



# 254 1ST STREET EAST

## SONOMA, CALIFORNIA

### NORTH OF THE MISSION, LLC

#### DESIGN TEAM

**DEVELOPER:**  
NORTH OF THE MISSION LLC, SONOMA, CA 95476

**ARCHITECT:**  
MARCUS & WILLERS ARCHITECTS, SONOMA, CA 95476

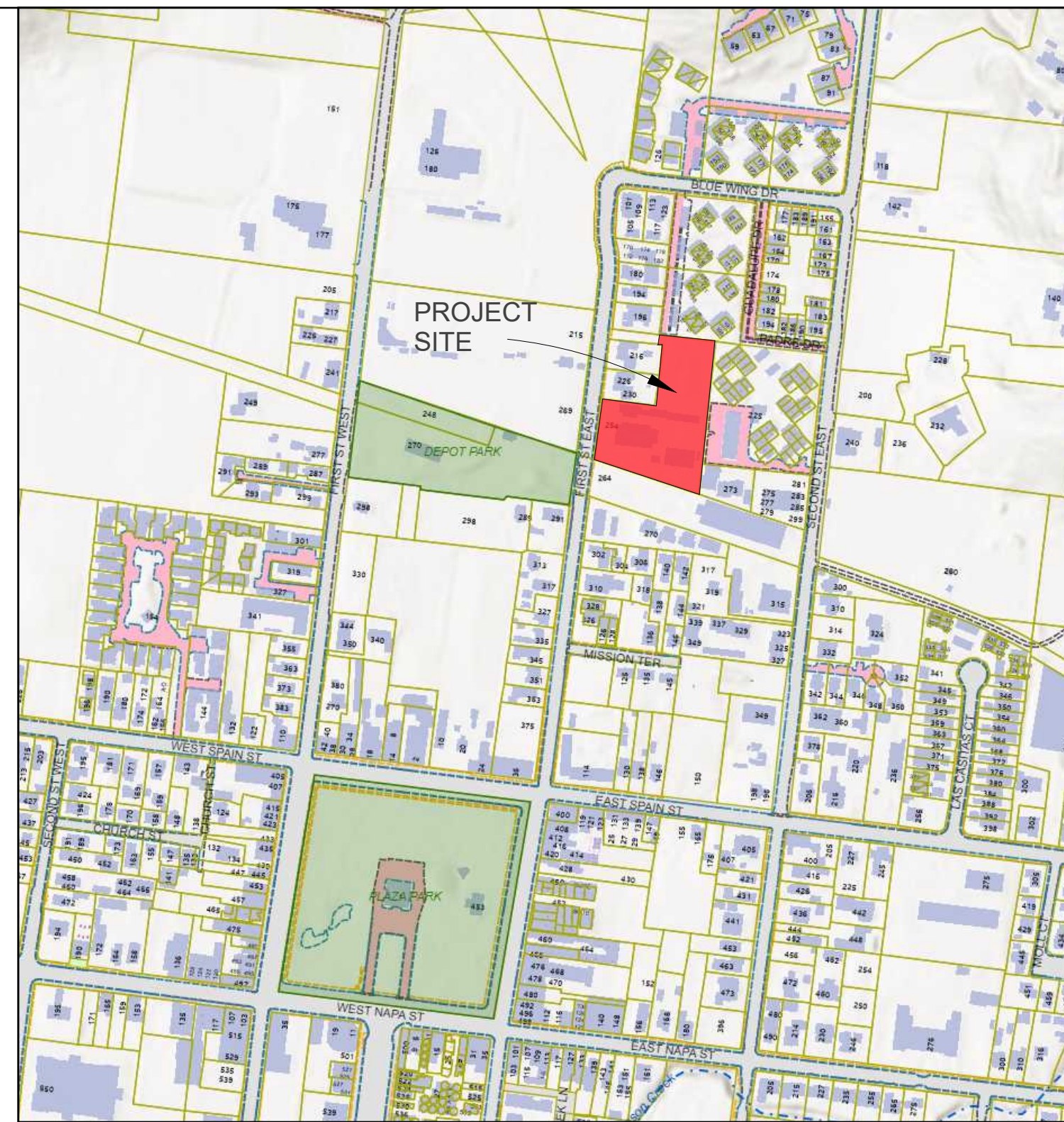
**CIVIL ENGINEERS:**  
ADOBE ASSOCIATES INC, SANTA ROSA, CA 95401

**LANDSCAPE ARCHITECT:**  
RON WELLANDER, SONOMA, CA 95476

**GEOTECHNICAL ENGINEERS:**  
BAUER ASSOCIATES FORESTVILLE, CA 95436

**ACCESSIBILITY CONSULTANT:**  
ACCESS COMPLIANCE CONSULTING, SACRAMENTO, CA 95436

**ENVIRONMENTAL CONSULTANT:**  
RINCON CONSULTANTS INC., OAKLAND, CA 94612



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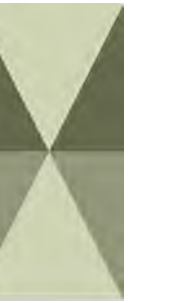
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**MARCUS  
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401 FIRST STREET WEST  
SONOMA, CALIFORNIA  
707.996.2396  
www.marcuswillers.com

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COVER SHEET

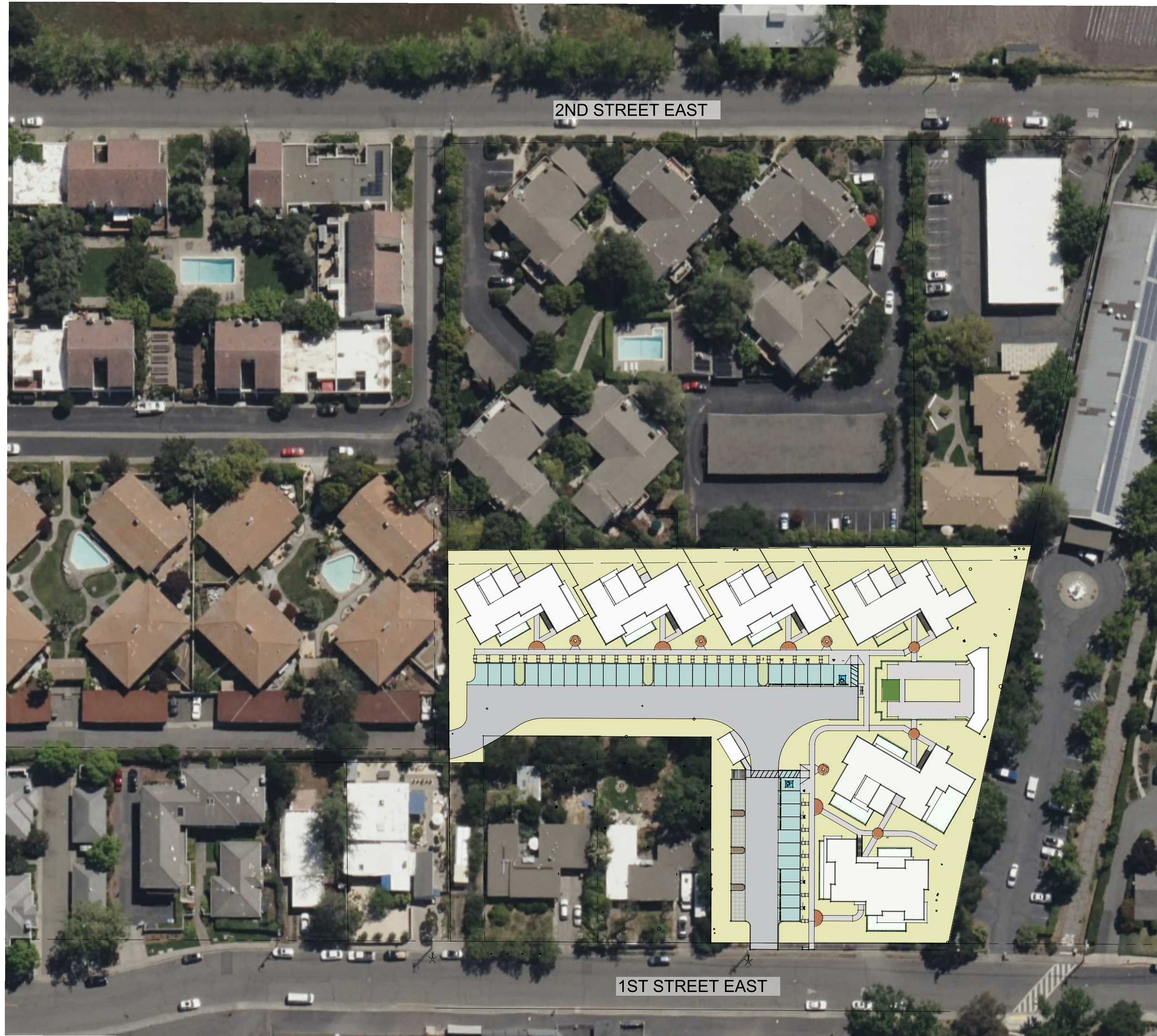
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DATE:  
FEBRUARY 27, 2024

REVISIONS:  
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CO.1





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SITE PLAN - CONTEXT

SCALE: 1" = 40'-0"  
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DATE:  
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**SP1.1**

**1** SITE PLAN - CONTEXT  
SP1.1  
1" = 40'-0"





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**SITE PLAN - ZONING INFORMATION**  
DATE: FEBRUARY 27, 2024  
REVISIONS:  
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3 // -

SCALE 1" = 20'-0"  
**NOT FOR CONSTRUCTION**

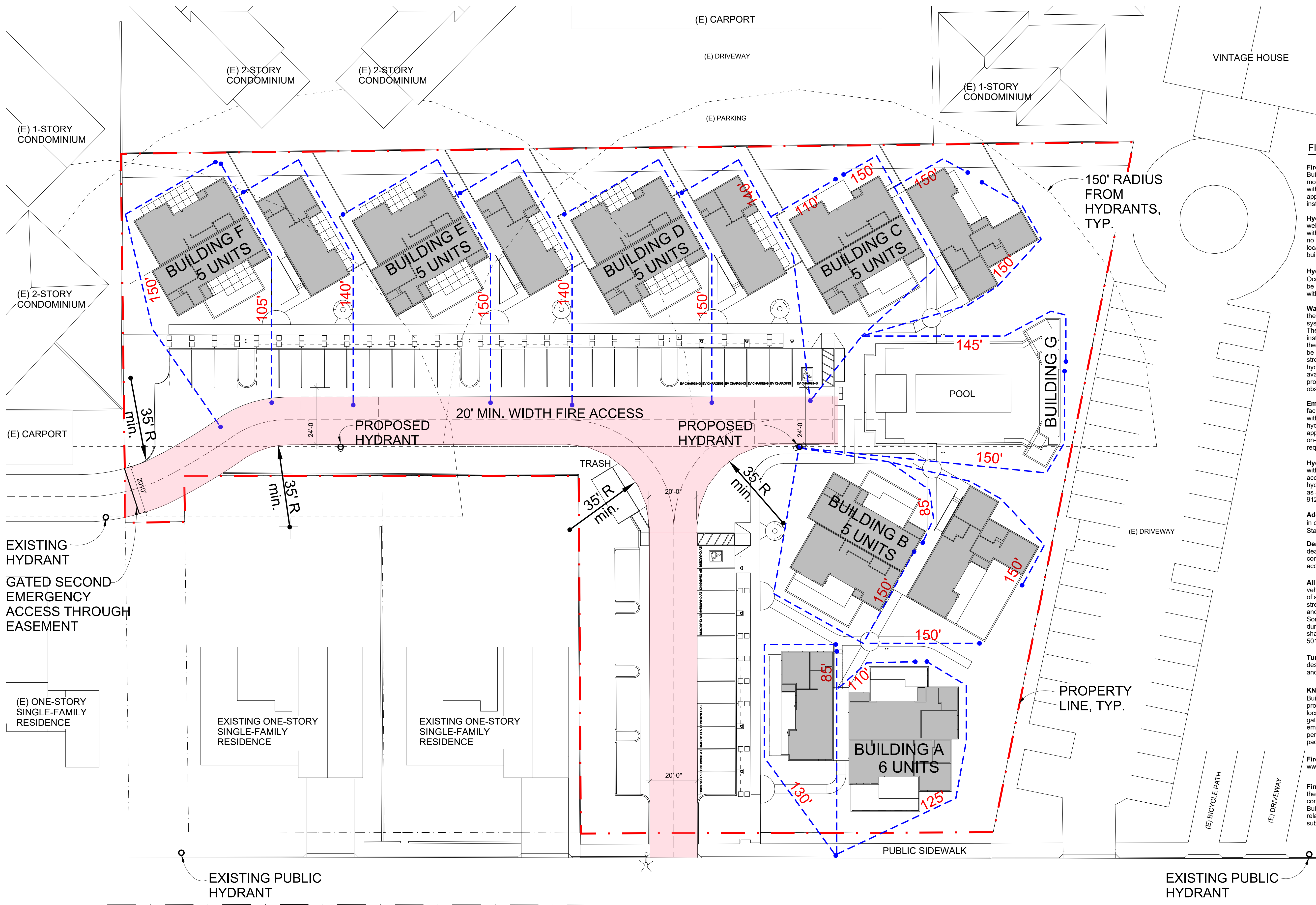
**SP1.2**

**LEGEND**

- 3-STORIES
- 2-STORIES
- 1-STORY
- INCLUSIONARY UNITS - 2 UNITS 1ST FL.; MODERATE INCOME 2ND FL.; LOW INCOME
- NATURAL LANDSCAPE UNDER OAK TREES
- COMMON OPEN SPACE
- PARKING LOT LANDSCAPE
- PRIVATE OPEN SPACE
- (E) TREES TO REMAIN
- PROPOSED STREET TREES
- PROPOSED LARGE-STATURE TREES

**1** SITE PLAN - ZONING INFORMATION  
SP1.2 1" = 20'-0"

Printed: February 27, 2024



**FIRE COMPLIANCE NOTES:**

**Fire Alarms:** Prior to issuance of Certificate of Occupancy or Building Final, the applicant/developer shall install a monitored manual/automatic fire alarm system in accordance with CFC Section 907. Plans shall be submitted and approved by the Office of the Fire Marshal prior to installation. CFC Section 907.

**Hydrants:** The minimum number of fire hydrants required, as well as the location and spacing of fire hydrants, shall comply with the CFC, and NFPA 24. Fire hydrants shall be located no closer than 40 feet to a building. A fire hydrant shall be located within 50 feet of the fire department connection for buildings protected with a fire sprinkler system.

**Hydrant Marking:** Prior to issuance of Certificate of Occupancy or Building Final, "Blue Reflective Markers" shall be installed to identify fire hydrant locations in accordance with City specifications. CFC 507.5.8

**Water System Plans:** Prior to issuance of Building Permits, the applicant/developer shall furnish one copy of the water system plans to the Office of the Fire Marshal for review. The required water system, including fire hydrants, shall be installed, made serviceable, and be accepted by the Office of the Fire Marshal prior to beginning construction. They shall be maintained accessible. Existing fire hydrants on public streets are allowed to be considered available. Existing fire hydrants on adjacent properties shall not be considered available unless fire apparatus access roads extend between properties and easements are established to prevent obstruction of such roads. CFC 507.5.1.3

**Emergency Water Supply Hydrants:** Where a portion of the facility or building hereafter constructed or moved into or within the jurisdiction is more than 150 feet (45.179 m) from a hydrant on a fire apparatus access road, as measured by an approved route around the exterior of the facility or building, on-site fire hydrants and mains shall be provided where required by the fire code official. CFC 507.5.1

**Hydrant for fire department connections:** Buildings equipped with a water-based fire protection system installed in accordance with Section 903 through 905 shall have a fire hydrant within 50 feet of the fire department connections, or as approved by the fire code official. (Also see Section 912.2). CFC 507.5.1.1

**Addressing:** Multi-family residences shall display the address in compliance with the Sonoma Valley Fire District's Standard and Guideline "Addressing Standard" CFC 505.1

**Dead Ends:** (construction) Prior to building construction, dead and roadways and streets which have not been completed shall have a turnaround capable of accommodating fire apparatus. (CFC 503.2.5

**All Weather Access:** The Fire Department emergency vehicular access road shall be (all weather surface) capable of sustaining an imposed load of 75,000 lbs. GVW, based on street standards approved by the Office of the Fire Marshal and CFC Appendix D as adopted and amended by the City of Sonoma. The approved fire access road shall be in place during the time of construction. Temporary fire access roads shall be approved by the Office of the Fire Marshal. CFC 501.4.

**Turning Radius:** Fire apparatus access roads shall be designed to accommodate a 35 foot inside turning radius, and a 55 foot minimum outside turning radius. CFC 503.2.4

**KNOX:** Prior to issuance of a Certificate of Occupancy or Building Final, a "Knox Box Rapid Entry System" shall be provided. The Knox-Box shall be installed in an accessible location approved by the Fire Code Official. Electric powered gates shall be provided with Knox key switches for access by emergency personnel. Where manual operated gates are permitted, they shall be provided with a Knox box or Knox padlock. CFC 506.1, 503.6

**Fire Protection Signage:** Requirements available at [www.sonomavalleyfire.org](http://www.sonomavalleyfire.org)

**Final fire and life safety conditions:** will be addressed when the Office of the Fire Marshal reviews building plans. These conditions will be based on occupancy, use, California Building Code (CBC), California Fire Code (CFC), and related codes, which are in effect at the time of building plan submittal.

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**SITE PLAN - FIRE ACCESS**  
SCALE: 1" = 20'-0"  
**NOT FOR CONSTRUCTION**

DATE:  
FEBRUARY 27, 2024

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**SP1.3**

1 SITE PLAN - FIRE ACCESS  
SP1.3 1" = 20'-0"



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SITE PLAN - ACCESSIBLE ROUTE

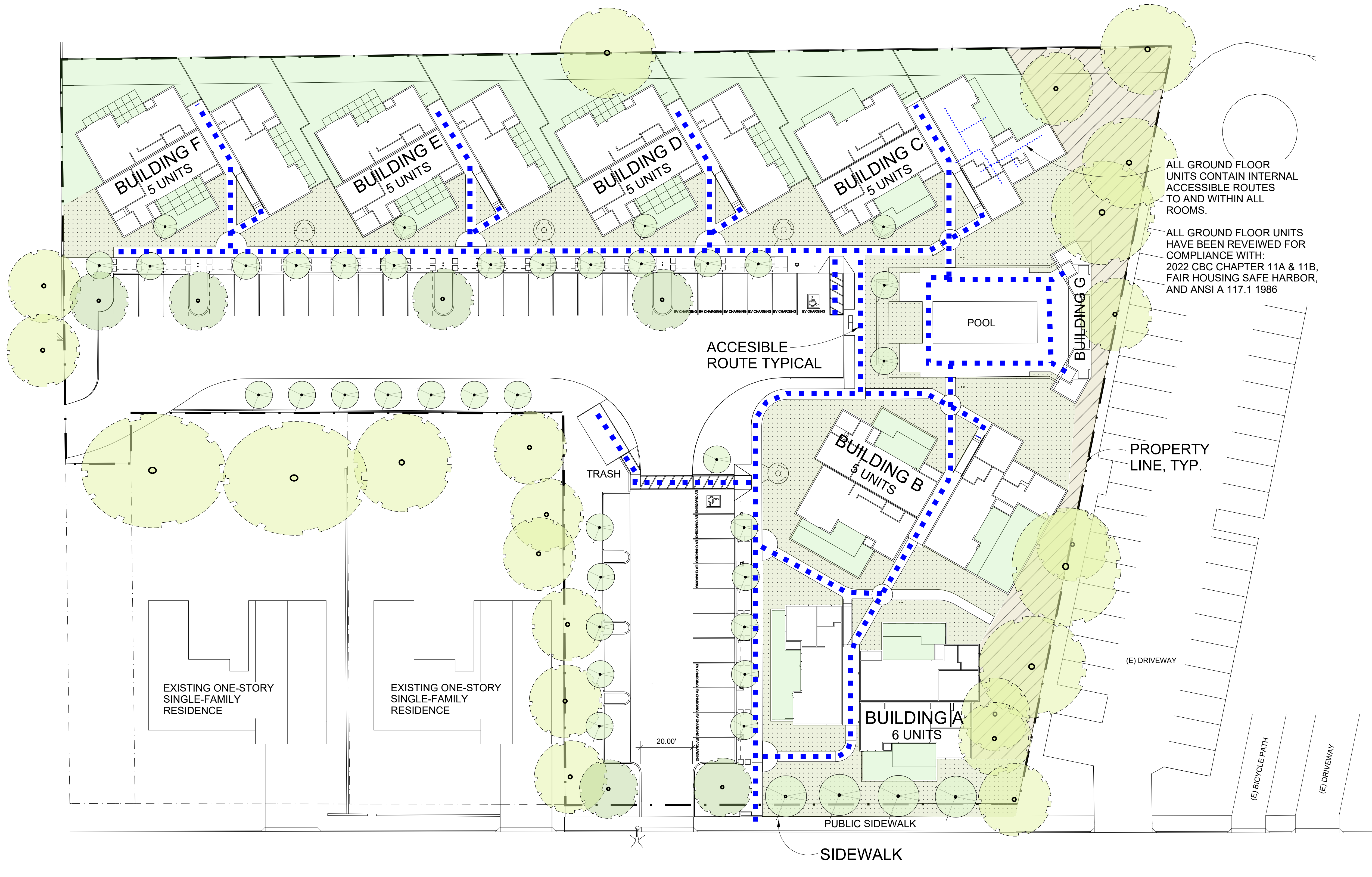
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SCALE: 1" = 20'-0"  
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**SP1.4**



ALL GROUND FLOOR UNITS CONTAIN INTERNAL ACCESSIBLE ROUTES TO AND WITHIN ALL ROOMS.

ALL GROUND FLOOR UNITS HAVE BEEN REVIEWED FOR COMPLIANCE WITH:  
2022 CBC CHAPTER 11A & 11B,  
FAIR HOUSING SAFE HARBOR,  
AND ANSI A 117.1 1986

ACCESIBLE ROUTE TYPICAL

PROPERTY LINE, TYP.

TRASH

EXISTING ONE-STORY SINGLE-FAMILY RESIDENCE

EXISTING ONE-STORY SINGLE-FAMILY RESIDENCE

BUILDING A  
6 UNITS

BUILDING B  
5 UNITS

BUILDING C  
5 UNITS

BUILDING D  
5 UNITS

BUILDING E  
5 UNITS

BUILDING F  
5 UNITS

POOL

PUBLIC SIDEWALK

SIDEWALK

(E) DRIVEWAY

(E) BICYCLE PATH

(E) DRIVEWAY

**1ST STREET EAST**

1 SITE PLAN - ACCESSIBLE ROUTE  
SP1.4 1" = 20'-0"

- PUBLIC ACCESSIBLE ROUTE
- GROUND FLOOR UNIT ACCESSIBLE ROUTE



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**BEGA**

**B1**

**Bollard**  
Asymmetric

A series of LED bollards with shielded asymmetric light distribution. The fully shielded design provides visual comfort while illuminating ground surfaces.

3500K (K35), 4000K (K4)

All BEGA standard finishes are matte, textured powder coat with minimum 3 mil thickness. BEGA Undure® finish, a fluoropolymer technology, provides superior fade protection in Black, Bronze, and Silver. BEGA standard White is a super durable polyester powder. Optionally available RAL and custom color finishes provided in either polyester powder or liquid paint.

NRTL listed to North American Standards, suitable for wet locations

IP 65

**Bollard**

Wide spread

LED	EXPRESS	A	B
99 058	11.6W	1361 mm	7% 39%

**BEGA**

**S1**

**Pole-top luminaire**  
Single and twin

A series of single and twin LED pole-top luminaires with symmetrical or asymmetrical wide spread light distribution. The symmetrical light distribution is ideal for illuminating squares, plazas.

2700K (K27), 3000K (K3), 3500K (K35), 4000K (K4)

All BEGA standard finishes are matte, textured powder coat with minimum 3 mil thickness. BEGA Undure® finish, a fluoropolymer technology, provides superior fade protection in Black, Bronze, and Silver. BEGA standard White is a super durable polyester powder. Optionally available RAL and custom color finishes provided in either polyester powder or liquid paint.

NRTL listed to North American Standards, suitable for wet locations

IP 65

**Pole-top luminaire**

Asymmetric wide beam - Single

LED	A	B	C
99 407	23.6W	3117 mm	18% 2% 24

**BEGA**

**W1**

**Wall luminaire**  
Directed light

Wall mounted luminaires with symmetric light distribution. This group of luminaires is designed for general illumination of pathways, walkways and plazas.

2700K (K27), 3000K (K3), 3500K (K35), 4000K (K4)

All BEGA standard finishes are matte, textured powder coat with minimum 3 mil thickness. BEGA Undure® finish, a fluoropolymer technology, provides superior fade protection in Black, Bronze, and Silver. BEGA standard White is a super durable polyester powder. Optionally available RAL and custom color finishes provided in either polyester powder or liquid paint.

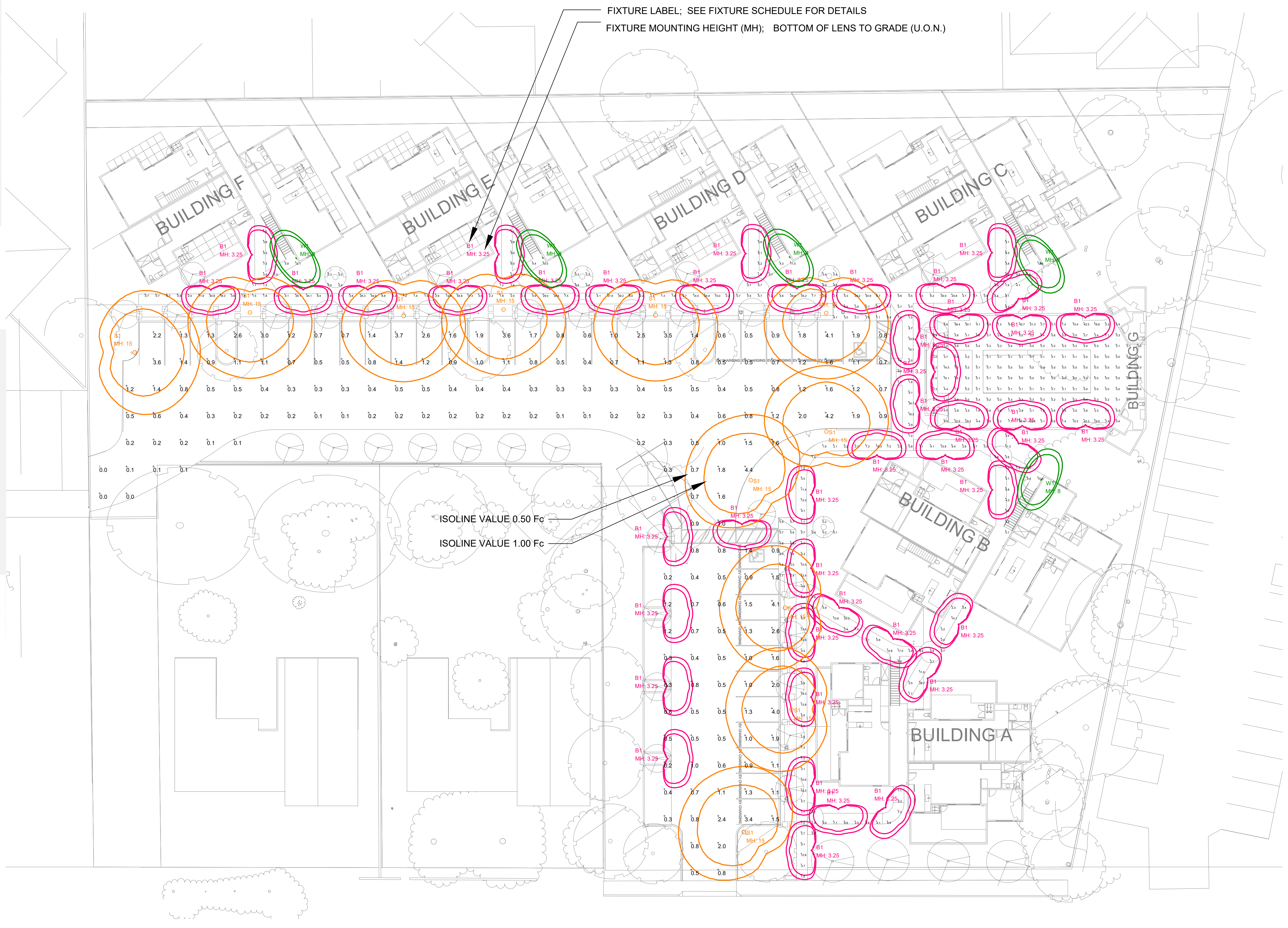
NRTL listed to North American Standards, suitable for wet locations

IP 65

**Wall luminaire**

Symmetric

LED	A	B	C
24 218	8.9W	989 mm	8 8 3%



**LIGHTING PLAN - PHOTOMETRIC ANALYSIS - LAYOUT VERIFICATION**  
 SCALE: 1" = 20'-0" (ALL VALUES SHOWN ARE MAINTAINED HORIZONTAL FOOTCANDLES AT FINISHED GRADE, U.O.N.)

**Luminaire Schedule**

Scene: GENERAL

Symbol	Qty	Label	Arrangement	Description	Lum. Lumens	LLF	Filename
	45	B1	SINGLE	BEGA 99 058	1414	0.900	99058K3_BEGA_IES.ies
	11	S1	SINGLE	BEGA 99 407	3117	0.900	99407_BEGA_IES.ies
	5	W1	SINGLE	BEGA 24 218	989	0.900	24218_BEGA_IES.ies

**Calculation Summary**

Scene: GENERAL

Label	Calc.Type	Units	Avg	Max	Min	Avg/Min	Max/Min
PARKING	Illuminance	Fc	0.98	4.4	0.0	N.A.	N.A.
POOL AREA	Illuminance	Fc	3.12	45.7	0.0	N.A.	N.A.
WALKWAY	Illuminance	Fc	6.10	45.8	0.1	61.00	458.00

Note: Unless otherwise specified - the lamp lumen depreciation (LLD) for legacy sources used in these calculations is based on published mean lumen ratings by major lamp manufacturers; 0.80 LLD for pulse start metal halide; 0.90 LLD for high pressure sodium; 0.95 LLD for linear T8 and T5 fluorescent; 0.86 LLD for compact fluorescent and induction; 0.88 LLD for Cosmo and Elite lamps. 0.94 LLD for all LED sources. Unless otherwise noted - 0.90 luminaire dirt depreciation (LDD) is commonly applied. In cases where appropriate - ballast factor (BF) is applied. Additional user defined factors (UDF) may be applied if necessary to represent luminaire performance to a higher degree of accuracy. Total light loss factor (LLF) is the product of all multiplied loss factors.

**SL1.1**



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254 1ST STREET EAST  
**BUILDING A**  
254 1ST STREET EAST  
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BUILDING A  
FLOOR PLANS AND ELEVATIONS  
SCALE: 1/8" = 1'-0"  
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DATE:

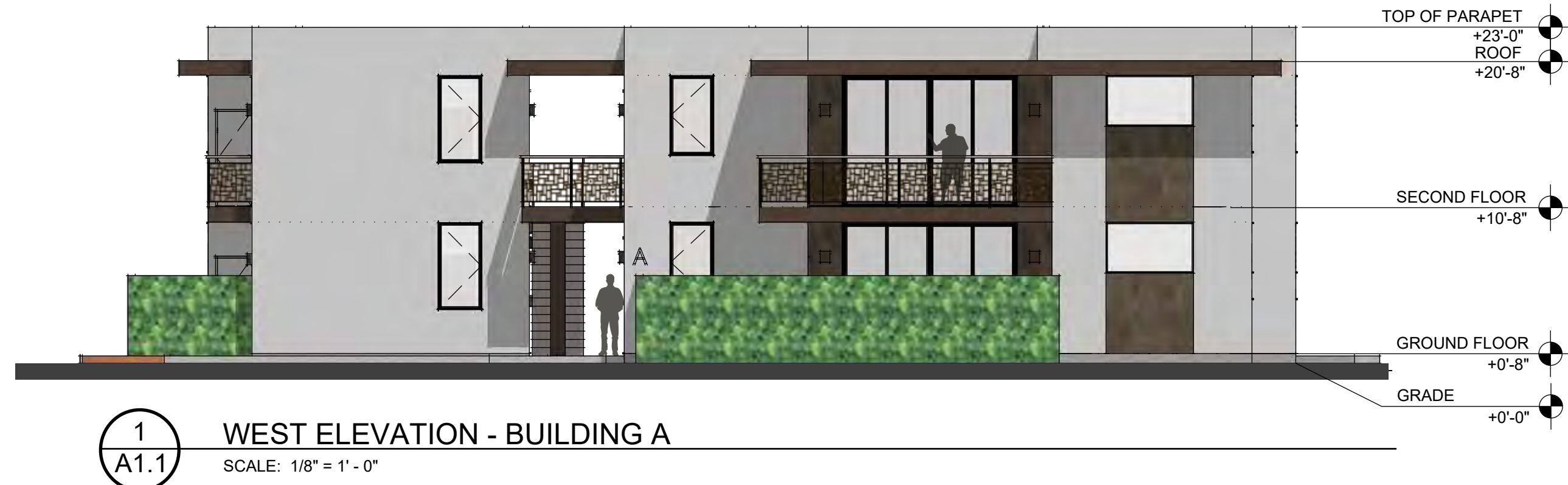
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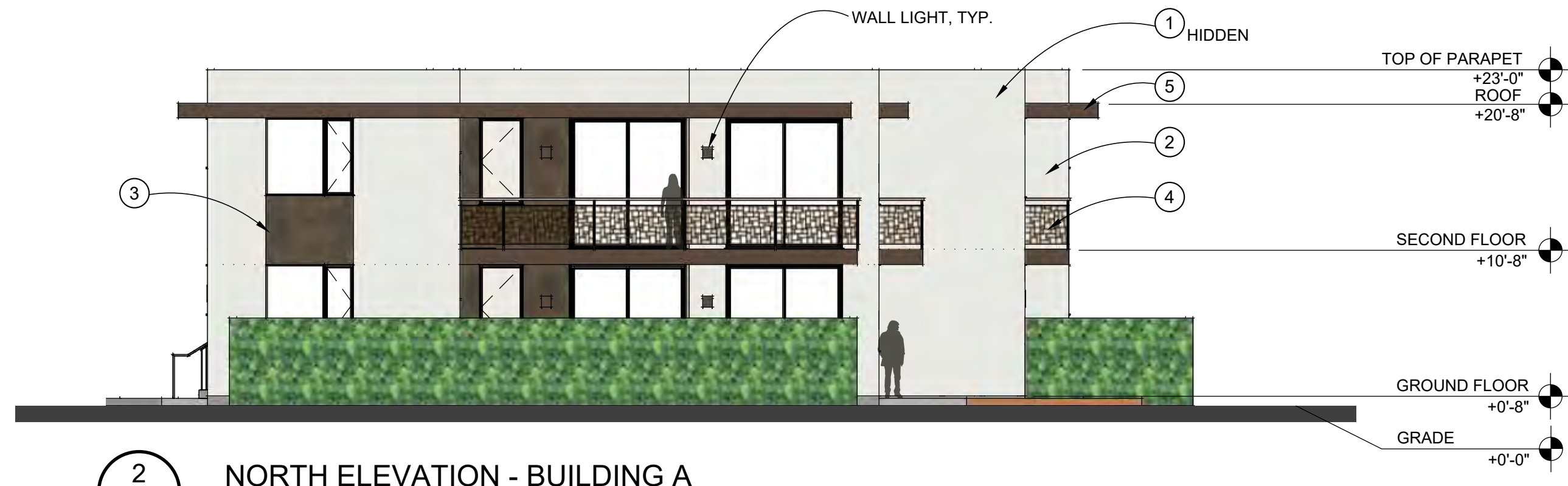
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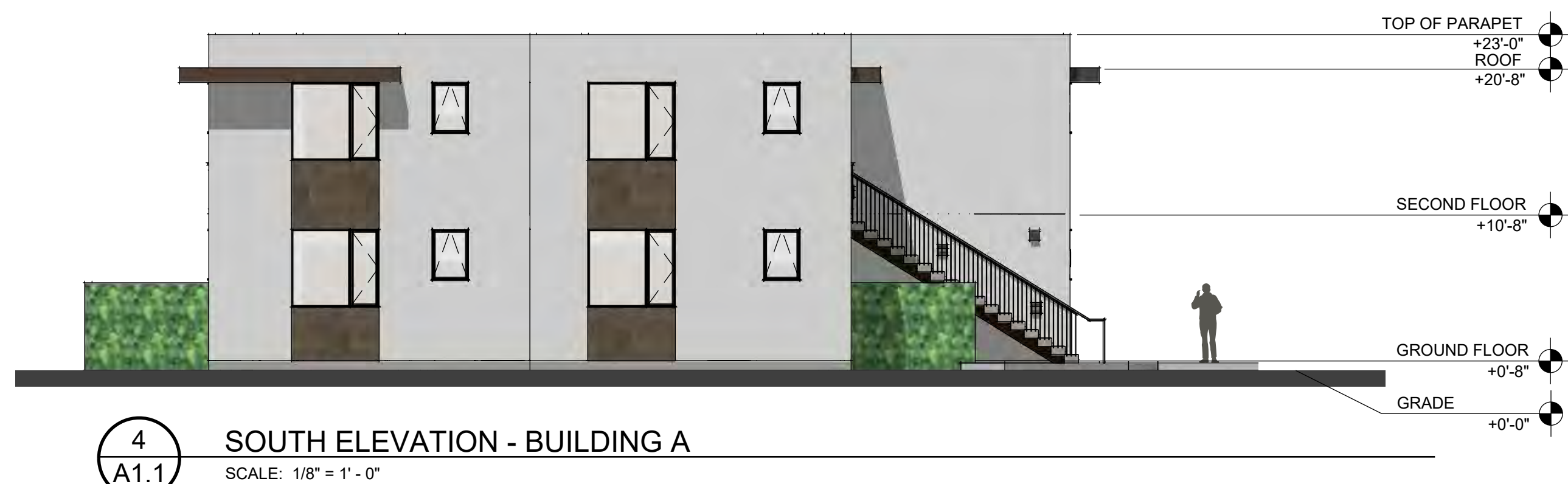
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A1.1 WEST ELEVATION - BUILDING A  
SCALE: 1/8" = 1'-0"



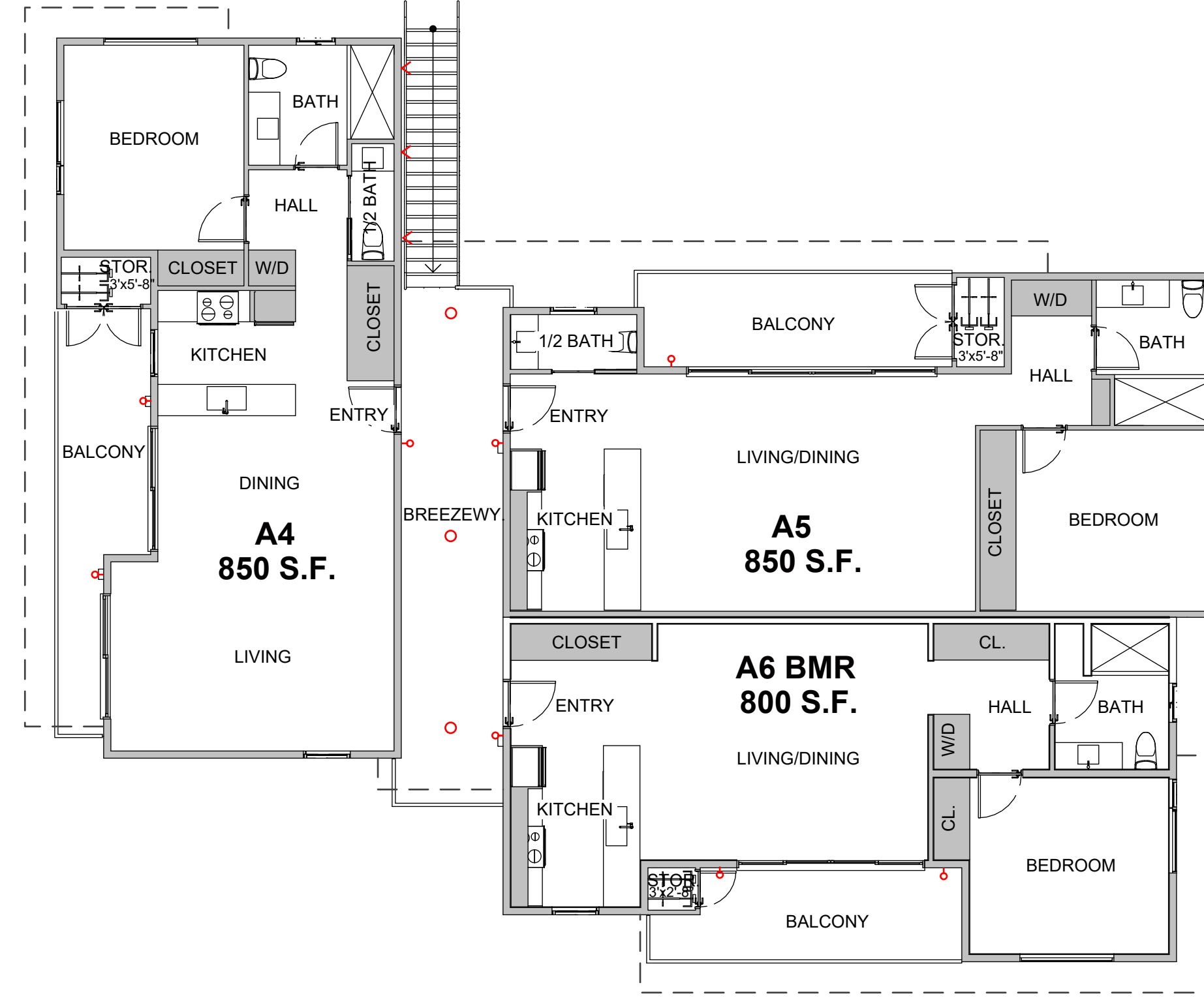
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A1.1 NORTH ELEVATION - BUILDING A  
SCALE: 1/8" = 1'-0"



3  
A1.1 EAST ELEVATION - BUILDING A  
SCALE: 1/8" = 1'-0"

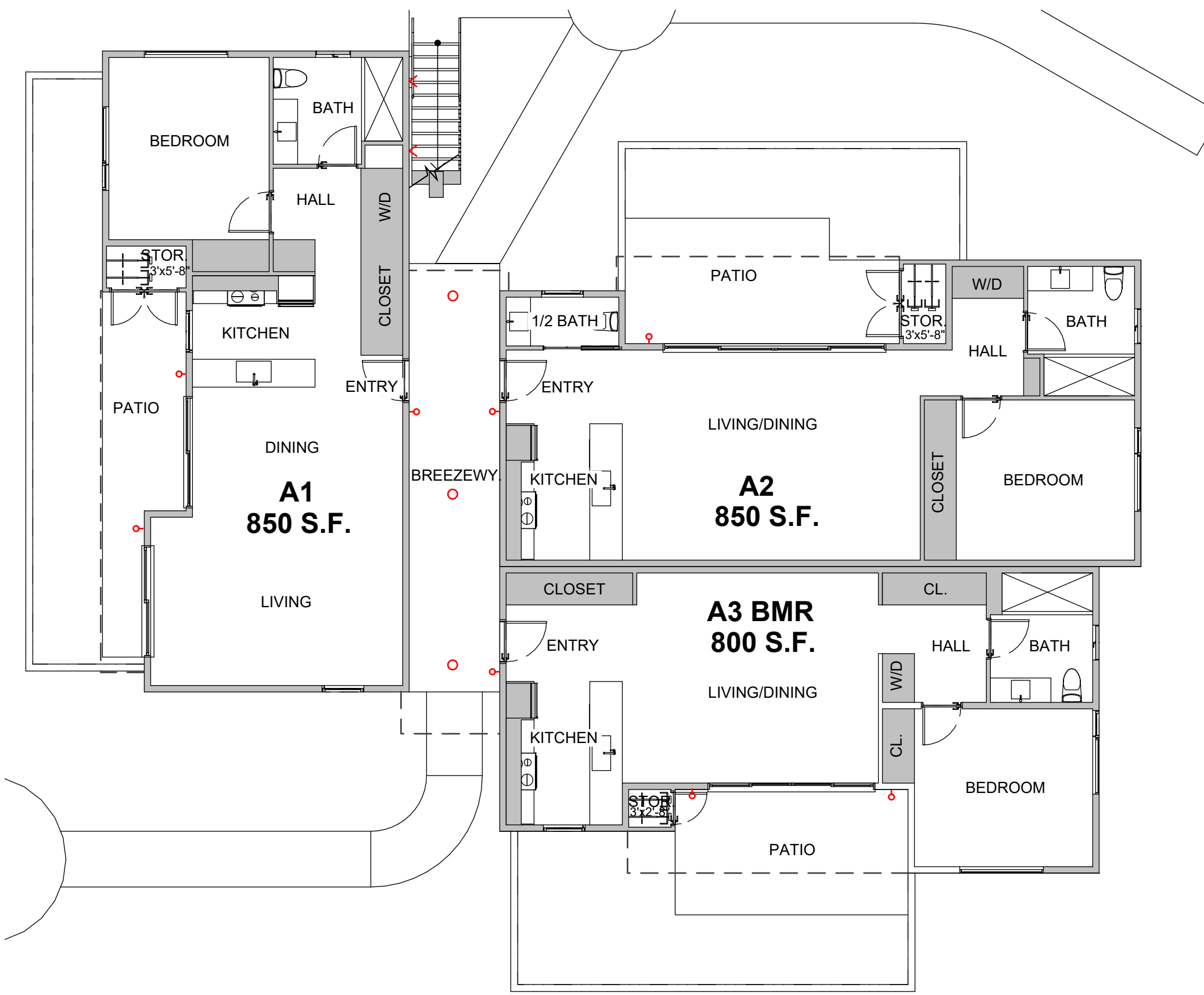


4  
A1.1 SOUTH ELEVATION - BUILDING A  
SCALE: 1/8" = 1'-0"



5  
A1.1 SECOND FLOOR PLAN - BUILDING A  
SCALE: 1/8" = 1'-0"

EXT. LIGHTING  
SEE SHEET A1.5  
◁ STEP LIGHTS  
◊ WALL SCONCE  
○ RECESSED DOWNLIGHT

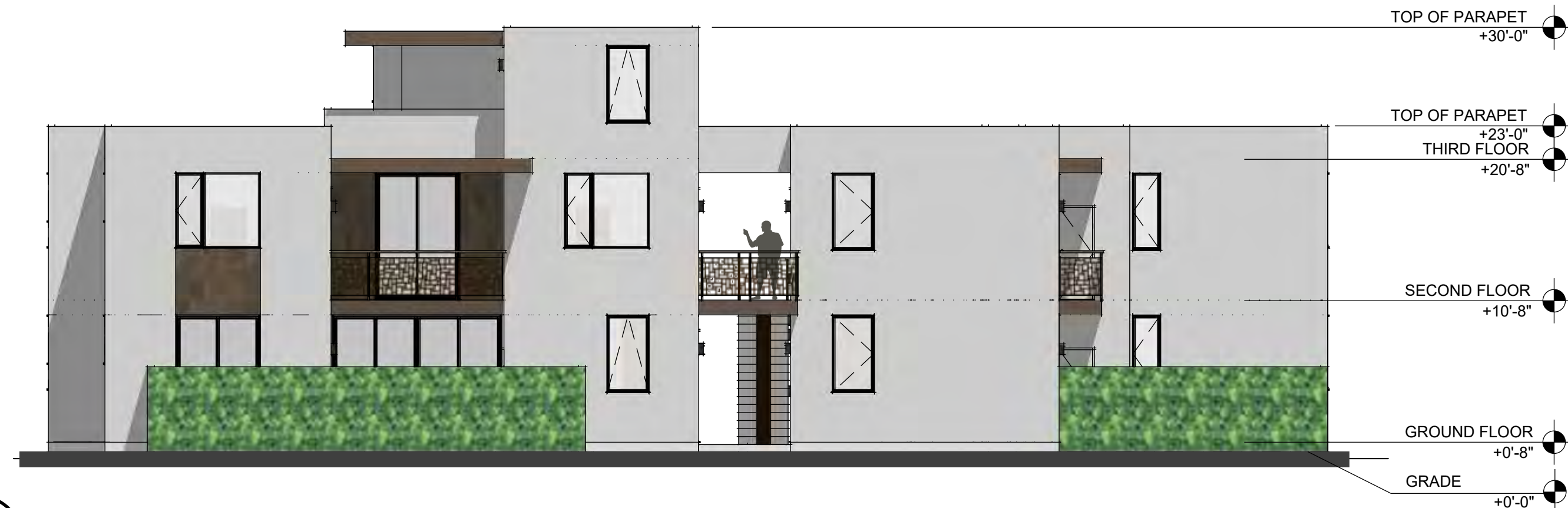


6  
A1.1 MAIN FLOOR PLAN - BUILDING A  
SCALE: 1/8" = 1'-0"

EXT. LIGHTING  
SEE SHEET A1.6  
◁ STEP LIGHTS  
◊ WALL SCONCE  
○ RECESSED DOWNLIGHT







**1**  
A1.2 WEST ELEVATION - BUILDING B  
SCALE: 1/8" = 1' - 0"



**2**  
A1.2 NORTH ELEVATION - BUILDING B  
SCALE: 1/8" = 1' - 0"

**EXTERIOR MATERIALS**

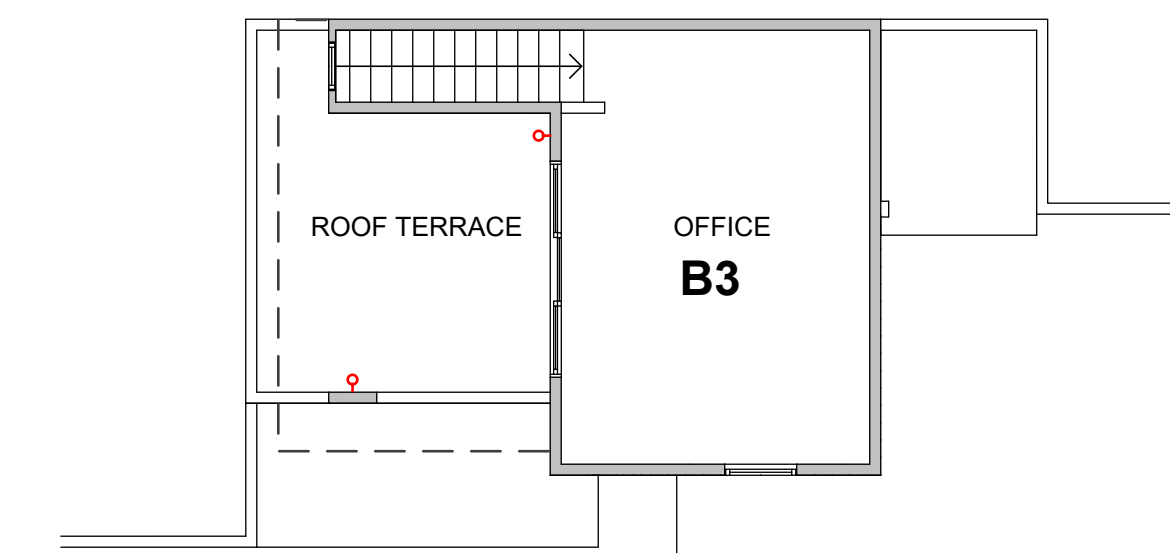
- ① TPO ROOF
- ② CEMENT PLASTER
- ③ PORCELAIN CLADDING
- ④ METAL RAILING
- ⑤ PAINTED METAL FASCIA
- ⑥ GLAZING



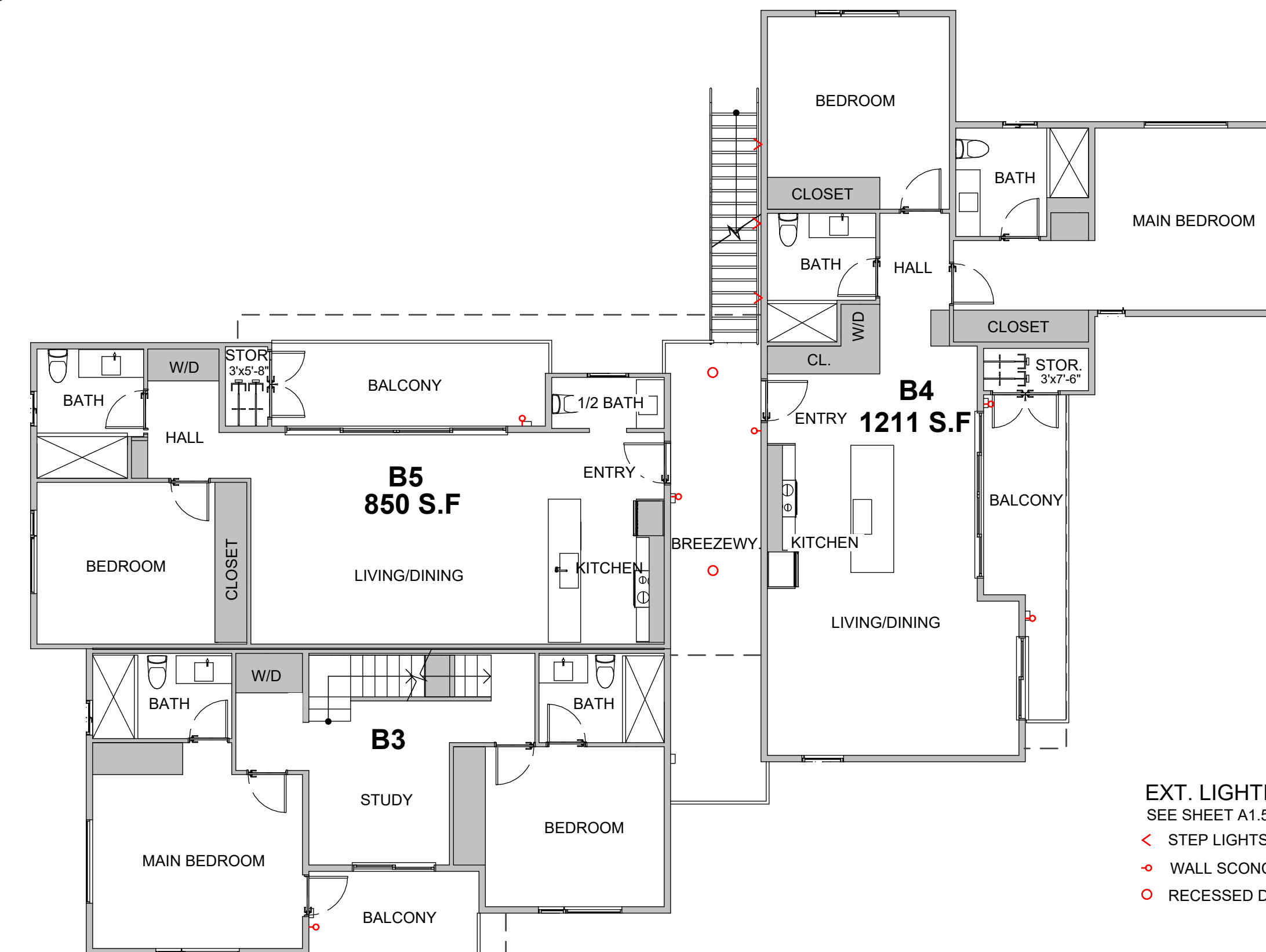
**3**  
A1.2 EAST ELEVATION - BUILDING B  
SCALE: 1/8" = 1' - 0"



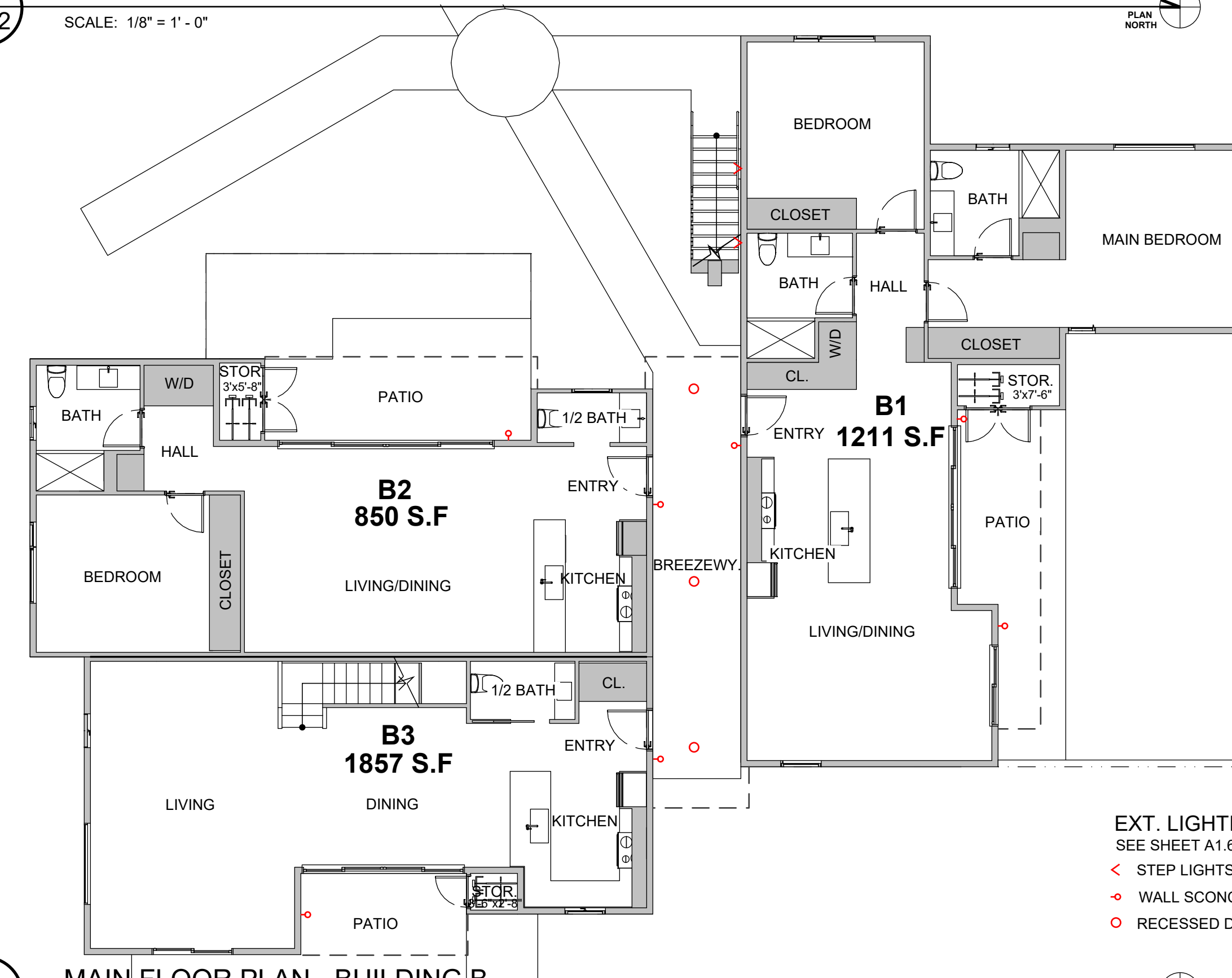
**4**  
A1.2 SOUTH ELEVATION - BUILDING B  
SCALE: 1/8" = 1' - 0"



**5**  
A1.2 THIRD FLOOR PLAN - BUILDING B  
SCALE: 1/8" = 1' - 0"



**6**  
A1.2 SECOND FLOOR PLAN - BUILDING B  
SCALE: 1/8" = 1' - 0"



**7**  
A1.2 MAIN FLOOR PLAN - BUILDING B  
SCALE: 1/8" = 1' - 0"



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BUILDING B  
FLOOR PLANS AND ELEVATIONS

SCALE: 1/8" = 1'-0"

NOT FOR CONSTRUCTION

DATE: FEBRUARY 27, 2024  
REVISIONS:

**B**

**A1.2**



1 WEST ELEVATION - BUILDING C  
A1.3 SCALE: 1/8" = 1' - 0"



2 NORTH ELEVATION - BUILDING C  
A1.3 SCALE: 1/8" = 1' - 0"



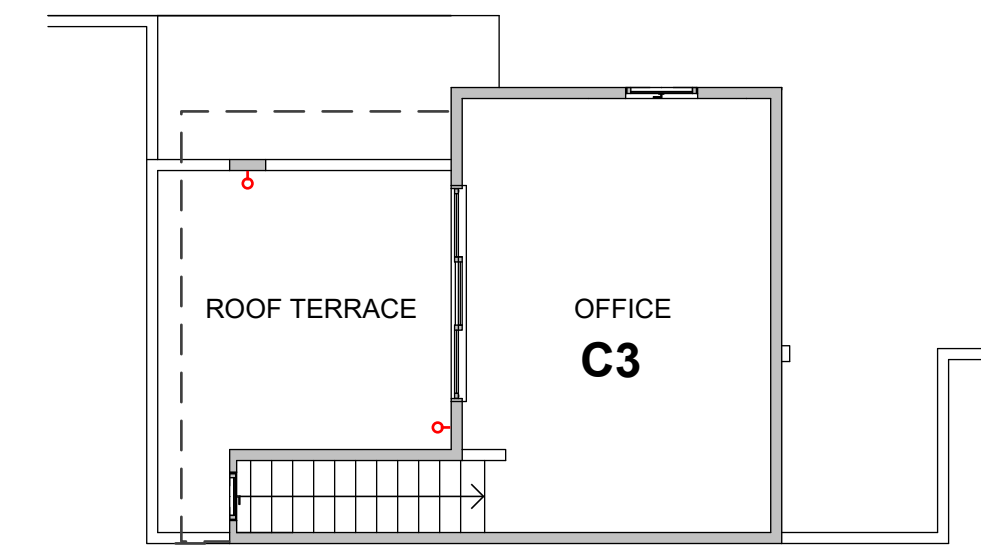
3 EAST ELEVATION - BUILDING C  
A1.3 SCALE: 1/8" = 1' - 0"



4 SOUTH ELEVATION - BUILDING C  
A1.3 SCALE: 1/8" = 1' - 0"

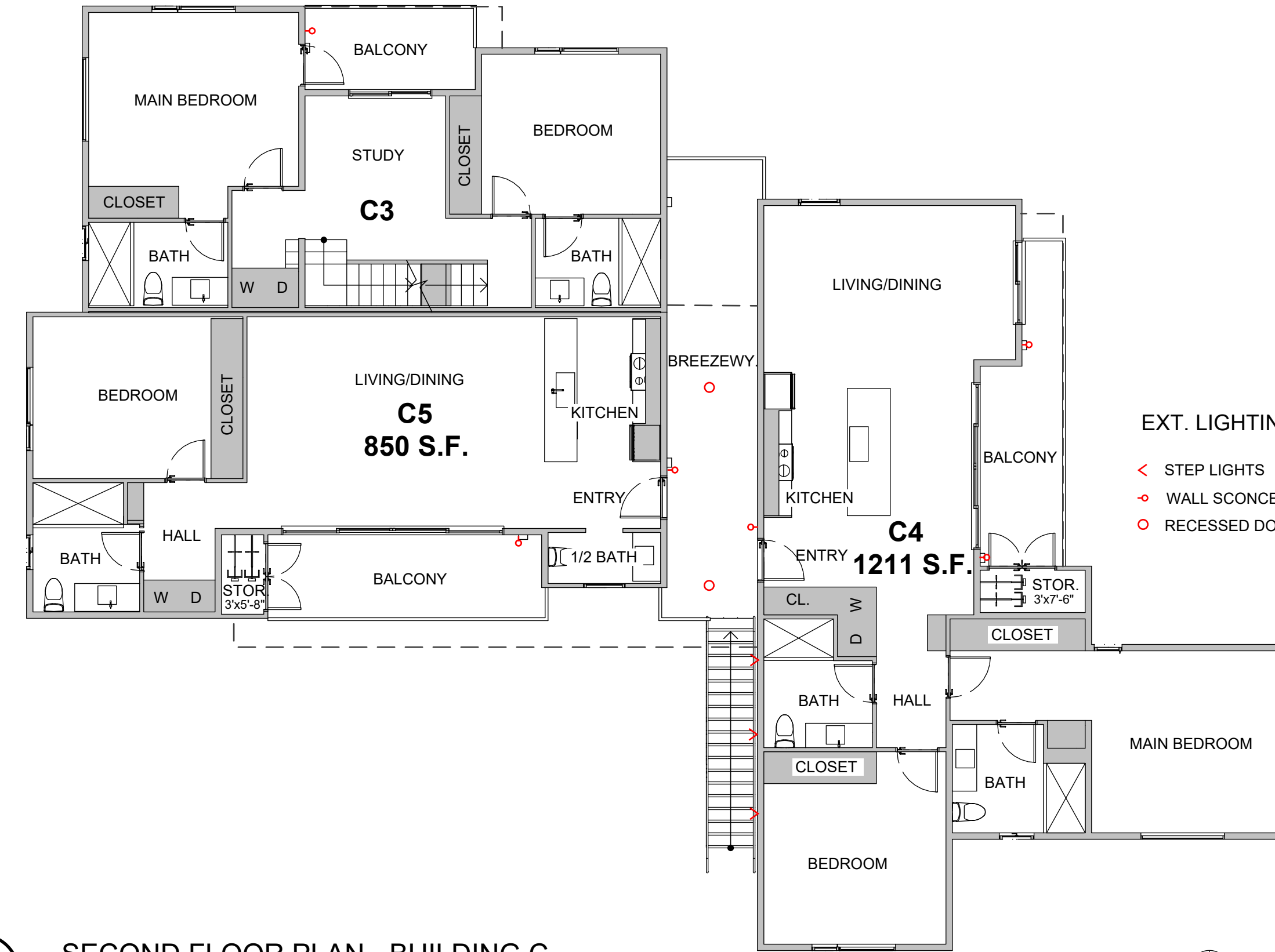
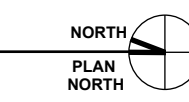
EXTERIOR MATERIALS

- 1 TPO ROOF
- 2 CEMENT PLASTER
- 3 PORCELAIN CLADDING
- 4 METAL RAILING
- 5 PAINTED METAL FASCIA
- 6 GLAZING



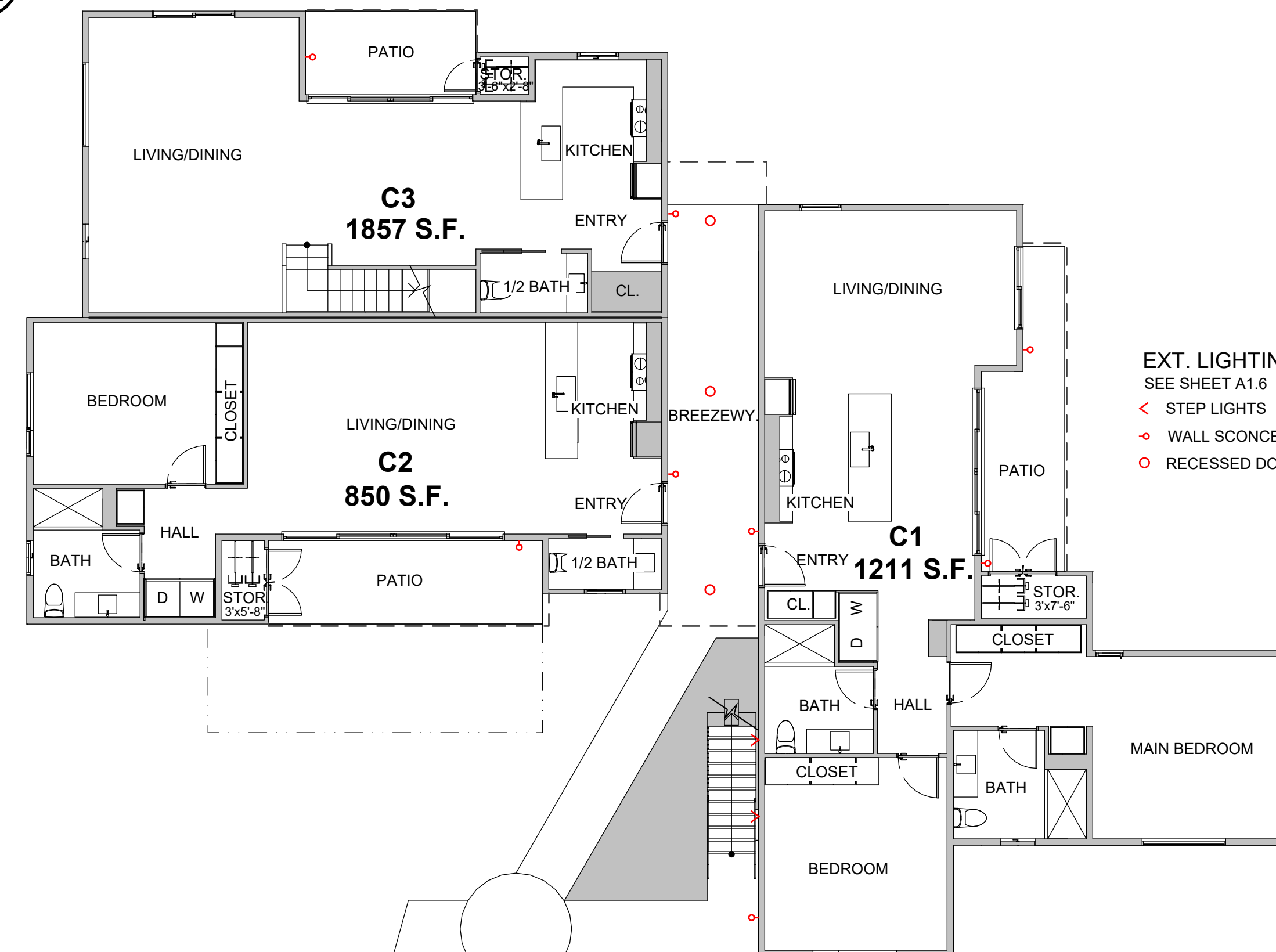
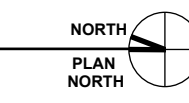
5 THIRD FLOOR PLAN - BUILDING C  
A1.3 SCALE: 1/8" = 1' - 0"

- EXT. LIGHTING
- < STEP LIGHTS
  - o WALL SCONCE
  - o RECESSED DOWNLIGHT



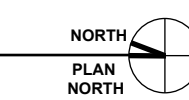
6 SECOND FLOOR PLAN - BUILDING C  
A1.3 SCALE: 1/8" = 1' - 0"

- EXT. LIGHTING
- < STEP LIGHTS
  - o WALL SCONCE
  - o RECESSED DOWNLIGHT



7 MAIN FLOOR PLAN - BUILDING C  
A1.3 SCALE: 1/8" = 1' - 0"

- EXT. LIGHTING  
SEE SHEET A1.6
- < STEP LIGHTS
  - o WALL SCONCE
  - o RECESSED DOWNLIGHT



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254 1ST STREET EAST  
BUILDING C  
254 1ST STREET EAST  
SONOMA, CA  
A.P.N.: 018-131-018-000

BUILDING C  
FLOOR PLANS AND ELEVATIONS

SCALE: 1/8" = 1'-0"  
NOT FOR CONSTRUCTION

DATE: FEBRUARY 27, 2024  
REVISIONS:

C

A1.3



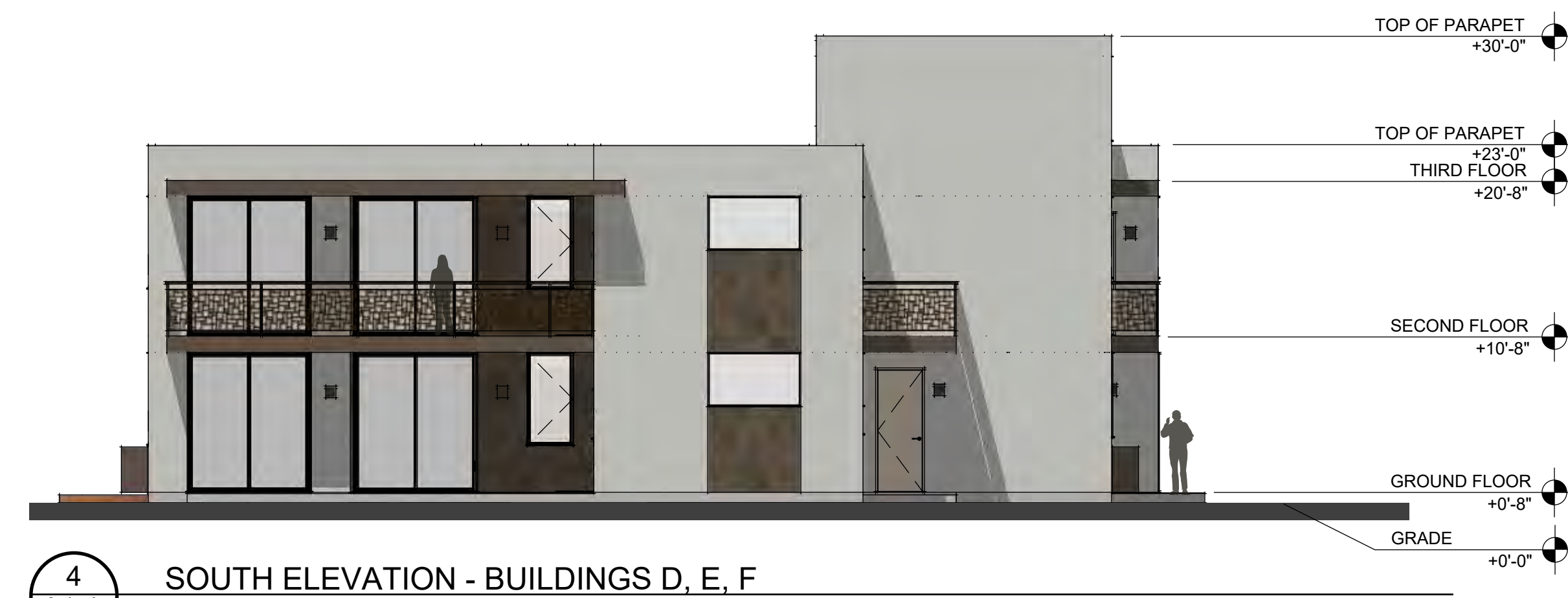
**1**  
A1.4 WEST ELEVATION - BUILDINGS D, E, F  
SCALE: 1/8" = 1' - 0"



**2**  
A1.4 NORTH ELEVATION - BUILDINGS D, E, F  
SCALE: 1/8" = 1' - 0"



**3**  
A1.4 EAST ELEVATION - BUILDINGS D, E, F  
SCALE: 1/8" = 1' - 0"

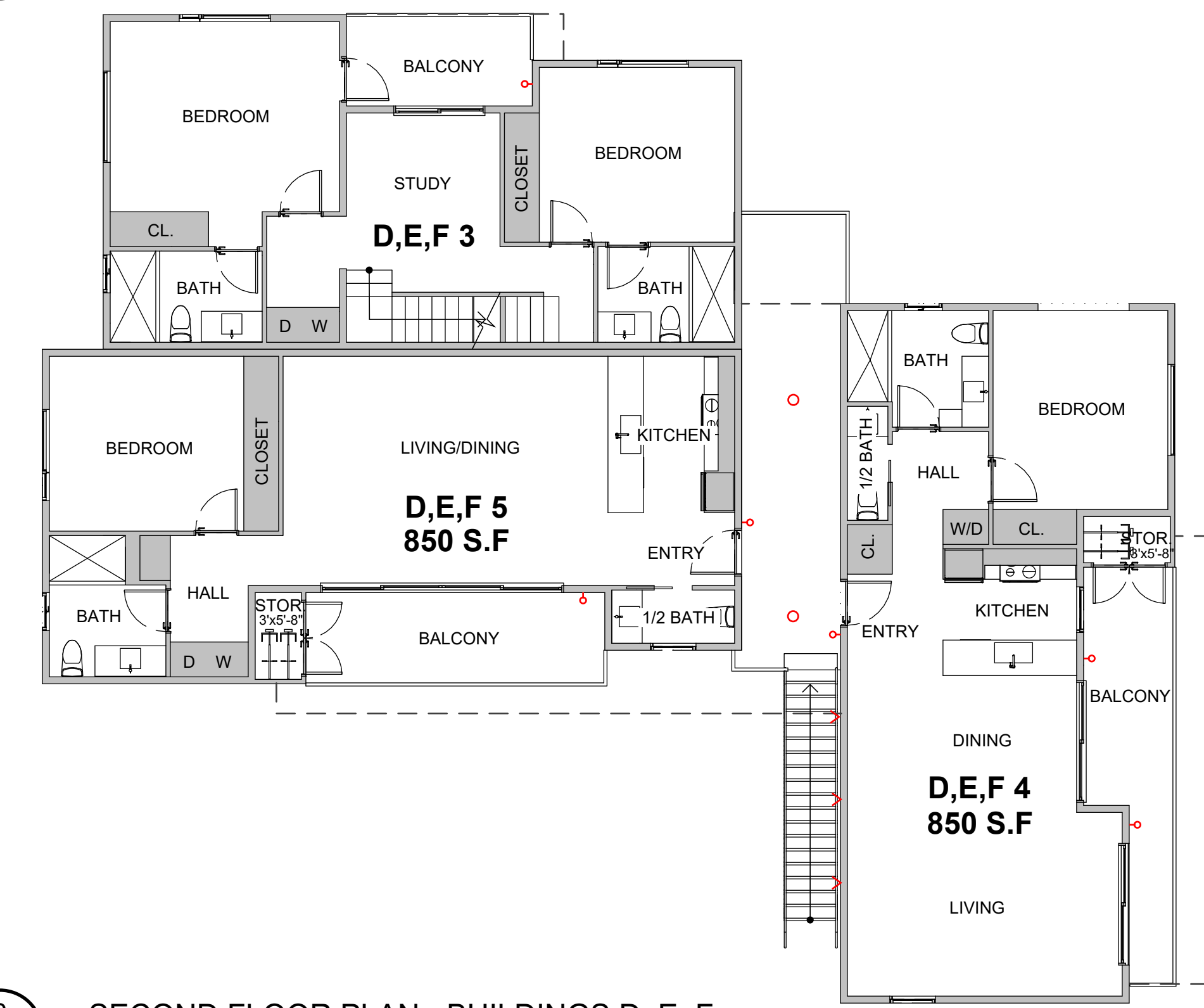


**4**  
A1.4 SOUTH ELEVATION - BUILDINGS D, E, F  
SCALE: 1/8" = 1' - 0"

**EXTERIOR MATERIALS**

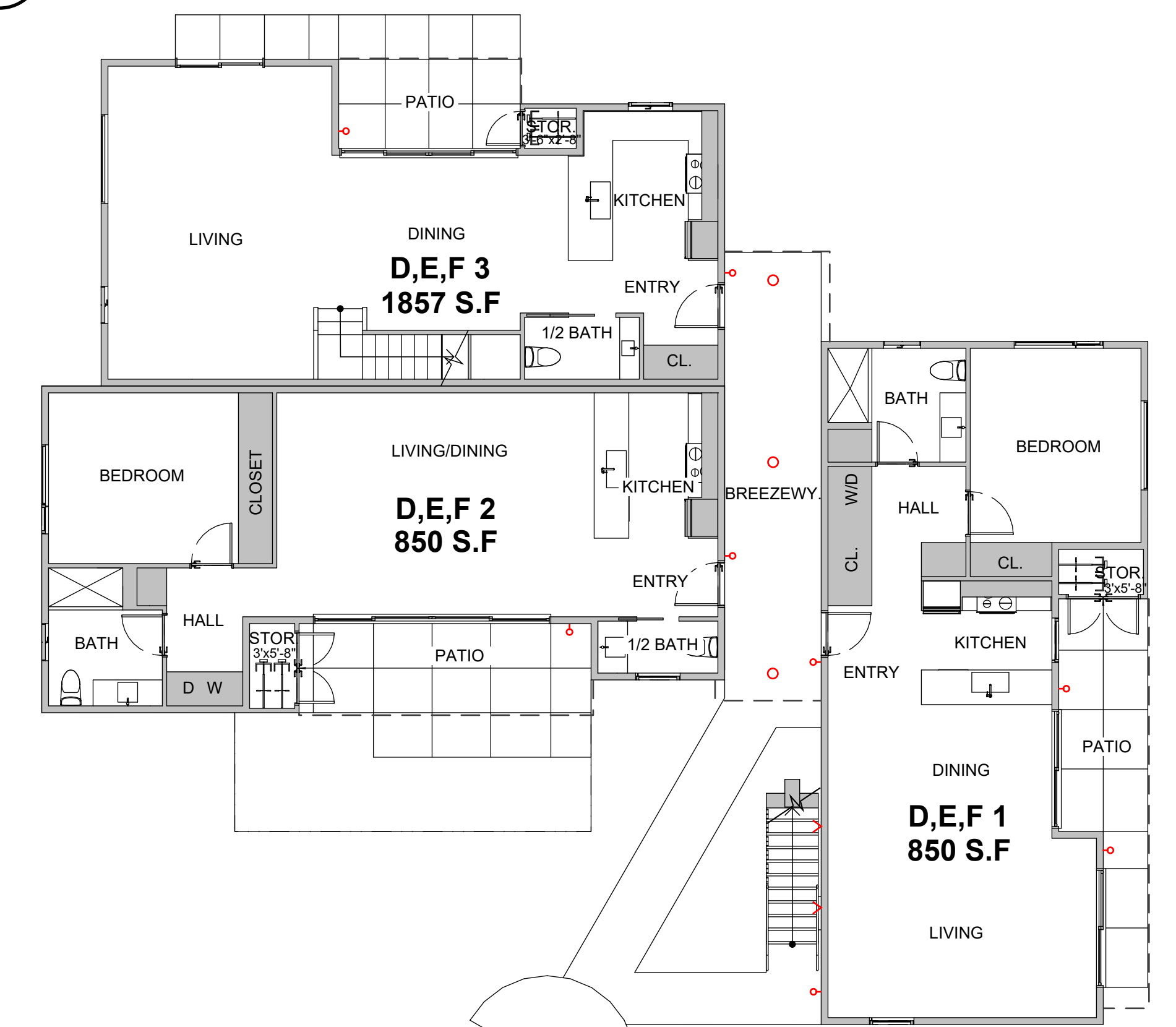
- ① TPO ROOF
- ② CEMENT PLASTER
- ③ PORCELAIN CLADDING
- ④ METAL RAILING
- ⑤ PAINTED METAL FASCIA
- ⑥ GLAZING

**5**  
A1.4 THIRD FLOOR PLAN - BUILDINGS D, E, F  
SCALE: 1/8" = 1' - 0"



- EXT. LIGHTING  
SEE SHEET A1.5
- ◁ STEP LIGHTS
- WALL SCONCE
- RECESSED DOWNLIGHT

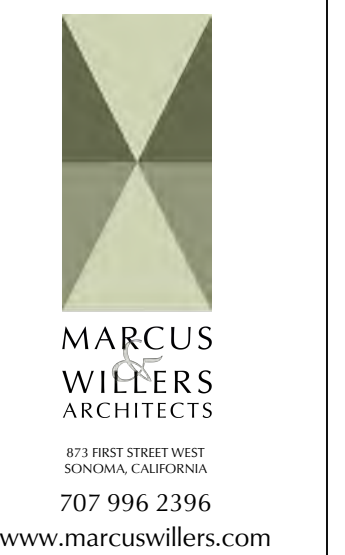
**6**  
A1.4 SECOND FLOOR PLAN - BUILDINGS D, E, F  
SCALE: 1/8" = 1' - 0"



- EXT. LIGHTING  
SEE SHEET A1.5
- ◁ STEP LIGHTS
- WALL SCONCE
- RECESSED DOWNLIGHT

**7**  
A1.4 MAIN FLOOR PLAN - BUILDINGS D, E, F  
SCALE: 1/8" = 1' - 0"

- EXT. LIGHTING  
SEE SHEET A1.6
- ◁ STEP LIGHTS
- WALL SCONCE
- RECESSED DOWNLIGHT



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**254 1ST STREET EAST  
BUILDINGS D,E,F**  
254 1ST STREET EAST  
SONOMA, CA  
A.P.N.: 018-131-018-000

BUILDINGS D,E,F  
FLOOR PLANS AND ELEVATIONS  
SCALE: 1/8" = 1'-0"  
NOT FOR CONSTRUCTION

DATE: FEBRUARY 27, 2024

REVISIONS:

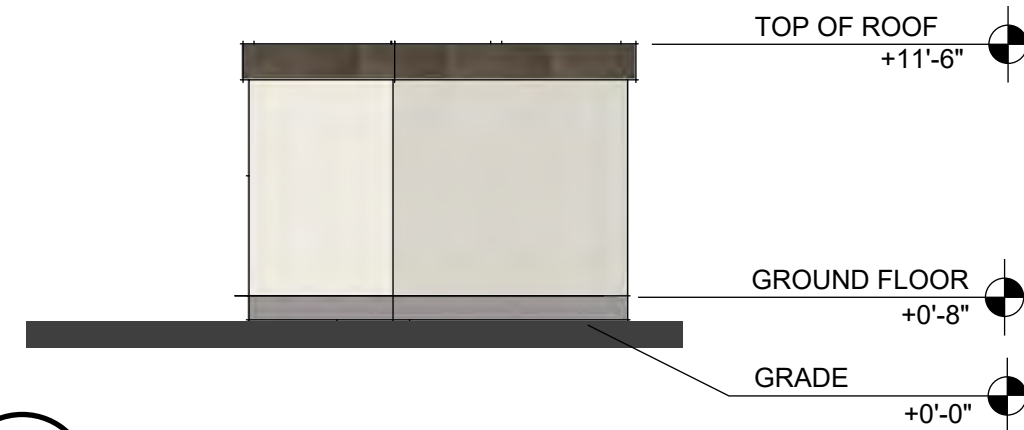
1	///	-
2	///	-
3	///	-

**D,E,F**

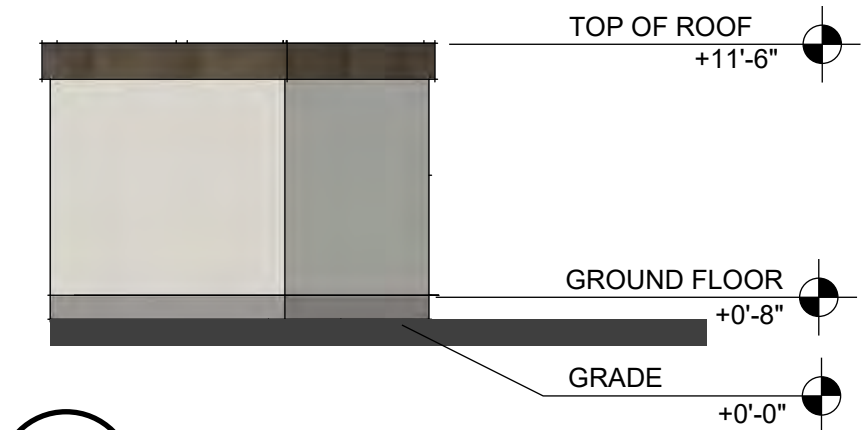
**A1.4**



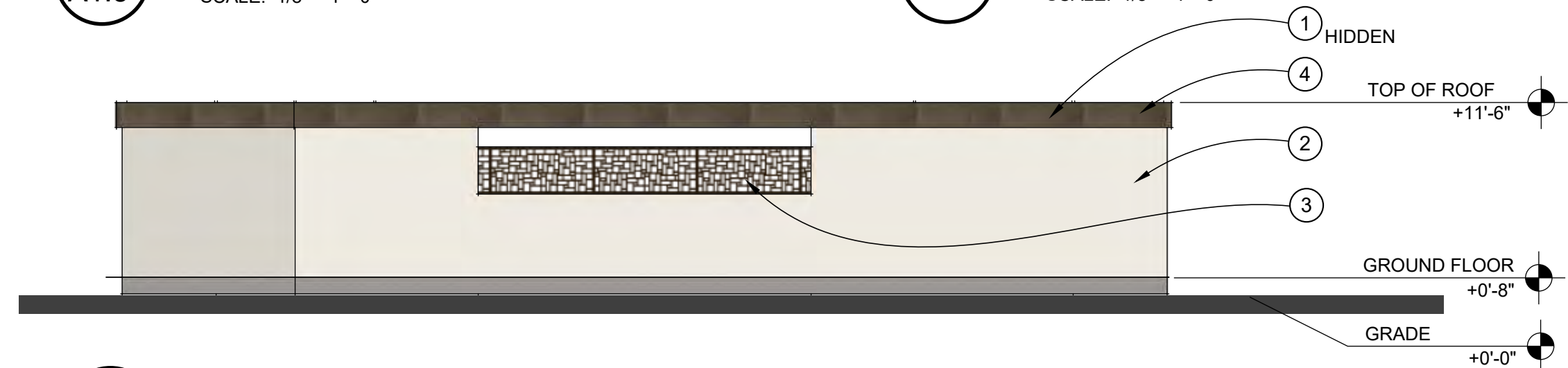
1 NORTH ELEVATION - BUILDINGS G  
A1.5 SCALE: 1/8" = 1' - 0"



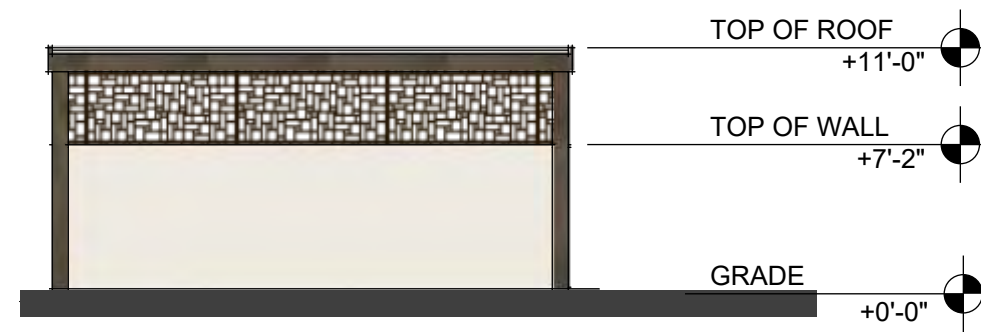
2 WEST ELEVATION - BUILDINGS G  
A1.5 SCALE: 1/8" = 1' - 0"



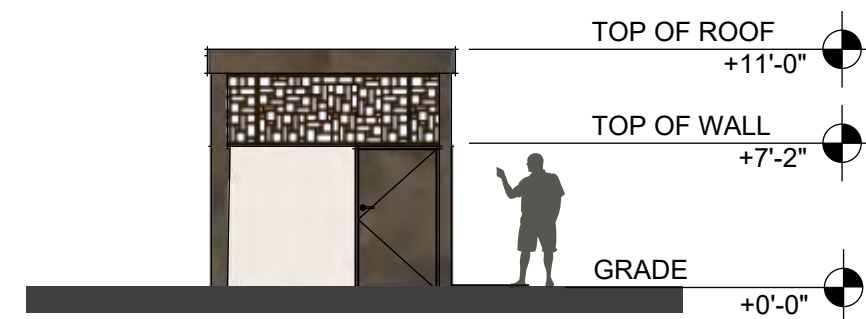
3 EAST ELEVATION - BUILDINGS G  
A1.5 SCALE: 1/8" = 1' - 0"



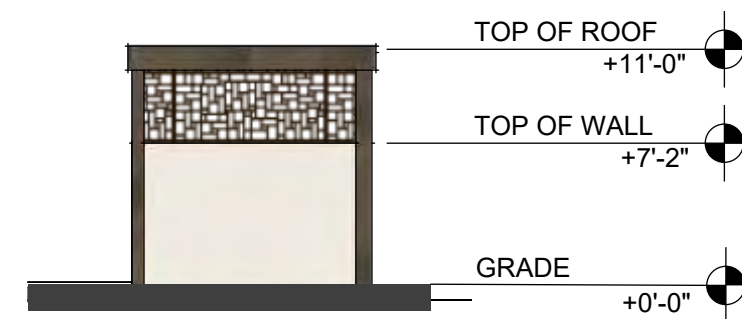
4 SOUTH ELEVATION - BUILDINGS G  
A1.5 SCALE: 1/8" = 1' - 0"



5 NORTH ELEVATION - BUILDING H  
A1.5 SCALE: 1/8" = 1' - 0"



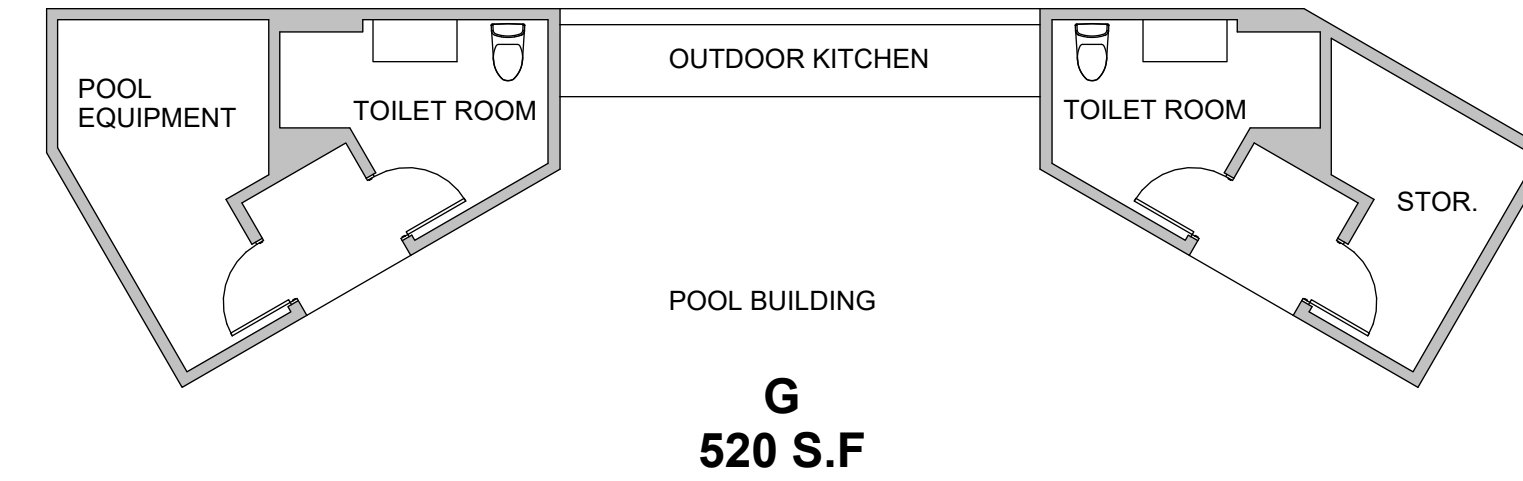
6 WEST ELEVATION - BUILDING H  
A1.5 SCALE: 1/8" = 1' - 0"



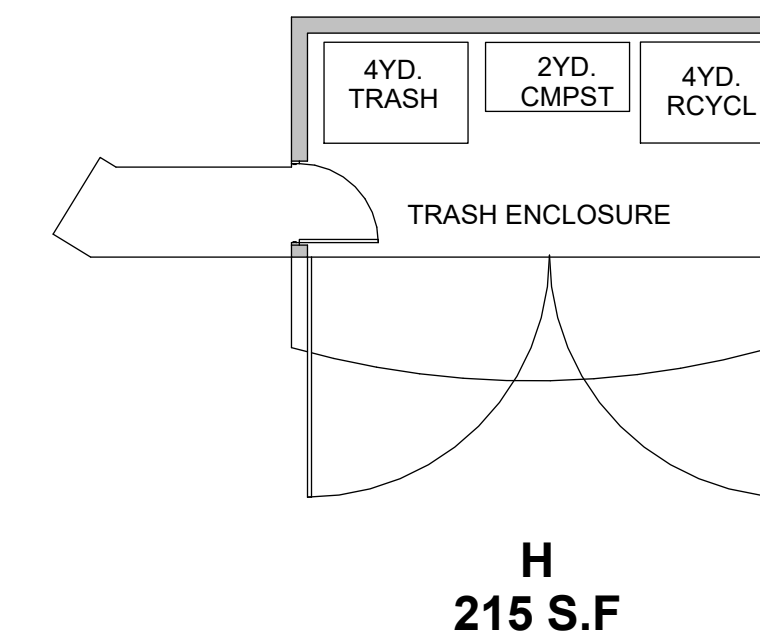
7 EAST ELEVATION - BUILDING H  
A1.5 SCALE: 1/8" = 1' - 0"



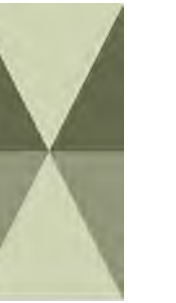
8 SOUTH ELEVATION - BUILDING H  
A1.5 SCALE: 1/8" = 1' - 0"



9 MAIN FLOOR PLAN - BUILDING G - POOL BUILDING  
A1.5 SCALE: 1/8" = 1' - 0"



10 SECOND FLOOR PLAN - BUILDING H - TRASH ENCLOSURE  
A1.5 SCALE: 1/8" = 1' - 0"



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254 1ST STREET EAST  
BUILDINGS D,E,F

254 1ST STREET EAST  
SONOMA, CA  
A.P.N.: 018-131-018-000

BUILDINGS G & H  
FLOOR PLANS AND ELEVATIONS

SCALE: 1/8" = 1'-0"  
NOT FOR CONSTRUCTION

DATE:  
FEBRUARY 27, 2024

REVISIONS:  
1 // -  
2 // -  
3 // -

G & H

A1.5



**Cubed | E23224-BK**

**PRODUCT DESCRIPTION**  
A simple in modern design, the cubed sconce is the perfect minimalist accent to your home's interior or exterior elevations. The sleek finish is the perfect complement to your home's interior or exterior elevations. The sleek finish is the perfect complement to your home's interior or exterior elevations.

**MEASUREMENTS**  
DIMENSION: 5.5" W x 8.5" H x 2.5" D  
BACK PLATE: 5.5" W x 4" H  
HANGING WEIGHT: 1.75 lb

**LEADING**  
RPMF VOLTAGE: 120-277V  
LUMENS: 900 (3000K) (3000K)  
BULB: 2 x (LOW LED PCB Integrated, 20W Total)  
BULB INCLUDED: (Integrated)  
DIMMABLE: Y  
CRI: 90 CRI  
COLOR TEMP: 3000K  
LIGHTING DIRECTION: Adjustable

**FINISH OPTION**  
Aluminum (BK)

**NATURAL**  
Aluminum

**RATINGS**  
CEC Listed  
WET Location  
ADA

**ADDITIONAL**  
DETAIL SPECIFICATIONS:  
RATED LIFE: 50,000 hours  
OPERATING TEMPERATURE: -20°C (-4°F) - 40°C (104°F)

Always consult a qualified electrician before installing any lighting product.

**Contemporary Lighting**  
WESTERN DISTRIBUTION CENTER HEADQUARTERS: 233 NORTH VINELAND AVE CITY OF INDUSTRY, CA 91746  
EASTERN DISTRIBUTION CENTER: 151 GARDNER PARK, 1 PEACHTREE CITY, GA 30349  
P: 626-958-4200 F: 626-958-4222 | modernlighting.com



**WALL SCONCE**  
CUBED OUTDOOR WALL SCONCE  
BY ET2



**STEP LIGHTS**  
CASA SQUARE OUTDOOR WALL LIGHT  
BY KURZCO

**CASA EW71305 WALL**

**DESCRIPTION**  
This family of exterior wall-mounted fixtures is available in a variety of geometric forms, circle, square, and two different recessed configurations. Light is directed downward from a recess, and the reflector allows the glow to radiate gradually, illuminating the wall and floor for elegant, ambient, and grace lighting. Optional stone-frag after additional opportunities for customizing different wall surfaces.

**Metal Finish**  
BK - Black  
GY - Gray

**SPECIFICATION DETAILS**  
\*For custom options, consult factory for details.

Fixture Dimensions	6W x 12" (16" x 12" x 4")
Light Source	40" LED Strips
Weight	1.1 lb
Total Lumens	4000lm
Recessed Mount	60" (60" x 60" (60" x 60"))
Voltage	120V
Color Temperature	3000K
CRI (Min)	90 CRI
Optional Color Temp	2700K - 5000K (Selectable, Minimum Order Quantity: 5000)
UL Listed Life	50,000 Hours
Dimming	100% - 10% (Dimmer Switch Required)
Wet Rating	Wet Location
ADA Compliant	Yes
Location	Wet
Compliance	ADA
Warranty	3 Years

**KURZCO**  
18024 24TH AVENUE  
SUNRAY - SC 1522 6669  
CINCINNATI  
WWW.KURZCO.COM

**WINDOWS AND DOORS**  
KOLBE VISTA LUXE AL LINE  
THERMALLY BROKEN ALL ALUMINUM  
WINDOWS AND DOORS  
COLOR: SIGNAL BLACK



**METAL RAILINGS**  
DECORATIVE METAL PANELS  
AND RAILINGS, PAINTED FINISH  
COLOR: SEE PALETTE



**EXTERIOR COLOR PALETTE**

Metal Fascia and Railings
BENJAMIN MOORE Willow CC-542
Soffits and Exterior Ceilings (Hidden)
BENJAMIN MOORE Simply White OC-117
Cement Plaster Color
BENJAMIN MOORE Silver Fox 2108-50
Infill Panels
Neolith Porcelain Cladding Sofia Cuprum



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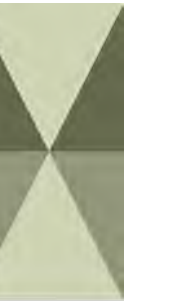
**254 1ST STREET EAST COLOR PALETTE**  
254 1ST STREET EAST  
SONOMA, CA  
A.P.N.: 018-131-018-000

TYPICAL EXTERIOR MATERIALS, COLORS & LIGHTING

**NOT FOR CONSTRUCTION**

DATE: FEBRUARY 27, 2024  
REVISIONS:

**TYP.**  
**A1.6**



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**254 1ST STREET EAST  
RENDERINGS**

254 1ST STREET EAST  
SONOMA, CA  
A.P.N. : 018-131-018-000

TYPICAL  
EXTERIOR RENDERINGS  
NOT FOR CONSTRUCTION

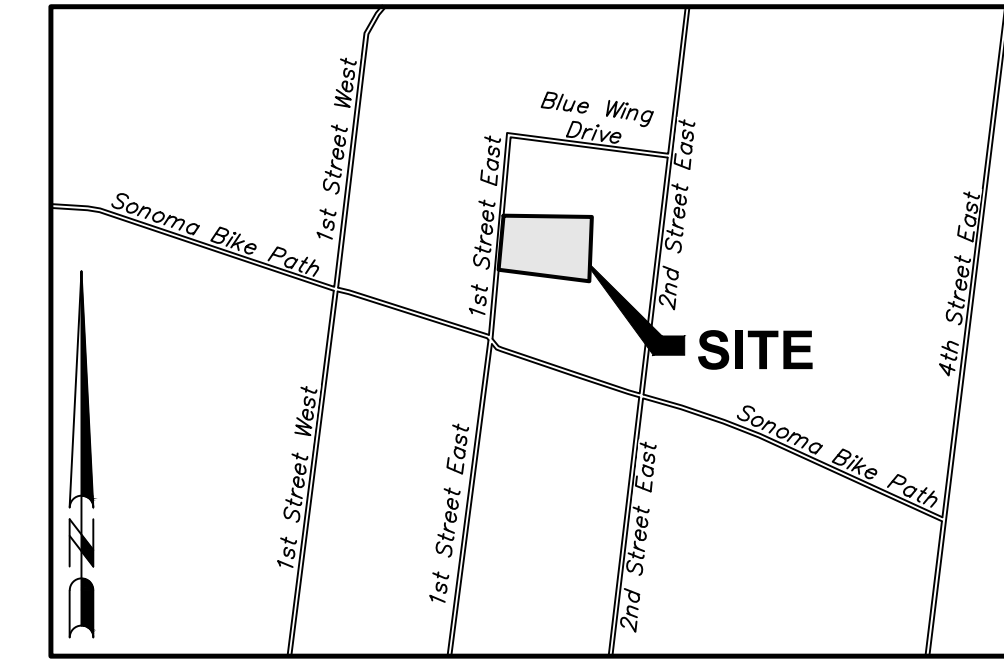
DATE:  
FEBRUARY 27, 2024  
REVISIONS:

TYP.  
A1.7

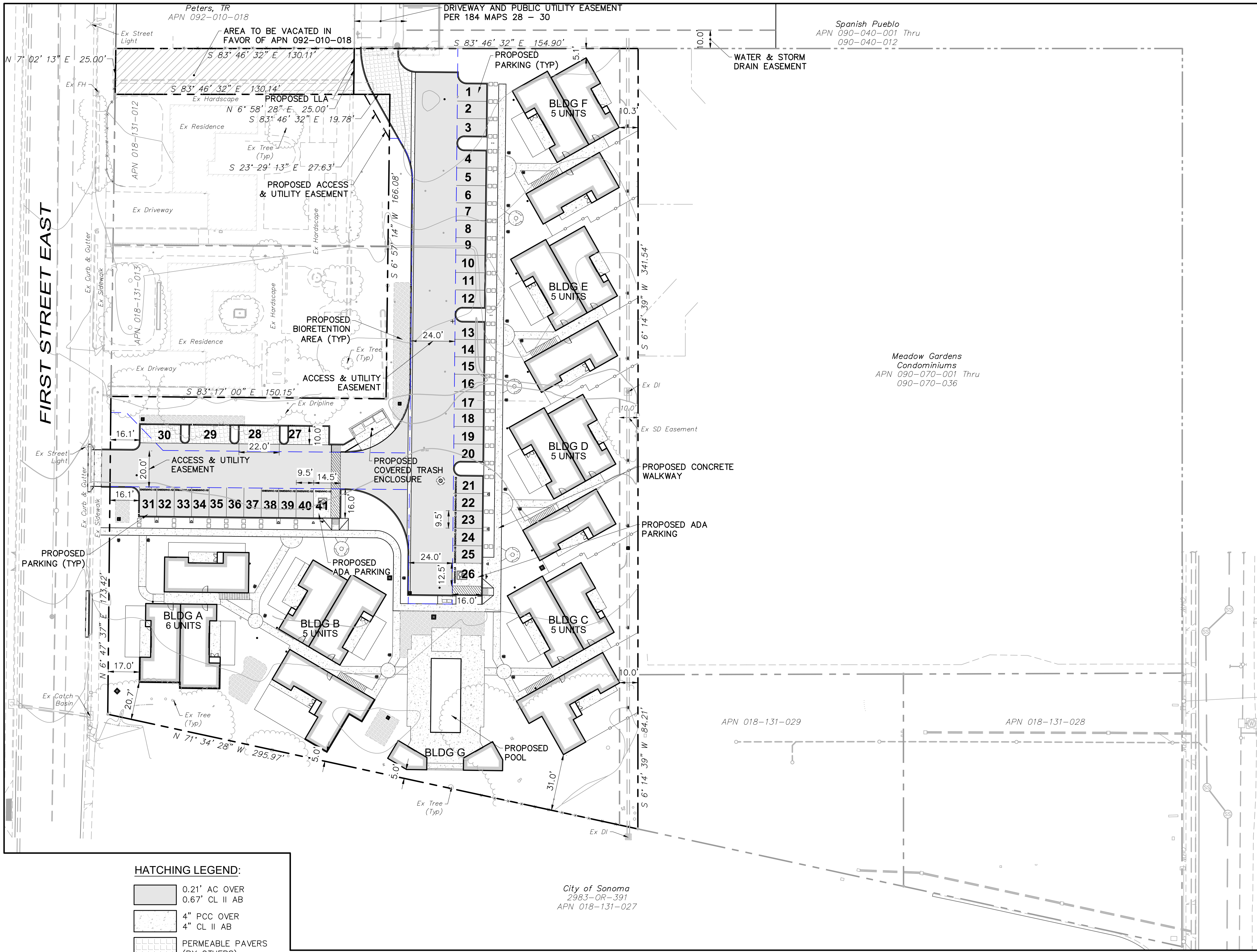
# TENTATIVE MAP FSE PROJECT 254 1ST STREET EAST Sonoma, California APN: 018-131-018

## SHEET INDEX

C1.0	TITLE SHEET
C2.0	EXISTING CONDITIONS MAP
C3.0-C3.2	GRADING & DRAINAGE PLAN
C4.0-C4.2	UTILITY PLAN
C5.0-C5.1	CONDOMINIUM PLAN
C6.0	SITE COVERAGE MAP
C7.0	STORMWATER CONTROL PLAN
C8.0	SITE SECTION



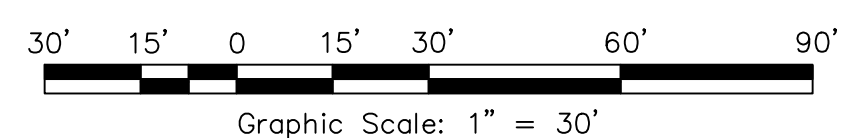
LOCATION MAP  
NOT TO SCALE



### HATCHING LEGEND:

[Hatch Pattern]	0.21' AC OVER
[Hatch Pattern]	0.67' CL II AB
[Hatch Pattern]	4" PCC OVER
[Hatch Pattern]	4" CL II AB
[Hatch Pattern]	PERMEABLE PAVERS (BY OTHERS)
[Hatch Pattern]	BIO-RETENTION AREA

### OVERALL SITE PLAN



### OWNER/SUBDIVIDER

KELSO BARNETT  
NORTH OF THE MISSION LLC  
P.O. BOX 1452  
SONOMA, CA 95476  
PHONE: (707) 758-3805  
EMAIL: KELSOGBARNETT@GMAIL.COM

### ENGINEER

TIM SCHRAM, RCE 67890  
ADOBE ASSOCIATES, INC.  
1220 N DUTTON AVENUE  
SANTA ROSA, CALIFORNIA 95401  
PHONE: (707) 541-2300  
FAX: (707) 541-2301

### ARCHITECT

MARCUS & WILLERS ARCHITECTS  
873 FIRST STREET WEST  
SONOMA, CA 95476  
PHONE: (707) 996-2396

### SURVEYOR

AARON SMITH, PLS 7901  
ADOBE ASSOCIATES, INC.  
1220 N DUTTON AVENUE  
SANTA ROSA, CALIFORNIA 95401  
PHONE: (707) 541-2300  
FAX: (707) 541-2301

### TOPOGRAPHIC REFERENCE

PHILLIP A DANKIN & ASSOCIATES  
265 E AGUA CALIENTE RD  
SONOMA, CA 95476  
PHONE: (707) 938-2520

REFERENCE DATA:  
"TOPOGRAPHIC MAP" OF THE LANDS OF THE LKN TRUST AS DESCRIBED IN OFFICIAL RECORDS INSTRUMENT NO. 2003-202544 BEING A PORTION OF THE LANDS CONVEYED IN BOOK 876 OF OFFICIAL RECORDS, AT PAGE 519 SONOMA COUNTY RECORDS CITY OF SONOMA, DATE OF SURVEY; AUGUST 2006, SURVEY NO: 872; DATUM = NGVD 1929

ADDITIONAL TOPO PROVIDED BY BKF

### ABBREVIATIONS

AA	ADOBE ASSOCIATES, INC	IG	INVERT GRATE
AB	AGGREGATE BASE	LF	LINEAR FEET
AC	ASPHALT CONCRETE	MAX	MAXIMUM
AD	AREA DRAIN	MH	MANHOLE
BLDG	BUILDING	MIN	MINIMUM
BM	BENCHMARK	NTS	NOT TO SCALE
C	COMPACT PARKING	NO	NUMBER
CB	CATCH BASIN	PIV	POST INDICATOR VALVE
CL	CLASS	PL	PROPERTY LINE
CL	CENTERLINE	PP	POWER POLE
CO	CLEANOUT	PUE	PUBLIC UTILITY EASEMENT
CONC	CONCRETE	RCE	REGISTERED CIVIL ENGINEER
DI	DROP INLET	RCP	REINFORCED CONCRETE PIP
DWY	DRIVEWAY	R/W	RIGHT OF WAY
EG	EXISTING GRADE	S	SLOPE
EP	EDGE OF PAVEMENT	SD	STORM DRAIN
EL	ELEVATION	SS	SANITARY SEWER
EX	EXISTING	STA	STATION
FL	FLOWLINE	STD	STANDARD
FG	FINISH GRADE	TC	TOP OF CURB
FH	FIRE HYDRANT	TYP	TYPICAL
FS	FINISH SURFACE	W	WATER
FSS	FIRE SAFE STANDARD	WM	WATER METER
GB	GRADE BREAK	WV	WATER VALVE
GR	GRATE		
HC	HANDICAPPED		

### SITE INFORMATION

SITE AREA  
EXISTING LOT..... (2.03 ACRES)  
PROPOSED LOT..... (1.96 ACRES)

ZONING  
MIXED USE, MX

EASEMENTS  
THERE IS AN EXISTING 10' SD EASEMENT PER 2665 O.R. 559

PROJECT DESCRIPTION  
THIS PROJECT PROPOSES A LOT SUBDIVISION AND GRADING AND DRAINAGE IMPROVEMENTS FOR A 31 CONDOMINIUMS.

### LEGEND

PROPOSED	EXISTING	DESCRIPTION
[Symbol]	[Symbol]	PROPERTY BOUNDARY
[Symbol]	[Symbol]	SANITARY SEWER & MANHOLE
[Symbol]	[Symbol]	SANITARY SEWER & CLEANOUT
[Symbol]	[Symbol]	STORM DRAIN & MANHOLE
[Symbol]	[Symbol]	STORM DRAIN & DRAINAGE INLET (DI)
[Symbol]	[Symbol]	STORM DRAIN & AREA DRAIN (AD)
[Symbol]	[Symbol]	ROOF DRAIN & DOWN SPOUT (DS)
[Symbol]	[Symbol]	WATER SERVICE / WM
[Symbol]	[Symbol]	WATER MAIN & GATE/WATER VALVE
[Symbol]	[Symbol]	FIRE HYDRANT WITH BOLLARDS
[Symbol]	[Symbol]	DAYLIGHT LINE
[Symbol]	[Symbol]	APPROXIMATE LIMIT OF GRADING/DISTURBANCE
[Symbol]	[Symbol]	INDEX CONTOUR
[Symbol]	[Symbol]	INTERMEDIATE CONTOUR
[Symbol]	[Symbol]	GRADE BREAK W/ SLOPE SYMBOL
[Symbol]	[Symbol]	PROPOSED ACCESS & UTILITY EASEMENT

TENTATIVE MAP - FSE PROJECT

TITLE SHEET  
254 1st Street East  
Sonoma, California  
APN 018-131-018

SCALE: AS NOTED  
Date: February 27, 2024  
Design by: KM  
Drawn by: KM  
Checked by: TJSZK

Sheet  
C1.0

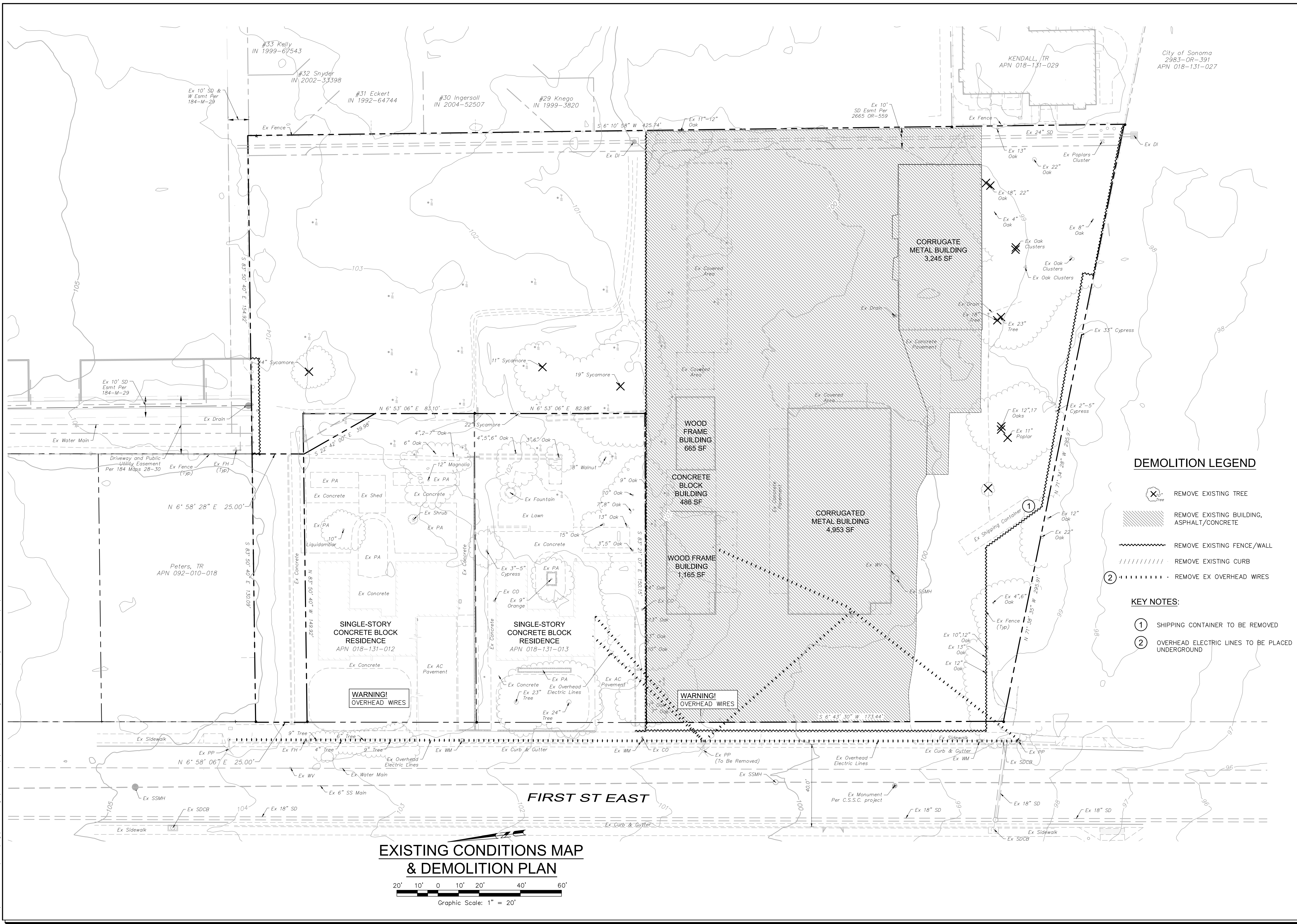
1 of 13 Sheets  
Job 23191

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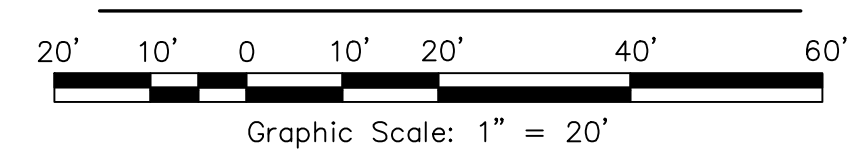
PROFESSIONAL ENGINEER # 15101 CALIF  
TIMOTHY L. SCHRAM  
No. 087890  
Exp. 6/30/2025  
REGISTERED CIVIL ENGINEER  
STATE OF CALIFORNIA

Timothy L. Schram, RCE 67890  
My license expires 6/30/2025

T:\2023 PROJECTS\23191\Design\Adobe-Design\Tentative Map.dwg, Kai Mureta, 2/27/2024, 10:52:52 AM



**EXISTING CONDITIONS MAP  
& DEMOLITION PLAN**



**DEMOLITION LEGEND**

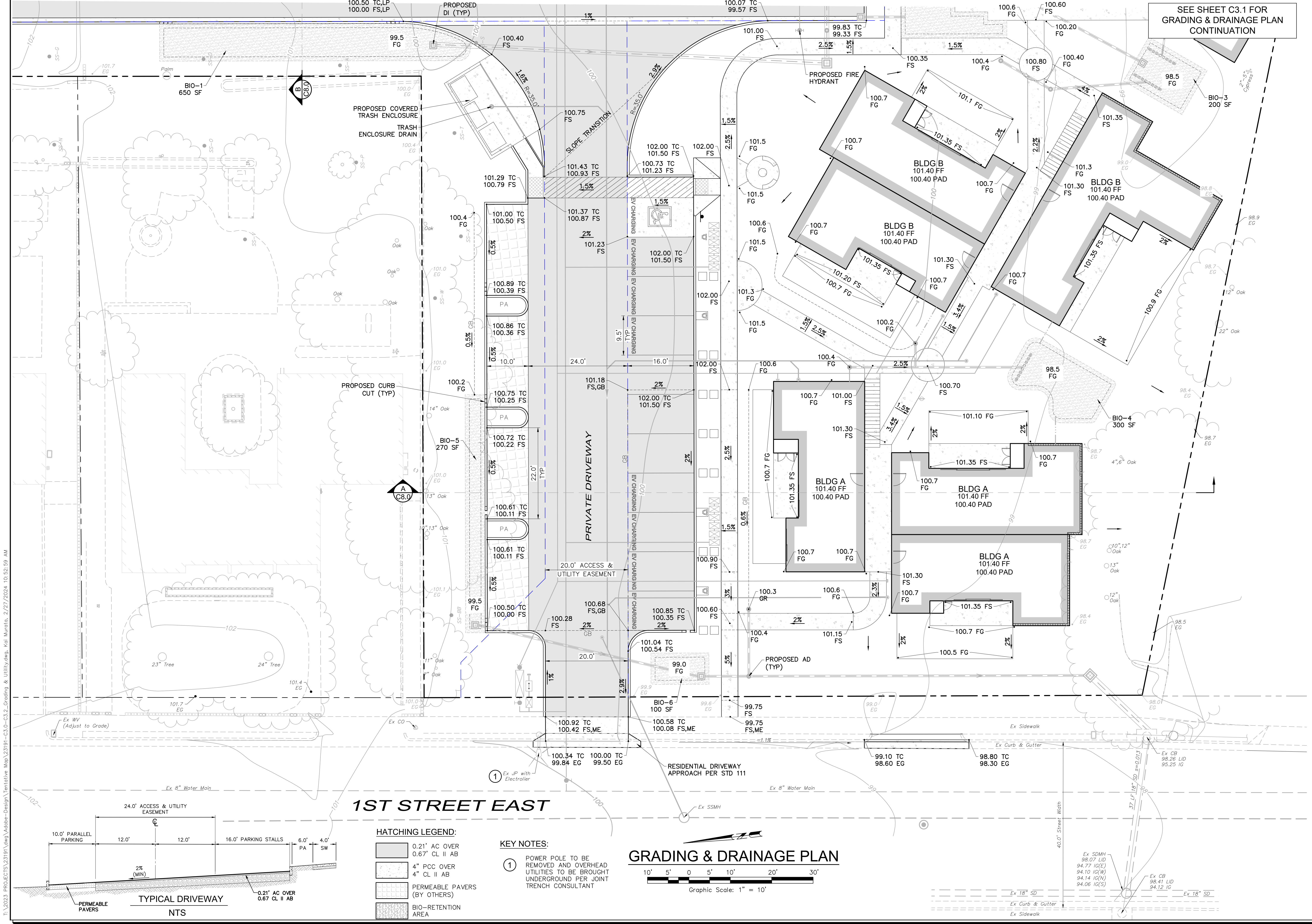
- REMOVE EXISTING TREE
- REMOVE EXISTING BUILDING, ASPHALT/CONCRETE
- REMOVE EXISTING FENCE/WALL
- REMOVE EXISTING CURB
- REMOVE EX OVERHEAD WIRES

**KEY NOTES:**

- ① SHIPPING CONTAINER TO BE REMOVED
- ② OVERHEAD ELECTRIC LINES TO BE PLACED UNDERGROUND

<p>SCALE: AS NOTED</p> <p>Date: February 27, 2024</p> <p>Design by: KM</p> <p>Drawn by: KM</p> <p>Checked by: TJSZK</p>	<p>TENTATIVE MAP - FSE PROJECT</p> <p>EXISTING CONDITIONS MAP</p> <p>254 1st Street East Sonoma, California APN 018-131-018</p>	<p>Revisions</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>No.</th> <th>Date</th> <th>Description</th> <th>Approved</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	No.	Date	Description	Approved					<p><b>adobe associates, inc.</b> civil engineering / land surveying / wastewater</p> <p>1220 N. Dutton Ave., Santa Rosa, CA 95401 P: (707) 541-2300 F: (707) 541-2301 Website: www.adobeinc.com</p> <p>"A Service You Can Count On!"</p>	<p>City of Sonoma 2983-OR-391 APN 018-131-029</p> <p>KENDALL, TR APN 018-131-029</p> <p>#33 Kelly IN 1999-67543</p> <p>#32 Snyder IN 2002-33398</p> <p>#31 Eckert IN 1992-64744</p> <p>#30 Ingersoll IN 2004-52507</p> <p>#29 Knego IN 1999-3820</p> <p>Peters, TR APN 092-010-018</p> <p>SINGLE-STORY CONCRETE BLOCK RESIDENCE APN 018-131-012</p> <p>SINGLE-STORY CONCRETE BLOCK RESIDENCE APN 018-131-013</p> <p>WOOD FRAME BUILDING 665 SF</p> <p>CONCRETE BLOCK BUILDING 486 SF</p> <p>WOOD FRAME BUILDING 1,165 SF</p> <p>CORRUGATED METAL BUILDING 4,953 SF</p> <p>CORRUGATE METAL BUILDING 3,245 SF</p>
No.	Date	Description	Approved									





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**SCALE:** AS NOTED

Date: February 27, 2024

Design by: KM

Drawn by: KM

Checked by: TJSZK

Sheet **C3.0**

3 of 13 Sheets  
Job 23191

**TENTATIVE MAP - FSE PROJECT**

**GRADING & DRAINAGE PLAN**

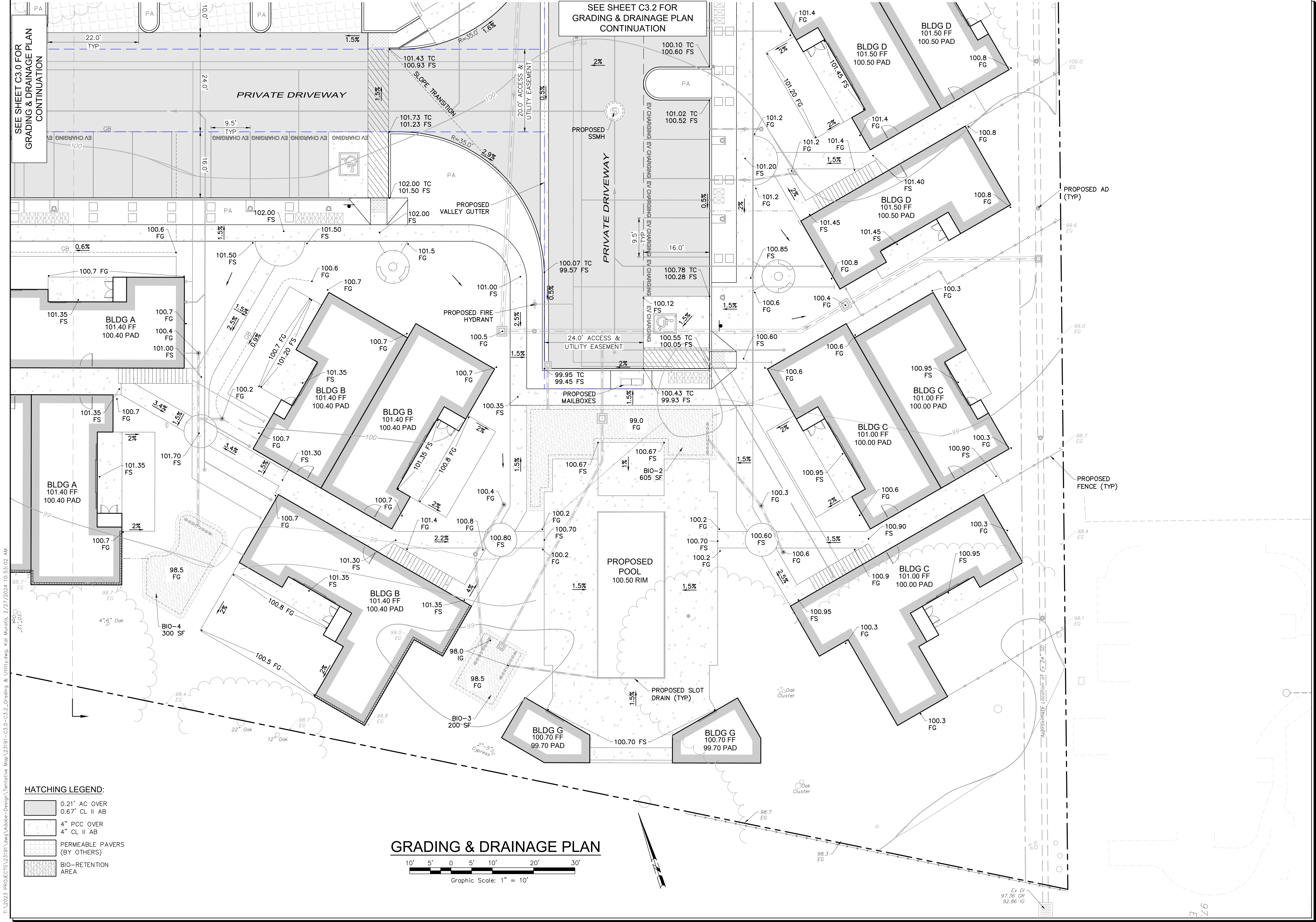
254 1st Street East  
Sonoma, California  
APN 018-131-018

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Professional Engineer - Wastewater  
TIMOTHY L. SCHRAM  
No. 087890  
Exp. 6/30/2025  
REGISTERED PROFESSIONAL ENGINEER - WASTEWATER  
STATE OF CALIFORNIA

Timothy L. Schram, PCE 67890  
My license expires 6/30/2025

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**HATCHING LEGEND:**

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	4" PCC OVER 4" CL II AB
	PERMEABLE PAVERS (BY OTHERS)
	BIO-RETENTION AREA

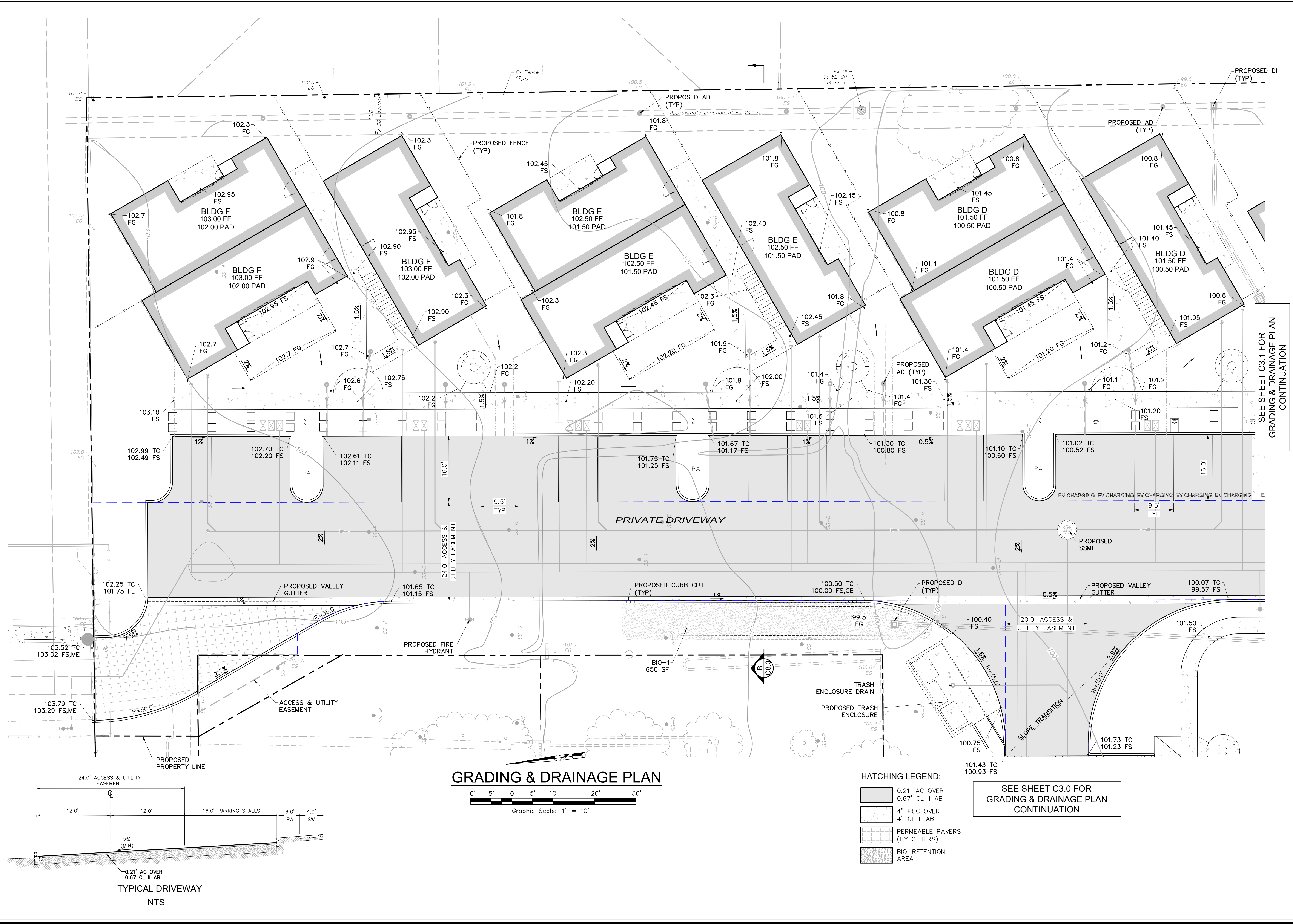
**GRADING & DRAINAGE PLAN**  
 10' 5' 0' 5' 10' 20' 30'  
 Graphic Scale: 1" = 10'

SEE SHEET C3.0 FOR  
GRADING & DRAINAGE PLAN  
CONTINUATION

SEE SHEET C3.2 FOR  
GRADING & DRAINAGE PLAN  
CONTINUATION

SCALE: AS NOTED		Date: February 27, 2024		Revisions	
Design by: KM		Drawn by: KM		No.	Description
Checked by: TJSZK		Job: 23191		Date	Approved
Sheet		C3.1		4 of 13 Sheets	
TENTATIVE MAP - FSE PROJECT		GRADING & DRAINAGE PLAN		Job 23191	
254 1st Street East		Sonoma, California		APN 018-131-018	
 Timothy L. Schram, PCE 67890 My license expires 6/30/2025		 adobe associates, inc. civil engineering / land surveying / wastewater 1220 N. Dutton Ave., Santa Rosa, CA 95401 P. (707) 541-2300 F. (707) 541-2301 Website: www.adobeinc.com *A Service You Can Count On!™		Revisions Description Approved	

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SEE SHEET C3.1 FOR GRADING & DRAINAGE PLAN CONTINUATION

**TENTATIVE MAP - FSE PROJECT**

**GRADING & DRAINAGE PLAN**

254 1st Street East  
Sonoma, California  
APN 018-131-018

**SCALE:** AS NOTED

Date: February 27, 2024  
Design by: KM  
Drawn by: KM  
Checked by: TJSZK

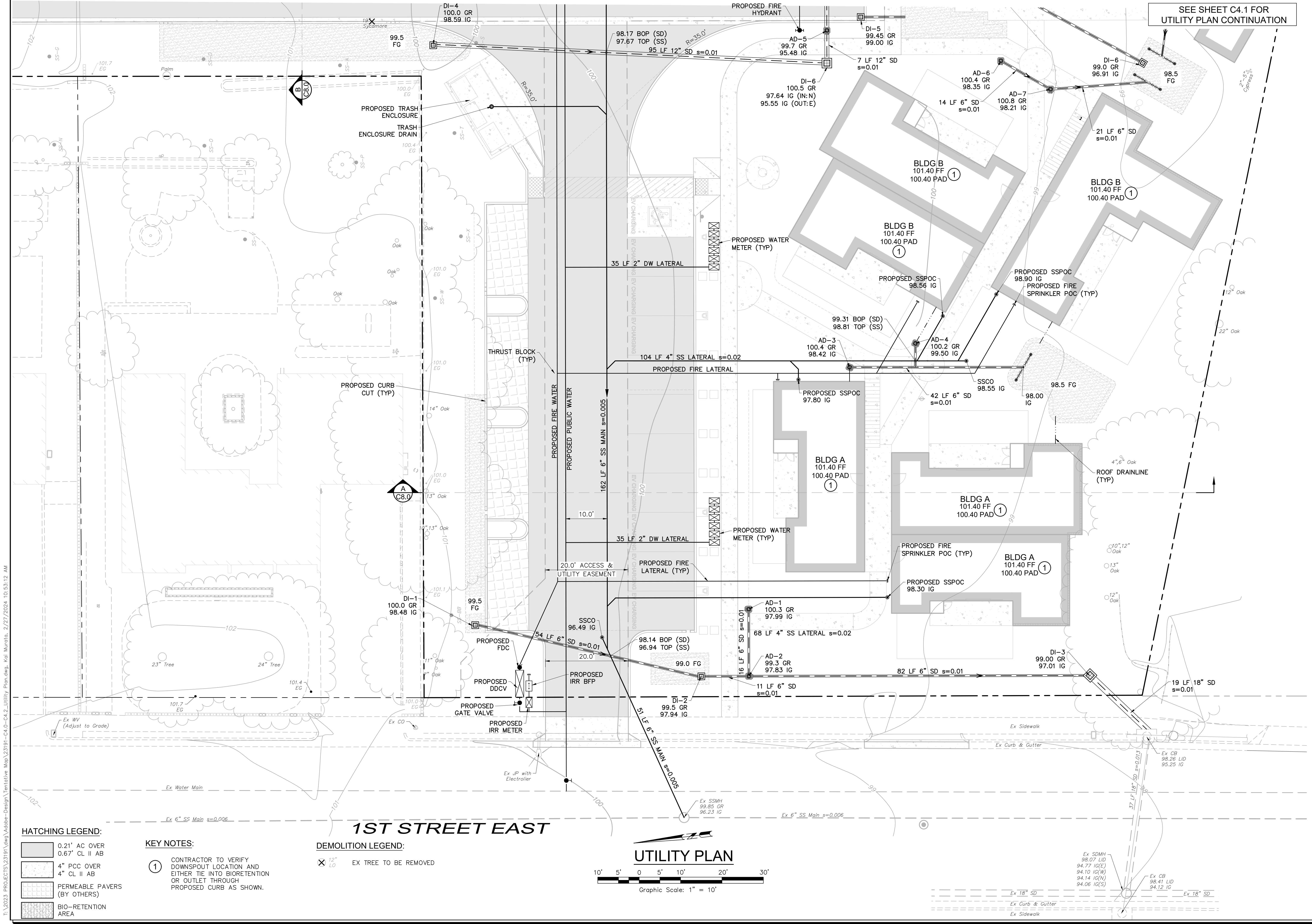
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5 of 13 Sheets  
Job 23191

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**HATCHING LEGEND:**

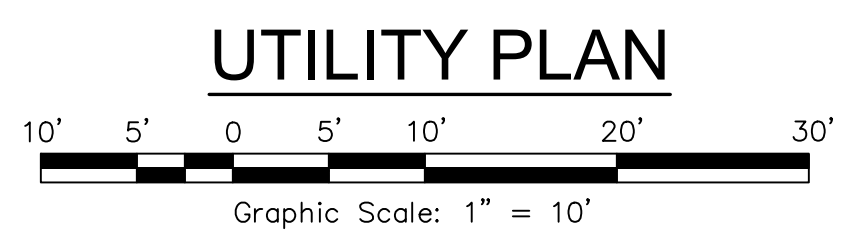
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[Hatching Pattern]	0.67' CL II AB
[Hatching Pattern]	4" PCC OVER
[Hatching Pattern]	4" CL II AB
[Hatching Pattern]	PERMEABLE PAVERS (BY OTHERS)
[Hatching Pattern]	BIO-RETENTION AREA

**KEY NOTES:**

① CONTRACTOR TO VERIFY DOWNSPOUT LOCATION AND EITHER TIE INTO BIORETENTION OR OUTLET THROUGH PROPOSED CURB AS SHOWN.

**DEMOLITION LEGEND:**

⊗ EX TREE TO BE REMOVED



SEE SHEET C4.1 FOR UTILITY PLAN CONTINUATION

**TENTATIVE MAP - FSE PROJECT**

**UTILITY PLAN**

254 1st Street East  
Sonoma, California  
APN 018-131-018

SCALE: AS NOTED

Date: February 27, 2024  
Design by: KM  
Drawn by: KM  
Checked by: TJSZR

Sheet **C4.0**

6 of 13 Sheets  
Job 23191

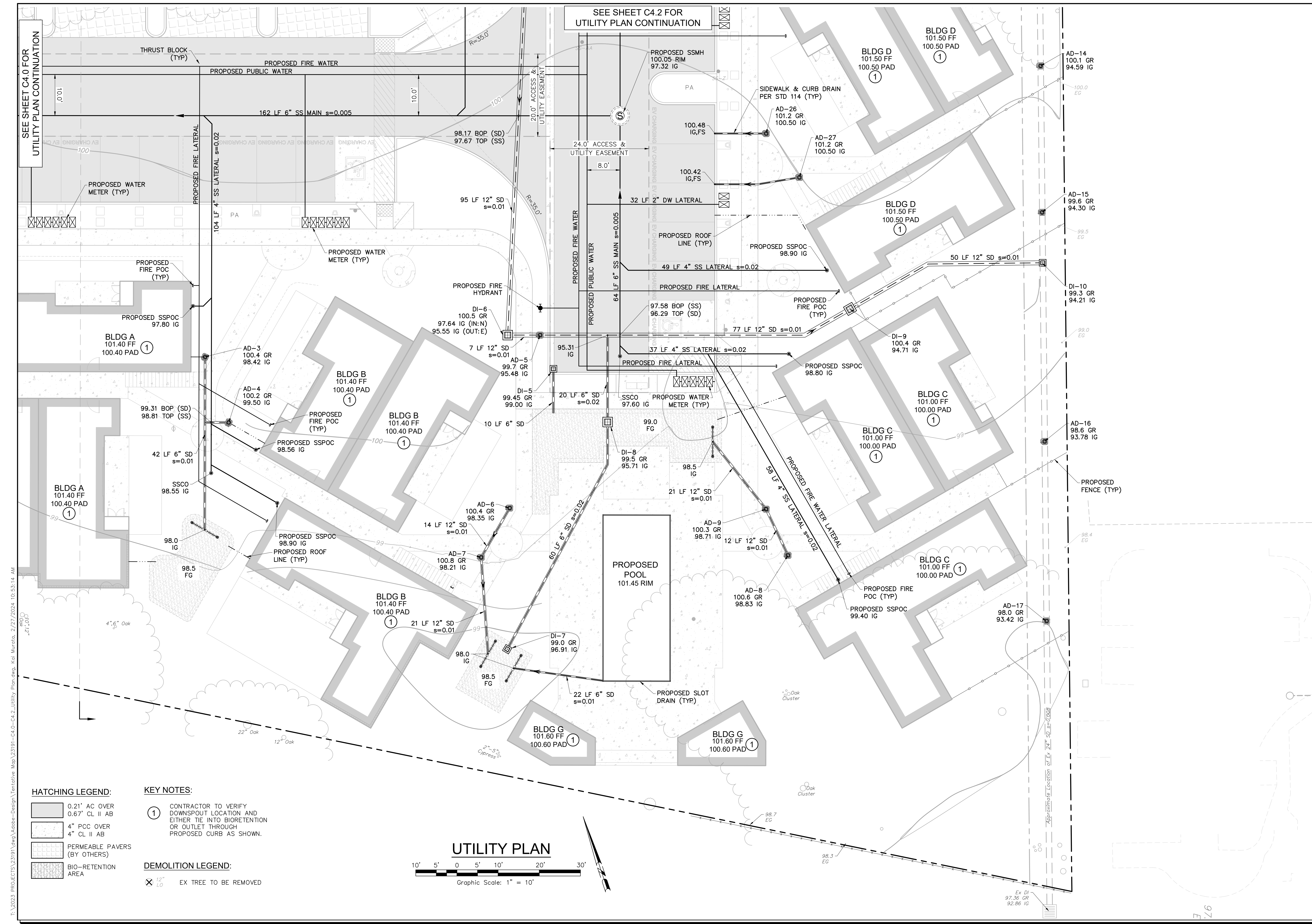
Revisions

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My license expires 6/30/2025

PROFESSIONAL ENGINEER - WASTEWATER  
TIMOTHY L. SCHRAM  
No. 087890  
Exp. 6/30/2025  
REGISTERED PROFESSIONAL ENGINEER - CIVIL  
STATE OF CALIFORNIA



**HATCHING LEGEND:**

[Pattern]	0.21' AC OVER 0.67' CL II AB
[Pattern]	4" PCC OVER 4" CL II AB
[Pattern]	PERMEABLE PAVERS (BY OTHERS)
[Pattern]	BIO-RETENTION AREA

- KEY NOTES:**
- ① CONTRACTOR TO VERIFY DOWNSPOUT LOCATION AND EITHER TIE INTO BIORETENTION OR OUTLET THROUGH PROPOSED CURB AS SHOWN.
- DEMOLITION LEGEND:**
- $\times \frac{12}{10}$  EX TREE TO BE REMOVED

Revisions	No.	Date	Description	Approved

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**TENTATIVE MAP - FSE PROJECT**

**UTILITY PLAN**

254 1st Street East  
Sonoma, California  
APN 018-131-018

SCALE: AS NOTED

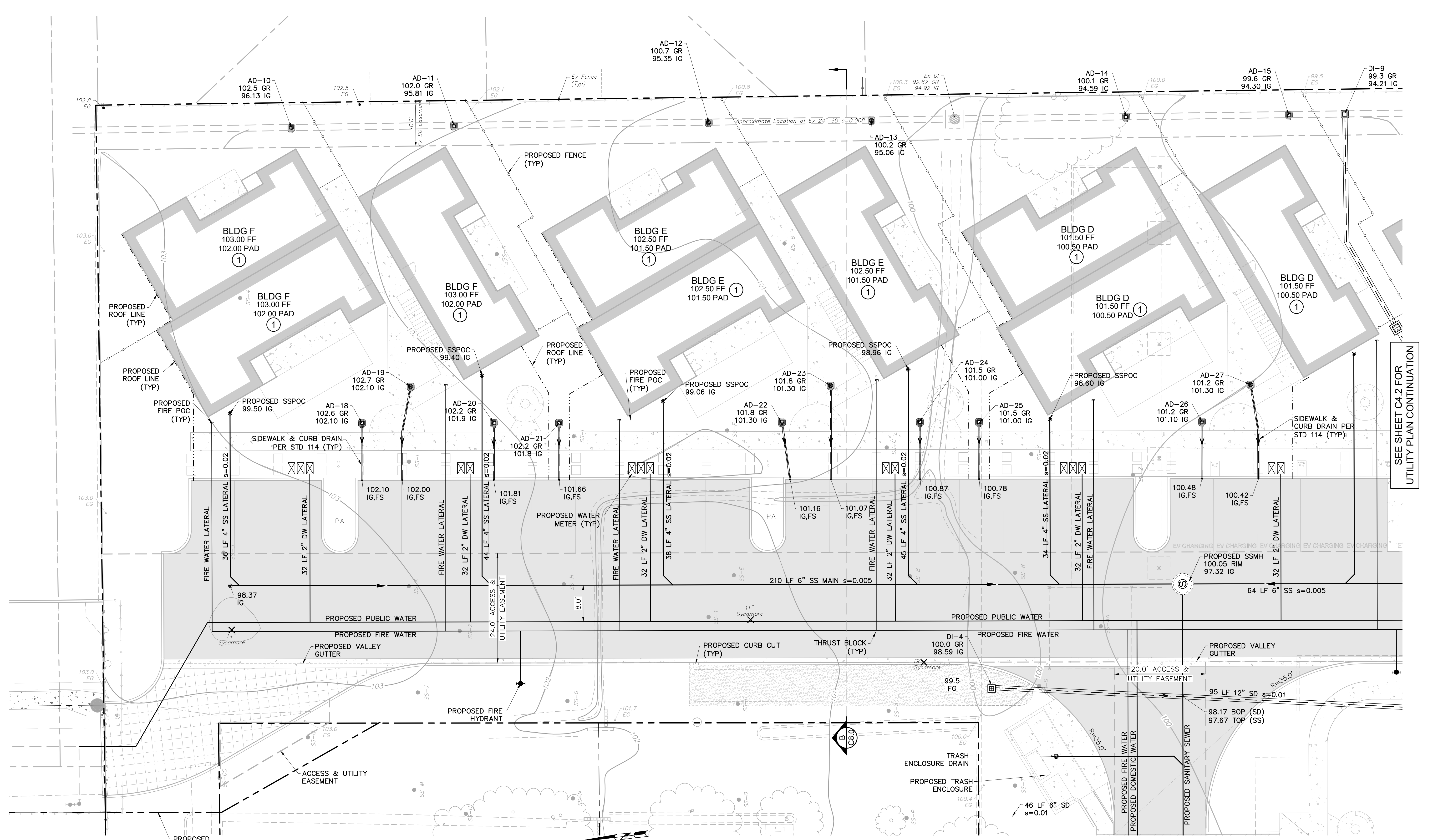
Date: February 27, 2024  
Design by: KM  
Drawn by: KM  
Checked by: TJSZK

Sheet **C4.1**

7 of 13 Sheets  
Job 23191

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SEE SHEET C4.2 FOR UTILITY PLAN CONTINUATION

**TENTATIVE MAP - FSE PROJECT**

**UTILITY PLAN**

254 1st Street East  
Sonoma, California  
APN 018-131-018

**SCALE:** AS NOTED

Date: February 27, 2024  
Design by: KM  
Drawn by: KM  
Checked by: TJSZK

Sheet **C4.2**

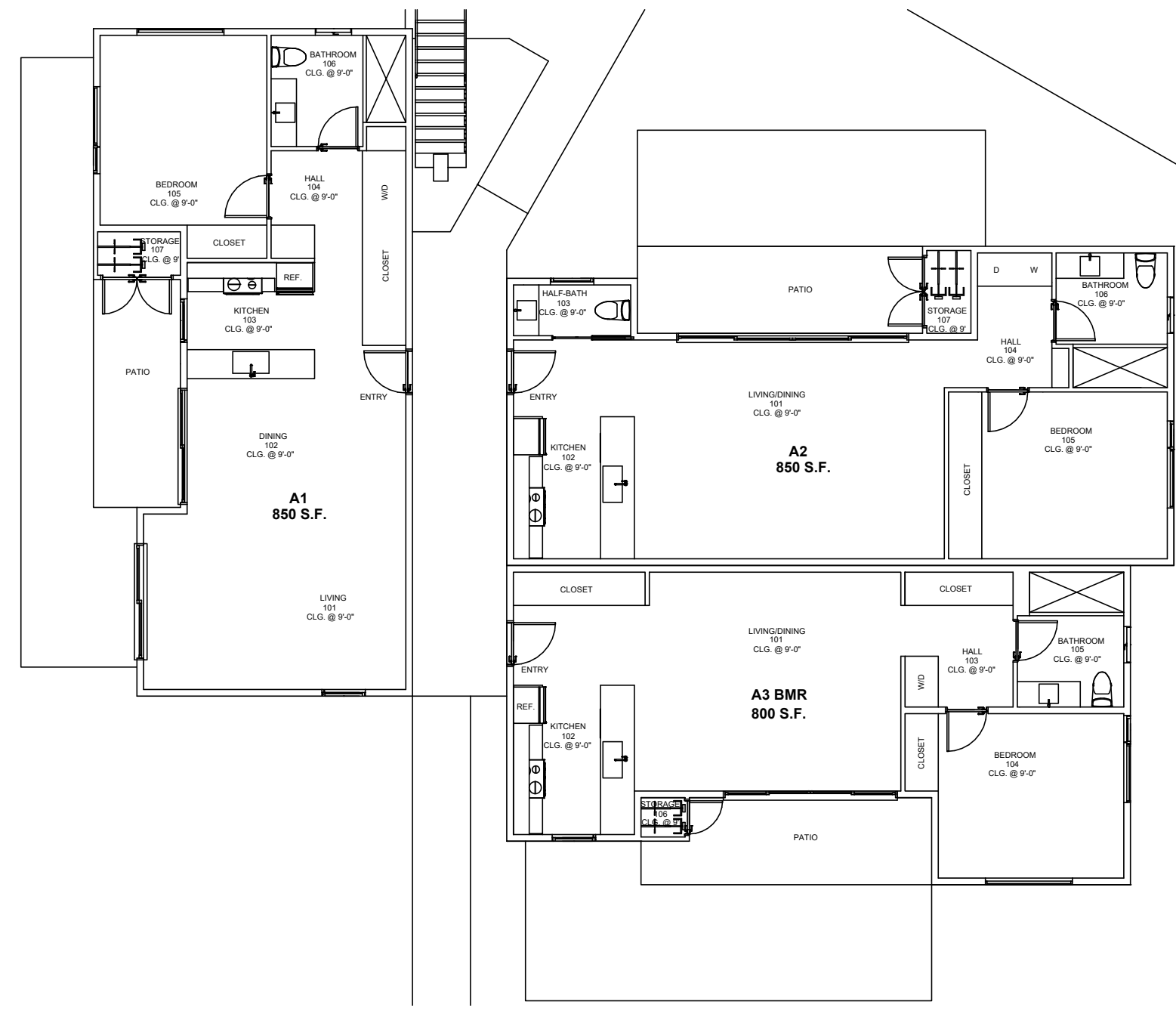
8 of 13 Sheets  
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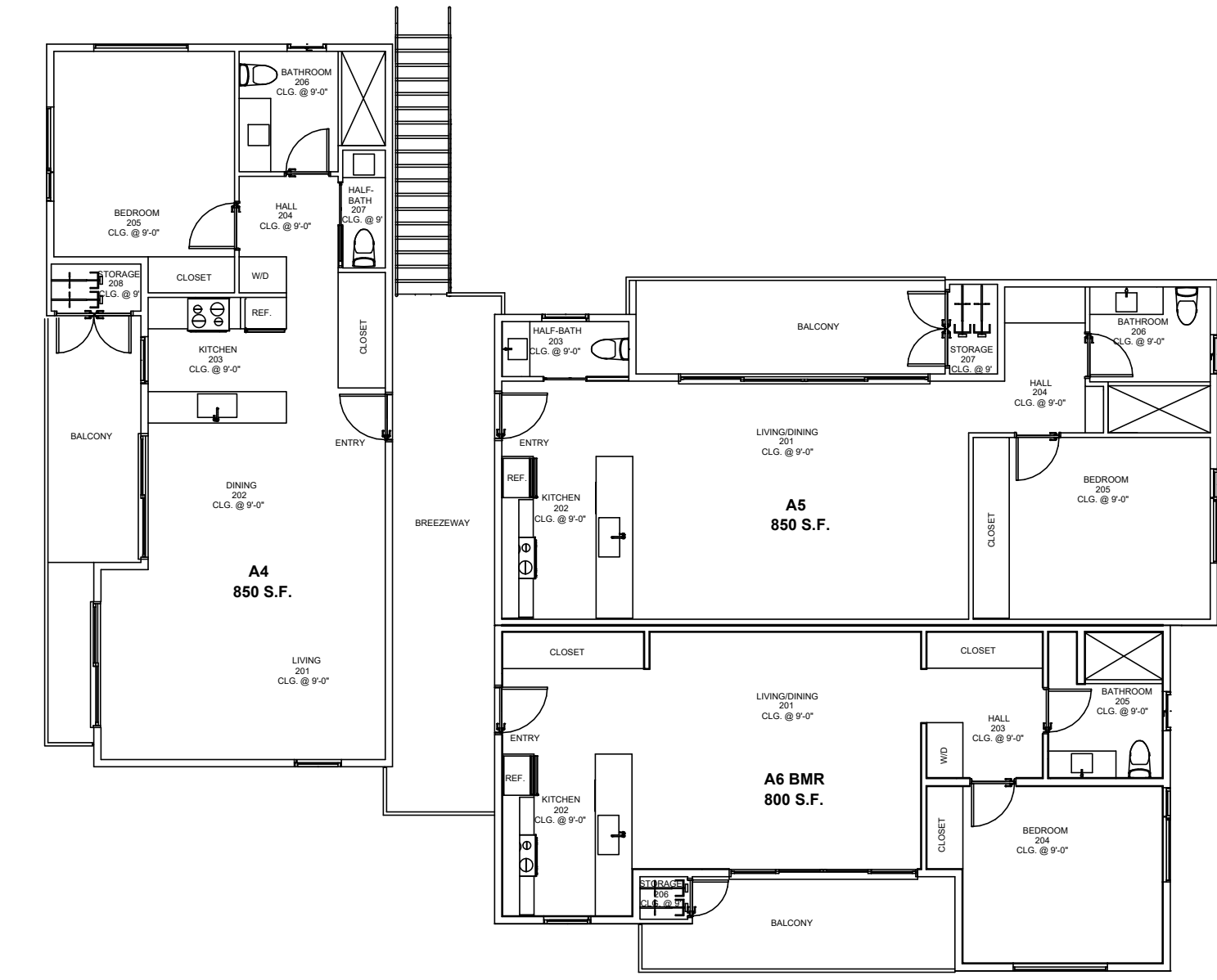
Professional Engineer # 15101  
Timothy L. Schram, RCE 67890  
My license expires 6/30/2025

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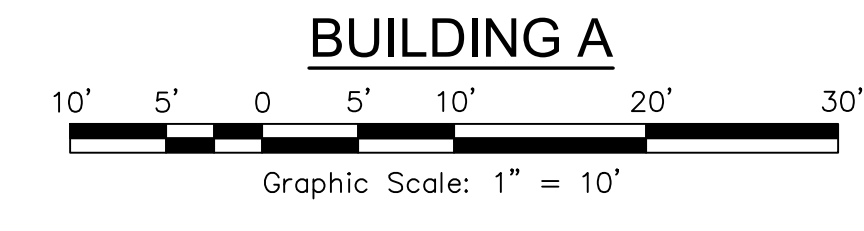
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GROUND FLOOR

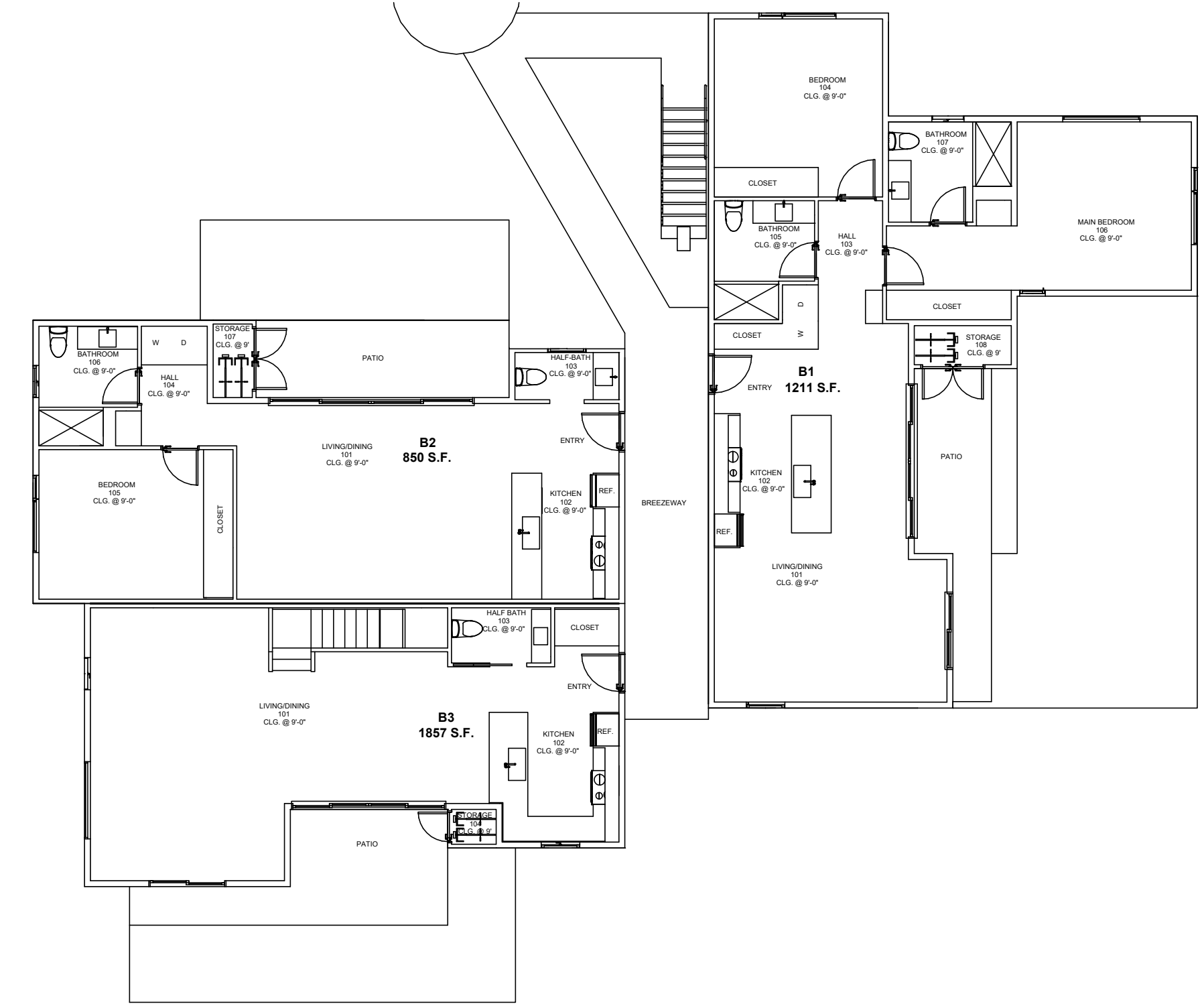


SECOND FLOOR

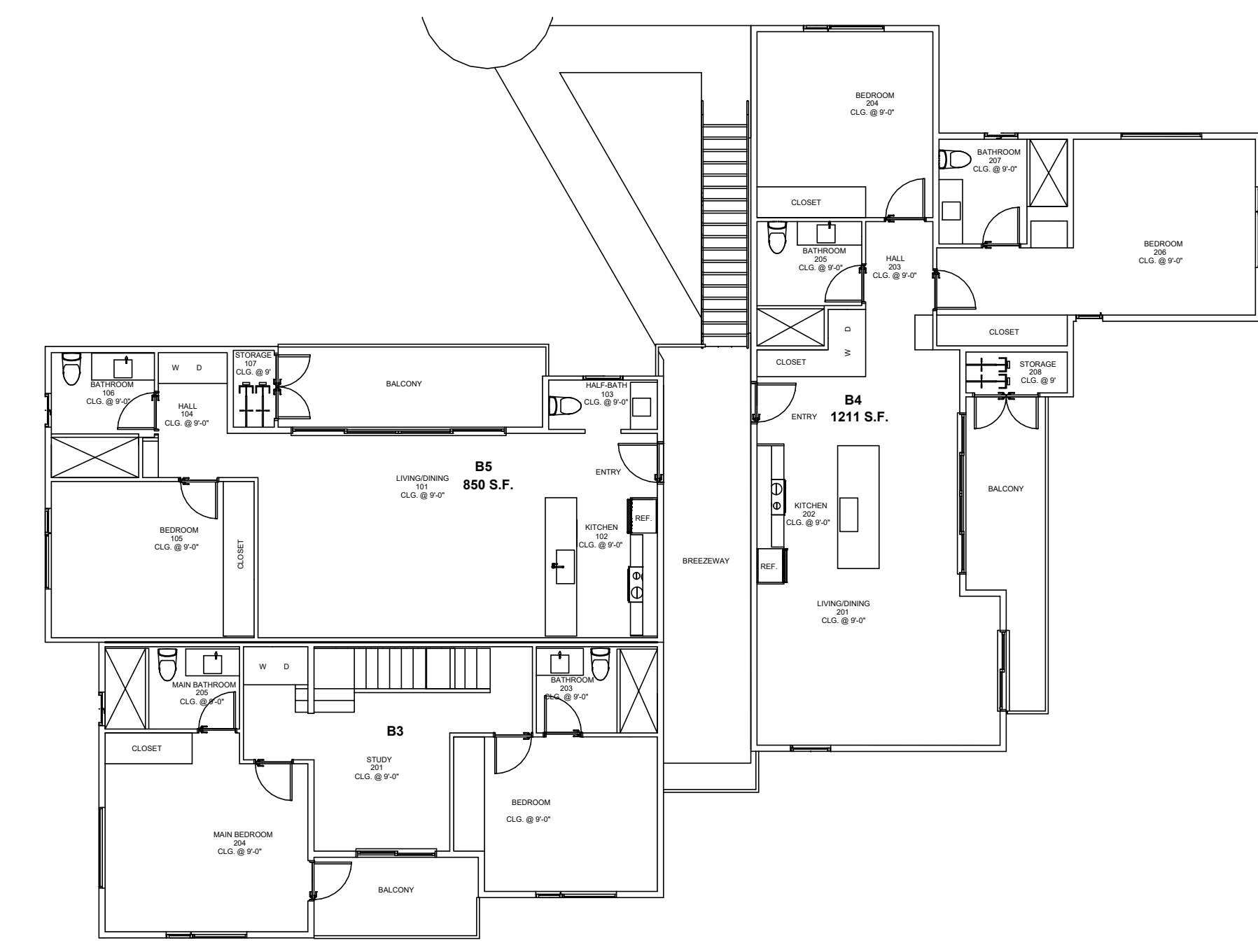


BUILDING A

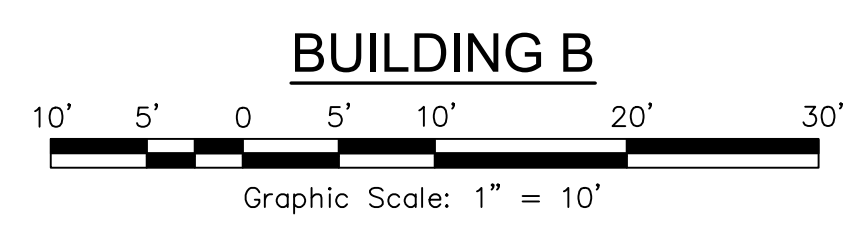
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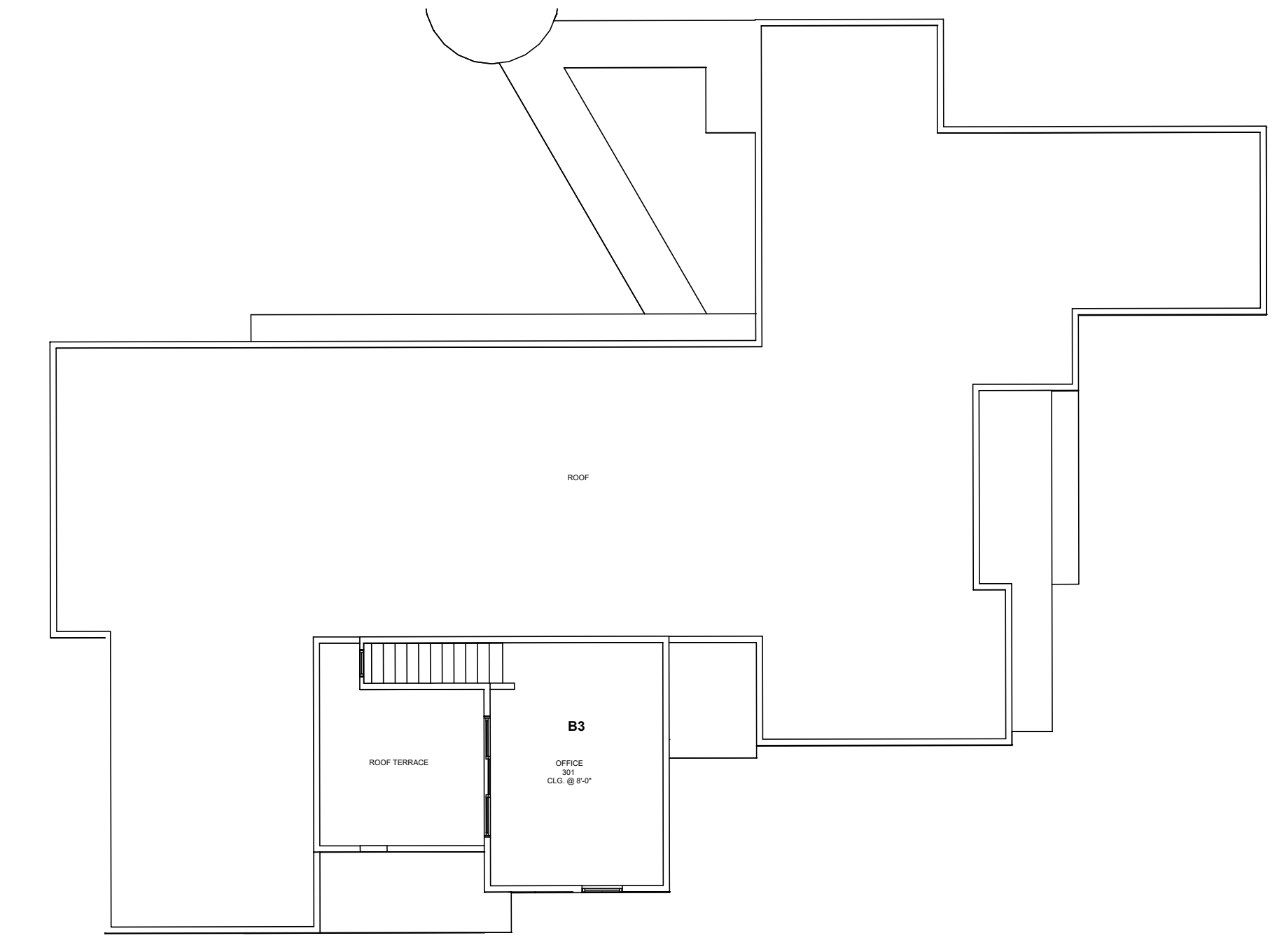


SECOND FLOOR



BUILDING B

Graphic Scale: 1" = 10'



THIRD FLOOR

No.	Date	Description	Approved

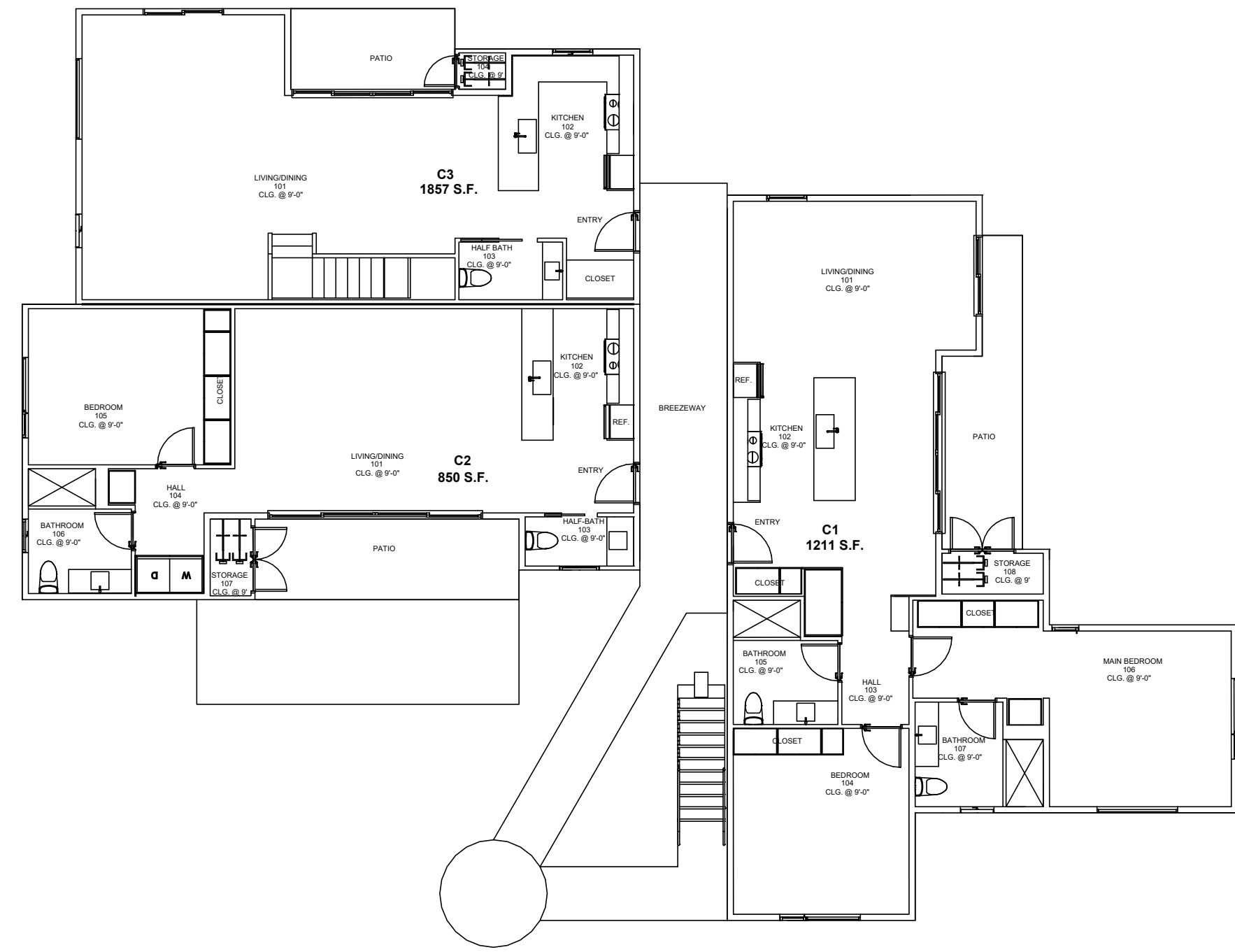
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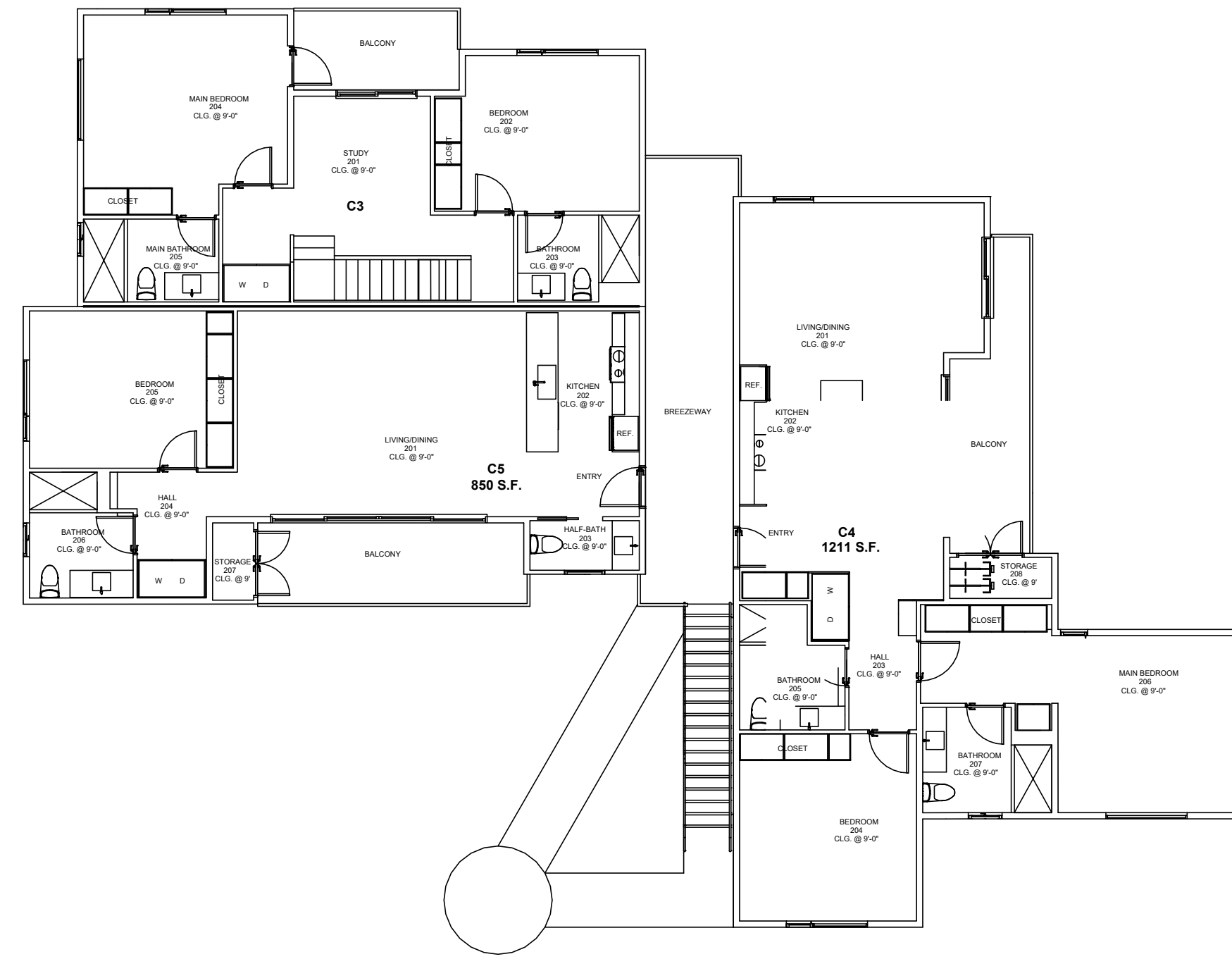
**TENTATIVE MAP - FSE PROJECT**  
**CONDOMINIUM PLAN**  
 254 1st Street East  
 Sonoma, California  
 APN 018-131-018

SCALE: AS NOTED  
 Date: February 27, 2024  
 Design by: KM  
 Drawn by: KM  
 Checked by: TJSZK

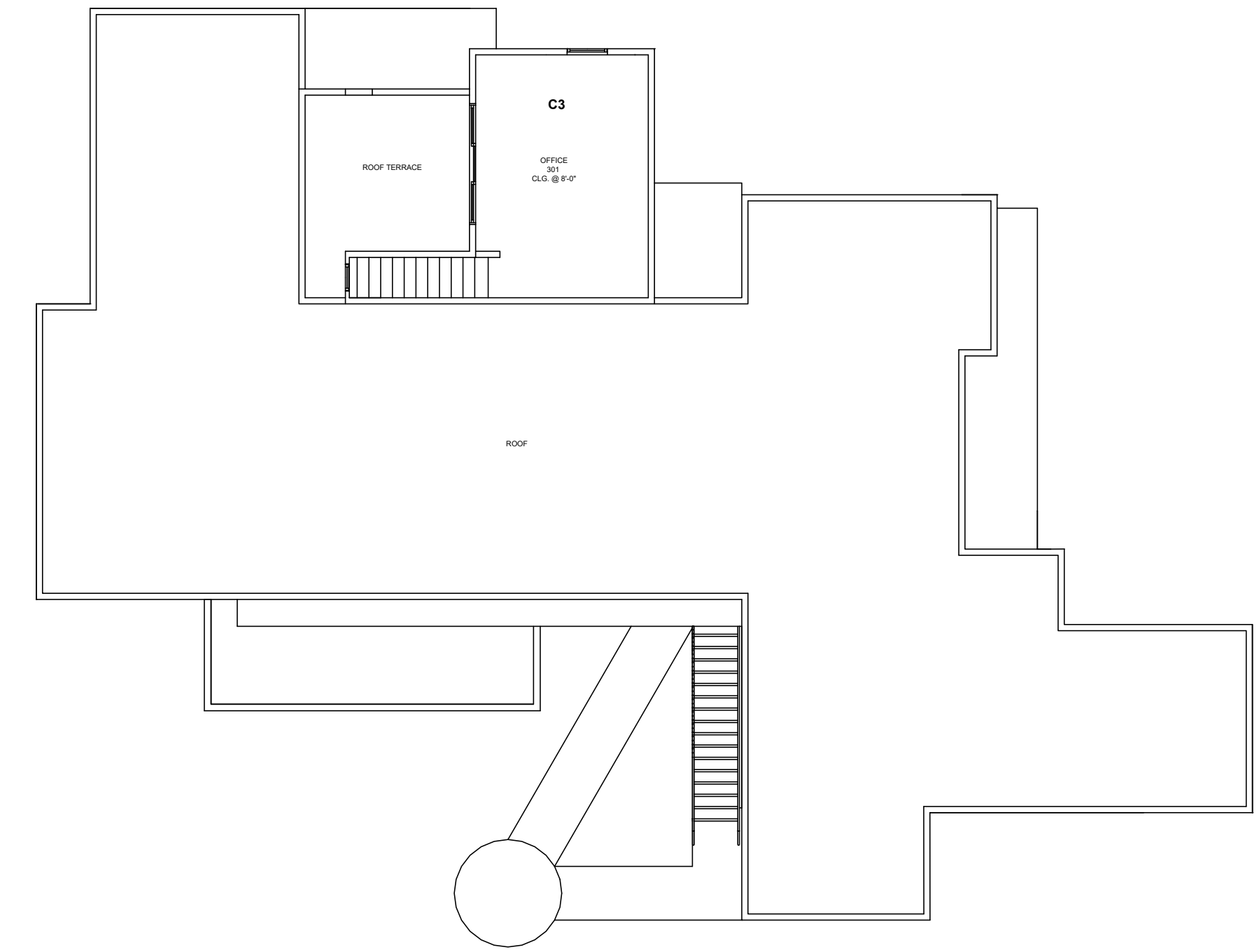
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 9 of 13 Sheets  
 Job 23191



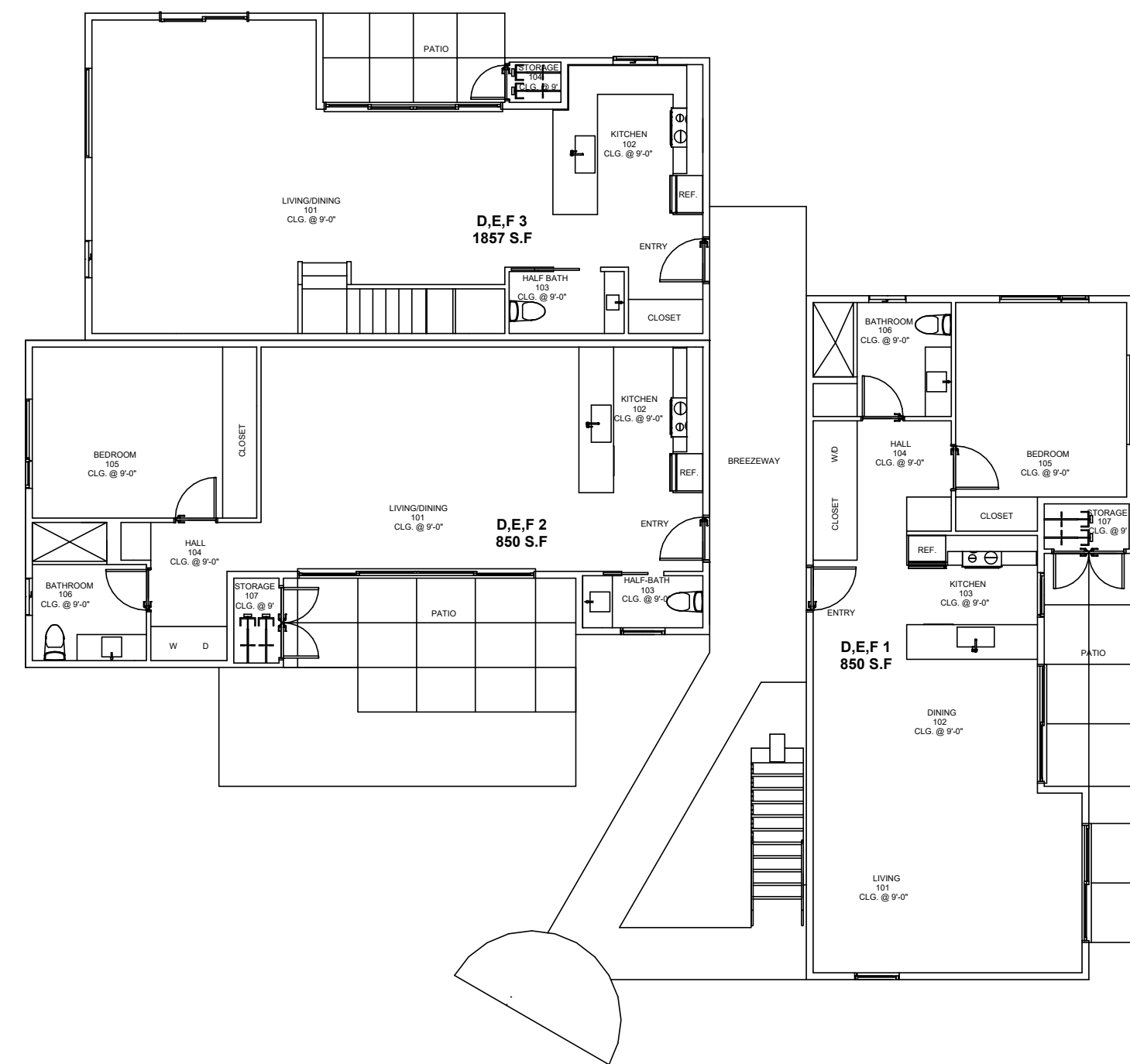
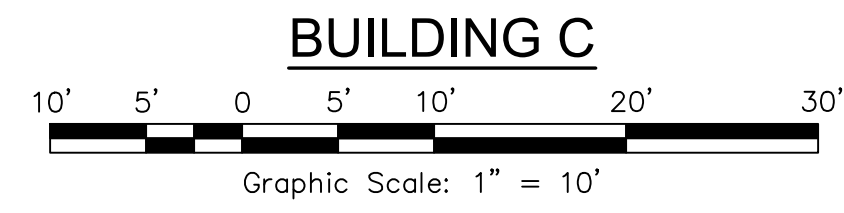
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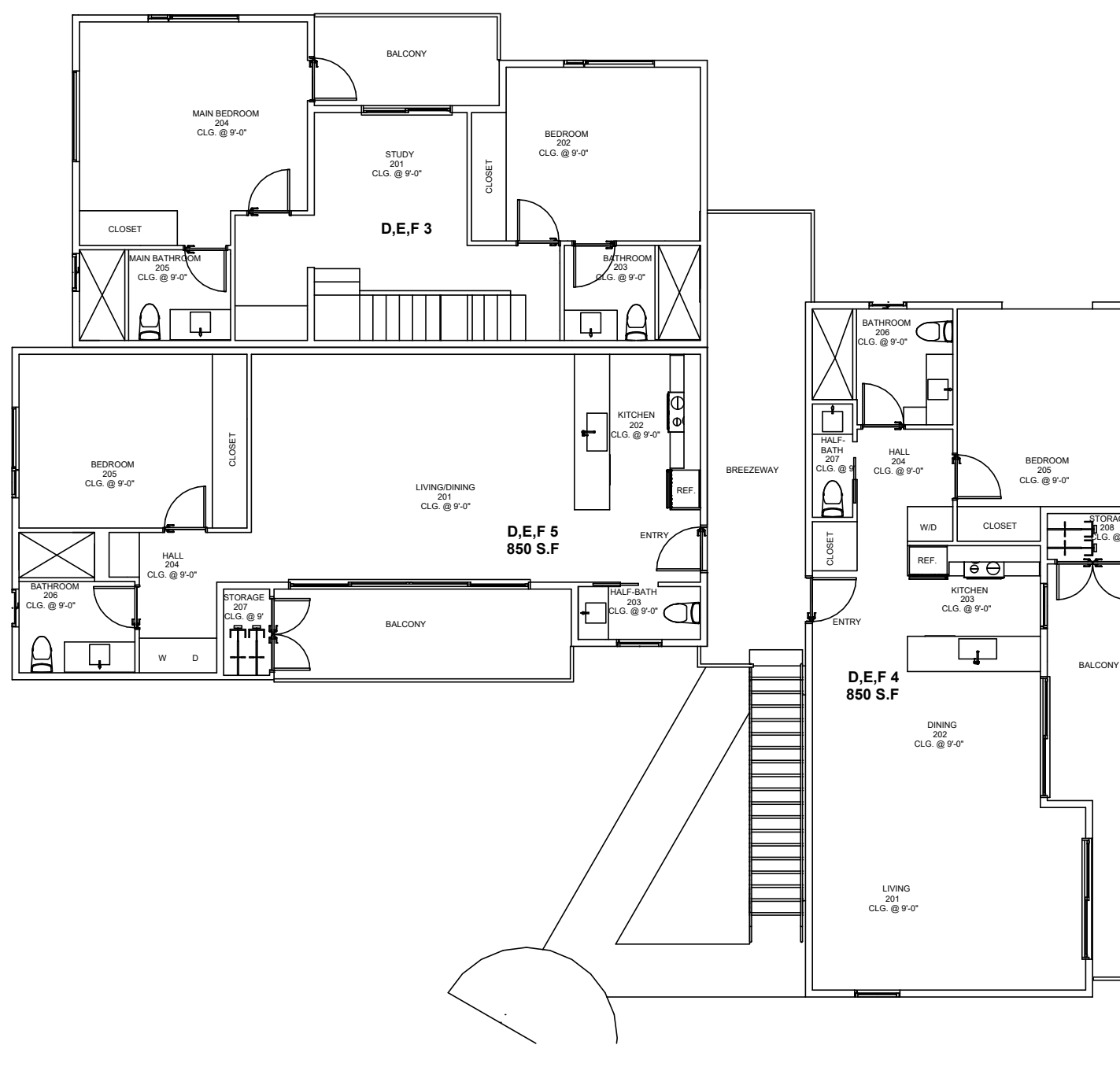
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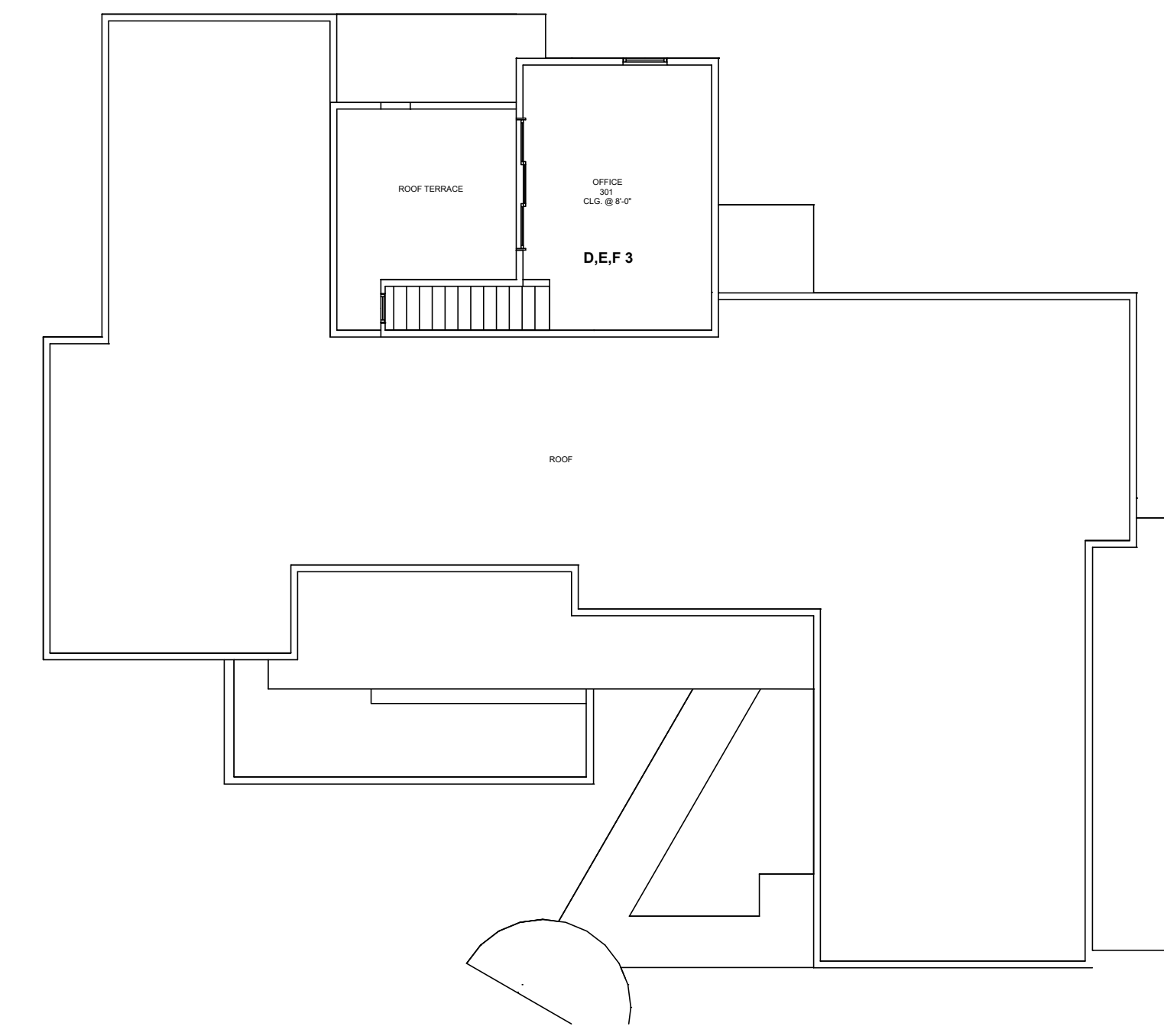
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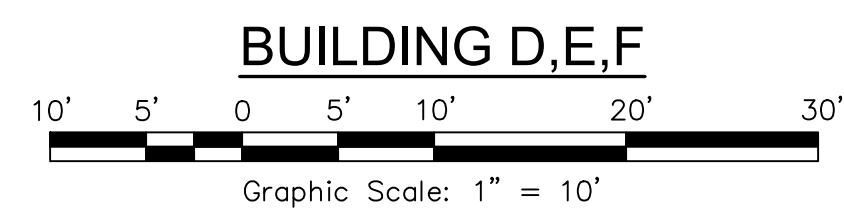
GROUND FLOOR



SECOND FLOOR



THIRD FLOOR



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 My license expires 6/30/2025

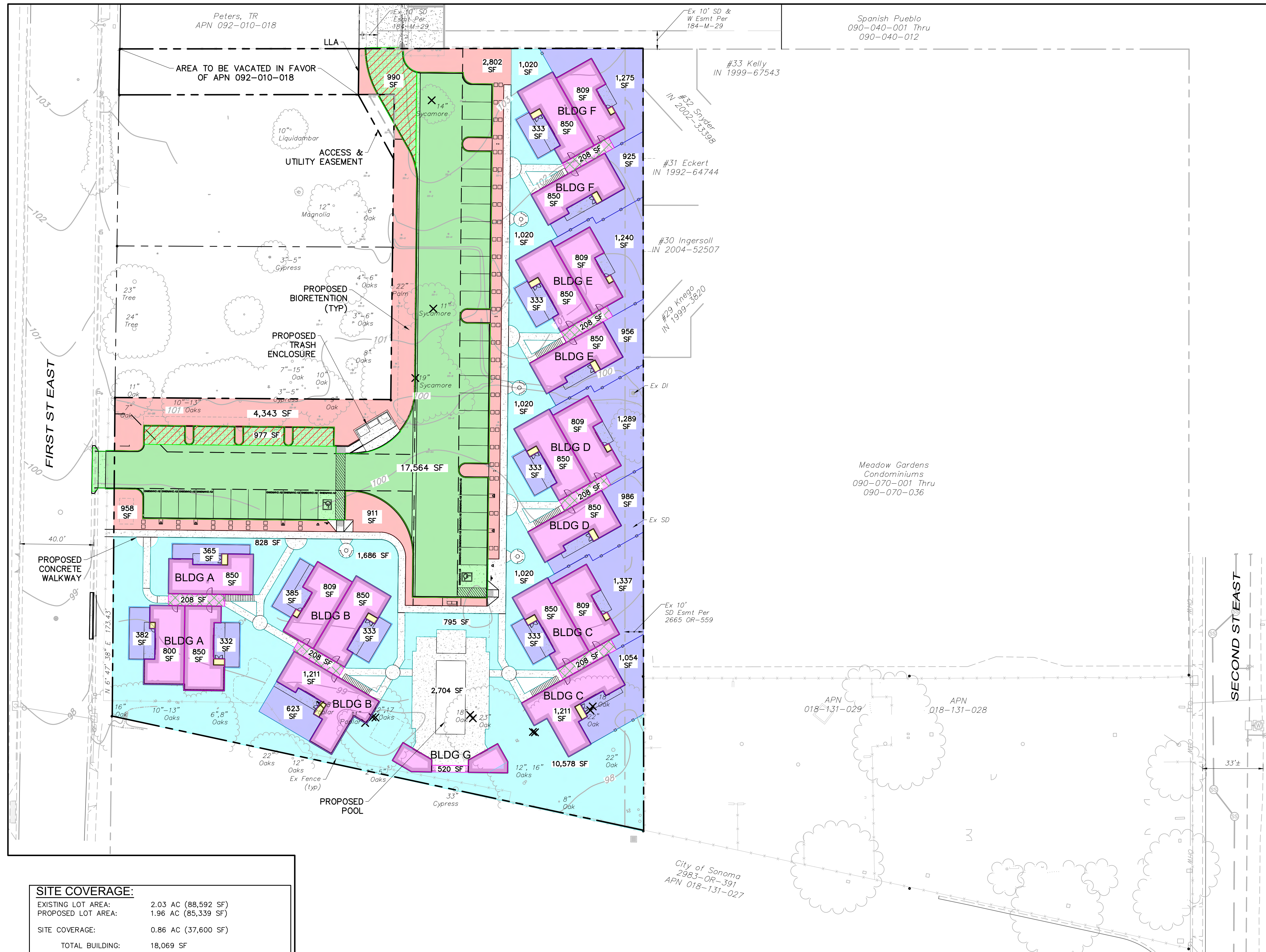
**TENTATIVE MAP - FSE PROJECT**  
**CONDOMINIUM PLAN**  
 254 1st Street East  
 Sonoma, California  
 APN 018-131-018

SCALE: AS NOTED  
 Date: February 27, 2024  
 Design by: KM  
 Drawn by: KM  
 Checked by: TJSZK

Sheet  
**C5.1**  
 10 of 13 Sheets  
 Job 23191



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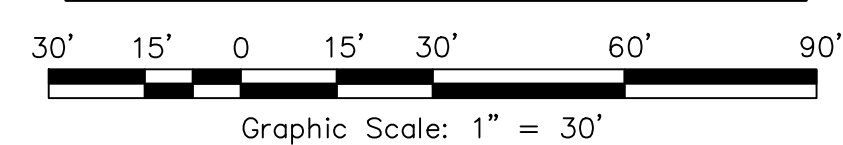
**HATCHING LEGEND:**

- COMMON OPEN SPACE  
0.41 AC (17,669 SF)
- PRIVATE OPEN SPACE  
(GROUND FLOOR ONLY)  
0.30 AC (12,814 SF)
- PARKING LANDSCAPE SPACE  
0.21 AC (9,278 SF)
- BUILDING  
(SEE SITE COVERAGE)
- BUILDING BREEZEWAY  
(SEE SITE COVERAGE: BUILDING)
- BICYCLE CLOSET  
(SEE SITE COVERAGE: BUILDING)
- PARKING/DRIVE  
(SEE SITE COVERAGE)
- PERMEABLE PAVEMENT  
(SEE SITE COVERAGE)

**SITE COVERAGE:**

EXISTING LOT AREA:	2.03 AC (88,592 SF)
PROPOSED LOT AREA:	1.96 AC (85,339 SF)
<b>SITE COVERAGE:</b>	<b>0.86 AC (37,600 SF)</b>
TOTAL BUILDING:	18,069 SF
BUILDING:	16,502 SF
BREEZEWAY:	1,248 SF
BICYCLE CLOSET:	319 SF
PARKING/DRIVE:	17,564 SF
PERMEABLE PAVE:	1,967 SF
<b>SITE COVERAGE (%)</b>	<b>44.0%</b>
ALLOWED BUILDING DENSITY:	TWENTY UNITS UNITS PER ACRE

**SITE COVERAGE MAP**



**TENTATIVE MAP - FSE PROJECT**

**SITE COVERAGE MAP**

254 1st Street East  
Sonoma, California  
APN 018-131-018

SCALE: AS NOTED

Date: February 27, 2024  
Design by: KM  
Drawn by: KM  
Checked by: TJSZK

Sheet  
**C6.0**

11 of 13 Sheets  
Job 23191

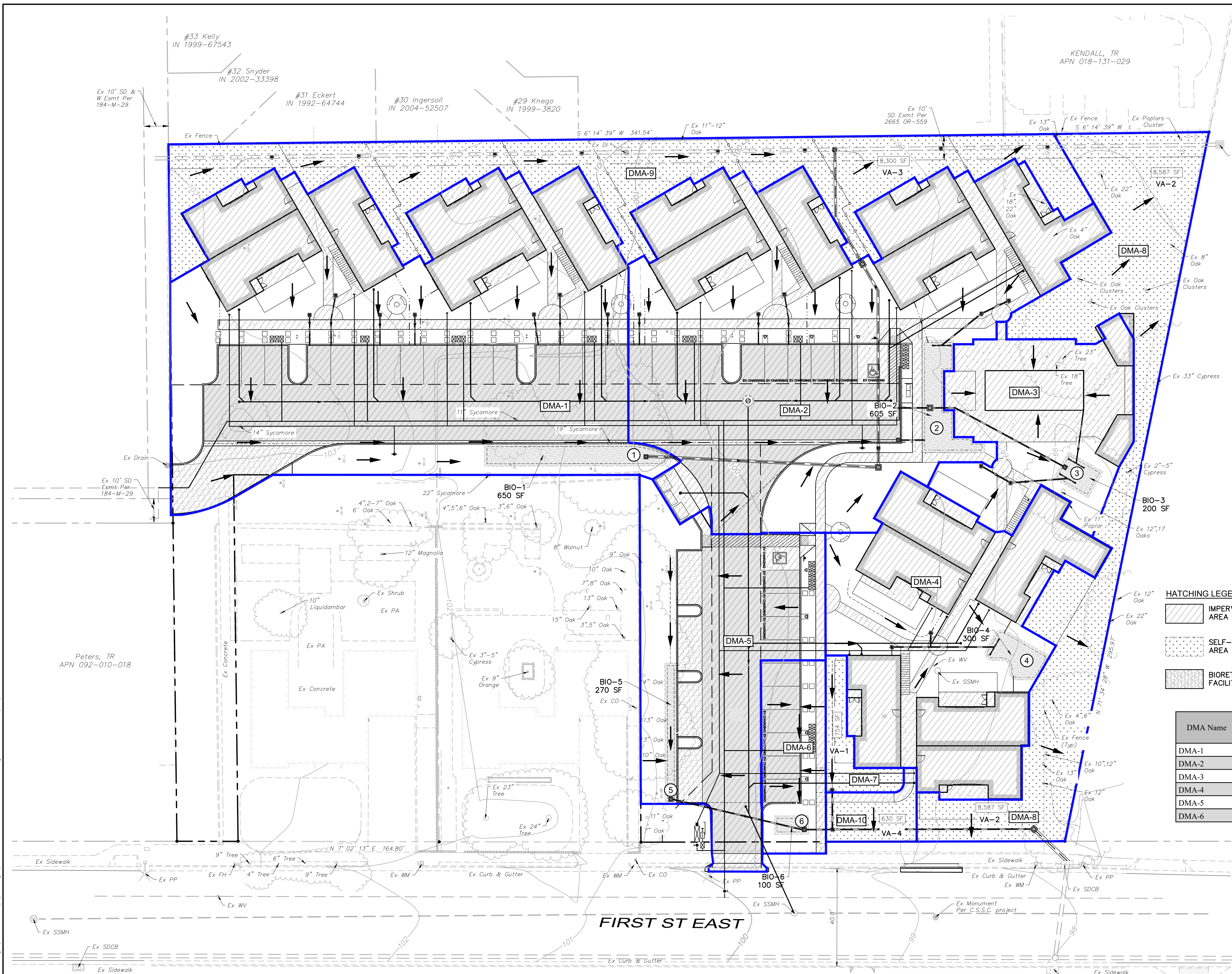
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**TIMOTHY L. SCHRAM**  
REGISTERED PROFESSIONAL ENGINEER - CIVIL  
No. 087890  
Exp. 6/30/2025  
My license expires 6/30/2025

Timothy L. Schram, PCE 67890  
My license expires 6/30/2025

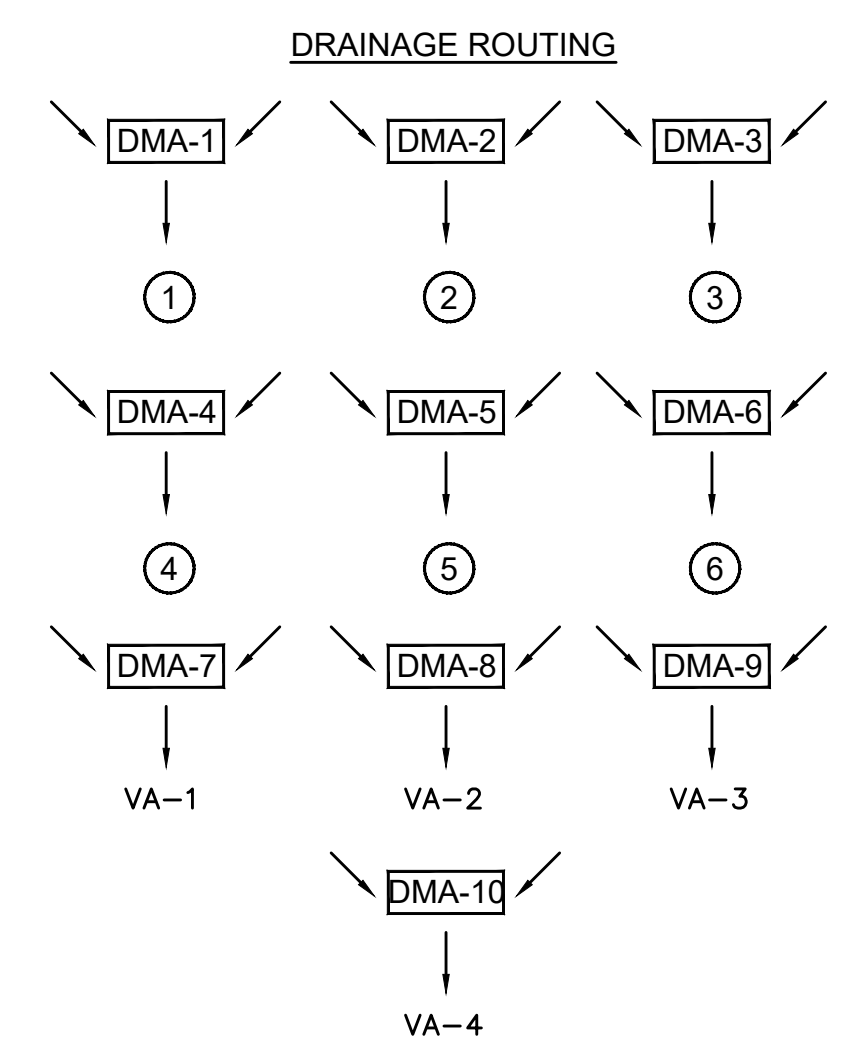
No.	Date	Description	Approved

T:\2023\_PROJ\23191\_Veg Adobe-Design\Tentative Map\Drainage\23191-Stormwater Control Plan.dwg, Kai Morato, 2/27/2024, 10:59:18 AM



**DRAINAGE AREA TABLE**

DMA1=0.50 AC (21,954 SF)	DMA6=0.05 AC (2,074 SF)
DMA2=0.46 AC (20,010 SF)	DMA7=0.02 AC (754 SF)
DMA3=0.12 AC (5,187 SF)	DMA8=0.20 AC (8,587 SF)
DMA4=0.22 AC (9,723 SF)	DMA9=0.19 AC (8,329 SF)
DMA5=0.18 AC (7,776 SF)	DMA10=0.02 AC (804 SF)



**HATCHING LEGEND**

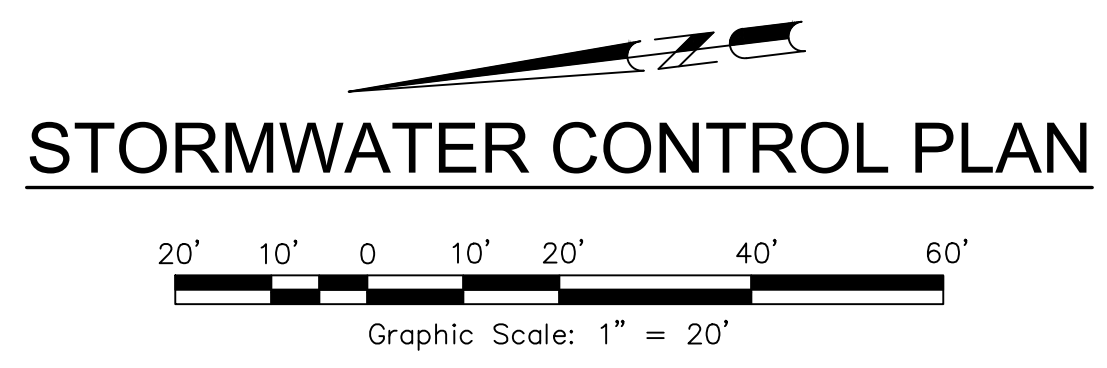
[Hatched Pattern]	IMPERVIOUS AREA
[Dotted Pattern]	SELF-RETAINING/TREATING AREA
[Stippled Pattern]	BIORETENTION FACILITY

DMA Name	IMP Name	Total Area (SF)	Required Bioretention Size (SF)	Design Bioretention Area (SF)	Area Oversized (SF)
DMA-1	BIO-1	21,954	637	650	13
DMA-2	BIO-2	20,010	601	605	4
DMA-3	BIO-3	5,187	150	200	50
DMA-4	BIO-4	9,723	294	300	6
DMA-5	BIO-5	7,776	184	270	86
DMA-6	BIO-6	2,074	54	100	46

DMA Name	Area (Square Feet)	IMP Type
DMA-7	754	Self-Retain
DMA-8	8,587	Self-Retain
DMA-9	8,300	Self-Retain

**HATCHING LEGEND:**

[Pattern]	0.21' AC OVER 0.67' CL II AB
[Pattern]	4" PCC OVER 4" CL II AB
[Pattern]	PERMEABLE PAVERS (BY OTHERS)
[Pattern]	BIO-RETENTION AREA



DMA Name	Impervious Area (SF)	Surface Type	Runoff Factor	Required Pervious Area	Impervious:Pervious Ratio	Provided Pervious Area (SF)
DMA-10	173	Concrete	1.0	173	2:1 MAX	630

**Revisions**

No.	Date	Description	Approved

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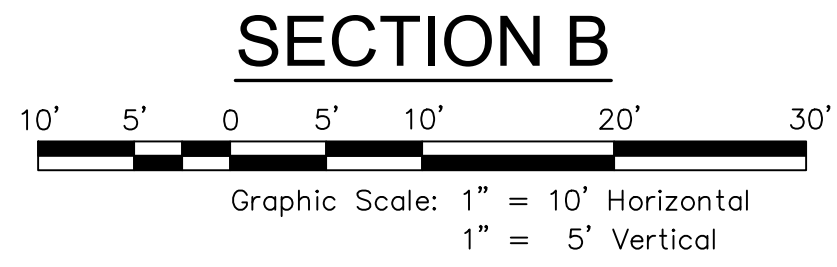
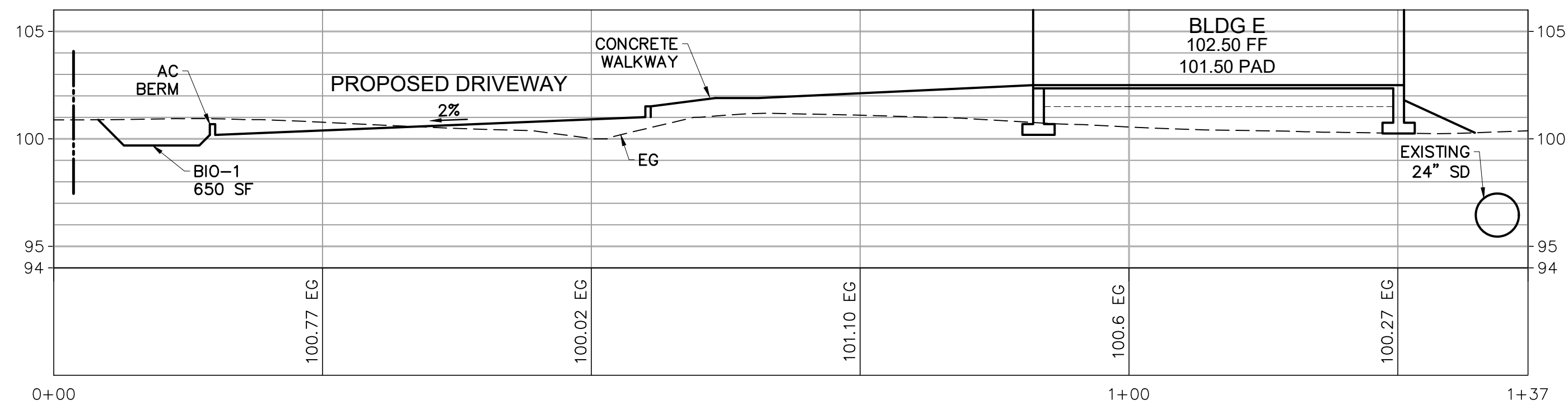
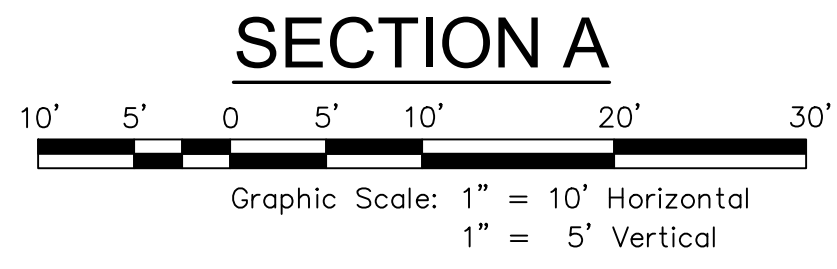
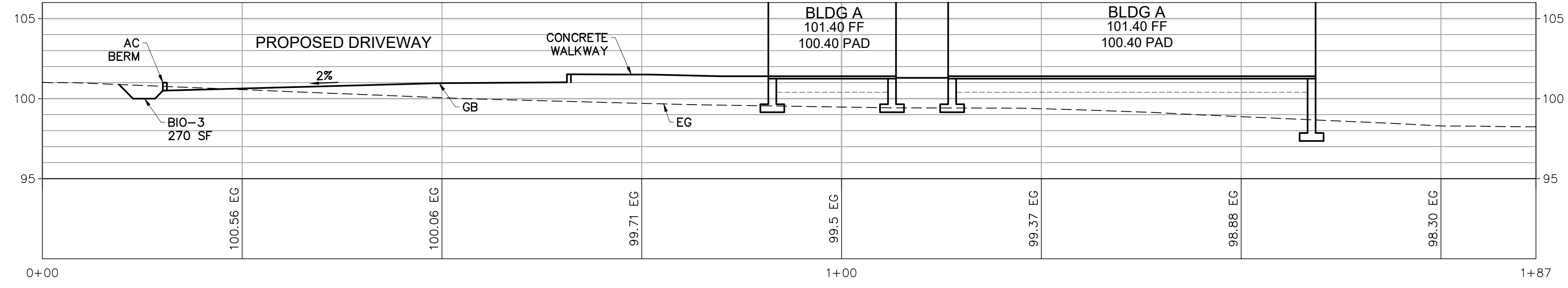
**PROFESSIONAL ENGINEER - WASTEWATER**  
 TIMOTHY L. SCHRAM  
 No. 087890  
 Exp. 6/30/2025  
 REGISTERED CIVIL ENGINEER - STATE OF CALIF.

**TENTATIVE MAP - FSE PROJECT**  
**STORMWATER CONTROL PLAN**  
 254 1st Street East  
 Sonoma, California  
 APN 018-131-018

SCALE: AS NOTED  
 Date: February 27, 2024  
 Design by: KM  
 Drawn by: KM  
 Checked by: TJSZK

Sheet  
**C7.0**  
 12 of 13 Sheets  
 Job 23191

T:\2023 PROJECTS\23191\Map\Adobe-Design\Tentative Map\23191-C7-D\_Site Sections.dwg, Kai Murata, 2/27/2024, 10:59:24 AM



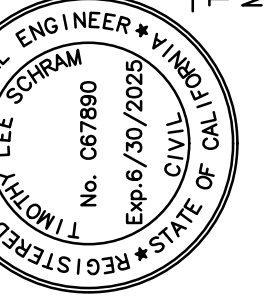
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13 of 13 Sheets  
Job 23191

TENTATIVE MAP - FSE PROJECT

SITE SECTION  
254 1st Street East  
Sonoma, California  
APN 018-131-018



Timothy L. Schram, RCE 67890  
My license expires 6/30/2025

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No.	Date	Description	Approved



**Existing Conditions along Property Line**

- A Existing Stucco Wall to remain.
- B Newly built 6' ht. wood "dog ear" fence to remain.
- C Older existing 6' ht. wood "dog ear" fence, with a chain link fence in front. Wood fence to remain. Chain link fence to be removed.
- D Older existing 6' ht wood "dog ear" fence with a lattice and a chain link fence in front. Wood fence to remain. Chain link fence to be removed.
- E Existing chain link fence with strands of barbwire on top. To removed and replaced with a new fence.
- F Existing wire fence. To be removed and replaced with a new fence.

**Overall Landscape Site Plan**  
Scale: 1/16" = 1' - 0"

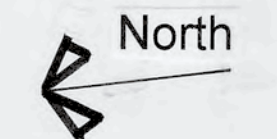
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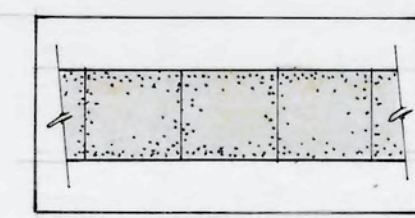
**Conceptual Landscape Design**

19 December 2023

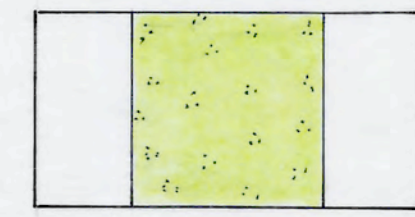
**L1.0**



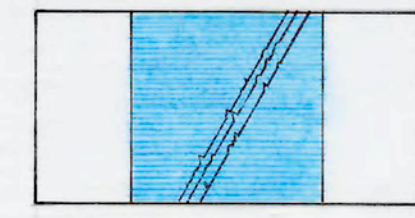
**LEGEND**



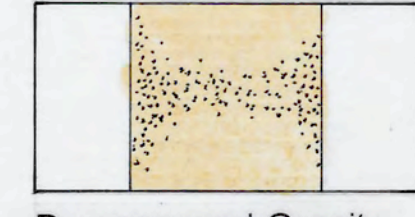
Concrete Paving



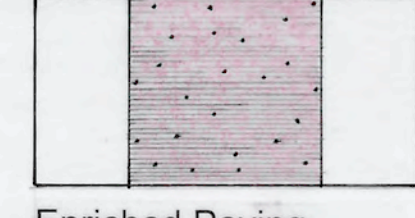
Lawn



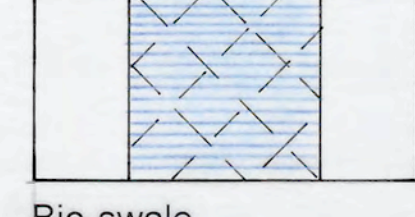
Water



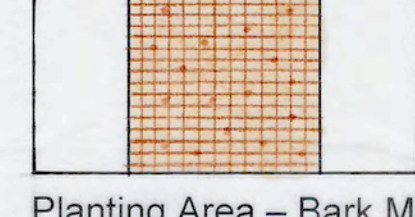
Decomposed Granite



Enriched Paving



Bio-swale



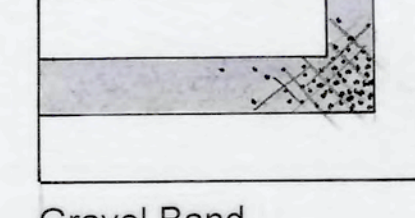
Planting Area - Bark Mulch



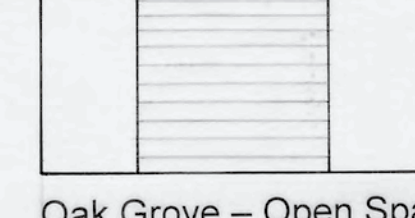
Existing Oak Hedgerow



Planting Area - Bark Mulch - Private "Backyard"

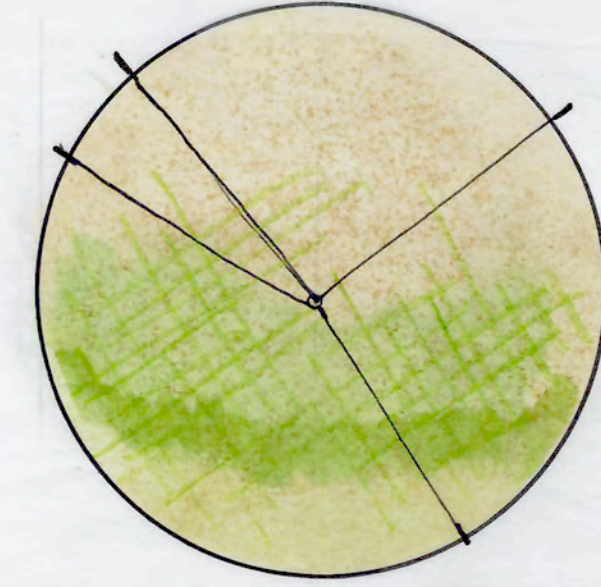


Gravel Band



Oak Grove - Open Space - Bark Mulch

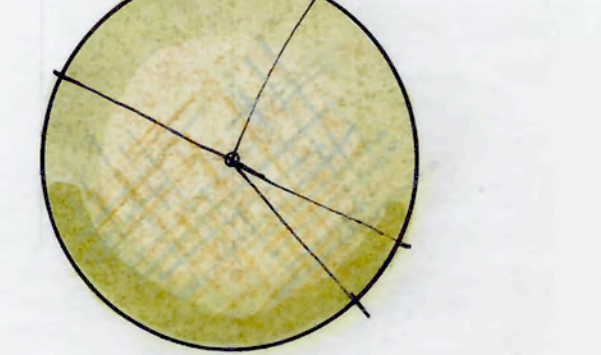
**PLANTING SYMBOLS & DESCRIPTION**



**ENTRY TREE** – Quercus virginiana 'Cathedral' – a large, heavy-limbed broad crown, evergreen tree making a strong entrance statement, like flanking 'sentinels'. Recommended tree will contrast well with the deciduous street tree.



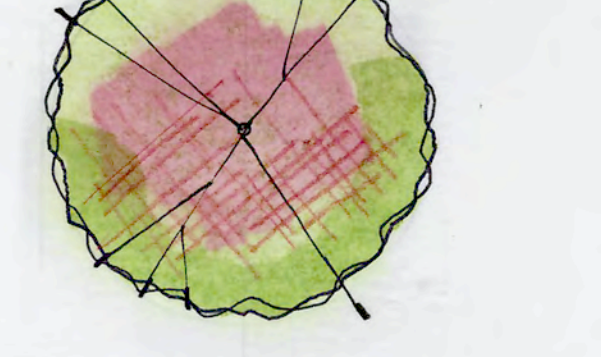
**STREET TREE** – Platanus x acerifolia 'Columbia' or similar – a large, broadleaf, deciduous tree. (Note: This portion of First Street East does not have an established singular species of street tree. This project could stimulate the implementation of an expanded street tree program on this city street.)



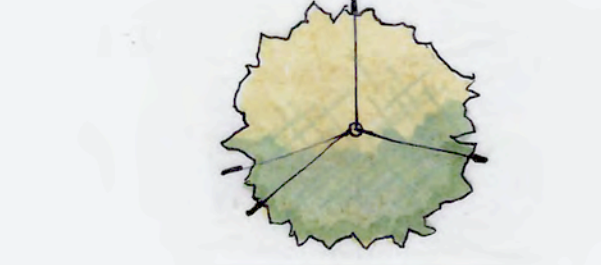
**PARKING LOT TREE** – Acer x freemanii 'October Glory' or similar – tree provides great fall color. Fairly fast growing, this large tree will achieve the desired broad scale shade pattern on the horizontal asphalt plane. Spacing and quantity of trees will result in a strong visually unifying statement throughout the core of the project.



**INFILL TREE TO AREA ALONG SOUTH PROPERTY LINE** – Calocedrus deurrens – Incense Cedar, a coniferous tree native to the West Coast, will provide a suitable, contrasting infill to the grouping of Quercus agrifolia in a beltway of open space.



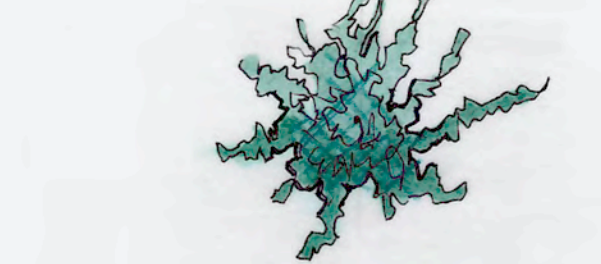
**PENINSULA PARKING LOT TREE** – Arbutus 'Marina' – broadleaf, evergreen tree with 'umbellata-type' bell shaped flower panicle and smooth mahogany colored trunk, cool to the touch. This evergreen tree will provide a contrast to the adjacent deciduous parking lot tree.



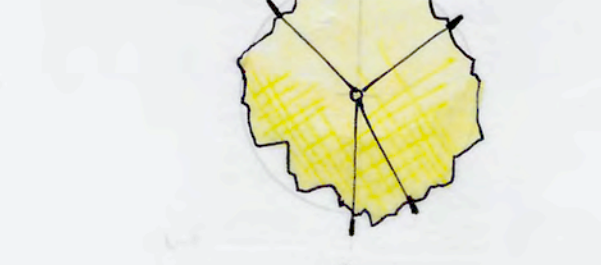
**UPRIGHT SCREENING TREE** – Carpinus betulus – a dense, pyramidal tree. Although deciduous, without foliage for a limited period of time, the tight, closely spaced branching pattern provides a sense of screening/privacy even when out of leaf.



**MODERATE SIZE FLOWERING TREE** – Lagerstroemia 'Natchez' – a deciduous tree with an exfoliating bark on trunk. This tree, paired at the front corners of the pool area, provides a profusion of white foliage and striking fall color.



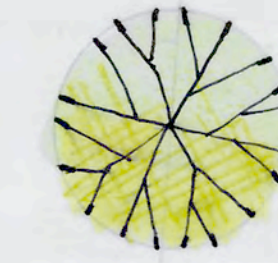
**STATUESQUE STATEMENT** – Cedrus atlantica 'Glauca' – a conifer tree of an unusual blue-green color hue with a striking branching pattern. This tree will provide added diversity to the plant palette in terms of texture and color.



**UNIQUE AND COLORFUL** – Ginkgo biloba 'Fairmont' – a tree of ancient heritage and unique fan-shaped leaves. The upright form and stiff branching pattern with the brilliant yellow fall color makes this tree suitable for breaking up the massing of a blank building elevation.



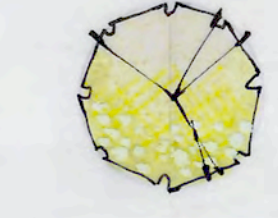
**STRIKING AND DYNAMIC** – Cotinus cogugria 'Grace' – a small low branching tree or large shrub offering up attractive seasonal change in foliage color. The common name, "Smoke Bush" is attributed to a significant puffy bloom in the summer.



**SMALL TREE** – Acer palmatum or similar - a small deciduous tree suitable for an enclosed courtyard area. The rather light canopy with interesting branching structure will not diminish significantly the amount of natural light shining into residence.



**SMALL SIZE FLOWERING TREE** – Cercis Canadensis 'Forest Pansy' – a small beautiful, graceful, purple-leaved form that works well in limited areas where appropriate massing is desired.



**SMALL SIZE FLOWERING TREE** – Cornus 'Eddie's White Wonder' – a small white flowering tree with hanging fruit. These special trees will mark the entrances into the pool area.



**SMALL TREE** – Parrotia persica or similar – a choice colorful tree with good looks in all seasons. This slow growing tree, tolerant of judicious pruning can fill but not over power a small area.



**ESPALIER** – Malus 'Snowdrift', Apple species, Trachelospermum jasminoides, or similar – plants that are trained by proper pruning to grow flat and horizontal against a vertical surface, allowing planting in narrow areas.



**SHRUBS**

The intent is to provide a variety of shrubs of various sizes, colors, textures, and/or flowers with the overriding specifications of minimal maintenance and minimal to moderate watering requirements. The design goal is have a composition of plants that create visual interest, of not excessive numbers or varieties, spaced appropriately to avoid excess pruning, "balling", promoting natural forms.

**WELO**

The overall selection of plant material that makes up the landscape statement will comply with the requirements of the "Water Efficient Landscape Ordinance."



DESIGN  
CONSTRUCTION  
MANAGEMENT  
ronwellander@gmail.com

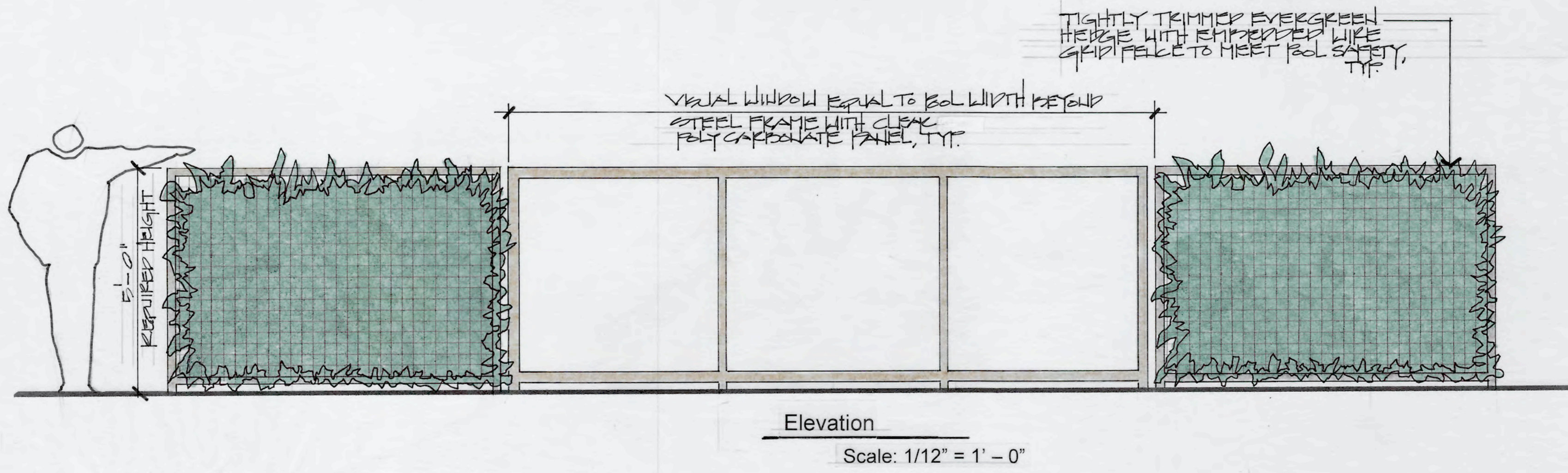
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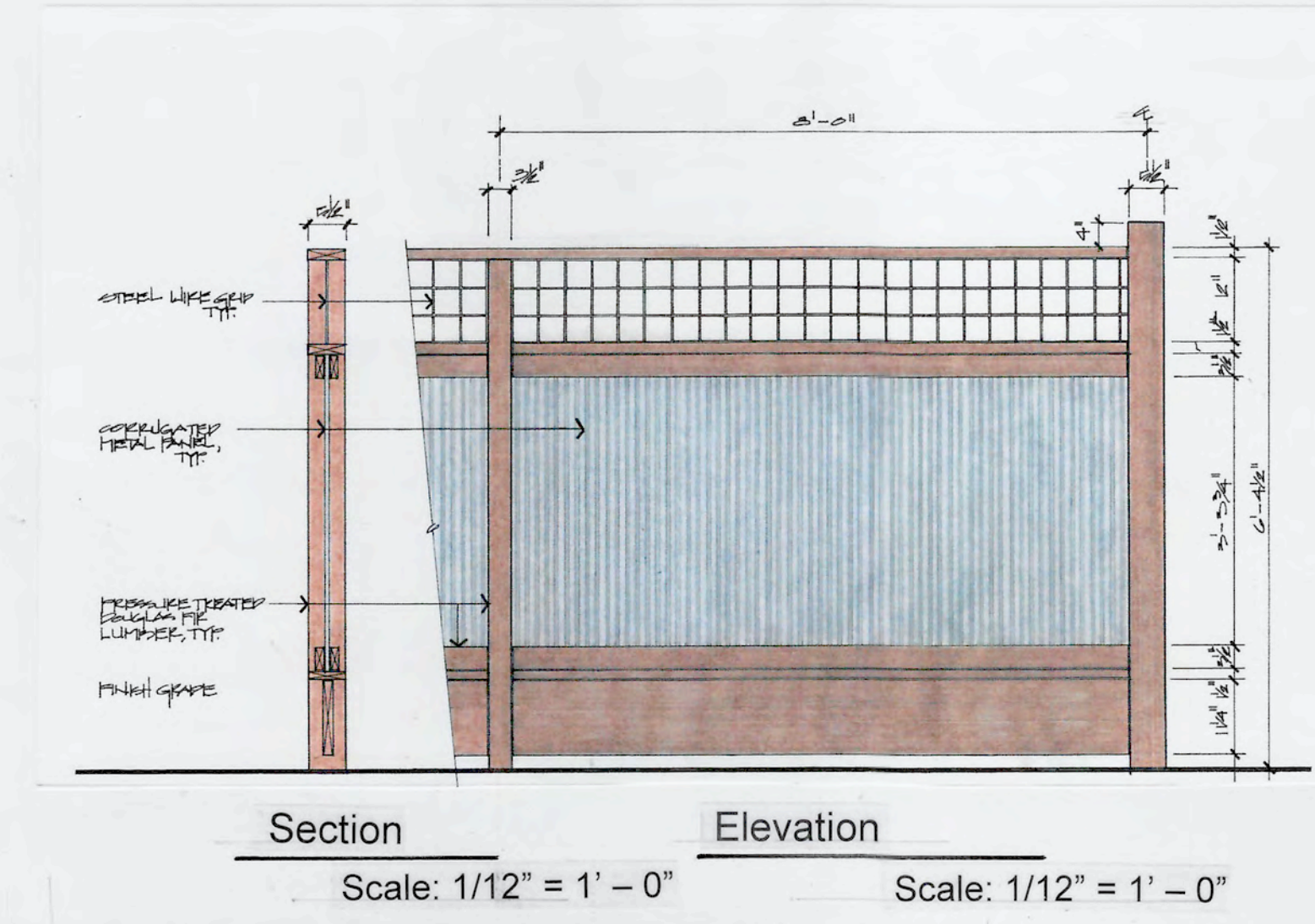
Misc. Landscape  
Information

21 December 2023

L1.1



4 Pool Wall – Transparent End



1 Property Line Fence adjacent 216 & 226

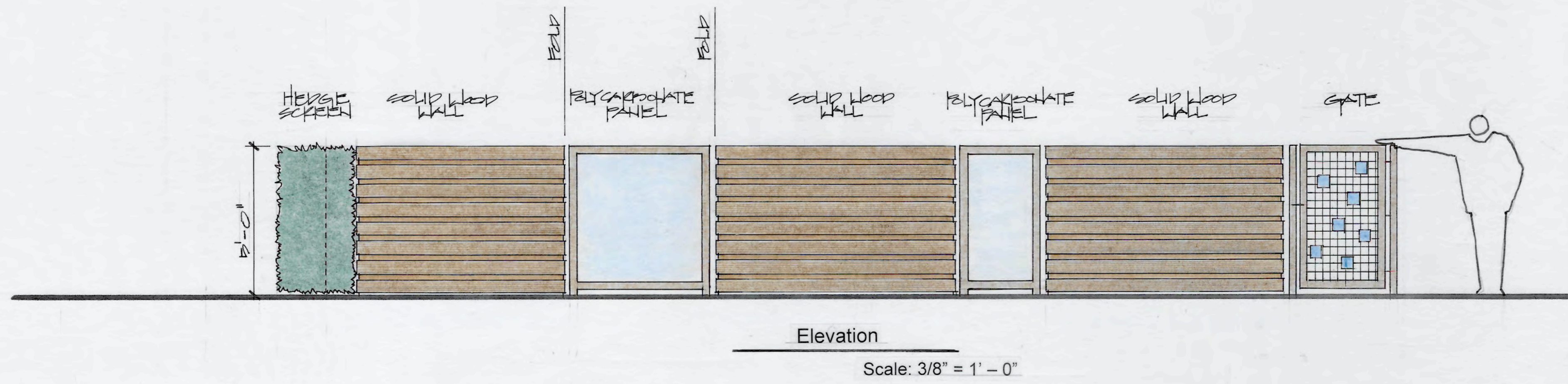
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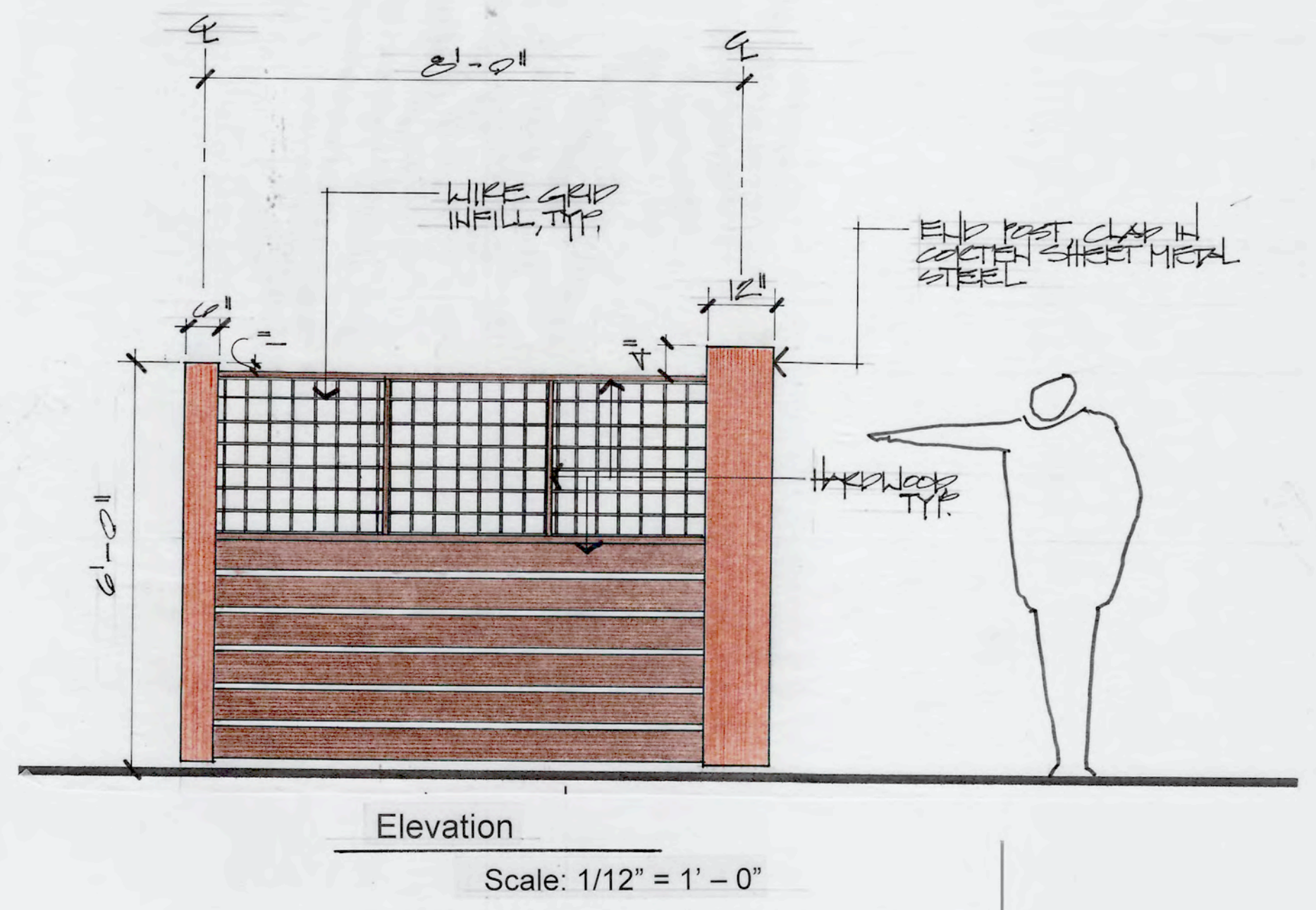
Conceptual Wall/  
Fence Design

04 March 2024

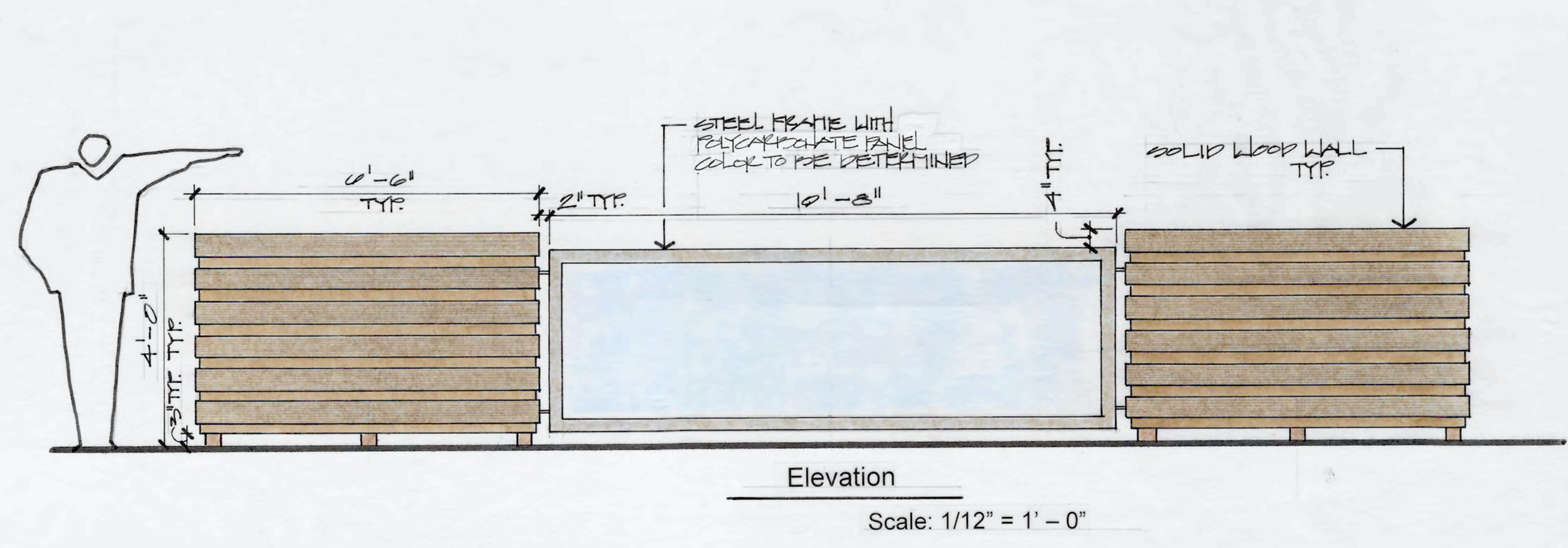
L1.2



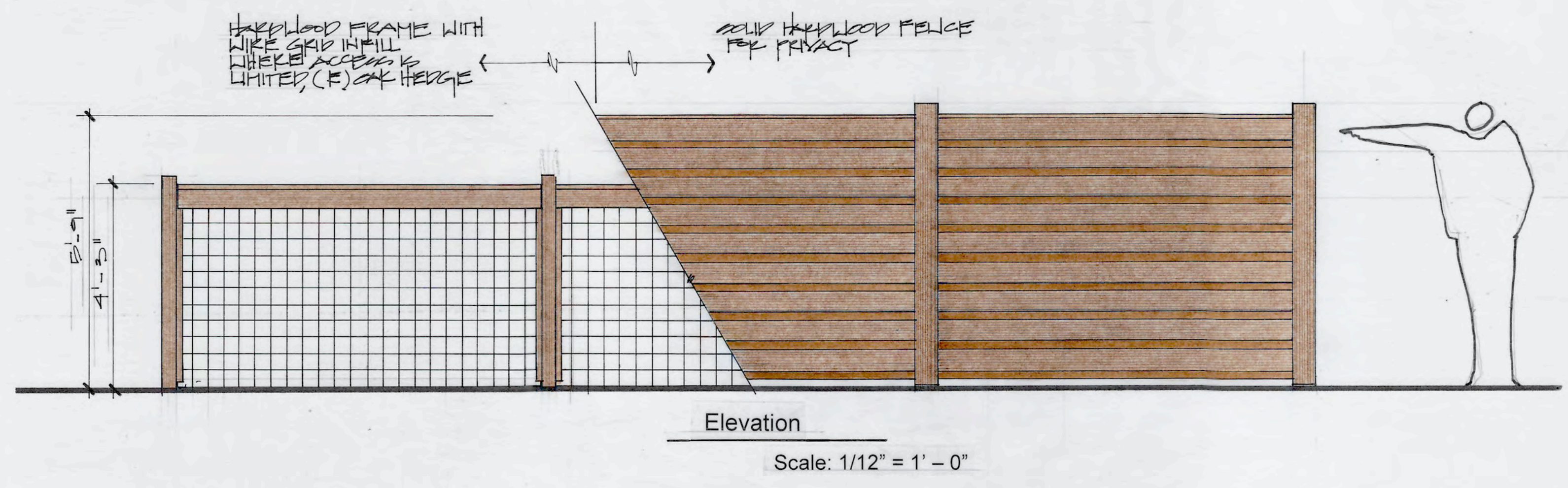
5 Pool Wall – Side Elevation and Gate



2 Vintage House Property Line Fence



6 Private Terrace Wall



3 Backyard Division Fence