Install membrane roof around flue cap. Change flue cap to accommodate new membrane. (IV-19)
- At south tower arch of south elevation: Investigate cause of movement, correct, and provide appropriate pointing and flashing to prevent further movement and water penetration. (IV-39)

Porch/Entry Steps

- At east elevation: Rebuild porch floor perimeter and steps using consistent alternate materials. Repoint slate pavers on porch floor. Provide new stair handrail and porch guardrail. (IV-22)
- At east elevation: Prep and paint porch ceiling. (IV-22)
- At south tower of south elevation: Reset or rebuild steps to be code compliant. All steps and landings should be replaced with a durable alternate stone. Because this will change the tread dimension, the handrail will be obsolete. It should be replaced with an appropriate code-compliant handrail on both sides of the steps. (IV-40)

- At west entry on south elevation: Dismantle and rebuild steps and sidewalls. Install code compliant handrail at each side of the steps. All steps should be replaced with a durable alternate stone. The cheek wall stones should be salvaged and reused. (IV-40)

Doors

- At south tower of south elevation: Make minor adjustments to the historic tower door to ensure it operated properly. (IV-42)
- At west entry on south elevation: Replace the non-historic door and storm door with an architecturally compatible door. Install a new transom. Fill void at door sill. (IV-41)

Windows

- Repaint windows restored in Phases 1-3 in 3-5 years. (IV-24, 29, 36, 132, 136, 171, 173)

Fire Escape

- Enlarge concrete landing. Install ramp directly connecting the landing to the driveway. Remove cinder block units and install an angled solid concrete curb. Install exterior emergency lighting. (IV-44)
- Consider removing parking space to allow unhindered travel paths at bottom of both fire escapes. (IV-44)

EXTERIOR (Library)

Roof and Roof Drainage

- Replace addition roof in 5-10 years. (IV-11)

Foundation

- Excavate at the east end of north elevation, patch concrete, and re-grade to slope away from the building. Clean biological growth. Scrape and paint. (IV-33)

Parapet and Coping

- Remove displaced stones (approximately six) and inspect flashing and sealant. Re-set stones and replace sealant 100%. Review maintenance records to determine age of existing flashing and membrane roof in order to plan for replacement. (IV-34)

BASEMENT

- Remove utility sink and disconnect piping in Room 020. (IV-93, VI-8)

Walls

- Room 014: Remove failing paint on the north wall. Prep and repaint. (IV-76)

Ceiling

- Room 017: Replace ceiling tiles that have been removed. (IV-85)

Doors

- Room 011: Repaint interior side of door and threshold. (IV-69)
- Room 012: Keep door connecting to room 011 open. Repair doorknob. (IV-71)
- Room 019: Refinish door. (IV-91)

FIRST & SECOND FLOORS

Floors

- Room 100: Refinish wood parquet floor. (IV-95)

Walls

- Room 100: Restore historic paint scheme based on finishes analysis by Keystone Preservation Group. (IV-93)
- Room 203: Repaint walls. (IV-152)
- Room 208: Repair deteriorated plaster. (IV-170)

Ceilings

- Room 100: Finish painting ribbing and crown molding. (IV-96)
- Room 100: Restore ceiling mural. Restore historic paint scheme based on finishes analysis. (IV-96)

Doors

- Room 100: Provide new all glass door between entry and stair hall, per security plan currently being developed. Use same design for new doors at two side offices. (IV-97)

- Room 103: Replace top wood veneer on the side facing Room 103 of door to stair tower. Reattach top wood veneer on tower side of door. Reinstall top hinge. Condition wood. (IV-110)

- Room 104: Glue detached areas of veneer. (IV-117)

- Room 112: Install stronger hinges on door to Room 101. (IV-132)

- Room 113: Glue detached areas of veneer and fill area of loss on door to Room 101. (IV-136)

- Room 204: Repair jamb of door to Room 201. (IV-157)

Stairs

- Glue or fasten loose trefoil details at main stairs. (IV-103)

Fireplaces

- Room 104: Survey firebox interior with structural engineer. (IV-119)

Electrical

- Room 100: Provide new, more architecturally sensitive lighting scheme in conjunction with restoration of historic finishes. (IV-98)

MEP (BOROUGH HALL)

- Replace water and sanitary waste drain and venting piping in bathrooms. (VI-1-2,5)

- Install thermostatic mixing valve for bathrooms. (VI-1-2,5)

- Upgrade HVAC system. (VI-2-3,5)

- Install new fire alarm, smoke, and carbon monoxide detection system. (VI-4,6)

D. Long-Term Recommendations

stained-glass second floor windows. (IV-36, 148)

EXTERIOR (Borough Hall)

Roof and Roof Drainage

- Install new slate roof. (IV-6)

Chimneys

- Strip paint and repoint as needed with the rest of the exterior. (IV-13)

Foundations

- Strip paint from stone masonry foundation and repoint joints as needed. Retool stone to remove delamination. Consider consolidating deteriorated areas of foundation. (IV-15,27,37)

Walls

- Strip paint from walls and repoint joints as needed. Consolidate delaminating stones. This work can be phased to limit cost impacts. (IV-17,28,35,39)

Towers

- Strip paint from walls and repoint mortar joints as needed. (IV-19, 20,39)

Porch

- Add barrier-free access to main entrance. Consider reconstructing original southeast porch and integrating barrier free access in its design. (IV-22; V-2)

Doors

- Remove current paint layer on main entrance doors surround and restore historic graining beneath. (IV-26)
- Future efforts to provide a barrier-free access via main entrance doors should include a review and any required hardware upgrades at these doors. (IV-26)

Windows

- Consider installing security bars to foundation window N001. (IV-24)
- Reconstruct staircase window on west elevation based on existing exterior arched

EXTERIOR (Library)

Roof and Roof Drainage

- Replace main library roof. (IV-11)

Walls

- Strip paint from brick and repoint joints as needed. (IV-33,35)

BASEMENT

Walls

- Room 010: Patch and repaint walls. (IV-64)

Doors

- Room OST-2: Repair doorknob. (IV-59)
- Rooms **OST-2** (IV-61), **013** (IV-75), **014** (IV-77), & **015** (IV-80): Install one-hour fire rated doors and frames between Library and Borough Hall.

Stairs

- Install code-compliant handrails on either side of stair at Borough Hall section. (IV-47)
- Enclose stairs to basement in the Library. (V-4,7)

FIRST & SECOND FLOORS

Walls

- Rooms **102** (IV-104), **103** (IV-108), **104** (IV-113), **113** (IV-135), **204** (IV-156), **205** (IV-160), **206** (IV-160), **207** (IV-164): Restore historic paint scheme based on finishes analysis by Keystone Preservation Group.
- Rooms 1ST-1 (IV-112) & 3ST-1 (IV-183): Rout and fill cracks. Patch areas of loss. Paint walls.
- Rooms 2ST-1 (IV-168) & 4ST-1 (IV-186): Paint walls.

Ceilings

- Rooms **102** (IV-105), **103** (IV-109), **204** (IV-157): Restore historic paint scheme based on finishes analysis by Keystone Preservation Group.
- Room 102: Remove fiberboard panels. (IV-105)
- Room 1ST-1: Rout and fill cracks. Install plaster buttons along cracks at staircase. Paint ceiling. (IV-112)
- Rooms **104** (IV-116), **112** (IV-131), **113** (IV-135), **203** (IV-152), **205** (IV-161), **206** (IV-161), **207** (IV-165), **208** (IV-171), & **209** (IV-172): Remove dropped ceiling and florescent fixtures. Restore historic ceiling or install new as needed. Install new light fixtures.
- Room 114: Install new drop ceiling tiles in closet. (IV-140)
- Rooms 2ST-1 (IV-168) & 4ST-1 (IV-186): Paint ceiling.
- Room 3ST-1: Rout and fill cracks. Paint ceiling. (IV-183)

Windows

- Rooms **102** (IV-106), **103** (IV-111), **104** (IV-118), **112** (IV-132), **113** (IV-137): Clean and condition interior shutters. Trim and adjust shutters and hardware so shutters operate smoothly and fully fold into window pockets.

Doors

- Rooms 107 & 110: Install one-hour fire rated doors and frames between Library and Borough Hall. (IV-123 & 128)
- Room 112: Remove sealant and tape residue from door into Room 113. (IV-132)
- Room 205: Repair crack on pocket door. (IV-161)

Millwork

- Room 112: Repair cracked panels below windows. Remove paint on baseboards. (IV-133)
- Room 113: Remove paint on baseboards. (IV-138)
- Room 204: Fill any abrasion on panels. Refinish panels. (IV-159)

- Rooms 205, 206, & 208: Recondition or refinish millwork. (IV-163, 171)

Stairs

- Refinish brass railings at landings of main stairs. (IV-103)

Fireplaces

- Rooms **102** (IV-107), **104** (IV-119), **112** (IV-134), **113** (IV-136), **203** (IV-155), **204** (IV-159), **207** (IV-167) & **209** (IV-174): Close flue to prevent chimney effect.
- Room 112: Replace missing ceramic tiles on hearth. Match to existing. (IV-134)
- Room 113: Replace missing ceramic tiles on hearth. Match to existing. RegROUT hearth tiles. (IV-138)

Electrical

- Room 101: Provide upgraded and architecturally sensitive lighting scheme consistent with lighting in the entry (Room 100). Consider installing a replica lamp at the bottom newel post of the stairs. (IV-103)
- Room 114: Replace with recessed ceiling fixture to provide more illumination on walls. (IV-140)
- Room 204: Replace existing pendant can light fixtures with fixtures that have a more historic design or are less obtrusive, and which allow light to thrown more widely, to illuminate the walls and ceiling. (IV-159)

CODE

- Make stair tower useable as a second means of egress from Borough Hall. Remove contents from rooms in tower stair and ensure clear paths at doorways in connecting rooms. Remove tank in basement room OST-2. Install general lighting, emergency lighting, and signage as necessary per code in tower. Install handrails along stair. (V-5)

MEP

- Install accessible bathroom facilities and fixtures in Borough Hall and Library basement. (V-2,7; VI-2,5)
- Consider providing a full coverage fire protection system throughout Borough Hall and the Library. (VVI-1,4)
- Replace existing light fixtures with new high-efficiency LED fixtures. (IV-3,6)
- Upgrade existing electrical service, main distribution panel and branch panelboards. Install new unground electrical service. (IV-3,6)

XIII. MAINTENANCE PLAN

Deferred maintenance is the most common cause of deterioration to historic buildings. To avoid unchecked deterioration, ongoing preventative maintenance must be completed on a regular basis. This maintenance is the most vital and cost-effective tool for the preservation of historic structures. To assist with this crucial component for the protection of the building, we recommend establishing a cyclical maintenance program. This program should include weekly, monthly, semi-annual, and annual tasks including annual full-scale inspection of the exterior and interior of the building. This maintenance program should guide the present and future care of the resource.

In general, exterior elements should be examined at least once a year. Exterior maintenance should eliminate water penetration by maintaining materials and finishes and ensuring that water is directed away from the building. Also critical to the exterior maintenance is routine inspection and cleaning of roof gutters and downspouts. One of the most common causes of water damage is clogged or damaged gutters and leaders that lead to leaks or overflow. Gutters are to be inspected and cleaned at least four times annually - twice in the fall when they are most likely to become clogged with falling leaves and twice in the spring during the heaviest rains. On a fairly regular basis — approximately once every five years, or upon noticing damage — a professional should be called in to inspect the condition of the roof and roof drainage system.

Interior elements should be examined during regular housekeeping as well as with general vigilance in semi-annual inspections. Their maintenance should preserve existing materials and finishes. Replacement of interior elements is usually included as a part of major renovations. The smooth operation of doors and windows should be maintained, as unnecessary damage to the doors, windows

and hardware can occur from stresses arising from ill-fitting elements.

Site maintenance should be undertaken twice annually, once in the spring and once in the fall, in addition to regular lawn mowing, leaf and snow removal, as one might maintain their own yard at home. This type of work can often be undertaken by volunteers during a well-planned workday, which is also a great way to bring community members together and develop interest in the resource.

Finally, inspections and maintenance of building systems, such as electrical and fire alarm, should be completed regularly by qualified professionals so as to maintain the systems in good working order. Inspection of the electrical system and a fire alarm system at the Borough Hall and Public Library are critical to maintaining these vital systems in working order.

Because of the importance of maintenance in a historic building, a yearly maintenance and operation budget should be established. Half of the fund is generally allocated for immediate maintenance and repairs, while the remainder is saved for the replacement of major items such as roofs. For the Somerville Borough Hall, at approximately 13,000 gross square feet (not including the library), we would recommend a minimum maintenance budget of approximately \$25,000 per year; \$20,000 to be used annually, the remaining to go into the replacement fund. Additionally, a grounds budget should be established. This can be adjusted up or down based on actual costs, but the tendency to underfund the maintenance budget item should be avoided as larger repair or replacement costs can be unanticipated.

All maintenance inspections and repair work should be documented and kept in a maintenance log. This log should be a complete record of housekeeping and maintenance activities, details of any work

performed, materials used, dates executed, cost incurred, and names of personnel and contractors involved. It should also contain the dates of inspections and detailed accounts of the findings including problem areas, plans for repair and, after repairs are complete, a description of techniques used for the repair. The notebook should be periodically reviewed for repeated repairs which may indicate a deeper problem. Digital photography should be used to document existing conditions of key locations and features around the building, as well as documenting maintenance and repair work.

The following Maintenance Schedule includes the tasks that should be included in the maintenance program. These tasks have been outlined by the frequency with which they should be conducted. Additional tasks should be added as necessary so that a thorough program is developed and maintained. Following the Maintenance Schedule is a Maintenance Log to be used to record maintenance data. An electronic version of the log is to be provided to the owner with the 100% submission of this report.

**SOMERVILLE BOROUGH HALL AND PUBLIC LIBRARY
MAINTENANCE SCHEDULE**

FEATURE TO BE INSPECTED	CONDITION TO INSPECT	INSPECTION FREQUENCY	REPAIR / REPLACEMENT	TREATMENT FREQUENCY	NOTES
SITE					
Landscaping	Build-up against foundation	2/year	Remove from foundation	2/year	Keep mulch, leaves and foundation plantings clear of foundation, basement windows and woodwork that may be in close proximity to the ground.
Grade	Slope back to building and fill voids	1/year	Minor grading and filling.	1/year	Maintain slope away from building. Fill voids that might develop from heavy run-off or other conditions. Correct cause.
Trees and Shrubs	Contacting and overhanging building	2/year	Pruning by volunteers or professionals	2/year	Trim shrubs and trees away from building to limit leaves in gutters, prevent damage from falling limbs and encourage air flow and light near building.
Walking surfaces and paths	Deflection and gravel build-up	Weekly	Sweeping	Weekly	Keep paths and walkways swept to reduce transfer of damaging grit into building through foot traffic. Reset displaced stones to correct tripping hazards.
Snow and ice removal	At snowfall and icy conditions	Seasonally		Seasonally	Do not pile excess snow against foundation or other building elements. De-icing salts should be avoided if possible. If used, keep away from masonry foundation. Use calcium or magnesium chloride which are less harmful to masonry than regular sodium chloride. Sweep up excess material after surfaces have dried.
Walking surfaces and paths	Salt buildup	Each spring	Rinse walkways	Each spring	Thoroughly rinse all walkways that had been salted during the winter, along with any adjacent masonry.

**SOMERVILLE BOROUGH HALL AND PUBLIC LIBRARY
MAINTENANCE SCHEDULE**

FEATURE TO BE INSPECTED	CONDITION TO INSPECT	INSPECTION FREQUENCY	REPAIR / REPLACEMENT	TREATMENT FREQUENCY	NOTES
ARCHITECTURAL EXTERIOR					
Slate Roof	Biogrowth	1/year	Remove	As Required	
	Broken or missing slates	1/year	Replace Slates	As Required	Patching of slate can be almost indefinite and areas of flashing might deteriorate prior to requiring full slate roof replacement. Could phase slate roof replacement in sections.
	Damaged sheathing	1/year	Replace Roof	15-20 years	Regular roof repair should prevent sheathing damage
Library Roof	Open coping joints	1/year	Reseal joints	10-15 years	Inspect parapet coping units once a year at minimum for deteriorated or open joints.
Gutters/Leaders/Drainage	Cleaning, leaks and displacement	4/year	Repair or replace. Re-align or patch seams.	At signs of distress	Clean gutters 4/year minimum. Inspect roof drainage from exterior 1/year during heavy rains
Flashing	Surface condition and alignment	1/year	Repair or replace		Coordinate major flashing work with slate repairs or replacement
Wood Cornices	Surface Condition	1/year	Prep and paint. Patch or replace damaged elements.	3-5 years	
	Fungus, plant growth	1/year	Clean and treat and paint with regular painting schedule	3-5 years	
	Movement, splitting & cracking	1/year	Repair or replace	At signs of distress	
	Anchor condition/ separation from substrate	1/year	re-anchor or replace	At signs of distress	
	Water staining and damage	1/year	Check cause, correct and repair.	At signs of distress	

**SOMERVILLE BOROUGH HALL AND PUBLIC LIBRARY
MAINTENANCE SCHEDULE**

FEATURE TO BE INSPECTED	CONDITION TO INSPECT	INSPECTION FREQUENCY	REPAIR / REPLACEMENT	TREATMENT FREQUENCY	NOTES
Wood Cornices (cont.)	Insect damage	1/year	Inspection by extermination professional.	As required	Treatment regimen to be determined by inspector.
Stone Foundation and Brick Walls	Surface condition	1/year			
	Spalling, efflorescence	1/year	Clean and spot repoint	At signs of distress	Inspect cause for possible water infiltration related cause. If widespread conditions requiring spot pointing are observed, the entire foundation should potentially be re-pointed.
	Cracking	1/year	Spot repoint	At signs of distress	At time of repair consideration should be given to repointing entire elevations using appropriate lime-based mortar. Monitor cracks around sills on east elevation and around HVAC louvers throughout.
	Settlement	1/year	Correct cause of settlement	At signs of distress	
	Mortar joint condition	1/year	Spot repoint	At signs of distress	
	Plant growth	1/year	Remove	At signs of growth	
Doors	Operation	2/year	Repair, adjust door and hardware for smooth operation.	At signs of distress or binding.	Improperly operating doors can cause increased stress on hardware, hardware attachment and door joinery.
	Surface condition	1/year	Wood preservative treatment	3-5 years	
	Hardware and weatherstripping	2/year	Repair	At signs of distress	
Windows	Operation	2/year	Repair, adjust window and hardware for smooth operation.	At signs of distress or binding.	As with doors, improperly operating doors can cause increased stress on hardware, hardware attachment and door joinery.

**SOMERVILLE BOROUGH HALL AND PUBLIC LIBRARY
MAINTENANCE SCHEDULE**

FEATURE TO BE INSPECTED	CONDITION TO INSPECT	INSPECTION FREQUENCY	REPAIR / REPLACEMENT	TREATMENT FREQUENCY	NOTES
Windows (cont.)	Surface condition	1/year	Prep and paint. Patch areas of deterioration or damage.	3-5 years	
	Glazing	1/year	Repair	3-5 years	Partial re-glazing. Use traditional linseed oil based glazing compound. Allow to cure adequately prior to priming and painting.
	Hardware and weatherstripping	2/year	Repair	At signs of distress	
ARCHITECTURAL INTERIOR					
Wood Flooring	Surface condition	1/year	Refinish flooring with only minimal sanding to remove old finish only.	10 years	Sweep weekly to remove abrasive dirt. Wood floors should be damp mopped monthly depending on use to remove built-up dirt. Provide period appropriate area rugs to protect floors in areas of highest foot traffic.
	Splitting	1/year	Repair using dutchman repairs or select replacement.	At sign of distress	Inspect structural support to ensure floors are properly supported throughout.
	Anchor condition	1/year	Re-secure anchors	At sign of distress	If anchors are popping, it could be the result of inadequately supported floors.
	Water staining or damage	1/year	Check cause, correct and repair.	At sign of distress	
	Buckling	1/year	Check cause, correct and repair.	At sign of distress	This could be the result of high humidity levels in the space on one side of the flooring.
Plaster	Plaster Attachment	1/year	Plaster washer attachment	At sign of distress	Inspect for underlying structural or other causes and correct prior to completing plaster repairs.
	Cracking	1/year	Repair larger cracks.	At sign of distress	Rake out joint and secure plaster on both sides of joint. Repair using compatible plaster materials. Inspect for underlying structural or other causes and correct prior to completing plaster repairs.

**SOMERVILLE BOROUGH HALL AND PUBLIC LIBRARY
MAINTENANCE SCHEDULE**

FEATURE TO BE INSPECTED	CONDITION TO INSPECT	INSPECTION FREQUENCY	REPAIR / REPLACEMENT	TREATMENT FREQUENCY	NOTES
Interior Doors	Operation	With regular use	Trim door or adjust hardware.	At sign of distress	Trim door, adjust hardware etc. to remove stresses on door and hardware. If problem persists it could be movement in the wall that needs to be stabilized to prevent continued problems.
	Surface condition	1/year	Prep and paint.	5-7 years	
Millwork and Trim	Surface condition	1/year	Prep and paint.	5-7 years	
STRUCTURAL					
Floor and Roof Framing	Movement Deflection	1/year ¹	Repair	At sign of distress	Repair to be designed by engineer or architect
	Connection @ bearing	1/year ¹	Repair	At sign of distress	Repair to be designed by engineer or architect
	Checking & splitting	1/year ¹	Repair	At sign of distress	Repair to be designed by engineer or architect
	Water infiltration	1/year	Repair Leak	At sign of distress	
	Insect infestation	Monthly	Treat		Treatment regimen to be determined by inspector

**SOMERVILLE BOROUGH HALL AND PUBLIC LIBRARY
MAINTENANCE SCHEDULE**

FEATURE TO BE INSPECTED	CONDITION TO INSPECT	INSPECTION FREQUENCY	REPAIR / REPLACEMENT	TREATMENT FREQUENCY	NOTES
MECHANICAL	Comprehensive system evaluation ¹	1/year			Inspection by outside inspector
	Furnace inspection and cleaning ¹	1/year			Inspection by outside inspector
	Fuel tank and lines inspection ¹	1/year			Inspection by outside inspector
ELECTRICAL	Comprehensive system evaluation ¹	1/year			Inspection by outside inspector
	Fire alarm system ¹	1/year			Inspection by outside inspector through yearly maintenance contract
PLUMBING	Comprehensive system evaluation ¹	1/year			Inspection by outside inspector
	Hot water heater, piping and fixture inspection. ¹	1/year			Inspection by outside inspector

1. An outside inspector, or structural engineer should be consulted at signs of distress in the framing.
2. The term "at signs of distress" under frequency means that a regular inspection of these items is not in general necessary but that when the element and/or adjacent material begins to show signs of deterioration then the area should be opened and the element inspected.
3. The term "regularly with housekeeping" under frequency means that separate regular inspections are not generally necessary. Instead, these elements should be examined and conditions noted when regular cleaning is taking place.

**SOMERVILLE BOROUGH HALL AND PUBLIC LIBRARY
MAINTENANCE LOG**

FEATURE TO BE INSPECTED	CONDITION TO INSPECT	INSPECTION DATE	PROCEDURES AND MATERIALS USED	COST	FOLLOW-UP REQUIRED	COMPLETION DATE
SITE						
Landscaping	Build-up against foundation					
Grade	Slope back to building and voids					
Trees and Shrubs	Contacting and overhanging building					
Walking surfaces and paths	Deflection and gravel build-up					
Snow and ice removal	At snowfall and icy conditions					
Walking surfaces and paths	Rinsing					

**SOMERVILLE BOROUGH HALL AND PUBLIC LIBRARY
MAINTENANCE LOG**

FEATURE TO BE INSPECTED	CONDITION TO INSPECT	INSPECTION DATE	PROCEDURES AND MATERIALS USED	COST	FOLLOW-UP REQUIRED	COMPLETION DATE
ARCHITECTURAL EXTERIOR						
Slate Roof	Biogrowht					
	Broken or Missing Slates					
	Damaged sheathing					
Library Roof	Open coping joints					
Gutters/Leaders/Drainage	Cleaning, leaks and displacement					
Flashing	Surface condition and alignment					
Wood Trim	Surface Condition					

**SOMERVILLE BOROUGH HALL AND PUBLIC LIBRARY
MAINTENANCE LOG**

FEATURE TO BE INSPECTED	CONDITION TO INSPECT	INSPECTION DATE	PROCEDURES AND MATERIALS USED	COST	FOLLOW-UP REQUIRED	COMPLETION DATE
Wood Trim (cont.)	Fungus, plant & insect infestation					
	Movement, splitting & cracking					
	Anchor condition/ separation from substrate					
	Water staining and damage					
Stone Foundation and Brick Walls	Surface condition					
	Spalling, efflorescence					
	Cracking					
	Settlement					

**SOMERVILLE BOROUGH HALL AND PUBLIC LIBRARY
MAINTENANCE LOG**

FEATURE TO BE INSPECTED	CONDITION TO INSPECT	INSPECTION DATE	PROCEDURES AND MATERIALS USED	COST	FOLLOW-UP REQUIRED	COMPLETION DATE
Stone Foundation and Brick Walls (cont.)	Loose, cracked, missing mortar					
	Plant growth					
Doors	Operation					
	Surface condition					
	Hardware and weatherstripping					
Windows	Operation					
	Surface Condition - Wood Frame, Sill and Casing					
	Glazing					

**SOMERVILLE BOROUGH HALL AND PUBLIC LIBRARY
MAINTENANCE LOG**

FEATURE TO BE INSPECTED	CONDITION TO INSPECT	INSPECTION DATE	PROCEDURES AND MATERIALS USED	COST	FOLLOW-UP REQUIRED	COMPLETION DATE
Windows (cont.)	Hardware and weatherstripping					
ARCHITECTURAL INTERIOR						
Wood Flooring	Surface condition					
	Splitting					
	Anchor condition					
	Water staining or damage					
	Buckling					
Plaster	Attachment					

**SOMERVILLE BOROUGH HALL AND PUBLIC LIBRARY
MAINTENANCE LOG**

FEATURE TO BE INSPECTED	CONDITION TO INSPECT	INSPECTION DATE	PROCEDURES AND MATERIALS USED	COST	FOLLOW-UP REQUIRED	COMPLETION DATE
Plaster (cont.)	Cracking					
STRUCTURAL						
Wood Floor Joists and Roof Rafters	Movement and Deflection ¹					
	Connection @ bearing ¹					
	Checking & splitting ¹					
	Water infiltration					
	Timber deterioration ¹					

**SOMERVILLE BOROUGH HALL AND PUBLIC LIBRARY
MAINTENANCE LOG**

FEATURE TO BE INSPECTED	CONDITION TO INSPECT	INSPECTION DATE	PROCEDURES AND MATERIALS USED	COST	FOLLOW-UP REQUIRED	COMPLETION DATE
Wood Floor Joists and Roof Rafters (cont.)	Insect infestation ¹					
MECHANICAL	Comprehensive system evaluation ¹					
	Furnace inspection and cleaning ¹					
	Fuel tank and lines inspection ¹					
ELECTRICAL	Comprehensive system evaluation ¹					
	Fire alarm system ¹					
PLUMBING	Comprehensive system evaluation ¹					
	Hot water heater, piping and fixture inspection. ¹					

**SOMERVILLE BOROUGH HALL AND PUBLIC LIBRARY
MAINTENANCE LOG**

FEATURE TO BE INSPECTED	CONDITION TO INSPECT	INSPECTION DATE	PROCEDURES AND MATERIALS USED	COST	FOLLOW-UP REQUIRED	COMPLETION DATE
Notes:						
1. To be completed by an outside professional or engineer.						

XIV. COST ESTIMATE

**HMR ARCHITECTS
SOMERVILLE BOROUGH HALL
CONDITION ASSESSMENT AND RECOMMENDATIONS
SOMERVILLE, NEW JERSEY
ASSUMPTIONS, NOTES - ORDER OF MAGNITUDE**

ICI #: 218475
Prep: mcf
Date: 2/12/2021
Revised: 2/17/2021

- 1 Information used in preparation of this Estimate includes:
 - A. HMR Architects Plans & Elevation, 6 sheets, dated 9/1/2020, received by ICI 1/28/2021
 - B. HMR Architects Exterior & Interior Condition Assessments, undated, received by ICI 1/28/2021
 - C. Kelter & Gilligo Mechanical/Electrical Condition Assessment dated 8/27/2020, received by ICI 1/28/2021.

- 2 The Project is based on the following gross / renovated building areas:

	Borough Hall	Library
Basement	4,250 SF	3,700 SF
First Floor	4,250 SF	3,700 SF
Second Floor	4,250 SF	SF
Total	12,750 SF	7,400 SF

- 3 This Estimate is developed and documented according to the Condition Assessment Reports.
- 4 This Estimate is based on first quarter, 2021 construction unit prices. No escalation has been included. Once a construction period has been established the appropriate escalation factor, based on 4% per year must be added.
- 5 This estimate is based on the following labor rates: Prevailing Wage
- 6 No Overtime or Premium time work is included with the exception of any allowance indicated in the details.
- 7 The unit prices used in the estimate are a combined labor & material unit price, and are based on numerous sources, including our in-house data base developed during the completion of more than 300 estimates per year, feedback and reconciliations with contractors, subcontractors and suppliers, and nationally published databases such as RS Means, Walker, and Saylor.
- 8 The purpose of this estimate is to establish a Order of Magnitude Budget for the described work. Once more detailed Investigations and design have been completed, the Estimate should be revised and updated.
- 9 This estimate is based on the current Coronavirus Construction Market. The long term effects of the situation are unknown and very well may have an impact on construction costs & bids in the short term and possibly long term.

HMR ARCHITECTS
SOMERVILLE BOROUGH HALL
CONDITION ASSESSMENT AND RECOMMENDATIONS
SOMERVILLE, NEW JERSEY

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ORDER OF MAGNITUDE COST ESTIMATE

Plan	Description	Quantity	Unit	Unit Cost	Immediate Total	Short Term Total	Long Term Total
Preservation							
Page #							
Exterior Recommendations							
Roofing & Drainage							
Borough Hall							
IV-9	Repair, Continue Maintenance of Slate Roofing			<i>Maintenance</i>			
IV-8,9	New Downspout at East End of North Elev	1	EA	\$ 1,200.00	\$ 1,200		
IV-6	Replace Slate Roofing, Flashings	5,500	SF	40.00			220,000
Library							
IV-10	Replace Main Membrane Roof	2,400	SF	25.00			60,000
	Main Roof Coping Repairs Allowance	2,400	SF	2.00			4,800
IV-9	Replace Addition Membrane Roof, Flashings	1,300	SF	25.00		32,500	
Chimneys							
Borough Hall							
IV-12	Repoint SW Chimney, Repair Crack, Inspect Liner	300	SF	45.00		13,500	
IV-12	Strip, Repoint Chimneys	1	LS	7,500.00			7,500
East Elevation							
Borough Hall							
Foundation							
IV-14	Inspect and Modify Grade Around Building Base	1	LS	1,000.00	1,000		
IV-14	Strip Paint, Repair, Tool, Point Foundation	240	SF	40.00			9,600
Walls							
IV-15	Monitor, Repair Cracks in Walls as Required	1	LS	3,500.00	3,500		
IV-15	Strip Paint, Repair, Tool, Point Brick Walls	1,900	SF	45.00			85,500
Towers							
IV-17	Repair Crack at South Tower	1	LS	4,500.00	4,500		
IV-17	Membrane Roof at South Tower	1	LS	2,000.00	2,000		
IV-17	Strip Paint, Repair, Tool, Point S Tower	650	SF	50.00			32,500
IV-17	Strip Paint, Repair, Tool, Point N Tower	2,250	SF	50.00			112,500
Porch							
IV-18	Rebuild Porch Floor, Steps, Railings	255	SF	125.00		31,875	
IV-18	Prep & Paint Porch Ceiling	220	SF	5.00		1,100	
IV-18	Reconstruct Porch, Provide Barrier Free Access to Porch	1	LS	50,000.00			50,000
IV-18	Restore Porch Light Fixture	1	LS	2,500.00			2,500
Windows							
IV-22	Maintain/Monitor Restored Windows			<i>Maintenance</i>			
IV-22	Restore or Replace Basement Window E001	1	EA	1,500.00	1,500		
IV-22	Repaint Previously Restored Windows	400	SF	20.00		8,000	
IV-23	Security Bars at Basement Window N001 (if desired)	1	EA	900.00			900
Doors							
IV-24	Maintain/Monitor Doors			<i>Maintenance</i>			
IV-24	Restore Original Finish at Main Entrance Doors	1	PR	1,200.00			1,200
IV-24	Upgrade Door Hardware for Barrier Free Access	1	LS	10,000.00			10,000
North Elevation							
Borough Hall							
Foundation							
IV-26	Inspect and Modify Grade Around Building Base	1	LS	1,250.00	1,250		
IV-26	Strip Paint, Repair, Tool, Point Foundation	480	SF	40.00			19,200
Walls							
IV-26	Point, Repair Cracks at Chimney	1	LS	4,500.00		4,500	
IV-26	Strip Paint, Repair, Tool, Point Brick Walls	2,400	SF	45.00			108,000
Windows							
IV-27	Maintain/Monitor Restored Windows			<i>Maintenance</i>			
IV-27	Restore Foundation Windows N002-N005	4	EA	2,250.00	9,000		
IV-27	Repaint Previously Restored Windows	400	SF	20.00		8,000	

HMR ARCHITECTS
SOMERVILLE BOROUGH HALL
CONDITION ASSESSMENT AND RECOMMENDATIONS
SOMERVILLE, NEW JERSEY

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ORDER OF MAGNITUDE COST ESTIMATE

Plan	Description	Quantity	Unit	Unit Cost	Immediate Total	Short Term Total	Long Term Total
Preservation							
Plan							
Page #							
	Library						
	<u>Entry Stair & Ramp</u>						
IV-30	Remove, Reinstall Handrails, Repl Coping at Steps, Ramp	130	LF	120.00	15,600		
IV-30	Wash Walkways & Walls to Remove Salt	1	LS	4,500.00	4,500		
IV-30	Remove Landing, Repair Water Penetration, Repl Landing	1	LS	12,500.00	12,500		
	<u>Foundation</u>						
IV-31	Excavate E. End of Foundation, Patch Concrete, Backfill	1	LS	2,500.00	2,500		
	<u>Walls</u>						
IV-32	Strip Paint, Repair, Tool, Point Brick Walls	2,350	SF	45.00			105,750
	<u>Parapet and Coping</u>						
	Remove Displaced Coping, Repair, Flash, Reinstall, Seal All	6	EA	900.00	5,400		
	<u>Windows</u>						
IV-33, 39, 78,80,140	Replace Sealant at Windows N006 – N011 & N109 – N114	1	LS	5,000.00	5,000		
	West Elevation						
	Borough Hall & Library						
	<u>Foundation</u>						
IV-31	Install Crack Monitors	1	LS	1,000.00	1,000		
	<u>Walls</u>						
IV-34	Strip Paint, Repair, Tool, Point Brick Walls	2,150	SF	45.00			96,750
	<u>Windows</u>						
IV-35	Restore Windows W101 & W202	2	EA	1,500.00	3,000		
IV-35	Reconstruct Staircase Stained Glass Window, Remove Infill	1	LS	20,000.00			20,000
IV-35	Repaint Previously Restored Windows	75	SF	20.00		1,500	
	South Elevation						
	Borough Hall & Library						
	<u>Foundation</u>						
IV-36	Inspect and Modify Grade Around Building Base	1	LS	1,250.00	1,250		
IV-36	Strip Paint, Repair, Tool, Point Foundation	600	SF	40.00			24,000
	<u>Walls</u>						
IV-36	Investigate & Repair Movement in Wall/Tower	1	LS	10,000.00		10,000	
IV-36	Strip Paint, Repair, Tool, Point Brick Walls	3,450	SF	45.00			155,250
	<u>Porch & Entry Steps</u>						
IV-38	Rebuild Tower Steps	1	LS	12,500.00		12,500	
IV-38	Rebuild West Entry Steps, Walls	1	LS	20,000.00		20,000	
	<u>Windows</u>						
IV-39	Maintain/Monitor Restored Windows, Window Wells						
IV-39	Paint Window Frame at S-005, Relead Transoms	1	LS	2,500.00	2,500		
IV-39	Restore Windows S104 - 109 & S203 - S211	17	EA	1,000.00	17,000		
IV-39	Replace Sealant at Library Windows S006-009 & S110-112	1	LS	3,500.00	3,500		
IV-39	Repaint Previously Restored Windows	200	SF	20.00		4,000	
	<u>Doors</u>						
IV-41	Adjust Tower Door. Replace Door & Transom at W Entry	1	LS	6,000.00		6,000	
	<u>Fire Escapes</u>						
IV-42	Inspect Fire Escapes Annually						
IV-42	Enlarge/Replace Bottom Landing at Fire Escape	1	LS	3,000.00		3,000	
	Subtotal - Exterior						
	Mark Ups (15% Contingency, 20% OH&P, Gen Req.)	38%					
	TOTAL - EXTERIOR						
					\$ 97,700	\$ 156,475	\$ 1,125,950
					37,126	59,461	427,861
					\$ 134,826	\$ 215,936	\$ 1,553,811

HMR ARCHITECTS
SOMERVILLE BOROUGH HALL
CONDITION ASSESSMENT AND RECOMMENDATIONS
SOMERVILLE, NEW JERSEY

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ORDER OF MAGNITUDE COST ESTIMATE

Plan	Description	Quantity	Unit	Unit Cost	Immediate Total	Short Term Total	Long Term Total
Preservation							
Page #							
Interior Recommendations							
Basement - Borough Hall							
	Monitor Ceiling for Leaks, Mold Throughout			<i>Maintenance</i>			
IV-43	Add Dehumidifiers	1	LS	7,500.00	7,500		
IV-45	Add Code Compliant Handrails to Stairs	1	LS	8,500.00			8,500
IV-56	Prep & Paint Door in Room 007	1	EA	300.00		300	
IV-58	Clean Mold, Remove Paint at Fndn Wall in Room OST-2	350	SF	10.00	3,500		
IV-59	Repair Door Knob in Room OST-2	1	EA	250.00			250
IV-62	Patch/Paint Walls in Room 010	850	SF	1.50			1,275
IV-62	Patch Ceiling & Cause of Damage in Room 010	1	LS	2,000.00	2,000		
IV-65	Remove Paint at Foundation Wall in Room 011	210	SF	3.00	630		
IV-66	Prep & Paint Door in Room 011	1	EA	300.00		300	
IV-69	Repair Door Knob in Room 012	1	EA	250.00		250	
IV-71	Remove Paint at Foundation Wall in Room 013	650	SF	3.00	1,950		
IV-74	Investigate, Repair Water Infiltration at S Wall in Room 014	1	LS	2,500.00	2,500		
IV-74	Remove Paint at East Wall in Room 014	190	SF	3.00	570		
IV-74	Remove Paint at North Wall in Room 014	120	SF	3.00		360	
Basement - Library							
	Monitor Ceiling for Leaks, Mold Throughout			<i>Maintenance</i>			
IV-76	Add Dehumidifiers	1	LS	6,500.00	6,500		
IV-82	Insulate Pipes in Room 017	1	LS	450.00	450		
IV-82	Replace Missing Ceiling Tiles in Room 017	1	LS	500.00		500	
IV-85	Investigate, Repair Water Infiltration in Room 018 Wall	1	LS	2,500.00	2,500		
IV-85	Investigate, Repair Water Infiltration in Room 018 Ceiling	1	LS	1,500.00	1,500		
IV-88	Refinish Door in Room 019	1	EA	300.00		300	
IV-91	Install Keyed Lock on Door in Room 020	1	LS	350.00	350		
Subtotal - Basement					\$ 29,600	\$ 2,010	\$ 10,025
First Floor - Borough Hal							
Room 100							
IV-92	Replace Carpet with Appropriate Floor Covering	55	SF	50.00	2,750		
IV-92	Refinish Wood Floor	275	SF	12.00		3,300	
IV-93	Restore Historic Paint at Walls	700	SF	4.00		2,800	
IV-93	Investigate, Repair Staining at Ceiling	1	LS	2,500.00	2,500		
IV-93	Finish Paint Ribs, Crown	50	SF	11.50		575	
IV-93	Restore Ceiling Mural	1	LS	7,200.00		7,200	
IV-94	Provide Glass Doors at Stair	1	LS	15,000.00		15,000	
IV-96	Historic Lighting	275	SF	25.00		6,875	
Room 101							
IV-99	Fasten Trefoils at Stairs	1	LS	1,500.00		1,500	
IV-99	Refinish Brass Rail at Landing	1	LS	750.00			750
IV-101	Historic Lighting	350	SF	25.00			8,750
IV-101	Add Reproduction Lamp at Bottom of Stairs	1	LS	6,500.00			6,500
Room 102							
IV-102	Restore Historic Paint at Walls	900	SF	4.00			3,600
IV-103	Remove Fbrbrd Ceiling, Patch, Restore Historic Paint	425	SF	10.00			4,250
IV-103	Clean & Condition Interior Shutters	5	EA	350.00			1,750
IV-105	Close Flue at 1st Floor	1	LS	450.00			450
Room 103							
IV-106	Restore Historic Paint at Walls	1,000	SF	4.00			4,000
IV-107	Restore Historic Paint at Ceiling	480	SF	5.00			2,400
IV-107	Replace/Repair Door Veneers (2 each), Repair Hinge	1	LS	2,000.00		2,000	
IV-108	Clean & Condition Interior Shutters	5	EA	350.00			1,750
Room 1ST-1							
IV-110	Rout & Fill Cracks at Stair Walls	1	LS	3,500.00			3,500
IV-110	Rout & Fill Cracks at Ceiling	1	LS	2,000.00			2,000
IV-110	Paint Walls and Ceilings	500	SF	2.00			1,000

HMR ARCHITECTS
SOMERVILLE BOROUGH HALL
CONDITION ASSESSMENT AND RECOMMENDATIONS
SOMERVILLE, NEW JERSEY

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ORDER OF MAGNITUDE COST ESTIMATE

Plan Page #	Description	Quantity	Unit	Unit Cost	Immediate Total	Short Term Total	Long Term Total
Preservation							
Room 104							
IV-113	Restore Historic Paint at Walls	800	SF	4.00			3,200
IV-114	Remove ACT, Lights, Restore Historic Ceiling, Lights	375	SF	50.00			18,750
IV-115	Restore Windows S104, 105, & 106	See South Elevation					
IV-115	Clean & Condition Interior Shutters	3	EA	350.00			1,050
IV-116	Investigate Fireplace w/Structural Engineer	1	LS	2,000.00		2,000	
IV-116	Close Flue at 1st Floor	1	LS	450.00			450
Room 108							
IV-123	Restore Windows S107 & 108	See South Elevation					
Room 111							
IV-127	Restore Windows S109 & W101	See South and West Elevations					
Room 112							
IV-128	Remove ACT, Lights, Restore Historic Ceiling, Lights	220	SF	50.00			11,000
IV-129	Install Stronger Door Hinge	1	EA	350.00		350	
IV-129	Remove Sealant, Tape Residue at Door	1	EA	200.00			200
IV-130	Clean & Condition Interior Shutters	2	EA	350.00			700
IV-130	Repair Cracks in Millwork, Remove Paint at Baseboard	1	LS	2,000.00			2,000
IV-131	Close Flue at 1st Floor, Replace Missing Ceramic Tiles	1	LS	1,200.00			1,200
Room 113							
IV-133	Restore Historic Paint at Walls	700	SF	4.00			2,800
IV-133	Remove ACT, Lights, Restore Historic Ceiling, Lights	275	SF	50.00			13,750
IV-134	Glue/Repair Veneers at Door	1	LS	1,500.00		1,500	
IV-134	Clean & Condition Interior Shutters	3	EA	350.00			1,050
IV-135	Remove Paint at Baseboard	1	LS	500.00			500
IV-136	Close Flue, Repl Missing Ceramic Tiles, Grout Hearth	1	LS	1,350.00			1,350
Room 114							
IV-138	Investigate Leak at Closet, Repair	1	LS	1,500.00	1,500		
IV-138	New Drop Ceiling at Closet	15	SF	15.00			225
First Floor - Library							
IV-140	Replace Sealant at Windows N109 – N114 & S110 – S112	See North & South Elevations					
Subtotal - First Floor					\$ 6,750	\$ 43,100	\$ 98,925
Second Floor - Borough Hal							
Room 201							
IV-144	Reconstruct West Stained Glass Window	See West Elevation					
Room 202							
IV-147	Restore Windows S206 & 207	See South Elevation					
Room 203							
IV-149	Patch & Paint Walls	800	SF	2.00		1,600	19,500
IV-149	Remove ACT, Lights, Restore Historic Ceiling, Lights	390	SF	50.00			19,500
IV-150	Restore Windows S203-S205	See South Elevation					
IV-151	Close Flue at 2nd Floor	1	LS	450.00			450
Room 204							
IV-153	Restore Historic Paint at Walls	800	SF	4.00			3,200
IV-153	Restore Historic Paint at Ceiling	360	SF	8.50			3,060
IV-154	Repair Door Jamb	1	EA	650.00		650	
IV-155	Fill Abrasions, Refinish Wood Paneling	1	LS	2,500.00			2,500
IV-156	Close Flue at 2nd Floor	1	LS	450.00			450
IV-156	Replace Lights w/Historic Fixtures	360	SF	20.00			7,200
Rooms 205, 206							
IV-157	Restore Historic Paint at Walls	1,100	SF	4.00			4,400
IV-157	Remove ACT, Lights, Restore Historic Ceiling, Lights	360	SF	75.00			27,000
IV-158	Repair Crack on Pocket Door	1	EA	750.00			750
IV-160	Recondition or Refinish Woodwork	1	LS	3,500.00			3,500
Room 207							
IV-161	Restore Historic Paint at Walls	900	SF	4.00			3,600
IV-161	Remove ACT, Lights, Restore Historic Ceiling, Lights	435	SF	75.00			32,625
IV-164	Close Flue at 2nd Floor	1	LS	450.00			450
Room 2ST-1							
IV-165	Paint Walls & Ceiling	500	SF	2.00			1,000

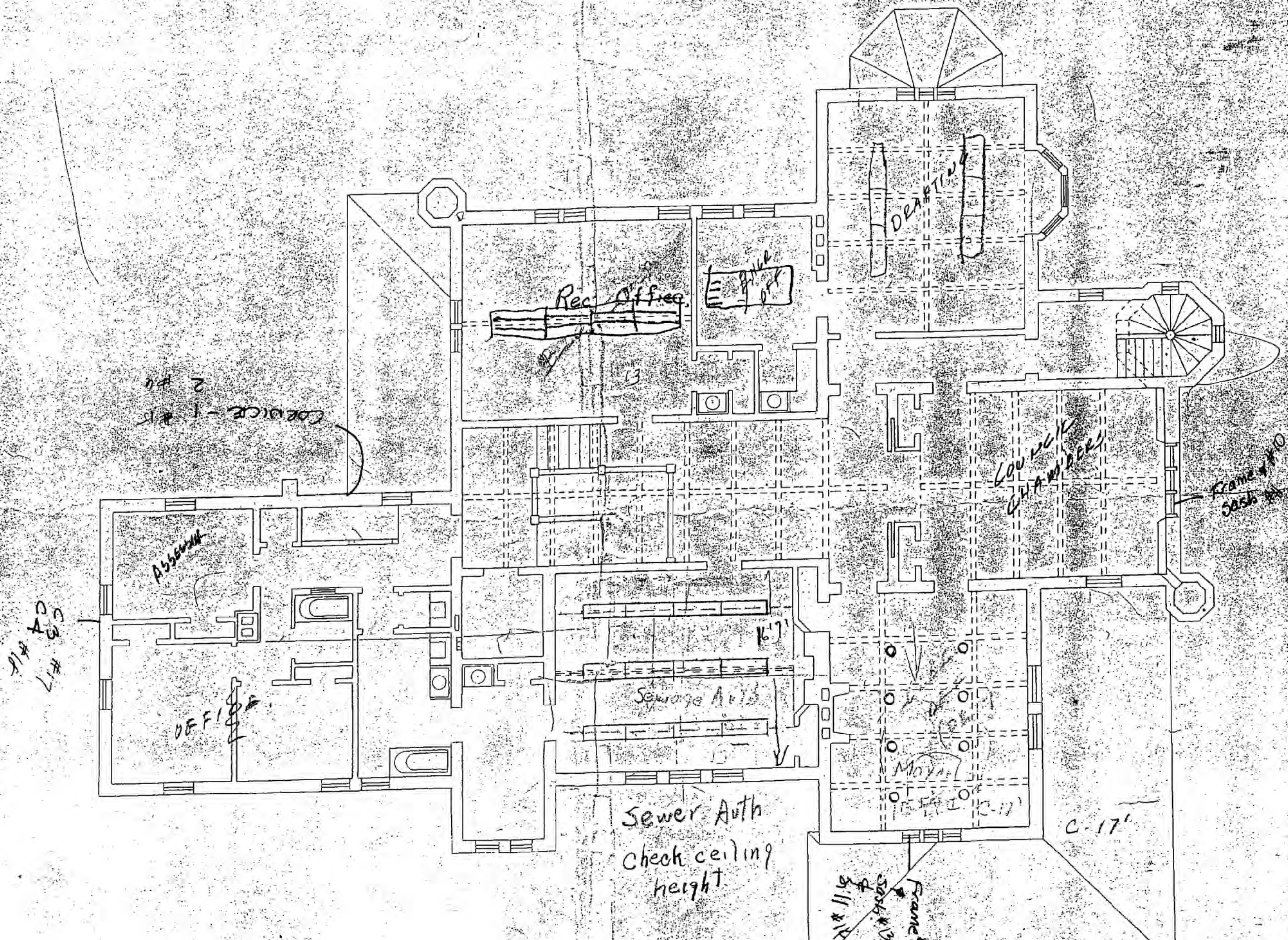
HMR ARCHITECTS
SOMERVILLE BOROUGH HALL
CONDITION ASSESSMENT AND RECOMMENDATIONS
SOMERVILLE, NEW JERSEY

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ORDER OF MAGNITUDE COST ESTIMATE

Plan	Description	Quantity	Unit	Unit Cost	Immediate Total	Short Term Total	Long Term Total
Preservation							
IV-167	Room 208 Patch Plaster at Walls	1	LS	1,500.00		1,500	
IV-168	Remove ACT, Lights, Restore Historic Ceiling, Lights	175	SF	50.00			8,750
IV-168	Recondition or Refinish Woodwork	1	LS	1,000.00			1,000
Room 209							
IV-169	Remove ACT, Lights, Restore Historic Ceiling, Lights	320	SF	50.00			16,000
IV-171	Close Flue at 2nd Floor	1	LS	450.00			450
Room 210							
IV-173	Restore Window S208	See South Elevation					
Room 212							
IV-177	Restore Windows S209 & 210	See South Elevation					
Room 213							
IV-179	Restore Windows S211 & W202	See South and West Elevations					
Room 3ST-1							
IV-180	Install Plaster Buttons at Crack	1	LS	2,000.00	2,000		
IV-180	Rout & Fill Cracks at Ceiling	1	LS	2,000.00			2,000
IV-180	Rout & Fill Cracks at Wall	1	LS	3,000.00			3,000
IV-180	Paint Walls & Ceiling	500	SF	2.00			1,000
Room 4ST-1							
IV-183	Patch & Paint Walls. Paint Ceiling	350	SF	2.00			700
Subtotal - First Floor				-	\$ 2,000	\$ 3,750	\$ 162,085
Subtotal - Interior				-	\$ 38,350	\$ 48,860	\$ 271,035
Mark Ups (15% Contingency, 20% OH&P, Gen Req.)				38%	-	14,573	18,567
TOTAL - INTERIOR				-	\$ 52,923	\$ 67,427	\$ 374,028
MEP Recommendations							
Fire Protection							
VI-4,8	Add Dbl Interlock Sprinkler Throughout Building	1	LS	\$ 120,000.00			\$ 120,000
Plumbing							
VI-8	Test Water Distribution System for Lead	1	LS	1,500.00	1,500		
VI-5,8	Provide ADA Bathroom Facilities	1	LS	20,000.00		20,000	
VI-5,8	Replace Water, Sanitary Piping	1	LS	175,000.00		175,000	
IV-90, VI-8	Relocate Janitor Closet Out of Electrical Room	1	LS	5,000.00		5,000	
VI-5,8	Add Thermostatic Mixing Valves to Bathrooms	1	LS	10,000.00		10,000	
HVAC							
VI-5,8	Upgrade HVAC System - Replace Piping, FCU, DOAS, Fans, Controls, Louvers	1	LS			425,000	
Electrical							
VI-7,9	New Fire Alarm Throughout	1	LS	120,000.00		120,000	
IV-6,9	Replace Lighting Fixtures w/LED	1	LS	75,000.00			75,000
IV-6,9	Upgrade Service, Panels, New U/G Service	1	LS	160,000.00			160,000
	Replace Light Fixtures in Rooms 100, 100, & 204	See Interior Section					
Subtotal - Mechanical/Electrical				-	\$ 1,500	\$ 755,000	\$ 355,000
Mark Ups (15% Contingency, 20% OH&P, Gen Req.)				38%	-	570	286,900
TOTAL - Mechanical/Electrical				-	\$ 2,070	\$ 1,041,900	\$ 489,900
TOTAL ESTIMATED CONSTRUCTION COST					\$ 189,819	\$ 1,325,262	\$ 2,417,739

Appendix A: Bunnell and Lambert Architects Original Drawings



SECOND STORY.

"Scale.

C-3 #17
C-4 #16

COFFICE - 1 #15
2 #16

Rec Office

DRAFTING

LOW WALL
CHAMBER

Frame #10
Sash #11

Abbott

OFFICE

Sewage Aids

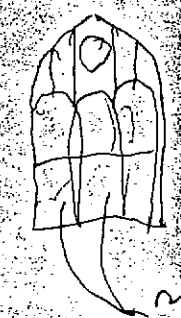
Moya

Sewer Auth
check ceiling
height

Frame #13
Sash #14
Sill #14

C-17'

all as noted
over
at 3 (S) - repair note - panel gutter at left of bay



no (S) on tower windows

remove 2 lower sash & replace clear over stained

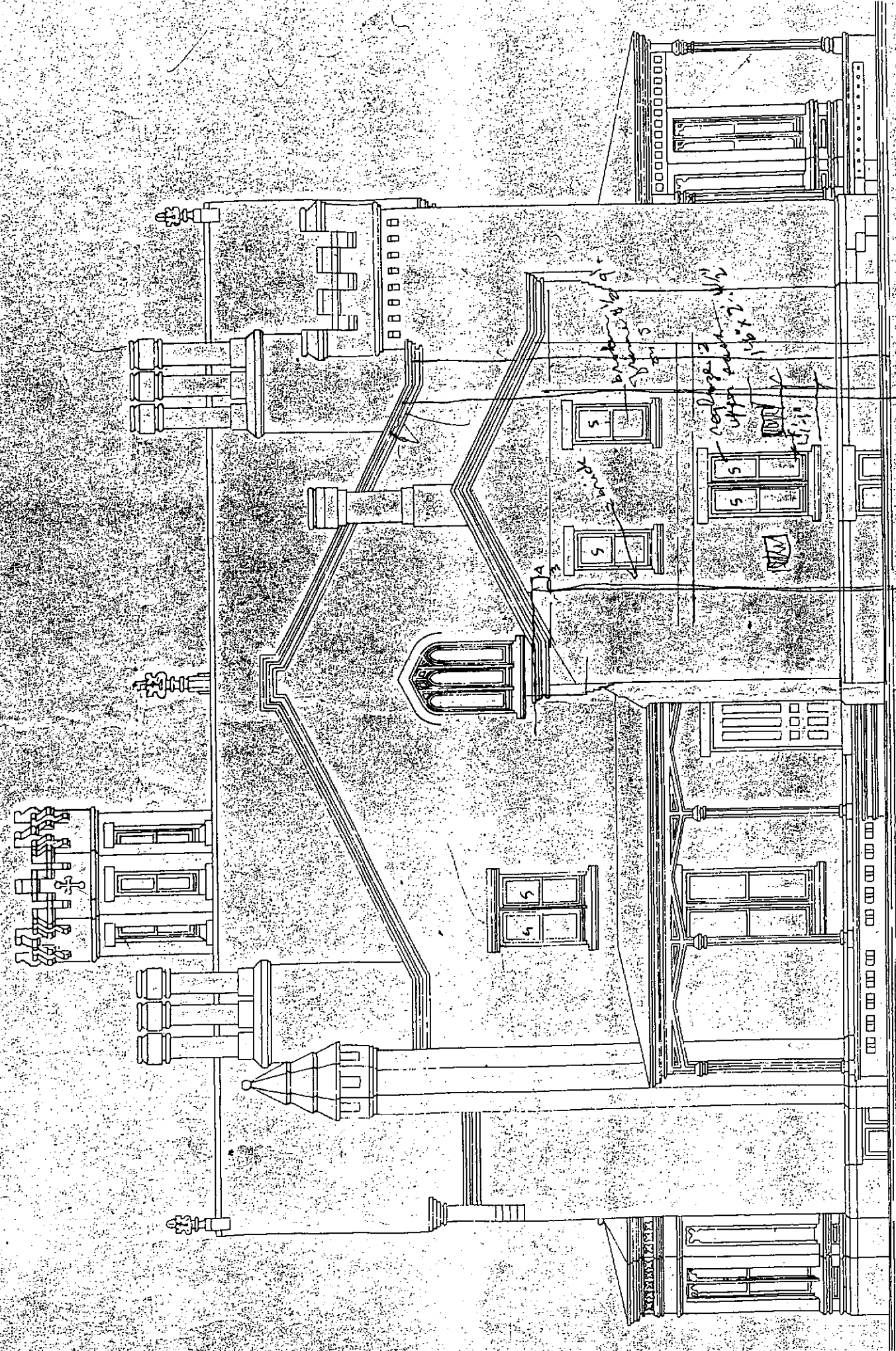


SOUTH ELEVATION

1/8" Scale.

Solid wood built-up
refin
Cement under door

Lambert & Bunnell Archts



REAR ELEVATION

1/8" Scale



$\frac{1}{8}$ " Scale.

— NORTH ELEVATION. —

Lambert & Bunnell, Archts.
Bridgeport, C.

Appendix B: Summaries of Recent Projects at the Somerville Borough Hall and Public Library.

Summaries of Recent Projects at the Somerville Borough Hall and Public Library

Documents related to these project are on file with the Borough and HMR Architects.

January 2005 – Exterior Condition Assessment

An assessment of both Borough Hall and the Public Library. Included an exterior paint analysis of Borough Hall.

January 2008 – Preservation Plan

Preservation Plan for both Borough Hall and the Public Library. Included sections on history, building conditions, a code and accessibility analysis, an MEP evaluation, and Cultural Landscape Analysis and Conceptual Master Plan.

2008 – National Register Nomination

Nomination for the Daniel Robert House. Included some information about the Library addition.

2008 – South Tower Repair (not by HMR)

Concrete liner installed in tower opening and capped with a screen.

2010 – Exterior Finishes and Mortar Analysis

All analyses done of Borough Hall. Included: finish removal tests on the walls and foundation, finishes analyses of window trim and sashes, and mortar analyses of sandstone trim and brick joints.

2010 – Phase 1 Window Restoration

Restoration of select stained glass windows on the east and south elevations of Borough Hall.

2010 – North Tower Roof Replacement

Existing roofing and flashing removed. New liquid membrane roof installed over existing sheathing. Additional layer of sheathing installed.

2013 – Library Ramp and Exterior Painting (not by HMR)

Existing ramp and stairs at the Library entrance on north elevation were demolished. Current ramp and stairs constructed. Concrete with brick sidewalls and cast stone copings. Brick piers with metal guardrails between.

2013 – Stair Hall Finishes Analysis

Focused on wall finishes in stair hall of Borough Hall

2013 – Stair Hall Ceiling Restoration

Removed drop ceiling. Cleaned fire damage. Plaster repair. Repair or replacement of busts at drop moldings. Repainted hall walls and ceiling including decorative stenciling along stair wainscoting and at ceiling based on finishes analysis. New plaster surround and sill at CMU-filled window opening on west wall. Restored wood frame and

mullions at east window and installed new frosted panes. New pendant fixture and ceiling recessed downlights. New fiberglass batt insulation above ceiling.

2016 – Gutter Repair

Small area of repair on the north elevation of Borough Hall.

2017 – Phase 2 Window Restoration

Continued window restoration at all elevations of Borough Hall on first and second floor and at tower.

2018 – North Tower Window Restoration (not by HMR)

Restoration of all windows on north tower.

2019 – Phase 3 Window Restoration

Continued window restoration at all elevations of Borough Hall on first and second floor.

2020 – Built-in Gutter and Cornice Restoration

Select replacement of flashing, parapet flashing caps, and gutter linings, and repairs to wood cornice at Borough Hall.