



City of Sonoma CUP Application Narrative

Applicant

SOPARC, LLC dba SPARC

Project Location

19315 CA 12

Assessor's Parcel Number (APN)

127-740-001

Number of Employees

15-20 Team Members upon opening, and a maximum of 30 Team Members once at full capacity

Hours of Operation

8:00am - 8:00pm, 7 days a week, as permitted by the City of Sonoma's regulations

Shipping & Delivery Schedule

Within operating hours permitted by the City of Sonoma, 8:00am - 8:00pm, 7 days a week, as permitted by the City of Sonoma's regulations

Drive Through Service

Drive through service is not proposed as part of this application.

Outdoor Storage Needs

In compliance with CCR Title 16 §5042 and §5046, no cannabis or cannabis products will be stored outdoors and no other outdoor storage is proposed.

Further Project Specific Information Required by Planning Division

N/A

Application Narrative

SOPARC, LLC (hereafter referred to as "SPARC") proposes to operate a cannabis retail facility at 19315 Sonoma Highway. This application is submitted pursuant to the Conditional Clearance granted by the Sonoma City Council on December 14, 2020.

SPARC proposes to utilize the existing building of approximately 3,762 sf for cannabis retail. A remodel is proposed for roughly 2,700 square feet of the building, while an additional 1,000 square feet would be excluded from the remodel (use to be determined at a later date).

SPARC will operate between the hours of 8:00 am and 8:00 pm, 7 days a week, as permitted by the City of Sonoma's regulations. Shipping and deliveries will occur within the permitted operating hours. No drive



City of Sonoma CUP Application Narrative

through service is planned for this site. In compliance with CCR Title 16 §5042 and §5046, no cannabis or cannabis products will be stored outdoors and no other outdoor storage is proposed.

Distribution (incoming product) deliveries will occur via the proposed new door on the west side of the building, which will not be accessed by customers. Distribution drivers will be checked in at the intake desk and shipment manifests will be verified prior to final intake of the product. Delivery drivers leaving the building to deliver products will exit on the west side of the building, as well, and proceed directly to their vehicles.

CANNABIS DISPENSARY SPARC - SONOMA - TI

19351 Sonoma Hwy
Sonoma, CA 95476

S/A
SCHWARTZ
ARCHITECTURE
1653 FINLAW ST.
SANTA ROSA, CA 95404
TEL: 707.478.4949



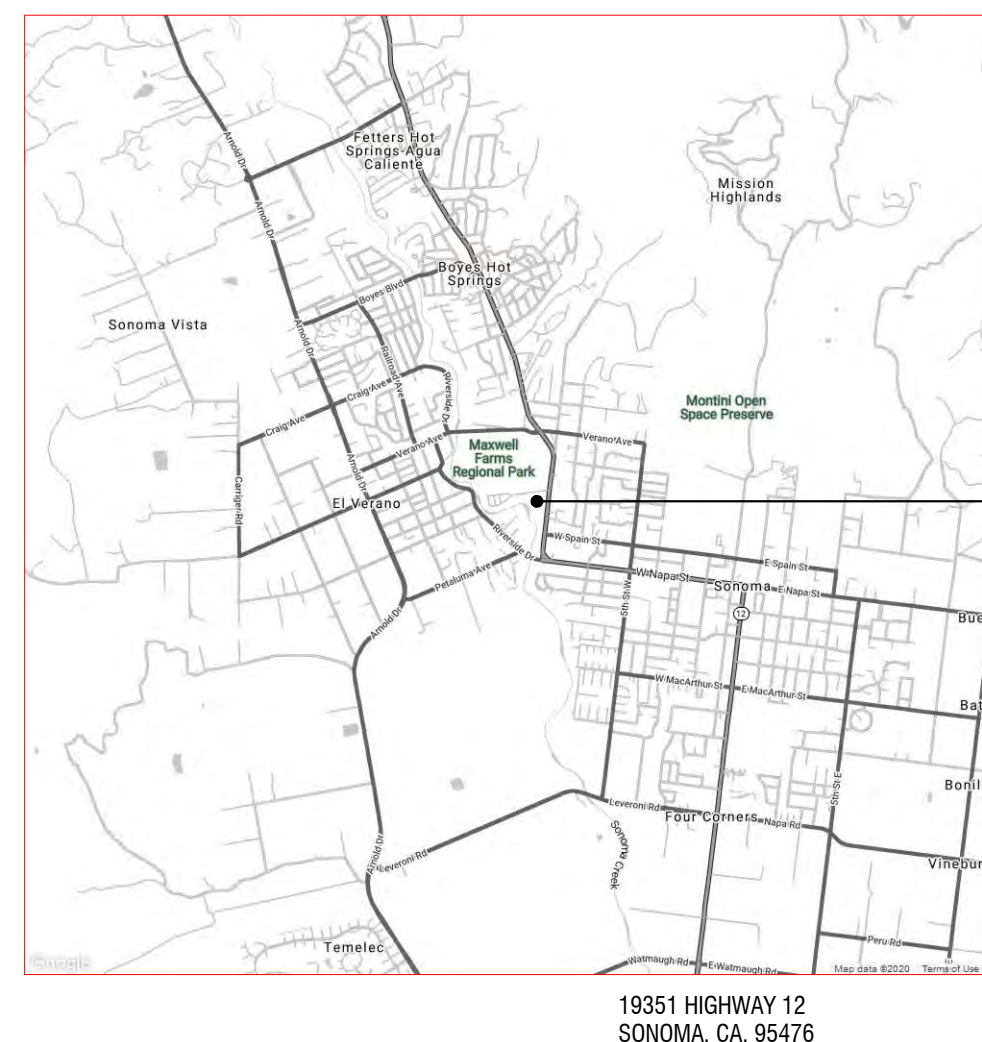
SPARC - SONOMA - TI
CANNABIS DISPENSARY
19351 Sonoma Hwy
Sonoma, CA 95476



APPLICABLE CODES

- BUILDING CODES AND STANDARDS**
- 2019 CALIFORNIA ADMINISTRATIVE CODE (CAC)
 - CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 1
 - 2019 CALIFORNIA BUILDING CODE (CBC)
 - CALIFORNIA CODE OF REGULATIONS, TITLE 24, PART 2. BASED ON 2018 INTERNATIONAL BUILDING CODE (IBC)
 - 2019 CALIFORNIA BUILDING CODE (CBC) APPENDIX CHAPTER 1 105.3
 - 2019 CALIFORNIA RESIDENTIAL CODE (CGR)
 - CALIFORNIA CODE OF REGULATIONS, TITLE 24, PART 2.5. BASED ON THE 2018 INTERNATIONAL RESIDENTIAL CODE (IRC)
 - 2019 CALIFORNIA ELECTRICAL CODE (CEC)
 - CALIFORNIA CODE OF REGULATIONS, TITLE 24, PART 3. BASED ON 2017 NATIONAL ELECTRICAL CODE (NEC)
 - 2019 CALIFORNIA MECHANICAL CODE (CMC)
 - CALIFORNIA CODE OF REGULATIONS, TITLE 24, PART 4. BASED ON 2018 UNIFORM MECHANICAL CODE (UMC).
 - 2019 CALIFORNIA PLUMBING CODE (CPC)
 - CALIFORNIA CODE OF REGULATIONS, TITLE 24, PART 5. BASED ON 2018 UNIFORM PLUMBING CODE (UPC).
 - 2019 CALIFORNIA ENERGY CODE
 - CALIFORNIA CODE OF REGULATIONS, TITLE 24, PART 6.
 - 2019 CALIFORNIA HISTORICAL BUILDING CODE (CHBC)
 - CALIFORNIA CODE OF REGULATIONS, TITLE 24, PART 8.
 - 2019 CALIFORNIA FIRE CODE (CFC)
 - CALIFORNIA CODE OF REGULATIONS, TITLE 24, PART 9. BASED ON 2018 INTERNATIONAL FIRE CODE (IFC).
 - 2019 CALIFORNIA EXISTING BUILDING CODE (CEBC)
 - CALIFORNIA CODE OF REGULATIONS, TITLE 24, PART 10. BASED ON 2018 INTERNATIONAL EXISTING BUILDING CODE (IEBC)
 - 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE (CALGreen)
 - CALIFORNIA CODE OF REGULATIONS, TITLE 24, PART 11.
 - 2019 CALIFORNIA REFERENCED STANDARDS CODE
 - CALIFORNIA CODE OF REGULATIONS, TITLE 24, PART 12.
- NATIONAL REFERENCE STANDARDS**
- NFPA 13, 2019 EDITION, INSTALLATION OF AUTOMATIC SPRINKLER SYSTEMS
 - NFPA 72, 2019 EDITION, NATIONAL FIRE ALARM CODE
 - ADA (AMERICANS WITH DISABILITIES ACT, 1990)

VICINITY MAP



LOCATION MAP



PARCEL / PROJECT INFORMATION

ZONING INFORMATION

APN: 127-740-001
 PARCEL AREA: 16,017 SF (.3677 ACRES)
 ZONING: (C) COMMERCIAL
 ALLOWED BUILDING HEIGHT: 30 FT.
 BUILDING SETBACKS
 FRONT: 15 FT. (ONE STORY)
 SIDE: N/A
 REAR: N/A

BUILDING INFORMATION

OCCUPANCY GROUP: B, M, S-1
 CONSTRUCTION TYPE: V-B

LOT COVERAGE: 16,017 SF LOT
 4,959 SF / 16,017 SF = 30.1%

EXISTING AREA: 1,908 SF
 PROPOSED ADDITION: N/A
 TOTAL PROPOSED AREA: 1,908

FIRE SPRINKLER: **YES, WILL BE INSTALLED AS PART OF THIS PROJECT**

YEAR CONSTRUCTED: 1908

NUMBER OF FLOORS: 1

FLOOR AREA CHANGE: NONE

PARKING: NO CHANGE

PROJECT SUMMARY

SUMMARY

- INTERIOR TENANT IMPROVEMENTS FOR CANNABIS DISPENSARY WITH DELIVERY
- INSTALLATION OF NEW AUTOMATIC FIRE SPRINKLER SYSTEM

CANNABIS LICENSE TYPES

- A-LICENSE: ADULT USE
- M-LICENSE: MEDICINAL USE
- TYPE 10: RETAILER WITH DELIVERY

PROJECT AREA

- 1,908 SF CANNABIS DISPENSARY
- TOTAL = 1,908 SF

PARKING

PARKING REQUIRED

- EXISTING PARKING (TOTAL) = 47 SPACES
- EXISTING PARKING (ACCESSIBLE)
 - 2 STANDARD ACCESSIBLE SPACE
 - 1 VAN ACCESSIBLE SPACE
- EXISTING PARKING (SPARC) = 24 SPACES

PROPOSED PARKING

- 47 STANDARD SPACES WITH UP TO 50% COMPACT
- 2 STANDARD ACCESSIBLE SPACE
- 1 VAN ACCESSIBLE SPACE
- 2 BICYCLE SPACES
- CANNABIS DISPENSARY - 2,923 SF @ 1:250 SF = 12 SPACES
 - BICYCLE = 2,923 SF @ 1:5,000 SF = 1 SPACE
- CBC TABLE 11B-208.2
 - 1 - 25 SPACES REQUIRES 1 ACCESSIBLE SPACE
 - 26 - 50 SPACES REQUIRES 2 ACCESSIBLE SPACES

ACCESSIBILITY

- AREA OF WORK WILL BE FULLY ACCESSIBLE
- PATH OF TRAVEL TO AREA OF WORK WILL BE MADE FULLY ACCESSIBLE
- ONE ACCESSIBLE TOILET ROOM WILL BE PROVIDED

DEFERRED SUBMITTALS

- A. AUTOMATIC FIRE SPRINKLER SYSTEM

PROJECT TEAM

OWNER

SPARC
 975 CORPORATE CENTER PARKWAY, SUITE 115
 SANTA ROSA, CA 95407
 CONTACT: ERICH PEARSON
 PHONE: (707) 217-0302

ARCHITECT

SCHWARTZ ARCHITECTURE
 1653 FINLAW ST.
 SANTA ROSA, CA. 95404
 CONTACT: MIKE SCHWARTZ
 PHONE: (707) 478-4949
 EMAIL: MSCHWARTZ@GMAIL.COM

SHEET LIST - CUP

#	NAME	REV.
CUP1	TITLE SHEET	
CUP1.1	ARCHITECTURAL GENERAL INFORMATION	
CUP2	CONTEXT MAP	
CUP3	SITE PLAN	
CUP4	FLOOR PLAN - DEMO	
CUP5	FLOOR PLAN - PROPOSED	
CUP7	SITE ANALYSIS	
CUP8	EXTERIOR ELEVATIONS - DEMO AND PROPOSED	
CUP9	EXTERIOR ELEVATIONS - DEMO AND PROPOSED	
CUP10	EXTERIOR ELEVATIONS - DEMO AND PROPOSED	
CUP11	EXTERIOR ELEVATIONS - DEMO AND PROPOSED	
CUP15	CURRENT / PROPOSED CONDITIONS, RENDERING	
TOTAL: 12		

Revisions

No.	Revisions	Date
-----	-----------	------

USE PERMIT

TITLE SHEET

Project No.: 20-029
 Drawn By: S/A
 Issue Date: 01-19-2021
 Sheet

CUP1

ARCHITECTURAL ABBREVIATIONS

AV	AUDIO VISUAL
ABV	ABOVE
AF	ABOVE FINISHED FLOOR
AFSS	AUTOMATIC FIRE SPRINKLER SYSTEM
APOT	ACCESSIBLE PATH OF TRAVEL
BSL	BUILDING SETBACK LINE
CAC	CALIFORNIA ADMINISTRATIVE CODE (TITLE 24, PART 1)
CBC	CALIFORNIA BUILDING CODE (TITLE 24, PART 2)
CEBC	CALIFORNIA EXISTING BUILDING CODE (TITLE 24, PART 10)
CEC	CALIFORNIA ELECTRICAL CODE (TITLE 24, PART 3)
CENC	CALIFORNIA ENERGY CODE (TITLE 24, PART 6)
CF	CUBIC FEET
CFC	CALIFORNIA FIRE CODE (TITLE 24, PART 9)
CFI	CONTRACTOR-FURNISHED, CONTRACTOR-INSTALLED
CFI	CONTRACTOR-FURNISHED, OWNER-INSTALLED
CGBC	CALIFORNIA GREEN BUILDING STANDARDS CODE (TITLE 24, PART 11)
CHBC	CALIFORNIA HISTORIC BUILDING CODE (TITLE 24, PART 8)
CIVL	CIVIL
CLR	CLEAR
CMC	CALIFORNIA MECHANICAL CODE (TITLE 24, PART 4)
CMU	CONCRETE MASONRY UNIT
CONC	CONCRETE
CPC	CALIFORNIA PLUMBING CODE (TITLE 24, PART 5)
CPET	COMMON PATH OF EGRESS TRAVEL
CRC	CALIFORNIA RESIDENTIAL CODE (TITLE 24, PART 2.5)
CRSC	CALIFORNIA REFERENCED STANDARDS CODE (TITLE 24, PART 12)
d	PENNY (E.G. 16d NAIL)
DIA	DIAMETER
DIAG	DIAGONAL
DWGS	DRAWINGS
EJ	EXISTING
EAD	EXIT ACCESS DOORWAY
EATD	EXIT ACCESS TRAVEL DISTANCE
ELEC	ELECTRICAL
(F)	FUTURE
FF	FINISHED FLOOR
FIN	FINISH
FR	FIRE-RATED
GA	GAUGE
GALV	GALVANIZED
GSF	GROSS SQUARE FEET
ISA	INTERNATIONAL SYMBOL OF ACCESSIBILITY
LAND	LANDSCAPE
MAX	MAXIMUM
MECH	MECHANICAL
MIN	MINIMUM
(N)	NEW
NSF	NET SQUARE FEET
NTS	NOT TO SCALE
OC	ON CENTER
OCC	OCCUPANT(S)
OFCI	OWNER-FURNISHED, CONTRACTOR-INSTALLED
OFOI	OWNER-FURNISHED, OWNER-INSTALLED
PLF	POUNDS PER LINEAR FOOT
PLMB	PLUMBING
PSF	POUNDS PER SQUARE FOOT
PSI	POUNDS PER SQUARE INCH
RAD	RADIUS
SDS	SELF DRILLING SCREW
SF	SQUARE FEET
SMS	SHEET METAL SCREW
STRC	STRUCTURAL
TOC	TOP OF CURB
TOS	TOP OF SLAB / STRUCTURE
UN	UNLESS OTHERWISE NOTED
VIF	VERIFY IN FIELD
WUI	WILDLAND URBAN INTERFACE

SPECIAL CHARACTERS

≤	LESS THAN OR EQUAL TO
≥	GREATER THAN OR EQUAL TO
≈	ALMOST EQUAL TO / APPROXIMATELY
≠	NOT EQUAL
±	PLUS OR MINUS
@	AT
°	DEGREE
'	FOOT / FEET
"	INCH / INCHES
#	NUMBER / POUND(S)
&	AND
∠	ANGLE
⊥	CENTERLINE
∅	DIAMETER
§	SECTION

ARCHITECTURAL MATERIALS

MATERIAL	SECTION	SURFACE
ALUMINUM		
CONCRETE		
EARTH		
GRAVEL		
GYPSUM BOARD		
INSULATION BOARD		
PLASTER		
SAND		
STEEL		
WOOD		
WOOD		
WOOD		

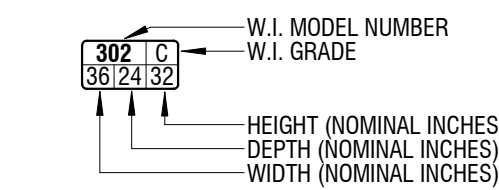
ARCHITECTURAL MATERIALS

1/2" = 1'-0"

ARCHITECTURAL SYMBOLS

TAGS AND SYMBOLS	DESCRIPTION
	STRUCTURAL GRID IDENTIFIER
	PARTITION TAG (TYPE)
	DOOR TAG (SEQUENCE)
	WINDOW TAG (TYPE)
	CILING TAG (TYPE)
	CILING TAG (TYPE AND HEIGHT)
	LIGHTING FIXTURE TAG (TYPE)
	PLUMBING FIXTURE TAG (TYPE)
	MATERIAL TAG
	SIGNAGE TAG (TYPE)
	EQUIPMENT TAG
	FURNITURE TAG
	PLANTING TAG
	REVISION TAG
00 0000.00 AB	REFERENCE KEY/NOTE
	SHEET KEYNOTE
	ACCESSIBLE FEATURE (SEE LEGEND)
	CENTERLINE
	NORTH ARROW

CASEWORK TAG



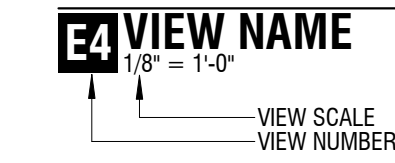
DIMENSIONS

	SLOPE
	SLOPE
	SPOT ELEVATION
	SPOT ELEVATION

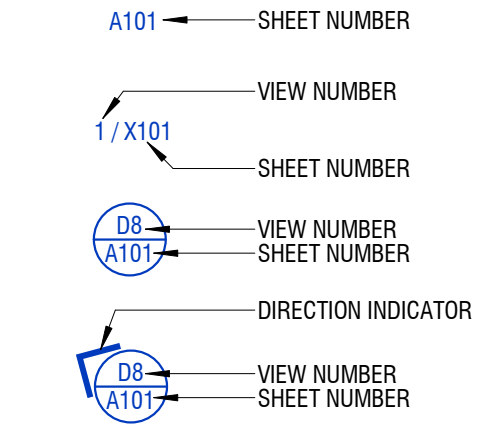
EXISTING, DEMOLITION, AND NEW CONSTRUCTION

FIRE RATED CONSTRUCTION

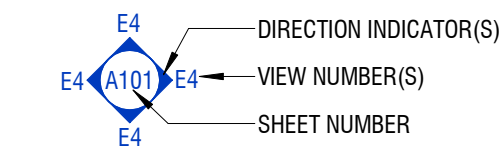
VIEW TITLE



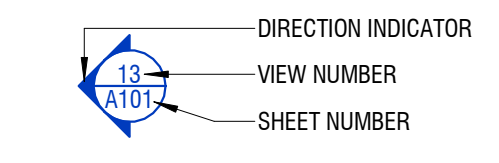
VIEW REFERENCES / CALLOUTS



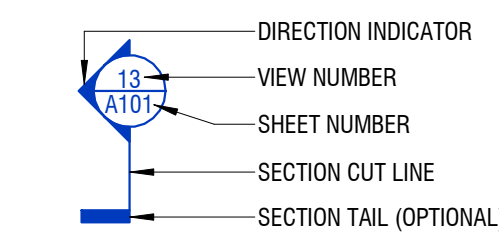
INTERIOR ELEVATION CALLOUT



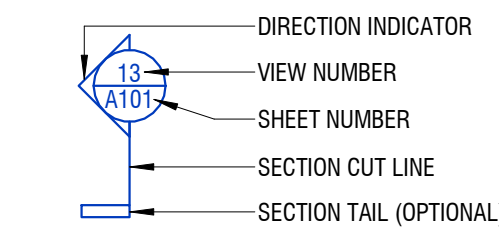
BUILDING ELEVATION CALLOUT



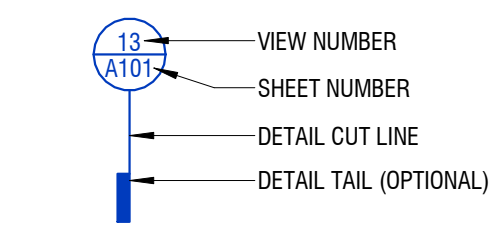
BUILDING SECTION CALLOUT



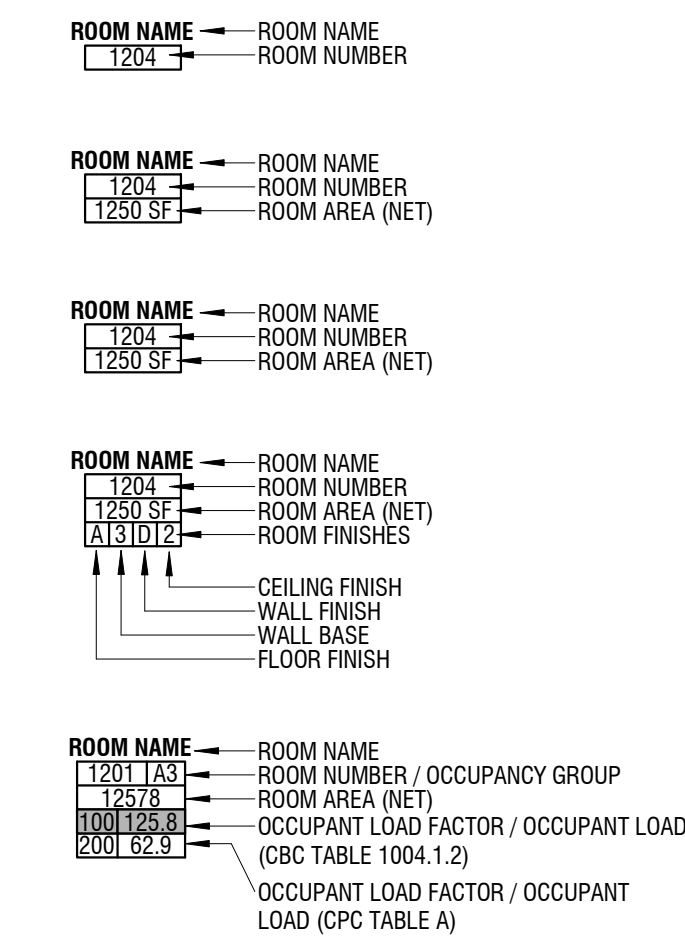
WALL SECTION CALLOUT



DETAIL CALLOUT



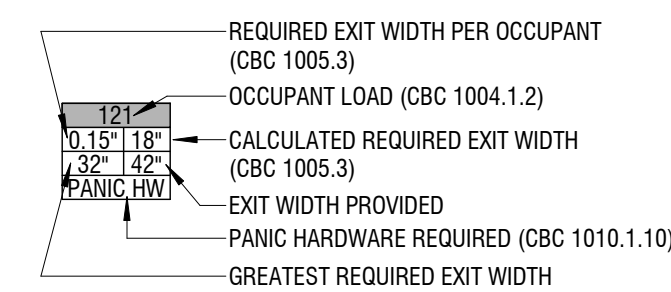
ROOM TAGS



CUMULATIVE OCCUPANT LOAD



EXIT WIDTH SUMMARY



CIVIL / LANDSCAPE SYMBOLS (SEE CIVIL/LANDSCAPE DRAWINGS)

STRUCTURAL SYMBOLS (SEE STRUCTURAL DRAWINGS)

FIRE PROTECTION SYMBOLS (SEE FIRE PROTECTION DRAWINGS)

PLUMBING SYMBOLS (SEE PLUMBING DRAWINGS)

MECHANICAL SYMBOLS (SEE MECHANICAL DRAWINGS)

ELECTRICAL SYMBOLS (SEE ELECTRICAL DRAWINGS)

FLOOR	WALL	RECEPTACLE
		SIMPLEX
		SIMPLEX, EMERGENCY
		220/240V
		DUPLEX
		DUPLEX, GFCI
		DUPLEX, COUNTER-HEIGHT
		DUPLEX, WATERPROOF
		DUPLEX, EMERGENCY
		DUPLEX, SPLIT-WIRED
		SPECIAL PURPOSE
		SPECIAL PURPOSE, EMERGENCY
		SWITCHED
		OTHER B - BLANKED / FUTURE F - FURNITURE WHIP J - JUNCTION BOX
		CONTROL
		SWITCH
		SWITCH, DIMMER
		SWITCH, 3-WAY

COMMUNICATIONS SYMBOLS (SEE COMM. DRAWINGS)

ARCHITECTURAL GENERAL NOTES

- GENERAL NOTES APPLY TO ALL DRAWINGS, UNLESS SPECIFICALLY NOTED OTHERWISE.
- WORK SHALL COMPLY WITH THE PROJECT DOCUMENTS AND WITH APPLICABLE LAWS, CODES AND ORDINANCES OF THE GOVERNING AGENCIES HAVING JURISDICTION.
- OBTAIN REQUIRED PERMITS FROM THE AGENCY HAVING JURISDICTION. OWNER WILL PAY FOR REQUIRED PERMITS.
- THE EXISTENCE AND LOCATION OF UNDERGROUND UTILITIES AND CONSTRUCTION INDICATED AS EXISTING ARE NOT GUARANTEED. EXAMINE THE SITE, INVESTIGATE AND VERIFY THE EXISTENCE AND LOCATION OF UNDERGROUND UTILITIES AND CONSTRUCTION. COMPARE EXISTING CONDITIONS TO THE PROJECT DOCUMENTS PRIOR TO COMMENCING WORK. IMMEDIATELY NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES AND OBTAIN CLARIFICATION/DECISION PRIOR TO COMMENCING AFFECTED WORK.
- PROTECT EXISTING FACILITIES FROM DAMAGE DUE TO CONSTRUCTION ACTIVITIES. CONTRACTOR IS SOLELY RESPONSIBLE FOR COSTS AND REPAIR OF DAMAGED PROPERTY TO EXISTING CONDITIONS CAUSED BY CONSTRUCTION ACTIVITIES.
- LIMIT THE USE OF PREMISES TO AREAS WITHIN THE CONTRACT LIMITS INDICATED. DO NOT DISTURB PORTIONS OF THE PROJECT SITE BEYOND AREAS WITHIN THE CONTRACT LIMITS.
- ALLOW OWNER OCCUPANCY AND PUBLIC USE OF THE PROJECT SITE. OWNER WILL OCCUPY THE PREMISES DURING THE ENTIRE CONSTRUCTION PERIOD. WITH THE EXCEPTION OF THE AREAS UNDER CONSTRUCTION, COOPERATE WITH THE OWNER DURING CONSTRUCTION TO MINIMIZE CONFLICTS, NOISE, MALODOROUS FUMES AND FACILITATE THE OWNER'S CONTINUOUS USE OF THE FACILITY. PERFORM THE WORK WITHOUT THE INTERFERENCE TO THE OWNER'S OPERATION. MAINTAIN EXISTING EXITS AND ACCESS WAYS FREE OF ENCUMBRANCES. DO NOT INTERRUPT EXISTING UTILITIES SERVING OWNER'S FACILITIES WITHOUT PRIOR WRITTEN APPROVAL BY THE OWNER. PROVIDE WRITTEN REQUEST FOR INTERRUPTION 48 HOURS MINIMUM IN ADVANCE OF REQUESTED INTERRUPTION. DELIVER WRITTEN REQUEST TO THE OWNER'S ON-SITE DIRECTOR OF FACILITIES AND OPERATIONS.
- SECURE THE WORK AREA AND PROVIDE SAFETY MEASURES TO PREVENT INJURY TO PERSONS OR DAMAGE TO PROPERTY ON-SITE, OFF-SITE OR DURING CONSTRUCTION RELATED TO THE WORK. PROVIDE PROTECTION DEVICES, TEMPORARY BARRIERS AND ENCLOSURES AS NECESSARY TO PERFORM THE WORK AND ALLOW OWNER'S USE OF THE FACILITY. COMPLY WITH SAFETY REQUIREMENTS OF THE GOVERNING AGENCIES HAVING JURISDICTION. SAFETY MEASURES ARE SOLELY THE CONTRACTOR'S RESPONSIBILITY. SITE VISIT OBSERVATIONS BY THE DESIGN TEAM MEMBERS OR THE OWNER DO NOT INCLUDE REVIEW OF THE CONTRACTOR'S SAFETY MEASURES.
- DELIVER, STORE AND HANDLE PRODUCTS USING MEANS AND METHODS THAT PREVENT DAMAGE, DETERIORATION AND LOSS, INCLUDING THEFT. COMPLY WITH THE MATERIAL MANUFACTURER'S WRITTEN INSTRUCTIONS FOR HANDLING, STORING AND PROTECTING MATERIALS.
- DO NOT USE PRODUCTS CONTAINING ASBESTOS. WHEN DISCOVERING EXISTING MATERIALS CONTAINING HAZARDOUS MATERIALS, IMMEDIATELY NOTIFY THE OWNER IN WRITING AND OBTAIN DECISION/DIRECTION BEFORE PROCEEDING TO WORK ON THE AFFECTED AREA.
- MAINTAIN PROJECT SITE FREE OF WASTE MATERIALS AND DEBRIS. PROVIDE APPROPRIATE WASTE CONTAINERS AND DISPOSE OF WASTE LEGALLY ACCORDING TO REGULATION OF AUTHORITIES HAVING JURISDICTION. CLEAN DUST, DIRT AND DEBRIS CAUSED BY CONSTRUCTION ACTIVITIES FROM PAVEMENTS ON-SITE AND OFF-SITE AS NECESSARY, BUT NO LESS THAN 1 TIME PER WEEK. COMPLY WITH AGENCIES HAVING JURISDICTION REQUIREMENTS FOR CLEANING OFF-SITE AREAS AFFECTED BY CONSTRUCTION ACTIVITIES.
- CONSTRUCTION FIELD ENGINEERING, SURVEYING, LAYOUT AND COORDINATION ARE SOLELY THE CONTRACTOR'S RESPONSIBILITY.
- INSTALL WORK PLUMB, LEVEL, ALIGN AND PLACE ACCURATELY. TEST AND ADJUST INSTALLED WORK TO FUNCTION PROPERLY. PROTECT INSTALLED WORK FROM DAMAGE PRIOR TO OWNER'S ACCEPTANCE. REPAIR INSTALLED WORK THAT IS DAMAGED PRIOR TO OWNER'S ACCEPTANCE. COST FOR REPAIR OF WORK DAMAGED PRIOR TO OWNER'S ACCEPTANCE IS SOLELY THE CONTRACTOR'S RESPONSIBILITY.
- DO NOT SCALE FROM DRAWINGS.
- DRAWINGS ARE BASED ON DOCUMENTS AND REPORTS OBTAINED FROM THE OWNER. THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE OWNER'S DOCUMENTS OR REPORTS PROVIDED.
- PROVIDE PRODUCTS AND MATERIALS SPECIFIED. CONTRACTOR MAY REQUEST SUBSTITUTION OF PRODUCTS AND MATERIALS FOR COMPARABLE QUALITY AND PERFORMANCE. SUBSTITUTION REQUESTS MUST BE SUBMITTED TO THE ARCHITECT FOR REVIEW AND ACCEPTANCE. SUBMIT SUBSTITUTION REQUESTS IN A TIMELY MANNER TO ALLOW ADEQUATE TIME FOR THE ARCHITECT TO REVIEW. ARCHITECT WILL REVIEW NO MORE THAN 1 SUBSTITUTION REQUEST PER PRODUCT MATERIAL. SUBSTITUTIONS SUBMITTED LATE WILL NOT BE REVIEWED BY THE ARCHITECT. INSTEAD, THE ORIGINAL SPECIFIED PRODUCT/MATERIAL WILL BE PROVIDED BY CONTRACTOR. ARCHITECT'S DECISION REGARDING COMPARABLE QUALITY OF REQUESTED SUBSTITUTION IS CONSIDERED FINAL. PROVIDE SPECIFIED PRODUCT/MATERIAL WHEN REQUESTED SUBSTITUTION IS REJECTED BY THE ARCHITECT.
- SHOULD THE CONTRACTOR ENCOUNTER THE PRESENCE, OR POSSIBLE PRESENCE, OF POTENTIALLY HAZARDOUS MATERIALS, THE CONTRACTOR SHALL NOTIFY THE OWNER FOR INSTRUCTIONS PRIOR TO CONTINUING WORK.
- ALL CONDUITS AND PIPING SHALL BE CONCEALED UNLESS OTHERWISE NOTED.
- A FIRE WATCH SHALL BE PROVIDED DURING AND AFTER ANY WELDING OPERATION AS REQUIRED PER CFC 3304. CONTRACTOR SHALL OBTAIN APPROVAL FROM FIELD FIRE MARSHALL PRIOR TO START OF WORK.
- DISCREPANCIES BETWEEN THE DRAWINGS AND FIELD CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PROMPTLY.

S/A

SCHWARTZ
ARCHITECTURE

1653 FINLAW ST.
SANTA ROSA, CA 95404
TEL: 707.478.4949

SPARC - SONOMA - TI
CANNABIS DISPENSARY

19351 Sonoma Hwy
Sonoma, CA 95476



Revisions

No.	Revisions	Date
-----	-----------	------

USE PERMIT

ARCHITECTURAL GENERAL INFORMATION

Project No.: 20-029
Drawn By: S/A
Issue Date: 01-19-2021
Sheet

CUP1.1

SHEET KEYNOTES

- ① PROJECT LOCATION
- ② 1/2 MILE RADIUS FROM PROPERTY LINE

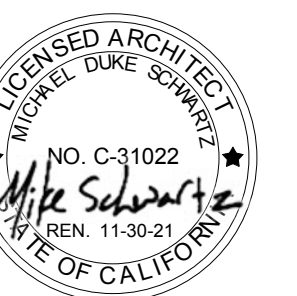
S/A
SCHWARTZ
ARCHITECTURE
 1653 FINLAW ST.
 SANTA ROSA, CA 95404
 TEL: 707.478.4949



1 CONTEXT MAP ①
 1" = 400'-0"

SPARC - SONOMA - TI
CANNABIS DISPENSARY

19351 Sonoma Hwy
 Sonoma, CA 95476



Revisions		
No.	Revisions	Date

USE PERMIT

CONTEXT MAP

Project No.: 20-029
 Drawn By: S/A
 Issue Date: 01-19-2021
 Sheet

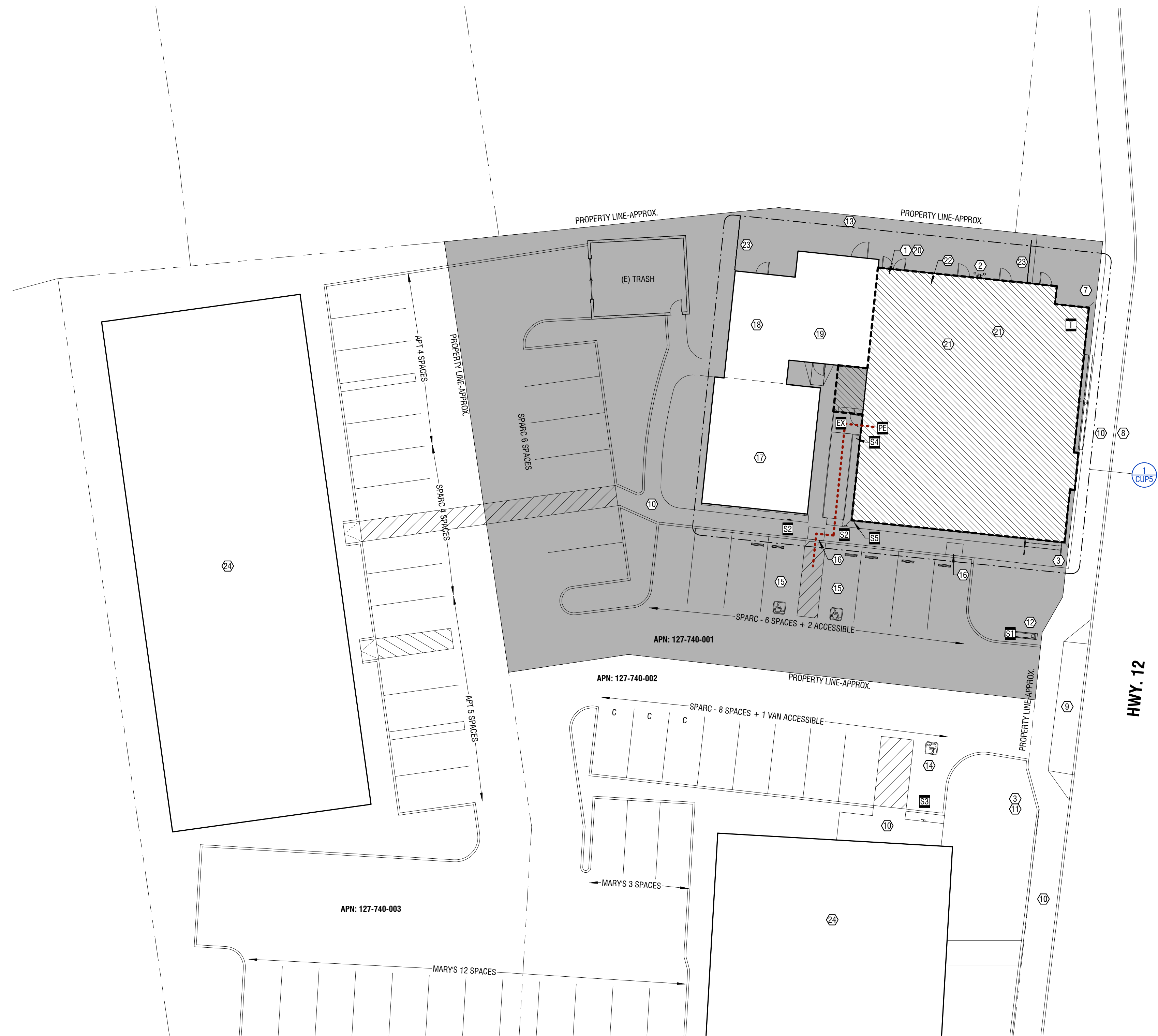
CUP2

SHEET KEYNOTES

- ① (E) ELECTRICAL SERVICE
- ② (E) GAS SERVICE, WITH BOLLARDS
- ③ (E) WATER METER(S)
- ④ NOT USED
- ⑤ NOT USED
- ⑥ NOT USED
- ⑦ NOT USED
- ⑧ (E) CURB
- ⑨ (E) CURB CUT / DRIVEWAY
- ⑩ (E) SIDEWALK
- ⑪ (E) FIRE HYDRANT
- ⑫ (E) COMMERCIAL SIGNAGE POLE, RECONFIGURED. SIGNAGE UNDER SEPARATE PERMIT
- ⑬ (E) WOOD FENCE
- ⑭ (N) ACCESSIBLE PARKING SPACE - VAN
- ⑮ (N) ACCESSIBLE PARKING SPACE - STANDARD
- ⑯ (E) DETECTABLE WARNING
- ⑰ (E) COVERED OUTDOOR SEATING, NIC
- ⑱ (E) COLD STORAGE AND DRY STORAGE, NIC
- ⑲ (E) DRY STORAGE, KITCHENSERVICE AREA, AND MOP SINK, NIC
- ⑳ (E) ELECTRICAL MAIN PANEL
- ㉑ (E) ELECTRICAL SUB-PANEL
- ㉒ (E) WATER HEATERS AND UTILITIES
- ㉓ (E) CHAINLINK FENCE
- ㉔ (E) BUILDINGS, NIC

ACCESS LEGEND

- ACCESSIBLE PARKING SPACE
- ACCESSIBLE PRIMARY ENTRANCE
- ACCESSIBLE ELEVATOR
- ACCESSIBLE TOILET FACILITY
- ACCESSIBLE DRINKING FOUNTAIN
- ACCESSIBLE PUBLIC TELEPHONE
- ACCESSIBLE REQUIRED EXIT
- SIGNAGE: TOW-AWAY
- SIGNAGE: PARKING SPACE, STANDARD
- SIGNAGE: PARKING SPACE, VAN-ACCESSIBLE
- SIGNAGE: ENTRY ISA
- SIGNAGE: DIRECTIONAL ISA
- SIGNAGE: TOILET ROOM GEOMETRIC
- SIGNAGE: TOILET ROOM ID PICTOGRAM
- SIGNAGE: TACTILE ROOM ID
- SIGNAGE: TACTILE EXIT
- ACCESSIBLE PATH OF TRAVEL
- AREA OF WORK



2 SITE PLAN
 1/16" = 1'-0"

SPARC - SONOMA - TI
CANNABIS DISPENSARY

19351 Sonoma Hwy
 Sonoma, CA 95476



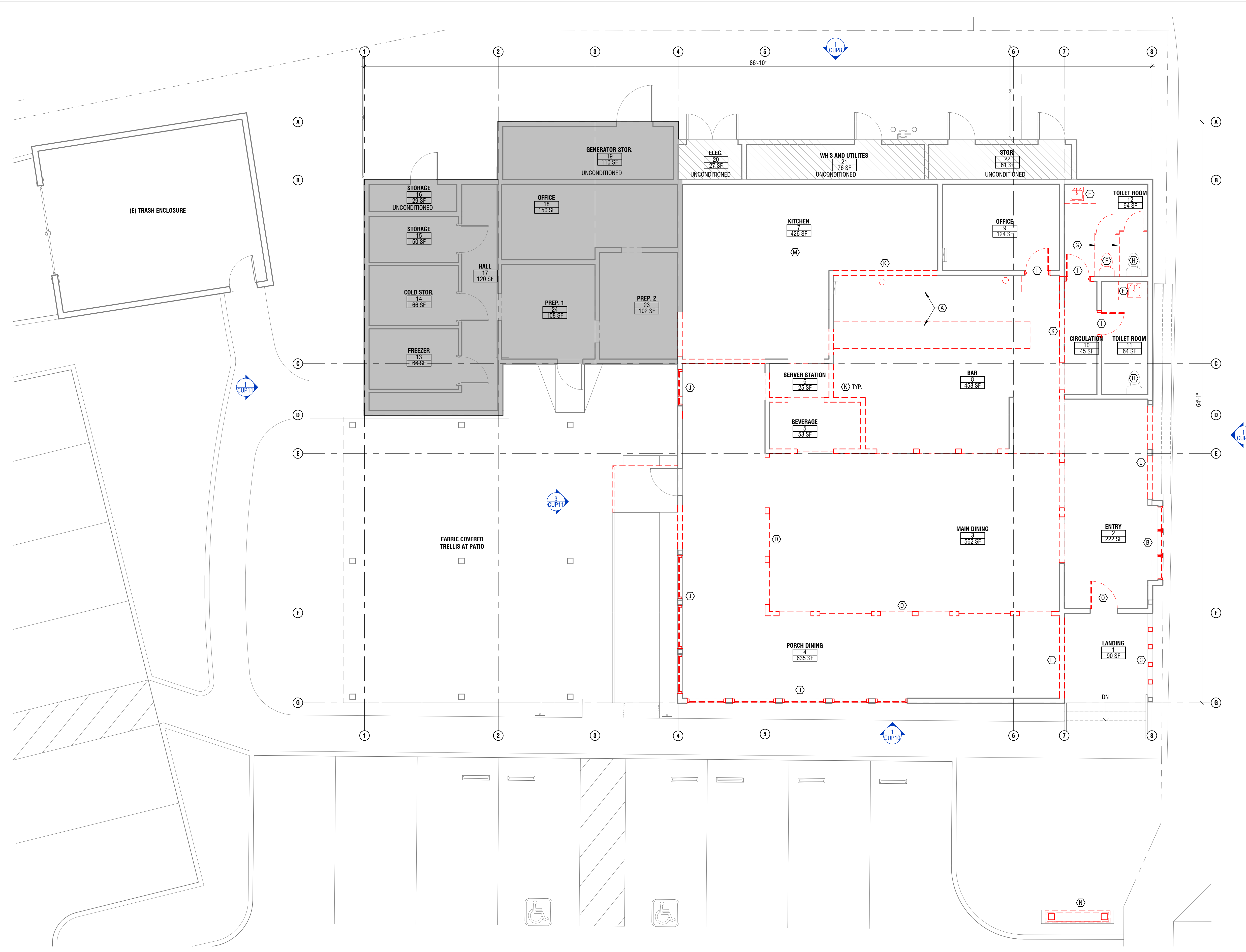
Revisions		
No.	Revisions	Date

USE PERMIT

SITE PLAN

Project No.: 20-029
 Drawn By: S/A
 Issue Date: 01-19-2021
 Sheet

CUP3



ROOM SCHEDULE - EXISTING

#	NAME	AREA	FINISHES			
			FLOOR	BASE	WALL	CEILING
1	LANDING	90 SF				
2	ENTRY	222 SF				
3	MAIN DINING	562 SF				
4	PORCH DINING	635 SF				
5	BEVERAGE	53 SF				
6	SERVER STATION	25 SF				
7	KITCHEN	426 SF				
8	BAR	458 SF				
9	OFFICE	124 SF				
10	CIRCULATION	45 SF				
11	TOILET ROOM	64 SF				
12	TOILET ROOM	94 SF				
13	FREEZER	66 SF				
14	COLD STOR.	66 SF				
15	STORAGE	50 SF				
16	STORAGE	29 SF				
17	HALL	120 SF				
18	OFFICE	150 SF				
19	GENERATOR STOR.	110 SF				
20	ELEC.	27 SF				
21	WH'S AND UTILITES	76 SF				
22	STOR.	61 SF				
23	PREP. 2	102 SF				
24	PREP. 1	108 SF				
		3,762 SF				

FLOOR PLAN LEGEND

- (E) BLDG., NO WORK THIS AREA, SHOWN GRAY FOR CLARITY
- (E) BLDG., MINOR WORK THIS AREA, SHOWN HATCHED FOR CLARITY

SHEET KEYNOTES - DEMO

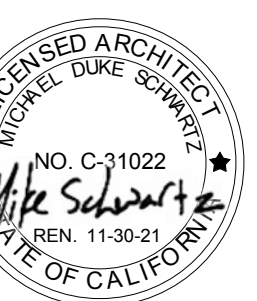
- (A) (E) BAR, COUNTERS, DECORATIVE COLUMNS, PONY WALLS, DEMO.
- (B) (E) BAY WINDOW, DEMO. WINDOWS, PREPARE WALL FOR NEW WINDOWS
- (C) (E) LOW WALL AND POSTS, DEMO. ALL NON ESSENTIAL POSTS, PREPARE WALL FOR NEW FINISHES
- (D) (E) LOW WALL, DECORATIVE POSTS AND DECORATIVE ARCHES, DEMO. TO ABOVE (E) CEILING.
- (E) (E) LAV AND COUNTER, DEMO. AND PREPARE FOR NEW LAV AND COUNTER
- (F) (E) TOILET, DEMO. AND CAP UTILITIES
- (G) (E) TOILET PARTITIONS, DEMO.
- (H) (E) TOILET, PROTECT DURING CONST.
- (I) (E) DOOR, DEMO. PREPARE OPENING FOR NEW DOOR PER FLOOR PLAN
- (J) (E) WINDOW, DEMO. PREPARE OPENING FOR NEW WINDOW OR WALL INFILL PER FLOOR PLAN
- (K) (E) PARTITION, DEMO. TO ABOVE (E) CEILING
- (L) (E) PARTITION, DEMO. TO PREPARE FOR NEW DOOR OR WINDOW PER FLOOR PLAN
- (M) (E) KITCHEN EQUIPMENT, INCLUDING KITCHEN MECHANICAL EQUIPMENT, DEMO. PREPARE ALL WALLS, CEILINGS FOR NEW FINISHES, PROVIDE ALL EQUIPMENT TO OWNER.
- (N) (E) SITE SIGNAGE, RECONFIGURED. SEE SIGNAGE DRAWINGS. SIGNAGE UNDER SEPARATE PERMIT
- (O) (E) DOOR, DEMO. PREPARE OPENING FOR NEW INFILL WALL

S/A
SCHWARTZ
ARCHITECTURE

1653 FINLAW ST.
 SANTA ROSA, CA 95404
 TEL: 707.478.4949

SPARC - SONOMA - TI
CANNABIS DISPENSARY

19351 Sonoma Hwy
 Sonoma, CA 95476



Revisions		
No.	Revisions	Date

USE PERMIT

FLOOR PLAN - DEMO

Project No.: 20-029
 Drawn By: S/A
 Issue Date: 01-19-2021

Sheet

CUP4

1 FLOOR PLAN - DEMOLITION
 3/16" = 1'-0"

1/19/2021 6:19:50 PM

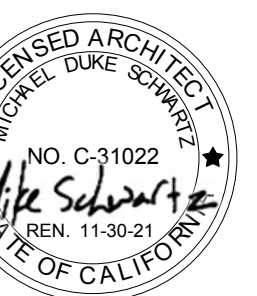
S/A

SCHWARTZ ARCHITECTURE

1653 FINLAW ST.
SANTA ROSA, CA 95404
TEL: 707.478.4949

SPARC - SONOMA - TI
CANNABIS DISPENSARY

19351 Sonoma Hwy
Sonoma, CA 95476



Revisions		
No.	Revisions	Date

USE PERMIT

FLOOR PLAN - PROPOSED

Project No.: 20-029
Drawn By: S/A
Issue Date: 01-19-2021

Sheet

CUP5

ROOM SCHEDULE - PROPOSED

#	NAME	AREA	FINISHES		
			FLOOR	BASE	WALL
1	LANDING	92 SF			
2	SALES	1,377 SF			
4	BREAK ROOM	312 SF			
5	CASHIER	248 SF			
6	SECURE STORAGE	304 SF			
8	OFFICE	69 SF			
10	TOILET ROOM	64 SF			
11	TOILET ROOM	94 SF			
13	JAN.	15 SF			
		2,690 SF			

FLOOR PLAN LEGEND

- (E) BLDG., NO WORK THIS AREA, SHOWN GRAY FOR CLARITY
- (E) BLDG., MINOR WORK THIS AREA, SHOWN HATCHED FOR CLARITY

PARTITION LEGEND

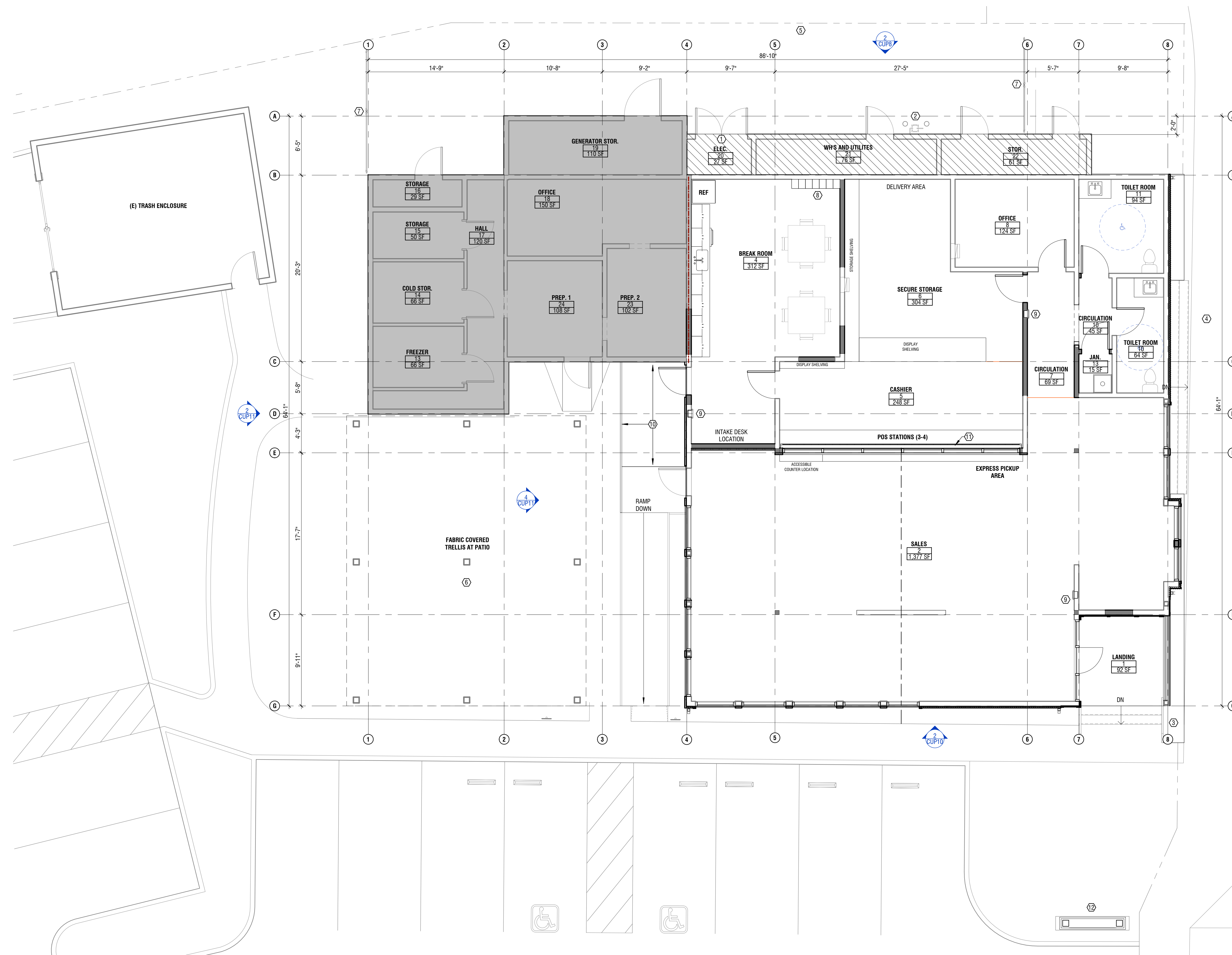
- PARTITION TAG**
PARTITION TYPE, SEE SHEET
STUD SIZE
- NEW PARTITION
 - EXISTING PARTITION TO REMAIN

STUD SIZES (METAL)

#	SIZE	(FURRING, CHANNEL, ETC.)
1	3/4" - 7/8"	(FURRING, CHANNEL, ETC.)
2	1-1/2"	
3	3-5/8"	
4	4"	
6	6"	
8	8"	

SHEET KEYNOTES

- (1) (E) ELECTRICAL SERVICE
- (2) (E) GAS SERVICE
- (3) (E) WATER METER(S)
- (4) (E) SIDEWALK
- (5) (E) WOOD FENCE
- (6) (E) COVERED OUTDOOR SEATING, NIC
- (7) (E) 6'-0" HIGH CHAINLINK GATE PAIR. SEE EXT. ELEVATIONS FOR ADDITIONAL INFORMATION
- (8) (N) 2-TIER LOCKERS W/ SLOPED TOPS AND BASE
- (9) (N) F.E. CABINET W/ 2A 10BC W/ VALID CERTIFICATE
- (10) (N) WD. LANDING AND STL. GUARDRAIL. SEE EXT. ELEVATIONS FOR ADDITIONAL INFORMATION
- (11) (N) ROLL-UP SECURITY GRILLE
- (12) (E) SITE SIGNAGE, RECONFIGURED PER SIGNAGE DRAWINGS. SIGNAGE UNDER SEPARATE PERMIT



1 FLOOR PLAN - PROPOSED
3/16" = 1'-0"

1/19/2021 6:46:28 PM



S/A
SCHWARTZ
ARCHITECTURE
 1653 FINLAW ST.
 SANTA ROSA, CA 95404
 TEL: 707.478.4949

SPARC - SONOMA - TI
CANNABIS DISPENSARY
 19351 Sonoma Hwy
 Sonoma, CA 95476



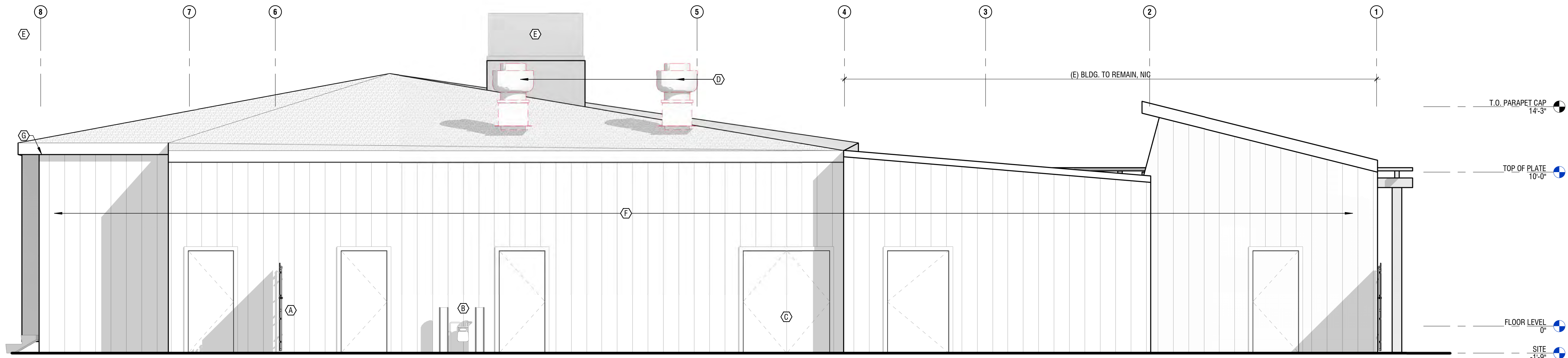
Revisions		
No.	Revisions	Date

USE PERMIT

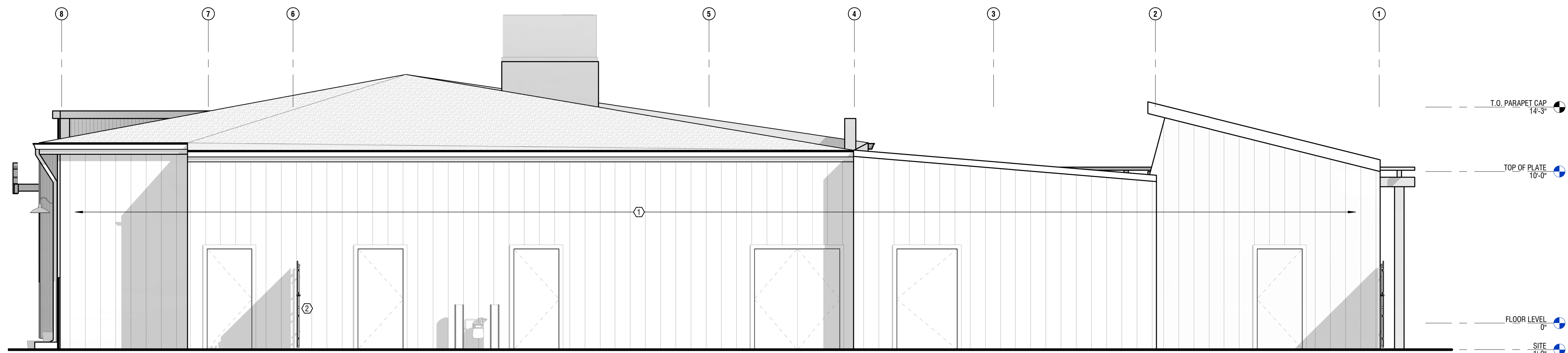
SITE ANALYSIS
 Project No.: 20-029
 Drawn By: S/A
 Issue Date: 01-19-2021
 Sheet

CUP7

1/19/2021 6:19:55 PM



1 NORTH ELEVATION - DEMO
1/4" = 1'-0"



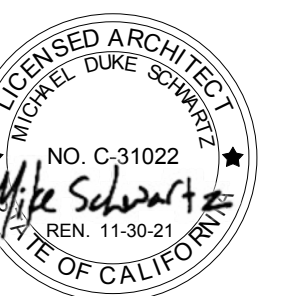
2 NORTH ELEVATION - PROPOSED
1/4" = 1'-0"

SHEET KEYNOTES - DEMO

- (A) 6'-0" HIGH CHAINLINK GATE PAIR. REMOVE AND PROTECT GATES. PREPARE FOR NEW WD. POSTS.
- (B) GAS METER AND BOLLARDS, PROTECT DURING CONST.
- (C) PLYWOOD DOORS AT ELEC METER / MAIN PANEL. DEMO. PREPARE FOR NEW WOOD DOORS.
- (D) UPBLAST FANS, REMOVE AND PROVIDE TO OWNER. PATCH / REPAIR ROOF.
- (E) MECH. EQUIPMENT, PROTECT DURING CONST.
- (F) PAINTED FINISH. CLEAN AND PREPARE FOR NEW PAINT. SEE EXT. ELEVATIONS.
- (G) ROOF OVERHANG, DEMO TO (E) WALL FACE. COORD. W/ NEW PARAPET WALL AND FINISHES PER EXT. ELEVATIONS.

SHEET KEYNOTES

- 1 PRIME AND PAINT, TYP.
- 2 (N) 4X4 WD. POSTS W/ CONC. FOOTING. RESET (E) CHAINLINK GATE PAIR



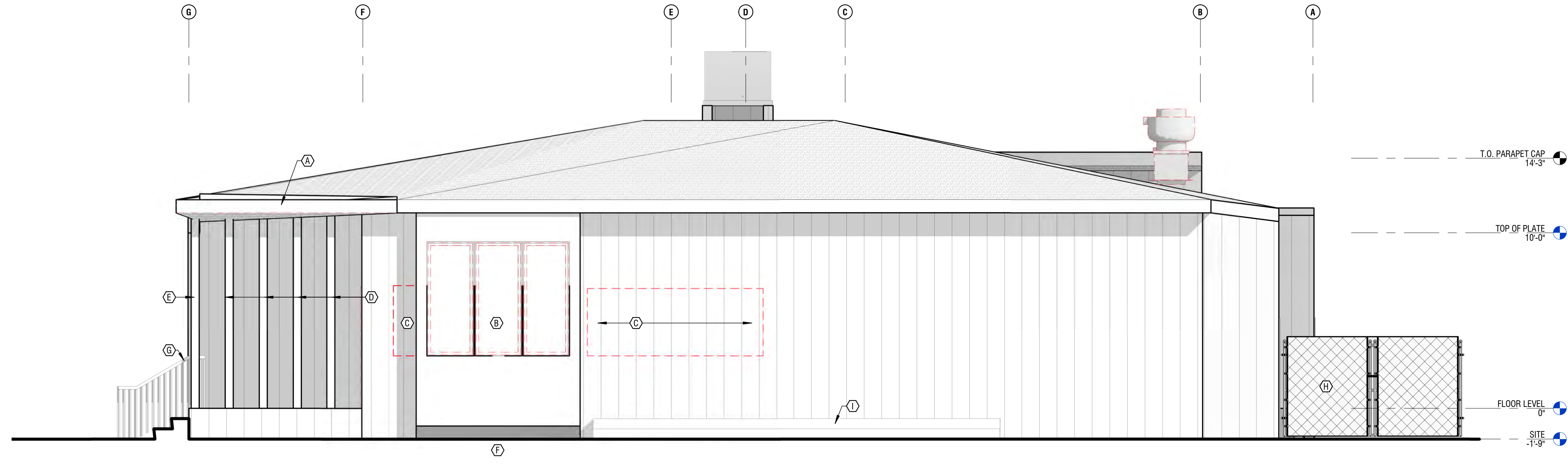
Revisions		
No.	Revisions	Date

USE PERMIT

EXTERIOR
ELEVATIONS -
DEMO AND
PROPOSED

Project No.: 20-029
Drawn By: S/A
Issue Date: 01-19-2021
Sheet

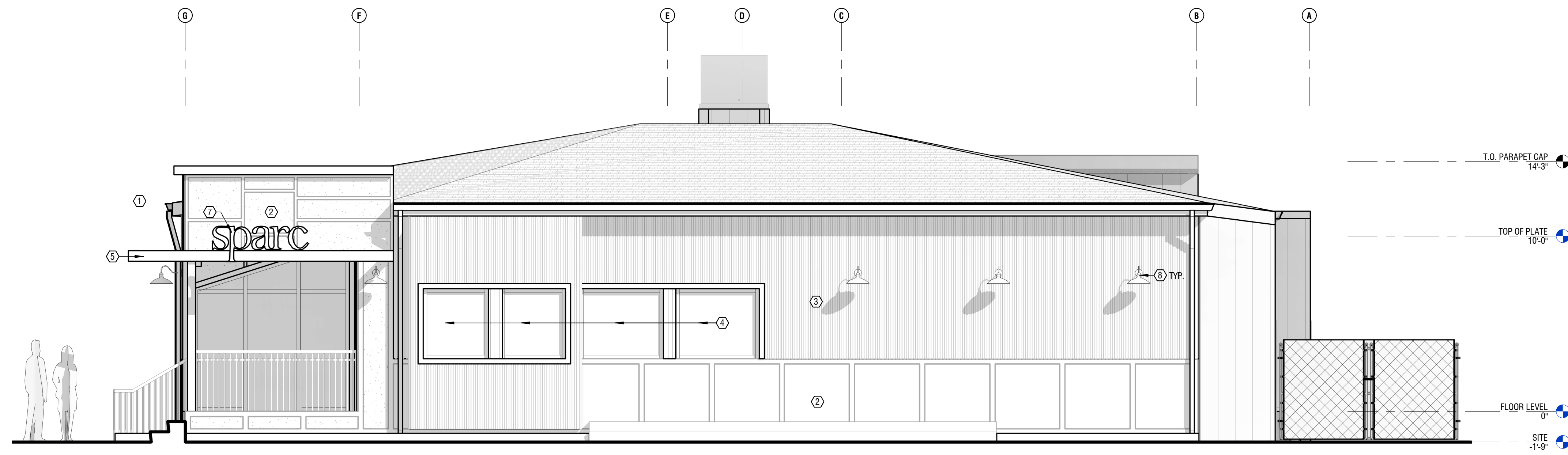
CUP8



1 EAST ELEVATION - EXISTING
 1/4" = 1'-0"

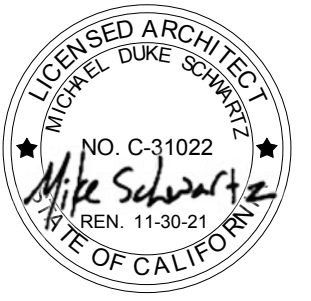
- SHEET KEYNOTES - DEMO**
- Ⓐ (E) ROOF OVERHANG, DEMO TO (E) WALL FACE. COORD. W/ NEW PARAPET WALL AND FINISHES PER EXT. ELEVATIONS.
 - Ⓑ (E) WINDOWS, DEMO.
 - Ⓒ (E) WALL, DEMO. PORTION AND PREPARE FOR NEW WINDOWS. SEE EXT. ELEVATIONS
 - Ⓓ (E) POSTS, DEMO.
 - Ⓔ (E) POSTS, PROTECT DURING CONST. PREPARE FOR NEW FINISHES.
 - Ⓕ (E) WALLS AT BAY, DEMO. AND PREPARE FOR NEW INFILL WALL. SEE EXT. ELEVATIONS
 - Ⓖ (E) STL. HANDRAIL, PROTECT DURING CONST.
 - Ⓗ (E) 6'-0" HIGH CHAINLINK GATE PAIR. REMOVE AND PROTECT GATES. PREPARE FOR NEW WD. POSTS.
 - Ⓘ (E) CONC. STAIRS, NIC.

- SHEET KEYNOTES**
- ① (N) PARAPET WALL W/ S.M. CAP
 - ② (N) BOARD AND BATTEN FINISH, PAINT
 - ③ (N) MTL. WALL PANEL, FINISH PER MANUF.
 - ④ (N) STOREFRONT WINDOW SYSTEM, FINISH PER MANUF.
 - ⑤ (N) WD. OVERHANG, PAINT
 - ⑥ NOT USED
 - ⑦ (N) BDLG. SIGNAGE. SIGNAGE UNDER SEPARATE PERMIT
 - ⑧ (N) LIGHT FIXTURES



2 EAST ELEVATION - PROPOSED
 1/4" = 1'-0"

SPARC - SONOMA - TI
CANNABIS DISPENSARY
 19351 Sonoma Hwy
 Sonoma, CA 95476



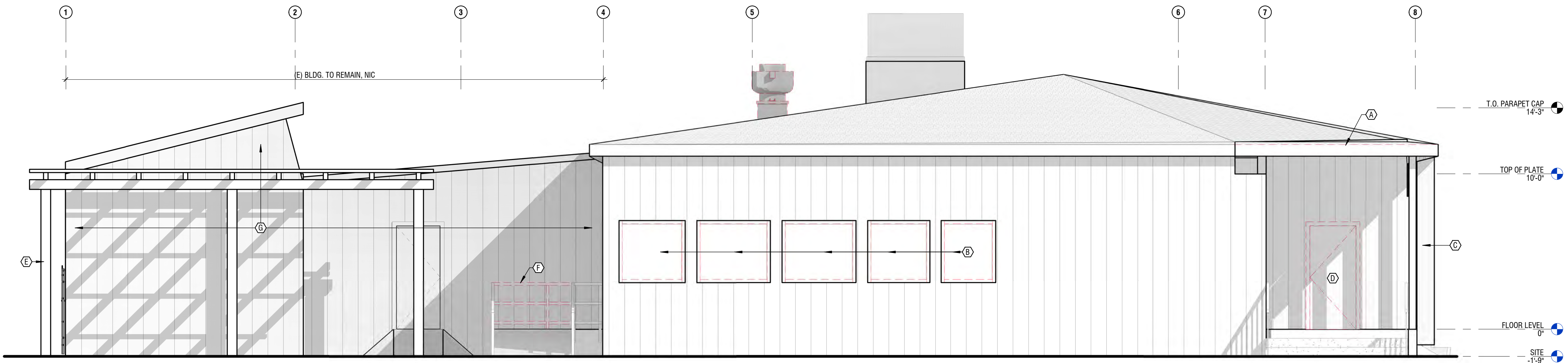
Revisions		
No.	Revisions	Date

USE PERMIT

EXTERIOR ELEVATIONS - DEMO AND PROPOSED

Project No.: 20-029
 Drawn By: S/A
 Issue Date: 01-19-2021
 Sheet

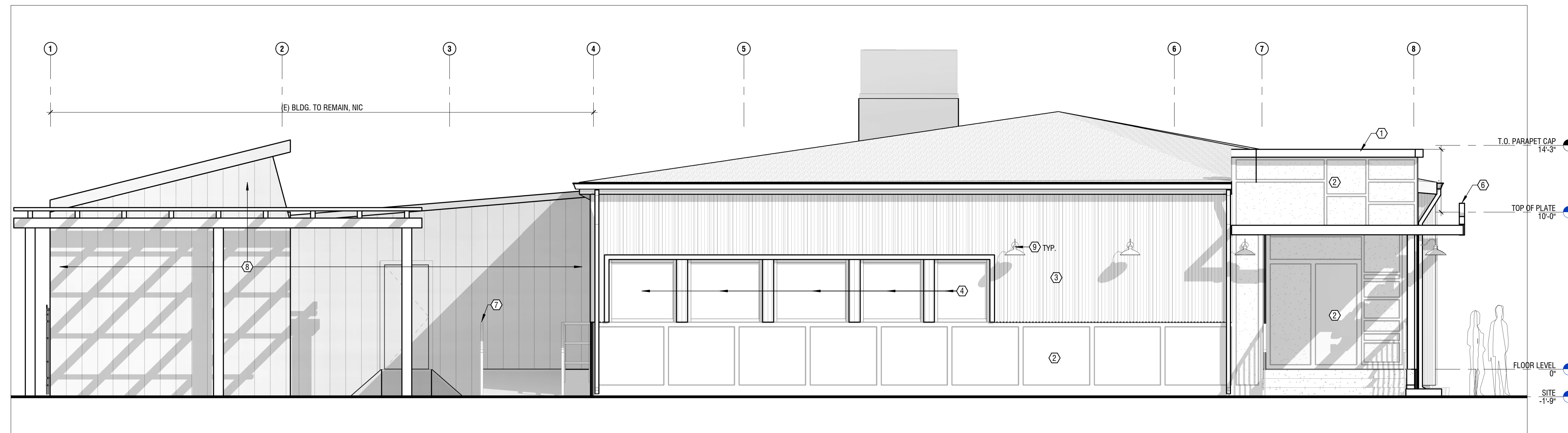
CUP9



SHEET KEYNOTES - DEMO

- (A) (E) ROOF OVERHANG, DEMO TO (E) WALL FACE, COORD. W/ NEW PARAPET WALL AND FINISHES PER EXT. ELEVATIONS.
- (B) (E) WINDOWS, DEMO., PREPARE OPENINGS FOR NEW WINDOWS. SEE EXT. ELEVATIONS.
- (C) (E) WALL, DEMO. PORTION AND PREPARE FOR NEW WINDOWS. SEE EXT. ELEVATIONS
- (D) (E) DOOR AND TRIM, DEMO. PREPARE OPENING FOR NEW INFILL WALL. SEE EXT. ELEVATIONS.
- (E) (E) WD. TRELLIS. PROTECT DURING CONST.
- (F) (E) STL. GUARDRAIL, DEMO. PREPARE FOR NEW GUARDRAIL EXTENSION. SEE EXT. ELEVATIONS.
- (G) (E) PAINTED FINISH. CLEAN AND PREPARE FOR NEW PAINT. SEE EXT. ELEVATIONS.

1 SOUTH ELEVATION - DEMO
 1/4" = 1'-0"

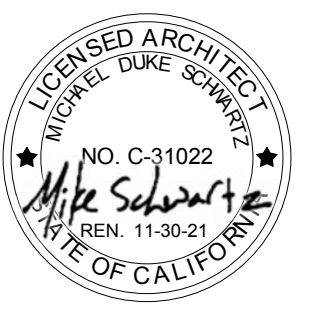


SHEET KEYNOTES

- (1) (N) PARAPET WALL W/ S.M. CAP
- (2) (N) BOARD AND BATTEN FINISH, PAINT
- (3) (N) MTL. WALL PANEL, FINISH PER MANUF.
- (4) (N) STOREFRONT WINDOW SYSTEM, FINISH PER MANUF.
- (5) (N) WD. OVERHANG, PAINT
- (6) (N) BLDG. SIGNAGE, SIGNAGE UNDER SEPARATE PERMIT
- (7) (N) STL. GUARDRAIL, PAINT
- (8) PRIME AND PAINT, TYP.
- (9) (N) LIGHT FIXTURES

2 SOUTH ELEVATION - PROPOSED
 1/4" = 1'-0"

SPARC - SONOMA - TI
CANNABIS DISPENSARY
 19351 Sonoma Hwy
 Sonoma, CA 95476



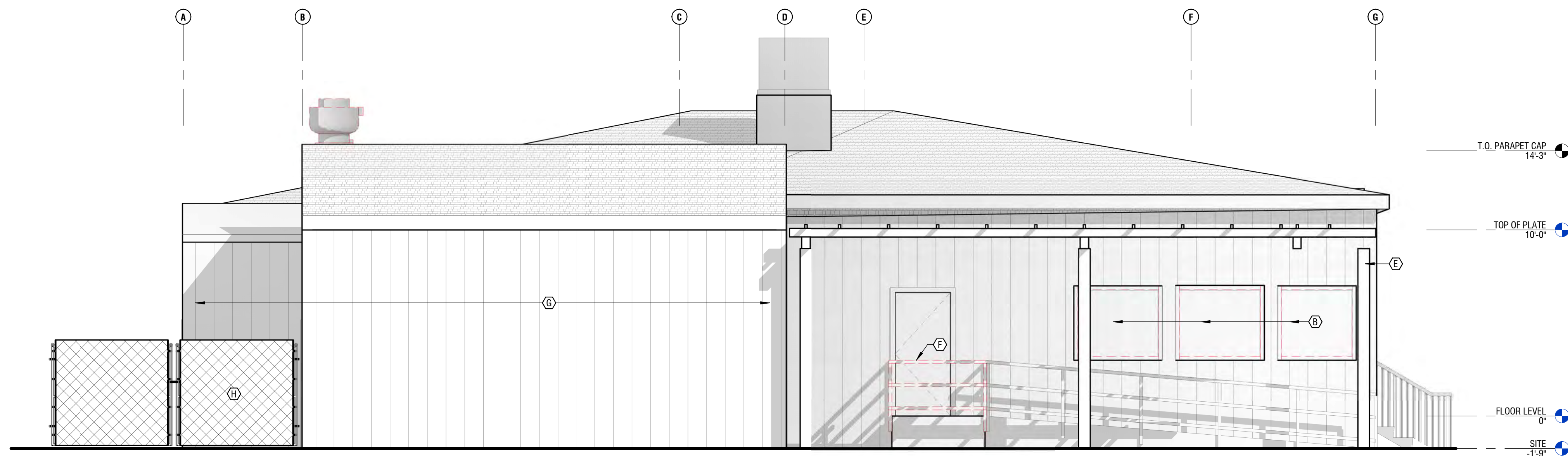
Revisions		
No.	Revisions	Date

USE PERMIT

EXTERIOR
 ELEVATIONS -
 DEMO AND
 PROPOSED

Project No.: 20-029
 Drawn By: S/A
 Issue Date: 01-19-2021
 Sheet

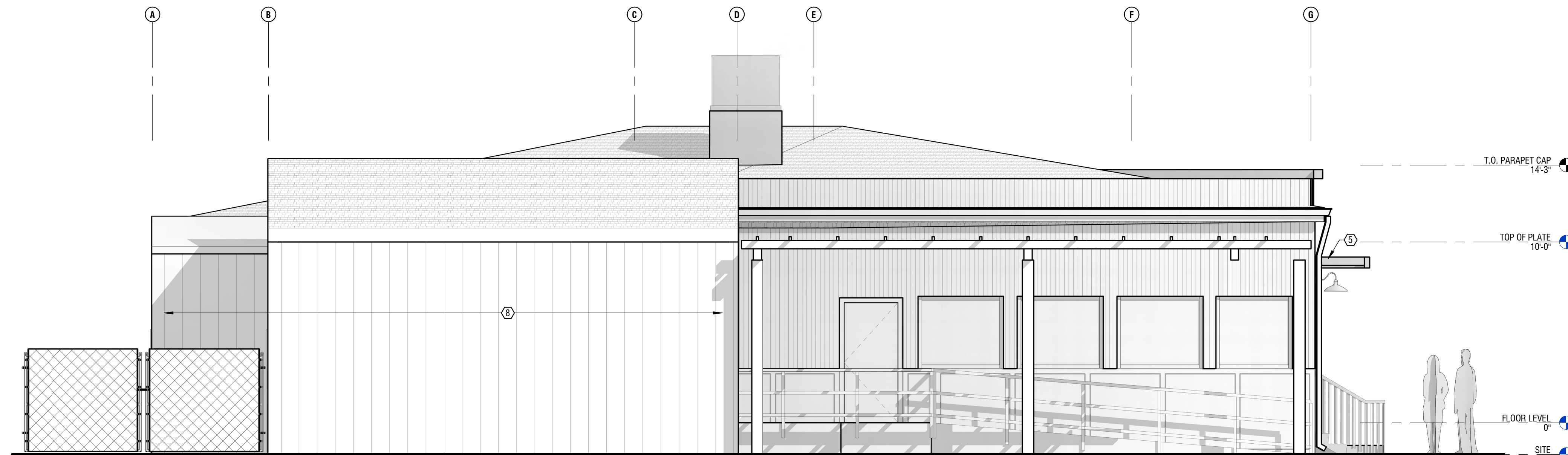
CUP10



SHEET KEYNOTES - DEMO

- (A) NOT USED
- (B) (E) WINDOWS, DEMO., PREPARE OPENINGS FOR NEW WINDOWS. SEE EXT. ELEVATIONS.
- (C) (E) WALL, DEMO. PORTION AND PREPARE FOR NEW WINDOWS. SEE EXT. ELEVATIONS
- (D) (E) DOOR AND TRIM, DEMO. PREPARE OPENING FOR NEW INFILL WALL. SEE EXT. ELEVATIONS.
- (E) (E) WD. TRELLIS. PROTECT DURING CONST.
- (F) (E) STL. GUARDRAIL, DEMO. PREPARE FOR NEW GUARDRAIL EXTENSION. SEE EXT. ELEVATIONS.
- (G) (E) PAINTED FINISH. CLEAN AND PREPARE FOR NEW PAINT. SEE EXT. ELEVATIONS.
- (H) (E) 6'-0" HIGH CHAINLINK GATE PAIR, PROTECT DURING CONST.

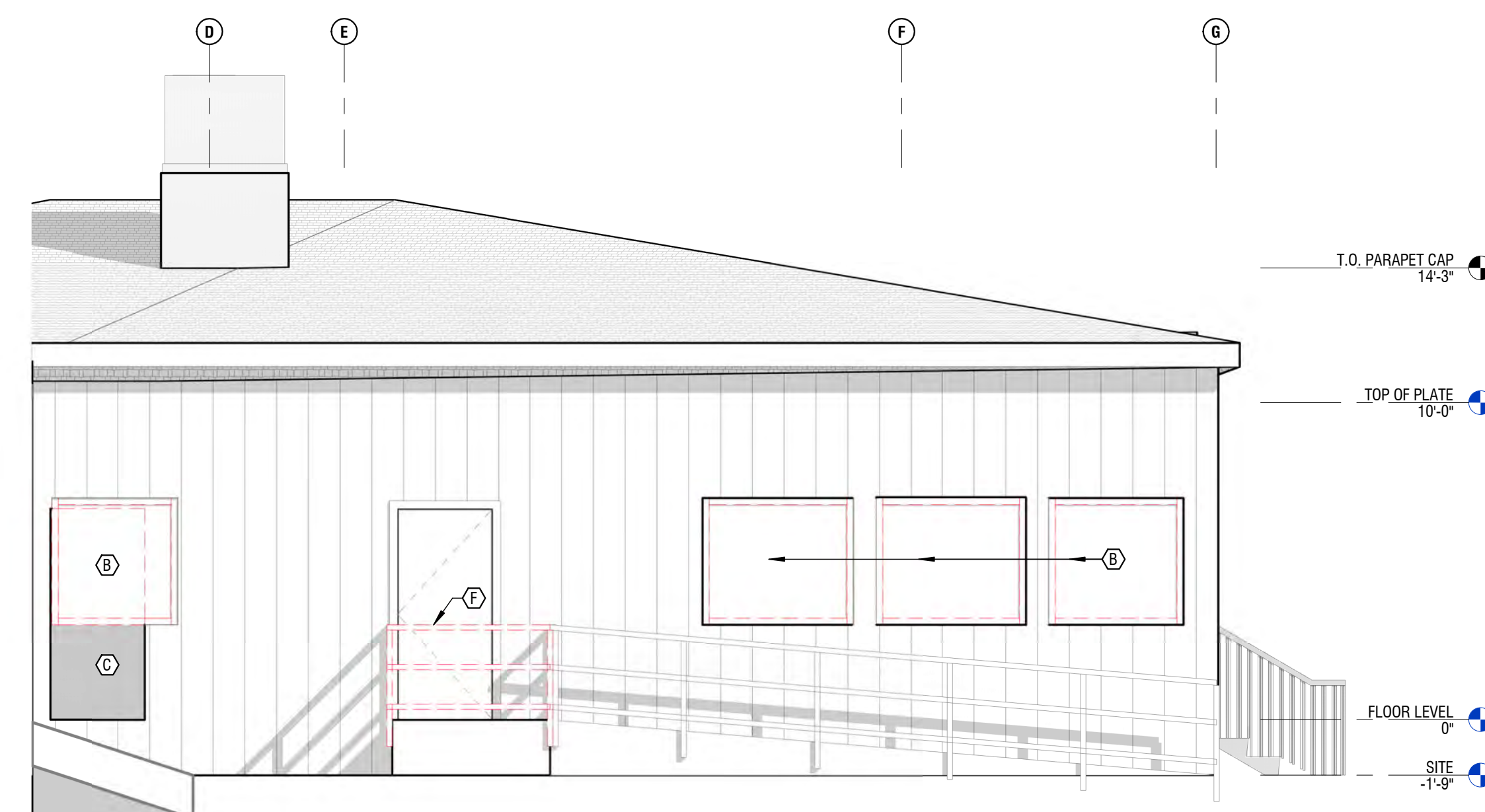
1 WEST ELEVATION 1 - DEMO
 1/4" = 1'-0"



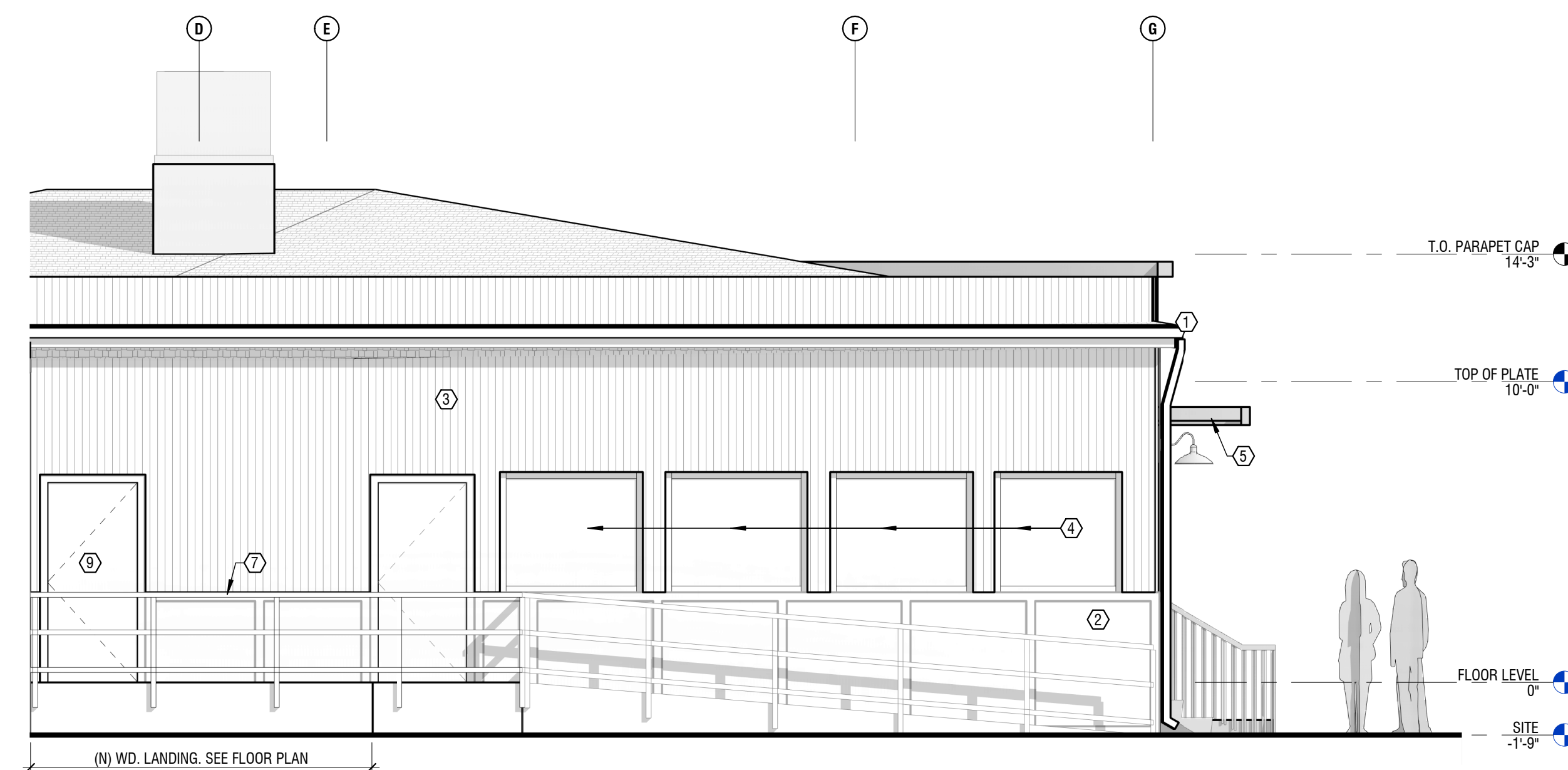
SHEET KEYNOTES

- (1) (N) PARAPET WALL W/ S.M. CAP
- (2) (N) BOARD AND BATTEN FINISH, PAINT
- (3) (N) MTL. WALL PANEL, FINISH PER MANUF.
- (4) (N) STOREFRONT WINDOW SYSTEM, FINISH PER MANUF.
- (5) (N) WD. OVERHANG, PAINT
- (6) NOT USED
- (7) (N) STL. GUARDRAIL, PAINT
- (8) PRIME AND PAINT, TYP.
- (9) (N) DOOR, PER FLOOR PLAN

2 WEST ELEVATION 1 - PROPOSED
 1/4" = 1'-0"



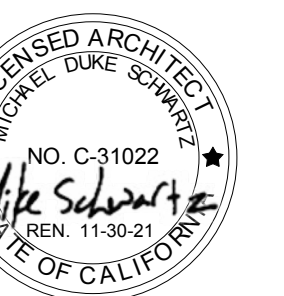
3 WEST ELEVATION 2 - DEMO
 1/4" = 1'-0"



4 WEST ELEVATION 2 - PROPOSED
 1/4" = 1'-0"

SPARC - SONOMA - TI
CANNABIS DISPENSARY

19351 Sonoma Hwy
 Sonoma, CA 95476



Revisions		
No.	Revisions	Date

USE PERMIT

EXTERIOR ELEVATIONS - DEMO AND PROPOSED

Project No.: 20-029
 Drawn By: S/A
 Issue Date: 01-19-2021
 Sheet

CUP11



1 EXISTING EXTERIOR
1 1/2" = 1'-0"

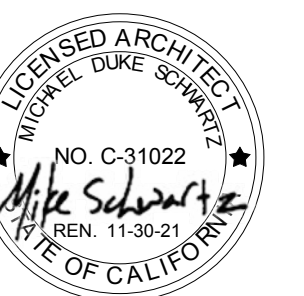


CORRUGATED METAL SIDING W/ BOARD AND BATTEN WAHNSCOT

2 PROPOSED EXT. BUILDING RENOVATIONS
1/2" = 1'-0"

S/A
SCHWARTZ
ARCHITECTURE
 1653 FINLAW ST.
 SANTA ROSA, CA 95404
 TEL: 707.478.4949

SPARC - SONOMA - TI
CANNABIS DISPENSARY
 19351 Sonoma Hwy
 Sonoma, CA 95476



Revisions		
No.	Revisions	Date

USE PERMIT

CURRENT /
 PROPOSED
 CONDITIONS,
 RENDERING

Project No.: 20-029
 Drawn By: S/A
 Issue Date: 01-19-2021
 Sheet

CUP15