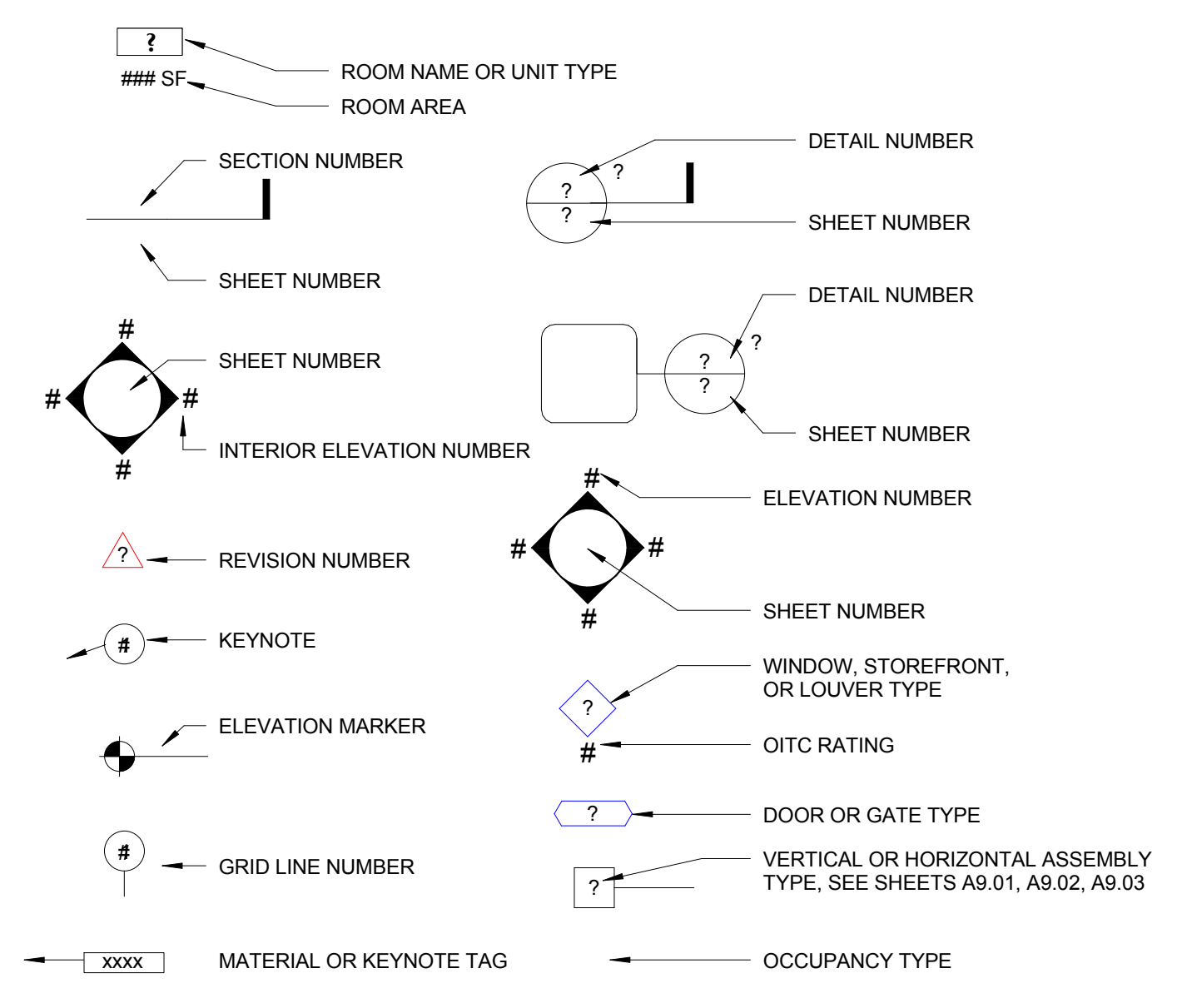


# ALTAMIRA FAMILY APARTMENTS

20269 BROADWAY AVENUE, SONOMA CA  
ENTITLEMENT SUBMITTAL, REVISED 5-10-17



## GRAPHIC SYMBOLS



## ABBREVIATIONS

&	AND	KIT.	KITCHEN
<	ANGLE	LAU.	LAUNDRY
@	AT	LAND'G	LANDING
A.B.	ANCHOR BOLT	LAV.	LAVATORY
ABV	ABOVE	LT.	LIGHT
A.C.	ASPHALTIC CONC	MAX.	MAXIMUM
ACC	ACCESSIBLE	M.C.	MEDICINE CABINET
ACOUS.	ACOUSTICAL	MECH.	MECHANICAL
A.D.	AREA DRAIN	MTL.	METAL
ADJ.	ADJACENT	MFR.	MANUFACTURER
ALUM.	ALUMINIUM	MIN.	MINIMUM
APL.	ASSUMED PROPERTY LINE	MOBIL. ACCESS.	MOBILITY ACCESSIBLE
AUTO.	AUTOMATIC	MTD.	MOUNTED
BALC.	BALCONY	MULL.	MULLION
BD.	BOARD	N/A	NOT APPLICABLE
BLDG.	BUILDING	N.I.C.	NOT IN CONTRACT
BLKG.	BLOCKING	N.T.S.	NOT TO SCALE
BM.	BEAM	O/	OVER
B.O.C.	BOTTOM OF CURB	O.C.	ON CENTER
BTM.	BOTTOM	OFF.	OFFICE
B.S.W.	BACK OF SIDEWALK	O.H.	OVERHANG
BTWN.	BETWEEN	OPNG.	OPENING
CABT.	CABINET	PERF.	PERFORATED
CEM.PLAS.	CEMENT PLASTER	PL.	PLATE
C.J.	CONTROL JOINT	PL.	PROPERTY LINE
CL.	CENTERLINE	PLAS. LAM.	PLASTIC LAMINATE
CLG.	CEILING	P.O.	PARTIALLY OPERABLE
CLKG.	CAULKING	P.T.	PRESSURE TREATED OR POST TENSIONED
CL.	CLOSET	PTD.	PAINTED
CLR.	CLEAR	PLYWD.	PLYWOOD
C.M.U.	CONCRETE MASONRY UNIT	R	RISER
COL.	COLUMN	REC.	RECESSED
COMM. ACCESS.	COMMUNICATION ACCESSIBLE	REC.	REFRIGERATOR
CONC.	CONCRETE	REINF.	REINFORCED
CONN.	CONNECTION	REQD.	REQUIRED
CONT.	CONTINUOUS	RM.	ROOM
CONST.	CONSTRUCTION	R.O.	ROUGH OPENING
CNTR.	COUNTER	R/W.L.	RAINWATER LEADER
CSMT.	CASEMENT	S.A.D.	SEE ARCHITECTURAL DRAWINGS
D.	DRYER	SAF.	SELF-ADHERED
DBL.	DOUBLE	S.C.	FLEXIBLE FLASHING
DET.	DETAIL	S.C.D.	SOLID CORE
DIA.	DIAMETER	S.S.D.	SEE CIVIL DRAWINGS
DIM.	DIMENSION	SCH.	SCHEDULE
DR.	DOOR	SEC.	SECTION
D.S.	DOWNSPOUT	S.E.D.	SEE ELECTRICAL DRAWINGS
DWG.	DRAWING	S.F.	SUBFLOOR
EA.	EACH	S.G.	SAFETY GLAZING
E.J.	EXPANSION JOINT	SH.	SHELF
ELEV.	ELEVATION	SHLV.	SHELVES
ELEC.	ELECTRIC	SHT.	SHEET
ENCL.	ENCLOSURE	SIM.	SIMILAR
E.P.	ELECTRIC PANEL	S.L.D.	SEE LANDSCAPE DRAWINGS
EQ.	EQUAL	S.M.	SHEET METAL
EQPT.	EQUIPMENT	S.M.D.	SEE MECHANICAL DRAWINGS
E.V.	ELECTRIC VEHICLE	S.P.	STANDPIPE
EXT.	EXTERIOR	S.P.D.	SEE PLUMBING DRAWINGS
F.A.I.	FRESH AIR INTAKE	SPECS.	SPECIFICATIONS
F.D.	FLOOR DRAIN	SQ.	SQUARE
FDN.	FOUNDATION	S.S.	STAINLESS STEEL
F.E.	FIRE EXTINGUISHER	STD.	STANDARD
F.E.C.	FIRE EXTINGUISHER CABINET	STL.	STEEL
F.F.	FINISHED FLOOR	STOR.	STORAGE
FIN.	FINISH OR FINISHED	STRUCT.	STRUCTURAL
FLASHG.	FLASHING	SV	SHEET VINYL
FLEX.	FLEXIBLE	T.B.	TOWEL BAR
FLR.	FLOOR	T&G	TONGUE AND GROOVE
F.O.B.	FACE OF BEAM	TEL.	TELEPHONE
F.O.C.	FACE OF CONCRETE	TEMP GL.	TEMPERED GLASS
F.O.F.	FACE OF FINISH	THRES.	THRESHOLD
F.O.S.	FACE OF STUD	T.O.	TOP OF
F.O.W.	FACE OF WALL	T.O.C.	TOP OF CURB
F.S.D.	FIRE SEPARATION DISTANCE	T.O.PL.	TOP OF PLATE
FT. ,'	FOOT	T.O.S.	TOP OF SLAB
FTG.	FOOTING	T.O.W.	TOP OF WALL
GA.	GAUGE	TPH	TOILET PAPER HOLDER
GAR.	GARAGE	T	TREAD (OR IMPERED)
G.B.	GRAB BAR	T.S.	TUBE STEEL
GL.	GLASS	TYP.	TYPICAL
GLAZ.	GLAZING	U.O.N.	UNLESS OTHERWISE NOTED
G.S.M.	GALVANIZED SHEET METAL	VCT	VINYL COMPOSITION TILE
G.W.B.	GYPNUM WALL BOARD	VERT.	VERTICAL
GYP.	GYPNUM	VEST.	VESTIBULE
H.B.	HOSE BIB	V.G.D.F.	VERTICAL GRAIN DOUG. FIR
HDWR.	HARDWARE	V.I.F.	VERIFY IN FIELD
H.M.	HOLLOW METAL	W.	WASHER
HORIZ.	HORIZONTAL	W/	WITH
HPR.	HOPPER	W.C.	WATER CLOSET
HR.	HOUR	WD.	WOOD
H.R.	HANDRAIL	WDW.	WINDOW
HT.	HEIGHT	WH.	WATER HEATER
IN. ,'	INCHES	W/O	WITHOUT
INSUL.	INSULATION	W.O.	WHERE OCCURS
INT.	INTERIOR	W.P.	WATERPROOF
INTERM.	INTERMEDIATE	WRB	WATER-RESISTANT BOARD
JT.	JOINT	W.S.	WHEELSTOP

## PROJECT TEAM

<b>OWNER / APPLICANT</b> SAHA 1835 Alcatraz Ave Berkeley, CA 94703 510-647-0700 Contact: Adam Kuperman	<b>CIVIL ENGINEER</b> Adobe Associates, Inc. 1220 N. Dutton Avenue Santa Rosa, CA 95401 707-541-2300 Contact: Tim Schram
<b>ARCHITECT</b> Pyatok Architects 1611 Telegraph Avenue, Suite 200 Oakland, CA 94612 510-465-7010 Contact: Peter Walker	<b>LANDSCAPE ARCHITECT</b> Lori Cagwin Landscape Architecture 11 Jasmine St Yountville, CA 94599 707-945-0835 Contact: Lori Cagwin

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CIVIL	
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C2.0	PRELIMINARY UTILITY PLAN
LANDSCAPE	
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L1.02	PLANTING PALETTE MONTAGE
L1.03	SITE AMENITIES MONTAGE
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ARCHITECTURAL	
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A2.03	BUILDING PLANS - ROOF LEVEL
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A4.02	UNIT PLANS

## PROJECT SUMMARY

THE PROPOSED PROJECT CONSISTS OF 48 UNITS OF NEW AFFORDABLE MULTIFAMILY RESIDENTIAL UNITS IN 8 BUILDINGS, AND A COMMUNITY BUILDING FOR RESIDENT SERVICES AND LEASING.

PROJECT ADDRESS: 20269 BROADWAY AVENUE, SONOMA CA 95476

SITE AREA: 1.975 ACRES  
TOTAL UNITS: 48 UNITS  
SITE DENSITY: 24.3 UNITS/ACRE  
ZONING: MX - MIXED USE (BROADWAY CORRIDOR)

CONSTRUCTION TYPE:	RESIDENTIAL BUILDINGS	COMMUNITY BUILDING
OCCUPANCY TYPE:	R2	A3

### DEVELOPMENT STANDARDS PER ZONING

	<b>REQUIRED</b>	<b>PROVIDED</b>
BLDG. SETBACK FRONT	15 FT	9-24 FT
BLDG. SETBACK SIDE	7 FT (17' COMBINED)	15-75 FT
BLDG. SETBACK REAR	20 FT	15-22 FT
DENSITY	20 UNITS/ACRE + 35% 24.3 UNITS/ACRE	
FLOOR AREA RATIO	1.0	.53
LOT COVERAGE	60%	28%
BUILDING HEIGHT	30 FT	26 TO 31 FT (20 FT COMM BLDG)
OPEN SPACE (COMMON)	14,700 SF	13,546 SF + 1,100 SF COMMON ROOM
	PER 19.40.070 E.1 AND E.3, OPEN SPACE INCENTIVES MAY INCLUDE REDUCED PARKING OR REDUCED FRONT YARD SETBACKS.	

PARKING SPACES	74 SPACES (REQ.)	75 SPACES (INCLUDING 10 TANDEM)
SECURED BICYCLE PARKING	0 SPACES	14 SPACES

### BUILDING GROSS AREAS

BUILDING 1	4,619 SF
BUILDING 2	3,525 SF
BUILDING 3	4,715 SF
BUILDING 4	7,877 SF
BUILDING 5	7,337 SF
BUILDING 6	5,273 SF
BUILDING 7	4,164 SF
BUILDING 8	5,292 SF
<b>TOTAL SF OF RESIDENTIAL BLDGS.</b>	<b>42,804 SF</b>
COMMUNITY BUILDING	3,043 SF

### UNIT TYPE SUMMARY

UNIT TYPE	DESCRIPTION	# UNITS	UNIT AREA (SF)
A1	1-BR FLAT	20	582
A2	1-BR FLAT	2	656
B1	2-BR FLAT	12	826
B2	2-BR FLAT	2	920
C1	3-BR FLAT	2	1,172
TH1	3-BR TH	10	1,151 - 1,311

## ACCESSIBILITY SUMMARY

THIS PROJECT IS A PUBLICLY FUNDED PROJECT COMPLYING WITH CHAPTER 11B OF THE 2016 CALIFORNIA BUILDING CODE (CBC) AND THE 2010 ADA. SINGLE-STORY GROUND-FLOOR DWELLING UNITS MUST ALSO COMPLY WITH PROVISIONS OF CHAPTER 11A OF THE CBC.

**RESIDENTIAL BUILDINGS:**  
BUILDINGS 1-3 ARE MULTI-FAMILY, NON-ELEVATOR-SERVED BUILDINGS COMPRISED OF MULTI-STORY TOWNHOMES WITH GROUND-LEVEL ENTRIES. ONE UNIT PER BUILDING MUST COMPLY WITH 11B-233.3.1.2.4, PROVIDING AN ACCESSIBLE ROUTE AND OTHER FEATURES.

BUILDINGS 4-8 ARE MULTI-FAMILY, STACKED FLATS WITH STAIR-ONLY ACCESS TO LEVEL 2 UNITS. ALL DWELLING UNITS WITH REQUIRED MOBILITY OR HEARING/VISUALLY IMPAIRED FEATURES ARE LOCATED ON THE GROUND-LEVEL, AND COMPLY WITH CHAPTER 11B OF THE 2016 CBC. ALL REMAINING GROUND-FLOOR UNITS COMPLY WITH CHAPTER 11A, DIVISION IV PER SECTION 233.1.2 OF THE 2016 CBC.

**COMMUNITY BUILDING:**  
THE COMMUNITY BUILDING IS A LEASING OFFICE, RESIDENTIAL SERVICES AND COMMUNITY CENTER AND COMPLIES WITH CHAPTER 11B OF THE 2016 CBC.

MOBILITY ACCESSIBLE UNITS: 48 X 5% = 3 REQUIRED AND PROVIDED  
ONE 1-BR UNIT, ONE 2-BR UNIT, AND ONE 3-BR UNIT  
COMMUNICATION ACCESSIBLE UNITS: 48 X 2% = 1 REQUIRED AND PROVIDED

## BUILDING CODES

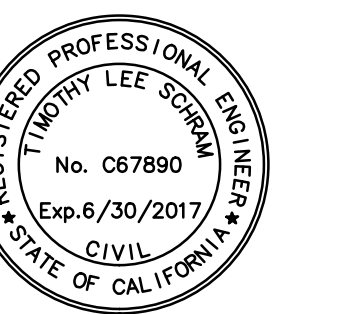
THIS PROJECT SHALL COMPLY WITH THE 2016 CALIFORNIA BUILDING CODE, WHICH ADOPTS THE 2015 IBC, 2015 UMC, 2015 UPC AND THE 2014 NEC.



300' 600' 900'  
**AERIAL CONTEXT**

**ALTAMIRA FAMILY HOUSING**

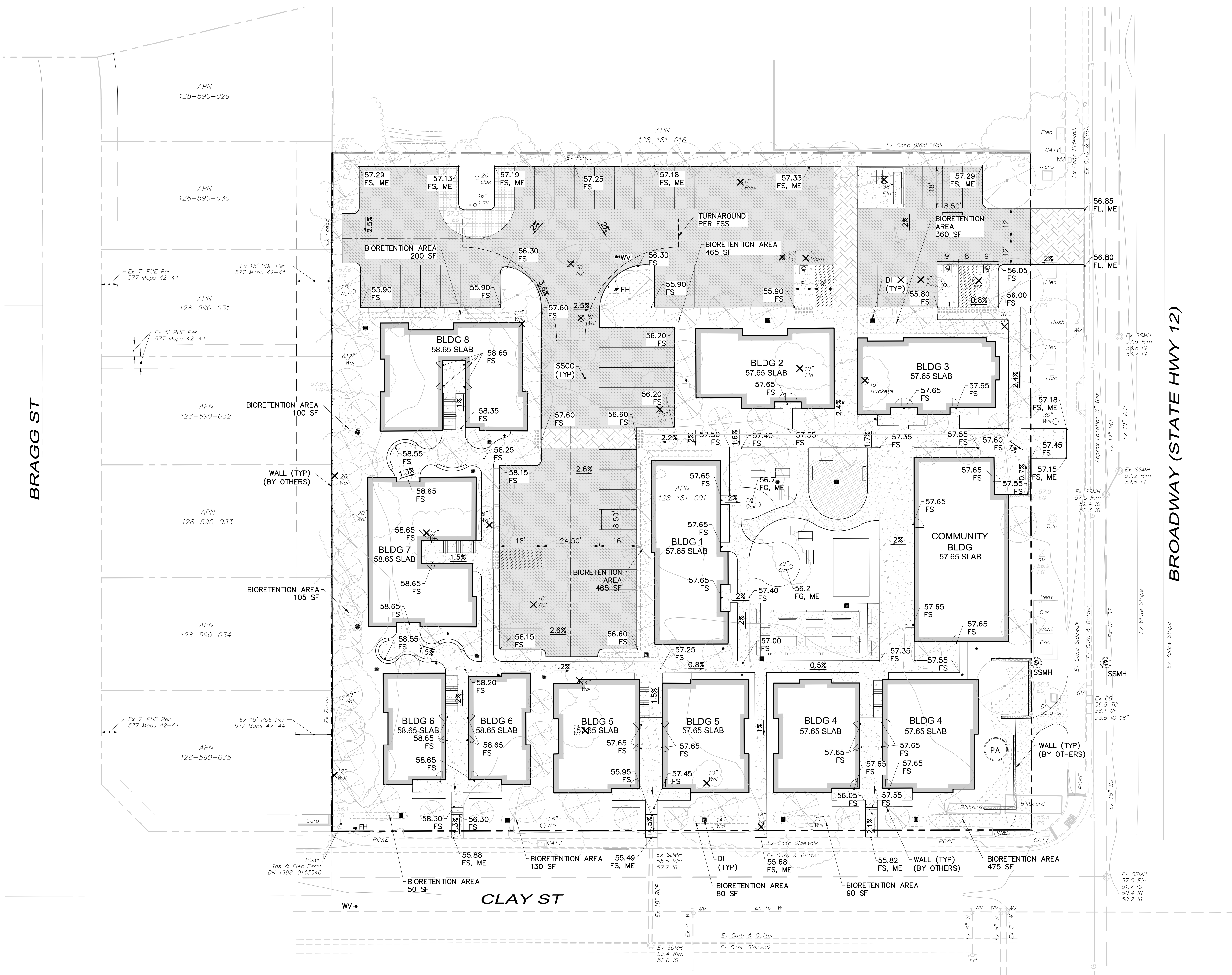
20269 Broadway Sonoma, CA



**adobe associates, inc.**  
civil engineering | land surveying | wastewater  
1220 N. Dutton Ave., Suite 200, CA 95401  
P: (707) 541-2300 F: (707) 541-2301  
Website: www.adobeinc.com

JOB NUMBER: 1522  
DRAWN BY: JOC, WJR  
CHECKED BY: TJS  
DATE: May 10, 2017  
SCALE: As Noted  
TITLE: Preliminary Grading & Drainage Plan

SHEET: **C1.0**  
PRELIMINARY - Not for Construction



**SHEET INDEX**  
C1.0 PRELIMINARY GRADING & DRAINAGE PLAN  
C2.0 PRELIMINARY UTILITY PLAN

**LEGEND**

PROPOSED	EXISTING	DESCRIPTION
		PROPERTY BOUNDARY
		CURB & GUTTER
		SANITARY SEWER & MANHOLE
		SANITARY SEWER LATERAL & CLEANOUT
		WATER LINE & GATE VALVE

**DEMOLITION LEGEND:**  
X 14" EX TREE TO BE REMOVED

**ABBREVIATIONS**

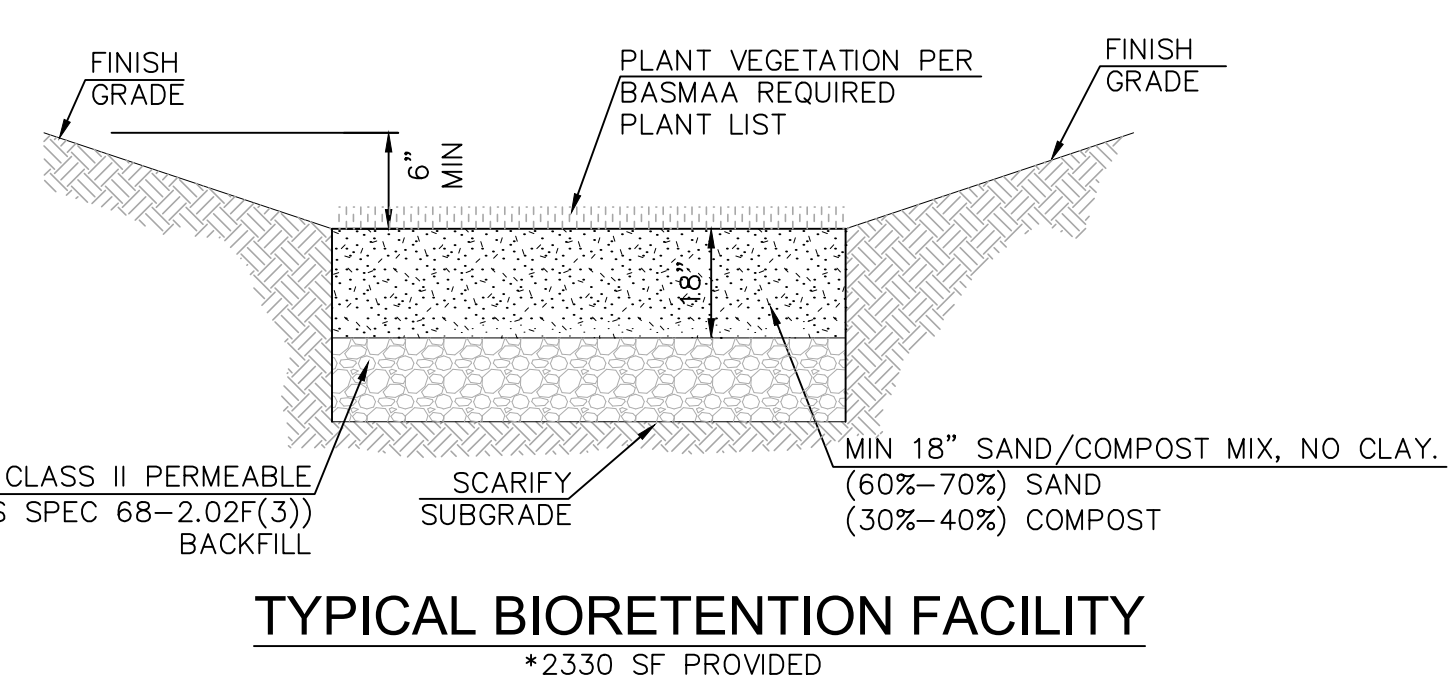
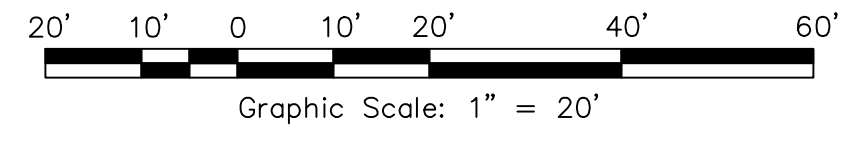
AAI	ADORE ASSOCIATES, INC.	IG	INVERT GRADE
AB	AGGREGATE BASE	LF	LINEAR FEET
AC	ASPHALT CONCRETE	MAX	MAXIMUM
AD	AREA DRAIN	MH	MANHOLE
BLDG	BUILDING	MIN	MINIMUM
BM	BENCH MARK	MRR	MEN'S RESTROOM
CB	CATCH BASIN	NTS	NOT TO SCALE
CL	CLASS	PIV	POST INDICATOR VALVE
CO	CENTERLINE	PL	PROPERTY LINE
CONC	CONCRETE	PP	POWER POLE
DI	DROP INLET	PUE	PUBLIC UTILITY EASEMENT
DWY	DRIVEWAY	REG	REGISTERED CIVIL ENGINEER
EG	EXISTING GROUND	RCP	REINFORCED CONCRETE PIPE
EP	EDGE OF PAVEMENT	R/W	RIGHT OF WAY
EL	ELEVATION	SD	STORM DRAIN
EX	EXISTING	SS	SANITARY SEWER
FL	FLOWLINE	STA	STATION
FG	FINISH GRADE	STD	STANDARD
FH	FIRE HYDRANT	TC	TOP OF CURB
FS	FINISHED SURFACE	TYP	TYPICAL
FSS	FIRE SAFE STANDARD	W	WATER
GB	GRADE BREAK	WM	WATER METER
GR	GRATE	WRR	WOMEN'S RESTROOM
HC	HANDICAPPED	WV	WATER VALVE

**HATCHING LEGEND:**

	PATHWAY FINES		TURF BLOCK
	CHIPSEAL		PATHWAY (SLD)
	HARDSCAPE		RUBBER MAT
	STAMPED ASPHALT		TRUNCATED DOMES PER CBC 11B-247

NOTE: REFER TO ARCHITECT'S AND LANDSCAPE ARCHITECT'S PLANS FOR COLORS, MATERIALS, SIZE, AND STRUCTURAL SECTIONS ON ALL SURFACES.

**PRELIMINARY GRADING & DRAINAGE PLAN**



**TYPICAL BIORETENTION FACILITY**  
\*2330 SF PROVIDED  
NTS

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# ALTAMIRA FAMILY HOUSING

20269 Broadway Sonoma, CA



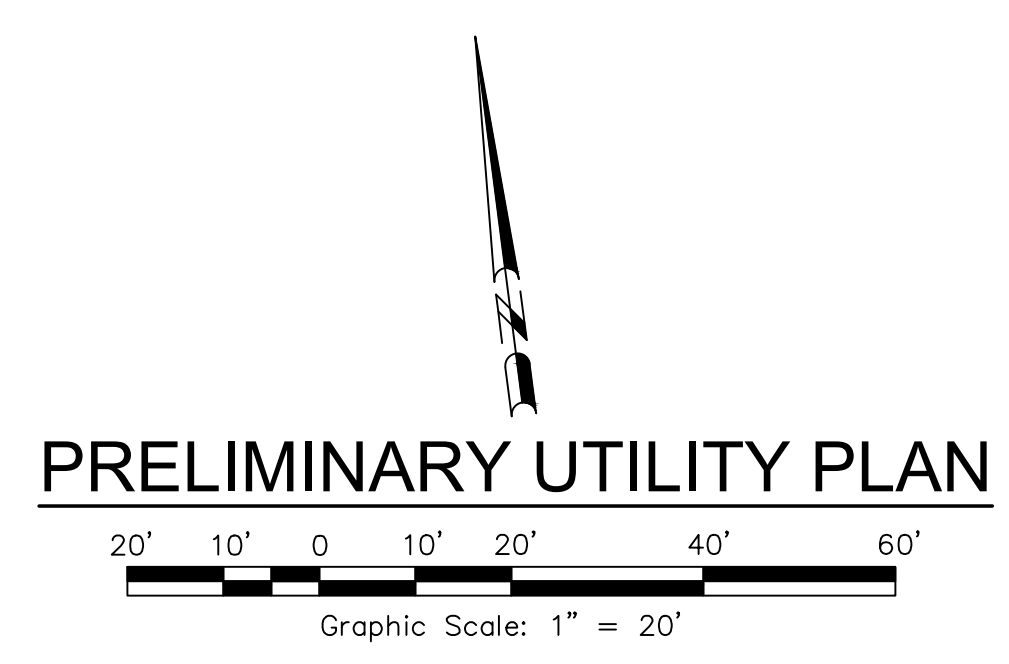
**adobe associates, inc.**  
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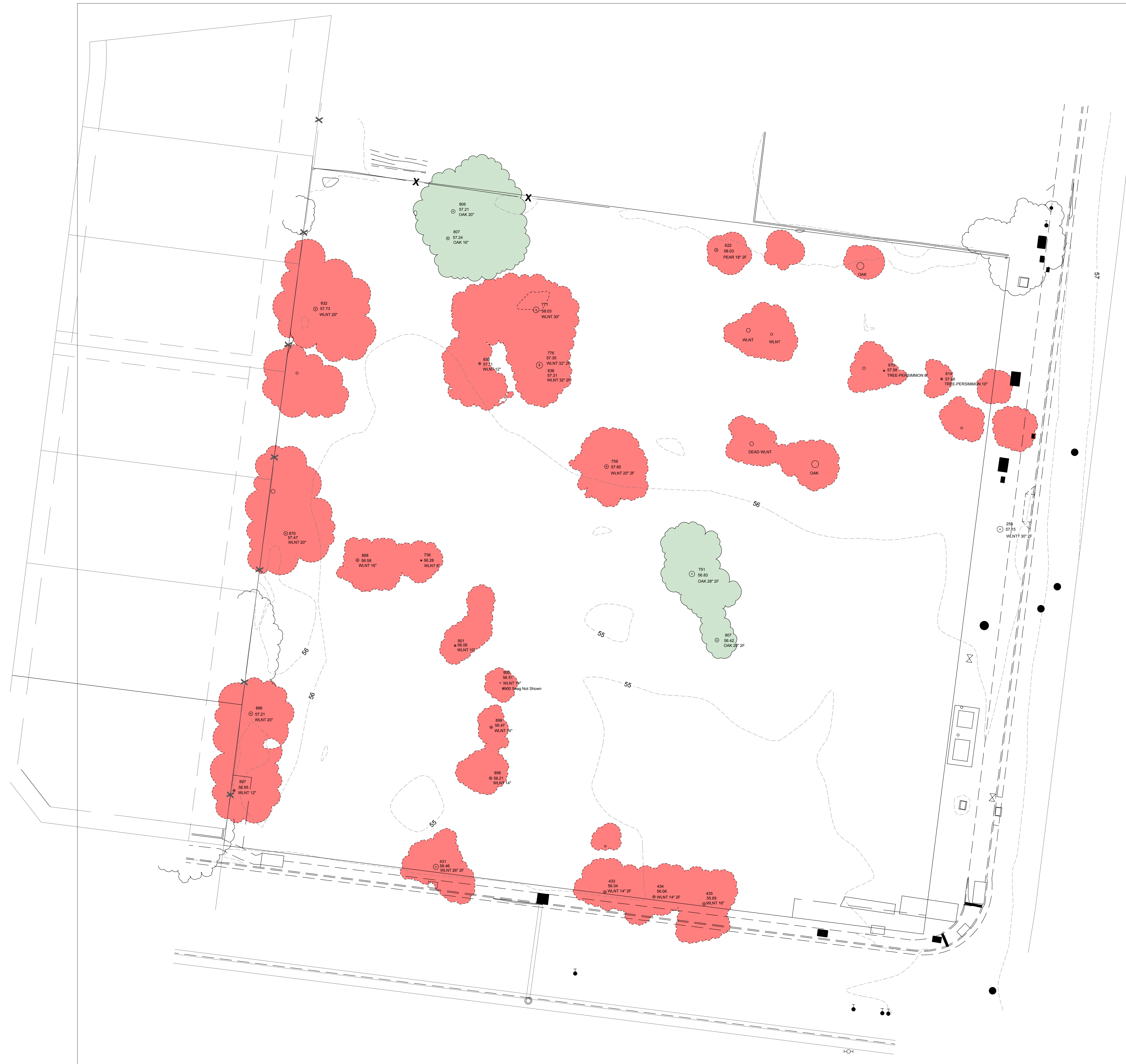
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 DRAWN BY: JGC, WJR  
 CHECKED BY: TJS  
 DATE: May 10, 2017  
 SCALE: As Noted  
 TITLE: Preliminary Utility Plan

SHEET:  
**C2.0**

- PRELIMINARY - Not for Construction



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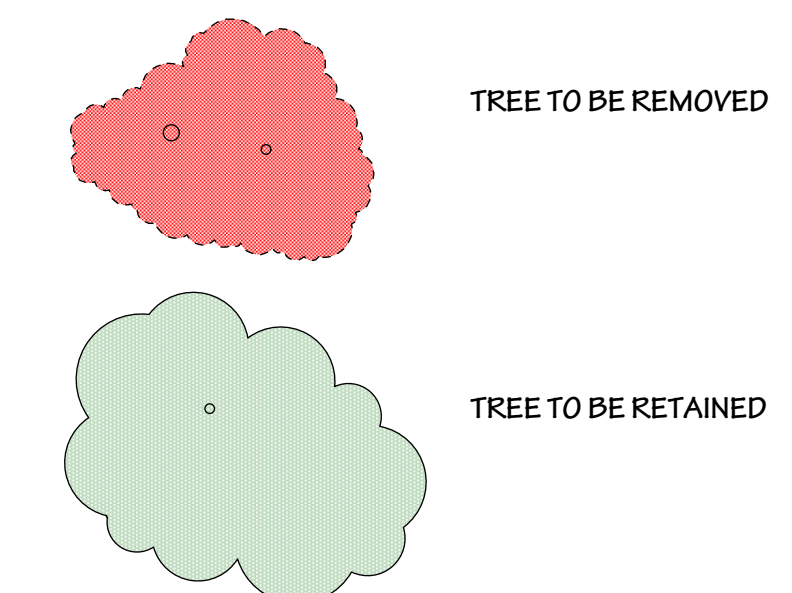
**TREE PRESERVATION AND REMOVAL ASSESSMENT**

**WALNUTS:**  
The current site consists primarily of Walnuts, which have been neglected for some time. All walnuts will be removed due to conflicts with proposed improvements, poor shape due to lack of care, or neighbor requests for removal due to unacceptable screening.

**FRUIT TREES:**  
A few fruit trees exist along the northeast corner of the property but will be removed due to conflicts with the proposed improvements.

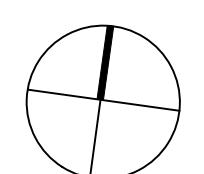
**OAKS:**  
There are 5 native oaks on the property. The largest will be retained and protected. The 2 smaller oaks will be removed due to conflicts with the proposed improvements.

**TREE PRESERVATION AND REMOVAL LEGEND**



**TREE PROTECTION NOTES**

1. The General Contractor shall install orange tree protection fencing around the drip line of all trees to be preserved within construction zones. The Landscape Contractor shall insure continued protection of existing trees. Protection devices installed by the General Contractor at the start of construction shall remain in place during the duration of construction activities.
2. No person shall damage any tree without first reviewing the necessity, alternatives, and mitigation measures with the Landscape Architect.
3. No person shall damage or harm any preserved trees by any means whatsoever including, without limitation, vehicles, machinery, building supplies or materials (including fluids) for the duration of any construction on the parcel. Hazardous materials of all forms, structures or equipment shall not be used or stored within the drip line of preserved trees.
4. Root pruning shall be restricted to roots less than 2" in diameter. Roots shall be cut with a clean, sharp blade and shall not be severed, pulled or broken during grading or trenching. If a tree root larger than 2" is encountered at any time, the General Contractor shall notify the Landscape Architect or arborist immediately prior to further activity in the area of the exposed root.
5. The original grade in the immediate area of the trunk shall be maintained at all times.



STAMP:

JOB NUMBER: \_\_\_\_\_  
DRAWN BY: \_\_\_\_\_ LC  
CHECKED BY: \_\_\_\_\_ LC  
DATE: MAY 5, 2017  
SCALE: 1" = 20'-0"  
TITLE: \_\_\_\_\_

**TREE PRESERVATION & REMOVAL PLAN**

SHEET:  
**L2.00**  
- PRELIMINARY - Not for Construction

**ALTAMIRA FAMILY APARTMENTS**  
20269 Broadway, Sonoma, CA

STAMP:

JOB NUMBER: 1522  
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SCALE: 3/32" = 1'-0"

TITLE: **SITE PLAN**

SHEET:

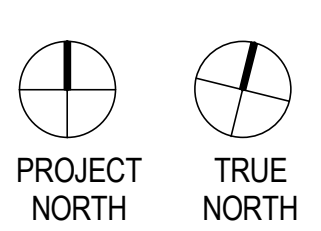
**A1.01**

- PRELIMINARY - Not for Construction -



BROADWAY

CLAY STREET



SITE PLAN - LEVEL 1  
3/32" = 1'-0" 1



BROADWAY STREET PERSPECTIVE ②



CLAY STREET PERSPECTIVE ①

**ALTAMIRA FAMILY APARTMENTS**  
20269 Broadway, Sonoma, CA

STAMP:

JOB NUMBER: 1522  
DRAWN BY: Author  
CHECKED BY: Checker  
DATE: 5-10-17  
SCALE:  
TITLE:  
**3D Views**

SHEET:

**A1.02**

**ALTAMIRA FAMILY APARTMENTS**  
20269 Broadway, Sonoma, CA



STAMP:

JOB NUMBER: 1522  
DRAWN BY: Author  
CHECKED BY: Checker  
DATE: 5-10-17  
SCALE: 1/8" = 1'-0"  
TITLE: BUILDING PLANS - LEVEL 1

SHEET:  
**A2.01**

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**ALTAMIRA FAMILY APARTMENTS**

20269 Broadway, Sonoma, CA

STAMP:

JOB NUMBER: 1522  
DRAWN BY: Author  
CHECKED BY: Checker  
DATE: 5-10-17  
SCALE: 1/8" = 1'-0"

TITLE:  
**BUILDING PLANS - LEVEL 2**

SHEET:

**A2.02**

- PRELIMINARY - Not for Construction -



**BUILDING PLANS - LEVEL 2**  
1/8" = 1'-0" ①



**ALTAMIRA FAMILY APARTMENTS**  
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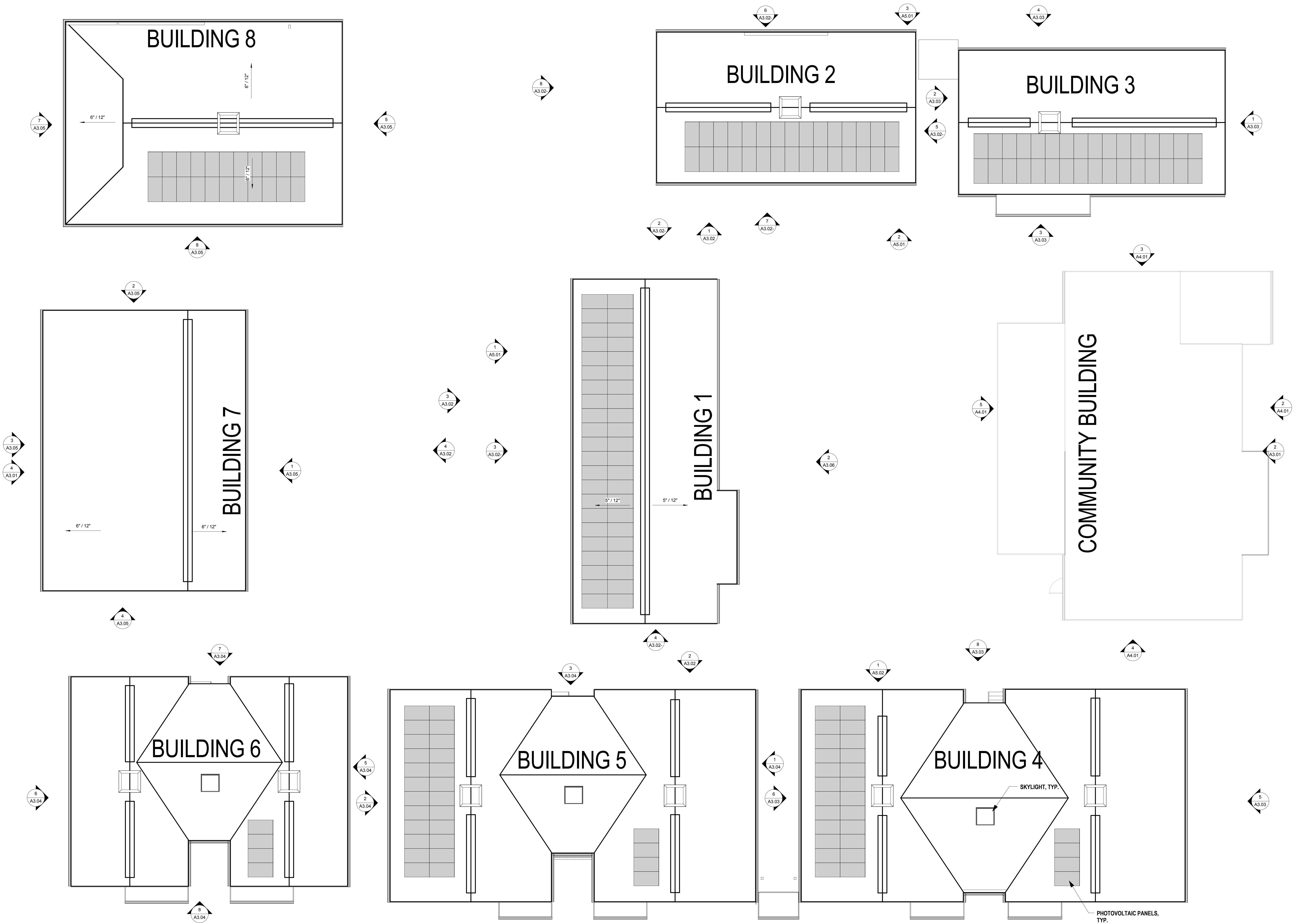
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SCALE: 1/8" = 1'-0"

TITLE: **BUILDING PLANS - ROOF LEVEL**

SHEET:

**A2.03**

- PRELIMINARY - Not for Construction -



**BUILDING PLANS - ROOF LEVEL**  
1/8" = 1'-0" 1

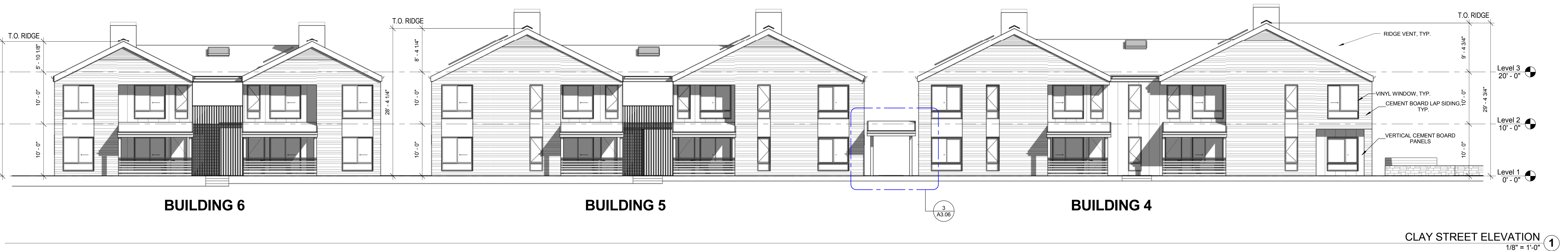
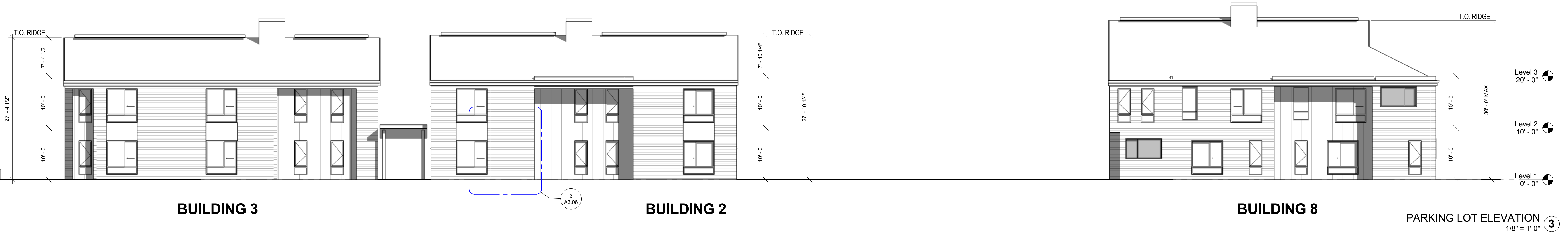
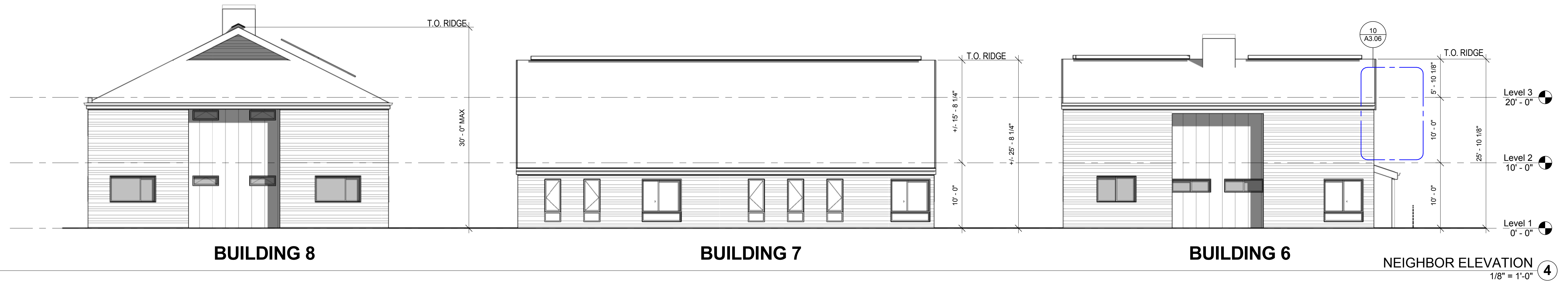
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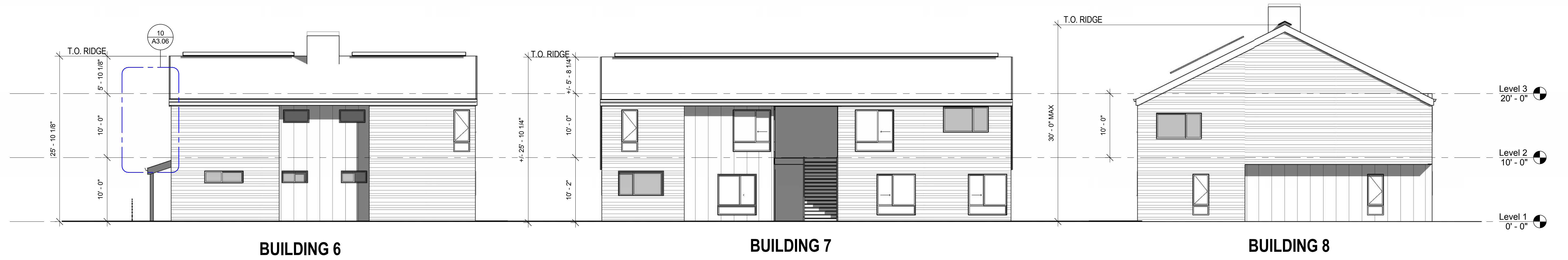
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 SITE ELEVATIONS - STREET  
 VIEWS

SHEET:

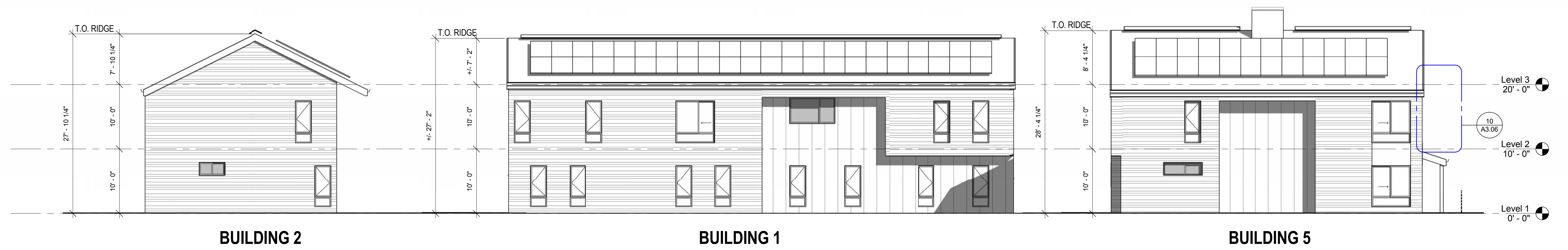
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- PRELIMINARY - Not for Construction -

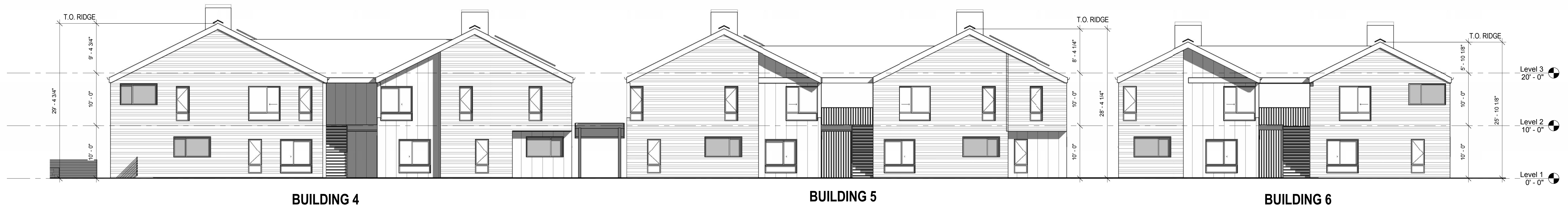




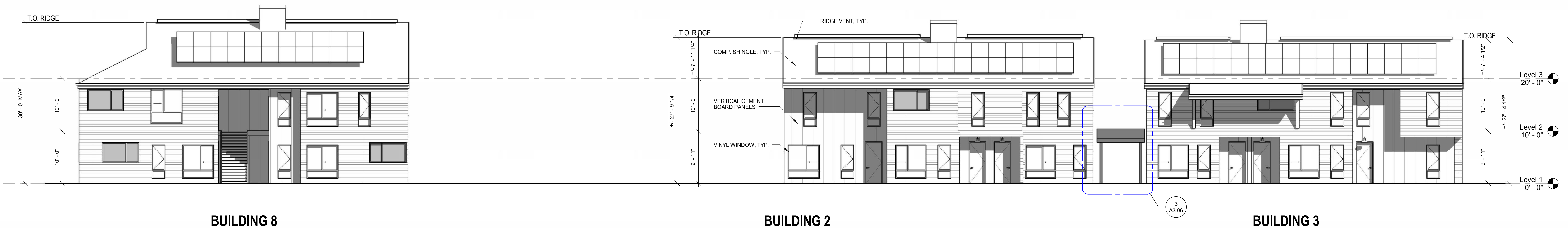
SITE ELEVATION - PARKING COURT FACING WEST  
 1/8" = 1'-0" ④



SITE ELEVATION - PARKING COURT FACING EAST  
 1/8" = 1'-0" ③



SITE ELEVATION - COURTYARD FACING SOUTH  
 1/8" = 1'-0" ②



SITE ELEVATION - COURTYARD FACING NORTH  
 1/8" = 1'-0" ①

STAMP:

JOB NUMBER: 1522  
 DRAWN BY: CA  
 CHECKED BY: KS/TBD  
 DATE: 5-10-17  
 SCALE: 1/8" = 1'-0"

TITLE:  
**SITE ELEVATIONS**

SHEET:

**A3.02**

- PRELIMINARY - Not for Construction -

**ALTAMIRA FAMILY APARTMENTS**  
20269 Broadway, Sonoma, CA

STAMP:

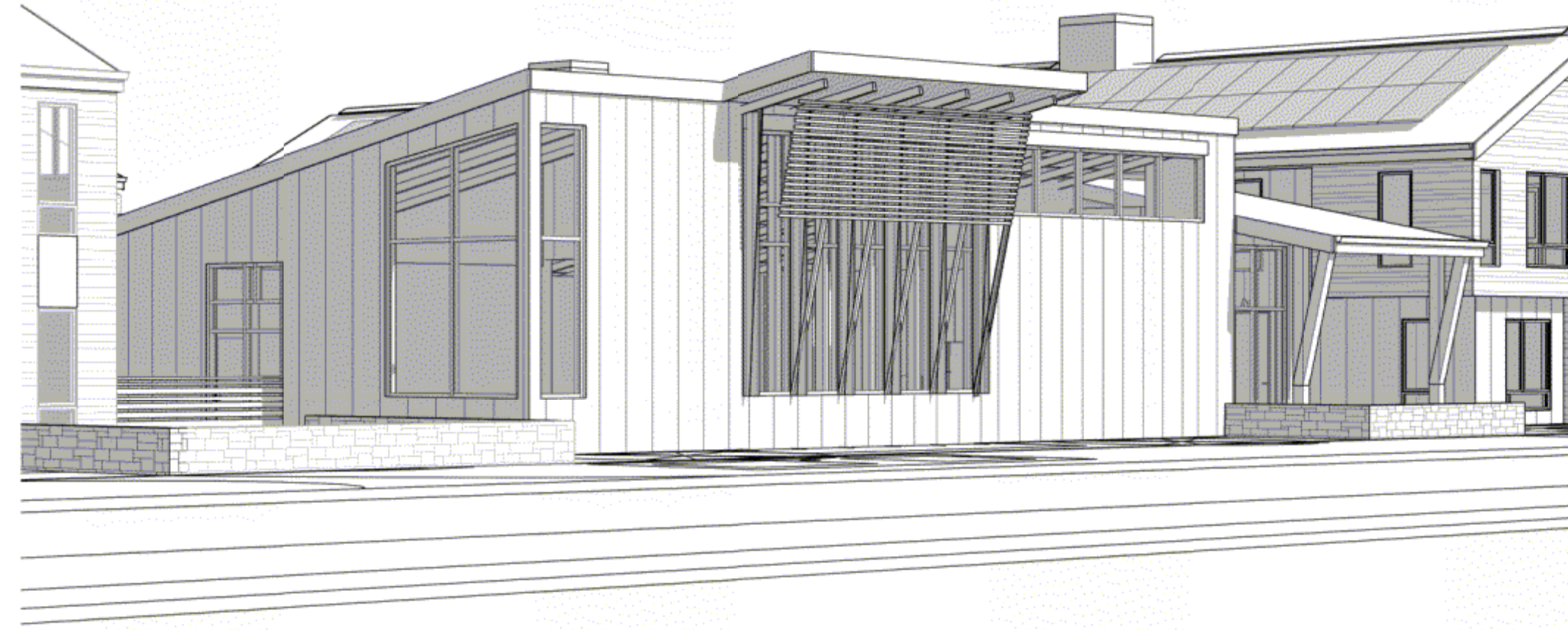
JOB NUMBER: 1522  
DRAWN BY: Author  
CHECKED BY: Checker  
DATE: 5-10-17  
SCALE: As indicated

TITLE:  
**ENLARGED BUILDING PLANS -  
COMMUNITY CENTER**

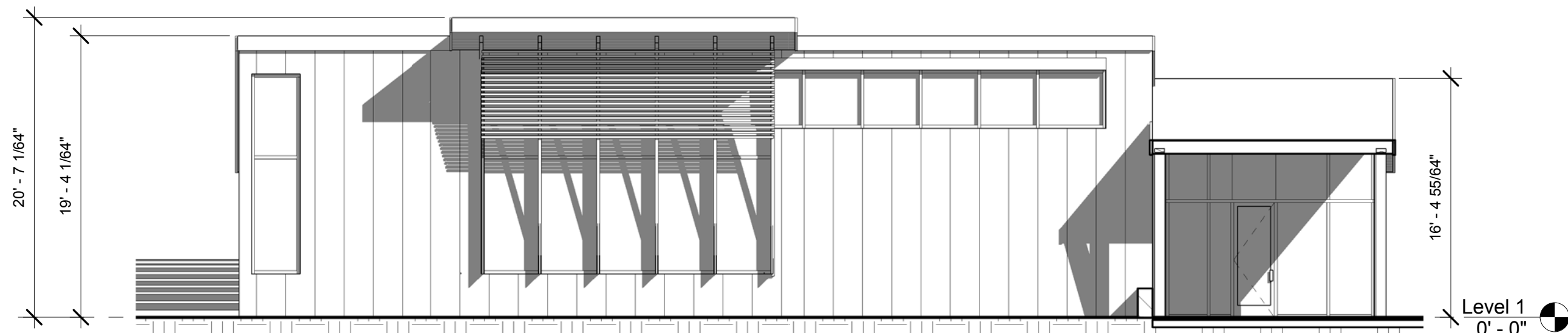
SHEET:

**A4.01**

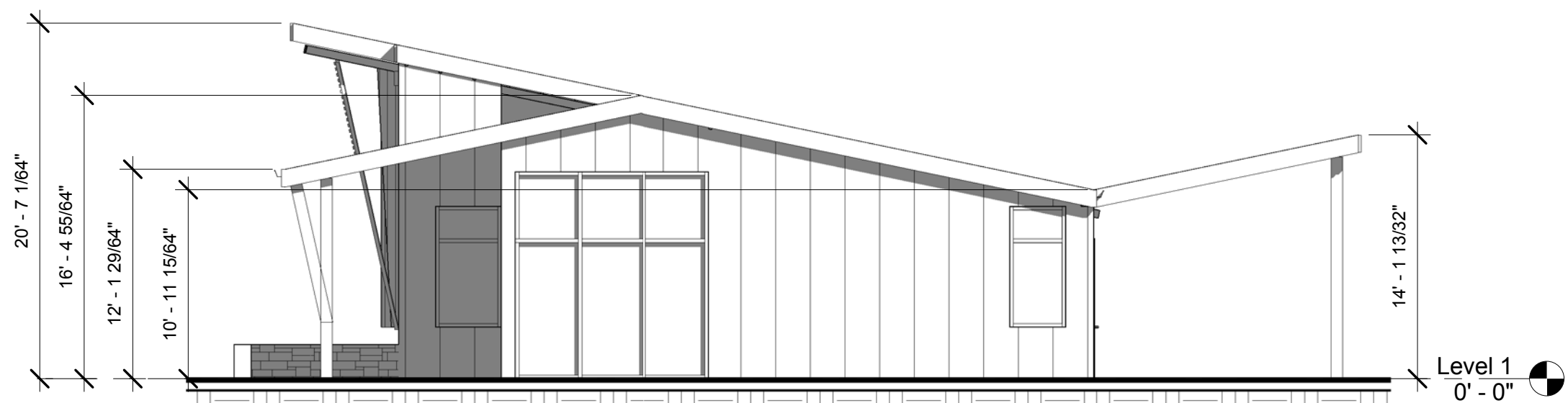
- PRELIMINARY - Not for Construction -



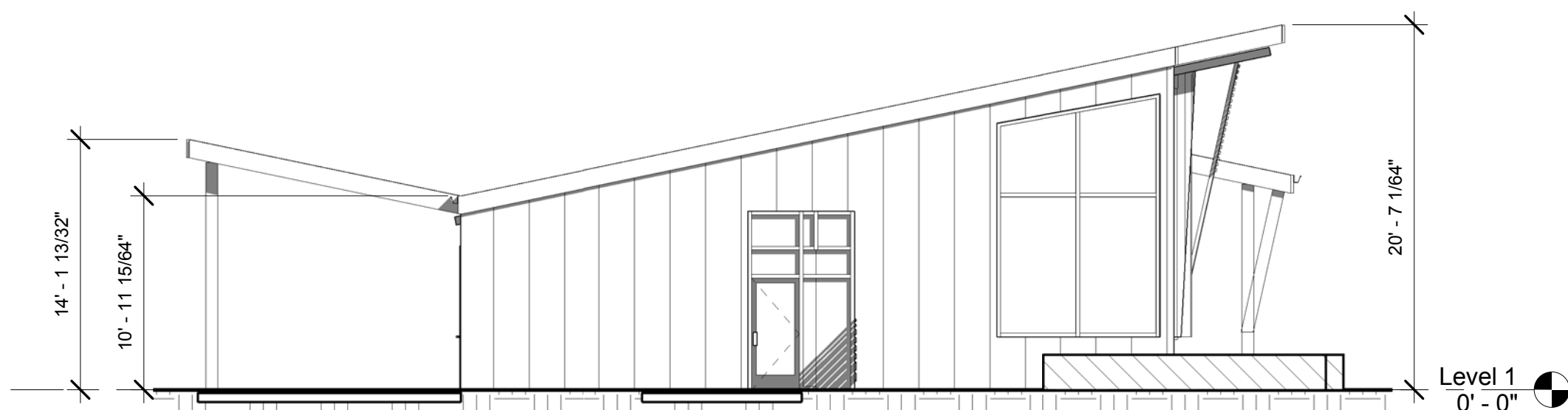
PERSPECTIVE\_CORNER Copy 1 **6**



COMMUNITY BUILDING - EAST ELEVATION **2**  
1/8" = 1'-0"



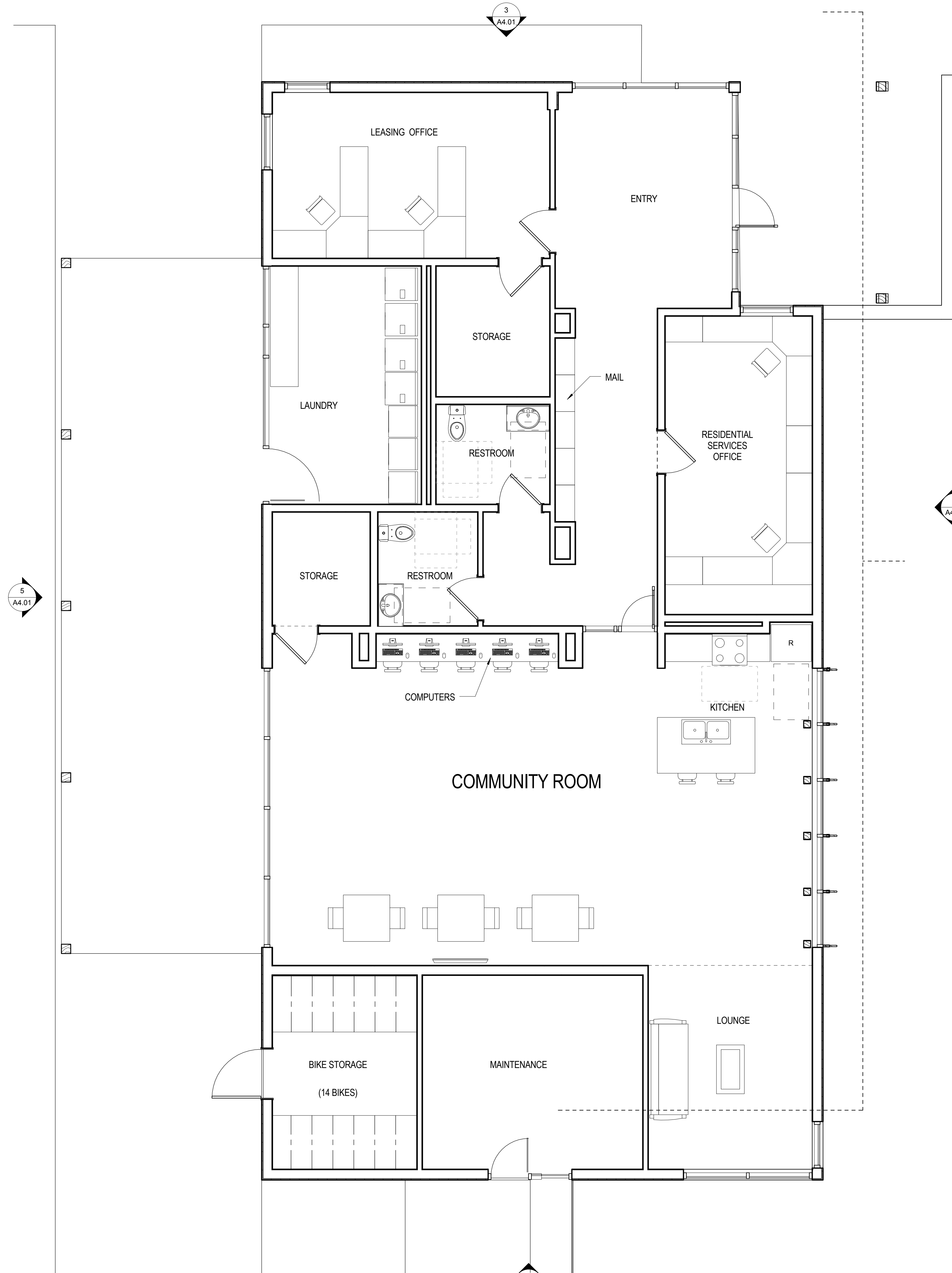
COMMUNITY BUILDING - NORTH ELEVATION **3**  
1/8" = 1'-0"



COMMUNITY BUILDING - SOUTH ELEVATION **4**  
1/8" = 1'-0"



COMMUNITY BUILDING - WEST ELEVATION **5**  
1/8" = 1'-0"



COMMUNITY CENTER - LEVEL 1 **1**  
1/4" = 1'-0"

STAMP:

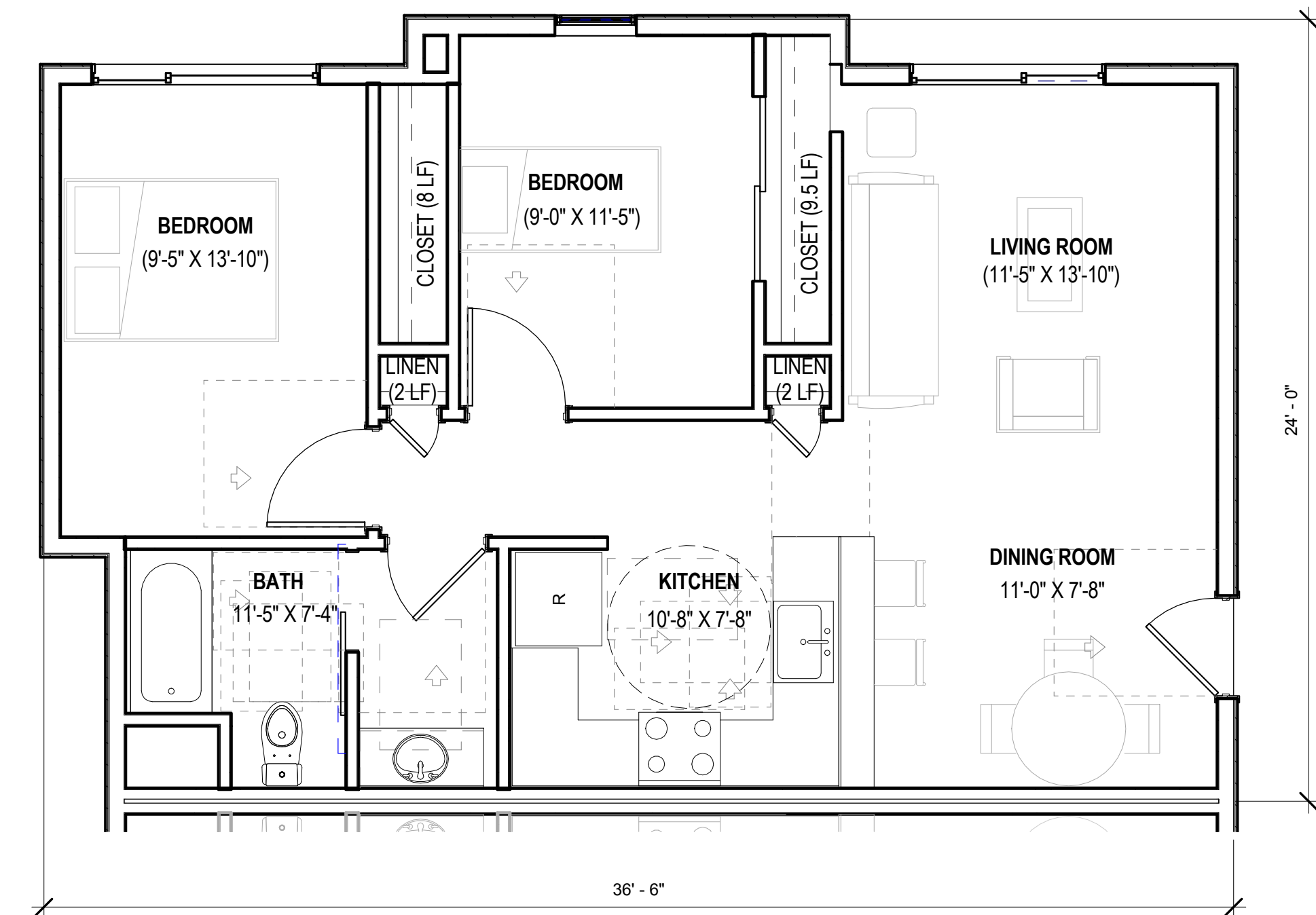
JOB NUMBER: 1522  
DRAWN BY: Author  
CHECKED BY: Checker  
DATE: 5-10-17  
SCALE: 1/4" = 1'-0"

TITLE:  
**UNIT PLANS**

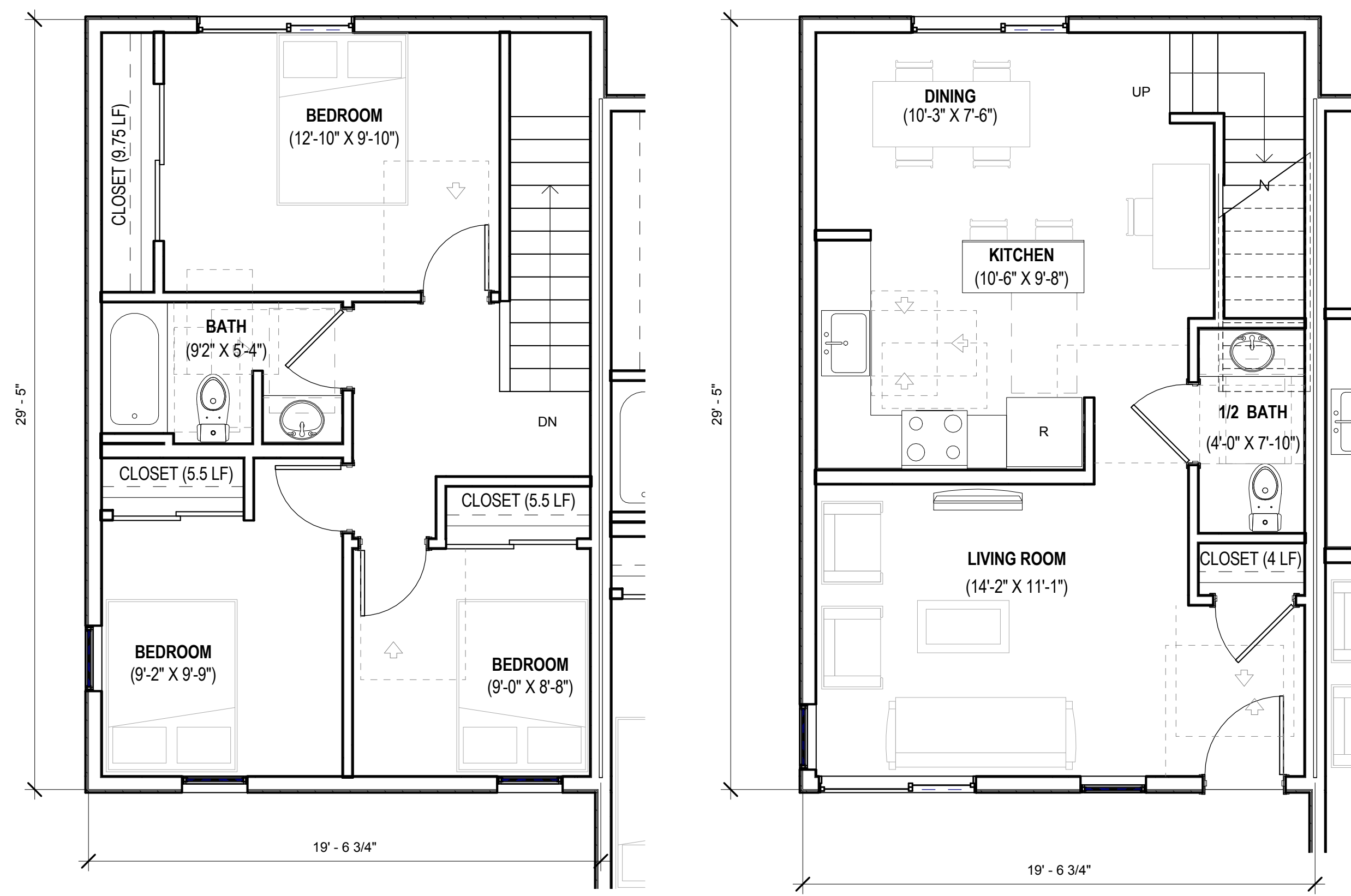
SHEET:

**A4.02**

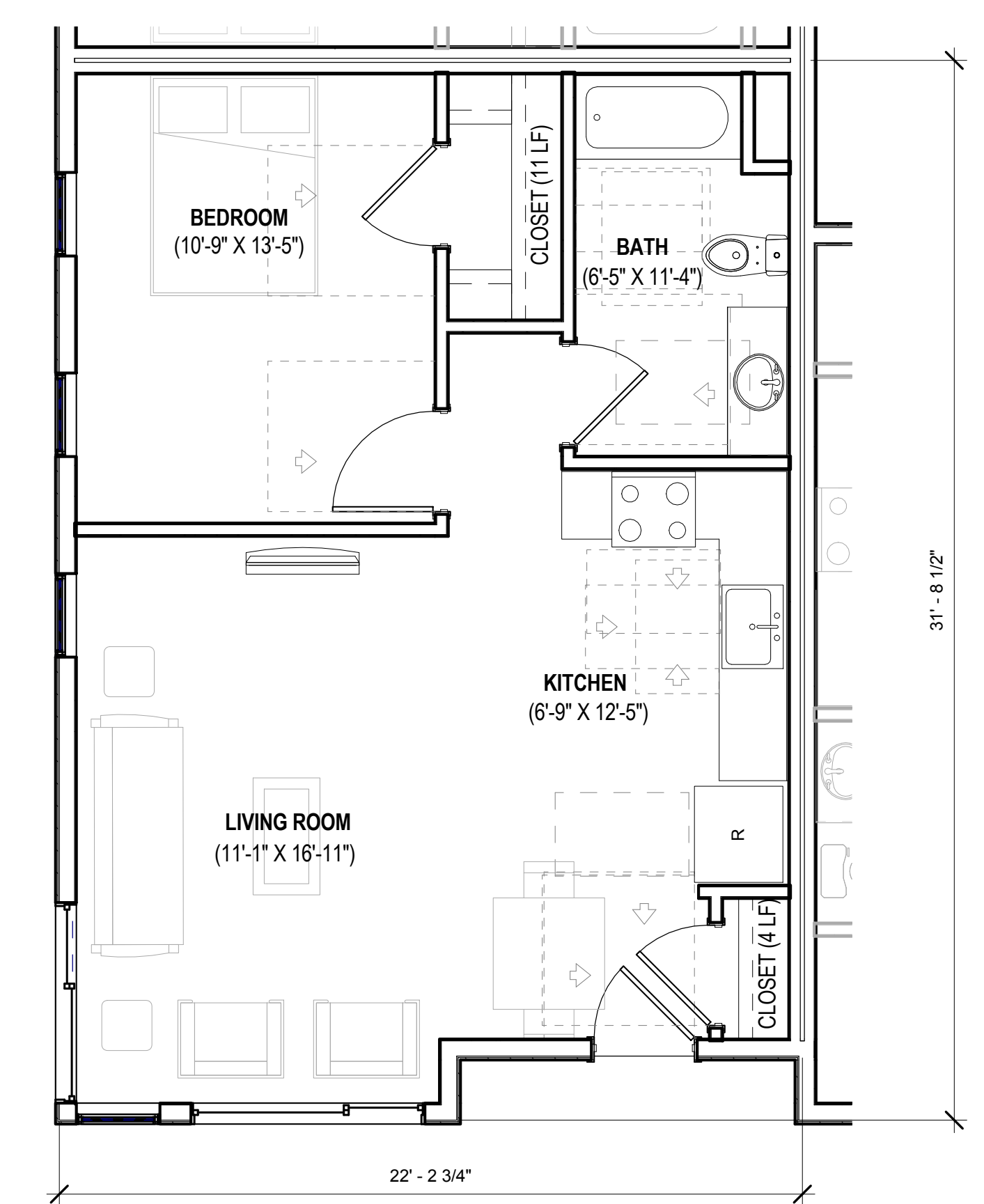
- PRELIMINARY - Not for Construction -



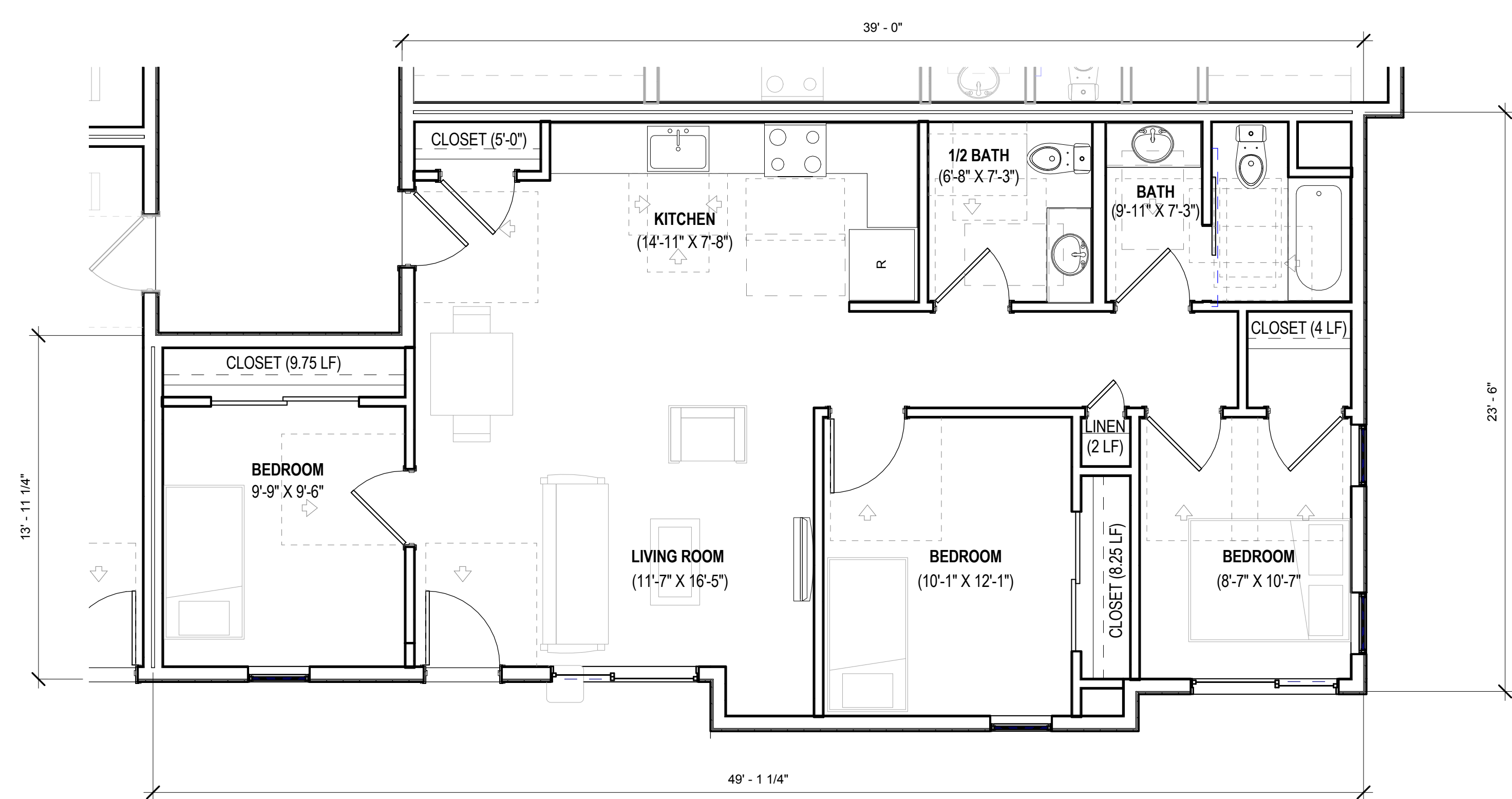
826 SF UNIT PLAN - B1 (2 BEDROOM) 3  
1/4" = 1'-0"



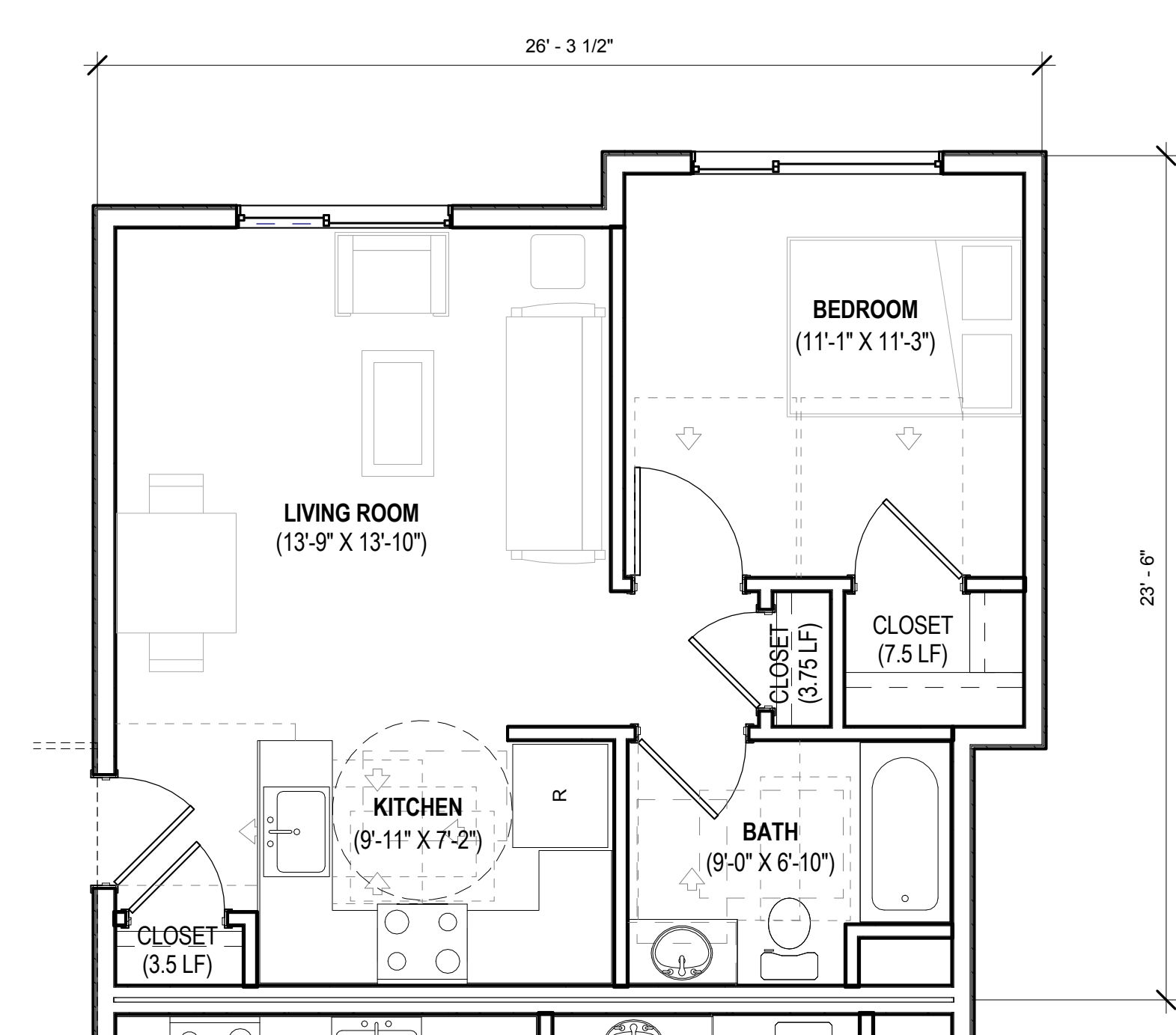
UPPER LEVEL LOWER LEVEL  
1,151 - 1,311 SF UNIT PLAN - TH1 5  
1/4" = 1'-0"



685 SF UNIT PLAN - A2 (1 BEDROOM) 2  
1/4" = 1'-0"



1,172 SF UNIT PLAN - C1 (3 BEDROOM) 4  
1/4" = 1'-0"



582 SF UNIT PLAN - A1 (1 BEDROOM) 1  
1/4" = 1'-0"