

Notice mentioning David Burris' barn constructed by O.B. Ackerman. *The Petaluma Courier*, August 17, 1881, 3.

INTERNET SOURCES

Thompson, Thomas H. *Map of Sonoma County California*. Oakland, CA: Thomas H. Thompson & Co., 1887.

David Rumsey Map Collection.

The Sonoma Municipal Code, Section 19.42.020, Current through Ordinance 03-2017, May 15, 2017. Accessed online. November 13, 2017.
<https://www.codepublishing.com/CA/Sonoma/html/Sonoma19/Sonoma1942.html>

County of Sonoma. "Designation of Historic Landmarks and Districts." Accessed online, October 10, 2017. <http://sonomacounty.ca.gov/PRMD/Planning/Historic-Resources/Criteria-for-Designation-of-Historic-Landmarks/>.

"History of Sonoma." City of Sonoma Website. Accessed October 2, 2017.
<http://www.sonomacity.org/Community/About-Sonoma/History-Of-Sonoma.aspx>.

OTHER SOURCES

California Office of Historic Preservation. Directory of Properties in the Historic Property Data File for Sonoma County, updated March 15, 2011. California Historic Resource Information System, Northwest Information Center, Rohnert Park, CA.

State of California Department of Parks and Recreation, Primary Record 49-004759, prepared May 31, 1978. Provided to Page & Turnbull by Northwest Information Center, Sonoma State University, Rohnert Park, CA November 6, 2017.

State of California Department of Parks and Recreation, Primary Record 49-004759, HRI 5476-0234-0000, February 6, 2001. Provided to Page & Turnbull by Northwest Information Center, Sonoma State University, Rohnert Park, CA November 6, 2017.

JRN Civil Engineers. ALTA/NSPS Land Title Survey. March 21, 2016.

David Burris-Biographical Timeline, account provided by Ann Burris. Source provided to Page & Turnbull courtesy MacArthur Place Hotel.

California Office of Historic Preservation, *Technical Assistance Series No. 7: How to Nominate a Resource to the California Register of Historical Resources* (Sacramento: California Office of State Publishing, September 4, 2001).

APPENDIX A. PREVIOUS HISTORIC EVALUATION SURVEY FORMS

PRIMARY RECORD

Primary # P- 49-004759
HRI # 5476-0234-0000
Trinomial:
NRHP Status Code: 3S
Resource Name or #: Burris House

Other Listings:
Review Code:
Page 1 of 5

Reviewer:

Date:

P1. Other Identifier: MacArthur Place

P2. Location:

- b. USGS 7.5' Quad: Sonoma, California
 - T N/R W; 1/4 of 1/4 of Sec. ; MDBM
 - c. Address: 29 East MacArthur
 - d. UTM: Zone: 10 547540mE
 - e. Other Locational Information: Corner of Broadway and East MacArthur
- a. County: Sonoma
 - Date: 1951 (photorevised 1980)
 - Land Grant: Pueblo Lands of Sonoma
 - City: Sonoma Zip: 95476
 - 4237380mN

P3a. Description: The property at 29 East MacArthur Street contains a large, nineteenth century house and an associated barn built by local banker, David Burris. It also contains several buildings constructed in the late twentieth century as part of a hotel complex. The Burris house is a two-story wood-frame building that exhibits both Greek Revival and Italianate elements. The core of the house is U-shaped with prominent front-facing gable wings. Paired, two-over-two, double-hung wooden sash windows at each level light the wing ends. Crowns above the windows mimic the style of the gable returns. This portion of the house is clad with horizontal drop siding and has corner quoins. The roof overhang is relatively narrow.

The front entry is marked by a one-story porch extending between the two wings and supported by square, vernacular Doric-style columns. Window and door placement is asymmetrical on the lower level. The porch is topped by balustrades and is partially enclosed by a low wall. Modest use of modillions is found along the porch roof. The west side of the house has a full width, two-story porch supported by square posts. Balustrades are found at both levels. A large, two-story addition on the east side is joined to the main house by a one-story passageway. It lacks the architectural detail of the main house and is apparently a later addition.

P3b. Resource Attributes: HP2, HP33

P4. Resources Present: Building

P5. Photograph or Drawing: (also see page 3)

P5b. Description of Photo: Main entry of the Burris House (view SE)



P6. Date Constructed/Age and Sources: 1869
Alexander, J. B.

P7. Owner and Address:
MacArthur Place
29 E. MacArthur Street
Sonoma, CA 95416

P8. Recorded by:
Tom Origer & Associates
P.O. Box 1531
Rohnert Park, CA 94927

P9. Date Recorded:
February 16, 2001

P10. Type of Survey:
Intensive

P11. Report Citation: Jones, T. and V. Beard 2001 *Historic Property Survey Report for the Nathanson Creek Bicycle Path Project, Sonoma County, California.*

P12. Attachments: Building, Structure, and Object Record; Continuation Sheets; Location Map.

BUILDING, STRUCTURE, AND OBJECT RECORD

Primary # P- 49-004759
HRI # 5476-0234-0000
NRHP Status Code: 3S
Resource Name or #: Burris House

Page 2 of 5

- B1. Historic Name:** Burris House
- B2. Common Name:** Burris-Good House
- B3. Original Use:** Ranch/farm complex and bank
- B4. Present Use:** Hotel
- B5. Architectural Style:** Italianate
- B6. Construction History:** Originally constructed in 1869. Additions were made by Burris during the later nineteenth century. The interior of the house was modified in 1998 at the same time that the surrounding property was developed as a hotel complex.
- B7. Moved?** No **Date:** **Original Location:**
- B8. Related Features:** Southeast of the house is a large, highly modified nineteenth century barn that was part of the original Burris farm complex. The barn was modified extensively for use as a restaurant and it retains little architectural integrity.
- B9a. Architect:** Unknown (possible Albert Bennett) **B9b. Builder:** Unknown
- B10. Significance:** **Theme:** Residential Architecture **Area:** Sonoma
Period of Significance: 1869 - 1880
Property Type: Residence
Applicable Criteria: A, C

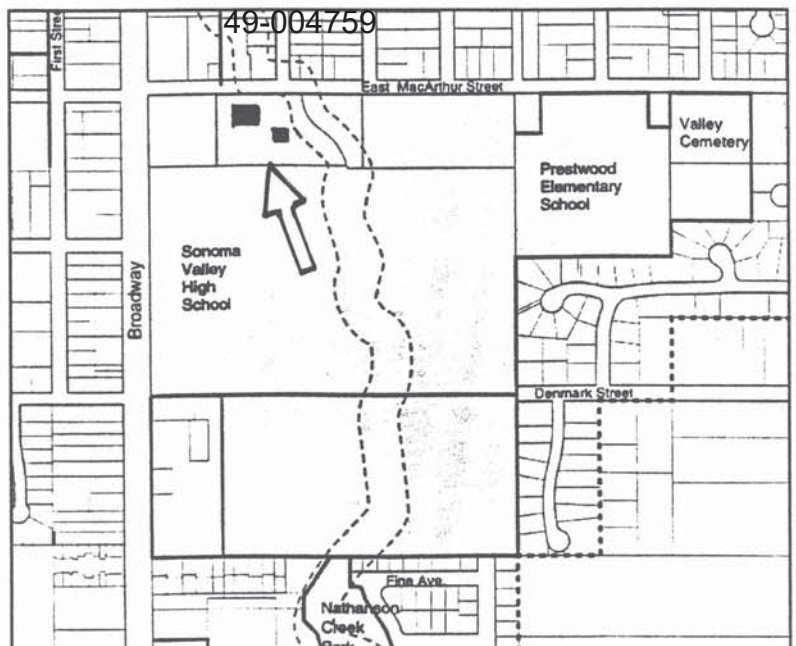
This property is associated with David Burris, a noted Sonoma Valley resident. Burris was born in Old Franklin, Cooper County, Missouri and came to California with the rest of the world in 1849 where he looked for gold at Bidwell's Bar on the Feather River and Huncut Diggings in Plumas County. He lived in Napa and Tulare Counties before settling in Sonoma in the spring of 1869 (Munro-Fraser 1880:670). In Sonoma, Burris purchased about 47 acres of land southeast of the Broadway and East MacArthur Street intersection. On this parcel, he built a large, two-story house, raised cattle and horses, and cultivated hay, grapes, and orchard fruit.. He founded Sonoma's first bank, the Sonoma Valley Bank, in 1875 and served as its executive head until his death in 1904 (Cross 1927:403). His son, Frank, succeeded him as bank president and founded the Valley National Bank in 1923 when his father's bank was sold. (See continuation sheet page 3)

B11. Additional Resource Attributes:

B12. References:
See Continuation Sheet page 4

B13. Remarks:

B14. Evaluator: T. E. Jones Jr.
Date of Evaluation: 2/16/01



CONTINUATION SHEET

Primary #: 49-004759
HRI #: 5476-0234-0000
Trinomial:
Resource Name or #: Burris House
Date: 2/16/01

Page 3 of 5
Recorded by T. Jones

B10. Significance: (Continued)

To be eligible for inclusion on the National Register, a property must possess integrity of location, design, setting, materials, workmanship, feeling, and association (National Park Service [NPS] 1995). If it is found to possess integrity, then one of the following criteria must be met:

- A. That are associated with events that have made a significant contribution to the broad patterns of our history; or
- B. That are associated with the lives of persons significant in our past; or
- C. That embody the distinct characteristics of a type, period, or method of construction, or that represent the work of a master, or that possess high artistic values, or that represent a significant and distinguishable entity whose components may lack individual distinction; or
- D. That have yielded or may be likely to yield, information important in prehistory or history.

The Burris House appears to be eligible for inclusion on the National Register of Historic Places under criteria B and C. This house is a good example of a high-style, nineteenth century home and it is associated with a prominent Sonoma family. The house has good architectural integrity. It is in its original location; however, the feeling derived from its original ranch setting has been compromised by the development of a hotel complex in and around the house in 1998. The conversion of the house to accommodate functions of the hotel substantially modified the house's interior, but exterior architectural details have remained largely unchanged. Exterior modifications consist of the addition of octagonal foils in the gable peaks and light fixtures on the balcony. Because the significance of the house, in part, relates to its architectural style, and external materials and workmanship have been maintained, the property possesses the integrity necessary to be eligible for the National Register.

CONTINUATION SHEET

Primary #: P-49-004759
HRI #: 5476-0234-0000
Trinomial:
Resource Name or #:
Date: 2/16/01

Page 4 of 5

Recorded by: T. Jones

B12. References:

Alexander, J.

1997 Why Fourth Oldest Sonoma Valley Home Attracted Hundreds of "Showcase" Visitors. *Sonoma Valley Historical Society Newsletter*, September. Sonoma Valley Historical Society. Sonoma, California.

Kirker, H.

1960 *California's Architectural Frontier: Style and Tradition in the Nineteenth Century*. Gibbs M. Smith, Inc. Layton Utah.

McAlester, V. and L. McAlester

1984 *A Field Guide to American Houses*. Alfred A. Knopf, Inc. New York.

Munro-Fraser, J.

1880 *History of Sonoma County*. Alley, Bowen & Co, San Francisco.

Santa Rosa Press Democrat [Santa Rosa, California)

1904 "David Burriss Dead." 6 January.

Thompson, R.

1884 *Central Sonoma*, R. A. Hutton, Santa Rosa, California.

Toumey, H.

1926 *History of Sonoma County, California*. S. J. Clarke Publishing Co. Chicago.

Interviews

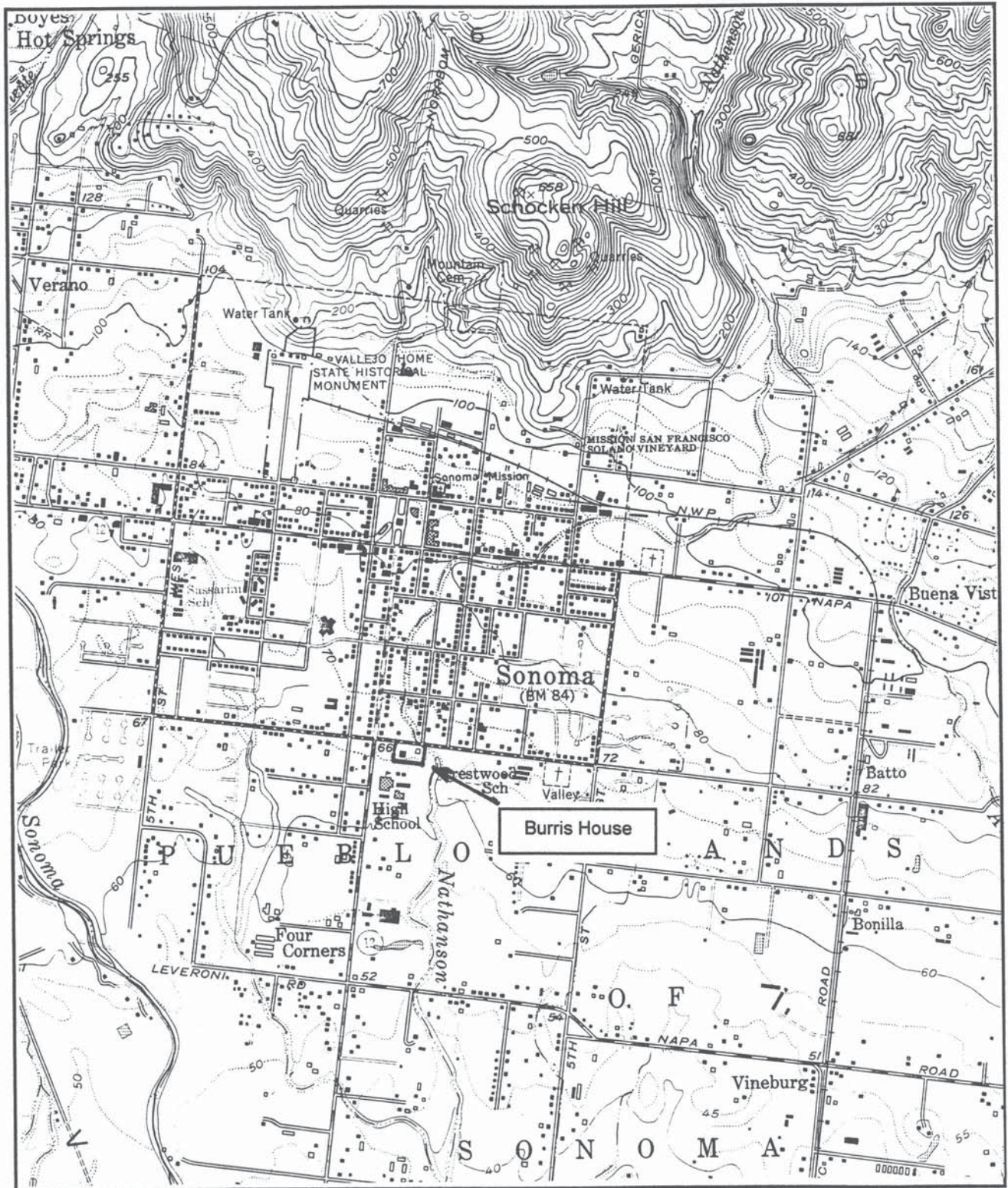
Alexander, J. Beach - 2/08/01

LOCATION MAP

Primary #: P- 49-004759
HRI #: 5476-0234-0000
Trinomial:
Resource Name or #: Burris House
Date of Map: 1951 (PR 1980)

Page 5 of 5
Map Name: Sonoma

Scale: 7.5'



HISTORIC RESOURCES INVENTORY

(State use only)

Ser _____ Site _____ Mo. _____ Yr. _____
 UTM _____ Q _____ NR 3 SHL _____
 Lat _____ Lon _____ Era _____ Sig _____
 Adm _____ T2 _____ T3 _____ Cat _____ HABS _____ HAER _____ Fed _____

IDENTIFICATION

1. Common name: _____ 495476-234
2. Historic name, if known: Burriss House
3. Street or rural address 29 East MacArthur
 City: Sonoma ZIP: 95476 County: Sonoma
4. Present owner, if known: Mr & Mrs Howard Good Address: Same
 City: Sonoma ZIP: 95476 Ownership is: Public Private
5. Present Use: Private residence Original Use: Same
 Other past uses: _____

DESCRIPTION

6. Briefly describe the present physical appearance of the site or structure and describe any major alterations from its original condition:
 Please see attachment

7. Locational sketch map (draw and label site and surrounding streets, roads, and prominent landmarks):

See City Map - Area 13



UTM (SONOMA QUAD)
 10/547,560/4,238,570
 10/548,700/4,238,420
 10/548,420/4,236,210
 10/547,300/4,236,340

8. Approximate property size:

Lot size (in feet) Frontage _____
 Depth _____
 or approx. acreage _____.

9. Condition: (check one)

a. Excellent b. Good c. Fair
 d. Deteriorated e. No longer in existence

10. Is the feature a. Altered? b. Unaltered?

11. Surroundings: (Check more than one if necessary)

a. Open land b. Scattered buildings
 c. Densely built-up d. Residential
 e. Commercial f. Industrial
 g. Other _____

12. Threats to site:

a. None known b. Private development
 c. Zoning d. Public Works project
 e. Vandalism f. Other _____

13. Date(s) of enclosed photograph(s): May 1978

NOTE: The following (Items 14-19) are for structures only.

14. Primary exterior building material: a. Stone b. Brick c. Stucco d. Adobe e. Wood
 f. Other _____
15. Is the structure: a. On its original site? b. Moved? c. Unknown?
 Original part 1840?
16. Year of initial construction 1860 This date is: a. Factual b. Estimated
17. Architect (if known): Albert A. Bennett style
18. Builder (if known): David Burris
19. Related features: a. Barn b. Carriage house c. Outhouse d. Shed(s) e. Formal garden(s)
 f. Windmill g. Watertower/tankhouse h. Other Stable i. None

SIGNIFICANCE

20. Briefly state historical and/or architectural importance (include dates, events, and persons associated with the site when known):

21. Main theme of the historic resource: (Check only one): a. Architecture b. Arts & Leisure
 c. Economic/Industrial d. Exploration/Settlement e. Government f. Military
 g. Religion h. Social/Education

22. Sources: List books, documents, surveys, personal interviews, and their dates:

Research by Patri through B. Alexander
 Interview - Mr. Welch Atlas 1877
 History of Sonoma County

23. Date form prepared: 5/31/78 By (name): J. Patri/A Keith/ De Petris
 Address: 384 Chase Street City _____ Sonoma ZIP: 95476
 Phone: 938-5348 Organization: Sonoma League for Historic Preservation

(State Use Only)



BURRIS HOUSE

See City Map

Area 13

29 East MacArthur, Sonoma, CA 95476

Mr. & Mrs. Howard Good - Owners

DESCRIPTION:

This sixteen room, two-story house is in the Greek revival style. Has wooden frame and horizontal wood siding. The main feature of this very large house is the broken pediment on the side gable roof facing the front. The balcony is between the aliforms, has a balustrade of simple straight baluster columns. The balcony covers a one-story portico with straight simple tall columns. There is a straight portico with flat roof on the west side. The many symmetrical windows are tall with four panes, wide trim and molding on the top, very early Greek Roman style. Large trees, California live oaks on the sides. Large shrubs in the front. A white picket fence on MacArthur with two wooden columns with Doric like capped capitello at the sides of the woodenstick gate. All the corners of the house have quoins. Wooden pegs and square nails were used in the construction. There are many other scattered buildings. Very simple gable roof structures in open space.

The Barn also very large building, on the east side of the house, has gable roof. Is a fine two-story wood frame and with horizontal wood siding structure. Is more than 100 years old, as the main house and also has the classical feeling.

SIGNIFICANCE:

According to Mr. Welch, previous owner and son-in-law of the Burris', the house was originally built in 1840. Under Mr. David Burris' ownership there were 700 acres of planted fruit trees, vineyards and hay and this land parcel is shown on the early Atlas of Sonoma County. David Burris was a member of the Bear Flag party and according to Welch, Captain Fremont was also a guest in this house just as were many other prominent figures of the time. According to the history of Sonoma County, a David Burris, born January 6, 1824 in Missouri settled in Sonoma in the fall of 1851, for the first time. He returned to Missouri and again came west in the winter of 1856, settling in Napa. In the Spring of 1869, he came to Sonoma Valley settling in his farm. He was one of the great landowners. He had several children: Mary, Walter, Joshua, Edward, Alice, Henry, Laura, Eudora. One of them, Joshua, kept the house and his son Frank, established a bank at the corner of Broadway and East Napa (now Glendale Savings). Frank's stepdaughter, Leilani, inherited the house. She was married to Welch, now living in Sobre Vista. Leilani sold the house to Howard Good in 1971, just before her death. This property has been unaltered, well kept and has still much open space on the backyard. On this property, there are the largest structures in the Sonoma area as private residence. Is at the corner of Broadway and MacArthur leading streets at Sonoma entrance. There are several structures on the property and large trees. A row of eucalyptus is on the side of the property toward Broadway Street. Is highly visible and the second oldest home in Sonoma of historical significance.

CONDITION: Excellent

UNALTERED

BUILDER: David Burris

1. City or Vicinity SONOMA - In County "island" surrounded by City 5. Ty of Site: P-49-004759
2. Street & Number (or approx. distance from major road intersection) McARTHUR (East of BROADWAY, north of High School)
3. Planning Area 5B-7
4. Date 1/75

- Dwelling
 Commercial
 Industrial
 Bridge
 Fence
 Trail
 Other
- 5476-0234-0000

Area 2
 SYMBOLIC ?
 AESTHETIC 2
 FIELD INFORMATION

Recommended for Designation but owner didn't agree

HISTORIC BUILDING & SITE SURVEY
 Sonoma County Planning Department
 Regional Parks Department

RESEARCH DATA

6. Present Use Dwelling
7. General Setting:
- Urban single family
 - Urban mixed residential
 - Urban multiple-unit residential
 - Urban mixed residential-commercial
 - Urban commercial
 - Transitional urban-rural resid.
 - Transitional urban-rural mixed residential/commercial
 - Transitional urban-rural commercial
 - Rural residential
 - Rural commercial (one or two related commercial structures)
 - Agricultural
 - Grazing
 - Woodland

18. Assessor's Parcel No. 128-091-01
19. Zoning _____
20. Present owner and/or occupant:
Mr + Mrs. Good 223 Poplar Ave
 Kentfield, CA
 94934
21. Original owner and use:
COOK HOUSE, BURRIS HOUSE
22. Brief statement of significance:
Owned for many years by WELCH family. Mrs. Welch was a BURRIS whose family owned the first bank
23. Historic events or persons associated with the building:
in Sonoma - Bank was in a bldg. still standing on the Plaza. Built probably 1860s or 1870s
24. Historic significance:
 National or State Local
25. Association with major historical era:
 Indian Spanish

NEIGHBORHOOD INFORMATION

8. Compatibility with neighborhood:
 Structure: Yes No
 Use: Yes No
9. Importance to neighborhood:
 Great Moderate Minor

ARCHITECTURE

10. Construction material wood
11. No. of stories 2
12. Style of architecture Greek Revival -> Federal
13. Physical condition: Federal
 Excellent Good Fair Poor
14. Exterior alteration from original design:
 None or little Moderate
 Considerable
15. Architectural significance as an example of its style:
 Exceptional Excellent
 Good Fair Poor
16. Notable feature(s): has picket fence, Quoins, beautiful details, beautifully maintained
17. Outbuildings (if any):
Stable, pool area, 1 adobe



29. Surveyor NINA LISTON

1. City or Vicinity SONOMA ^{in county "island" surrounded by} City 5. T₁ of Site:
2. Street & Number (or approx. distance from major road intersection) Mac ARTHUR - East of Broadway, North of H.S.
3. Planning Area 5B-8
4. Date 1/75
- Dwelling
 Commercial
 Industrial
 Bridge
 Fence
 Trail
 Other Barn

HISTORIC BUILDING & SITE SURVEY
 Sonoma County Planning Department
 Regional Parks Department

FIELD INFORMATION

RESEARCH DATA

6. Present Use Barn
7. General Setting:
- Urban single family
 - Urban mixed residential
 - Urban multiple-unit residential
 - Urban mixed residential-commercial
 - Urban commercial
 - Transitional urban-rural resid.
 - Transitional urban-rural mixed residential/commercial
 - Transitional urban-rural commercial
 - Rural residential
 - Rural commercial (one or two related commercial structures)
 - Agricultural
 - Grazing
 - Woodland

18. Assessor's Parcel No. _____
19. Zoning _____
20. Present owner and/or occupant: _____
21. Original owner and use: _____
22. Brief statement of significance:
Barn that accompanies Cook House
23. Historic events or persons associated with the building: _____
24. Historic significance:
 National or State Local
25. Association with major historical era:
 Indian Spanish
 Mexican American
26. Source of information: _____

NEIGHBORHOOD INFORMATION

8. Compatibility with neighborhood:
 Structure: Yes No
 Use: Yes No
9. Importance to neighborhood:
 Great Moderate Minor

ARCHITECTURE

10. Construction material _____
11. No. of stories _____
12. Style of architecture _____
13. Physical condition:
 Excellent Good Fair
14. Exterior alteration from original:
 None or little Moderate
 Considerable
15. Architectural significance as a function of its style:
 Exceptional Excellent
 Good Fair Poor
16. Notable feature(s): _____
17. Outbuildings (if any): _____



29. Surveyor NINA LISTON

APPENDIX B. DPR SURVEY FORMS FOR AGE-ELIGIBLE BUILDINGS

State of California — The Resources Agency
 DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # _____
 HRI # _____
 Trinomial _____
 NRHP Status Code 35

Other Listings _____
 Review Code _____ Reviewer _____ Date _____

Page 1 of 21 Resource name(s) or number (assigned by recorder) Burriss House

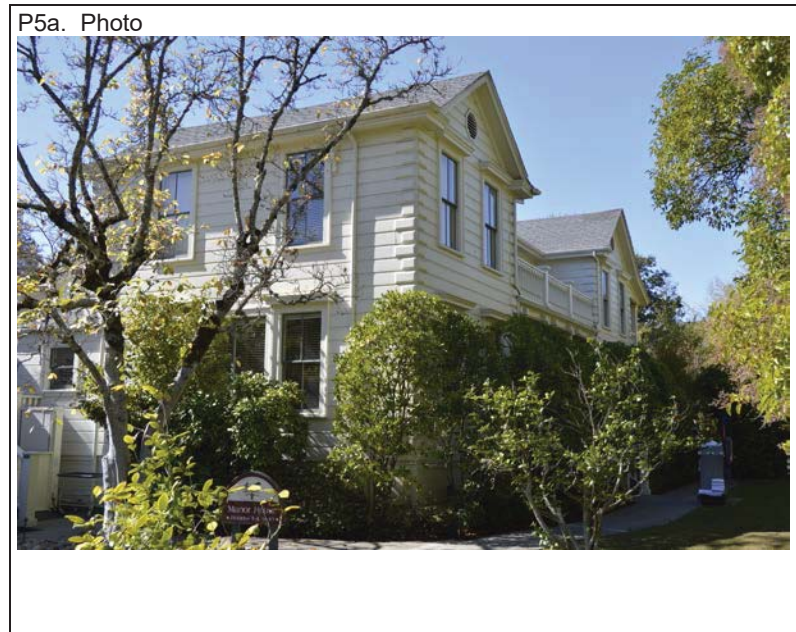
P1. Other Identifier:

- *P2. Location: Not for Publication Unrestricted
 *a. County Sonoma
 *b. USGS 7.5' Quad for Sonoma, CA Date 2015
 *c. Address 29 E. MacArthur Street City Sonoma Zip 94576
 *e. Other Locational Data: 1280-9100-500 (29 E. MacArthur Street) and 1280-8100-200 (20000 Broadway)
 *P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

This Primary Record and Building, Structure and Object Record has been prepared for the Burriss House, one of 20 buildings located within MacArthur Place Hotel and Spa complex at 29 E. MacArthur Street in Sonoma, California. The roughly five-acre property is situated on two parcels addressed 29 E. MacArthur Street (APN 1280-9100-500) and 20000 Broadway Street (APN 1280-8100-200) (Figure 1). For purposes of this report, the entire property will be referred to as 29 E. MacArthur Street. Across both parcels, the property contains a total of 20 buildings as well as a non-historic designed landscape. Of the existing buildings on the site, five buildings appear to be age-eligible (at least 50 years of age) for potential historic significance. The Burriss House was evaluated for historic significance in 2001 and is currently as an individual resource eligible for listing in the National Register of Historic Places.¹ Therefore, this HRE evaluates whether the Burriss House retains sufficient historic integrity to remain eligible. Four additional age-eligible buildings have not been previously evaluated for California Register eligibility and include: a barn constructed in 1881 and converted to restaurant and office/conference center use in 1998 with additional alterations in 2000 and 2003; a pool house constructed in 1948 with alterations and additions between 1998-2000, currently used as a spa and pool house; a former caretaker's cottage estimated to have been built ca. 1920s-1930s, with alterations in 1998; and a former carport/garage building constructed in 1975 with alterations and additions in 1998 and 2000 that serves as a library and hotel reception building. Fifteen additional buildings located on the subject property were constructed between 1999 and 2000 and are not age-eligible for potential historic significance. Thus, evaluation of buildings within the subject property is limited to the five age-eligible buildings.

(See continuation sheet)

- *P3b. Resource Attributes: (list attributes and codes) HP5. Hotel/Motel
 *P4. Resources Present: Building Structure Object Site District Element of District Other



- P5b. Photo:** (view and date)
 40587 Fremont Boulevard viewed from Fremont Boulevard. Looking west.
- *P6. Date Constructed/Age and Sources:
 Historic Prehistoric Both
 Circa 1869
- *P7. Owner and Address:
 L'Auberge de Sonoma, LLC
 7001 N. Scottsdale Road, Suite 2050
 Scottsdale, AZ 85253
- *P8. Recorded by:
 Page & Turnbull, Inc.
 417 Montgomery Street, 8th Floor
 San Francisco, CA 94104
- *P9. Date Recorded:
 October 27, 2017
- *P10. Survey Type: Intensive
 *P11. Report Citation: (Cite survey report and other sources, or enter "none") Page & Turnbull, Historic

Resource Evaluation, Draft: 29 E. MacArthur Street, Sonoma, CA, 2017.

- *Attachments: None Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record
 Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record
 Artifact Record Photograph Record Other (list)

¹ California Office of Historic Preservation, Directory of Properties in the Historic Property Data File for Sonoma County, updated March 15, 2011, 84. California Historic Resource Information System, Northwest Information Center, Rohnert Park, CA. State of California Department of Parks and Recreation, Primary Record 49-004759, HRI 5476-0234-0000, February 6, 2001. Provided to Page & Turnbull by Northwest Information Center, Sonoma State University, Rohnert Park, CA November 6, 2017.
 DPR 523A (1/95) *Required information

P3a. Description (Continued)

The Burris House is a two-story, wood frame residential building characteristic of the Italianate and Greek Revival architectural styles. The building has an estimated construction date of 1869 based upon previous historic evaluations. The building originally featured a H-shaped plan with a central gabled volume extending east-west and two cross-gabled end volumes extending north-south, with the west gabled volume extending slightly further southward than the east gabled volume (**P5a.**) A two-story accessory building located southeast of the main residential building appears to have been used as a larder or other storage building originally, but was converted to residential use in 1999. This building appears to have been attached to the Burris House since at least 1923 according to available Sanborn fire insurance maps of the property. The Burris House is set back from the sidewalk adjacent to the south face of MacArthur Street approximately 33 feet and separated from the sidewalk by a wood picket fence and mature trees.² The original designer of the building is not known, though the building appears to have been constructed by 1869 when David Burris and his family settled in Sonoma. During David Burris' ownership of the house, a one-story shed-roofed addition was added to the south to accommodate space for additional children in the family (**Figure 1**).³



Figure 1: 3-D aerial imagery of Burris House. Orange outline indicates historic footprint of building ca. 1923 based upon Sanborn fire insurance maps. Source: Google Earth Pro, 2017. Edited by Page & Turnbull.

Wood channel siding is utilized as the primary cladding material on all façades, including those of the attached accessory building to the southeast. Rusticated wood quoins are applied to the corners of the Burris House to mimic masonry quoins, an architectural detail common to the Italianate style. The building is fenestrated on the north and east façades with two-over-two wood-sash windows set into molded surrounds with molded lintels and sills (referred to hereafter as standard windows). The south and west façades feature similar windows in select locations but are also fenestrated with one-over-one wood-sash windows, some of which appear to be double-hung. All roof surfaces are covered with asphalt shingles, excepting the central, square flat roof atop the attached accessory residential building. The south roof eave of the primary volume's central bays contains several skylights.

The primary (north façade) is generally symmetrical in composition with a three-bay wide, recessed central volume flanked by two two-bay wide gabled volumes (**Figure 4**). The central three bays feature a balustraded porch at the first story, with a balustraded balcony directly above (**Figure 5 and Figure 6**). A set of wood steps placed at the center of the primary façade is framed with wood posts and railings. The steps lead from ground level to the first story porch. The steps do not, however, center on the main entrance. Rather, the central three bays of the primary façade contain from east to west a standard window, standard window aligned with steps to the porch, and the main entrance. The main entrance features similar wood molding as the windows along the

² JRN Civil Engineers, ALTA/NSPS Land Title Survey, March 21, 2016.

³ David Burris-Biographical Timeline, account provided by Ann Burris. Source provided to Page & Turnbull courtesy MacArthur Place Hotel.

primary façade and contains a paneled wood door with a transom (**Figure 7**). The outermost bays of the primary façade are contained with gabled volumes that run perpendicular to the central gabled volume. At the first and second stories, two standard windows are set into the façade (**Figure 8**). Above the second story, the gable end features a slightly overhanging soffit and eave with molded wood trim and short eave returns along the eave line. At the center of each gable end, a non-original octagonal vent with louvers has been inserted (**Figure 9**).

The west façade of the main residential volume is two bays wide and features a generally symmetrical composition of two standard windows at each story with similar surrounds, sills, and lintels as those along the primary façade. Decorative wood quoins are located at the corners of the façade, while the east eave of the gabled roof above extends slightly over the façade plane. To the south of the west façade, a one-story hyphen volume clad with similar wood channel siding connects the main residential building to the accessory residential building to the southeast (**Figure 10 and Figure 11**). The accessory building features a similar palette of materials to the main residential building. Across the accessory building's square plan, each façade is clad with wood channel siding. The north and east façades feature two one-over-one, wood-sash windows at each story; each window at the first story is vertically aligned with a second story window above. Windows are set into less ornate wood surrounds with simple molded wood sills.

The south façade features a wood staircase with wood balustrade from ground level to the second story. The staircase leads to a landing and entry with a paneled wood door. An eave extension overhangs the landing providing coverage. The west façade is attached at the first story to the hyphen between the main residential building and the accessory building. At the second story a single one-over-one, wood-sash window is located in the southern half of the façade (**Figure 12 and Figure 13**). The rear (south) façade of the Burris House is comprised of several volumes and surface planes. At the far east end, the rear façade is comprised of the south walls of the two-story accessory building and one-story adjacent hyphen (**Figure 14 and Figure 15**). Wood steps lead from the ground level to the one-story hyphen and are placed directly adjacent to an original cellar entrance (**Figure 16**). At the first story, a one-story, shed-roofed addition features a tripartite, wood window comprised of three standard windows and a one-over-one wood-sash window to the west of the tripartite window (**Figure 17 and Figure 18**). The one-story addition intersects the west cross-gabled end volume at the rear façade. At the westernmost portion of the façade, the cross-gabled volume features two one-over-one windows at the second story and a non-original octagonal gable-end vent. This was historically the location of a brick chimney (**Figure 19**).

The west façade of the Burris House features a stacked, two-story porch with balustrade (**Figure 20 and Figure 21**). The west façade has an irregular fenestration pattern comprised of one-over-one sash windows with less ornate surrounds, sills, and lintels relative to those found along the primary (north) façade and east façades which were most visible from MacArthur Street historically (**Figure 22 and Figure 23**). Prior to renovation in 1999, the porch was screened in, according to historic photographs from the 1950s through the 1970s. The porch also had a similar wood staircase with wood railings and balusters, but did not feature accessibility upgrades such as rounded metal railings which wrap around the post and railing that flank the stairs (**Figure 22**).



Figure 2: Primary (north) façade viewed from lawn to north of Burris House. Looking west.



Figure 3: Primary façade viewed from lawn to north of Burris House. Looking east.



Figure 4: Tapered, square columns and wood balustrade at primary façade. Looking south.

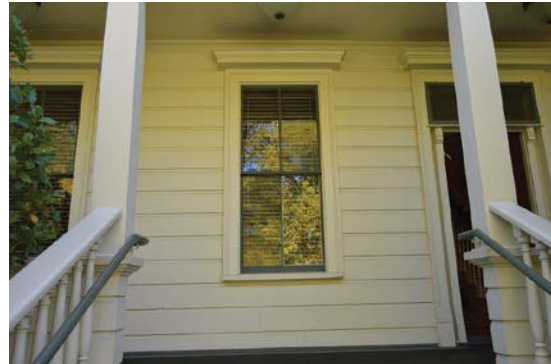


Figure 5: Recessed entry within covered porch and adjacent wood sash windows. Primary façade, looking south.



Figure 6: Fenestration at first story of outermost bays at primary (north) façade. Looking south.



Figure 7: West gabled volume at primary (north) façade with stacked porch of west façade visible. Looking south.



Figure 8: Main residential volume, one-story hyphen, and attached two-story converted larder building. Looking west.



Figure 9: West façade at main residential volume. Rusticated quoins pictured at north and south end of façade. Looking west.



Figure 10: Central flat-roofed portion of converted larder building indicating former location of windmill. Looking southwest.



Figure 11: West façade of attached, converted larder building with rear porch at south façade.



Figure 12: Rear (south) facade of hyphen connecting main residential volume and converted larder building.



Figure 13: West facade of accessory residential building and shed-roofed volume that extends from hyphen. Looking east.



Figure 14: Rear cellar access with shed roof attached to rear facade. Looking northeast.



Figure 15: Rear (south) facade of Burris House viewed from central garden. Looking north.



Figure 16: Rear, one-story addition added to Burris House to accommodate Burris' growing family in late 1800s. Looking north.



Figure 17: One-over-one double-hung windows at southwest gable end. Former location of brick chimney. Gable vent non-original. Looking northwest.



Figure 18: West façade with stacked porch. Wood balustrade at each story and wood stairs leading from ground level to first story. Looking east.



Figure 19: Balustrade at second story of porch. Looking north.



Figure 20: Wood stairs and molded wood hand rails with turned balusters. Looking east.



Figure 21: Typical one-over-one, wood-sash windows found at west and south façades (not visible from street) of Burris House. Looking east.

BUILDING, STRUCTURE, AND OBJECT RECORD

Page 8 of 21

*NRHP Status Code 3S

*Resource Name or # Burris House

B1. Historic name: Burris House

B2. Common name: Burris House

B3. Original Use: Single-Family Residence B4. Present use: Hotel

*B5. Architectural Style: Italianate w/Greek Revival influence

*B6. Construction History: (Construction date, alterations, and date of alterations)

The Burris House is estimated to have been built circa 1869 for original owner David Burris. During the late 19th century, Burris had a rear one-story addition added to the residence which remain extant. By 1923, the accessory building to the southwest of the Burris House's main volume was attached to the building by a one-story hyphen. This feature also remains intact. Between 1997 and 1998, the Burris House was renovated for hotel use. The buildings massing and overall form was retained. Vents at gable ends were inserted, the buildings brick chimney was removed, and stairs along the west façade's stacked porch were upgraded for ADA compliance. The porch itself retained its overall form but was converted from a screened in to an open-air design. Partitions within the interior of the building were shifted, however, no additional significant changes to the exterior have occurred.

*B7. Moved? No Yes Unknown Date: N/A Original Location: N/A

*B8. Related Features: Former barn building (1881), former caretaker's cottage (ca. 1920s/1930s), former pool house (1948), former garage building (1975). The barn, caretaker's cottage, and pool house were constructed by/for David Burris or his heirs. The garage building was constructed by owner, Howard Good in 1975 following purchase of the property from the Burris' heirs in 1971. The Burris House is located within MacArthur Place Hotel and Spa complex which contains 20 buildings, 15 of which were constructed between 1998 and 2000 and are not age-eligible.

B9a. Architect: Unknown B9b. Builder: Unknown

*B10. Significance: Theme Association to significant person and architectural significance _____ Area Local (Sonoma)

Period of Significance 1869 Property Type Residential Applicable Criteria B, C

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity)

(See Continuation Sheet)

B11. Additional Resource Attributes: (List attributes and codes)

*B12. References: See footnotes and bibliography

B13. Remarks: None.

*B14. Evaluator: Page & Turnbull, Inc.

*Date of Evaluation: October 27, 2017

(This space reserved for official comments.)



USGS 7.5' Quad for Sonoma, CA, 2015

B10. Significance (continued):

Prehistory

Sonoma Valley was once occupied by Coast Miwok and Patwin peoples, and most authorities consider the Coast Miwok to have been the dominant tribe.⁴ The Coast Miwok territory was centered in Marin and Sonoma counties and encompassed an area spanning approximately 1,400 square miles. The modern City of Sonoma falls within the northeastern portion of Coast Miwok territory, which was centered in Marin and Sonoma counties, and the area surrounding Sonoma's central plaza is near the location of the ancient Coast Miwok village of Huchi.⁵

Hispanic Period

In the mid-eighteenth century, Spanish explorers and missionaries arrived in Sonoma Valley. During the latter half of the eighteenth century and the early nineteenth century, Spain reinforced its claim to Alta California by encouraging the establishment of a chain of Franciscan missions along the coast and inland valleys from San Diego north to the Golden Gate. The Spanish Viceroy ultimately decided to build missions in the region north of the Golden Gate, provoked by the establishment of a Russian fur trading and farming settlement at Fort Ross, in present-day Sonoma County in 1812.⁶ In 1823, Father Jose Altimira devised a plan to found a new mission north of the Golden Gate. Altimira and his men sailed across San Pablo Bay and rowed up the Sonoma River to the site of the present-day City of Sonoma. Impressed with the fecund soil of the well-watered and oak-studded plain, Altimira selected this location for California's last mission—and the only one established during Mexican rule, which had begun in 1821. On 4 July 1823, Father Altimira officially founded Mission San Francisco Solano de Sonoma, naming it after St. Francis Solano, a missionary to the Peruvian Indians. Within a few years, approximately 1,300 Indians lived at the *rancheria* adjacent to the mission. In 1826, a bloody neophyte revolt broke out, which resulted in the complete destruction of the first mission complex and Father Altimira's departure from Sonoma.⁷

Although Mission San Francisco Solano de Sonoma was rebuilt in 1827, it did not survive for much longer. In 1834, Governor José Figueroa issued a proclamation ordering the secularization of the California missions. Although enacted to benefit the Indians, the act was in actuality, little more than a badly disguised land grab. After secularization, Figueroa appointed the young Commandante Mariano Guadalupe Vallejo as the *mayordomo* of Mission Sonoma. In addition to disposing of mission lands, Vallejo was also charged with building a presidio, or military settlement, at Sonoma.⁸ In 1835, with assistance from Captain William A. Richardson, he laid out the Pueblo de Sonoma according to the *Laws of the Indies*, a set of guidelines used to lay out most Spanish settlements in the New World. Vallejo centered the pueblo on an eight-acre plaza southwest of Mission Sonoma. He then laid out a grid of wide streets around the plaza. This street pattern was codified in the O'Farrell-Huspath survey of 1847 and survives today. Each block contained four lots, or *solares*. Each *solar* measured 100 x 100 *varas* (275' x 275') square. Vallejo also constructed a two-story adobe barracks, a three-story lookout tower on the north side of the Plaza, and a sumptuous adobe *palacio* for himself.⁹ From 1835 to 1839, Sonoma grew quite slowly, populated almost exclusively by soldiers who had decided to stay after finishing their duty at the garrison. Vallejo worked hard to encourage Mexican settlers to come to the remote frontier settlement, convinced that the settlement would eventually become the center of Mexican power in Alta California.¹⁰

American Period

Few Americans or other foreigners lived in Sonoma during the period of Mexican rule. This began to change quickly during the early 1840s, as Americans began making their way overland to California. Even heavily Mexican towns like Sonoma underwent a dramatic change in demographics as hundreds of American settlers began ranching and starting businesses in town. Several of the more prominent English-speaking settlers in Sonoma included Jacob P. Leese, John Fitch, James Cooper, John Wilson, and Mark West.¹¹ Vallejo was sympathetic to the American settlers, but the Mexican government wanted the intruders expelled. Their suspicion of American intent to claim this land was well founded: beginning in 1845, Army Topographical Service lieutenant John C. Fremont, who was stationed in Sacramento on a mapmaking mission, began to encourage settlers to rebel against Mexican rule.¹² Under Fremont's self-decreed instructions, a party of men rode from Sutter's Fort to Sonoma, seized the town, arrested

⁴ Alfred L. Kroeber, "Some New Group Boundaries in Central California," *University of California Publications in American Archaeology and Ethnography*, Volume 47, Number 2 (Berkeley, California: 1957).

⁵ Samuel A. Barrett, *The Ethnography of Pomo and Neighboring Indians*, (Berkeley: University of California Press, 1908); and, Isabel Kelly, "Coast Miwok," in *Handbook of the North American Indians*, Robert F. Heizer, editor, (Washington, D.C.: Smithsonian Institution, 1978).

⁶ Robert A. Thompson, *Historical and Descriptive Sketch of Sonoma County, California* (San Francisco: 1877), 9.

⁷ *Ibid.*, 10.

⁸ *Ibid.*, 191.

⁹ Ernest L. Finley, *History of Sonoma County, California: Its People and Its Resources* (Santa Rosa, California: Press Democrat Publishing Company, 1937), 192.

¹⁰ *Ibid.*, 195.

¹¹ Thompson, 12.

¹² "The Bear Flag Revolt", published online by the Sonoma Valley Visitors Bureau, accessed at <http://www.sonomavalley.com/sonoma-bear-flag-republic.html> on August 13, 2014.

Site Development History

Between 1852 and 1856, David Burris, a Missouri farmer who transported freight for the United States Army during the Mexican-American War and prospected during the California Gold Rush, briefly settled in nascent Sonoma prior to returning to Missouri.¹⁷ Burris spent the majority of the following decade ranching and living in various areas between Tulare and Sonoma counties, where he acquired hundreds of acres of land outside of the town of Sonoma. He returned to Sonoma with his family in 1869, and appears to have purchased a roughly 47-acre tract in Sonoma centered on present-day Broadway and MacArthur Streets.¹⁸ Burris used the property as ranching land and pasture for livestock he owned, while also maintaining orchards, gardens, and vineyards within the tract. When Burris died in 1904, his widow, Julia, published an advertisement in the *San Francisco Chronicle* which listed, “100 mares with mule colts; 100 horses. 1 and 2 year olds; 70 head mules,” as available for sale in Sonoma, CA, providing an estimation for the number of animals Burris and his family retained at their Sonoma property.¹⁹ It is unknown whether Burris commissioned the construction of the residential building now known as the Burris House at that time, or if he acquired an existing residence at the time of his purchase. Burris resided in the house that remains extant between 1869 and his death in 1904, while members of his immediate and extended family lived in the home through the 1960s. The Burris House, a two-story Italianate-Victorian villa, appears to have been occupied by Burris and his family by 1870 based upon that year’s U.S. Census. In 1881, Burris commissioned the construction of “the most conveniently built barn in the county,” as described in *The Petaluma Courier*, to O.B. Ackerman, a Sonoma County-based builder-contractor.²⁰ Deed research conducted at the Sonoma County Recorder’s Office reveals that the core of the estate was a roughly 47-acre tract bounded by Broadway (west), 3rd Street East (east), MacArthur Street (historically Germany Street, north), and Denmark Street (south) (**Figure 23**).²¹ Over the course of the 20th century, Burris’ estate conveyed several multi-acre parcels from the main tract, reducing its size gradually. In 1921, a 12-acre portion of the 46-acre tract was conveyed by the Burris Estate to Sonoma Valley Union High School (SVUHS) which was followed by an additional conveyance of a six-acre and a 14-acre parcel to SVUHS in 1950, reducing the size of the tract to approximately 14-to-15 acres. Available Sanborn fire insurance surveys of Sonoma did not record the Burris property prior to 1923. The 1923 Sanborn map recorded the Burris House and a non-extant garage to the east of Nathanson Creek on the Burris Estate, but did not record buildings further south or southeast within the Burris Estate (**Figure 24**).

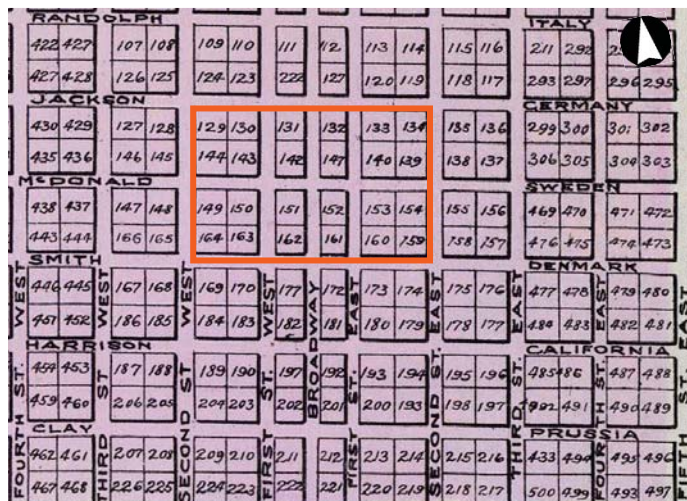


Figure 23: Parcels and portions of streets within the 46-acre Burris Family Estate as of 1921 are grouped by orange rectangle. Parcels recorded on Reynolds and Proctor’s *Illustrated Atlas of Sonoma County California*, published in 1898. Source: David Rumsey Map Collection. Edited by Page & Turnbull.

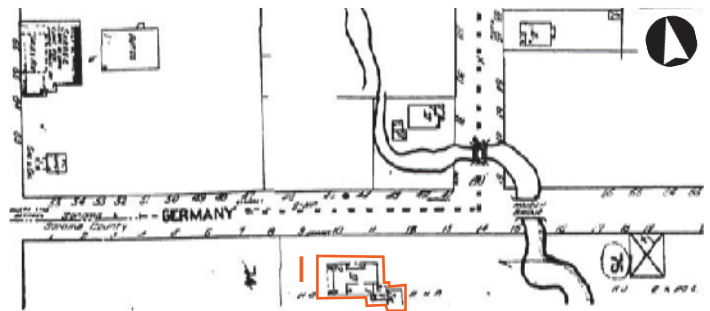


Figure 24: 1923 Sanborn fire insurance survey. Map shows 1) Burris House (outlined in orange). Source: Sonoma Valley Historical Society. Edited by Page & Turnbull.

¹⁷ Ann Burris, Biographical account of David Burris. Provided to Page & Turnbull courtesy MacArthur Place Hotel. See also, J.P. Munro-Fraser, *History of Sonoma County including its Geology, Topography, Mountains, Valleys and Streams*, (San Francisco, CA: Alley, Brown & Co., Publishers, 1880), 670-673.

¹⁸ “Horses and Wagons,” *San Francisco Chronicle*, June 2, 1904, 12.
²⁰ *The Petaluma Courier*, August 17, 1881, 3.

²¹ See Deed Book 397, page 107-108, May 31, 1921, Sonoma County Recorder’s Office, Santa Rosa, CA. This deed records the conveyance of the Burris Estate from Executor, Jesse Burris, to Marian Franklin Burris. The document lists parcels within the Burris Estate.

Page 12 of 21

Resource Name or # (Assigned by recorder) Burris House

*Recorded by Page & Turnbull, Inc.

*Date November 9, 2017 Continuation Update

The setting of the immediate area surrounding the Burris Estate gradually changed throughout the early 20th century as residential and commercial development extended southward along Broadway toward MacArthur Street, and as the SVUHS complex to the immediate south along Broadway Street was built up after 1921. By the late 1940s, the Burris Estate remained a largely open tract of land bounded to the south by SVUHS, to the west by Broadway, to the north by MacArthur, and to the east by 3rd Street East. All buildings within the subject property were concentrated toward the east-west center of the tract, and placed near MacArthur Street and Nathanson Creek, which roughly bisected the property. The western third of the property was bordered by mature trees along MacArthur Street and Broadway, and appears to have been an open lawn or horse pasture area. The Burris House was separated from MacArthur Street by a white picket fence and flanked by mature trees (**Figure 25 and Figure 26**). Historic photos also show that the Burris House had a brick chimney attached to its rear façade at the southwest corner of the building as well as a screened or partially screened stacked porch along its west façade. Windows appeared to be two-over-two wood-sash with molded sills, surrounds, and lintels along the primary façade, while one-over-one windows were located at the south façade adjacent to the rear chimney (**Figure 25 and Figure 28**). A caretaker's cottage has been present at the site since at least the 1940s, but may have been constructed earlier in the twentieth century as the Burris family employed servants according to available U.S. Census data. Along with the Burris House, 1881 barn, caretaker's cottage, pool house (then under construction), and additional outbuildings were shown on aerial photography of site from 1948 (**Figure 27**).²²



Figure 25: Undated early- to mid-20th century photograph of Burris house along MacArthur Street. Courtesy MacArthur Place Hotel.



Figure 26: Undated early- to mid-20th century photograph of Burris house along MacArthur Street. Courtesy MacArthur Place Hotel.

²² According to former resident and owner of the subject property, David Good, the pool house which is currently utilized as a spa facility was constructed ca. 1948 by Burris estate heiress, Leilani Jaeger Welch, and her husband Garry Welch who resided in the Burris House between the late 1940s and late 1960s. No building permits were able to be recovered to confirm the exact year of the pool house's construction.

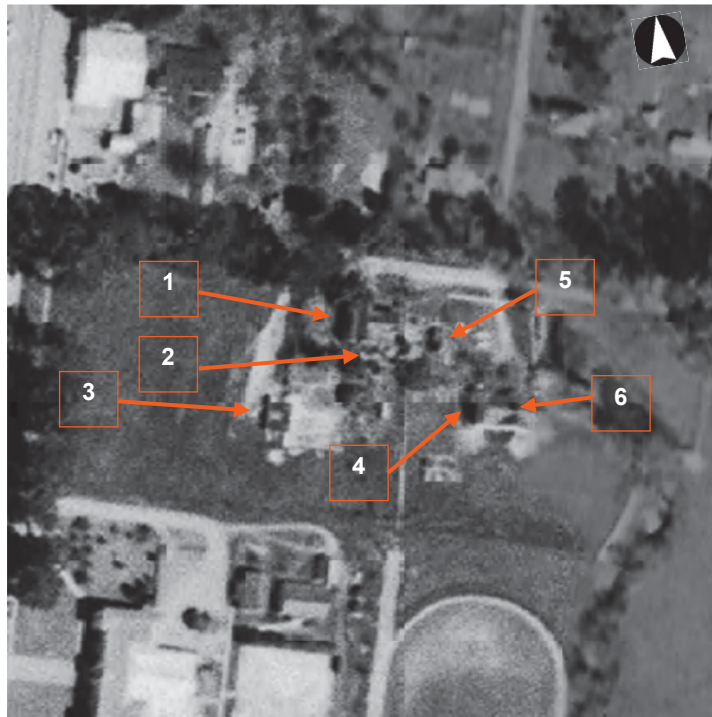


Figure 27: 1948 aerial photograph of subject property. 1) Burris House 2) caretaker's cottage 3) possible pool house under construction 4) Barn 5) Outbuilding 6) Outbuilding.
Source: HistoricAerials.com. Edited by Page & Turnbull.

The southern half of the property was largely undeveloped and by the early 1950s featured a wood fence along its south perimeter. A pool house and pool were placed to the southwest of the Burris House. The area to the south of the Burris House was landscaped with shrubs and other plantings, creating a garden space that embraced the caretaker's cottage on its east side and pool house to its south. The Burris House and attached accessory building retained their exterior appearance from earlier periods and appeared to have asphalt shingle covered roofs by the 1950s (Figure 28 through Figure 31).



Figure 28: Screened-porch of Burris house and adjacent garden pictured in foreground. Photo ca. 1950s. Courtesy MacArthur Place Hotel.



Figure 29: Wood steps leading to first story porch along west facade of Burris House, ca. 1950s. Courtesy MacArthur Place Hotel.



Figure 30: ca. 1950s photograph of owner Garry Welch along MacArthur Street to north of subject property. Burris House and attached outbuilding pictured in background. Gabled roof of small outbuilding pictures left, above fence line. Source: MacArthur Place Hotel.



Figure 31: Burris House pictured at far left to the north of central garden area ca. 1970s. Photograph courtesy David Good.

By the late 1960s during the final stage of a century-long period of Burris family ownership, the subject property retained a similar spatial arrangement of west and south open spaces and its central core of residential and accessory buildings (**Figure 32**). The Burris House was situated to the immediate north of a formal garden with shrubs, stone pathways, and mature trees. The house at the time featured a partially enclosed west porch and brick chimneys along the rear façade. The pool added ca. 1948 appeared on aerial photograph from 1968, while several smaller outbuildings to the north and northwest of the barn remained. In 1974 and 1975, owner Howard Good added a paddle tennis court and a garage, each to the west of the barn. These features remained present through the late 1990s. With the exception of a one-story shed-roofed rear addition, the barn maintained its historic footprint during this period. By 1993, trees were planted along the southern perimeter of the site which separated the subject property from Sonoma Valley Union High School, as well as along the west and north perimeters (**Figure 33**).

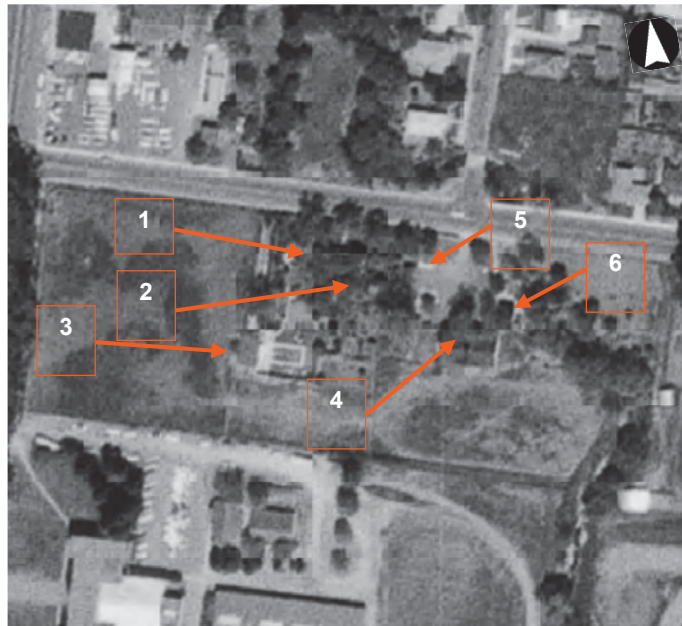


Figure 32: 1968 aerial photograph of subject property. 1) Burris House 2) caretaker's cottage 3) Pool house and pool 4) Barn 5) Outbuilding 6) Outbuilding. Source: HistoricAerials.com.

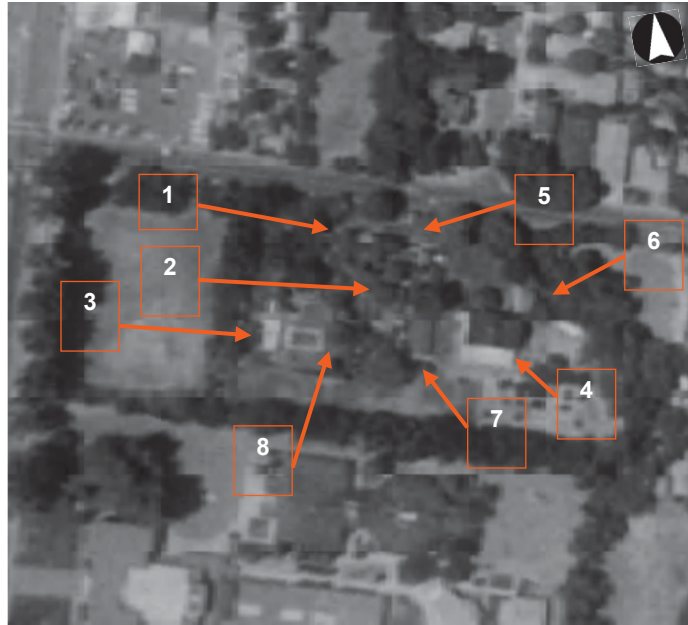


Figure 33: 1993 aerial photograph of subject property. 1) Burris House 2) Caretaker's Cottage 3) Pool house and pool 4) Barn 5) Outbuilding 6) Outbuilding 7) Garage 8) Tennis court. Source: HistoricAerials.com.

Between 1997 and 1999, the site was redeveloped as the MacArthur Place Hotel. Five existing buildings on the site with varying construction dates were retained for adaptive reuse within what is presently the hotel's 20-building complex. Alterations and additions were added to these buildings between 1997 and 2003 according to permits on file at the Sonoma Planning Department. In 1997, the Burris House was renovated while several storage buildings and a compost building, remnants of the property's earlier agricultural/ranch usage were demolished, including a former chicken coop, compost building, and garden shed according to building permit records.²³ The western section of the property, which featured open land used for horse pasture or similar uses, was redesigned as an area with a parking lot and several cottages that surrounded a central green. Over the fall and winter of 1997, grading and foundations were permitted for several buildings, but construction appears to have focused on alterations to existing buildings in 1997, 1998, and 1999 before shifting to new cottage construction in 2000. The Burris House underwent interior and exterior renovation during this period, but retained most exterior architectural features associated with its historic design.

Owner and Occupant History

The following tables summarize the known occupancy of the Burris House at 29 E. MacArthur Street, compiled from U.S. Census Records, city directories, and additional online sources such as obituaries and newspaper articles. Occupants listed as caretakers or relatives of caretakers are presumed to have lived in the caretaker's cottage. Occupants listed as servants, gardeners, or other laborers are not confirmed to have resided in the caretaker's cottage.

Dates of Ownership	Owner
ca. 1869-1904	David Burris
1904-1921	Burris Estate (Executrix, Julia Burris (widow) through 1921)
1921-1971	Burris Estate (Burris' children served as heirs in equal parts). Last owner was Leilani Jaeger Welch, adopted daughter of Frank Burris and wife of Garry Welch.
1971-1987	Howard L. Good
1987-1997	David E. Good, Trustee of Good Family Trust
1997-2002	29 East MacArthur
2002-2017	29 East MacArthur LLC
2017-Present	L'Auberge de Sonoma LLC

²³ See Building Permit 13086, September 22, 1997. On file at Sonoma Planning Department.

State of California — The Resources Agency
 DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary # _____
 HRI # _____
 Trinomial _____

Page 16 of 21 Resource Name or # (Assigned by recorder) Burris House
 *Recorded by Page & Turnbull, Inc. *Date November 9, 2017 Continuation Update

Dates of Occupancy	Occupant(s)	Occupation
1880	David Burris (head) Julia A. Burris (wife) Mary Burris (daughter) Walter Burris (son) Joshua Burris (son) Edward Burris (son) Alice Burris (daughter) Henry Burris (son) Laura B. Burris (daughter) Frank Burris (son)	Banker, Sonoma Valley Bank None None None None None None None None
1910	No U.S. Census listing recovered	-
1920	Julia A. Burris (head) Frank M. Burris (son) Jennie Bush (servant) Charles Hill (hired-man)	None Banker, Sonoma Valley Bank Burris family's servant Farm laborer
1930	Frank M. Burris (head) Lillian F. Burris (wife) Leilani J. Burris (adopted daughter) Jesse Burris (cousin) Agnes I. Vandine (servant) Melba F. Van Dine (boarder) Charles Hill (servant)	Branch Manager, Bank None None None Burris family servant None Farm laborer
1940	Frank M. Burris (head) Lillian F. Burris (wife) Leilani J. Burris (adopted daughter) Wingo Yee (lodger)	Banker None None Servant
ca. 1947-ca. 1970	Garry Welch (head) Leilani Jaegar Welch (nee Burris) (wife) Wah Yee (caretaker) Judy Yee (caretaker) Lei Chin (daughter of caretakers) ²⁴	Rancher None Caretaker Caretaker None
1971-ca. 1990s	Mr. Howard Good (head) Mrs. Howard Good (wife) David Good (son)	Import/Export businessman Homemaker Business

Evaluation (Significance)

California Register of Historical Resources

The California Register of Historical Resources (California Register) is an inventory of significant architectural, archaeological, and historical resources in the State of California. Resources can be listed in the California Register through a number of methods. State Historical Landmarks and National Register-listed properties are automatically listed in the California Register. Properties can also be nominated to the California Register by local governments, private organizations, or citizens. The evaluative criteria used by the California Register for determining eligibility are closely based on those developed by the National Park Service for the National Register of Historic Places.

In order for a property to be eligible for listing in the California Register, it must be found significant under one or more of the following criteria.

- *Criterion 1 (Events):* Resources that are associated with events that have made a significant contribution to the broad patterns of local or regional history, or the cultural heritage of California or the United States.

²⁴ Noted as living on Burris Estate in Lei Chin Poncia's obituary. "Poncia, Lei Chin," Notice in *Sonoma Index-Tribune*, September 29, 2017.

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary # _____
HRI # _____
Trinomial _____

Page 17 of 21

Resource Name or # (Assigned by recorder) Burris House

*Recorded by Page & Turnbull, Inc.

*Date November 9, 2017 Continuation Update

- *Criterion 2 (Persons):* Resources that are associated with the lives of persons important to local, California, or national history.
- *Criterion 3 (Architecture):* Resources that embody the distinctive characteristics of a type, period, region, or method of construction, or represent the work of a master, or possess high artistic values.
- *Criterion 4 (Information Potential):* Resources or sites that have yielded or have the potential to yield information important to the prehistory or history of the local area, California, or the nation.

City of Sonoma Municipal Code

Section 19.42.020 of Chapter 19.42 Historic Preservation and Infill in the Historic Zone addresses Designation of a local historic resource or district. The code provides the following criteria:

- *Criterion A.* It is associated with events that have made a significant contribution to Sonoma's history and cultural heritage; or
- *Criterion B.* It is associated with the lives of persons important in Sonoma's past; or
- *Criterion C.* It embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of an important creative individual, or possesses high artistic values; or
- *Criterion D.* It has yielded, or may be likely to yield, information important in Sonoma's prehistory or history."²⁵

In 2001, the subject property was surveyed as part of a larger historic survey effort for the Nathanson Creek Bicycle Path Project. The Burris House was evaluated for National Register eligibility and determined to be eligible under Criteria B (Persons) and C (Architecture). No other buildings on the property were evaluated for historic significance. The survey noted that the barn located on the property did not have high historic integrity as of 2001.

Evaluation of Integrity: Burris House

This section examines the historic integrity of the Burris House in order to determine if the building remains an individually-eligible resource for the National Register since it was first evaluated in 2001. As the additional four age-eligible buildings within the subject property do not appear eligible for historic designation under any criterion for significance, evaluation of their historic integrity is not necessary.

In order to qualify for listing in any local, state, or national historic register, a property or landscape must possess significance under at least one evaluative criterion as described above and retain integrity. Integrity is defined by the California Office of Historic Preservation as "the authenticity of an historical resource's physical identity by the survival of certain characteristics that existing during the resource's period of significance," or more simply defined as "the ability of a property to convey its significance."²⁶

To evaluate whether the Burris House retains sufficient integrity to convey its historic significance, Page & Turnbull used established integrity standards outlined by the *National Register Bulletin: How to Apply the National Register Criteria for Evaluation*. Seven variables, or aspects, that define integrity are used to evaluate a resource's integrity—location, setting, design, materials, workmanship, feeling, and association. A property must stand up under most or all of these aspects in order to retain overall integrity. If a property does not retain integrity, it can no longer convey its significance and is therefore not eligible for listing in local, state, or national registers.

The seven aspects that define integrity are defined as follows:

Location is the place where the historic property was constructed.

Setting addresses the physical environment of the historic property inclusive of the landscape and spatial relationships of the building(s).

Design is the combination of elements that create the form, plans, space, structure, and style of the property.

²⁵ The Sonoma Municipal Code, Section 19.42.020, Current through Ordinance 03-2017, May 15, 2017. Accessed online. November 13, 2017. <https://www.codepublishing.com/CA/Sonoma/html/Sonoma19/Sonoma1942.html>

²⁶ California Office of Historic Preservation, *Technical Assistance Series No. 7: How to Nominate a Resource to the California Register of Historical Resources* (Sacramento: California Office of State Publishing, 4 September 2001) 11.

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary # _____
HRI # _____
Trinomial _____

Page 18 of 21

Resource Name or # (Assigned by recorder) Burris House

*Recorded by Page & Turnbull, Inc.

*Date November 9, 2017 Continuation Update

Materials refer to the physical elements that were combined or deposited during a particular period of time and in a particular pattern of configuration to form the historic property.

Workmanship is the physical evidence of the crafts of a particular culture or people during any given period in history.

Feeling is the property's expression of the aesthetic or historic sense of a particular period of time.

Association is the direct link between an important historic event or person and a historic property.

Location

The Burris House retains integrity of location. The Burris house has remained in its original location along MacArthur Street (historically Germany Street) since its construction ca. 1869.

Setting

The Burris House does not retain integrity of setting. It appears to have originally been the main building within a larger, approximately 47-acre, farm complex located at the south side of MacArthur Street (historically Germany Street) at Broadway. The subject property retained its agricultural or ranch character throughout the majority of the 20th century, but experienced a number of alterations to its landscape and buildings within the property between 1999 and 2003. Several presently age-eligible buildings were altered during that time, while 15 additional buildings were constructed, altering the overall setting and feeling of the site to a large degree. Due to extensive change to the site, the historic setting of the Burris House has been significantly impaired and is thus not retained.

Design

The Burris House retains integrity of design. The building was renovated in 1997-1998 to accommodate additional living quarters for hotel guests. Although interior alterations resulted in the redesign of the home's floor plan, and the function changed from a single-family residence to a multi-unit hotel building, the overall design of the Burris House has been retained including massing, form, and exterior materiality. The building's primary façade retains its symmetrical fenestration and composition featuring a central volume intersected by gabled end volumes. Excepting the removal of a brick chimney at the southwest corner of the building, replacement of steps along the west façade, and installation of vents within gable ends, the overall form of the Burris House in terms of plan and massing appears to maintain their historic characteristics.

As evidenced by the retention of historic materials associated historic workmanship and the building's original design, the Burris House continues to represent a ca. 1860s Italianate/Greek Revival style residence. Such features as wood-sash windows; molded window surrounds, sills, lintels, and decorative quoins; its stacked porch along the west façade; balustrade over recessed porch at the primary façade; wood channel siding utilized as the building's primary cladding material, and additional wood trim elements enable integrity of design to be retained.

Materials

The Burris House retains material integrity. Features such as wood-sash windows with original muntin configuration; molded window surrounds, sills, lintels, and decorative quoins have been retained Wood channel siding remains in use as the primary exterior cladding material on all façades. Doors visible from the exterior appear to be wood in all locations, while additional wood elements including balustrades and railings, and wood trim at gable ends, cornices, and eaves.

Workmanship

The Burris House retains integrity of workmanship. Built ca. 1869 the Burris House retains materials indicative of wood-frame construction, and the Italianate architectural style which date to the building's era of original construction. Materials that evidence such workmanship include wood channel siding, wood-sash windows with molded surrounds, sills, and lintels; and decorative wood quoins designed to mimic stone quoins. The house also retains its wood balustrade at the second story of the primary façade.

Feeling

The Burris House retains integrity of feeling to its time of construction. Originally a single-family residence situated within a large ranch property, the surrounding setting of the building has been changed extensively since 1998. The Burris House however, maintains its overall form associated with David Burris and his family's residence during the mid- to late-19th century. The building's relationship to the formerly agricultural landscape has been altered to a high degree, however, the building's materiality, massing, and design still associate to period in which Burris and his immediate family resided in the residential building.

Association

The Burris House retains integrity of association. Despite alteration to the surrounding setting and impaired integrity of feeling, the Burris House retains integrity of association to its original architectural design through its retention of original, or historically compatible replacement materials at its exterior. The building remains attached to a rear accessory building, maintaining the

Page 19 of 21

Resource Name or # (Assigned by recorder) Burris House

*Recorded by Page & Turnbull, Inc.

*Date November 9, 2017 Continuation Update

relationship between those buildings which was established by 1923. Since the building retains its historic form to a high degree, integrity of association of the ca. 1869 Italianate/Greek Revival residence is maintained.

Overall, the Burris House retains historic integrity.

Character-Defining Features of the Burris House

For a property to be eligible for national or state designation under criteria related to type, period, or method of construction, the essential physical features (or character-defining features) that enable the property to convey its historic identity must be evident. These distinctive character-defining features are the physical traits that commonly recur in property types and/or architectural styles. To be eligible, a property must clearly contain enough of those characteristics to be considered a true representative of a particular type, period, or method of construction, and these features must also retain a sufficient degree of integrity. Characteristics can be expressed in terms such as form, proportion, structure, plan, style, or materials.

Location

- Building is situated in its original location with primary frontage to MacArthur Street and proximity to south face of MacArthur Street since ca. 1869

Massing

- Two-story, H-shaped plan of main residential volume
- Central east-west gabled volume (three central bays)
- East and west gabled end volumes, outermost four bays perpendicular to east-west volume

Italianate/Greek Revival Style Design

- Gabled roof over main residential volume
- Hipped roof with central, flat platform over accessory building
- Stacked, two-story west porch with wood balustrades at each level
- Wood quoins at the corners of the Burris' house' main volume
- Molded wood window surrounds, sills, and lintels

Materials

- Primary cladding material is wood channel siding
- Additional wood trim utilized along cornice line, soffits, and eaves

Fenestration

- Generally symmetrical primary façade fenestration
- Two-over-two, double-hung wood-sash windows with molded surrounds, sills, and lintels
- One-over-one, double-hung wood-sash windows with wood surrounds and less ornate sills and lintels

Subject Property as a Potential Historic District

The MacArthur Place Hotel complex at 29 E. MacArthur Street contains five age-eligible buildings within its 20-building complex. Although four of these buildings bear varying degrees of association to the Burris Estate, which existed between ca. 1869 and 1971 at the same property, the buildings are not well associated with each other chronologically and were built by several different owners, with construction dates that span ca. 1869 to 1948. Additionally, alterations to four of the five buildings have heavily impaired their historic integrity. These aspects concerning the age-eligible buildings combined with redevelopment of the site between 1997 and 2003 do not support the site's continued association with the property owned and resided at by David Burris and his heirs. Therefore, a potential historic district does not appear to be present at 29 E. MacArthur Street.

Conclusion

29 E. MacArthur Street was historically the location of a 47-acre ranch and farm owned by pioneer and prominent Sonoma businessman David Burris. Burris' ranch contained a main house (Burris House), barn (extant with alterations), and several outbuildings such as chicken coops and garden sheds. Burris housed horses and other livestock on his ranch, and maintained gardens, orchards, and vineyards. Between 1869 and 1971, Burris and his heirs retained ownership of the property, gradually conveying parcels of land from the estate which reduced the size of the property over ensuing decades. In 1997, the property was acquired by developer Suzanne Brangham and redeveloped between 1998 and 2003 as the MacArthur Place Hotel.

In 2001, the property was surveyed as part of a larger historic survey effort for the Nathanson Creek Bicycle Path Project. The Burris House was evaluated for National Register eligibility and determined to be eligible under Criteria B (Persons) and C (Architecture). No other buildings on the property were evaluated for historic significance. The survey noted that the barn located on the property did not have high historic integrity as of 2001.

Page & Turnbull documented existing site conditions and undertook additional historic research to determine the eligibility of all age-eligible buildings on the subject property for listing in the California Register of Historical Resources and as City of Sonoma

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary # _____
HRI # _____
Trinomial _____

Page 20 of 21

Resource Name or # (Assigned by recorder) Burris House

*Recorded by Page & Turnbull, Inc.

*Date November 9, 2017 Continuation Update

local historic resources. The Burris House retains sufficient historic integrity to remain eligible under Criteria B and C for the National Register; since the National Register uses the same criteria as the California Register and the City of Sonoma local register, it is also eligible for those registers. Therefore, the Burris House qualifies as a historic resource for the purposes of CEQA review.

***B12. References:**

Published Works

Barrett, Samuel A. *The Ethnography of Pomo and Neighboring Indians*. Berkeley: University of California Press, 1908.

Cerny, Susan Dinkelspiel. *An Architectural Guidebook to San Francisco and the Bay Area*. Layton, UT, Gibbs-Smith: 2007.

California Office of Historic Preservation. *Technical Assistance Series No. 7: How to Nominate a Resource to the California Register of Historical Resources*. Sacramento: California Office of State Publishing, 4 September 2001.

Cook, Sherburne F. "The Conflict Between the California Indian and White Civilization, I: The Indian Versus the Spanish Mission." *Ibero-Americana*, Volume 21. Berkeley, California: 1943.

City of Sonoma. *2020 General Plan Update: Final Environmental Impact Report*. Sonoma, CA: City of Sonoma Planning and Community Services Division, September 2006.

Kelly, Isabel. "Coast Miwok." in *Handbook of the North American Indians*. Robert F. Heizer, editor, Washington, D.C.: Smithsonian Institution, 1978.

Thompson, Robert A. *Historical and Descriptive Sketch of Sonoma County, California*. San Francisco: 1877

Granice, C. Celeste. *Illustrated Atlas of Sonoma County, California. Compiled and Published from Personal Examinations, Official Records and Actual Surveys*, (Santa Rosa, CA: Reynolds & Proctor, 1898).

Munro-Fraser, J.P. *History of Sonoma County including its Geology, Topography, Mountains, Valleys and Streams*, (San Francisco, CA: Alley, Brown & Co., Publishers, 1880).

Public Records

Deed Books, Sonoma County Recorder's Office, Santa Rosa, CA.

Assessor's Parcel Map. Sonoma County, California.

Newspapers and Periodicals

"Death Claims C. Ackerman." *Petaluma Argus-Courier*. September 11, 1933, 7.

"Local Notes." *Petaluma Argus-Courier*. July 2, 1902, 4.

"Lodge and Church Assist in Rites." *The Press Democrat* (Santa Rosa, CA). January 9, 1904, 5.

"Long and Useful Life Has Ended." *The Press Democrat* (Santa Rosa, CA). January 6, 1904, 5.

"Motored Here From Eureka." *Petaluma Argus-Courier*. October 24, 1913, 1.

"Poncia, Lei Chin." Notice in *Sonoma Index-Tribune*. September 29, 2017.

"Were Wedded at Eureka." *Petaluma Argus-Courier*. January 3, 1906, 1.

Notice mentioning David Burris' barn constructed by O.B. Ackerman. *The Petaluma Courier*, August 17, 1881, 3.

Internet Sources

Thompson, Thomas H. *Map of Sonoma County California*. Oakland, CA: Thomas H. Thompson & Co., 1887.

David Rumsey Map Collection.

The Sonoma Municipal Code, Section 19.42.020, Current through Ordinance 03-2017, May 15, 2017. Accessed online. November 13, 2017. <https://www.codepublishing.com/CA/Sonoma/html/Sonoma19/Sonoma1942.html>

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary # _____
HRI # _____
Trinomial _____

Page 21 of 21 Resource Name or # (Assigned by recorder) Burris House
*Recorded by Page & Turnbull, Inc. *Date November 9, 2017 Continuation Update

County of Sonoma. "Designation of Historic Landmarks and Districts." Accessed online, October 10, 2017.
<http://sonomacounty.ca.gov/PRMD/Planning/Historic-Resources/Criteria-for-Designation-of-Historic-Landmarks/>.

"History of Sonoma." City of Sonoma Website. Accessed October 2, 2017. <http://www.sonomacity.org/Community/About-Sonoma/History-Of-Sonoma.aspx>.

Other Sources

California Office of Historic Preservation. Directory of Properties in the Historic Property Data File for Sonoma County, updated March 15, 2011. California Historic Resource Information System, Northwest Information Center, Rohnert Park, CA.

State of California Department of Parks and Recreation, Primary Record 49-004759, prepared May 31, 1978. Provided to Page & Turnbull by Northwest Information Center, Sonoma State University, Rohnert Park, CA November 6, 2017.

State of California Department of Parks and Recreation, Primary Record 49-004759, HRI 5476-0234-0000, February 6, 2001. Provided to Page & Turnbull by Northwest Information Center, Sonoma State University, Rohnert Park, CA November 6, 2017.

JRN Civil Engineers. ALTA/NSPS Land Title Survey. March 21, 2016.

David Burris-Biographical Timeline, account provided by Ann Burris. Source provided to Page & Turnbull courtesy MacArthur Place Hotel.

California Office of Historic Preservation, *Technical Assistance Series No. 7: How to Nominate a Resource to the California Register of Historical Resources* (Sacramento: California Office of State Publishing, September 4, 2001).

State of California — The Resources Agency
 DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # _____
 HRI # _____
 Trinomial _____
 NRHP Status Code 6Z

Other Listings _____
 Review Code _____ Reviewer _____ Date _____

Page 1 of 16 Resource name(s) or number (assigned by recorder) Former Barn at 29 E. MacArthur Street

P1. Other Identifier:

*P2. Location: Not for Publication Unrestricted

*a. County Sonoma

*b. USGS 7.5' Quad for Sonoma, CA

Date 2015

*c. Address 29 E. MacArthur Street

City Sonoma

Zip 94576

*e. Other Locational Data: 1280-9100-500 (29 E. MacArthur Street) and 1280-8100-200 (20000 Broadway)

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

The former barn building is one of 20 buildings located within MacArthur Place Hotel and Spa complex at 29 E. MacArthur Street in Sonoma, California. The roughly five-acre property is situated on two parcels addressed 29 E. MacArthur Street (APN 1280-9100-500) and 20000 Broadway Street (APN 1280-8100-200) (**Figure 1**). For purposes of this survey evaluation, the entire property will be referred to as 29 E. MacArthur Street. Across both parcels, the property contains a total of 20 buildings as well as a non-historic designed landscape. Of the existing buildings on the site, five buildings appear to be age-eligible (at least 50 years of age) for potential historic significance. According to a historic article published in the *Petaluma Courier*, the barn to the southwest of the Burris House appears to date from 1881, with design attributed to architect-builder O.B. Ackerman.¹ The barn is not particularly representative of a specific architectural style, and was most likely utilized for housing livestock, agricultural products such as hay, and for other storage purposes related to the day-to-day operations of Burris' ranch. The barn can be categorized as a vernacular agricultural building with late 20th century additions.²

(See Continuation Sheets)

*P3b. Resource Attributes: (list attributes and codes) HP5. Hotel/Motel

*P4. Resources Present: Building Structure Object Site District Element of District Other



P5b. Photo: (view and date)

Barn at 29 E. MacArthur Street viewed from north.
 October 20, 2017.

*P6. Date Constructed/Age and Sources:

Historic Prehistoric Both
 1881. Historical newspaper article. See references/footnotes

*P7. Owner and Address:

L'Auberge de Sonoma, LLC
 7001 N. Scottsdale Road, Suite 2050
 Scottsdale, AZ 85253

*P8. Recorded by:

Page & Turnbull, Inc.
 417 Montgomery Street, 8th Floor
 San Francisco, CA 94104

*P9. Date Recorded:

October 20 and October 27, 2017

*P10. Survey Type: Intensive

*P11. Report Citation: Page & Turnbull, Historic Resource Evaluation, Draft: 29 E. MacArthur Street, Sonoma, CA, 2017.

*Attachments: None Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record
 Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record
 Artifact Record Photograph Record Other (list)

¹ Notice mentioning David Burris' barn constructed by O.B. Ackerman. *The Petaluma Courier*, August 17, 1881, 3.

² According to the National Park Service's Preservation Brief 20: The Preservation of Historic Barns, the subject barn (as appears in historic photographs herein) does not appear highly representative of a particular barn typology, but could be categorized as a barn that "attest[s] to the owner's tastes, wealth, or unorthodox ideas about agriculture." See, Michael J. Auer, *Preservation Briefs 20: The Preservation of Historic Barns*, (Washington, D.C.: U.S. Department of the Interior, National Park Service, October 1989),

*Recorded by Page & Turnbull, Inc.

*Date October 27, 2017 Continuation Update

P3a. Description (Continued)

The barn was originally built with a rectangular plan with a cross-gabled roof featuring a cupola at the center. The barn does not appear to have been fenestrated prior to its renovation and conversion to restaurant and conference center use in 1998. As a result of that renovation, and further expansion in 2003, the barn features two additions that extend southward (**Figure 1 and Figure 2**). The exterior of the original portion of the barn is clad with wood channel siding and features simple wood molding along cornice, soffit, and eave line. Simple wood corner boards clad the northwest and northeast corners of the building. The main entrance along the north façade features a replacement steel door with plate glass that is surrounded by plate glass side-lites and a plate glass transom above. To the east and west of the central, main entrance, paired wood casement windows with a central stile are set into wood frames and wood shutters along the first story of the primary façade (**Figure 3**).



Figure 1: 3-D aerial imagery of former barn building. Original massing of building indicated with orange line. Source: Google Earth Pro, 2016.



Figure 2: Additional 3-D aerial imagery of former barn building. Approximate footprint of original building indicated with orange line. Source: Google Earth Pro, 2016.

Similar windows are located in the east and west gable ends of the barn at the second story (**Figure 4 through Figure 6**). Non-historic portions of the barn along the east and west façades are clad with similar materials (**Figure 7**). The south façade of the southernmost addition uses contemporary Masonite or similar siding (**Figure 8**). Replacement wood windows, many with exterior storm screens, fenestrate non-historic portions of the barn.



Figure 3: South gable end and south façade of converted barn. Looking south from west parking lot.

*Recorded by Page & Turnbull, Inc.

*Date October 27, 2017 Continuation Update



Figure 4: Northernmost portions of converted barn's east facade. Looking west from west parking lot.



Figure 5: Southernmost portions of converted barn viewed from west parking lot. Looking southwest.



Figure 6: West façade of original portion of barn, with 1998 flat-roof addition to right (south). Looking north.



Figure 7: View from south end of west parking lot of barn (far-right) and additions added in 1998 and 2003. Looking northwest.



Figure 8: View of Masonite siding along south facade of barn. Typical cladding material found on non-original portions of barn. Looking west.



Figure 9: Typical sliding, aluminum casement window located at several locations around barn.

BUILDING, STRUCTURE, AND OBJECT RECORD

Page 4 of 16

*NRHP Status Code 6Z

*Resource Name or # Former Barn at 29 E. MacArthur Street

B1. Historic name: Burris Barn

B2. Common name: Barn at 29 E. MacArthur Street

B3. Original Use: Barn B4. Present use: Hotel Restaurant and Conference Center

*B5. Architectural Style: Italianate w/Greek Revival influence

*B6. Construction History: (Construction date, alterations, and date of alterations)

The former barn at the 29. E MacArthur Street was constructed in 1881 by O.B. Ackerman, a Sonoma County-based architect-builder, for original owner David Burris. Minor additions such as a rear (south), one-story shed-roofed addition were constructed at an unknown date, but appeared in historic photographs from the 1970s. In 1998 and 2003, the barn underwent major alterations relating to its change of use from an agricultural storage building to that of a hotel restaurant and conference center.

*B7. Moved? No Yes Unknown Date: N/A Original Location: N/A

*B8. Related Features: The Burris House (ca. 1869), former caretaker's cottage (ca. 1920s/1930s), former pool house (1948), former garage building (1975). The barn, caretaker's cottage, and pool house were constructed by/for David Burris or his heirs. The garage building was constructed by owner, Howard Good in 1975 following purchase of the property from the Burris' heirs in 1971. The Burris House is located within MacArthur Place Hotel and Spa complex which contains 20 buildings, 15 of which were constructed between 1998 and 2000 and are not age-eligible.

B9a. Architect: O.B. Ackerman B9b. Builder: O.B. Ackerman

*B10. Significance: Theme significance _____ Area _____

Period of Significance N/A Property Type Hotel Applicable Criteria Not Eligible

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity)

(See Continuation Sheets)

B11. Additional Resource Attributes: (List attributes and codes)

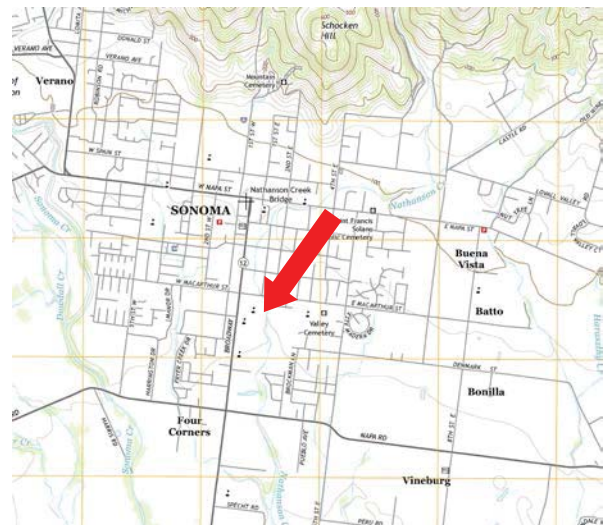
*B12. References: See footnotes and bibliography

B13. Remarks: None.

*B14. Evaluator: Page & Turnbull, Inc.

*Date of Evaluation: October 27, 2017

(This space reserved for official comments.)



USGS 7.5' Quad for Sonoma, CA, 2015

B10. Significance (continued):

Prehistory

Sonoma Valley was once occupied by Coast Miwok and Patwin peoples, and most authorities consider the Coast Miwok to have been the dominant tribe.³ The Coast Miwok territory was centered in Marin and Sonoma counties and encompassed an area spanning approximately 1,400 square miles. The modern City of Sonoma falls within the northeastern portion of Coast Miwok territory, which was centered in Marin and Sonoma counties, and the area surrounding Sonoma's central plaza is near the location of the ancient Coast Miwok village of Huchi.⁴

Hispanic Period

In the mid-eighteenth century, Spanish explorers and missionaries arrived in Sonoma Valley. During the latter half of the eighteenth century and the early nineteenth century, Spain reinforced its claim to Alta California by encouraging the establishment of a chain of Franciscan missions along the coast and inland valleys from San Diego north to the Golden Gate. The Spanish Viceroy ultimately decided to build missions in the region north of the Golden Gate, provoked by the establishment of a Russian fur trading and farming settlement at Fort Ross, in present-day Sonoma County in 1812.⁵ In 1823, Father Jose Altimira devised a plan to found a new mission north of the Golden Gate. Altimira and his men sailed across San Pablo Bay and rowed up the Sonoma River to the site of the present-day City of Sonoma. Impressed with the fecund soil of the well-watered and oak-studded plain, Altimira selected this location for California's last mission—and the only one established during Mexican rule, which had begun in 1821. On 4 July 1823, Father Altimira officially founded Mission San Francisco Solano de Sonoma, naming it after St. Francis Solano, a missionary to the Peruvian Indians. Within a few years, approximately 1,300 Indians lived at the *rancheria* adjacent to the mission. In 1826, a bloody neophyte revolt broke out, which resulted in the complete destruction of the first mission complex and Father Altimira's departure from Sonoma.⁶

Although Mission San Francisco Solano de Sonoma was rebuilt in 1827, it did not survive for much longer. In 1834, Governor José Figueroa issued a proclamation ordering the secularization of the California missions. Although enacted to benefit the Indians, the act was in actuality, little more than a badly disguised land grab. After secularization, Figueroa appointed the young Commandante Mariano Guadalupe Vallejo as the *mayordomo* of Mission Sonoma. In addition to disposing of mission lands, Vallejo was also charged with building a presidio, or military settlement, at Sonoma.⁷ In 1835, with assistance from Captain William A. Richardson, he laid out the Pueblo de Sonoma according to the *Laws of the Indies*, a set of guidelines used to lay out most Spanish settlements in the New World. Vallejo centered the pueblo on an eight-acre plaza southwest of Mission Sonoma. He then laid out a grid of wide streets around the plaza. This street pattern was codified in the O'Farrell-Huspeh survey of 1847 and survives today. Each block contained four lots, or *solares*. Each *solar* measured 100 x 100 *varas* (275' x 275') square. Vallejo also constructed a two-story adobe barracks, a three-story lookout tower on the north side of the Plaza, and a sumptuous adobe *palacio* for himself.⁸ From 1835 to 1839, Sonoma grew quite slowly, populated almost exclusively by soldiers who had decided to stay after finishing their duty at the garrison. Vallejo worked hard to encourage Mexican settlers to come to the remote frontier settlement, convinced that the settlement would eventually become the center of Mexican power in Alta California.⁹

American Period

Few Americans or other foreigners lived in Sonoma during the period of Mexican rule. This began to change quickly during the early 1840s, as Americans began making their way overland to California. Even heavily Mexican towns like Sonoma underwent a dramatic change in demographics as hundreds of American settlers began ranching and starting businesses in town. Several of the more prominent English-speaking settlers in Sonoma included Jacob P. Leese, John Fitch, James Cooper, John Wilson, and Mark West.¹⁰ Vallejo was sympathetic to the American settlers, but the Mexican government wanted the intruders expelled. Their suspicion of American intent to claim this land was well founded: beginning in 1845, Army Topographical Service lieutenant John C. Fremont, who was stationed in Sacramento on a mapmaking mission, began to encourage settlers to rebel against Mexican rule.¹¹ Under Fremont's self-decreed instructions, a party of men rode from Sutter's Fort to Sonoma, seized the town, arrested Vallejo, and on June 14, 1846 declared a California Republic. This revolt ushered in the short-lived independent Bear Flag

³ Alfred L. Kroeber, "Some New Group Boundaries in Central California," *University of California Publications in American Archaeology and Ethnography*, Volume 47, Number 2 (Berkeley, California: 1957).

⁴ Samuel A. Barrett, *The Ethnography of Pomo and Neighboring Indians*, (Berkeley: University of California Press, 1908); and, Isabel Kelly, "Coast Miwok," in *Handbook of the North American Indians*, Robert F. Heizer, editor, (Washington, D.C.: Smithsonian Institution, 1978).

⁵ Robert A. Thompson, *Historical and Descriptive Sketch of Sonoma County, California* (San Francisco: 1877), 9.

⁶ *Ibid.*, 10.

⁷ *Ibid.*, 191.

⁸ Ernest L. Finley, *History of Sonoma County, California: Its People and Its Resources* (Santa Rosa, California: Press Democrat Publishing Company, 1937), 192.

⁹ *Ibid.*, 195.

¹⁰ Thompson, 12.

¹¹ "The Bear Flag Revolt", published online by the Sonoma Valley Visitors Bureau, accessed at <http://www.sonomavalley.com/sonoma-bear-flag-republic.html> on August 13, 2014.

Republic and paved the way for California's accession to the United States less than a month later. Vallejo was released soon afterwards. The following week, Californians learned that the United States had declared war on Mexico. Two years later, when the Spanish-American War ended in the treaty of Guadalupe Hidalgo, California and the rest of the Southwest were ceded by Mexico to the United States.

Following Statehood in 1850, Sonoma saw gradually development around its plaza. General Vallejo maintained holdings north of the plaza, was elected a state senator, and lobbied to maintain Sonoma as the county seat; however, Santa Rosa won the honor in 1854. With U.S. rule came the appropriation of many land holdings, and Vallejo lost most of his land which once amount to seven million acres. In 1875, David Burris founded the Sonoma Valley Bank, an institution he presided over until his death in 1904 (Figure 10). Burris, who owned a large 40-plus-acre tract five-blocks south of the Plaza, and additional land outside of Sonoma County, joined several farmers on the outskirts of the former mission town, while the bulk of commercial development concentrated in the two blocks surrounding the plaza. The town appeared to be extended beyond its early mission core by the 1870s as indicated on Thomas H. Thompson's Map of Sonoma County, California, published in 1877.

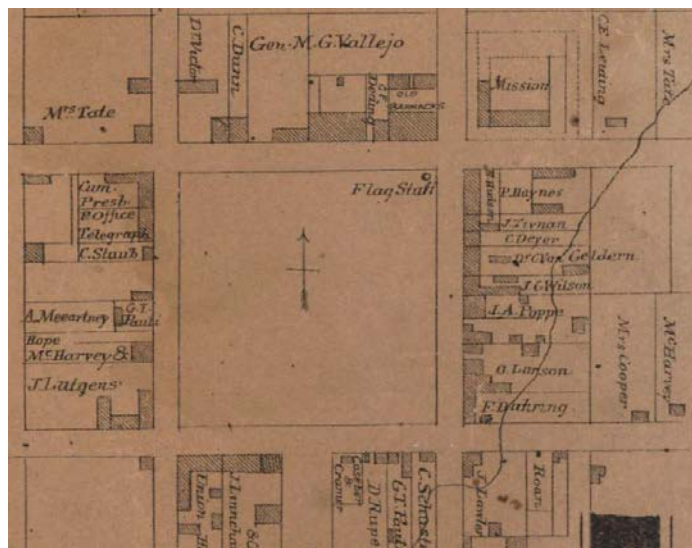


Figure 10: The nascent downtown district of "Sonoma City" ca. 1866 as depicted on A.B. Bowers', *Map of Sonoma County, California, 1866*.

The City of Sonoma was incorporated in 1883.¹² Regarding Sonoma's development in the late 19th century, architectural historian Susan Dinkelspiel Cerny wrote, "Shortly after statehood, dairies, fruit farming, wine, and basalt quarrying became important local industries. Resorts sprang up at the sites of natural hot springs north of town. After the train arrived in 1879, Fetters Hot Springs, Boyes Hot Springs, and Aqua Caliente catered to tourists on a large scale."¹³ By the turn of the 20th century, the City of Sonoma continued to evolve from its early pueblo form and saw its plaza and immediate surrounding blocks emerge as a center for local commerce that brought local agricultural products and merchants together. As noted in Reynolds & Proctor's *Illustrated Atlas of Sonoma County*, published in 1898, "Surrounding the plaza or square—which has been planted with ornamental shrubs and shade trees—is the business portion of the city. Many of the business blocks are imposing brick or stone structures, while others are adobes—built by the earlier residents. Of mercantile establishments the town has a full quota."¹⁴ The region attracted many visitors to resorts that touted the benefits of natural hot springs. California's wine industry, which was first established in the nineteenth century at Mission Sonoma, surged during the twentieth century, and the City of Sonoma has become well-known for its wine and picturesque setting.¹⁵ The City continues to be a popular destination for tourists from the Bay Area and around the world.

¹² "History," published online by the City of Sonoma, accessed at <http://www.sonomacity.org/default.aspx?PagelId=3> on August 13, 2014.

¹³ Susan Dinkelspiel Cerny, *An Architectural Guidebook to San Francisco and the Bay Area*, (Salt Lake City, UT: Gibbs Smith, 2007), 441.

¹⁴ C. Celeste Granice, *Illustrated Atlas of Sonoma County, California. Compiled and Published from Personal Examinations, Official Records and Actual Surveys*, (Santa Rosa, CA: Reynolds & Proctor, 1898), 46.

¹⁵ "Recent History," published online by the Sonoma Valley Visitors Bureau, accessed at <http://www.sonomavalley.com/index.php/Table/Recent-history/> on August 13, 2014.

Site Development History

Between 1852 and 1856, David Burris, a Missouri farmer who transported freight for the United States Army during the Mexican-American War and prospected during the California Gold Rush, briefly settled in nascent Sonoma prior to returning to Missouri.¹⁶ Burris spent the majority of the following decade ranching and living in various areas between Tulare and Sonoma counties, where he acquired hundreds of acres of land outside of the town of Sonoma. He returned to Sonoma with his family in 1869, and appears to have purchased a roughly 47-acre tract in Sonoma centered on present-day Broadway and MacArthur Streets.¹⁷ Burris used the property as ranching land and pasture for livestock he owned, while also maintaining orchards, gardens, and vineyards within the tract. When Burris died in 1904, his widow, Julia, published an advertisement in the *San Francisco Chronicle* which listed, "100 mares with mule colts; 100 horses. 1 and 2 year olds; 70 head mules," as available for sale in Sonoma, CA, providing an estimation for the number of animals Burris and his family retained at their Sonoma property.¹⁸ Burris resided in the house that remains extant between 1869 and his death in 1904, while members of his immediate and extended family lived in the home through the 1960s. The Burris House, a two-story Italianate-Victorian villa, appears to have been occupied by Burris and his family by 1870 based upon that year's U.S. Census. In 1881, Burris commissioned the construction of "the most conveniently built barn in the county," as described in *The Petaluma Courier*, to O.B. Ackerman, a Sonoma County-based builder-contractor.¹⁹ Deed research conducted at the Sonoma County Recorder's Office reveals that the core of the estate was a roughly 47-acre tract bounded by Broadway (west), 3rd Street East (east), MacArthur Street (historically Germany Street, north), and Denmark Street (south) (**Figure 12**).²⁰ Over the course of the 20th century, Burris' estate conveyed several multi-acre parcels from the main tract, reducing its size gradually. In 1921, a 12-acre portion of the 46-acre tract was conveyed by the Burris Estate to Sonoma Valley Union High School (SVUHS) which was followed by an additional conveyance of a six-acre and a 14-acre parcel to SVUHS in 1950, reducing the size of the tract to approximately 14-to-15 acres. Available Sanborn fire insurance surveys of Sonoma did not record the Burris property prior to 1923. The 1923 Sanborn map recorded the Burris House and a non-extant garage to the east of Nathanson Creek on the Burris Estate, but did not record buildings further south or southeast within the Burris Estate.

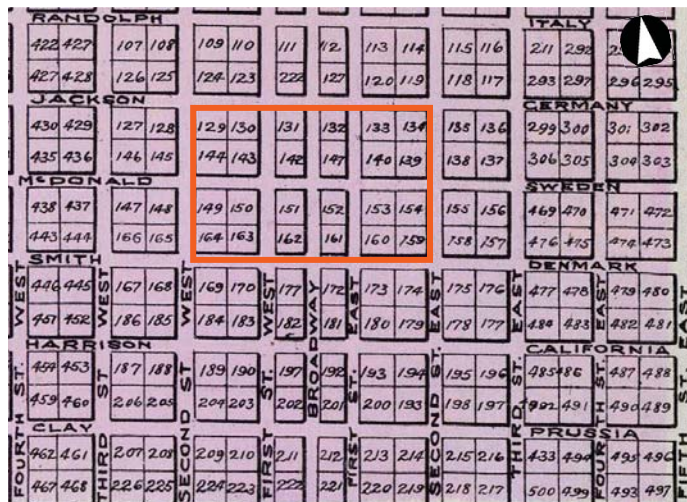


Figure 11: Parcels and portions of streets within the 46-acre Burris Family Estate as of 1921 are grouped by orange rectangle. Parcels recorded on Reynolds and Proctor's *Illustrated Atlas of Sonoma County California*, published in 1898. Source: David Rumsey Map Collection. Edited by Page & Turnbull.

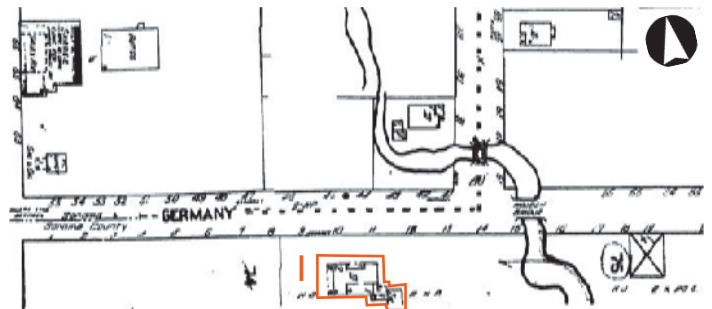


Figure 12: 1923 Sanborn fire insurance survey. Map shows 1) Burris House (outlined in orange). Source: Sonoma Valley Historical Society. Edited by Page & Turnbull.

¹⁶ Ann Burris, Biographical account of David Burris. Provided to Page & Turnbull courtesy MacArthur Place Hotel. See also, J.P. Munro-Fraser, *History of Sonoma County including its Geology, Topography, Mountains, Valleys and Streams*, (San Francisco, CA: Alley, Brown & Co., Publishers, 1880), 670-673.

¹⁷ "Horses and Wagons," *San Francisco Chronicle*, June 2, 1904, 12.
¹⁸ *The Petaluma Courier*, August 17, 1881, 3.

²⁰ See Deed Book 397, page 107-108, May 31, 1921, Sonoma County Recorder's Office, Santa Rosa, CA. This deed records the conveyance of the Burris Estate from Executor, Jesse Burris, to Marian Franklin Burris. The document lists parcels within the Burris Estate.

The setting of the immediate area surrounding the Burris Estate gradually changed throughout the early 20th century as residential and commercial development extended southward along Broadway toward MacArthur Street, and as the SVUHS complex to the immediate south along Broadway Street was built up after 1921. By the late 1940s, the Burris Estate remained a largely open tract of land bounded to the south by SVUHS, to the west by Broadway, to the north by MacArthur, and to the east by 3rd Street East. All buildings within the subject property were concentrated toward the east-west center of the tract, and placed near MacArthur Street and Nathanson Creek, which roughly bisected the property. The western third of the property was bordered by mature trees along MacArthur Street and Broadway, and appears to have been an open lawn or horse pasture area. A caretaker's cottage has been present at the site since at least the 1940s, but may have been constructed earlier in the twentieth century as the Burris family employed servants according to available U.S. Census data. Along with the Burris House, 1881 barn, and caretaker's cottage, pool house (then under construction), and additional outbuildings were shown on aerial photography of site form 1948 (**Figure 13**).²¹

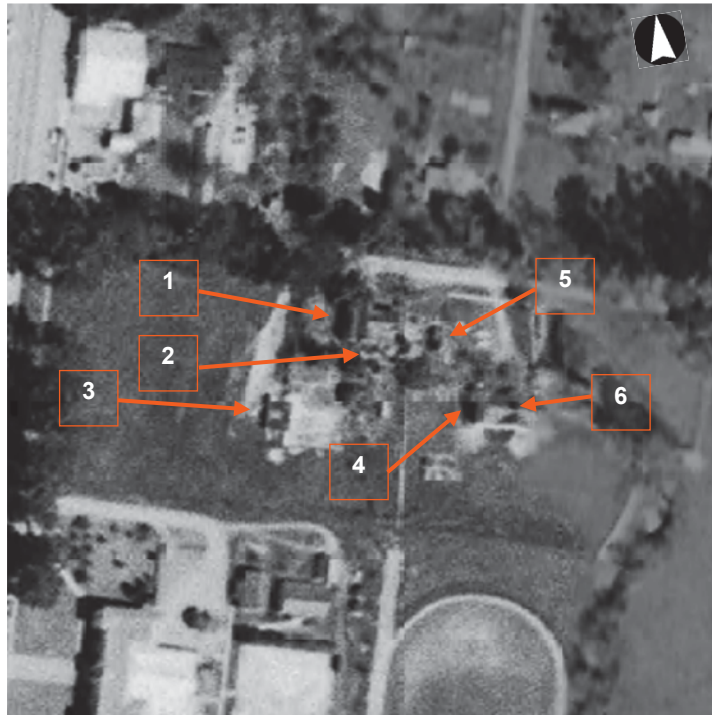


Figure 13: 1948 aerial photograph of subject property. 1) Burris House 2) caretaker's cottage 3) possible pool house under construction 4) Barn 5) Outbuilding 6) Outbuilding.
Source: HistoricAerials.com. Edited by Page & Turnbull.

The southern half of the property was largely undeveloped and by the early 1950s featured a wood fence along its south perimeter. The pool house building and adjacent in-ground pool with brick deck were completed between 1948 and 1951, based upon historic aerial photography and historic photographs. The pool house and pool were placed to the southwest of the Burris House. The area to the south of the Burris House was landscaped with shrubs and other plantings, creating a garden space that embraced the caretaker's cottage on its east side and pool house to its south. The barn was located to the southeast of the Burris House and featured a generally square footprint. A historic photograph taken in 1951 shows the barn had a small, one-story, shed-roof addition along its south façade and featured a cupola at the center of its cross-gabled roof. The land to the south of the barn was open pasture surrounded by a perimeter wood fence (**Figure 14**).

²¹ According to former resident and owner of the subject property, David Good, the pool house which is currently utilized as a spa facility was constructed ca. 1948 by Burris estate heiress, Leilani Jaeger Welch, and her husband Garry Welch who resided in the Burris House between the late 1940s and late 1960s. No building permits were able to be recovered to confirm the exact year of the pool house's construction.



Figure 14: 1951 photograph of a Hawaiian luau-inspired party held at the subject property by owners Leilani Burris Welch and Garry Welch. Burris house and adjacent caretaker's cottage partially pictured in left background with barn and shed roof addition shown at right background. Source: MacArthur Place Hotel.

By the late 1960s, during the final stage of a century-long period of Burris family ownership, the subject property retained a similar spatial arrangement of west and south open spaces and its central core of residential and accessory buildings (**Figure 15**). The Burris House was situated to the immediate north of a formal garden with shrubs, stone pathways, and mature trees. The house at the time featured a partially enclosed west porch and brick chimneys along the rear façade. The pool house added ca. 1948 appeared on aerial photograph from 1968, while several smaller outbuildings to the north and northwest of the barn remained. The barn retained its historic massing and overall form as evidenced by a historic photograph taken in the 1970s (**Figure 16**). In 1974 and 1975, owner Howard Good added a paddle tennis court and a garage, each to the west of the barn. These features remained present through the late 1990s (**Figure 17**).

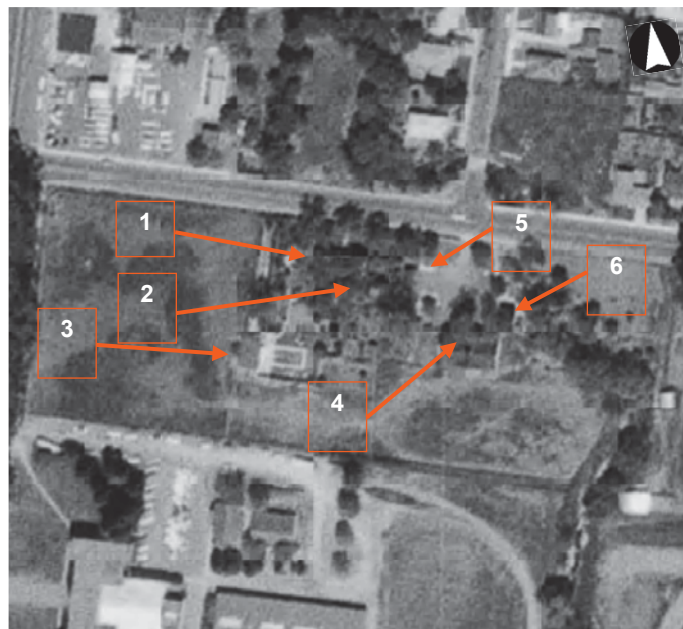


Figure 15: 1968 aerial photograph of subject property. 1) Burris House 2) caretaker's cottage 3) Pool house and pool 4) Barn 5) Outbuilding 6) Outbuilding. Source: HistoricAerials.com.



Figure 16: Garage and barn viewed from non-extant paddle tennis court in the mid-to late-1970s. Photograph courtesy David Good.

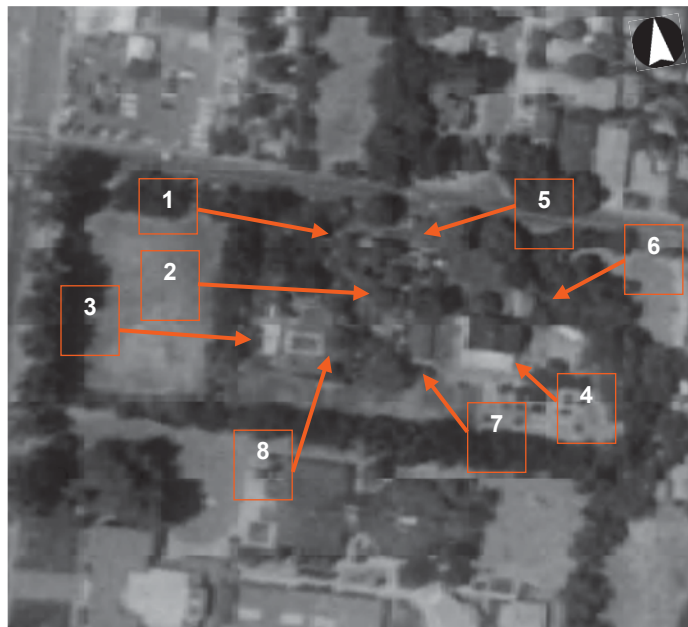


Figure 17: 1993 aerial photograph of subject property. 1) Burris House 2) Caretaker's Cottage 3) Pool house and pool 4) Barn 5) Outbuilding 6) Outbuilding 7) Garage 8) Tennis court.
Source: HistoricAerials.com.

Between 1997 and 1999, the site was redeveloped as the MacArthur Place Hotel. Five existing buildings on the site with varying construction dates were retained for adaptive reuse within what is presently the hotel's 20-building complex. Alterations and additions were added to these buildings between 1997 and 2003 according to permits on file at the Sonoma Planning Department. The barn was first altered with a rear (south) addition in 1998, and received a second addition in 2003, relating to the barns conversion from agricultural to hotel/restaurant use. Accordingly, the building's relationship to it surrounding setting was changed considerably, while the barn's footprint extended southward with two additional volumes.

Owner and Occupant History

The following tables summarize the known occupancy of the Burris House at 29 E. MacArthur Street, compiled from U.S. Census Records, city directories, and additional online sources such as obituaries and newspaper articles. Occupants listed as caretakers or relatives of caretakers are presumed to have lived in the caretaker's cottage. Occupants listed as servants, gardeners, or other laborers are not confirmed to have resided in the caretaker's cottage.

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary # _____
HRI # _____
Trinomial _____

Page 11 of 16 Resource Name or # (Assigned by recorder) Former Barn at 29 E. MacArthur Street
*Recorded by Page & Turnbull, Inc. *Date October 27, 2017 Continuation Update

Dates of Ownership	Owner
ca. 1869-1904	David Burris
1904-1921	Burris Estate (Executrix, Julia Burris (widow) through 1921)
1921-1971	Burris Estate (Burris' children served as heirs in equal parts). Last owner was Leilani Jaeger Welch, adopted daughter of Frank Burris and wife of Garry Welch.
1971-1987	Howard L. Good
1987-1997	David E. Good, Trustee of Good Family Trust
1997-2002	29 East MacArthur
2002-2017	29 East MacArthur LLC
2017-Present	L'Auberge de Sonoma LLC

Dates of Occupancy	Occupant(s)	Occupation
1880	David Burris (head) Julia A. Burris (wife) Mary Burris (daughter) Walter Burris (son) Joshua Burris (son) Edward Burris (son) Alice Burris (daughter) Henry Burris (son) Laura B. Burris (daughter) Frank Burris (son)	Banker, Sonoma Valley Bank None None None None None None None None None
1910	No U.S. Census listing recovered	-
1920	Julia A. Burris (head) Frank M. Burris (son) Jennie Bush (servant) Charles Hill (hired-man)	None Banker, Sonoma Valley Bank Burris family's servant Farm laborer
1930	Frank M. Burris (head) Lillian F. Burris (wife) Leilani J. Burris (adopted daughter) Jesse Burris (cousin) Agnes I. Vandine (servant) Melba F. Van Dine (boarder) Charles Hill (servant)	Branch Manager, Bank None None None Burris family servant None Farm laborer
1940	Frank M. Burris (head) Lillian F. Burris (wife) Leilani J. Burris (adopted daughter) Wingo Yee (lodger)	Banker None None Servant
ca. 1947-ca. 1970	Garry Welch (head) Leilani Jaegar Welch (nee Burris) (wife) Wah Yee (caretaker) Judy Yee (caretaker) Lei Chin (daughter of caretakers) ²²	Rancher None Caretaker Caretaker None
1971-ca. 1990s	Mr. Howard Good (head) Mrs. Howard Good (wife) David Good (son)	Import/Export businessman Homemaker Business

²² Noted as living on Burris Estate in Lei Chin Poncia's obituary. "Poncia, Lei Chin," Notice in *Sonoma Index-Tribune*, September 29, 2017.

Page 12 of 16 Resource Name or # (Assigned by recorder) Former Barn at 29 E. MacArthur Street
*Recorded by Page & Turnbull, Inc. *Date October 27, 2017 Continuation Update

Original Owner Biography: David Burris (1849-1904)

David Burris was a Missouri-born farmer turned "Pioneer Capitalist," who was among the most prominent of early American settlers in Sonoma during the city's foundational decades.²³ The following biographical information is excerpted from David Burris' obituary published on January 6, 1904 in Santa Rosa's, *Press Democrat*.

Few men were better known in this section of the State. His name was prominently connected with the financial and business affairs of Sonoma county for half a century. [...]

David Burris was born in Old Franklin, Cooper County, Missouri, on January 6, 1824. There he received a common school education. In the latter part of the summer of 1846, during the Mexican war, Mr. Burris was engaged in hauling provisions to Mexico from Fort Leavenworth for the United States Army. [...]

In May 1849, the Pleasant Hill Company, of which Mr. Burris and his eldest brother were members[,] crossed the plains to California by what was called the Lawson route. In October of that year the Burris brothers engaged in mining at Bidwell's Bar on Feather River. In the fall of [1850,] David Burris moved to Plumas county where he mined with success. From there he moved to Sonoma county in 1851. In [1852,] he returned to Missouri and in the spring of 1866 started back to California with a big herd of cattle. [...]

In the winter of [1856,] Mr. Burris was located in Napa county and in the fall of 1857 he moved to Tulare county, remaining there in stock raising and trading until 1869, when he again came to Sonoma county, where he resided up to the time of his death. The deceased was one of the founders of the Santa Rosa Bank and of the Sonoma Valley Bank, being the president of the latter bank for many years. He was a big property owner and a very wealthy man.²⁴

Burris' most significant contribution to Sonoma Valley and within the City of Sonoma was his role in establishing the Santa Valley and Santa Rosa banks in the 1870s. Both banks continued on after Burris' death in 1904 and were led by several members of Burris' family, who sat on the board and held employed positions, including son Frank M., who served as President of Sonoma Valley Bank following his father's death in 1904, and nephew Jesse who served as Cashier contemporaneously.

Designer of Barn: Oliver B. "O.B." Ackerman (1845-1927)

O.B. Ackerman was a Pennsylvania-born man who migrated westward and resided in Petaluma, California by the early 1880s. A noted contractor who resided in Petaluma and later Eureka during the late nineteenth and early twentieth centuries, Ackerman was listed as the builder of David Burris' barn at 29 E. MacArthur Street in Sonoma, in 1881. During the 1880s, Ackerman maintained an office in Petaluma and advertised as an architect and builder (**Figure 31**).

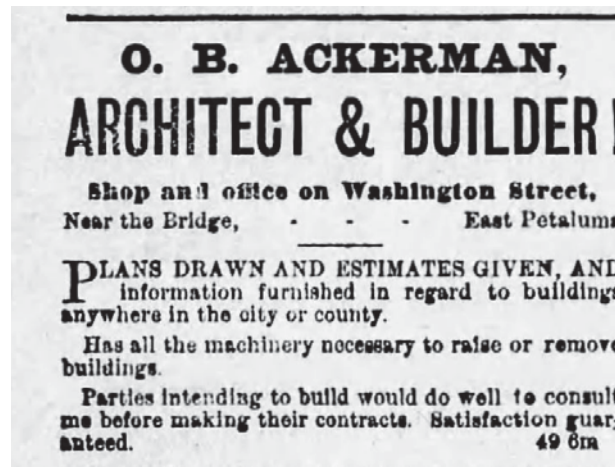


Figure 18: Advertisement for O.B. Ackerman, Architect & Builder. Source: Petaluma Courier, March 30, 1881, 1 via Newspapers.com.

²³ See, "Lodge and Church Assist in Rites," *The Press Democrat* (Santa Rosa, CA), January 9, 1904, 5.

²⁴ "Long and Useful Life Has Ended," *The Press Democrat* (Santa Rosa, CA), January 6, 1904, 5.

Under the practice of Ackerman & Sons, O.B. Ackerman received a contract for construction of a ranch house, barn, and tankhouse on the Mark Carr ranch near Petaluma in 1902, and a dairy barn near Red Hill, Sonoma County, in 1903.²⁵ Limited scholarship is available on Ackerman's career; however, several historic newspaper articles describe Ackerman as a member of a "prominent pioneer family," as well as being a noteworthy contractor and builder.²⁶ In particular, Ackerman was successful in Petaluma as "one of the first house movers" in that city, while also constructing Petaluma's Pepper Kindergarten building.²⁷ Ackerman practiced architecture with his son, Newton Ackerman, who served as City Architect of Eureka, ca. 1913. By 1911, O.B. Ackerman remarried and moved to Oakland where he engaged in similar contracting practice. Ackerman spent the final stages of his life in Humboldt County, according to Social Security Index records available through Ancestry.com.

Over a career that spanned roughly six decades in California, Ackerman was awarded commissions for residential, agricultural, and public buildings. Currently, extensive scholarship pertaining to Ackerman's career, specifically pertaining to his most significant works, is very limited. At this time Ackerman cannot be considered a master of his field, but his distinction as a "pioneer" architect and house mover in Petaluma, and his career in Sonoma County on a larger scale do appear to be of local or regional significance.

Evaluation (Significance)

California Register of Historical Resources

The California Register of Historical Resources (California Register) is an inventory of significant architectural, archaeological, and historical resources in the State of California. Resources can be listed in the California Register through a number of methods. State Historical Landmarks and National Register-listed properties are automatically listed in the California Register. Properties can also be nominated to the California Register by local governments, private organizations, or citizens. The evaluative criteria used by the California Register for determining eligibility are closely based on those developed by the National Park Service for the National Register of Historic Places.

In order for a property to be eligible for listing in the California Register, it must be found significant under one or more of the following criteria.

- *Criterion 1 (Events):* Resources that are associated with events that have made a significant contribution to the broad patterns of local or regional history, or the cultural heritage of California or the United States.
- *Criterion 2 (Persons):* Resources that are associated with the lives of persons important to local, California, or national history.
- *Criterion 3 (Architecture):* Resources that embody the distinctive characteristics of a type, period, region, or method of construction, or represent the work of a master, or possess high artistic values.
- *Criterion 4 (Information Potential):* Resources or sites that have yielded or have the potential to yield information important to the prehistory or history of the local area, California, or the nation.

City of Sonoma Municipal Code

Section 19.42.020 of Chapter 19.42 Historic Preservation and Infill in the Historic Zone addresses Designation of a local historic resource or district. The code provides the following criteria:

- *Criterion A.* It is associated with events that have made a significant contribution to Sonoma's history and cultural heritage; or
- *Criterion B.* It is associated with the lives of persons important in Sonoma's past; or
- *Criterion C.* It embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of an important creative individual, or possesses high artistic values; or
- *Criterion D.* It has yielded, or may be likely to yield, information important in Sonoma's prehistory or history."²⁸

²⁵ "Local Notes," *Petaluma Argus-Courier*, July 2, 1902, 4.

²⁶ See, "Death Claims C. Ackerman," *Petaluma Argus-Courier*, September 11, 1933, 7; and, "Were Wedded at Eureka," *Petaluma Argus-Courier*, January 3, 1906, 1.

²⁷ "Motored Here From Eureka," *Petaluma Argus-Courier*, October 24, 1913, 1.

²⁸ The Sonoma Municipal Code, Section 19.42.020, Current through Ordinance 03-2017, May 15, 2017. Accessed online. November 13, 2017. <https://www.codepublishing.com/CA/Sonoma/html/Sonoma19/Sonoma1942.html>

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary # _____
HRI # _____
Trinomial _____

Page 14 of 16 Resource Name or # (Assigned by recorder) Former Barn at 29 E. MacArthur Street
*Recorded by Page & Turnbull, Inc. *Date October 27, 2017 Continuation Update

In 2001, the subject property was surveyed as part of a larger historic survey effort for the Nathanson Creek Bicycle Path Project. The Burris House was evaluated for National Register eligibility and determined to be eligible under Criteria B (Persons) and C (Architecture). No other buildings on the property were evaluated for historic significance. The survey noted that the former barn located on the property did not have high historic integrity as of 2001.

Evaluation of Significance

The following section examines the eligibility of the age-eligible buildings within the subject property that have not been previously evaluated for individual listing in the California Register or as Sonoma County Historic Landmarks. The California Register criteria as well as those of the National Register serve as the basis for the criteria for historic evaluation described in the Sonoma Municipal Code. Therefore, the evaluations are combined together, the numerical criteria indicating California Register and the lettered criteria indicating Sonoma County Historic Landmark criteria.

Criterion 1/A (Events)

The barn at 29 E. MacArthur Street does not appear eligible as an individual resource under Criterion 1/A. No events of historic significance to the City of Sonoma, the state, or the nation are known to be directly related to the barn or to have occurred in the barn. For example, the barn did not exist during the mission period of Sonoma, the early development of its plaza during the mid-19th century, or during the Bear Flag Revolt in 1846.

Criterion 2/B (Persons)

The barn at 29 E. MacArthur Street does not appear eligible as an individual resource under Criterion 2/B. Although the barn was constructed for and utilized by David Burris, a prominent California pioneer and rancher-turned-businessman who founded of Sonoma Valley Bank in Sonoma in 1875, the barn does not remain representative of Burris's important contributions to the community and professional accomplishments in Sonoma County. The barn's original design was directly related to its use by Burris as an agricultural building. Burris, however, is most significant for his role as a businessman in Sonoma, and specifically as the founder of Sonoma Valley Bank. Therefore, the building is not individually significant in association with David Burris such that it would be eligible under this criterion. The barn's association with architect-builder, O.B. Ackerman, is most appropriately addressed under Criterion 3/C.

Criterion 3/C (Architecture)

The barn at 29 E. MacArthur Street does not appear eligible as an individual resource under Criterion 3/C. The barn appears to have been constructed in 1881 by notable architect-builder, O.B. Ackerman. Ackerman was well-reputed architect-builder during his career which spanned the late 19th century into the early 20th century, based upon limited scholarship available beyond historic newspaper clippings and available genealogical information. Although a noteworthy design upon its completion ca. 1881, which utilized a cross-gabled roof and a prominent cupola at the roof's center, Ackerman's design for the barn does not remain very apparent due to alterations undertaken between 1998 and 2003 that changed the layout and massing of the building. Additions to the south end of the barn have altered its plan and overall form to a degree that impairs the barn's ability to represent the work of Ackerman and of barns constructed within the same historic period. Thus, although the barn remains a prominent building within the property, it does not retain its original design and association to its original use or architect-builder to a degree that merits designation under Criterion 3.

Criterion 4/D (Information Potential)

Evaluation of the Barn under Criterion 4/D (Information Potential) is beyond the scope of this report. This criterion is generally applied to sites that may provide archeological information.

Subject Property as a Potential Historic District

The MacArthur Place Hotel complex at 29 E. MacArthur Street contains five age-eligible buildings within its 20-building complex. Although four of these buildings bear varying degrees of association to the Burris Estate, which existed between ca. 1869 and 1971 at the same property, the buildings are not well associated with each other chronologically and were built by several different owners, with construction dates that span ca. 1869 to 1948. Additionally, alterations to four of the five buildings have heavily impaired their historic integrity. These aspects concerning the age-eligible buildings combined with redevelopment of the site between 1997 and 2003 do not support the site's continued association with the property owned and resided at by David Burris and his heirs. Therefore, a potential historic district does not appear to be present at 29 E. MacArthur Street.

Conclusion

29 E. MacArthur Street was historically the location of a 47-acre ranch and farm owned by pioneer and prominent Sonoma businessman David Burris. Burris' ranch contained a main house (Burris House), barn (extant with alterations), and several outbuildings such as chicken coops and garden sheds. Burris housed horses and other livestock on his ranch, and maintained gardens, orchards, and vineyards. Between 1869 and 1971, Burris and his heirs retained ownership of the property, gradually conveying parcels of land from the estate which reduced the size of the property over ensuing decades. In 1997, the property was acquired by developer Suzanne Brangham and redeveloped between 1998 and 2003 as the MacArthur Place Hotel.

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary # _____
HRI # _____
Trinomial _____

Page 15 of 16 Resource Name or # (Assigned by recorder) Former Barn at 29 E. MacArthur Street
*Recorded by Page & Turnbull, Inc. *Date October 27, 2017 Continuation Update

In 2001, the property was surveyed as part of a larger historic survey effort for the Nathanson Creek Bicycle Path Project. The Burris House was evaluated for National Register eligibility and determined to be eligible under Criteria B (Persons) and C (Architecture). No other buildings on the property were evaluated for historic significance. The survey noted that the barn located on the property did not have high historic integrity as of 2001.

Page & Turnbull documented existing site conditions and undertook additional historic research to determine the eligibility of all age-eligible buildings on the subject property for listing in the California Register of Historical Resources and as City of Sonoma local historic resources. None of the four age-eligible buildings, including the former barn, appear eligible for listing in the California Register or as City of Sonoma historic resources. The buildings also do not hold together as a significant grouping of buildings on the site or as a historic district that would be eligible for listing. Therefore, the former barn, does not appear to qualify as a historic resource for the purposes of CEQA review.

***B12. References:**

Published Works

Barrett, Samuel A. *The Ethnography of Pomo and Neighboring Indians*. Berkeley: University of California Press, 1908.

Cerny, Susan Dinkelspiel. *An Architectural Guidebook to San Francisco and the Bay Area*. Layton, UT, Gibbs-Smith: 2007.

California Office of Historic Preservation. *Technical Assistance Series No. 7: How to Nominate a Resource to the California Register of Historical Resources*. Sacramento: California Office of State Publishing, 4 September 2001.

Cook, Sherburne F. "The Conflict Between the California Indian and White Civilization, I: The Indian Versus the Spanish Mission." *Ibero-Americana*, Volume 21. Berkeley, California: 1943.

City of Sonoma. *2020 General Plan Update: Final Environmental Impact Report*. Sonoma, CA: City of Sonoma Planning and Community Services Division, September 2006.

Kelly, Isabel. "Coast Miwok." in *Handbook of the North American Indians*. Robert F. Heizer, editor, Washington, D.C.: Smithsonian Institution, 1978.

Thompson, Robert A. *Historical and Descriptive Sketch of Sonoma County, California*. San Francisco: 1877

Granice, C. Celeste. *Illustrated Atlas of Sonoma County, California. Compiled and Published from Personal Examinations, Official Records and Actual Surveys*, (Santa Rosa, CA: Reynolds & Proctor, 1898).

Munro-Fraser, J.P. *History of Sonoma County including its Geology, Topography, Mountains, Valleys and Streams*, (San Francisco, CA: Alley, Brown & Co., Publishers, 1880).

Public Records

Deed Books, Sonoma County Recorder's Office, Santa Rosa, CA.

Assessor's Parcel Map. Sonoma County, California.

Newspapers and Periodicals

"Death Claims C. Ackerman." *Petaluma Argus-Courier*. September 11, 1933, 7.

"Local Notes." *Petaluma Argus-Courier*. July 2, 1902, 4.

"Lodge and Church Assist in Rites." *The Press Democrat* (Santa Rosa, CA). January 9, 1904, 5.

"Long and Useful Life Has Ended." *The Press Democrat* (Santa Rosa, CA). January 6, 1904, 5.

"Motored Here From Eureka." *Petaluma Argus-Courier*. October 24, 1913, 1.

"Poncia, Lei Chin." Notice in *Sonoma Index-Tribune*. September 29, 2017.

"Were Wedded at Eureka." *Petaluma Argus-Courier*. January 3, 1906, 1.

Notice mentioning David Burris' barn constructed by O.B. Ackerman. *The Petaluma Courier*, August 17, 1881, 3.

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary # _____
HRI # _____
Trinomial _____

Page 16 of 16 Resource Name or # (Assigned by recorder) Former Barn at 29 E. MacArthur Street
*Recorded by Page & Turnbull, Inc. *Date October 27, 2017 Continuation Update

Internet Sources

Thompson, Thomas H. *Map of Sonoma County California*. Oakland, CA: Thomas H. Thompson & Co., 1887.

David Rumsey Map Collection.

The Sonoma Municipal Code, Section 19.42.020, Current through Ordinance 03-2017, May 15, 2017. Accessed online. November 13, 2017. <https://www.codepublishing.com/CA/Sonoma/html/Sonoma19/Sonoma1942.html>

County of Sonoma. "Designation of Historic Landmarks and Districts." Accessed online, October 10, 2017. <http://sonomacounty.ca.gov/PRMD/Planning/Historic-Resources/Criteria-for-Designation-of-Historic-Landmarks/>.

"History of Sonoma." City of Sonoma Website. Accessed October 2, 2017. <http://www.sonomacity.org/Community/About-Sonoma/History-Of-Sonoma.aspx>.

Other Sources

California Office of Historic Preservation. Directory of Properties in the Historic Property Data File for Sonoma County, updated March 15, 2011. California Historic Resource Information System, Northwest Information Center, Rohnert Park, CA.

State of California Department of Parks and Recreation, Primary Record 49-004759, prepared May 31, 1978. Provided to Page & Turnbull by Northwest Information Center, Sonoma State University, Rohnert Park, CA November 6, 2017.

State of California Department of Parks and Recreation, Primary Record 49-004759, HRI 5476-0234-0000, February 6, 2001. Provided to Page & Turnbull by Northwest Information Center, Sonoma State University, Rohnert Park, CA November 6, 2017.

JRN Civil Engineers. ALTA/NSPS Land Title Survey. March 21, 2016.

David Burris-Biographical Timeline, account provided by Ann Burris. Source provided to Page & Turnbull courtesy MacArthur Place Hotel.

California Office of Historic Preservation, *Technical Assistance Series No. 7: How to Nominate a Resource to the California Register of Historical Resources* (Sacramento: California Office of State Publishing, September 4, 2001).

State of California — The Resources Agency
 DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # _____
 HRI # _____
 Trinomial _____
 NRHP Status Code 6Z

Other Listings _____
 Review Code _____ Reviewer _____ Date _____

Page 1 of 14 Resource name(s) or number (assigned by recorder) Former Caretaker's Cottage at 29 E. MacArthur Street

P1. Other Identifier:

*P2. Location: Not for Publication Unrestricted

*a. County Sonoma

*b. USGS 7.5' Quad for Sonoma, CA

Date 2015

*c. Address 29 E. MacArthur Street

City Sonoma

Zip 94576

*e. Other Locational Data: 1280-9100-500 (29 E. MacArthur Street) and 1280-8100-200 (20000 Broadway)

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

The former barn building is one of 20 buildings located within MacArthur Place Hotel and Spa complex at 29 E. MacArthur Street in Sonoma, California. The roughly five-acre property is situated on two parcels addressed 29 E. MacArthur Street (APN 1280-9100-500) and 20000 Broadway Street (APN 1280-8100-200) (**P5a. and Figure 1**). For purposes of this survey evaluation, the entire property will be referred to as 29 E. MacArthur Street. Across both parcels, the property contains a total of 20 buildings as well as a non-historic designed landscape. Of the existing buildings on the site, five buildings appear to be age-eligible (at least 50 years of age) for potential historic significance. The former caretaker's cottage constructed ca. 1920s-1930s, is a vernacular, one-story residential building built with a rectangular plan and capped with a side-gabled roof (**Figure 2**). The cottage features a covered porch along its primary (west) façade with a wood balustrade at its south end. The building is clad with wood channel siding on all façades while the roof is covered with asphalt shingles and features slightly overhanging eaves with exposed rafter tails. An eave extension at the southwest corner of the building extends over the porch and entrance to the cottage along the west façade. The overhanging extension is supported by simple wood posts that extend to the porch decking below. The primary (west) façade features a paneled wood entry door that is flanked by two one-over-one, replacement wood-sash windows. The north, east, and south façades of the building are largely obscured by surrounding trees. A chimney clad with wood siding is located at the approximate center of the east façade (**Figure 3**).

(See Continuation Sheet)

*P3b. Resource Attributes: (list attributes and codes) HP5. Hotel/Motel

*P4. Resources Present: Building Structure Object Site District Element of District Other



P5b. Photo: (view and date)

Primary (west) facade of former caretaker's cottage with eave extension over covered porch. Primary façade fenestrated with replacement one-over-one wood-sash windows. Looking east from central garden. October 20, 2017.

*P6. Date Constructed/Age and Sources:

Historic Prehistoric Both
 Circa 1920s/1930s (estimated). Census records indicated caretaker's residing on estate by 1930s.

*P7. Owner and Address:

L'Auberge de Sonoma, LLC
 7001 N. Scottsdale Road, Suite 2050
 Scottsdale, AZ 85253

*P8. Recorded by:

Page & Turnbull, Inc.
 417 Montgomery Street, 8th Floor
 San Francisco, CA 94104

*P9. Date Recorded:

October 20 and October 27, 2017

*P10. Survey Type: Intensive

*P11. Report Citation: Page & Turnbull, Historic Resource Evaluation, Draft: 29 E. MacArthur Street, Sonoma, CA, 2017.

*Attachments: None Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record
 Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record
 Artifact Record Photograph Record Other (list)

*Recorded by Page & Turnbull, Inc.

*Date October 27, 2017 Continuation Update



Figure 1: 3-D aerial imagery of caretaker's cottage and surrounding buildings. Dense tree coverage surrounds the cottage. Oriented to west. Source: Google Earth Pro, 2016.



Figure 2: South gable-end with wood fascia and soffit. Looking north.



Figure 3: Visible portion of east facade. Rafter tails, vents, and chimney clad with lapped wood siding. Looking northwest.

BUILDING, STRUCTURE, AND OBJECT RECORD

Page 3 of 14

*NRHP Status Code 6Z

*Resource Name or # Former Caretaker's Cottage at 29 E. MacArthur Street

- B1. Historic name: Caretaker's Cottage
B2. Common name: Former Caretaker's Cottage at 29 E. MacArthur Street
B3. Original Use: Barn B4. Present use: Hotel Guest Cottage

*B5. Architectural Style: Vernacular

*B6. Construction History: (Construction date, alterations, and date of alterations)

The former caretaker's cottage at 29 E MacArthur Street was constructed in ca. 1920s/1930s and appears to have maintained its original form through the late 1990s. In 1998, the cottage was remodeled as part of the redevelopment of the property as the MacArthur Place Hotel and Spa.

*B7. Moved? No Yes Unknown Date: N/A Original Location: N/A

*B8. Related Features: The Burris House (ca. 1869), barn (1881), former pool house (1948), former garage building (1975). The caretaker's cottage, barn, and pool house were constructed by/for David Burris or his heirs. The garage building was constructed by owner Howard Good in 1975 following purchase of the property from the Burris' heirs in 1971. The Burris House is located within MacArthur Place Hotel and Spa complex which contains 20 buildings, 15 of which were constructed between 1998 and 2000 and are not age-eligible.

B9a. Architect: N/A B9b. Builder: N/A

*B10. Significance: Theme significance _____ Area _____
Period of Significance N/A Property Type Hotel Applicable Criteria Not Eligible

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity)

(See Continuation Sheet)

B11. Additional Resource Attributes: (List attributes and codes)

*B12. References: See footnotes and bibliography

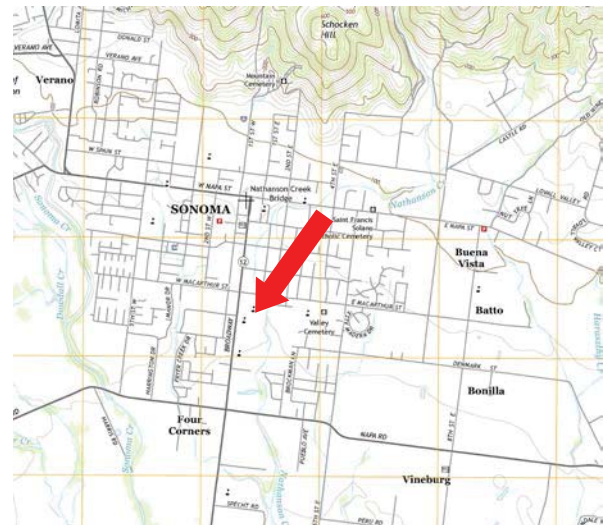
B13. Remarks: None.

*B14. Evaluator: Page & Turnbull, Inc.

*Date of Evaluation: October 27, 2017

B10. Significance (continued):

(This space reserved for official comments.)



USGS 7.5' Quad for Sonoma, CA, 2015

Page 4 of 14 Resource Name or # (Assigned by recorder) Former Caretaker's at 29 E. MacArthur Street

*Recorded by Page & Turnbull, Inc.

*Date October 27, 2017 Continuation Update

Prehistory

Sonoma Valley was once occupied by Coast Miwok and Patwin peoples, and most authorities consider the Coast Miwok to have been the dominant tribe.¹ The Coast Miwok territory was centered in Marin and Sonoma counties and encompassed an area spanning approximately 1,400 square miles. The modern City of Sonoma falls within the northeastern portion of Coast Miwok territory, which was centered in Marin and Sonoma counties, and the area surrounding Sonoma's central plaza is near the location of the ancient Coast Miwok village of Huchi.²

Hispanic Period

In the mid-eighteenth century, Spanish explorers and missionaries arrived in Sonoma Valley. During the latter half of the eighteenth century and the early nineteenth century, Spain reinforced its claim to Alta California by encouraging the establishment of a chain of Franciscan missions along the coast and inland valleys from San Diego north to the Golden Gate. The Spanish Viceroy ultimately decided to build missions in the region north of the Golden Gate, provoked by the establishment of a Russian fur trading and farming settlement at Fort Ross, in present-day Sonoma County in 1812.³ In 1823, Father Jose Altimira devised a plan to found a new mission north of the Golden Gate. Altimira and his men sailed across San Pablo Bay and rowed up the Sonoma River to the site of the present-day City of Sonoma. Impressed with the fecund soil of the well-watered and oak-studded plain, Altimira selected this location for California's last mission—and the only one established during Mexican rule, which had begun in 1821. On 4 July 1823, Father Altimira officially founded Mission San Francisco Solano de Sonoma, naming it after St. Francis Solano, a missionary to the Peruvian Indians. Within a few years, approximately 1,300 Indians lived at the *rancheria* adjacent to the mission. In 1826, a bloody neophyte revolt broke out, which resulted in the complete destruction of the first mission complex and Father Altimira's departure from Sonoma.⁴

Although Mission San Francisco Solano de Sonoma was rebuilt in 1827, it did not survive for much longer. In 1834, Governor José Figueroa issued a proclamation ordering the secularization of the California missions. Although enacted to benefit the Indians, the act was in actuality, little more than a badly disguised land grab. After secularization, Figueroa appointed the young Commandante Mariano Guadalupe Vallejo as the *mayordomo* of Mission Sonoma. In addition to disposing of mission lands, Vallejo was also charged with building a presidio, or military settlement, at Sonoma.⁵ In 1835, with assistance from Captain William A. Richardson, he laid out the Pueblo de Sonoma according to the *Laws of the Indies*, a set of guidelines used to lay out most Spanish settlements in the New World. Vallejo centered the pueblo on an eight-acre plaza southwest of Mission Sonoma. He then laid out a grid of wide streets around the plaza. This street pattern was codified in the O'Farrell-Huspeth survey of 1847 and survives today. Each block contained four lots, or *solares*. Each *solar* measured 100 x 100 *varas* (275' x 275') square. Vallejo also constructed a two-story adobe barracks, a three-story lookout tower on the north side of the Plaza, and a sumptuous adobe *palacio* for himself.⁶ From 1835 to 1839, Sonoma grew quite slowly, populated almost exclusively by soldiers who had decided to stay after finishing their duty at the garrison. Vallejo worked hard to encourage Mexican settlers to come to the remote frontier settlement, convinced that the settlement would eventually become the center of Mexican power in Alta California.⁷

American Period

Few Americans or other foreigners lived in Sonoma during the period of Mexican rule. This began to change quickly during the early 1840s, as Americans began making their way overland to California. Even heavily Mexican towns like Sonoma underwent a dramatic change in demographics as hundreds of American settlers began ranching and starting businesses in town. Several of the more prominent English-speaking settlers in Sonoma included Jacob P. Leese, John Fitch, James Cooper, John Wilson, and Mark West.⁸ Vallejo was sympathetic to the American settlers, but the Mexican government wanted the intruders expelled. Their suspicion of American intent to claim this land was well founded: beginning in 1845, Army Topographical Service lieutenant John C. Fremont, who was stationed in Sacramento on a mapmaking mission, began to encourage settlers to rebel against Mexican rule.⁹ Under Fremont's self-decreed instructions, a party of men rode from Sutter's Fort to Sonoma, seized the town, arrested Vallejo, and on June 14, 1846 declared a California Republic. This revolt ushered in the short-lived independent Bear Flag

¹ Alfred L. Kroeber, "Some New Group Boundaries in Central California," *University of California Publications in American Archaeology and Ethnography*, Volume 47, Number 2 (Berkeley, California: 1957).

² Samuel A. Barrett, *The Ethnography of Pomo and Neighboring Indians*, (Berkeley: University of California Press, 1908); and, Isabel Kelly, "Coast Miwok," in *Handbook of the North American Indians*, Robert F. Heizer, editor, (Washington, D.C.: Smithsonian Institution, 1978).

³ Robert A. Thompson, *Historical and Descriptive Sketch of Sonoma County, California* (San Francisco: 1877), 9.

⁴ *Ibid.*, 10.

⁵ *Ibid.*, 191.

⁶ Ernest L. Finley, *History of Sonoma County, California: Its People and Its Resources* (Santa Rosa, California: Press Democrat Publishing Company, 1937), 192.

⁷ *Ibid.*, 195.

⁸ Thompson, 12.

⁹ "The Bear Flag Revolt", published online by the Sonoma Valley Visitors Bureau, accessed at <http://www.sonomavalley.com/sonoma-bear-flag-republic.html> on August 13, 2014.

Republic and paved the way for California's accession to the United States less than a month later. Vallejo was released soon afterwards. The following week, Californians learned that the United States had declared war on Mexico. Two years later, when the Spanish-American War ended in the treaty of Guadalupe Hidalgo, California and the rest of the Southwest were ceded by Mexico to the United States.

Following Statehood in 1850, Sonoma saw gradually development around its plaza. General Vallejo maintained holdings north of the plaza, was elected a state senator, and lobbied to maintain Sonoma as the county seat; however, Santa Rosa won the honor in 1854. With U.S. rule came the appropriation of many land holdings, and Vallejo lost most of his land which once amount to seven million acres. In 1875, David Burris founded the Sonoma Valley Bank, an institution he presided over until his death in 1904 (**Figure 10**). Burris, who owned a large 40-plus-acre tract five-blocks south of the Plaza, and additional land outside of Sonoma County, joined several farmers on the outskirts of the former mission town, while the bulk of commercial development concentrated in the two blocks surrounding the plaza. The town appeared to be extended beyond its early mission core by the 1870s as indicated on Thomas H. Thompson's Map of Sonoma County, California, published in 1877.

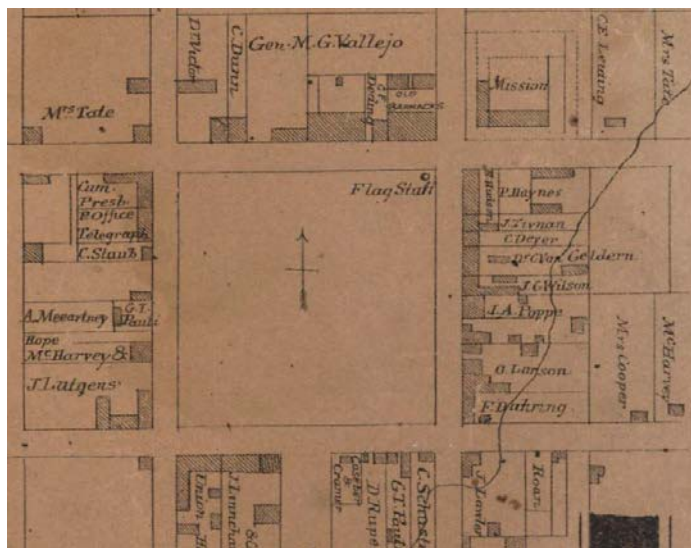


Figure 4: The nascent downtown district of "Sonoma City" ca. 1866 as depicted on A.B. Bowers', *Map of Sonoma County, California*, 1866.

The City of Sonoma was incorporated in 1883.¹⁰ Regarding Sonoma's development in the late 19th century, architectural historian Susan Dinkelspiel Cerny wrote, "Shortly after statehood, dairies, fruit farming, wine, and basalt quarrying became important local industries. Resorts sprang up at the sites of natural hot springs north of town. After the train arrived in 1879, Fetters Hot Springs, Boyes Hot Springs, and Aqua Caliente catered to tourists on a large scale."¹¹ By the turn of the 20th century, the City of Sonoma continued to evolve from its early pueblo form and saw its plaza and immediate surrounding blocks emerge as a center for local commerce that brought local agricultural products and merchants together. As noted in Reynolds & Proctor's *Illustrated Atlas of Sonoma County*, published in 1898, "Surrounding the plaza or square—which has been planted with ornamental shrubs and shade trees—is the business portion of the city. Many of the business blocks are imposing brick or stone structures, while others are adobes—built by the earlier residents. Of mercantile establishments the town has a full quota."¹² The region attracted many visitors to resorts that touted the benefits of natural hot springs. California's wine industry, which was first established in the nineteenth century at Mission Sonoma, surged during the twentieth century, and the City of Sonoma has become well-known for its wine and picturesque setting.¹³ The City continues to be a popular destination for tourists from the Bay Area and around the world.

Site Development History

¹⁰ "History," published online by the City of Sonoma, accessed at <http://www.sonomacity.org/default.aspx?Pagelid=3> on August 13, 2014.

¹¹ Susan Dinkelspiel Cerny, *An Architectural Guidebook to San Francisco and the Bay Area*, (Salt Lake City, UT: Gibbs Smith, 2007), 441.

¹² C. Celeste Granice, *Illustrated Atlas of Sonoma County, California. Compiled and Published from Personal Examinations, Official Records and Actual Surveys*, (Santa Rosa, CA: Reynolds & Proctor, 1898), 46.

¹³ "Recent History," published online by the Sonoma Valley Visitors Bureau, accessed at <http://www.sonomavalley.com/index.php/Table/Recent-history/> on August 13, 2014.

State of California — The Resources Agency
 DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary # _____
 HRI # _____
 Trinomial _____

Page 6 of 14 Resource Name or # (Assigned by recorder) Former Caretaker's at 29 E. MacArthur Street

*Recorded by Page & Turnbull, Inc.

*Date October 27, 2017 Continuation Update

Between 1852 and 1856, David Burris, a Missouri farmer who transported freight for the United States Army during the Mexican-American War and prospected during the California Gold Rush, briefly settled in nascent Sonoma prior to returning to Missouri.¹⁴ Burris spent the majority of the following decade ranching and living in various areas between Tulare and Sonoma counties, where he acquired hundreds of acres of land outside of the town of Sonoma. He returned to Sonoma with his family in 1869, and appears to have purchased a roughly 47-acre tract in Sonoma centered on present-day Broadway and MacArthur Streets.¹⁵ Burris used the property as ranching land and pasture for livestock he owned, while also maintaining orchards, gardens, and vineyards within the tract. When Burris died in 1904, his widow, Julia, published an advertisement in the *San Francisco Chronicle* which listed, "100 mares with mule colts; 100 horses. 1 and 2 year olds; 70 head mules," as available for sale in Sonoma, CA, providing an estimation for the number of animals Burris and his family retained at their Sonoma property.¹⁶ Burris resided in the house that remains extant between 1869 and his death in 1904, while members of his immediate and extended family lived in the home through the 1960s. The Burris House, a two-story Italianate-Victorian villa, appears to have been occupied by Burris and his family by 1870 based upon that year's U.S. Census. In 1881, Burris commissioned the construction of "the most conveniently built barn in the county," as described in *The Petaluma Courier*, to O.B. Ackerman, a Sonoma County-based builder-contractor.¹⁷ Deed research conducted at the Sonoma County Recorder's Office reveals that the core of the estate was a roughly 47-acre tract bounded by Broadway (west), 3rd Street East (east), MacArthur Street (historically Germany Street, north), and Denmark Street (south) (Figure 5).¹⁸ Over the course of the 20th century, Burris' estate conveyed several multi-acre parcels from the main tract, reducing its size gradually. In 1921, a 12-acre portion of the 46-acre tract was conveyed by the Burris Estate to Sonoma Valley Union High School (SVUHS) which was followed by an additional conveyance of a six-acre and a 14-acre parcel to SVUHS in 1950, reducing the size of the tract to approximately 14-to-15 acres. Available Sanborn fire insurance surveys of Sonoma did not record the Burris property prior to 1923. The 1923 Sanborn map recorded the Burris House and a non-extant garage to the east of Nathanson Creek on the Burris Estate, but did not record buildings further south or southeast within the Burris Estate (Figure 12). The map did not survey the portion of the property which contained the barn (Figure 6).

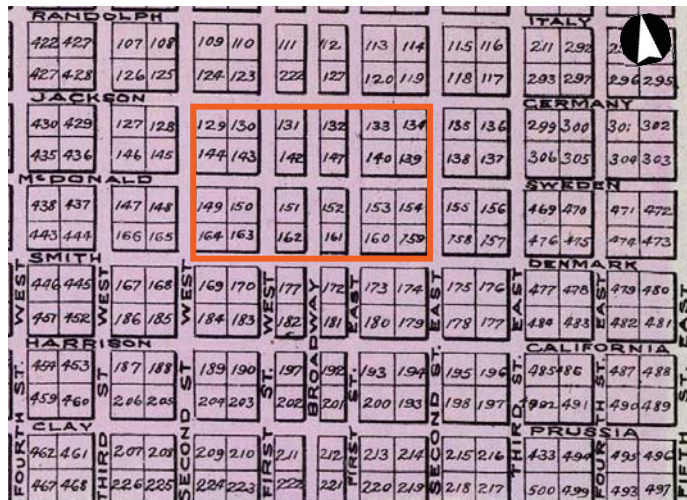


Figure 5: Parcels and portions of streets within the 46-acre Burris Family Estate as of 1921 are grouped by orange rectangle. Parcels recorded on Reynolds and Proctor's *Illustrated Atlas of Sonoma County California*, published in 1898. Source: David Rumsey Map Collection. Edited by Page & Turnbull.

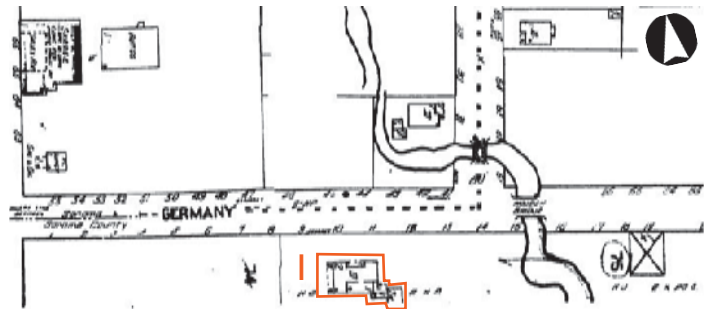


Figure 6: 1923 Sanborn fire insurance survey. Map shows 1) Burris House (outlined in orange). Source: Sonoma Valley Historical Society. Edited by Page & Turnbull.

¹⁴ Ann Burris, Biographical account of David Burris. Provided to Page & Turnbull courtesy MacArthur Place Hotel. See also, J.P. Munro-Fraser, *History of Sonoma County including its Geology, Topography, Mountains, Valleys and Streams*, (San Francisco, CA: Alley, Brown & Co., Publishers, 1880), 670-673.

¹⁵ "Horses and Wagons," *San Francisco Chronicle*, June 2, 1904, 12.
¹⁷ *The Petaluma Courier*, August 17, 1881, 3.

¹⁸ See Deed Book 397, page 107-108, May 31, 1921, Sonoma County Recorder's Office, Santa Rosa, CA. This deed records the conveyance of the Burris Estate from Executor, Jesse Burris, to Marian Franklin Burris. The document lists parcels within the Burris Estate.

Page 7 of 14 Resource Name or # (Assigned by recorder) Former Caretaker's at 29 E. MacArthur Street
*Recorded by Page & Turnbull, Inc. *Date October 27, 2017 Continuation Update

The setting of the immediate area surrounding the Burris Estate gradually changed throughout the early 20th century as residential and commercial development extended southward along Broadway toward MacArthur Street, and as the SVUHS complex to the immediate south along Broadway Street was built up after 1921. By the late 1940s, the Burris Estate remained a largely open tract of land bounded to the south by SVUHS, to the west by Broadway, to the north by MacArthur, and to the east by 3rd Street East. All buildings within the subject property were concentrated toward the east-west center of the tract, and placed near MacArthur Street and Nathanson Creek, which roughly bisected the property. The western third of the property was bordered by mature trees along MacArthur Street and Broadway, and appears to have been an open lawn or horse pasture area. A caretaker's cottage has been present at the site since at least the 1940s, but may have been constructed earlier in the twentieth century as the Burris family employed servants according to available U.S. Census data. Along with the Burris House, 1881 barn, and caretaker's cottage, pool house (then under construction), and additional outbuildings were shown on aerial photography of site form 1948 (**Figure 7**).¹⁹

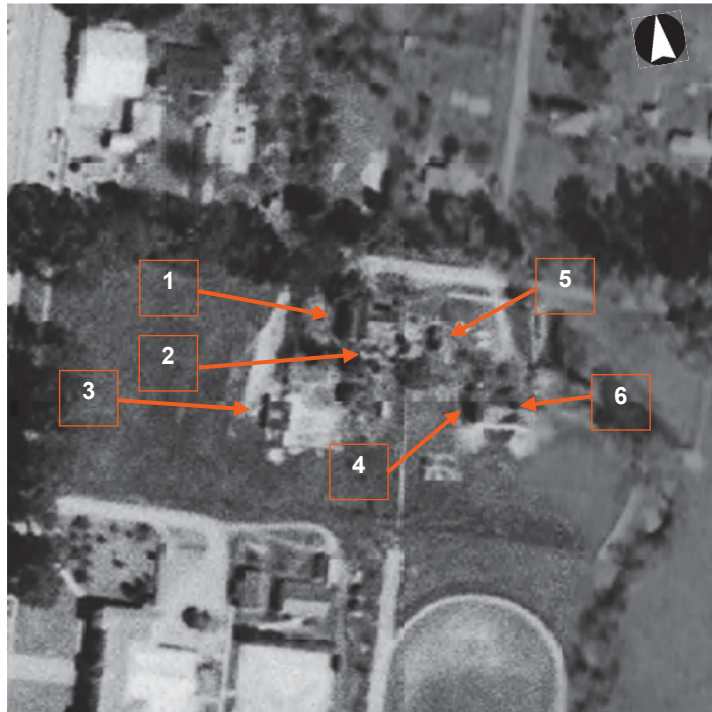


Figure 7: 1948 aerial photograph of subject property. 1) Burris House 2) caretaker's cottage 3) possible pool house under construction 4) Barn 5) Outbuilding 6) Outbuilding.
Source: HistoricAerials.com. Edited by Page & Turnbull.

The southern half of the property was largely undeveloped and by the early 1950s featured a wood fence along its south perimeter. The area to the south of the Burris House was landscaped with shrubs and other plantings, creating a garden space that embraced the caretaker's cottage on its east side and pool house to its south. The Burris House and attached accessory building retained their exterior appearance from earlier periods and appeared to have asphalt shingle covered roofs by the 1950s. The caretaker's cottage featured a side-gabled roof, eave extension at its southwest corner, and was clad with wood siding based upon available historic photographs (**Figure 8**).

¹⁹ According to former resident and owner of the subject property, David Good, the pool house which is currently utilized as a spa facility was constructed ca. 1948 by Burris estate heiress, Leilani Jaeger Welch, and her husband Garry Welch who resided in the Burris House between the late 1940s and late 1960s. No building permits were able to be recovered to confirm the exact year of the pool house's construction.

Page 8 of 14 Resource Name or # (Assigned by recorder) Former Caretaker's at 29 E. MacArthur Street
*Recorded by Page & Turnbull, Inc. *Date October 27, 2017 Continuation Update



Figure 8: 1951 photograph of a Hawaiian luau-inspired party held at the subject property by owners Leilani Burris Welch and Garry Welch. Burris house and adjacent caretaker's cottage (indicated with red arrow) partially pictured in left background with barn and shed-roof addition shown at right background. Source: MacArthur Place Hotel.

By the late 1960s during the final stage of a century-long period of Burris family ownership, the subject property retained a similar spatial arrangement of west and south open spaces and its central core of residential and accessory buildings. The Burris House was situated to the immediate north of a formal garden with shrubs, stone pathways, and mature trees. The house at the time featured a partially enclosed west porch and brick chimneys along the rear façade. The caretaker's cottage to the south of the Burris House does not appear to have undergone alteration between its construction and the 1970s, and potentially as late as the 1990s. The building was situated to the immediate east of the central garden between the 1970s and mid-1990s (**Figure 9 through Figure 11**).



Figure 9: Burris House pictured at far left to the north of central garden area ca. 1970s. Caretaker's cottage (indicated with red arrow) obscured by trees. Photograph courtesy David Good.

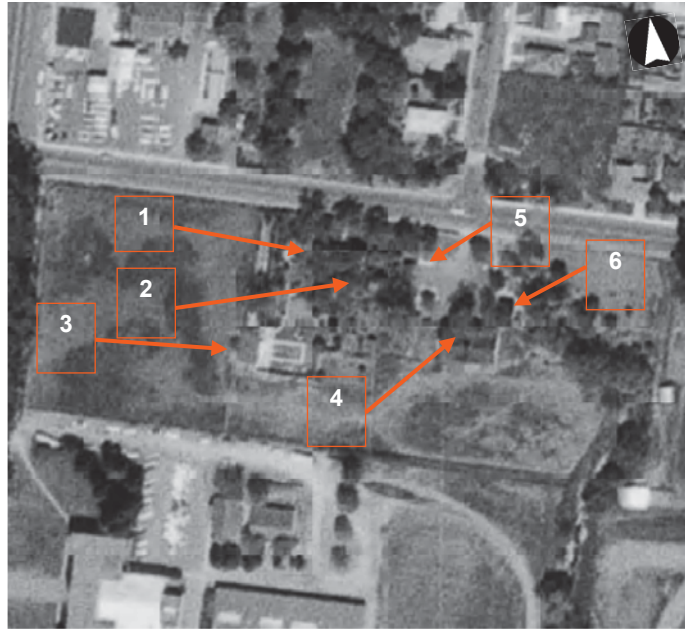


Figure 10: 1968 aerial photograph of subject property. 1) Burriss House 2) caretaker's cottage 3) Pool house and pool 4) Barn 5) Outbuilding 6) Outbuilding. Source: HistoricAerials.com.

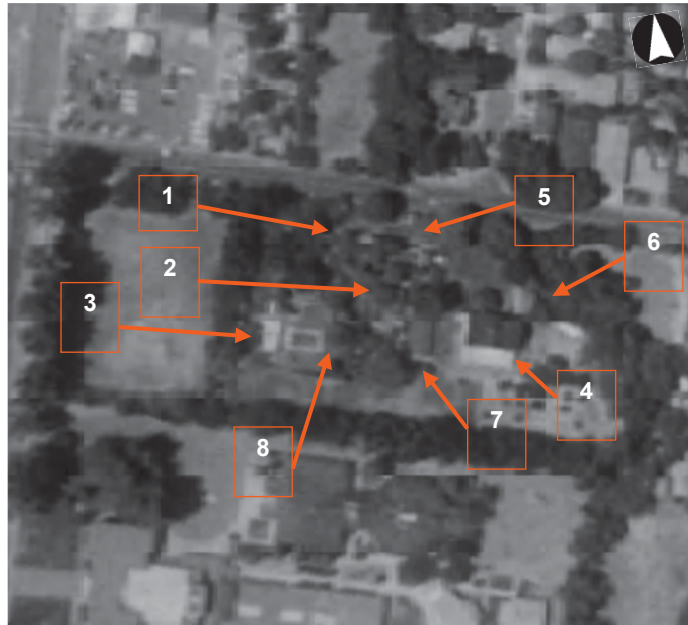


Figure 11: 1993 aerial photograph of subject property. 1) Burriss House 2) Caretaker's Cottage 3) Pool house and pool 4) Barn 5) Outbuilding 6) Outbuilding 7) Garage 8) Tennis court. Source: HistoricAerials.com.

Between 1997 and 1999, the site was redeveloped as the MacArthur Place Hotel. Five existing buildings on the site with varying construction dates were retained for adaptive reuse within what is presently the hotel's 20-building complex. Alterations and additions were added to these buildings between 1997 and 2003 according to permits on file at the Sonoma Planning Department. In 1998, the caretaker's cottage was remodeled for use as a one-room, hotel guest cottage. This included alteration of the primary façade's fenestration while the cottage's original footprint was retained.

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary # _____
 HRI # _____
 Trinomial _____

Page 10 of 14 Resource Name or # (Assigned by recorder) Former Caretaker's at 29 E. MacArthur Street
 *Recorded by Page & Turnbull, Inc. *Date October 27, 2017 Continuation Update

Owner and Occupant History

The following tables summarize the known occupancy of the Burris House at 29 E. MacArthur Street, compiled from U.S. Census Records, city directories, and additional online sources such as obituaries and newspaper articles. Occupants listed as caretakers or relatives of caretakers are presumed to have lived in the caretaker's cottage. Occupants listed as servants, gardeners, or other laborers are not confirmed to have resided in the caretaker's cottage.

Dates of Ownership	Owner
ca. 1869-1904	David Burris
1904-1921	Burris Estate (Executrix, Julia Burris (widow) through 1921)
1921-1971	Burris Estate (Burris' children served as heirs in equal parts). Last owner was Leilani Jaeger Welch, adopted daughter of Frank Burris and wife of Garry Welch.
1971-1987	Howard L. Good
1987-1997	David E. Good, Trustee of Good Family Trust
1997-2002	29 East MacArthur
2002-2017	29 East MacArthur LLC
2017-Present	L'Auberge Sonoma

Dates of Occupancy	Occupant(s)	Occupation
1880	David Burris (head) Julia A. Burris (wife) Mary Burris (daughter) Walter Burris (son) Joshua Burris (son) Edward Burris (son) Alice Burris (daughter) Henry Burris (son) Laura B. Burris (daughter) Frank Burris (son)	Banker, Sonoma Valley Bank None None None None None None None None None
1910	No U.S. Census listing recovered	-
1920	Julia A. Burris (head) Frank M. Burris (son) Jennie Bush (servant) Charles Hill (hired-man)	None Banker, Sonoma Valley Bank Burris family's servant Farm laborer
1930	Frank M. Burris (head) Lillian F. Burris (wife) Leilani J. Burris (adopted daughter) Jesse Burris (cousin) Agnes I. Vandine (servant) Melba F. Van Dine (boarder) Charles Hill (servant)	Branch Manager, Bank None None None Burris family servant None Farm laborer

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary # _____
 HRI # _____
 Trinomial _____

Page 11 of 14 Resource Name or # (Assigned by recorder) Former Caretaker's at 29 E. MacArthur Street
 *Recorded by Page & Turnbull, Inc. *Date October 27, 2017 Continuation Update

Dates of Occupancy	Occupant(s)	Occupation
1940	Frank M. Burris (head) Lillian F. Burris (wife) Leilani J. Burris (adopted daughter) Wingo Yee (lodger)	Banker None None Servant
ca. 1947-ca. 1970	Garry Welch (head) Leilani Jaegar Welch (nee Burris) (wife) Wah Yee (caretaker) Judy Yee (caretaker) Lei Chin (daughter of caretakers) ²⁰	Rancher None Caretaker Caretaker None
1971-ca. 1990s	Mr. Howard Good (head) Mrs. Howard Good (wife) David Good (son)	Import/Export businessman Homemaker Business

Original Owner Biography: David Burris (1849-1904)

David Burris was a Missouri-born farmer turned "Pioneer Capitalist," who was among the most prominent of early American settlers in Sonoma during the city's foundational decades.²¹ The following biographical information is excerpted from David Burris' obituary published on January 6, 1904 in Santa Rosa's, *Press Democrat*.

Few men were better known in this section of the State. His name was prominently connected with the financial and business affairs of Sonoma county for half a century. [...]

David Burris was born in Old Franklin, Cooper County, Missouri, on January 6, 1824. There he received a common school education. In the latter part of the summer of 1846, during the Mexican war, Mr. Burris was engaged in hauling provisions to Mexico from Fort Leavenworth for the United States Army. [...]

In May 1849, the Pleasant Hill Company, of which Mr. Burris and his eldest brother were members [,] crossed the plains to California by what was called the Lawson route. In October of that year the Burris brothers engaged in mining at Bidwell's Bar on Feather River. In the fall of [1850,] David Burris moved to Plumas county where he mined with success. From there he moved to Sonoma county in 1851. In [1852,] he returned to Missouri and in the spring of 1866 started back to California with a big herd of cattle. [...]

In the winter of [1856,] Mr. Burris was located in Napa county and in the fall of 1857 he moved to Tulare county, remaining there in stock raising and trading until 1869, when he again came to Sonoma county, where he resided up to the time of his death. The deceased was one of the founders of the Santa Rosa Bank and of the Sonoma Valley Bank, being the president of the latter bank for many years. He was a big property owner and a very wealthy man.²²

Burris' most significant contribution to Sonoma Valley and within the City of Sonoma was his role in establishing the Santa Valley and Santa Rosa banks in the 1870s. Both banks continued on after Burris' death in 1904 and were led by several members of Burris' family, who sat on the board and held employed positions, including son Frank M., who served as President of Sonoma Valley Bank following his father's death in 1904, and nephew Jesse who served as Cashier contemporaneously.

Evaluation (Significance)

California Register of Historical Resources

The California Register of Historical Resources (California Register) is an inventory of significant architectural, archaeological, and historical resources in the State of California. Resources can be listed in the California Register through a number of methods. State Historical Landmarks and National Register-listed properties are automatically listed in the California Register. Properties can also be nominated to the California Register by local governments, private organizations, or citizens. The evaluative criteria used by the California Register for determining eligibility are closely based on those developed by the National Park Service for the National Register of Historic Places.

²⁰ Noted as living on Burris Estate in Lei Chin Poncia's obituary. "Poncia, Lei Chin," Notice in *Sonoma Index-Tribune*, September 29, 2017.

²¹ See, "Lodge and Church Assist in Rites," *The Press Democrat* (Santa Rosa, CA), January 9, 1904, 5.

²² "Long and Useful Life Has Ended," *The Press Democrat* (Santa Rosa, CA), January 6, 1904, 5.

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary # _____
HRI # _____
Trinomial _____

Page 12 of 14 Resource Name or # (Assigned by recorder) Former Caretaker's at 29 E. MacArthur Street
*Recorded by Page & Turnbull, Inc. *Date October 27, 2017 Continuation Update

In order for a property to be eligible for listing in the California Register, it must be found significant under one or more of the following criteria.

- *Criterion 1 (Events):* Resources that are associated with events that have made a significant contribution to the broad patterns of local or regional history, or the cultural heritage of California or the United States.
- *Criterion 2 (Persons):* Resources that are associated with the lives of persons important to local, California, or national history.
- *Criterion 3 (Architecture):* Resources that embody the distinctive characteristics of a type, period, region, or method of construction, or represent the work of a master, or possess high artistic values.
- *Criterion 4 (Information Potential):* Resources or sites that have yielded or have the potential to yield information important to the prehistory or history of the local area, California, or the nation.

City of Sonoma Municipal Code

Section 19.42.020 of Chapter 19.42 Historic Preservation and Infill in the Historic Zone addresses Designation of a local historic resource or district. The code provides the following criteria:

- *Criterion A.* It is associated with events that have made a significant contribution to Sonoma's history and cultural heritage; or
- *Criterion B.* It is associated with the lives of persons important in Sonoma's past; or
- *Criterion C.* It embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of an important creative individual, or possesses high artistic values; or
- *Criterion D.* It has yielded, or may be likely to yield, information important in Sonoma's prehistory or history."²³

In 2001, the subject property was surveyed as part of a larger historic survey effort for the Nathanson Creek Bicycle Path Project. The Burris House was evaluated for National Register eligibility and determined to be eligible under Criteria B (Persons) and C (Architecture). No other buildings on the property were evaluated for historic significance. The survey noted that the former barn located on the property did not have high historic integrity as of 2001.

Evaluation of Significance

The following section examines the eligibility of the age-eligible buildings within the subject property that have not been previously evaluated for individual listing in the California Register or as Sonoma County Historic Landmarks. The California Register criteria as well as those of the National Register serve as the basis for the criteria for historic evaluation described in the Sonoma Municipal Code. Therefore, the evaluations are combined together, the numerical criteria indicating California Register and the lettered criteria indicating Sonoma County Historic Landmark criteria.

Criterion 1/A (Events)

The caretaker's cottage at 29 E. MacArthur Street does not appear eligible as an individual resource under Criterion 1/A. No events of historic significance to the City of Sonoma, the state, or the nation are known to be directly related to the caretaker's cottage or to have occurred in the caretaker's cottage. The barn does not appear to have existed during the mission period of Sonoma, development of its plaza during the late 19th century, or during the Bear Flag Revolt in 1846.

Criterion 2/B (Persons)

The caretaker's cottage at 29 E. MacArthur Street does not appear eligible as an individual resource under Criterion 2/B. Although the caretaker's cottage was occupied by employees and potentially boarders or members of the Burris family during its existence, the building does not appear to date from the period in which original owner David Burris resided at the property. None of the individuals who are known to have resided in the cottage and served as caretakers or were otherwise employed by the Burris and Good families during the mid-20th century appear to have made a significant impact on the history of the City of Sonoma, the State, or the nation to a degree that merits designation under Criterion 2.

Criterion 3/C (Architecture)

The caretaker's cottage at 29 E. MacArthur Street does not appear eligible as an individual resource under Criterion 3/C. The caretaker's cottage is a vernacular residential building that appears to have been constructed during the early- to mid-20th century,

²³ The Sonoma Municipal Code, Section 19.42.020, Current through Ordinance 03-2017, May 15, 2017. Accessed online. November 13, 2017. <https://www.codepublishing.com/CA/Sonoma/html/Sonoma19/Sonoma1942.html>

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary # _____
HRI # _____
Trinomial _____

Page 13 of 14 Resource Name or # (Assigned by recorder) Former Caretaker's at 29 E. MacArthur Street

*Recorded by Page & Turnbull, Inc.

*Date October 27, 2017 Continuation Update

and was altered in 1998. The building does not appear to be the work of a master designer, nor does it represent an important example of an architectural style, type, period, or method of construction.

Criterion 4/D (Information Potential)

Evaluation of the caretaker's cottage under Criterion 4/D (Information Potential) is beyond the scope of this report. This criterion is generally applied to sites that may provide archeological information.

Subject Property as a Potential Historic District

The MacArthur Place Hotel complex at 29 E. MacArthur Street contains five age-eligible buildings within its 20-building complex. Although four of these buildings bear varying degrees of association to the Burris Estate, which existed between ca. 1869 and 1971 at the same property, the buildings are not well associated with each other chronologically and were built by several different owners, with construction dates that span ca. 1869 to 1948. Additionally, alterations to four of the five buildings have heavily impaired their historic integrity. These aspects concerning the age-eligible buildings combined with redevelopment of the site between 1997 and 2003 do not support the site's continued association with the property owned and resided at by David Burris and his heirs. Therefore, a potential historic district does not appear to be present at 29 E. MacArthur Street.

Conclusion

29 E. MacArthur Street was historically the location of a 47-acre ranch and farm owned by pioneer and prominent Sonoma businessman David Burris. Burris' ranch contained a main house (Burris House), barn (extant with alterations), and several outbuildings such as chicken coops and garden sheds. Burris housed horses and other livestock on his ranch, and maintained gardens, orchards, and vineyards. Between 1869 and 1971, Burris and his heirs retained ownership of the property, gradually conveying parcels of land from the estate which reduced the size of the property over ensuing decades. In 1997, the property was acquired by developer Suzanne Brangham and redeveloped between 1998 and 2003 as the MacArthur Place Hotel. In 2001, the property was surveyed as part of a larger historic survey effort for the Nathanson Creek Bicycle Path Project. The Burris House was evaluated for National Register eligibility and determined to be eligible under Criteria B (Persons) and C (Architecture). No other buildings on the property were evaluated for historic significance. The survey noted that the barn located on the property did not have high historic integrity as of 2001.

Page & Turnbull documented existing site conditions and undertook additional historic research to determine the eligibility of all age-eligible buildings on the subject property for listing in the California Register of Historical Resources and as City of Sonoma local historic resources. None of the four age-eligible buildings, including the former caretaker's cottage, appear eligible for listing in the California Register or as City of Sonoma historic resources. The buildings also do not hold together as a significant grouping of buildings on the site or as a historic district that would be eligible for listing. Therefore, the former caretaker's cottage, does not appear to qualify as a historic resource for the purposes of CEQA review.

***B12. References:**

Published Works

Barrett, Samuel A. *The Ethnography of Pomo and Neighboring Indians*. Berkeley: University of California Press, 1908.

Cerny, Susan Dinkelspiel. *An Architectural Guidebook to San Francisco and the Bay Area*. Layton, UT, Gibbs-Smith: 2007.

California Office of Historic Preservation. *Technical Assistance Series No. 7: How to Nominate a Resource to the California Register of Historical Resources*. Sacramento: California Office of State Publishing, 4 September 2001.

Cook, Sherburne F. "The Conflict Between the California Indian and White Civilization, I: The Indian Versus the Spanish Mission." *Ibero-Americana*, Volume 21. Berkeley, California: 1943.

City of Sonoma. *2020 General Plan Update: Final Environmental Impact Report*. Sonoma, CA: City of Sonoma Planning and Community Services Division, September 2006.

Kelly, Isabel. "Coast Miwok." in *Handbook of the North American Indians*. Robert F. Heizer, editor, Washington, D.C.: Smithsonian Institution, 1978.

Thompson, Robert A. *Historical and Descriptive Sketch of Sonoma County, California*. San Francisco: 1877

Granice, C. Celeste. *Illustrated Atlas of Sonoma County, California. Compiled and Published from Personal Examinations, Official Records and Actual Surveys*, (Santa Rosa, CA: Reynolds & Proctor, 1898).

Munro-Fraser, J.P. *History of Sonoma County including its Geology, Topography, Mountains, Valleys and Streams*, (San Francisco, CA: Alley, Brown & Co., Publishers, 1880).

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary # _____
HRI # _____
Trinomial _____

Page 14 of 14 Resource Name or # (Assigned by recorder) Former Caretaker's at 29 E. MacArthur Street
*Recorded by Page & Turnbull, Inc. *Date October 27, 2017 Continuation Update

Public Records

Deed Books, Sonoma County Recorder's Office, Santa Rosa, CA.

Assessor's Parcel Map. Sonoma County, California.

Newspapers and Periodicals

"Death Claims C. Ackerman." *Petaluma Argus-Courier*. September 11, 1933, 7.

"Local Notes." *Petaluma Argus-Courier*. July 2, 1902, 4.

"Lodge and Church Assist in Rites." *The Press Democrat* (Santa Rosa, CA). January 9, 1904, 5.

"Long and Useful Life Has Ended." *The Press Democrat* (Santa Rosa, CA). January 6, 1904, 5.

"Motored Here From Eureka." *Petaluma Argus-Courier*. October 24, 1913, 1.

"Poncia, Lei Chin." Notice in *Sonoma Index-Tribune*. September 29, 2017.

"Were Wedded at Eureka." *Petaluma Argus-Courier*. January 3, 1906, 1.

Notice mentioning David Burris' barn constructed by O.B. Ackerman. *The Petaluma Courier*, August 17, 1881, 3.

Internet Sources

Thompson, Thomas H. *Map of Sonoma County California*. Oakland, CA: Thomas H. Thompson & Co., 1887.

David Rumsey Map Collection.

The Sonoma Municipal Code, Section 19.42.020, Current through Ordinance 03-2017, May 15, 2017. Accessed online. November 13, 2017. <https://www.codepublishing.com/CA/Sonoma/html/Sonoma19/Sonoma1942.html>

County of Sonoma. "Designation of Historic Landmarks and Districts." Accessed online, October 10, 2017. <http://sonomacounty.ca.gov/PRMD/Planning/Historic-Resources/Criteria-for-Designation-of-Historic-Landmarks/>.

"History of Sonoma." City of Sonoma Website. Accessed October 2, 2017. <http://www.sonomacity.org/Community/About-Sonoma/History-Of-Sonoma.aspx>.

Other Sources

California Office of Historic Preservation. Directory of Properties in the Historic Property Data File for Sonoma County, updated March 15, 2011. California Historic Resource Information System, Northwest Information Center, Rohnert Park, CA.

State of California Department of Parks and Recreation, Primary Record 49-004759, prepared May 31, 1978. Provided to Page & Turnbull by Northwest Information Center, Sonoma State University, Rohnert Park, CA November 6, 2017.

State of California Department of Parks and Recreation, Primary Record 49-004759, HRI 5476-0234-0000, February 6, 2001. Provided to Page & Turnbull by Northwest Information Center, Sonoma State University, Rohnert Park, CA November 6, 2017.

JRN Civil Engineers. ALTA/NSPS Land Title Survey. March 21, 2016.

David Burris-Biographical Timeline, account provided by Ann Burris. Source provided to Page & Turnbull courtesy MacArthur Place Hotel.

California Office of Historic Preservation, *Technical Assistance Series No. 7: How to Nominate a Resource to the California Register of Historical Resources* (Sacramento: California Office of State Publishing, September 4, 2001).

State of California — The Resources Agency
 DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # _____
 HRI # _____
 Trinomial _____
 NRHP Status Code 6Z

Other Listings _____
 Review Code _____ Reviewer _____ Date _____

Page 1 of 15 Resource name(s) or number (assigned by recorder) Former Garage at 29 E. MacArthur Street

P1. Other Identifier:

*P2. Location: Not for Publication Unrestricted

*a. County Sonoma

*b. USGS 7.5' Quad for Sonoma, CA

Date 2015

*c. Address 29 E. MacArthur Street

City Sonoma

Zip 94576

*e. Other Locational Data: 1280-9100-500 (29 E. MacArthur Street) and 1280-8100-200 (20000 Broadway)

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

The former garage building was constructed in 1975 for former owner Howard Good and used for the storage of up to eight automobiles (P5a.). The vernacular building originally featured overhanging eaves, wood channel siding, and simple wood trim throughout the exterior. As of 2017, portions of the building remain visible along the north, south, and west façades, but the majority of the building was heavily altered in 1998 and 2000 to accommodate its current use as the MacArthur Place Hotel's reception and library building. The building currently features a C-shaped plan comprised of a west gable roofed volume with several cross-gables along its west façade; a south gable roofed volume that runs perpendicular to the southernmost portion west volume; and a north addition volume that is attached to the east wall of the west volume at its north end. The former garage building is located to the immediate southwest of the west parking lot and entrance off of MacArthur Street (Figure 1).

(See Continuation Sheets)

*P3b. Resource Attributes: (list attributes and codes) HP5. Hotel/Motel

*P4. Resources Present: Building Structure Object Site District Element of District Other

P5a. Photo



P5b. Photo: (view and date)

View of south façade of former garage building. Looking northeast. October 27, 2017.

*P6. Date Constructed/Age and Sources:

Historic Prehistoric Both

1975. Interview with former property owner on October 27, 2017. Confirmed with historic aerial photography.

*P7. Owner and Address:

L'Auberge de Sonoma, LLC
 7001 N. Scottsdale Road, Suite 2050
 Scottsdale, AZ 85253

*P8. Recorded by:

Page & Turnbull, Inc.
 417 Montgomery Street, 8th Floor
 San Francisco, CA 94104

*P9. Date Recorded:

October 20 and October 27, 2017

*P10. Survey Type: Intensive

*P11. Report Citation: Page & Turnbull, Historic Resource Evaluation, Draft: 29 E. MacArthur Street, Sonoma, CA, 2017.

*Attachments: None Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record
 Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record
 Artifact Record Photograph Record Other (list)



Figure 1: 3-D aerial imagery of former garage/carpport. Orange line indicates approximate footprint of original building. Source: Google Earth Pro, 2017.

The main hotel reception lobby is housed within the eastern half of the building that was constructed in 1999. This portion of the building is capped with a hipped roof with a gabled extension that projects northward. Steel double doors with full plate glazing provide entry at the northeast corner of the building. Square, wood columns support the overhanging eave above forming a partially covered entry. Two sets of replacement, one-over-one wood double-windows are placed to the west of the entry door (**Figure 2**). To the west of the entry area, the original gable-roofed volume of the garage is present and features two similar replacement wood windows. The eave above this portion of the facade overhangs the building and is supported by exposed rafters (**Figure 3**). Along the east façade, all portions of the building date from 1999, including outdoor deck placed directly adjacent to the east face and between the north and south addition volumes of the building (**Figure 5**). Along the south façade, the eastern half of building features a gabled roof with a cross-gable at its west end and a dormer window centered above the entrance. The hotel's library is housed within this portion of the building (**Figure 5 and Figure 6**). Along the west façade, the original garage bay is present at the southwest corner of the building. Further northward, the building has been renovated and adapted to new use as an office space (**Figure 7 through Figure 9**).



Figure 2: North facade of former garage. Looking southwest.



Figure 3: Gable-roofed volume original to former garage building. Looking south.



Figure 4: East facade of garage building with outdoor deck. Looking west.



Figure 5: South facade of former garage building. Library addition added in 1999. Looking north.



Figure 6: Library addition viewed from adjacent path. Looking northwest.



Figure 7: Original garage bay at southwest end of former garage building. Looking north.



Figure 8: Interior bay of former garage building. Looking west.



Figure 9: West facade of former garage building. Looking northeast.

BUILDING, STRUCTURE, AND OBJECT RECORD

Page 4 of 15

*NRHP Status Code 6Z

*Resource Name or # Former Garage at 29 E. MacArthur Street

B1. Historic name: Garage at 29 E. MacArthur Street

B2. Common name: Former Garage at 29 E. MacArthur Street

B3. Original Use: Barn B4. Present use: Hotel Reception and Library Building

*B5. Architectural Style: Vernacular influence

*B6. Construction History: (Construction date, alterations, and date of alterations)

The former garage at the 29. E MacArthur Street was constructed in 1975 by property owner Howard Good for automobile storage. The garage underwent several alterations in 1999 to accommodate a reception lobby and hotel staff offices, as well as a library for hotel guests. The building's original rectangular footprint was expanded to its current C-shaped form with outdoor deck along the east façade.

*B7. Moved? No Yes Unknown Date: N/A Original Location: N/A

*B8. Related Features: The Burris House (ca. 1869), barn (1881), former caretaker's cottage (ca. 1920s/1930s), pool house (1948). The barn, caretaker's cottage, and pool house were constructed by/for David Burris or his heirs. The garage building was constructed by owner, Howard Good in 1975 following purchase of the property from the Burris' heirs in 1971. The Burris House is located within MacArthur Place Hotel and Spa complex which contains 20 buildings, 15 of which were constructed between 1998 and 2000 and are not age-eligible.

B9a. Architect: N/A B9b. Builder: N/A

*B10. Significance: Theme significance _____ Area _____
Period of Significance N/A Property Type Hotel Applicable Criteria Not Eligible

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity)

(See Continuation Sheet)

B11. Additional Resource Attributes: (List attributes and codes)

*B12. References: See footnotes and bibliography

B13. Remarks: None.

*B14. Evaluator: Page & Turnbull, Inc.

*Date of Evaluation: October 27, 2017

(This space reserved for official comments.)



USGS 7.5' Quad for Sonoma, CA, 2015

Page 5 of 15 Resource Name or # (Assigned by recorder) Former garage at 29 E. MacArthur Street
*Recorded by Page & Turnbull, Inc. *Date October 27, 2017 Continuation Update

B10. Significance (continued):

Prehistory

Sonoma Valley was once occupied by Coast Miwok and Patwin peoples, and most authorities consider the Coast Miwok to have been the dominant tribe.¹ The Coast Miwok territory was centered in Marin and Sonoma counties and encompassed an area spanning approximately 1,400 square miles. The modern City of Sonoma falls within the northeastern portion of Coast Miwok territory, which was centered in Marin and Sonoma counties, and the area surrounding Sonoma's central plaza is near the location of the ancient Coast Miwok village of Huchi.²

Hispanic Period

In the mid-eighteenth century, Spanish explorers and missionaries arrived in Sonoma Valley. During the latter half of the eighteenth century and the early nineteenth century, Spain reinforced its claim to Alta California by encouraging the establishment of a chain of Franciscan missions along the coast and inland valleys from San Diego north to the Golden Gate. The Spanish Viceroy ultimately decided to build missions in the region north of the Golden Gate, provoked by the establishment of a Russian fur trading and farming settlement at Fort Ross, in present-day Sonoma County in 1812.³ In 1823, Father Jose Altimira devised a plan to found a new mission north of the Golden Gate. Altimira and his men sailed across San Pablo Bay and rowed up the Sonoma River to the site of the present-day City of Sonoma. Impressed with the fecund soil of the well-watered and oak-studded plain, Altimira selected this location for California's last mission—and the only one established during Mexican rule, which had begun in 1821. On 4 July 1823, Father Altimira officially founded Mission San Francisco Solano de Sonoma, naming it after St. Francis Solano, a missionary to the Peruvian Indians. Within a few years, approximately 1,300 Indians lived at the *rancheria* adjacent to the mission. In 1826, a bloody neophyte revolt broke out, which resulted in the complete destruction of the first mission complex and Father Altimira's departure from Sonoma.⁴

Although Mission San Francisco Solano de Sonoma was rebuilt in 1827, it did not survive for much longer. In 1834, Governor José Figueroa issued a proclamation ordering the secularization of the California missions. Although enacted to benefit the Indians, the act was in actuality, little more than a badly disguised land grab. After secularization, Figueroa appointed the young Commandante Mariano Guadalupe Vallejo as the *mayordomo* of Mission Sonoma. In addition to disposing of mission lands, Vallejo was also charged with building a presidio, or military settlement, at Sonoma.⁵ In 1835, with assistance from Captain William A. Richardson, he laid out the Pueblo de Sonoma according to the *Laws of the Indies*, a set of guidelines used to lay out most Spanish settlements in the New World. Vallejo centered the pueblo on an eight-acre plaza southwest of Mission Sonoma. He then laid out a grid of wide streets around the plaza. This street pattern was codified in the O'Farrell-Huspeh survey of 1847 and survives today. Each block contained four lots, or *solares*. Each *solar* measured 100 x 100 *varas* (275' x 275') square. Vallejo also constructed a two-story adobe barracks, a three-story lookout tower on the north side of the Plaza, and a sumptuous adobe *palacio* for himself.⁶ From 1835 to 1839, Sonoma grew quite slowly, populated almost exclusively by soldiers who had decided to stay after finishing their duty at the garrison. Vallejo worked hard to encourage Mexican settlers to come to the remote frontier settlement, convinced that the settlement would eventually become the center of Mexican power in Alta California.⁷

American Period

Few Americans or other foreigners lived in Sonoma during the period of Mexican rule. This began to change quickly during the early 1840s, as Americans began making their way overland to California. Even heavily Mexican towns like Sonoma underwent a dramatic change in demographics as hundreds of American settlers began ranching and starting businesses in town. Several of the more prominent English-speaking settlers in Sonoma included Jacob P. Leese, John Fitch, James Cooper, John Wilson, and Mark West.⁸ Vallejo was sympathetic to the American settlers, but the Mexican government wanted the intruders expelled. Their suspicion of American intent to claim this land was well founded: beginning in 1845, Army Topographical Service lieutenant John C. Fremont, who was stationed in Sacramento on a mapmaking mission, began to encourage settlers to rebel against Mexican rule.⁹ Under Fremont's self-decreed instructions, a party of men rode from Sutter's Fort to Sonoma, seized the town, arrested Vallejo, and on June 14, 1846 declared a California Republic. This revolt ushered in the short-lived independent Bear Flag

¹ Alfred L. Kroeber, "Some New Group Boundaries in Central California," *University of California Publications in American Archaeology and Ethnography*, Volume 47, Number 2 (Berkeley, California: 1957).

² Samuel A. Barrett, *The Ethnography of Pomo and Neighboring Indians*, (Berkeley: University of California Press, 1908); and, Isabel Kelly, "Coast Miwok," in *Handbook of the North American Indians*, Robert F. Heizer, editor, (Washington, D.C.: Smithsonian Institution, 1978).

³ Robert A. Thompson, *Historical and Descriptive Sketch of Sonoma County, California* (San Francisco: 1877), 9.

⁴ *Ibid.*, 10.

⁵ *Ibid.*, 191.

⁶ Ernest L. Finley, *History of Sonoma County, California: Its People and Its Resources* (Santa Rosa, California: Press Democrat Publishing Company, 1937), 192.

⁷ *Ibid.*, 195.

⁸ Thompson, 12.

⁹ "The Bear Flag Revolt", published online by the Sonoma Valley Visitors Bureau, accessed at <http://www.sonomavalley.com/sonoma-bear-flag-republic.html> on August 13, 2014.

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary # _____
HRI # _____
Trinomial _____

Page 6 of 15 Resource Name or # (Assigned by recorder) Former garage at 29 E. MacArthur Street
*Recorded by Page & Turnbull, Inc. *Date October 27, 2017 Continuation Update

Republic and paved the way for California's accession to the United States less than a month later. Vallejo was released soon afterwards. The following week, Californians learned that the United States had declared war on Mexico. Two years later, when the Spanish-American War ended in the treaty of Guadalupe Hidalgo, California and the rest of the Southwest were ceded by Mexico to the United States.

Following Statehood in 1850, Sonoma saw gradually development around its plaza. General Vallejo maintained holdings north of the plaza, was elected a state senator, and lobbied to maintain Sonoma as the county seat; however, Santa Rosa won the honor in 1854. With U.S. rule came the appropriation of many land holdings, and Vallejo lost most of his land which once amount to seven million acres. In 1875, David Burris founded the Sonoma Valley Bank, an institution he presided over until his death in 1904 (Figure 10). Burris, who owned a large 40-plus-acre tract five-blocks south of the Plaza, and additional land outside of Sonoma County, joined several farmers on the outskirts of the former mission town, while the bulk of commercial development concentrated in the two blocks surrounding the plaza. The town appeared to be extended beyond its early mission core by the 1870s as indicated on Thomas H. Thompson's Map of Sonoma County, California, published in 1877.

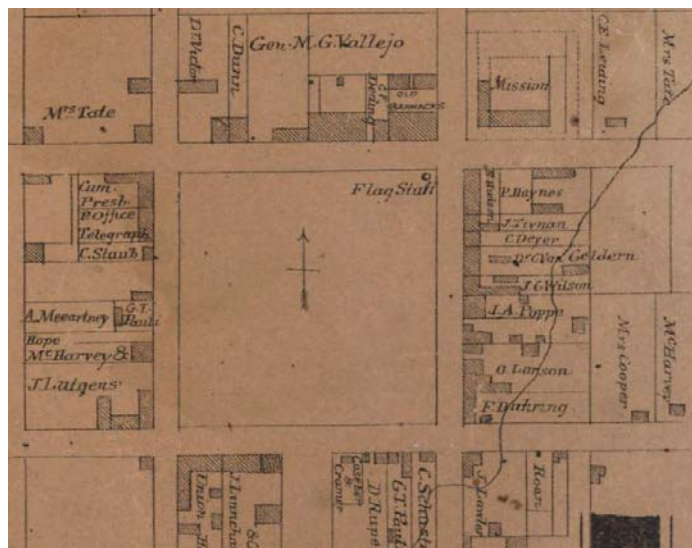


Figure 10: The nascent downtown district of "Sonoma City" ca. 1866 as depicted on A.B. Bowers', *Map of Sonoma County, California, 1866*.

The City of Sonoma was incorporated in 1883.¹⁰ Regarding Sonoma's development in the late 19th century, architectural historian Susan Dinkelspiel Cerny wrote, "Shortly after statehood, dairies, fruit farming, wine, and basalt quarrying became important local industries. Resorts sprang up at the sites of natural hot springs north of town. After the train arrived in 1879, Feters Hot Springs, Boyes Hot Springs, and Aqua Caliente catered to tourists on a large scale."¹¹ By the turn of the 20th century, the City of Sonoma continued to evolve from its early pueblo form and saw its plaza and immediate surrounding blocks emerge as a center for local commerce that brought local agricultural products and merchants together. As noted in Reynolds & Proctor's *Illustrated Atlas of Sonoma County*, published in 1898, "Surrounding the plaza or square—which has been planted with ornamental shrubs and shade trees—is the business portion of the city. Many of the business blocks are imposing brick or stone structures, while others are adobes—built by the earlier residents. Of mercantile establishments the town has a full quota."¹² The region attracted many visitors to resorts that touted the benefits of natural hot springs. California's wine industry, which was first established in the nineteenth century at Mission Sonoma, surged during the twentieth century, and the City of Sonoma has become well-known for its wine and picturesque setting.¹³ The City continues to be a popular destination for tourists from the Bay Area and around the world.

Site Development History

¹⁰ "History," published online by the City of Sonoma, accessed at <http://www.sonomacity.org/default.aspx?PagelD=3> on August 13, 2014.

¹¹ Susan Dinkelspiel Cerny, *An Architectural Guidebook to San Francisco and the Bay Area*, (Salt Lake City, UT: Gibbs Smith, 2007), 441.

¹² C. Celeste Granice, *Illustrated Atlas of Sonoma County, California. Compiled and Published from Personal Examinations, Official Records and Actual Surveys*, (Santa Rosa, CA: Reynolds & Proctor, 1898), 46.

¹³ "Recent History," published online by the Sonoma Valley Visitors Bureau, accessed at <http://www.sonomavalley.com/index.php/Table/Recent-history/> on August 13, 2014.

State of California — The Resources Agency
 DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary # _____
 HRI # _____
 Trinomial _____

Page 7 of 15 Resource Name or # (Assigned by recorder) Former garage at 29 E. MacArthur Street
 *Recorded by Page & Turnbull, Inc. *Date October 27, 2017 Continuation Update

Between 1852 and 1856, David Burris, a Missouri farmer who transported freight for the United States Army during the Mexican-American War and prospected during the California Gold Rush, briefly settled in nascent Sonoma prior to returning to Missouri.¹⁴ Burris spent the majority of the following decade ranching and living in various areas between Tulare and Sonoma counties, where he acquired hundreds of acres of land outside of the town of Sonoma. He returned to Sonoma with his family in 1869, and appears to have purchased a roughly 47-acre tract in Sonoma centered on present-day Broadway and MacArthur Streets.¹⁵ Burris used the property as ranching land and pasture for livestock he owned, while also maintaining orchards, gardens, and vineyards within the tract. When Burris died in 1904, his widow, Julia, published an advertisement in the *San Francisco Chronicle* which listed, “100 mares with mule colts; 100 horses. 1 and 2 year olds; 70 head mules,” as available for sale in Sonoma, CA, providing an estimation for the number of animals Burris and his family retained at their Sonoma property.¹⁶ Burris resided in the house that remains extant between 1869 and his death in 1904, while members of his immediate and extended family lived in the home through the 1960s. The Burris House, a two-story Italianate-Victorian villa, appears to have been occupied by Burris and his family by 1870 based upon that year’s U.S. Census. In 1881, Burris commissioned the construction of “the most conveniently built barn in the county,” as described in *The Petaluma Courier*, to O.B. Ackerman, a Sonoma County-based builder-contractor.¹⁷ Deed research conducted at the Sonoma County Recorder’s Office reveals that the core of the estate was a roughly 47-acre tract bounded by Broadway (west), 3rd Street East (east), MacArthur Street (historically Germany Street, north), and Denmark Street (south) (Figure 5).¹⁸ Over the course of the 20th century, Burris’ estate conveyed several multi-acre parcels from the main tract, reducing its size gradually. In 1921, a 12-acre portion of the 46-acre tract was conveyed by the Burris Estate to Sonoma Valley Union High School (SVUHS) which was followed by an additional conveyance of a six-acre and a 14-acre parcel to SVUHS in 1950, reducing the size of the tract to approximately 14-to-15 acres. Available Sanborn fire insurance surveys of Sonoma did not record the Burris property prior to 1923. The 1923 Sanborn map recorded the Burris House and a non-extant garage to the east of Nathanson Creek on the Burris Estate, but did not record buildings further south or southeast within the Burris Estate (Figure 12). The map did not survey the portion of the property which contained the barn (Figure 6).

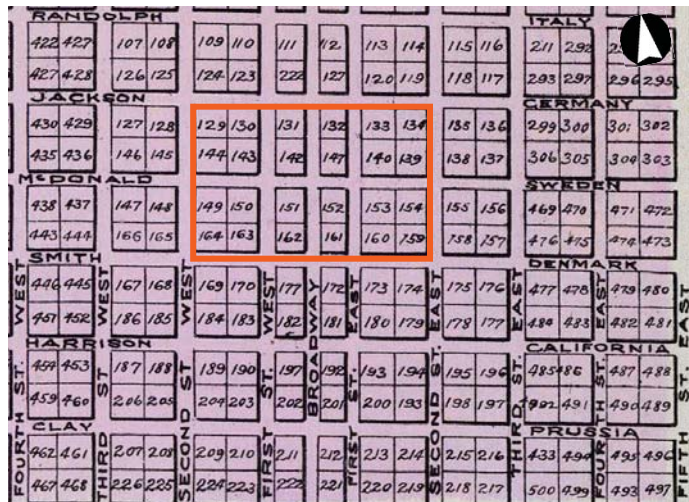


Figure 11: Parcels and portions of streets within the 46-acre Burris Family Estate as of 1921 are grouped by orange rectangle. Parcels recorded on Reynolds and Proctor’s *Illustrated Atlas of Sonoma County California*, published in 1898. Source: David Rumsey Map Collection. Edited by Page & Turnbull.

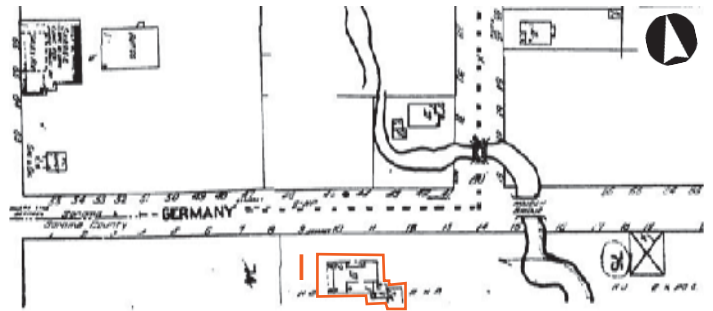


Figure 12: 1923 Sanborn fire insurance survey. Map shows 1) Burris House (outlined in orange). Source: Sonoma Valley Historical Society. Edited by Page & Turnbull.

The setting of the immediate area surrounding the Burris Estate gradually changed throughout the early 20th century as residential and commercial development extended southward along Broadway toward MacArthur Street, and as the SVUHS complex to the

¹⁴ Ann Burris, Biographical account of David Burris. Provided to Page & Turnbull courtesy MacArthur Place Hotel. See also, J.P. Munro-Fraser, *History of Sonoma County including its Geology, Topography, Mountains, Valleys and Streams*, (San Francisco, CA: Alley, Brown & Co., Publishers, 1880), 670-673.

¹⁵ “Horses and Wagons,” *San Francisco Chronicle*, June 2, 1904, 12.
¹⁷ *The Petaluma Courier*, August 17, 1881, 3.

¹⁸ See Deed Book 397, page 107-108, May 31, 1921, Sonoma County Recorder’s Office, Santa Rosa, CA. This deed records the conveyance of the Burris Estate from Executor, Jesse Burris, to Marian Franklin Burris. The document lists parcels within the Burris Estate.

Page 8 of 15 Resource Name or # (Assigned by recorder) Former garage at 29 E. MacArthur Street
*Recorded by Page & Turnbull, Inc. *Date October 27, 2017 Continuation Update

immediate south along Broadway Street was built up after 1921. By the late 1940s, the Burris Estate remained a largely open tract of land bounded to the south by SVUHS, to the west by Broadway, to the north by MacArthur, and to the east by 3rd Street East. All buildings within the subject property were concentrated toward the east-west center of the tract, and placed near MacArthur Street and Nathanson Creek, which roughly bisected the property. The western third of the property was bordered by mature trees along MacArthur Street and Broadway, and appears to have been an open lawn or horse pasture area. A caretaker's cottage has been present at the site since at least the 1940s, but may have been constructed earlier in the twentieth century as the Burris family employed servants according to available U.S. Census data. Along with the Burris House, 1881 barn, and caretaker's cottage, pool house (then under construction), and additional outbuildings were shown on aerial photography of site form 1948 (Figure 13).¹⁹

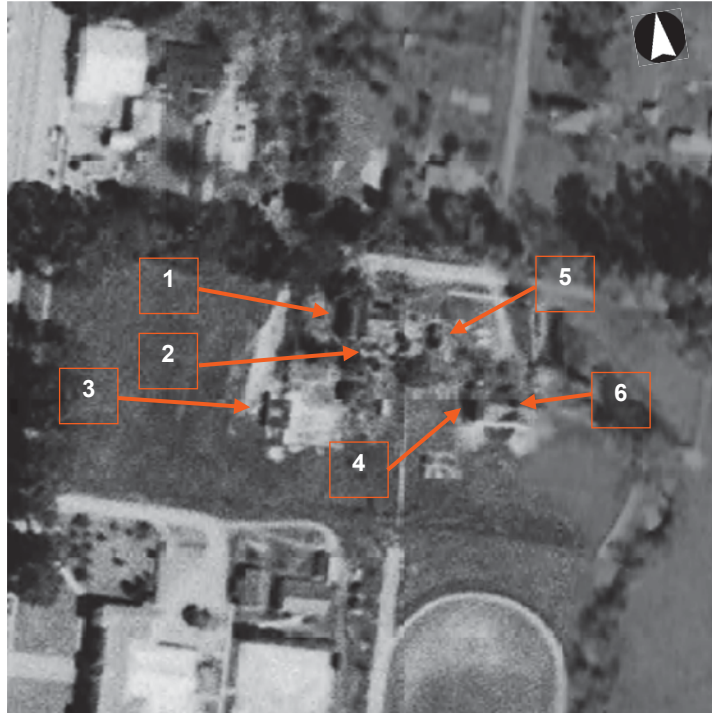


Figure 13: 1948 aerial photograph of subject property. 1) Burris House 2) caretaker's cottage 3) possible pool house under construction 4) Barn 5) Outbuilding 6) Outbuilding.
Source: HistoricAerials.com. Edited by Page & Turnbull.

The southern half of the property was largely undeveloped and by the early 1950s featured a wood fence along its south perimeter. The area to the south of the Burris House was landscaped with shrubs and other plantings, creating a garden space that embraced the caretaker's cottage on its east side and pool house to its south. The Burris House and attached accessory building retained their exterior appearance from earlier periods and appeared to have asphalt shingle covered roofs by the 1950s (Figure 14).

¹⁹ According to former resident and owner of the subject property, David Good, the pool house which is currently utilized as a spa facility was constructed ca. 1948 by Burris estate heiress, Leilani Jaeger Welch, and her husband Garry Welch who resided in the Burris House between the late 1940s and late 1960s. No building permits were able to be recovered to confirm the exact year of the pool house's construction.

Page 9 of 15 Resource Name or # (Assigned by recorder) Former garage at 29 E. MacArthur Street
*Recorded by Page & Turnbull, Inc. *Date October 27, 2017 Continuation Update



Figure 14: 1951 photograph of a Hawaiian luau-inspired party held at the subject property by owners Leilani Burris Welch and Garry Welch. Burris house and adjacent caretaker's cottage partially pictured in left background with barn and shed-roof addition shown at right background. Source: MacArthur Place Hotel.

By the late 1960s during the final stage of a century-long period of Burris family ownership, the subject property retained a similar spatial arrangement of west and south open spaces and its central core of residential and accessory buildings (). In 1974 and 1975, owner Howard Good added a paddle tennis court and the former garage building for automobile storage; each to the west of the barn. The former garage was placed directly north of the non-extant tennis court and featured a gable roof with overhanging eaves and a vent in the gable ends. The garage was clad with wood channel siding. These features remained present through the late 1990s (Figure 15 through Figure 17).

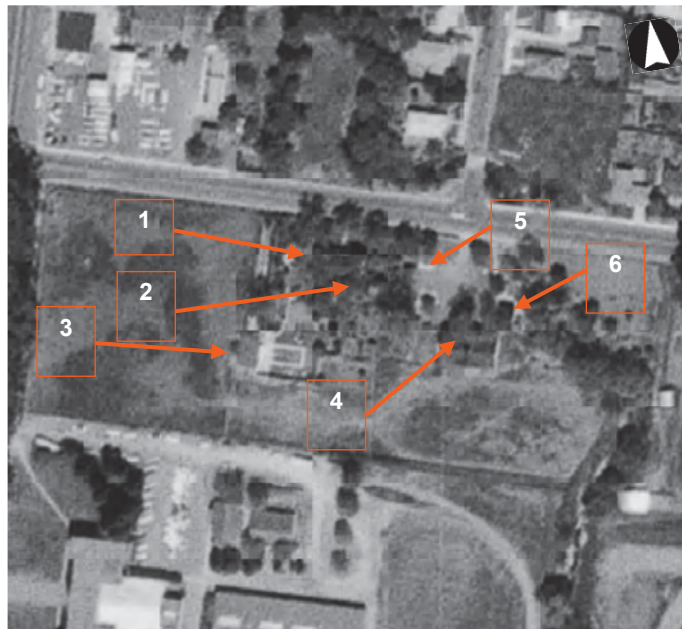


Figure 15: 1968 aerial photograph of subject property. 1) Burris House 2) caretaker's cottage 3) Pool house and pool 4) Barn 5) Outbuilding 6) Outbuilding. Source: HistoricAerials.com.

Page 10 of 15 Resource Name or # (Assigned by recorder) Former garage at 29 E. MacArthur Street
*Recorded by Page & Turnbull, Inc. *Date October 27, 2017 Continuation Update



Figure 16: Garage and barn viewed from non-existent paddle tennis court in the mid-to late-1970s. Photograph courtesy David Good.

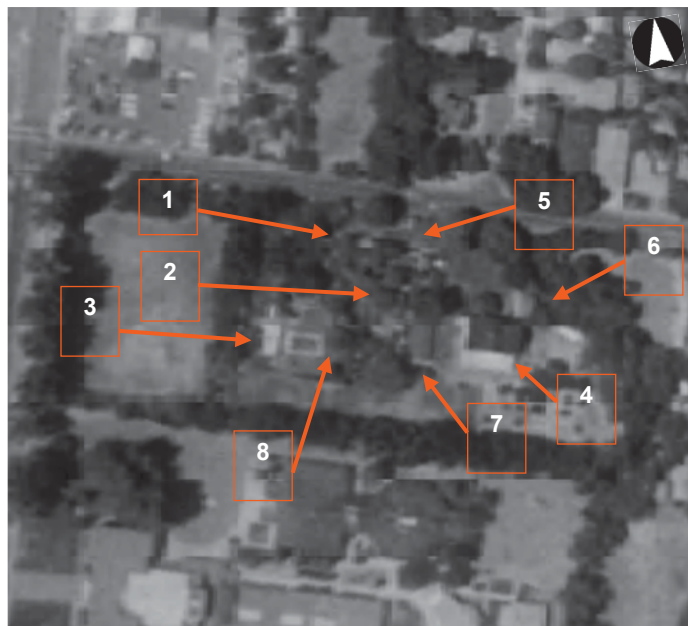


Figure 17: 1993 aerial photograph of subject property. 1) Burris House 2) Caretaker's Cottage 3) Pool house and pool 4) Barn 5) Outbuilding 6) Outbuilding 7) Garage 8) Tennis court.
Source: HistoricAerials.com.

Between 1997 and 1999, the site was redeveloped as the MacArthur Place Hotel. Five existing buildings on the site with varying construction dates were retained for adaptive reuse within what is presently the hotel's 20-building complex. Alterations and additions were added to these buildings between 1997 and 2003 according to permits on file at the Sonoma Planning Department.

**State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET**

Primary # _____
HRI # _____
Trinomial _____

Page 11 of 15 Resource Name or # (Assigned by recorder) Former garage at 29 E. MacArthur Street
*Recorded by Page & Turnbull, Inc. *Date October 27, 2017 Continuation Update

Over the fall and winter of 1997, grading and foundations were permitted for several buildings, but construction appears to have focused on alterations to existing buildings in 1997, 1998, and 1999 before shifting to new cottage construction in 2000. In 1998, the garage was permitted to be converted to office use while the pool and pool house were renovated and altered for use as a spa facility. In 1999, an additional expansion of office space at the former garage was completed.

Owner and Occupant History

The following tables summarize the known occupancy of the Burris House at 29 E. MacArthur Street, compiled from U.S. Census Records, city directories, and additional online sources such as obituaries and newspaper articles. Occupants listed as caretakers or relatives of caretakers are presumed to have lived in the caretaker's cottage. Occupants listed as servants, gardeners, or other laborers are not confirmed to have resided in the caretaker's cottage.

Dates of Ownership	Owner
ca. 1869-1904	David Burris
1904-1921	Burris Estate (Executrix, Julia Burris (widow) through 1921)
1921-1971	Burris Estate (Burris' children served as heirs in equal parts). Last owner was Leilani Jaeger Welch, adopted daughter of Frank Burris and wife of Garry Welch.
1971-1987	Howard L. Good
1987-1997	David E. Good, Trustee of Good Family Trust
1997-2002	29 East MacArthur
2002-2017	29 East MacArthur LLC
2017-Present	L'Auberge de Sonoma LLC

Dates of Occupancy	Occupant(s)	Occupation
1880	David Burris (head) Julia A. Burris (wife) Mary Burris (daughter) Walter Burris (son) Joshua Burris (son) Edward Burris (son) Alice Burris (daughter) Henry Burris (son) Laura B. Burris (daughter) Frank Burris (son)	Banker, Sonoma Valley Bank None None None None None None None None None
1910	No U.S. Census listing recovered	-
1920	Julia A. Burris (head) Frank M. Burris (son) Jennie Bush (servant) Charles Hill (hired-man)	None Banker, Sonoma Valley Bank Burris family's servant Farm laborer
1930	Frank M. Burris (head) Lillian F. Burris (wife) Leilani J. Burris (adopted daughter) Jesse Burris (cousin) Agnes I. Vandine (servant) Melba F. Van Dine (boarder) Charles Hill (servant)	Branch Manager, Bank None None None Burris family servant None Farm laborer
1940	Frank M. Burris (head) Lillian F. Burris (wife) Leilani J. Burris (adopted daughter) Wingo Yee (lodger)	Banker None None Servant

**State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET**

Primary # _____
HRI # _____
Trinomial _____

Page 12 of 15 Resource Name or # (Assigned by recorder) Former garage at 29 E. MacArthur Street
*Recorded by Page & Turnbull, Inc. *Date October 27, 2017 Continuation Update

Dates of Occupancy	Occupant(s)	Occupation
ca. 1947-ca. 1970	Garry Welch (head) Leilani Jaegar Welch (nee Burris) (wife) Wah Yee (caretaker) Judy Yee (caretaker) Lei Chin (daughter of caretakers) ²⁰	Rancher None Caretaker Caretaker None
1971-ca. 1990s	Mr. Howard Good (head) Mrs. Howard Good (wife) David Good (son)	Import/Export businessman Homemaker Business

Original Owner Biography: David Burris (1849-1904)

David Burris was a Missouri-born farmer turned "Pioneer Capitalist," who was among the most prominent of early American settlers in Sonoma during the city's foundational decades.²¹ The following biographical information is excerpted from David Burris' obituary published on January 6, 1904 in Santa Rosa's, *Press Democrat*.

Few men were better known in this section of the State. His name was prominently connected with the financial and business affairs of Sonoma county for half a century. [...]

David Burris was born in Old Franklin, Cooper County, Missouri, on January 6, 1824. There he received a common school education. In the latter part of the summer of 1846, during the Mexican war, Mr. Burris was engaged in hauling provisions to Mexico from Fort Leavenworth for the United States Army. [...]

In May 1849, the Pleasant Hill Company, of which Mr. Burris and his eldest brother were members [,] crossed the plains to California by what was called the Lawson route. In October of that year the Burris brothers engaged in mining at Bidwell's Bar on Feather River. In the fall of [1850,] David Burris moved to Plumas county where he mined with success. From there he moved to Sonoma county in 1851. In [1852,] he returned to Missouri and in the spring of 1866 started back to California with a big herd of cattle. [...]

In the winter of [1856,] Mr. Burris was located in Napa county and in the fall of 1857 he moved to Tulare county, remaining there in stock raising and trading until 1869, when he again came to Sonoma county, where he resided up to the time of his death. The deceased was one of the founders of the Santa Rosa Bank and of the Sonoma Valley Bank, being the president of the latter bank for many years. He was a big property owner and a very wealthy man.²²

Burris' most significant contribution to Sonoma Valley and within the City of Sonoma was his role in establishing the Santa Valley and Santa Rosa banks in the 1870s. Both banks continued on after Burris' death in 1904 and were led by several members of Burris' family, who sat on the board and held employed positions, including son Frank M., who served as President of Sonoma Valley Bank following his father's death in 1904, and nephew Jesse who served as Cashier contemporaneously.

Evaluation (Significance)

California Register of Historical Resources

The California Register of Historical Resources (California Register) is an inventory of significant architectural, archaeological, and historical resources in the State of California. Resources can be listed in the California Register through a number of methods. State Historical Landmarks and National Register-listed properties are automatically listed in the California Register. Properties can also be nominated to the California Register by local governments, private organizations, or citizens. The evaluative criteria used by the California Register for determining eligibility are closely based on those developed by the National Park Service for the National Register of Historic Places.

In order for a property to be eligible for listing in the California Register, it must be found significant under one or more of the following criteria.

- *Criterion 1 (Events):* Resources that are associated with events that have made a significant contribution to the broad patterns of local or regional history, or the cultural heritage of California or the United States.

²⁰ Noted as living on Burris Estate in Lei Chin Poncia's obituary. "Poncia, Lei Chin," Notice in *Sonoma Index-Tribune*, September 29, 2017.

²¹ See, "Lodge and Church Assist in Rites," *The Press Democrat* (Santa Rosa, CA), January 9, 1094, 5.

²² "Long and Useful Life Has Ended," *The Press Democrat* (Santa Rosa, CA), January 6, 1904, 5.

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary # _____
HRI # _____
Trinomial _____

Page 13 of 15 Resource Name or # (Assigned by recorder) Former garage at 29 E. MacArthur Street
*Recorded by Page & Turnbull, Inc. *Date October 27, 2017 Continuation Update

- *Criterion 2 (Persons):* Resources that are associated with the lives of persons important to local, California, or national history.
- *Criterion 3 (Architecture):* Resources that embody the distinctive characteristics of a type, period, region, or method of construction, or represent the work of a master, or possess high artistic values.
- *Criterion 4 (Information Potential):* Resources or sites that have yielded or have the potential to yield information important to the prehistory or history of the local area, California, or the nation.

City of Sonoma Municipal Code

Section 19.42.020 of Chapter 19.42 Historic Preservation and Infill in the Historic Zone addresses Designation of a local historic resource or district. The code provides the following criteria:

- *Criterion A.* It is associated with events that have made a significant contribution to Sonoma's history and cultural heritage; or
- *Criterion B.* It is associated with the lives of persons important in Sonoma's past; or
- *Criterion C.* It embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of an important creative individual, or possesses high artistic values; or
- *Criterion D.* It has yielded, or may be likely to yield, information important in Sonoma's prehistory or history."²³

In 2001, the subject property was surveyed as part of a larger historic survey effort for the Nathanson Creek Bicycle Path Project. The Burris House was evaluated for National Register eligibility and determined to be eligible under Criteria B (Persons) and C (Architecture). No other buildings on the property were evaluated for historic significance. The survey noted that the former barn located on the property did not have high historic integrity as of 2001.

Evaluation of Significance

The following section examines the eligibility of the age-eligible buildings within the subject property that have not been previously evaluated for individual listing in the California Register or as Sonoma County Historic Landmarks. The California Register criteria as well as those of the National Register serve as the basis for the criteria for historic evaluation described in the Sonoma Municipal Code. Therefore, the evaluations are combined together; the numerical criteria indicate California Register and the lettered criteria indicate Sonoma County Historic Landmark criteria.

Criterion 1/A (Events)

The garage does not appear eligible under Criterion 1/A. The pool house was built 1975 for property owner Howard Good. The garage does not bear association to the era of ownership of David Burris, and therefore is not associated with any of Burris' significant accomplishments. No events of historic significance to the City of Sonoma, the state, or the nation are known to be directly related to the caretaker's cottage or to have occurred in the caretaker's cottage. The barn does not appear to have existed during the mission period of Sonoma, development of its plaza during the late 19th century, or during the Bear Flag Revolt in 1846.

Criterion 2/B (Persons)

The garage at 29 E. MacArthur Street does not appear eligible as an individual resource under Criterion 2/B. No individuals who owned the garage or utilized the garage appear to have made a significant impact on the history of the City of Sonoma, the state, or nation. The garage was constructed roughly 70 years following the death of significant original owner David Burris and is not associated with him.

Criterion 3/C (Architecture)

The garage at 29 E. MacArthur Street does not appear eligible as an individual resource under Criterion 3/C. The garage, a vernacular, wood-frame building, originally featured a generally rectangular plan with a gabled roof. The garage's design, however, does not appear to have been representative of a particular architectural style, or to have been an important example of a type, period, or method of construction. Additionally, the garage's original design is not known to be the work of an important designer. Furthermore, in 1998 and 2000, the garage was renovated for use as a library and reception building for the MacArthur Place Hotel. This altered the garage's original design to a large degree.

Criterion 4/D (Information Potential)

²³ The Sonoma Municipal Code, Section 19.42.020, Current through Ordinance 03-2017, May 15, 2017. Accessed online. November 13, 2017. <https://www.codepublishing.com/CA/Sonoma/html/Sonoma19/Sonoma1942.html>

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary # _____
HRI # _____
Trinomial _____

Page 14 of 15 Resource Name or # (Assigned by recorder) Former garage at 29 E. MacArthur Street
*Recorded by Page & Turnbull, Inc. *Date October 27, 2017 Continuation Update

Evaluation of the garage under Criterion 4/D (Information Potential) is beyond the scope of this report. This criterion is generally applied to sites that may provide archeological information.

Subject Property as a Potential Historic District

The MacArthur Place Hotel complex at 29 E. MacArthur Street contains five age-eligible buildings within its 20-building complex. Although four of these buildings bear varying degrees of association to the Burris Estate, which existed between ca. 1869 and 1971 at the same property, the buildings are not well associated with each other chronologically and were built by several different owners, with construction dates that span ca. 1869 to 1948. Additionally, alterations to four of the five buildings have heavily impaired their historic integrity. These aspects concerning the age-eligible buildings combined with redevelopment of the site between 1997 and 2003 do not support the site's continued association with the property owned and resided at by David Burris and his heirs. Therefore, a potential historic district does not appear to be present at 29 E. MacArthur Street.

Conclusion

29 E. MacArthur Street was historically the location of a 47-acre ranch and farm owned by pioneer and prominent Sonoma businessman David Burris. Burris' ranch contained a main house (Burris House), barn (extant with alterations), and several outbuildings such as chicken coops and garden sheds. Burris housed horses and other livestock on his ranch, and maintained gardens, orchards, and vineyards. Between 1869 and 1971, Burris and his heirs retained ownership of the property, gradually conveying parcels of land from the estate which reduced the size of the property over ensuing decades. In 1997, the property was acquired by developer Suzanne Brangham and redeveloped between 1998 and 2003 as the MacArthur Place Hotel.

In 2001, the property was surveyed as part of a larger historic survey effort for the Nathanson Creek Bicycle Path Project. The Burris House was evaluated for National Register eligibility and determined to be eligible under Criteria B (Persons) and C (Architecture). No other buildings on the property were evaluated for historic significance. The survey noted that the barn located on the property did not have high historic integrity as of 2001.

Page & Turnbull documented existing site conditions and undertook additional historic research to determine the eligibility of all age-eligible buildings on the subject property for listing in the California Register of Historical Resources and as City of Sonoma local historic resources. None of the four age-eligible buildings, including the former garage, appear eligible for listing in the California Register or as City of Sonoma historic resources. The buildings also do not hold together as a significant grouping of buildings on the site or as a historic district that would be eligible for listing. Therefore, the former garage, does not appear to qualify as a historic resource for the purposes of CEQA review.

***B12. References:**

Published Works

Barrett, Samuel A. *The Ethnography of Pomo and Neighboring Indians*. Berkeley: University of California Press, 1908.

Cerny, Susan Dinkelspiel. *An Architectural Guidebook to San Francisco and the Bay Area*. Layton, UT, Gibbs-Smith: 2007.

California Office of Historic Preservation. *Technical Assistance Series No. 7: How to Nominate a Resource to the California Register of Historical Resources*. Sacramento: California Office of State Publishing, 4 September 2001.

Cook, Sherburne F. "The Conflict Between the California Indian and White Civilization, I: The Indian Versus the Spanish Mission." *Ibero-Americana*, Volume 21. Berkeley, California: 1943.

City of Sonoma. *2020 General Plan Update: Final Environmental Impact Report*. Sonoma, CA: City of Sonoma Planning and Community Services Division, September 2006.

Kelly, Isabel. "Coast Miwok." in *Handbook of the North American Indians*. Robert F. Heizer, editor, Washington, D.C.: Smithsonian Institution, 1978.

Thompson, Robert A. *Historical and Descriptive Sketch of Sonoma County, California*. San Francisco: 1877

Granice, C. Celeste. *Illustrated Atlas of Sonoma County, California. Compiled and Published from Personal Examinations, Official Records and Actual Surveys*, (Santa Rosa, CA: Reynolds & Proctor, 1898).

Munro-Fraser, J.P. *History of Sonoma County including its Geology, Topography, Mountains, Valleys and Streams*, (San Francisco, CA: Alley, Brown & Co., Publishers, 1880).

Public Records

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary # _____
HRI # _____
Trinomial _____

Page 15 of 15 Resource Name or # (Assigned by recorder) Former garage at 29 E. MacArthur Street
*Recorded by Page & Turnbull, Inc. *Date October 27, 2017 Continuation Update

Deed Books, Sonoma County Recorder's Office, Santa Rosa, CA.

Assessor's Parcel Map. Sonoma County, California.

Newspapers and Periodicals

"Death Claims C. Ackerman." *Petaluma Argus-Courier*. September 11, 1933, 7.

"Local Notes." *Petaluma Argus-Courier*. July 2, 1902, 4.

"Lodge and Church Assist in Rites." *The Press Democrat* (Santa Rosa, CA). January 9, 1094, 5.

"Long and Useful Life Has Ended." *The Press Democrat* (Santa Rosa, CA). January 6, 1904, 5.

"Motored Here From Eureka." *Petaluma Argus-Courier*. October 24, 1913, 1.

"Poncia, Lei Chin." Notice in *Sonoma Index-Tribune*. September 29, 2017.

"Were Wedded at Eureka." *Petaluma Argus-Courier*. January 3, 1906, 1.

Notice mentioning David Burris' barn constructed by O.B. Ackerman. *The Petaluma Courier*, August 17, 1881, 3.

Internet Sources

Thompson, Thomas H. *Map of Sonoma County California*. Oakland, CA: Thomas H. Thompson & Co., 1887.

David Rumsey Map Collection.

The Sonoma Municipal Code, Section 19.42.020, Current through Ordinance 03-2017, May 15, 2017. Accessed online. November 13, 2017. <https://www.codepublishing.com/CA/Sonoma/html/Sonoma19/Sonoma1942.html>

County of Sonoma. "Designation of Historic Landmarks and Districts." Accessed online, October 10, 2017. <http://sonomacounty.ca.gov/PRMD/Planning/Historic-Resources/Criteria-for-Designation-of-Historic-Landmarks/>.

"History of Sonoma." City of Sonoma Website. Accessed October 2, 2017. <http://www.sonomacity.org/Community/About-Sonoma/History-Of-Sonoma.aspx>.

Other Sources

California Office of Historic Preservation. Directory of Properties in the Historic Property Data File for Sonoma County, updated March 15, 2011. California Historic Resource Information System, Northwest Information Center, Rohnert Park, CA.

State of California Department of Parks and Recreation, Primary Record 49-004759, prepared May 31, 1978. Provided to Page & Turnbull by Northwest Information Center, Sonoma State University, Rohnert Park, CA November 6, 2017.

State of California Department of Parks and Recreation, Primary Record 49-004759, HRI 5476-0234-0000, February 6, 2001. Provided to Page & Turnbull by Northwest Information Center, Sonoma State University, Rohnert Park, CA November 6, 2017.

JRN Civil Engineers. ALTA/NSPS Land Title Survey. March 21, 2016.

David Burris-Biographical Timeline, account provided by Ann Burris. Source provided to Page & Turnbull courtesy MacArthur Place Hotel.

California Office of Historic Preservation, *Technical Assistance Series No. 7: How to Nominate a Resource to the California Register of Historical Resources* (Sacramento: California Office of State Publishing, September 4, 2001).

State of California — The Resources Agency
 DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # _____
 HRI # _____
 Trinomial _____
 NRHP Status Code 6Z

Other Listings _____
 Review Code _____ Reviewer _____ Date _____

Page 1 of 16 Resource name(s) or number (assigned by recorder) Pool House Building at 29 E. MacArthur Street

P1. Other Identifier:

*P2. Location: Not for Publication Unrestricted

*a. County Sonoma

*b. USGS 7.5' Quad for Sonoma, CA

Date 2015

*c. Address 29 E. MacArthur Street

City Sonoma

Zip 94576

*e. Other Locational Data: 1280-9100-500 (29 E. MacArthur Street) and 1280-8100-200 (20000 Broadway)

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

The pool house was constructed in 1948 and was originally designed as vernacular, rectangular plan, one-story building with elements of the Streamline Moderne style (p5a.). The building was altered and expanded between 1998 and 2000 to accommodate additional spa facilities and storage needs. The pool house is currently comprised of three volumes that combine to form an L-shaped plan. A one-and-a-half story gable-roof volume is placed at the southeast corner and joined along its west wall to a two-story, rectangular plan volume with a hipped roof. These volumes were added to the pool house in 1999. The two-story volume is joined to the original one-story pool house along its north wall.

(See continuation sheet)

*P3b. Resource Attributes: (list attributes and codes) HP5. Hotel/Motel

*P4. Resources Present: Building Structure Object Site District Element of District Other



P5b. Photo: (view and date)

Non-historic volumes pictured at left with 1948 pool house pictured at center. Looking west. October 27, 2017.

*P6. Date Constructed/Age and Sources:

Historic Prehistoric Both

1948. Interview with former property owner on October 27, 2017. Confirmed with historic aerial photography.

*P7. Owner and Address:

L'Auberge de Sonoma, LLC
 7001 N. Scottsdale Road, Suite 2050
 Scottsdale, AZ 85253

*P8. Recorded by:

Page & Turnbull, Inc.
 417 Montgomery Street, 8th Floor
 San Francisco, CA 94104

*P9. Date Recorded:

October 20 and October 27, 2017

*P10. Survey Type: Intensive

*P11. Report Citation: Page & Turnbull, Historic Resource Evaluation, Draft: 29 E. MacArthur Street, Sonoma, CA, 2017.

*Attachments: None Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record
 Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record
 Artifact Record Photograph Record Other (list)

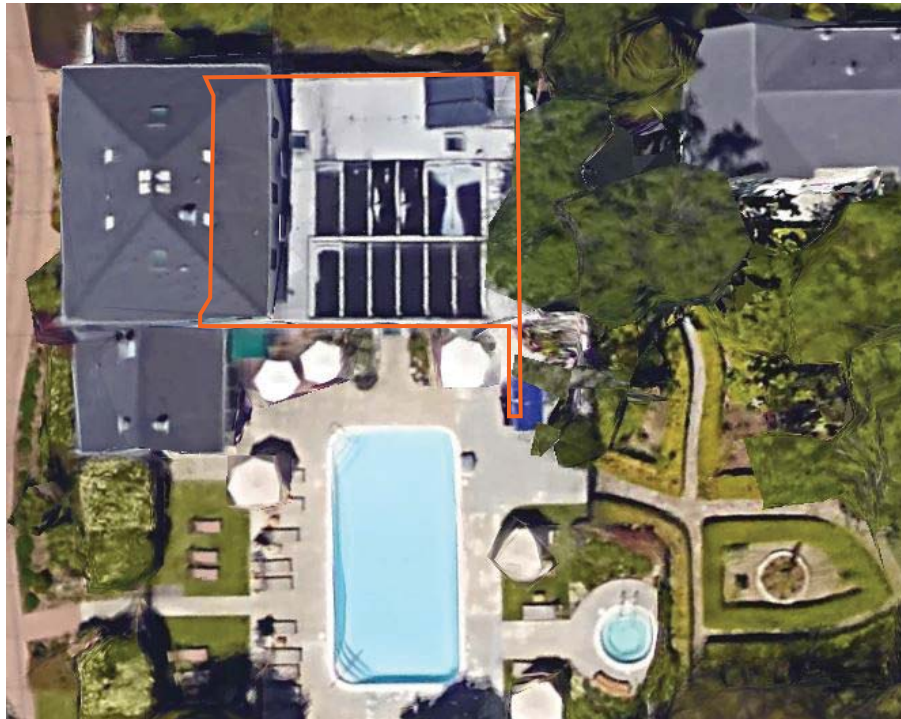


Figure 1: 3-D aerial imagery of three volumes that comprised the present pool house and spa facility. Orange line represents portion of building remaining from original footprint.

The primary (east) façade overlooks the in-ground pool to its east and features a symmetrical, but altered fenestration comprised of a central, glazed wood door flanked by one-over-one windows. At the extreme north and south ends of the volume, an additional one-over-one wood window is placed in the façade. Above the outer windows, louvered vents are placed just below the overhanging eave of the flat roof above. The wall of the pool house's primary (east) façade extends north and then eastward at a 90-degree angle forming a privacy wall to the north of the pool. Originally, an additional, similar extension was located off the south façade but was removed in between 1998 and 2000 during alteration and renovation of the building. The pool house's cornice features a wood fascia board that is curved at the corners, creating a streamlined aesthetic that was an original feature of the building's design.

The two-story volume of the pool house and the one-story volume were added to the building in 1999 and are clad in a similar palette of wood channel siding and simple wood trim. Each portion is fenestrated with modern wood-sash windows at most locations (**Figure 2 through Figure 4**).

Page 3 of 16 Resource Name or # (Assigned by recorder) Former Pool House at 29 E. MacArthur Street

*Recorded by Page & Turnbull, Inc.

*Date October 27, 2017 Continuation Update



Figure 2: East facade of one-and-a-half story, gable-roofed volume. Looking west.



Figure 3: South facades of non-original pool house and spa buildings viewed from pathway which runs adjacent to south site perimeter. Looking west.



Figure 4: Second story of central, two-story volume of pool house and spa building.

BUILDING, STRUCTURE, AND OBJECT RECORD

Page 4 of 16

*NRHP Status Code 6Z

*Resource Name or # Pool House at 29 E. MacArthur Street

- B1. Historic name: Pool House at 29 E. MacArthur Street
- B2. Common name: Former Pool House at 29 E. MacArthur Street
- B3. Original Use: Barn B4. Present use: Hotel Guest Pool House and Spa

*B5. Architectural Style: Vernacular w/ Streamline Moderne influence

*B6. Construction History: (Construction date, alterations, and date of alterations)

The pool house at the 29. E MacArthur Street was constructed in 1948 by heirs of original property owner David Burris. The pool house underwent several alterations including the addition of two volumes to accommodate a spa facility between 1998 and 2000. Alterations were also undertaken along the original pool house building's primary (east) façade and included replacement of sliding glass doors with a centered entry door flanked by replacement, double-hung windows. The pool house's original façade wall extension off of its south façade was also removed to accommodate construction of the two-story volume in 1998.

*B7. Moved? No Yes Unknown Date: N/A Original Location: N/A

*B8. Related Features: The Burris House (ca. 1869), barn (1881), former caretaker's cottage (ca. 1920s/1930s), former garage building (1975). The barn, caretaker's cottage, and pool house were constructed by/for David Burris or his heirs. The garage building was constructed by owner, Howard Good in 1975 following purchase of the property from the Burris' heirs in 1971. The Burris House is located within MacArthur Place Hotel and Spa complex which contains 20 buildings, 15 of which were constructed between 1998 and 2000 and are not age-eligible.

B9a. Architect: N/A B9b. Builder: N/A

*B10. Significance: Theme significance _____ Area _____
Period of Significance N/A Property Type Hotel Applicable Criteria Not Eligible

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity)

(See Continuation Sheet)

B11. Additional Resource Attributes: (List attributes and codes)

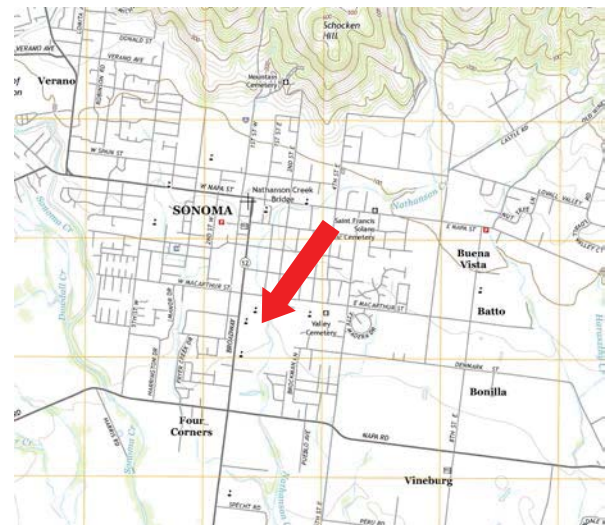
*B12. References: See footnotes and bibliography

B13. Remarks: None.

*B14. Evaluator: Page & Turnbull, Inc.

*Date of Evaluation: October 27, 2017

(This space reserved for official comments.)



USGS 7.5' Quad for Sonoma, CA, 2015

B10. Significance (continued):

Prehistory

Sonoma Valley was once occupied by Coast Miwok and Patwin peoples, and most authorities consider the Coast Miwok to have been the dominant tribe.¹ The Coast Miwok territory was centered in Marin and Sonoma counties and encompassed an area spanning approximately 1,400 square miles. The modern City of Sonoma falls within the northeastern portion of Coast Miwok territory, which was centered in Marin and Sonoma counties, and the area surrounding Sonoma's central plaza is near the location of the ancient Coast Miwok village of Huchi.²

Hispanic Period

In the mid-eighteenth century, Spanish explorers and missionaries arrived in Sonoma Valley. During the latter half of the eighteenth century and the early nineteenth century, Spain reinforced its claim to Alta California by encouraging the establishment of a chain of Franciscan missions along the coast and inland valleys from San Diego north to the Golden Gate. The Spanish Viceroy ultimately decided to build missions in the region north of the Golden Gate, provoked by the establishment of a Russian fur trading and farming settlement at Fort Ross, in present-day Sonoma County in 1812.³ In 1823, Father Jose Altimira devised a plan to found a new mission north of the Golden Gate. Altimira and his men sailed across San Pablo Bay and rowed up the Sonoma River to the site of the present-day City of Sonoma. Impressed with the fecund soil of the well-watered and oak-studded plain, Altimira selected this location for California's last mission—and the only one established during Mexican rule, which had begun in 1821. On 4 July 1823, Father Altimira officially founded Mission San Francisco Solano de Sonoma, naming it after St. Francis Solano, a missionary to the Peruvian Indians. Within a few years, approximately 1,300 Indians lived at the *rancheria* adjacent to the mission. In 1826, a bloody neophyte revolt broke out, which resulted in the complete destruction of the first mission complex and Father Altimira's departure from Sonoma.⁴

Although Mission San Francisco Solano de Sonoma was rebuilt in 1827, it did not survive for much longer. In 1834, Governor José Figueroa issued a proclamation ordering the secularization of the California missions. Although enacted to benefit the Indians, the act was in actuality, little more than a badly disguised land grab. After secularization, Figueroa appointed the young Commandante Mariano Guadalupe Vallejo as the *mayordomo* of Mission Sonoma. In addition to disposing of mission lands, Vallejo was also charged with building a presidio, or military settlement, at Sonoma.⁵ In 1835, with assistance from Captain William A. Richardson, he laid out the Pueblo de Sonoma according to the *Laws of the Indies*, a set of guidelines used to lay out most Spanish settlements in the New World. Vallejo centered the pueblo on an eight-acre plaza southwest of Mission Sonoma. He then laid out a grid of wide streets around the plaza. This street pattern was codified in the O'Farrell-Huspeh survey of 1847 and survives today. Each block contained four lots, or *solares*. Each *solar* measured 100 x 100 *varas* (275' x 275') square. Vallejo also constructed a two-story adobe barracks, a three-story lookout tower on the north side of the Plaza, and a sumptuous adobe *palacio* for himself.⁶ From 1835 to 1839, Sonoma grew quite slowly, populated almost exclusively by soldiers who had decided to stay after finishing their duty at the garrison. Vallejo worked hard to encourage Mexican settlers to come to the remote frontier settlement, convinced that the settlement would eventually become the center of Mexican power in Alta California.⁷

American Period

Few Americans or other foreigners lived in Sonoma during the period of Mexican rule. This began to change quickly during the early 1840s, as Americans began making their way overland to California. Even heavily Mexican towns like Sonoma underwent a dramatic change in demographics as hundreds of American settlers began ranching and starting businesses in town. Several of the more prominent English-speaking settlers in Sonoma included Jacob P. Leese, John Fitch, James Cooper, John Wilson, and Mark West.⁸ Vallejo was sympathetic to the American settlers, but the Mexican government wanted the intruders expelled. Their suspicion of American intent to claim this land was well founded: beginning in 1845, Army Topographical Service lieutenant John C. Fremont, who was stationed in Sacramento on a mapmaking mission, began to encourage settlers to rebel against Mexican rule.⁹ Under Fremont's self-decreed instructions, a party of men rode from Sutter's Fort to Sonoma, seized the town, arrested Vallejo, and on June 14, 1846 declared a California Republic. This revolt ushered in the short-lived independent Bear Flag

¹ Alfred L. Kroeber, "Some New Group Boundaries in Central California," *University of California Publications in American Archaeology and Ethnography*, Volume 47, Number 2 (Berkeley, California: 1957).

² Samuel A. Barrett, *The Ethnography of Pomo and Neighboring Indians*, (Berkeley: University of California Press, 1908); and, Isabel Kelly, "Coast Miwok," in *Handbook of the North American Indians*, Robert F. Heizer, editor, (Washington, D.C.: Smithsonian Institution, 1978).

³ Robert A. Thompson, *Historical and Descriptive Sketch of Sonoma County, California* (San Francisco: 1877), 9.

⁴ *Ibid.*, 10.

⁵ *Ibid.*, 191.

⁶ Ernest L. Finley, *History of Sonoma County, California: Its People and Its Resources* (Santa Rosa, California: Press Democrat Publishing Company, 1937), 192.

⁷ *Ibid.*, 195.

⁸ Thompson, 12.

⁹ "The Bear Flag Revolt", published online by the Sonoma Valley Visitors Bureau, accessed at <http://www.sonomavalley.com/sonoma-bear-flag-republic.html> on August 13, 2014.

Republic and paved the way for California’s accession to the United States less than a month later. Vallejo was released soon afterwards. The following week, Californians learned that the United States had declared war on Mexico. Two years later, when the Spanish-American War ended in the treaty of Guadalupe Hidalgo, California and the rest of the Southwest were ceded by Mexico to the United States.

Following Statehood in 1850, Sonoma saw gradually development around its plaza. General Vallejo maintained holdings north of the plaza, was elected a state senator, and lobbied to maintain Sonoma as the county seat; however, Santa Rosa won the honor in 1854. With U.S. rule came the appropriation of many land holdings, and Vallejo lost most of his land which once amount to seven million acres. In 1875, David Burris founded the Sonoma Valley Bank, an institution he presided over until his death in 1904 (Figure 5). Burris, who owned a large 40-plus-acre tract five-blocks south of the Plaza, and additional land outside of Sonoma County, joined several farmers on the outskirts of the former mission town, while the bulk of commercial development concentrated in the two blocks surrounding the plaza. The town appeared to be extended beyond its early mission core by the 1870s as indicated on Thomas H. Thompson’s Map of Sonoma County, California, published in 1877.

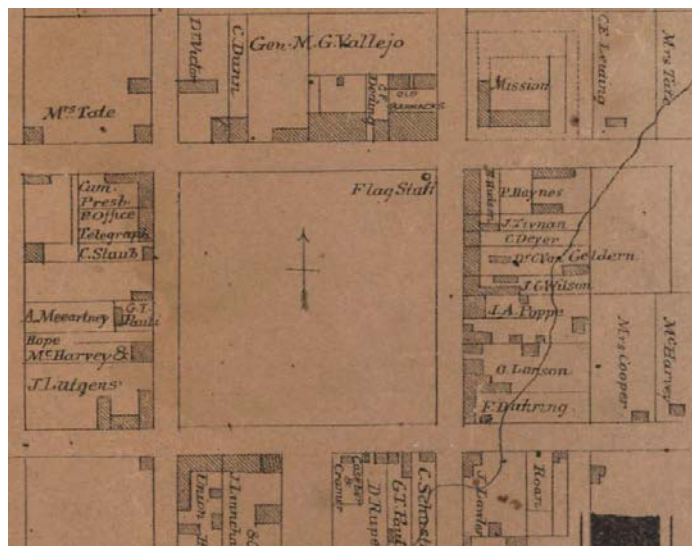


Figure 5: The nascent downtown district of “Sonoma City” ca. 1866 as depicted on A.B. Bowers’, *Map of Sonoma County, California*, 1866.

The City of Sonoma was incorporated in 1883.¹⁰ Regarding Sonoma’s development in the late 19th century, architectural historian Susan Dinkelspiel Cerny wrote, “Shortly after statehood, dairies, fruit farming, wine, and basalt quarrying became important local industries. Resorts sprang up at the sites of natural hot springs north of town. After the train arrived in 1879, Feters Hot Springs, Boyes Hot Springs, and Aqua Caliente catered to tourists on a large scale.”¹¹ By the turn of the 20th century, the City of Sonoma continued to evolve from its early pueblo form and saw its plaza and immediate surrounding blocks emerge as a center for local commerce that brought local agricultural products and merchants together. As noted in Reynolds & Proctor’s *Illustrated Atlas of Sonoma County*, published in 1898, “Surrounding the plaza or square—which has been planted with ornamental shrubs and shade trees—is the business portion of the city. Many of the business blocks are imposing brick or stone structures, while others are adobes—built by the earlier residents. Of mercantile establishments the town has a full quota.”¹² The region attracted many visitors to resorts that touted the benefits of natural hot springs. California’s wine industry, which was first established in the nineteenth century at Mission Sonoma, surged during the twentieth century, and the City of Sonoma has become well-known for its wine and picturesque setting.¹³ The City continues to be a popular destination for tourists from the Bay Area and around the world.

¹⁰ “History,” published online by the City of Sonoma, accessed at <http://www.sonomacity.org/default.aspx?PagelId=3> on August 13, 2014.

¹¹ Susan Dinkelspiel Cerny, *An Architectural Guidebook to San Francisco and the Bay Area*, (Salt Lake City, UT: Gibbs Smith, 2007), 441.

¹² C. Celeste Granice, *Illustrated Atlas of Sonoma County, California. Compiled and Published from Personal Examinations, Official Records and Actual Surveys*, (Santa Rosa, CA: Reynolds & Proctor, 1898), 46.

¹³ “Recent History,” published online by the Sonoma Valley Visitors Bureau, accessed at <http://www.sonomavalley.com/index.php/Table/Recent-history/> on August 13, 2014.

Site Development History

Between 1852 and 1856, David Burris, a Missouri farmer who transported freight for the United States Army during the Mexican-American War and prospected during the California Gold Rush, briefly settled in nascent Sonoma prior to returning to Missouri.¹⁴ Burris spent the majority of the following decade ranching and living in various areas between Tulare and Sonoma counties, where he acquired hundreds of acres of land outside of the town of Sonoma. He returned to Sonoma with his family in 1869, and appears to have purchased a roughly 47-acre tract in Sonoma centered on present-day Broadway and MacArthur Streets.¹⁵ Burris used the property as ranching land and pasture for livestock he owned, while also maintaining orchards, gardens, and vineyards within the tract. When Burris died in 1904, his widow, Julia, published an advertisement in the *San Francisco Chronicle* which listed, “100 mares with mule colts; 100 horses. 1 and 2 year olds; 70 head mules,” as available for sale in Sonoma, CA, providing an estimation for the number of animals Burris and his family retained at their Sonoma property.¹⁶ Burris resided in the house that remains extant between 1869 and his death in 1904, while members of his immediate and extended family lived in the home through the 1960s. The Burris House, a two-story Italianate-Victorian villa, appears to have been occupied by Burris and his family by 1870 based upon that year’s U.S. Census. In 1881, Burris commissioned the construction of “the most conveniently built barn in the county,” as described in *The Petaluma Courier*, to O.B. Ackerman, a Sonoma County-based builder-contractor.¹⁷ Deed research conducted at the Sonoma County Recorder’s Office reveals that the core of the estate was a roughly 47-acre tract bounded by Broadway (west), 3rd Street East (east), MacArthur Street (historically Germany Street, north), and Denmark Street (south) (Figure 6).¹⁸ Over the course of the 20th century, Burris’ estate conveyed several multi-acre parcels from the main tract, reducing its size gradually. In 1921, a 12-acre portion of the 46-acre tract was conveyed by the Burris Estate to Sonoma Valley Union High School (SVUHS) which was followed by an additional conveyance of a six-acre and a 14-acre parcel to SVUHS in 1950, reducing the size of the tract to approximately 14-to-15 acres. Available Sanborn fire insurance surveys of Sonoma did not record the Burris property prior to 1923. The 1923 Sanborn map recorded the Burris House and a non-extant garage to the east of Nathanson Creek on the Burris Estate, but did not record buildings further south or southeast within the Burris Estate (Figure 7).

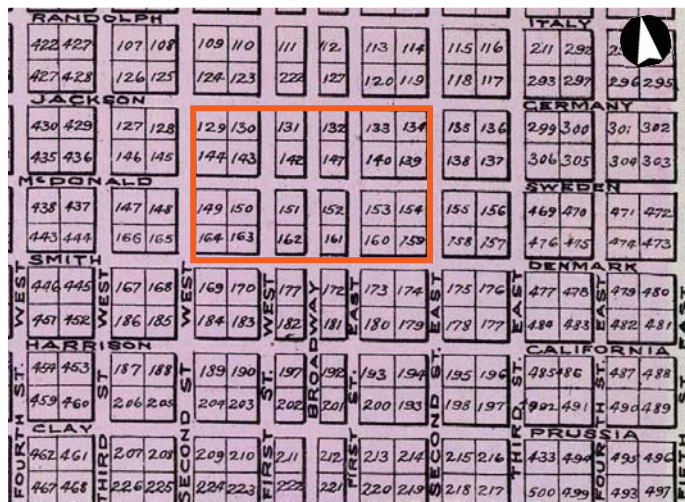


Figure 6: Parcels and portions of streets within the 46-acre Burris Family Estate as of 1921 are grouped by orange rectangle. Parcels recorded on Reynolds and Proctor’s *Illustrated Atlas of Sonoma County California*, published in 1898. Source: David Rumsey Map Collection. Edited by Page & Turnbull.

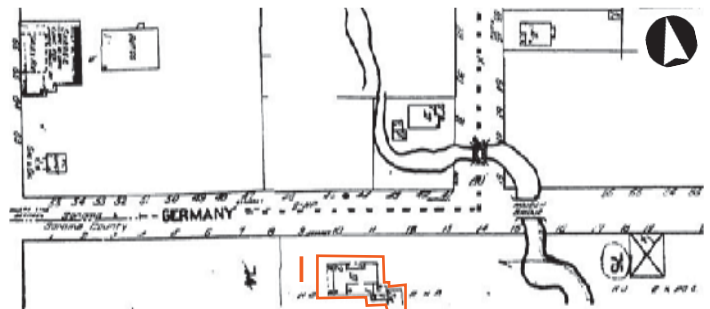


Figure 7: 1923 Sanborn fire insurance survey. Map shows 1) Burris House (outlined in orange). Source: Sonoma Valley Historical Society. Edited by Page & Turnbull.

¹⁴ Ann Burris, Biographical account of David Burris. Provided to Page & Turnbull courtesy MacArthur Place Hotel. See also, J.P. Munro-Fraser, *History of Sonoma County including its Geology, Topography, Mountains, Valleys and Streams*, (San Francisco, CA: Alley, Brown & Co., Publishers, 1880), 670-673.

¹⁵ “Horses and Wagons,” *San Francisco Chronicle*, June 2, 1904, 12.
¹⁷ *The Petaluma Courier*, August 17, 1881, 3.

¹⁸ See Deed Book 397, page 107-108, May 31, 1921, Sonoma County Recorder’s Office, Santa Rosa, CA. This deed records the conveyance of the Burris Estate from Executor, Jesse Burris, to Marian Franklin Burris. The document lists parcels within the Burris Estate.

The setting of the immediate area surrounding the Burris Estate gradually changed throughout the early 20th century as residential and commercial development extended southward along Broadway toward MacArthur Street, and as the SVUHS complex to the immediate south along Broadway Street was built up after 1921. By the late 1940s, the Burris Estate remained a largely open tract of land bounded to the south by SVUHS, to the west by Broadway, to the north by MacArthur, and to the east by 3rd Street East. All buildings within the subject property were concentrated toward the east-west center of the tract, and placed near MacArthur Street and Nathanson Creek, which roughly bisected the property. The western third of the property was bordered by mature trees along MacArthur Street and Broadway, and appears to have been an open lawn or horse pasture area. A caretaker's cottage has been present at the site since at least the 1940s, but may have been constructed earlier in the twentieth century as the Burris family employed servants according to available U.S. Census data. Along with the Burris House, 1881 barn, and caretaker's cottage, pool house (then under construction), and additional outbuildings were shown on aerial photography of site form 1948 (Figure 8).¹⁹

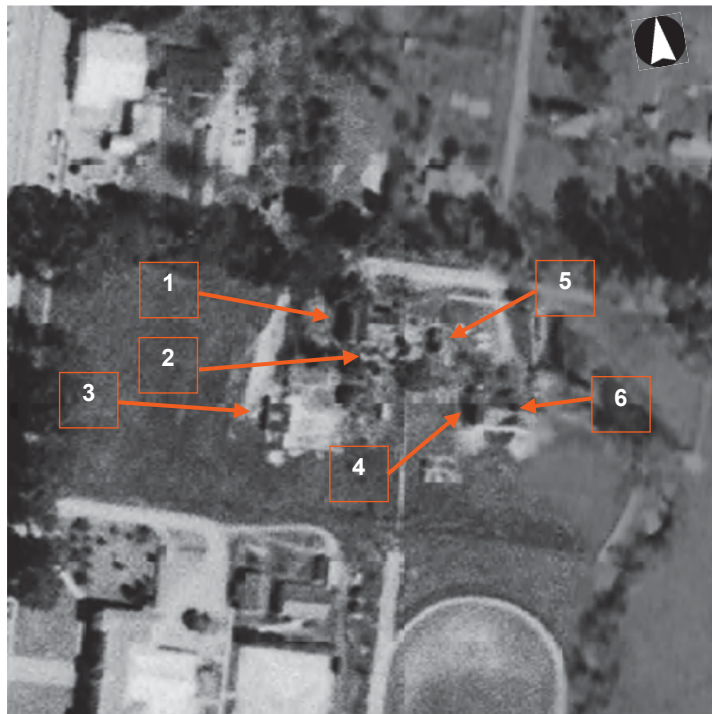


Figure 8: 1948 aerial photograph of subject property. 1) Burris House 2) caretaker's cottage 3) possible pool house under construction 4) Barn 5) Outbuilding 6) Outbuilding.
Source: HistoricAerials.com. Edited by Page & Turnbull.

The southern half of the property was largely undeveloped and by the early 1950s featured a wood fence along its south perimeter. The pool house building and adjacent in-ground pool with brick deck were completed between 1948 and 1951, based upon aerial photograph and historic photographs (Figure 9 and Figure 10). The pool house was designed with a similar material palette to the Burris house and its outbuildings and featured wood channel siding and a bank of sliding glass doors along its east façade that led from the interior to adjacent pool area (Figure 11). The pool house featured a curved or streamlined cornice with wood fascia that projected slightly over the east primary façade of the building and introduced a streamlined aesthetic popularized during the 1930s. Additionally, the pool house featured wall extensions from its north and south façades which formed a privacy wall and mimicked the sloping lines of steamships of the era (Figure 11).²⁰ The pool house and pool were placed to the southwest of the Burris House. The area to the south of the Burris House was landscaped with shrubs and other plantings, creating a garden space that embraced the caretaker's cottage on its east side and pool house to its south.

¹⁹ According to former resident and owner of the subject property, David Good, the pool house which is currently utilized as a spa facility was constructed ca. 1948 by Burris estate heiress, Leilani Jaeger Welch, and her husband Garry Welch who resided in the Burris House between the late 1940s and late 1960s. No building permits were able to be recovered to confirm the exact year of the pool house's construction.

²⁰ Interview with David Good, former trustee-owner of subject property. October 27, 2017, Sonoma, CA.



Figure 9: 1951 photograph of a Hawaiian luau-inspired party held at the subject property by owners Leilani Burris Welch and Garry Welch. The grounds of the property were enclosed by white fences. Source: MacArthur Place Hotel.



Figure 10: 1951 photograph of a Hawaiian luau-inspired party held at the subject property by owners Leilani Burris Welch and Garry Welch. Burris house and adjacent caretaker's cottage partially pictured in left background with barn and shed roof addition shown at right background. Source: MacArthur Place Hotel.



Figure 11: Pool house and pool pictured in ca. 1950s. Courtesy MacArthur Place Hotel.

By the late 1960s during the final stage of a century-long period of Burris family ownership, the subject property retained a similar spatial arrangement of west and south open spaces and its central core of residential and accessory buildings. The pool house added ca. 1948 appeared on aerial photography from 1968, while several smaller outbuildings to the north and northwest of the barn remained (**Figure 12**). Through the 1990s the pool house retained its form and position adjacent to an in-ground pool to the southwest of the Burris House (**Figure 13 and Figure 14**). In 1974 and 1975, owner Howard Good added a paddle tennis court and a garage, each to the west of the barn and to the east of the pool house. These features remained present through the late 1990s (**Figure 15**).

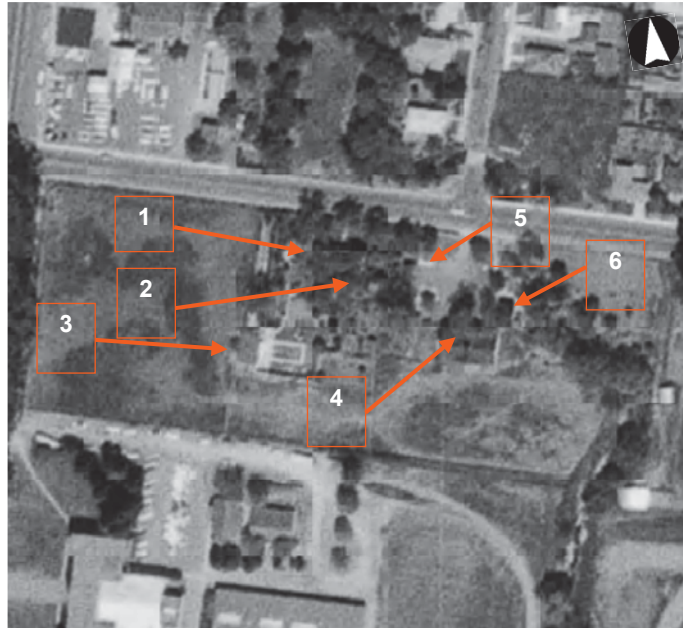


Figure 12: 1968 aerial photograph of subject property. 1) Burris House 2) caretaker's cottage 3) Pool house and pool 4) Barn 5) Outbuilding 6) Outbuilding. Source: HistoricAerials.com.



Figure 13: Pool house, pool, and surrounding lawn. Photographed ca. 1970s. Photograph courtesy David Good.



Figure 14: Portion of property to south of pool area and west of paddle tennis court ca. 1970s. Photograph courtesy David Good.

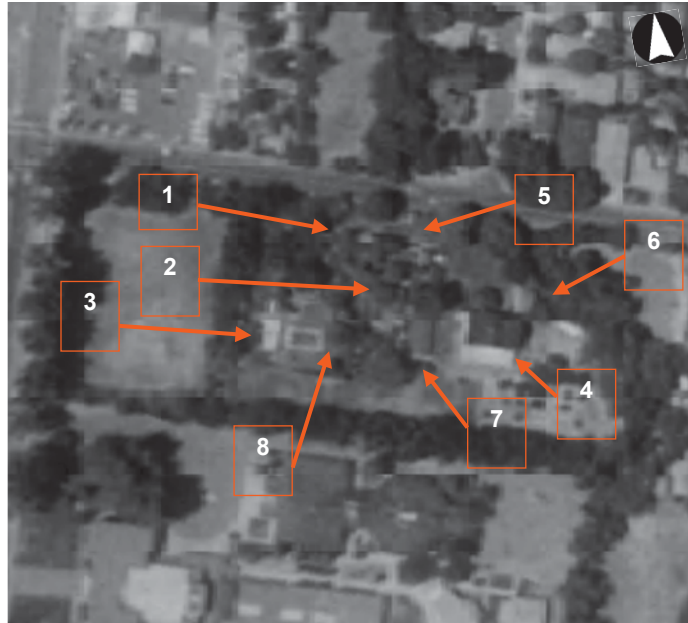


Figure 15: 1993 aerial photograph of subject property. 1) Burris House 2) Caretaker's Cottage 3) Pool house and pool 4) Barn 5) Outbuilding 6) Outbuilding 7) Garage 8) Tennis court.
 Source: HistoricAerials.com.

Between 1997 and 1999, the site was redeveloped as the MacArthur Place Hotel. Five existing buildings on the site with varying construction dates were retained for adaptive reuse within what is presently the hotel's 20-building complex. Alterations and additions were added to these buildings between 1997 and 2003 according to permits on file at the Sonoma Planning Department. Over the fall and winter of 1997, grading and foundations were permitted for several buildings, but construction appears to have focused on alterations to existing buildings in 1997, 1998, and 1999 before shifting to new cottage construction in 2000. The pool house was altered in several phases between 1997 and 2000. Between 1997 and 1998, the pool house and in-ground pool were renovated, including alteration of the pool house's fenestration adjacent to the pool which involved removal of sliding glass doors and the addition of a new two-story volume along the pool house's south wall. A storeroom was added to the pool house's spa addition in 1999. Most recently, solar panels were added to the rooftop of the original pool house building in 2010.

Owner and Occupant History

The following tables summarize the known occupancy of the Burris House at 29 E. MacArthur Street, compiled from U.S. Census Records, city directories, and additional online sources such as obituaries and newspaper articles. Occupants listed as caretakers or relatives of caretakers are presumed to have lived in the caretaker's cottage. Occupants listed as servants, gardeners, or other laborers are not confirmed to have resided in the caretaker's cottage.

Dates of Ownership	Owner
ca. 1869-1904	David Burris
1904-1921	Burris Estate (Executrix, Julia Burris (widow) through 1921)
1921-1971	Burris Estate (Burris' children served as heirs in equal parts). Last owner was Leilani Jaeger Welch, adopted daughter of Frank Burris and wife of Garry Welch.
1971-1987	Howard L. Good
1987-1997	David E. Good, Trustee of Good Family Trust
1997-2002	29 East MacArthur
2002-2017	29 East MacArthur LLC
2017-Present	L'Auberge de Sonoma LLC

State of California — The Resources Agency
 DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary # _____
 HRI # _____
 Trinomial _____

Page 12 of 16 Resource Name or # (Assigned by recorder) Pool House at 29 E. MacArthur Street
 *Recorded by Page & Turnbull, Inc. *Date October 27, 2017 Continuation Update

Dates of Occupancy	Occupant(s)	Occupation
1880	David Burris (head) Julia A. Burris (wife) Mary Burris (daughter) Walter Burris (son) Joshua Burris (son) Edward Burris (son) Alice Burris (daughter) Henry Burris (son) Laura B. Burris (daughter) Frank Burris (son)	Banker, Sonoma Valley Bank None None None None None None None None
1910	No U.S. Census listing recovered	-
1920	Julia A. Burris (head) Frank M. Burris (son) Jennie Bush (servant) Charles Hill (hired-man)	None Banker, Sonoma Valley Bank Burris family's servant Farm laborer
1930	Frank M. Burris (head) Lillian F. Burris (wife) Leilani J. Burris (adopted daughter) Jesse Burris (cousin) Agnes I. Vandine (servant) Melba F. Van Dine (boarder) Charles Hill (servant)	Branch Manager, Bank None None None Burris family servant None Farm laborer
1940	Frank M. Burris (head) Lillian F. Burris (wife) Leilani J. Burris (adopted daughter) Wingo Yee (lodger)	Banker None None Servant
ca. 1947-ca. 1970	Garry Welch (head) Leilani Jaegar Welch (nee Burris) (wife) Wah Yee (caretaker) Judy Yee (caretaker) Lei Chin (daughter of caretakers) ²¹	Rancher None Caretaker Caretaker None
1971-ca. 1990s	Mr. Howard Good (head) Mrs. Howard Good (wife) David Good (son)	Import/Export businessman Homemaker Business

Original Owner Biography: David Burris (1849-1904)

David Burris was a Missouri-born farmer turned "Pioneer Capitalist," who was among the most prominent of early American settlers in Sonoma during the city's foundational decades.²² The following biographical information is excerpted from David Burris' obituary published on January 6, 1904 in Santa Rosa's, *Press Democrat*.

Few men were better known in this section of the State. His name was prominently connected with the financial and business affairs of Sonoma county for half a century. [...]

David Burris was born in Old Franklin, Cooper County, Missouri, on January 6, 1824. There he received a common school education. In the latter part of the summer of 1846, during the Mexican war, Mr. Burris was engaged in hauling provisions to Mexico from Fort Leavenworth for the United States Army. [...]

In May 1849, the Pleasant Hill Company, of which Mr. Burris and his eldest brother were members [,] crossed the plains to California by what was called the Lawson route. In October of that year the Burris brothers engaged

²¹ Noted as living on Burris Estate in Lei Chin Poncia's obituary. "Poncia, Lei Chin," Notice in *Sonoma Index-Tribune*, September 29, 2017.

²² See, "Lodge and Church Assist in Rites," *The Press Democrat* (Santa Rosa, CA), January 9, 1904, 5.

in mining at Bidwell's Bar on Feather River. In the fall of [1850,] David Burris moved to Plumas county where he mined with success. From there he moved to Sonoma county in 1851. In [1852,] he returned to Missouri and in the spring of 1866 started back to California with a big herd of cattle. [...]

In the winter of [1856,] Mr. Burris was located in Napa county and in the fall of 1857 he moved to Tulare county, remaining there in stock raising and trading until 1869, when he again came to Sonoma county, where he resided up to the time of his death. The deceased was one of the founders of the Santa Rosa Bank and of the Sonoma Valley Bank, being the president of the latter bank for many years. He was a big property owner and a very wealthy man.²³

Burris' most significant contribution to Sonoma Valley and within the City of Sonoma was his role in establishing the Santa Valley and Santa Rosa banks in the 1870s. Both banks continued on after Burris' death in 1904 and were led by several members of Burris' family, who sat on the board and held employed positions, including son Frank M., who served as President of Sonoma Valley Bank following his father's death in 1904, and nephew Jesse who served as Cashier contemporaneously.

Evaluation (Significance)

California Register of Historical Resources

The California Register of Historical Resources (California Register) is an inventory of significant architectural, archaeological, and historical resources in the State of California. Resources can be listed in the California Register through a number of methods. State Historical Landmarks and National Register-listed properties are automatically listed in the California Register. Properties can also be nominated to the California Register by local governments, private organizations, or citizens. The evaluative criteria used by the California Register for determining eligibility are closely based on those developed by the National Park Service for the National Register of Historic Places.

In order for a property to be eligible for listing in the California Register, it must be found significant under one or more of the following criteria.

- *Criterion 1 (Events):* Resources that are associated with events that have made a significant contribution to the broad patterns of local or regional history, or the cultural heritage of California or the United States.
- *Criterion 2 (Persons):* Resources that are associated with the lives of persons important to local, California, or national history.
- *Criterion 3 (Architecture):* Resources that embody the distinctive characteristics of a type, period, region, or method of construction, or represent the work of a master, or possess high artistic values.
- *Criterion 4 (Information Potential):* Resources or sites that have yielded or have the potential to yield information important to the prehistory or history of the local area, California, or the nation.

City of Sonoma Municipal Code

Section 19.42.020 of Chapter 19.42 Historic Preservation and Infill in the Historic Zone addresses Designation of a local historic resource or district. The code provides the following criteria:

- *Criterion A.* It is associated with events that have made a significant contribution to Sonoma's history and cultural heritage; or
- *Criterion B.* It is associated with the lives of persons important in Sonoma's past; or
- *Criterion C.* It embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of an important creative individual, or possesses high artistic values; or
- *Criterion D.* It has yielded, or may be likely to yield, information important in Sonoma's prehistory or history."²⁴

²³ "Long and Useful Life Has Ended," *The Press Democrat* (Santa Rosa, CA), January 6, 1904, 5.

²⁴ The Sonoma Municipal Code, Section 19.42.020, Current through Ordinance 03-2017, May 15, 2017. Accessed online. November 13, 2017. <https://www.codepublishing.com/CA/Sonoma/html/Sonoma19/Sonoma1942.html>

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary # _____
HRI # _____
Trinomial _____

Page 14 of 16

Resource Name or # (Assigned by recorder) Pool House at 29 E. MacArthur Street

*Recorded by Page & Turnbull, Inc.

*Date October 27, 2017 Continuation Update

In 2001, the subject property was surveyed as part of a larger historic survey effort for the Nathanson Creek Bicycle Path Project. The Burris House was evaluated for National Register eligibility and determined to be eligible under Criteria B (Persons) and C (Architecture). No other buildings on the property were evaluated for historic significance. The survey noted that the former barn located on the property did not have high historic integrity as of 2001.

Evaluation of Significance

The following section examines the eligibility of the age-eligible buildings within the subject property that have not been previously evaluated for individual listing in the California Register or as Sonoma County Historic Landmarks. The California Register criteria as well as those of the National Register serve as the basis for the criteria for historic evaluation described in the Sonoma Municipal Code. Therefore, the evaluations are combined together; the numerical criteria indicate California Register and the lettered criteria indicate Sonoma County Historic Landmark criteria.

Criterion 1/A (Events)

The pool house does not appear eligible under Criterion 1/A. The pool house was built in 1948 for Garry Welch and Leilani Jaeger Welch, heirs of the Burris Estate. Although the pool house served as a social gathering place for several large parties held by its owners, no events of historic significance to the City of Sonoma, the state, or nation are known to have occurred at the Pool House or involved the Pool House in a particularly significant way.

Criterion 2/B (Persons)

The pool house at 29 E. MacArthur Street does not appear eligible as an individual resource under Criterion 2/B. Although the pool house was utilized early in its existence by heirs to the Burris Estate, the building does not bear direct association to significant original owner David Burris or his role as a prominent businessman and rancher in Sonoma. The building does not represent any prominent heirs of Burris' estate those or any of their professional achievements directly or to a degree necessary for designation under Criterion 2.

Criterion 3/C (Architecture)

The pool house at 29 E. MacArthur Street does not appear eligible as an individual resource under Criterion 3/C. Although the pool house was originally designed with streamlined elements and nautical or maritime design cues such as its sloped end wall extensions, the building is not known to be the work of a master designer. Additionally, the building's original design does not remain intact to a high degree due to alteration in 1999. The building's fenestration along its primary east façade has been altered, removing original sliding glass doors, while one of the building's sloped privacy walls is non-extant. Thus, the pool house does not remain representative of its original design nor does it provide a particularly significant example of type, period, or method of construction to a degree necessary for designation under Criterion 3.

Criterion 4/D (Information Potential)

Evaluation of the Pool House under Criterion 4/D (Information Potential) is beyond the scope of this report. This criterion is generally applied to sites that may provide archeological information.

Subject Property as a Potential Historic District

The MacArthur Place Hotel complex at 29 E. MacArthur Street contains five age-eligible buildings within its 20-building complex. Although four of these buildings bear varying degrees of association to the Burris Estate, which existed between ca. 1869 and 1971 at the same property, the buildings are not well associated with each other chronologically and were built by several different owners, with construction dates that span ca. 1869 to 1948. Additionally, alterations to four of the five buildings have heavily impaired their historic integrity. These aspects concerning the age-eligible buildings combined with redevelopment of the site between 1997 and 2003 do not support the site's continued association with the property owned and resided at by David Burris and his heirs. Therefore, a potential historic district does not appear to be present at 29 E. MacArthur Street.

Conclusion

29 E. MacArthur Street was historically the location of a 47-acre ranch and farm owned by pioneer and prominent Sonoma businessman David Burris. Burris' ranch contained a main house (Burris House), barn (extant with alterations), and several outbuildings such as chicken coops and garden sheds. Burris housed horses and other livestock on his ranch, and maintained gardens, orchards, and vineyards. Between 1869 and 1971, Burris and his heirs retained ownership of the property, gradually conveying parcels of land from the estate which reduced the size of the property over ensuing decades. In 1997, the property was acquired by developer Suzanne Brangham and redeveloped between 1998 and 2003 as the MacArthur Place Hotel.

In 2001, the property was surveyed as part of a larger historic survey effort for the Nathanson Creek Bicycle Path Project. The Burris House was evaluated for National Register eligibility and determined to be eligible under Criteria B (Persons) and C (Architecture). No other buildings on the property were evaluated for historic significance. The survey noted that the barn located on the property did not have high historic integrity as of 2001.

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary # _____
HRI # _____
Trinomial _____

Page 15 of 16 Resource Name or # (Assigned by recorder) Pool House at 29 E. MacArthur Street
*Recorded by Page & Turnbull, Inc. *Date October 27, 2017 Continuation Update

Page & Turnbull documented existing site conditions and undertook additional historic research to determine the eligibility of all age-eligible buildings on the subject property for listing in the California Register of Historical Resources and as City of Sonoma local historic resources. None of the four age-eligible buildings, including the pool house, appear eligible for listing in the California Register or as City of Sonoma historic resources. The buildings also do not hold together as a significant grouping of buildings on the site or as a historic district that would be eligible for listing. Therefore, the pool house, does not appear to qualify as a historic resource for the purposes of CEQA review.

***B12. References:**

Published Works

Barrett, Samuel A. *The Ethnography of Pomo and Neighboring Indians*. Berkeley: University of California Press, 1908.

Cerny, Susan Dinkelspiel. *An Architectural Guidebook to San Francisco and the Bay Area*. Layton, UT, Gibbs-Smith: 2007.

California Office of Historic Preservation. *Technical Assistance Series No. 7: How to Nominate a Resource to the California Register of Historical Resources*. Sacramento: California Office of State Publishing, 4 September 2001.

Cook, Sherburne F. "The Conflict Between the California Indian and White Civilization, I: The Indian Versus the Spanish Mission." *Ibero-Americana*, Volume 21. Berkeley, California: 1943.

City of Sonoma. *2020 General Plan Update: Final Environmental Impact Report*. Sonoma, CA: City of Sonoma Planning and Community Services Division, September 2006.

Kelly, Isabel. "Coast Miwok." in *Handbook of the North American Indians*. Robert F. Heizer, editor, Washington, D.C.: Smithsonian Institution, 1978.

Thompson, Robert A. *Historical and Descriptive Sketch of Sonoma County, California*. San Francisco: 1877

Granice, C. Celeste. *Illustrated Atlas of Sonoma County, California. Compiled and Published from Personal Examinations, Official Records and Actual Surveys*, (Santa Rosa, CA: Reynolds & Proctor, 1898).

Munro-Fraser, J.P. *History of Sonoma County including its Geology, Topography, Mountains, Valleys and Streams*, (San Francisco, CA: Alley, Brown & Co., Publishers, 1880).

Public Records

Deed Books, Sonoma County Recorder's Office, Santa Rosa, CA.

Assessor's Parcel Map. Sonoma County, California.

Newspapers and Periodicals

"Death Claims C. Ackerman." *Petaluma Argus-Courier*. September 11, 1933, 7.

"Local Notes." *Petaluma Argus-Courier*. July 2, 1902, 4.

"Lodge and Church Assist in Rites." *The Press Democrat* (Santa Rosa, CA). January 9, 1904, 5.

"Long and Useful Life Has Ended." *The Press Democrat* (Santa Rosa, CA). January 6, 1904, 5.

"Motored Here From Eureka." *Petaluma Argus-Courier*. October 24, 1913, 1.

"Poncia, Lei Chin." Notice in *Sonoma Index-Tribune*. September 29, 2017.

"Were Wedded at Eureka." *Petaluma Argus-Courier*. January 3, 1906, 1.

Notice mentioning David Burris' barn constructed by O.B. Ackerman. *The Petaluma Courier*, August 17, 1881, 3.

Internet Sources

Thompson, Thomas H. *Map of Sonoma County California*. Oakland, CA: Thomas H. Thompson & Co., 1887.

David Rumsey Map Collection.

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary # _____
HRI # _____
Trinomial _____

Page 16 of 16 **Resource Name or #** (Assigned by recorder) Pool House at 29 E. MacArthur Street
*Recorded by Page & Turnbull, Inc. *Date October 27, 2017 Continuation Update

The Sonoma Municipal Code, Section 19.42.020, Current through Ordinance 03-2017, May 15, 2017. Accessed online. November 13, 2017. <https://www.codepublishing.com/CA/Sonoma/html/Sonoma19/Sonoma1942.html>

County of Sonoma. "Designation of Historic Landmarks and Districts." Accessed online, October 10, 2017. <http://sonomacounty.ca.gov/PRMD/Planning/Historic-Resources/Criteria-for-Designation-of-Historic-Landmarks/>.

"History of Sonoma." City of Sonoma Website. Accessed October 2, 2017. <http://www.sonomacity.org/Community/About-Sonoma/History-Of-Sonoma.aspx>.

Other Sources

California Office of Historic Preservation. Directory of Properties in the Historic Property Data File for Sonoma County, updated March 15, 2011. California Historic Resource Information System, Northwest Information Center, Rohnert Park, CA.

State of California Department of Parks and Recreation, Primary Record 49-004759, prepared May 31, 1978. Provided to Page & Turnbull by Northwest Information Center, Sonoma State University, Rohnert Park, CA November 6, 2017.

State of California Department of Parks and Recreation, Primary Record 49-004759, HRI 5476-0234-0000, February 6, 2001. Provided to Page & Turnbull by Northwest Information Center, Sonoma State University, Rohnert Park, CA November 6, 2017.

JRN Civil Engineers. ALTA/NSPS Land Title Survey. March 21, 2016.

David Burris-Biographical Timeline, account provided by Ann Burris. Source provided to Page & Turnbull courtesy MacArthur Place Hotel.

California Office of Historic Preservation, *Technical Assistance Series No. 7: How to Nominate a Resource to the California Register of Historical Resources* (Sacramento: California Office of State Publishing, September 4, 2001).

ARCHITECTURE
PLANNING & RESEARCH
PRESERVATION TECHNOLOGY

www.page-turnbull.com

417 S. Hill Street, Suite 211
Los Angeles, California 90013
213.221.1200 / 213.221.1209 fax

2401 C Street, Suite B
Sacramento, California 95816
916.930.9903 / 916.930.9904 fax

417 Montgomery Street, 8th Floor
San Francisco, CA 94104
415.362.5154 / 415.362.5560 fax



Attachment C

SLF Search Results Summary

NATIVE AMERICAN HERITAGE COMMISSION

March 9, 2021

Alexandra Madsen, Architectural Historian
Rincon Consultants, Inc.

Via Email to: amadsen@rinconconsultants.com

Re: MacArthur Place Hotel Guest Room Additions Project, Sonoma County

Dear Ms. Madsen:

A record search of the Native American Heritage Commission (NAHC) Sacred Lands File (SLF) was completed for the information you have submitted for the above referenced project. The results were negative. However, the absence of specific site information in the SLF does not indicate the absence of cultural resources in any project area. Other sources of cultural resources should also be contacted for information regarding known and recorded sites.

Attached is a list of Native American tribes who may also have knowledge of cultural resources in the project area. This list should provide a starting place in locating areas of potential adverse impact within the proposed project area. I suggest you contact all of those indicated; if they cannot supply information, they might recommend others with specific knowledge. By contacting all those listed, your organization will be better able to respond to claims of failure to consult with the appropriate tribe. If a response has not been received within two weeks of notification, the Commission requests that you follow-up with a telephone call or email to ensure that the project information has been received.

If you receive notification of change of addresses and phone numbers from tribes, please notify me. With your assistance, we can assure that our lists contain current information.

If you have any questions or need additional information, please contact me at my email address: Sarah.Fonseca@nahc.ca.gov.

Sincerely,



Sarah Fonseca
Cultural Resources Analyst

Attachment



CHAIRPERSON
Laura Miranda
Luiseño

VICE CHAIRPERSON
Reginald Pagaling
Chumash

SECRETARY
Merri Lopez-Keifer
Luiseño

PARLIAMENTARIAN
Russell Attebery
Karuk

COMMISSIONER
William Mungary
Paiute/White Mountain Apache

COMMISSIONER
Julie Tumamait-Stenslie
Chumash

COMMISSIONER
[Vacant]

COMMISSIONER
[Vacant]

COMMISSIONER
[Vacant]

EXECUTIVE SECRETARY
Christina Snider
Pomo

NAHC HEADQUARTERS
1550 Harbor Boulevard
Suite 100
West Sacramento,
California 95691
(916) 373-3710
nahc@nahc.ca.gov
NAHC.ca.gov

**Native American Heritage Commission
Native American Contact List
Sonoma County
3/9/2021**

Cloverdale Rancheria of Pomo Indians

Patricia Hermosillo, Chairperson
555 S. Cloverdale Blvd., Suite A Pomo
Cloverdale, CA, 95425
Phone: (707) 894 - 5775
Fax: (707) 894-5727
info@cloverdalerancheria.com

Dry Creek Rancheria of Pomo Indians

Chris Wright, Chairperson
P.O. Box 607 Pomo
Geyserville, CA, 95441
Phone: (707) 814 - 4150
lynnl@drycreekrancheria.com

Federated Indians of Graton Rancheria

Greg Sarris, Chairperson
6400 Redwood Drive, Ste 300 Coast Miwok
Rohnert Park, CA, 94928 Pomo
Phone: (707) 566 - 2288
Fax: (707) 566-2291
gbuvelot@gratonrancheria.com

Federated Indians of Graton Rancheria

Gene Buvelot,
6400 Redwood Drive, Suite 300 Coast Miwok
Rohnert Park, CA, 94928 Pomo
Phone: (707) 566 - 2288
Fax: (415) 279-4844
gbuvelot@gratonrancheria.com

Guidiville Indian Rancheria

Donald Duncan, Chairperson
P.O. Box 339 Pomo
Talmage, CA, 95481
Phone: (707) 462 - 3682
Fax: (707) 462-9183
admin@guidiville.net

Lytton Rancheria

Marjorie Mejia, Chairperson
437 Aviation Boulevard Pomo
Santa Rosa, CA, 95403
Phone: (707) 575 - 5917
Fax: (707) 575-6974
margiemejia@aol.com

Middletown Rancheria

Sally Peterson, THPO
P.O. Box 1658 Lake Miwok
Middletown, CA, 95461 Pomo
Phone: (707) 987 - 3670
THPO@middletownrancheria.com

Middletown Rancheria of Pomo Indians

Jose Simon, Chairperson
P.O. Box 1035 Lake Miwok
Middletown, CA, 95461 Pomo
Phone: (707) 987 - 3670
Fax: (707) 987-9091
sshope@middletownrancheria.com

Mishewal-Wappo Tribe of Alexander Valley

Scott Gabaldon, Chairperson
2275 Silk Road Wappo
Windsor, CA, 95492
Phone: (707) 494 - 9159
scottg@mishewalwappotribe.com

Pinoleville Pomo Nation

Erica Carson, Tribal Historic
Preservation Officer
500 B Pinoleville Drive Pomo
Ukiah, CA, 95482
Phone: (707) 463 - 1454
Fax: (707) 463-6601

Pinoleville Pomo Nation

Leona Williams, Chairperson
500 B Pinoleville Drive Pomo
Ukiah, CA, 95482
Phone: (707) 463 - 1454
Fax: (707) 463-6601

This list is current only as of the date of this document. Distribution of this list does not relieve any person of statutory responsibility as defined in Section 7050.5 of the Health and Safety Code, Section 5097.94 of the Public Resource Section 5097.98 of the Public Resources Code.

This list is only applicable for contacting local Native Americans with regard to cultural resources assessment for the proposed MacArthur Place Hotel Guest Room Additions Project, Sonoma County.

Attachment D

2021 Page & Turnbull Consistency Analysis

February 9, 2021

Kristina Tierney, Associate Planner
City of Sonoma
No. 1 The Plaza
Sonoma, CA 95476
(707) 933-2202
ktierney@sonomacity.org

RE: MacArthur Place Hotel & Spa – Guest Room Addition Project – Letter of Consistency

Dear Ms. Tierney,

Page & Turnbull has prepared this Letter of Consistency to discuss whether the proposed Guest Room Addition Project at the MacArthur Place Hotel & Spa (29 E. MacArthur Street, Sonoma, CA) is consistent with *Secretary of the Interior's Standards*. This letter follows a previously prepared Historic Resource Impact Analysis issued on May 26, 2020, related to the Remodeling and Expansion of the Spa and Fitness Center Building project at MacArthur Place Hotel & Spa. That analysis found that the project as designed would not cause an adverse impact to the historic significance of the Burris House, and was in full compliance with the *Secretary of the Interior's Standards*. The subject Guest Room Addition Project represents an amendment to the Spa and Fitness Center Building Project and requires a Letter of Consistency to be prepared to confirm that the additional new construction and alterations of the Guest Room Addition Project will not cause an adverse impact to a historic resource.

The MacArthur Place Hotel and Spa property at 29 E. MacArthur Street is a 5.1-acre site containing 20 buildings, landscaping, an in-ground pool, and several parking areas. The property includes one historic resource, the Burris House (identified within the existing hotel property as Building T), a former residence built ca. 1869 for prominent Sonoma banker and rancher, David Burris. As a building previously determined to be eligible for listing in the National Register of Historic Places, the Burris House meets the definition a historical resource for the purposes of review under the California Environmental Quality Act (CEQA).

The additional 19 existing buildings within the property, in-ground pool, and landscaping elements are not considered historic resources under CEQA, based upon findings of a Historic Resource Evaluation of the property by Page & Turnbull in 2018. The table below lists each existing building within the property, their building assigned letter, year built, eligibility status from the 2018 HRE, and historic resource status for the purposes of CEQA.

Imagining change in historic environments through
design, research, and technology

Building Name	Label on Site Plan	Year Built	HRE Finding	CEQA Historic Resource Y/N
Guest House	A	1998-2000	Not age-eligible	No
Guest House	B	1998-2000	Not age-eligible	No
Carriage House	C	1998-2000	Not age-eligible	No
Guest House	D	1998-2000	Not age-eligible	No
Maintenance	E	1998-2000	Not age-eligible	No
Guest House	F	1998-2000	Not age-eligible	No
Guest House	G	1998-2000	Not age-eligible	No
Guest House	H	1998-2000	Not age-eligible	No
Guest House	I	1998-2000	Not age-eligible	No
Guest House	J	1998-2000	Not age-eligible	No
Guest House	K	1998-2000	Not age-eligible	No
Spa and Fitness Center (former Pool House)	L	1948 w/ alterations 1998-2000	Not significant	No
Guest House	M	1998-2000	Not age-eligible	No
Guest House	N	1998-2000	Not age-eligible	No
Guest House	O	1998-2000	Not age-eligible	No
Barn, Meeting, Restaurant building (former Barn)	P	1881 w/ alterations 1998-2003	Not significant	No
Coach House (former Carport/ Garage)	Q	1975 w/ alterations 1998-2000	Not significant	No
Guest House	R	1998-2000	Not age-eligible	No
Chef's Cottage (Former Caretaker's Cottage)	S	ca. 1920s/1930s	Not significant	No
Guest House (Burriss House)	T	ca.1869	Retains integrity and remains eligible for National Register	Yes

Burriss House: Significance and Character-Defining Features

In 2001, the Burriss House was surveyed by Tom Origer and Associates as part of a larger historic survey effort for the Nathanson Creek Bicycle Path Project. The Burriss House was evaluated for National Register eligibility and was found to appear to be eligible under Criteria B (Persons) for its association with the historically prominent Burriss family, and C (Architecture/Design), for its embodiment of distinct characteristics of the Italianate and Greek Revival architectural styles, with a period of significance of 1869-1880 for each criterion.¹

¹ T. Jones and V. Beard's *Historic Property Survey Report for the Nathanson Creek Bicycle Path Project, Sonoma County, California*, 2001.

Page & Turnbull's 2018 HRE found that the Burris House retained historic integrity, and thus remained eligible for the National Register.

Character-Defining Features

For a property to be eligible for national or state designation under criteria related to type, period, or method of construction, the essential physical features (or character-defining features) that enable the property to convey its historic identity must be evident. To be eligible, a property must clearly contain enough of those characteristics to be considered a true representative of a particular type, period, or method of construction, and these features must also retain a sufficient degree of integrity. Characteristics can be expressed in terms such as form, proportion, structure, plan, style, or materials. The following character-defining features of the Burris House were identified in the 2018 HRE and enable the building to represent its significance under National Register criteria B and C during the period of significance ca. 1869-1880.

Location

- Building is situated in its original location with primary frontage to E. MacArthur Street and proximity to south face of E. MacArthur Street. MacArthur Street since ca. 1869.

Massing

- Two-story, H-shaped plan of main residential volume
- Central east-west gabled volume (three central bays)
- East and west gabled end volumes, outermost four bays perpendicular to east-west volume

Italianate/Greek Revival Style Design

- Gabled roof over main residential volume
- Hipped roof with central, flat platform over accessory building
- Stacked, two-story west porch with wood balustrades at each level
- Wood quoins at the corners of the Burris' house' main volume
- Molded wood window surrounds, sills, and lintels

Materials

- Primary cladding material is wood channel siding
- Additional wood trim utilized along cornice line, soffits, and eaves

Fenestration

- Generally symmetrical primary façade fenestration
- Two-over-two, double-hung wood-sash windows with molded surrounds, sills, and lintels
- One-over-one, double-hung wood-sash windows with wood surrounds and less ornate sills and lintels

Project Description

The following project description is based upon plans prepared by RossDrulisCusenbery Architecture (RDC) in January 2021 titled Use Permit/Design Review Drawings Proposed Addition of 11 New Guestrooms, and a project narrative prepared by RDC. As proposed, the Guest Room Addition Project would introduce five additional freestanding guest cottage buildings (U, V, W, X, and Y) and a total of 11 new guest rooms to the property. The civil site plan below illustrates the proposed layout of the property. The historic Burriss House is outlined in red and the proposed buildings are outlined with a dashed blue line (**Figure 1**).

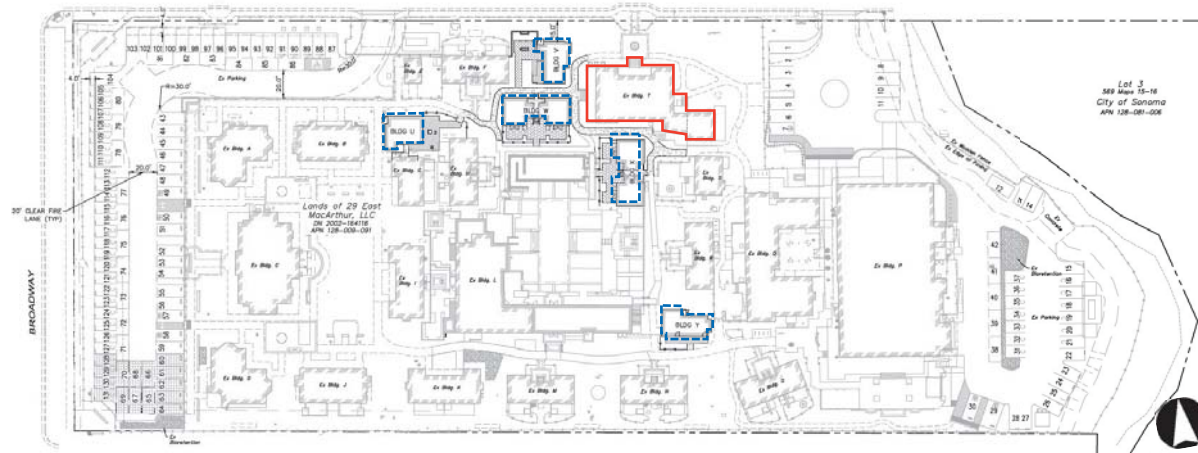


Figure 1: Site plan illustrating the subject property. The historic Burriss House (Building T) is outlined with red. Proposed infill buildings U, V, W, X, and Y are outlined with a blue-dashed line. Source: Adobe Associates, Inc., outlines added by Page & Turnbull.

New Building Designation	Proposed # of New Guestrooms	New Building Area	Unit Description
U	1	554 SF	Cottage Suite
V	1	536 SF	Cottage Suite
W	4	1,914 SF	Two Story Four Plex Similar to Existing Buildings F, H, M, N, O & R
X	4	1,914 SF	Two Story Four Plex Similar to Existing Buildings F, H, M, N, O & R
Y	1	567 SF	Cottage Suite
Sub-Total	11	5,485 SF	Area calculation excludes exterior decks, outdoor showers

The new cottages will infill areas of the site that currently do not contain buildings and will not require alteration or demolition of any of the existing buildings within the property. Four of the five proposed infill buildings are to be situated to the west and southwest of the Burriss House, while the fifth building will be situated further south of the Burriss House, between Building R (north) and Building N (south). Each of the proposed infill buildings will be freestanding and will not be connected at any location to any of the existing buildings within the property.

The proposed cottage buildings will range in height from one to two stories, have generally rectangular footprints, gable roofs with moderate eave overhangs, wood fascia, and asphalt shingles or galvanized metal covering. Windows will be metal-clad wood-sash with one-over-one or two-over-one glazing, decorative wood shutters and molded lintels. Doors will be metal-clad Sierra Pacific doors that match previously approved and installed doors at the former Barn and Coach House buildings on the property. Siding will be standard channeled wood to match that of the existing non-historic cottages on the property. In terms of material, the siding will be consistent with that of the Burriss House. Overall, the proposed new buildings will be similar in massing, scale, footprint, fenestration, and exterior materiality as 15 existing cottages at the property that were constructed during the original development of the MacArthur Place Hotel and Spa. Buildings W and X are intended to feature similar design to existing cottage buildings F, H, M, N, O, and R. Buildings U, V, and Y are intended to feature similar design to existing cottage buildings G and S.

Secretary of the Interior’s Standards

The Secretary of the Interior’s Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring and Reconstructing Historic Buildings provides standards and guidance for reviewing proposed work on historic properties.² The Standards for the Treatment of Historic Properties are a useful analytic tool for understanding and describing the potential impacts of substantial changes to historic resources. Projects that comply with the Standards for the Treatment of Historic Properties benefit from a regulatory presumption that they would have a less-than-significant adverse impact on a historic resource.³ Projects that *do not* comply with the Standards for the Treatment of Historic Properties may cause either a substantial or less-than-substantial adverse change in the significance of a historic resource. The Secretary of the Interior offers four sets of standards to guide the treatment of historic properties: Preservation,

² Anne E. Grimmer, *The Secretary of the Interior’s Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring and Reconstructing Historic Buildings*, (U.S. Department of the Interior National Park Service Technical Preservation Services, Washington, D.C.: 2017), accessed February 4, 2021, <https://www.nps.gov/tps/standards/treatment-guidelines-2017.pdf>.

³ CEQA Guidelines subsection 15064.5(b)(3).

Rehabilitation, Restoration, and Reconstruction.⁴ The proposed project scope is seeking to alter a property containing a historic resource (the Burris House) while retaining the building's historic character. Therefore, the *Standards for Rehabilitation* will be applied.

Standards for Rehabilitation

Rehabilitation Standard 1: *A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces and spatial relationships.*

Rehabilitation Standard 2: *The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided.*

Rehabilitation Standard 3: *Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.*

Rehabilitation Standard 4: *Changes to a property that have acquired historic significance in their own right will be retained and preserved.*

Rehabilitation Standard 5: *Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.*

Rehabilitation Standard 6: *Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.*

Rehabilitation Standard 7: *Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.*

⁴ Grimmer, *The Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring and Reconstructing Historic Buildings*, accessed February 4, 2021.

Rehabilitation Standard 8: *Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.*

Rehabilitation Standard 9: *New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.*

Rehabilitation Standard 10: *New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*

Discussion

The proposed Guest House Addition Project is focused within areas of the property that currently do not contain buildings, and does not proposed to relocate or alter any of the existing 20 buildings. Within the property, the Burriss House, constructed ca. 1869, is the only known historic resource, while the existing landscaping, pathways, driveways, parking areas, in-ground pool and other site features are not contributory to the Burriss House's historic significance. The proposed project does not seek to remove or otherwise alter any of the character-defining materials of the Burriss House. All identified character-defining features, including materials, distinctive architectural features and the Burriss House's height, form, massing, and location will be preserved. Although the site's historic setting has been impaired by the past redevelopment of the earlier residential ranch property to a hotel and spa use, the Burriss House's individual architectural features representing its appearance during the period of significance have been retained and would be retained after the proposed project is completed.

Areas of the property where new, infill construction will occur do not contain existing historic buildings, structures, or landscape features. The positioning of each of the proposed infill buildings will create separation from the Burriss House such that the Burriss House's primary frontage along E. MacArthur Street, historic setback, and existing visibility from the street will not be impaired. As designed, the new buildings will be a maximum of two stories in height, will have generally rectangular footprints, and gable roofs with asphalt shingles or galvanized metal covering. Exteriors will be clad with wood siding similar to the non-historic buildings constructed at the site between the late 1990s and early 2000s. Windows and doors will be metal clad wood, with similar scale and shape to historic windows at the property, but with differentiated profiles. This approach creates a cohesive architectural character across the property, but does not introduce any conjectural or falsely historic features and clearly differentiates new construction from that of the historic Burriss House.

Building V, a new one-story cottage, will be located to the west of the Burris House and will be set back approximately 15 feet from the north property line. The Burris House is set back approximately 30 feet from the north property line. Although Building V will be situated closer to E. MacArthur Street, the building's lower one-story height will be subordinate to the Burris House's two-story height. Additionally, existing tall hedges along the front property line will be replaced by new plantings that appear to open up visibility of the Burris House, relative to the existing plantings at that location.

The scope of the proposed project does not call for use of any chemical or physical treatments such as sandblasting, or more generally for repair or replacement of any historic features of the Burris House.

Overall, the proposed project as designed is consistent with all 10 of the Secretary of the Interior's Standards for Rehabilitation. Therefore, the proposed Guest House Addition Project does not appear to cause an impact to historic resources for the purposes of CEQA.

Thank you,

A handwritten signature in black ink, appearing to read 'Josh Bevan', written over a large, light-colored oval shape.

Josh Bevan, Cultural Resources Planner
Page & Turnbull

Appendix EN

Energy Fuel Consumption Calculations

MacArthur Place Hotel & Spa Guest Room Additions Project

Last Updated: 4/21/21

Compression-Ignition Engine Brake-Specific Fuel Consumption (BSFC) Factors [1]:

HP: 0 to 100	0.0588	HP: Greater than 100	0.0529
--------------	--------	----------------------	--------

Values above are expressed in gallons per horsepower-hour/BSFC.

CONSTRUCTION EQUIPMENT

Construction Equipment	#	Hours per		Load Horsepower	Factor	Construction Phase	Fuel Used (gallons)
		Day					
Rubber Tired Dozers	1	1		247	0.4	Demolition Phase	52.22
Tractors/Loaders/Backhoes	2	6		97	0.37	Demolition Phase	253.09
Concrete/Industrial Saws	1	8		81	0.73	Demolition Phase	277.98
Graders	1	8		187	0.41	Site Preparation Phase	32.42
Tractors/Loaders/Backhoes	1	8		97	0.37	Site Preparation Phase	16.87
Concrete/Industrial Saws	1	8		81	0.73	Grading Phase	55.60
Rubber Tired Dozers	1	1		247	0.4	Grading Phase	10.44
Tractors/Loaders/Backhoes	2	6		97	0.37	Grading Phase	50.62
Cranes	1	4		231	0.29	Building Construction Phase	1,416.41
Forklifts	2	6		89	0.2	Building Construction Phase	1,255.20
Tractors/Loaders/Backhoes	2	8		97	0.37	Building Construction Phase	3,374.48
Air Compressors	1	6		78	0.48	Architectural Coating Phase	66.00
Pavers	1	7		130	0.42	Paving Phase	101.01
Cement and Mortar Mixers	4	6		9	0.56	Paving Phase	35.54
Rollers	1	7		80	0.38	Paving Phase	62.53
Tractors/Loaders/Backhoes	1	7		97	0.37	Paving Phase	73.82
Total Fuel Used							7,134.23 (Gallons)

Construction Phase	Days of Operation
Demolition Phase	10
Site Preparation Phase	1
Grading Phase	2
Building Construction Phase	100
Paving Phase	5
Architectural Coating Phase	5
Total Days	123

WORKER TRIPS

Constuction Phase	MPG [2]	Trips	Trip Length (miles)	Fuel Used (gallons)
Demolition Phase	24.4	10	10.8	44.26
Site Preparation Phase	24.4	5	10.8	2.21
Grading Phase	24.4	10	10.8	8.85
Building Construction Phase	24.4	2	10.8	88.52
Paving Phase	24.4	18	10.8	39.84
Architectural Coating Phase	24.4	0	10.8	0.00
Fuel				183.69

HAULING AND VENDOR TRIPS

Trip Class	MPG [2]	Trips	Trip Length (miles)	Fuel Used (gallons)
HAULING TRIPS				

Demolition Phase	7.5	0	20.0	0.00
Site Preparation Phase	7.5	0	20.0	0.00
Grading Phase	7.5	62	20.0	165.33
Building Construction Phase	7.5	0	20.0	0.00
Paving Phase	7.5	0	20.0	0.00
Architectural Coating Phase	7.5	0	20.0	0.00

Fuel 165.33

VENDOR TRIPS

Demolition Phase	7.5	0	7.3	0.00
Site Preparation Phase	7.5	0	7.3	0.00
Grading Phase	7.5	0	7.3	0.00
Building Construction Phase	7.5	1	7.3	97.33
Paving Phase	7.5	0	7.3	0.00
Architectural Coating Phase	7.5	0	7.3	0.00

Fuel 97.33

Total Gasoline Consumption (gallons)	183.69
Total Diesel Consumption (gallons)	7,396.90

Sources:

[1] United States Environmental Protection Agency. 2018. *Exhaust and Crankcase Emission Factors for Nonroad Compression-Ignition Engines in MOVES2014b*. July 2018. Available at: <https://nepis.epa.gov/Exe/ZyPDF.cgi?Dockey=P100UXEN.pdf>.

[2] United States Department of Transportation, Bureau of Transportation Statistics. 2019. *National Transportation Statistics 2019*. Available at: <https://www.bts.gov/topics/national-transportation-statistics>.

acArthur Place Hotel & Spa Guest Room Additions Proje

Last Updated: 4/21/21

Populate one of the following tables (Leave the other blank):

Annual VMT	OR	Daily Vehicle Trips
Annual VMT: 164,178		Daily Vehicle Trips: Average Trip Distance:

Fleet Class	Fleet Mix	Fuel Economy (MPG) [1]	
Light Duty Auto (LDA)	0.578638	Passenger Vehicles	24.4
Light Duty Truck 1 (LDT1)	0.038775	Light-Med Duty Trucks	17.9
Light Duty Truck 2 (LDT2)	0.193686	Heavy Trucks/Other	7.5
Medium Duty Vehicle (MDV)	0.110919	Motorcycles	44
Light Heavy Duty 1 (LHD1)	0.015677		
Light Heavy Duty 2 (LHD2)	0.005341		
Medium Heavy Duty (MHD)	0.018293		
Heavy Heavy Duty (HHD)	0.026358		
Other Bus (OBUS)	0.002641		
Urban Bus (UBUS)	0.002200		
Motorcycle (MCY)	0.005832		
School Bus (SBUS)	0.000891		164178
Motorhome (MH)	0.000749		

Fleet Mix					
Vehicle Type	Percent	Fuel Type	Annual VMT: VMT	Vehicle Trips: VMT	Fuel Consumption (Gallons)
Passenger Vehicles	57.86%	Gasoline	95000	0.00	3893.43
Light-Medium Duty Trucks	34.34%	Gasoline	56375	0.00	3149.47
Heavy Trucks/Other	7.22%	Diesel	11845	0.00	1579.39
Motorcycle	0.58%	Gasoline	957	0.00	21.76

Total Gasoline Consumption (gallons)	7064.65
Total Diesel Consumption (gallons)	1579.39

Sources:

[1] United States Department of Transportation, Bureau of Transportation Statistics. 2019. National Transportation Statistics 2019. Available at: <https://www.bts.gov/topics/national-transportation-statistics>.

Appendix GEO

Soil Investigation Report

134 LYSTRA COURT
TELEPHONE (707) 528-3078

REESE CONSULTING
& ASSOCIATES GEOTECHNICAL
ENGINEERS

SANTA ROSA, CA 95403
FACSIMILE (707) 528-2837

Report
Soil Investigation
MacArthur Place Hotel & Spa Renovation
29 East MacArthur Street
Sonoma, California

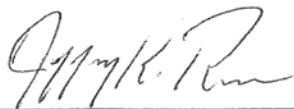
Prepared for
L' Auberge de Sonoma, LLC
7001 N. Scottsdale Road, Suite 2050
Scottsdale, AZ 85253

By

REESE & ASSOCIATES
Consulting Geotechnical Engineers



Brian F. Piazza
Project Geologist



Jeffrey K. Reese
Civil Engineer No. 47753



Job No. 2031.1.1
January 30, 2020

INTRODUCTION

This report presents the results of our soil investigation for your proposed new spa building, swimming pool and emergency generators in Sonoma, California. The site is located within the MacArthur Place Hotel facility at 29 East MacArthur Street. Giblin and Associates (GA) performed a soil investigation for the project, and the results were presented in their report dated August 29, 1997. GA also performed a soil investigation for an expansion of the facility, and the results were presented in their report dated September 2, 1999.

The proposed development will consist of demolishing the existing pool on the property and constructing the new pool in its place with a north/south orientation. A spa building addition will be constructed south of the existing pool facility. In addition, two emergency generators are proposed in the northwest and east portion of the facility. We understand that the proposed spa building addition will be a one- and/or two-story, wood frame structure with concrete slab-on-grade floors. The pool will be an in-ground, reinforced gunite structure, surrounded by concrete pool decks. We anticipate the generators will be installed on new concrete slabs.

The object of our investigation, as outlined in our proposal dated November 21, 2018 (revised December 6, 2019), was to review selected, published, geologic information in our files, explore subsurface conditions, measure depth to groundwater, if encountered, and determine physical properties of the soils encountered. We then performed engineering analyses to develop conclusions and recommendations concerning:

1. Proximity of the site to active faults.
2. Site preparation and grading.

3. Foundation support and design criteria.
4. Swimming pool design criteria.
5. Support of concrete slab-on-grade floors, pool decks and generator slabs.
6. Soil engineering drainage.
7. Supplemental soil engineering services.

WORK PERFORMED

We reviewed selected, published geologic information in our files including:

1. "Geology for Planning in Sonoma County," Special Report 120, M. E. Huffman & C.F. Armstrong, California Division of Mines and Geology (CDMG), 1980.
2. "Geologic Map of the Sonoma 7.5' Quadrangle, Sonoma and Napa Counties, California: A Digital Database," D. L. Wagner, K. B. Clahan, C. E. Randolph-Loar and J.M. Sowers, California Geological Survey, 2004.
3. Google Earth, 2013, (<http://earth.google.com>); includes historic aerial photos from 1993 to 2013.
4. Sonoma County Vegetation Mapping and LIDAR Program <http://Sonomavegmap.org>. viewed as Google Earth files.

On January 6, 2020, we were at the site to observe surface features and explore subsurface conditions to the extent of four test borings at the approximate locations indicated on Plate 1. The test borings were drilled to depths of about 8 to 10 feet with portable drilling equipment. Our geologist located the test borings, observed the drilling, logged the conditions encountered and obtained samples for visual classification and laboratory tests. Intact soil

samples were obtained with 2.5-inch and 1.5-inch (inside-diameter) split-spoon samplers driven with a 70-pound drop hammer. The stroke during driving was about 30 inches. The blows required to drive the samplers were recorded and converted to equivalent standard penetration blow counts for correlation with empirical data. Logs of the test borings, showing soil conditions, sample depths and converted blow counts, are presented on Plates 2 through 5. The soils are classified in accordance with the Unified Soil Classification System, explained on Plate 6.

Selected samples were tested in our laboratory to determine moisture content, dry density, classification (percent free swell, Atterberg Limits and percent passing No. 200 sieve) and strength characteristics. The test results are shown on the logs, with the strength data shown in the manner described by the Key to Test Data on Plate 6. Detailed results of the Atterberg Limits are presented on Plate 7.

The test boring locations shown on Plate 1 were determined by visually estimating from existing surface features. The locations should be considered no more accurate than implied by the methods used to establish the data. At the completion of the exploration, the bore holes were backfilled.

SURFACE AND SUBSURFACE CONDITIONS

The property is located on the south side of East MacArthur Street and is bordered to the west by Broadway Street. Sonoma Valley High School borders the property to the south, and Nathanson Creek extends through the east side of the property. The property is very gently

sloping, with about 1- to 2-foot difference in elevation across the anticipated improvement areas. The new pool will be located at the center of the facility and will be constructed within the approximate area of the existing pool. The new spa addition will be constructed along the east side of the existing spa facility. The east generator will be located adjacent to the parking area and the northwest generator will be located adjacent to the east MacArthur Street entrance.

In general, the borings and laboratory tests indicate that the site is underlain by discontinuous layers of sandy silts, sandy clays, silty sands and clayey sands to the maximum depth explored. The upper soils encountered in the borings consist of relatively weak, soft to medium stiff sandy silt and loose silty coarse sand that extend to depths of about 1½ to 4 feet below the existing ground surface. The upper soils in Test Borings 1 through 3 are also porous, likely from prior root decomposition and/or cultivation, and exhibit a low expansion potential. That is, the soils would tend to undergo low strength and volume changes with seasonal changes in moisture content. In Test Borings 1 and 4, silty coarse sand and sandy silt were observed underlying the weak upper soils to about 8 feet. At about 8 feet, Test Boring 4 transitioned to clayey coarse sand with gravel to the remaining extent of the boring. In Test Borings 2 and 3, sandy clay, clayey sand and sandy silts were observed beneath the weak surface layers and extended to the maximum depth explored. The underlying materials extending below depths of about 3½ to 4 feet can be considered relatively incompressible under the anticipated loading conditions.

Groundwater was observed in Test Boring 1 at a depth of about 4 feet below the existing ground surface during our exploration. Prior to backfilling, the depth to groundwater was

measured to be approximately 3½ feet. Groundwater conditions and seepage levels vary seasonally and can rise and fall several feet annually. Determination of precise depth to groundwater, extent of seasonal water level fluctuations or existence of perched groundwater conditions is beyond the scope of this investigation.

CONCLUSIONS

Based on the results of our field exploration, laboratory tests, engineering analyses and previous work on the property, we conclude that, from a soil engineering standpoint, the site can be used for the proposed construction. The most significant geotechnical engineering factors that must be considered in design and construction are the presence of weak, compressible upper soils.

Our experience indicates that the weak, compressible soils can undergo considerable strength loss and settlement when loaded in a saturated condition. Where evaporation is inhibited by footings, slabs or fill, eventual saturation of the underlying soils can occur. Therefore, we conclude that the weak, porous soils are not suitable for foundation or slab support in their present condition. It will be necessary to remove (overexcavate) the weak, compressible soils and replace the materials as properly compacted fill.

Provided the building areas are graded in accordance with our recommendations, we judge that satisfactory foundation support for the structures can be obtained from spread footings bottomed at relatively shallow depths on properly compacted fill. We also judge that conventional concrete slab-on-grade floors can be used. Floor slabs, pool deck slabs and

generator slabs should be similarly underlain by properly compacted fill. As an alternative to grading in the generator slab areas, mat slabs could be used. Where mat slabs are used, overexcavation of weak, natural soils would not be needed.

For site preparation and building foundation design and installation in accordance with our recommendations, we judge that total settlements would be about 1-inch, or less. Post-construction settlements should be about 1/2-inch, or less.

SEISMIC DESIGN

The geologic maps reviewed did not indicate the presence of active faults at the site, and the property is not located within a presently designated Alquist-Priolo Earthquake Fault Zone. Therefore, we judge that there is little risk of fault-related ground rupture during earthquakes. In a seismically active region such as Northern California, there is always some possibility for future faulting at any site. However, historical occurrences of surface faulting have generally closely followed the trace of the more recently active faults.

The closest faults generally considered active are the Rodgers Creek fault zone located approximately 4½ miles to the southwest, the West Napa fault zone located approximately 6½ miles to the northeast and the San Andreas fault zone located approximately 25 miles to the southwest.

Strong ground shaking will occur during earthquakes. The intensity at the site will depend on the distance to the earthquake epicenter, depth and magnitude of the shock and the response characteristics of the materials beneath the site. Because of the proximity of active

faults in the region and the potential for strong ground shaking, it will be necessary to design and construct the project in strict accordance with current standards for earthquake-resistant construction.

We have determined seismic ground motion values in accordance with procedures outlined in Section 1613 of the 2019 California Building Code (CBC). Based on our review of available geologic maps and knowledge of the subsurface conditions, we judge that the site can be classified as Site Class C, as described in Table 20.3-1 of American Society of Civil Engineers/Structural Engineering Institute (ASCE/SEI) Standard ASCE/SEI 7-16. The following earthquake design data summarize our results.

2019 CBC Ground Motion Parameters

Site Class C

Mapped Spectral Response Accelerations:

S _s	1.785 g
S ₁	0.673 g

Design Spectral Response Accelerations:

S _{DS}	1.428 g
S _{D1}	0.628 g

RECOMMENDATIONS

Site Grading

Areas to be developed should be cleared of obstructions, debris and dense growths of grass and vegetation, where necessary. The areas to be graded then should be stripped of the

upper few inches of soil containing abundant root growth and organic matter. We anticipate that the depth of stripping would average about 3 inches. The strippings should be removed from the site, stockpiled for reuse as topsoil or be mixed with at least five parts of soil and used as fill at least 10 feet away from structures, walkways and paved areas.

Wells, septic tanks, leach fields and other voids encountered or created during grading should be removed and filled with compacted soil or granular material or be capped with concrete, as determined by appropriate regulatory agency or the soil engineer.

After stripping, excavations can be performed as necessary. We anticipate that, except for organic matter and rocks or hard fragments larger than 4 inches in diameter, the excavated on-site soils will be suitable for reuse as compacted fill.

In concrete slab-on-grade floor areas and beneath concrete pool deck and generator slabs, weak, compressible soils should be overexcavated for their full depth. Overexcavation in slab areas should extend to at least 5 feet beyond the building perimeter, at least 3 feet beyond the edge of building foundations and to at least 3 feet beyond any adjacent exterior concrete slab areas (i.e. building envelopes). Based on our test borings, we anticipate overexcavation depths to remove the weak upper soils would likely vary between about 3 to 4 feet below the existing ground surface. The depth of overexcavation should also be adjusted, as needed, to provide space for at least 12 inches of properly compacted fill of low expansion potential below all footings and slabs. As previously discussed, where mat slabs are used for support of the generators, overexcavation of weak upper soils for their full depth would not be needed.

Within areas to receive fill, the surfaces exposed by stripping or overexcavation should be scarified at least 6 inches deep, moisture conditioned to near optimum and compacted to at least 90 percent relative compaction¹. Approved, excavated and/or imported fill material then should be spread in 8-inch-thick loose lifts, be similarly moisture conditioned and compacted to at least 90 percent.

Imported fill, if needed, should be of low expansion potential and have a Plasticity Index of 15 or less, and be free of organic matter and rocks or hard fragments larger than 4 inches in diameter. Material proposed for use as imported fill should be tested and approved by the soil engineer prior to delivery to the site.

Excavations for the proposed new spa addition, should recognize the potential for undermining the existing foundation system of the existing spa building. Excavations adjacent to the existing foundation system should be done in short, separate sections. We can provide specific recommendations for such excavations, if needed.

It is our experience that porous surface soils, such as those encountered at the site, can tend to trap considerable amounts of water into the late spring or early summer. For grading performed in the winter, spring or early summer, there is a risk that the site may be too soft to support construction equipment, normally suitable fill material may be too wet to properly compact and excavation bottoms can become unstable. Therefore, we believe that site grading

¹ Relative compaction refers to the in-place dry density of fill expressed as a percentage of maximum dry density of the same material determined in accordance with the American Society for Testing and Materials (ASTM) Standard ASTM D1557 laboratory compaction test procedure. Optimum moisture content refers to the moisture content at maximum dry density.

early in the construction season could require more than normal effort to satisfactorily excavate and/or compact the materials. Accordingly, we recommend that contract documents contain provisions to account for such possible additional costs.

Foundation Support

Provided the site is graded in accordance with the recommendations outlined above, footings should be underlain by at least 12 inches of properly compacted fill. Footings should bottom at least 12 inches below lowest adjacent pad grade and should be at least 12 inches wide.

Spread footings can be designed to impose dead plus code live load and total design load (including wind or seismic forces) bearing pressures of 2,000 and 3,000 pounds per square foot (psf), respectively. Resistance to lateral loads can be obtained from passive earth pressures and soil friction. We recommend the following criteria for design:

Passive Earth Pressure	=	300 pounds per cubic foot (pcf) equivalent fluid, neglect the upper 1 foot (unless confined by pavement or slab)
Soil Friction Factor	=	0.30

Conventional Slab-on-Grade

Provided the site is graded in accordance with the recommendations above, floor slabs, pool decks and generator slabs should be underlain by at least 12 inches of properly compacted fill of low expansion potential. Slabs-on-grade should be at least 4 inches thick and reinforced with bars to reduce cracking. Actual slab thickness and reinforcing should be determined by the

structural design engineer based on anticipated use and performance. Slabs should be underlain with a capillary moisture break and cushion layer consisting of at least 4 inches of free-draining gravel or crushed rock (i.e. slab rock). The slab rock should be at least 1/4-inch and no larger than 3/4-inch in size. Prior to placing the reinforcing or slab rock, the subgrade soils should be thoroughly moistened and be smooth, firm and uniform. Slab subgrade should not be allowed to dry prior to concrete placement.

Moisture vapor will condense on the underside of slabs. Where moisture migration through slabs would be detrimental, a vapor retarder should be provided between the supporting base material and the slab. Two inches of moist, clean sand could be placed on top of the membrane to aid in curing and to help provide puncture protection. However, the actual use of sand should be determined by the architect or design engineer. The use of a less permeable and stronger membrane should be considered if sand is not to be placed for puncture protection, or where the flooring manufacturer requires a vapor barrier. Concrete design and curing specifications should recognize the potential adverse effects associated with placement of concrete directly on the membrane.

Mat Slabs – A mat slab could also be used for foundation support of the generators. The mat slab should be at least 10 inches thick and be reinforced with bars. The mat slab should be reinforced to span at least 10 feet of nonsupport and cantilever a distance of at least 5 feet at the slab edges. The actual slab thickness and amount of reinforcing should be determined by the architect or structural design engineer. The mat slab can be designed using an allowable bearing

pressure of 1,000 psf, with a one-third increase for short-term wind or seismic loads. A friction factor of 0.30 can be used to resist sliding. The slab should be underlain with a capillary moisture break and slab rock similarly described for conventional slabs.

Swimming Pool

Provided the site is graded as outlined above, the pool decks should be underlain by at least 12 inches of properly compacted fill of low expansion potential. We understand the finished pool depth will vary to about 3½ to 4 feet. The pool excavations will likely bottom into dense sandy soils and/or properly compacted fill from the previously demolished pool. We recommend that the pool excavation be observed by the soil engineer to ascertain that firm bearing materials are encountered in the bottom the pool.

Based on our geotechnical evaluation of site conditions, we recommend that the pool walls be designed for a lateral pressure of a minimum of 55 psf Equivalent Fluid Pressure (EFP). This lateral pressure is based on an assumed at-rest conditions to limit the potential for lateral movement of the pool wall. We recommend a maximum soil bearing pressure of 1,500 psf at the bottom of the pool structure, as applicable.

We recommend removal of any weak compressible soils encountered in the bottom of the pool excavation and replacement of those soils with approved, nonexpansive, granular fill, compacted in accordance with the specifications previously provided. Compaction within 5 feet of newly constructed pool walls should be carefully performed to reduce potential stress or damage to the pool walls. The contractor is responsible for preventing damage to the pool walls.

The site has the potential to have seasonally elevated ground water levels. Therefore, a means of hydrostatic relief is recommended, and a minimum 6-inch-thick layer of drainrock should be provided under the pool bottom.

We judge that it would be prudent to assume that the groundwater level could potentially rise to about the level of the existing ground surface. Such high groundwater conditions could result in a buoyant condition on the pool structure. The risk of such distress to the pool could be reduced by maintaining a high water level in the pool throughout all times of the year. If, for any reason, removal of pool water is needed, water should not be removed during the winter or spring months and only after the current groundwater level is confirmed. It should be understood that removal of the water at any time, even during the summer or fall, would still increase the risk of buoyant conditions on the bottom of the structure and should be avoided. Use of the recommended hydrostatic relief valve will reduce, but not eliminate the need to be cautious regarding removal of water from the pool or allowing the pool water level to drop. As an alternative, the pool could be supported on a system of drilled piers designed to resist potential uplift pressures. We could provide specific recommendations for a pier-supported pool, if requested.

Geotechnical Drainage

Ponding water will cause softening of the site soils and could be detrimental to foundations. It is important that the ground surface adjacent to structures be sloped to drain away from foundations. A gradient of at least 1/4-inch per foot extending at least 4 feet from the

foundation should be maintained away from and around the structures. Careful attention to fine (finish) grading around the structures should be provided. Roofs should be provided with gutters, and the downspouts should discharge onto paved areas or splash blocks draining at least 30 inches away from foundations or be connected to nonperforated, rigid plastic pipelines with watertight joints that discharge into planned or existing drainage facilities.

To provide an outlet for water that could accumulate in the underslab rock and reduce the risk of future moisture migration up through the concrete floor slab at the spa addition, a system of perforated plastic pipes should be embedded in the grade below the underslab rock. The underslab subdrain system should be designed to drain each bay created by interior and/or perimeter foundations. The underslab subdrain system should be connected to a nonperforated outlet pipe that extends through or beneath the perimeter foundation to a suitable discharge point. A typical cross-section of our recommended underslab subdrain is shown on the attached Plate 8. We should provide additional consultation concerning the actual configuration and location of the underslab subdrains during final design, if the use of underslab subdrains is desired. Roof downspouts and surface drains must be maintained entirely separate from underslab subdrains.

Supplemental Soil Engineering Services

We should review the final grading and foundation plans for conformance with the intent of our recommendations. During site grading operations, we should provide intermittent soil engineering observation and testing to determine the conditions encountered and modify our

recommendations, if warranted. Field and laboratory tests should be performed to ascertain that the specified moisture content and degree of compaction are being attained.

We should observe footing and pool excavations to verify that the conditions are as anticipated and to modify our recommendations, if warranted. Concrete placement and reinforcing should be checked as stipulated on the project plans or as required by the Building Department. It is our understanding that approval from the Building Department must be obtained prior to the placement of concrete in foundation elements.

LIMITATIONS

We have performed the investigation and prepared this report in accordance with generally accepted standards of the soil engineering profession. No warranty, either express or implied, is given. This scope of work is limited to evaluating the physical properties of earth materials considered typical of geotechnical engineering practice and does not include other concerns such as soil chemistry, corrosion potential, mold, and soil and/or groundwater contamination.

Subsurface conditions are complex and may differ from those indicated by surface features or encountered at test boring locations. Therefore, variations in subsurface conditions not indicated on the logs could be encountered.

If the project is revised or if conditions different from those described in this report are encountered during construction, we should be notified immediately so that we can take timely action to modify our recommendations, if warranted.

Supplemental services as recommended herein are performed on an as-requested basis. Such services are in addition to this soil investigation, and are charged for on an hourly basis in accordance with our Standard Schedule of Charges. We accept no responsibility for items we are not notified to check, or for use and/or interpretation by others of the information contained herein.

Site conditions and standards of practice change. Therefore, we should be notified to update this report if construction is not performed within 36 months.

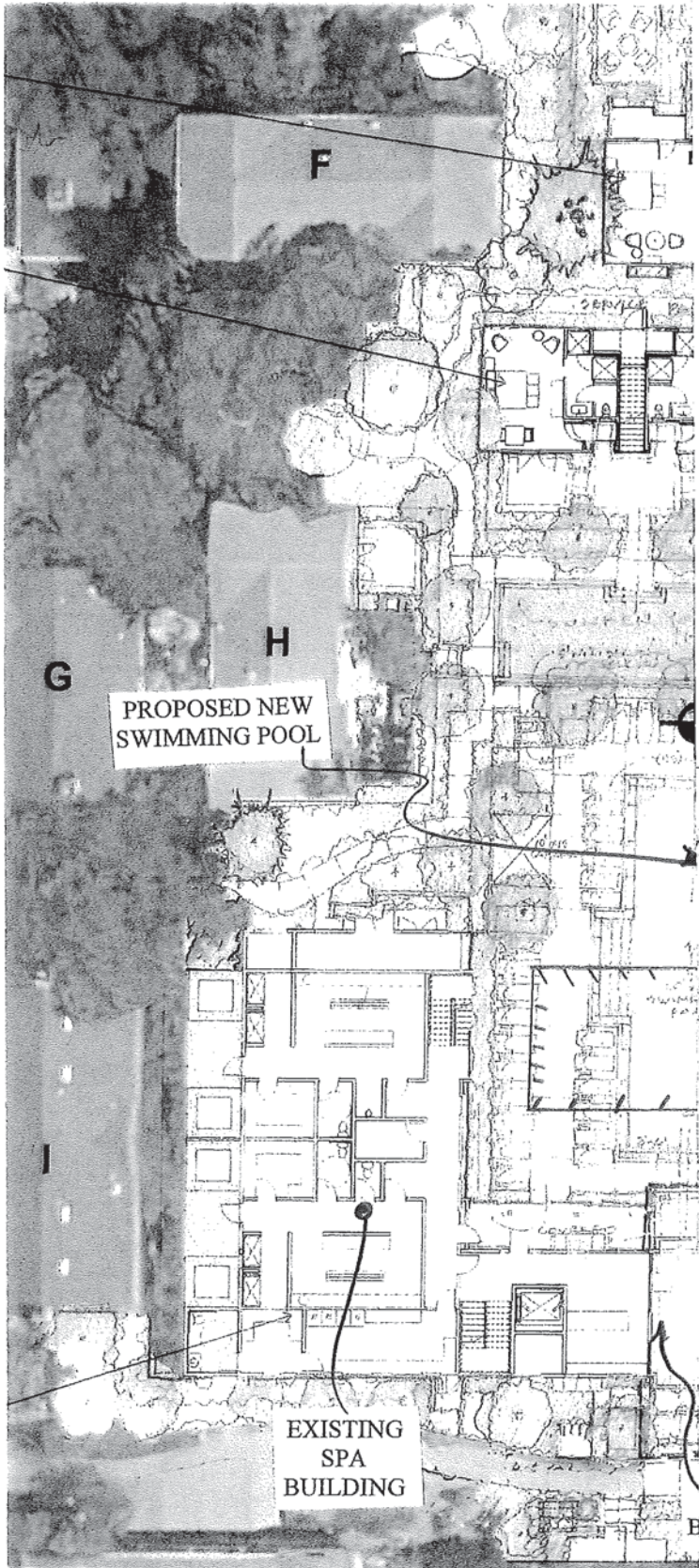
LIST OF PLATES

Plate 1	Test Boring Location Plan and Site Vicinity Map
Plates 2 through 5	Logs of Test Borings 1 through 4
Plate 6	Soil Classification Chart and Key to Test Data
Plate 7	Atterberg Limits Test Results
Plate 8	Typical Cross Section Underslab Subdrain

DISTRIBUTION

Copies submitted:	3	L' Auberge de Sonoma, LLC 7001 N. Scottsdale Road, Ste 2050 Scottsdale, AZ 85253 Attention: Joe Walsh JWalsh@imhfc.com
	1	RDC Architecture Attention: Nick Morrow, AIA nmarrow@rdcarchitecture.com
	1	Structural Design Group Attention: Rich Burris richb@s-d-g.net

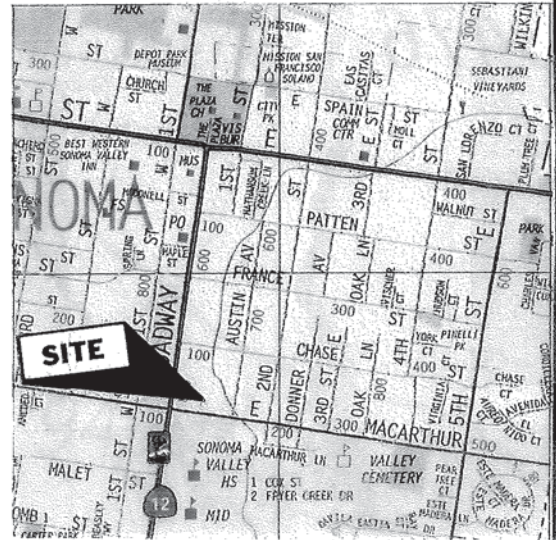
JM/JKR:nay/ra//Job No. 2031.1.1



PROPOSED NEW SWIMMING POOL

EXISTING SPA BUILDING

SITE VICINITY MAP



EAST BACK UP GENERATOR LOCATION

B-4

not to scale



Approximate Test Boring Location

ENLARGED SITE PLAN
PROPOSED POOL

TEST BORING LOCATION PLAN
AND SITE VICINITY MAP

PLATE

MACARTHUR PLACE HOTEL
& SPA RENOVATIONS
29 EAST MACARTHUR STREET
SONOMA, CALIFORNIA

1

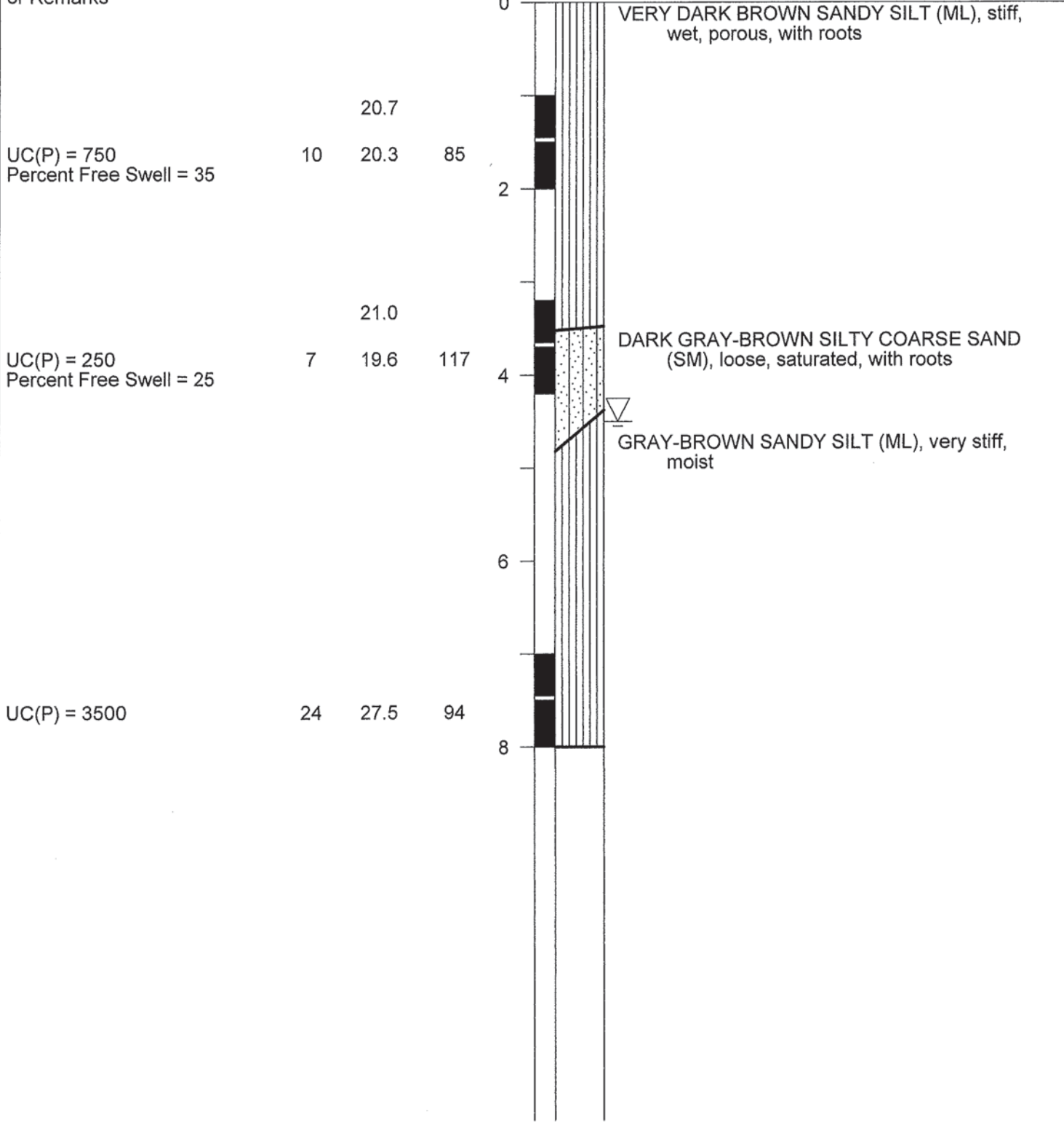
▽ groundwater first encountered at time of drilling

LOG OF BORING 1

Laboratory Test Results or Remarks

Equipment 6" FLIGHT AUGER
 Elevation 73.0 Date 1-6-20

Blows/foot *
 Moisture Content (%)
 Dry Density (pcf)
 Depth (ft)
 Sample



UC(P) = 750
 Percent Free Swell = 35

UC(P) = 250
 Percent Free Swell = 25

UC(P) = 3500

REESE & ASSOCIATES
 CONSULTING GEOTECHNICAL ENGINEERS

Job No: 2031.1.1
 Date: 1-16-20
 Appr: BFB

LOG OF BORING 1
 MACARTHUR PLACE HOTEL & SPA RENOVATIONS
 29 EAST MACARTHUR STREET
 SONOMA, CALIFORNIA

PLATE
2

*Converted to Standard Penetration Blow Counts

▽ groundwater first encountered at time of drilling

LOG OF BORING 2

Laboratory Test Results or Remarks

Percent Free Swell = 30

Percent Passing No. 200 Sieve = 53.3
LL = 23, PL = 18, PI = 5
Percent Free Swell = 20

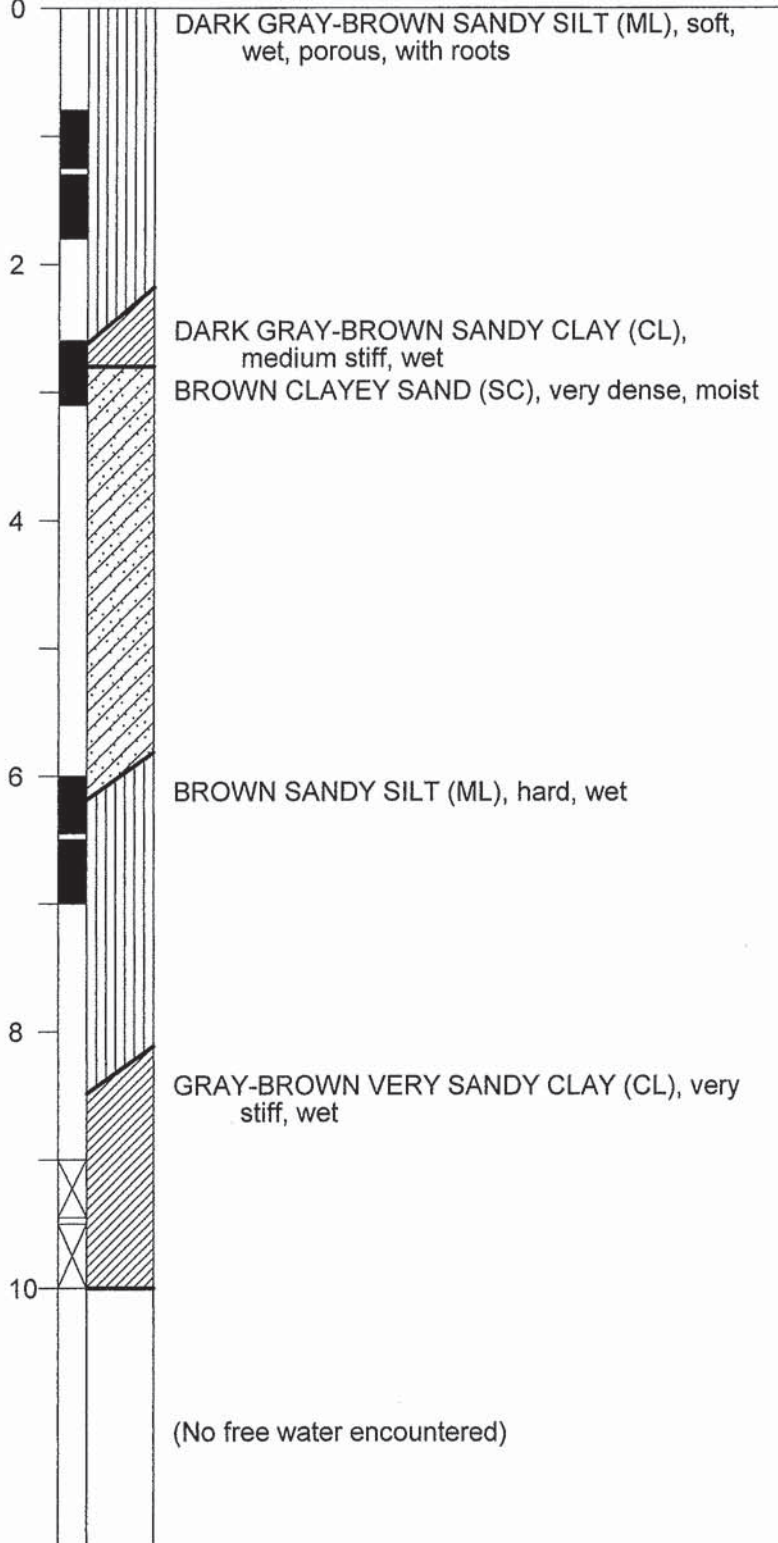
Percent Free Swell = 45

Percent Free Swell = 25
TxUU = 730 (500)

Blows/foot *
Moisture Content (%)
Dry Density (pcf)

Depth (ft)
Sample

Equipment 6" FLIGHT AUGER
Elevation 77.0 Date 1-6-20



REESE & ASSOCIATES
CONSULTING
GEOTECHNICAL
ENGINEERS

Job No: 2031.1.1

Date: 1-16-20

Appr: *BFB*

LOG OF BORING 2

MACARTHUR PLACE HOTEL
& SPA RENOVATIONS
29 EAST MACARTHUR STREET
SONOMA, CALIFORNIA

PLATE

3

*Converted to Standard Penetration Blow Counts

▽ groundwater first encountered at time of drilling

LOG OF BORING 3

Laboratory Test Results or Remarks

Blows/foot *

Moisture Content (%)

Dry Density (pcf)

Depth (ft)
Sample

Equipment 6" FLIGHT AUGER

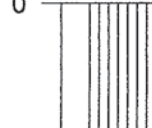
Elevation 74.0 Date 1-6-20

Percent Free Swell = 30

2

19.5

98



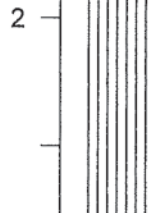
VERY DARK BROWN SANDY SILT (ML), soft, wet, porous, within small roots and occasional gravel

Percent Passing
No. 200 Sieve = 53.3
Percent Free Swell = 20
LL = 30, PL = 18, PI = 12
Percent Free Swell = 30

25

21.5

101



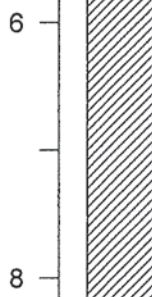
GRAY SANDY CLAY (CL), very stiff, wet
BROWN CLAYEY COARSE SAND (SC), dense, moist, cemented with occasional gravels
GRAY-BROWN VERY SANDY CLAY (CL), hard, wet

TxUU = 1290 (1500)

40

25.8

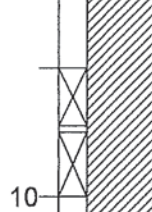
85



35

30.1

26.0



(No free water encountered)

REESE & ASSOCIATES
CONSULTING
GEOTECHNICAL
ENGINEERS

Job No: 2031.1.1

Date: 1-16-20

Appr: *RF*

LOG OF BORING 3

MACARTHUR PLACE HOTEL
& SPA RENOVATIONS
29 EAST MACARTHUR STREET
SONOMA, CALIFORNIA

PLATE

4

*Converted to Standard Penetration Blow Counts

▽ groundwater first encountered at time of drilling

LOG OF BORING 4

Laboratory Test Results or Remarks

Blows/foot *

Moisture Content (%)

Dry Density (pcf)

Depth (ft)
Sample

Equipment 6" FLIGHT AUGER

Elevation 73.0 Date 1-6-20

Percent Free Swell = 40

18.2 81

Percent Passing No. 200 Sieve = 38.3
Percent Free Swell = 40

6 21.7 92

Percent Free Swell = 35

Percent Free Swell = 15

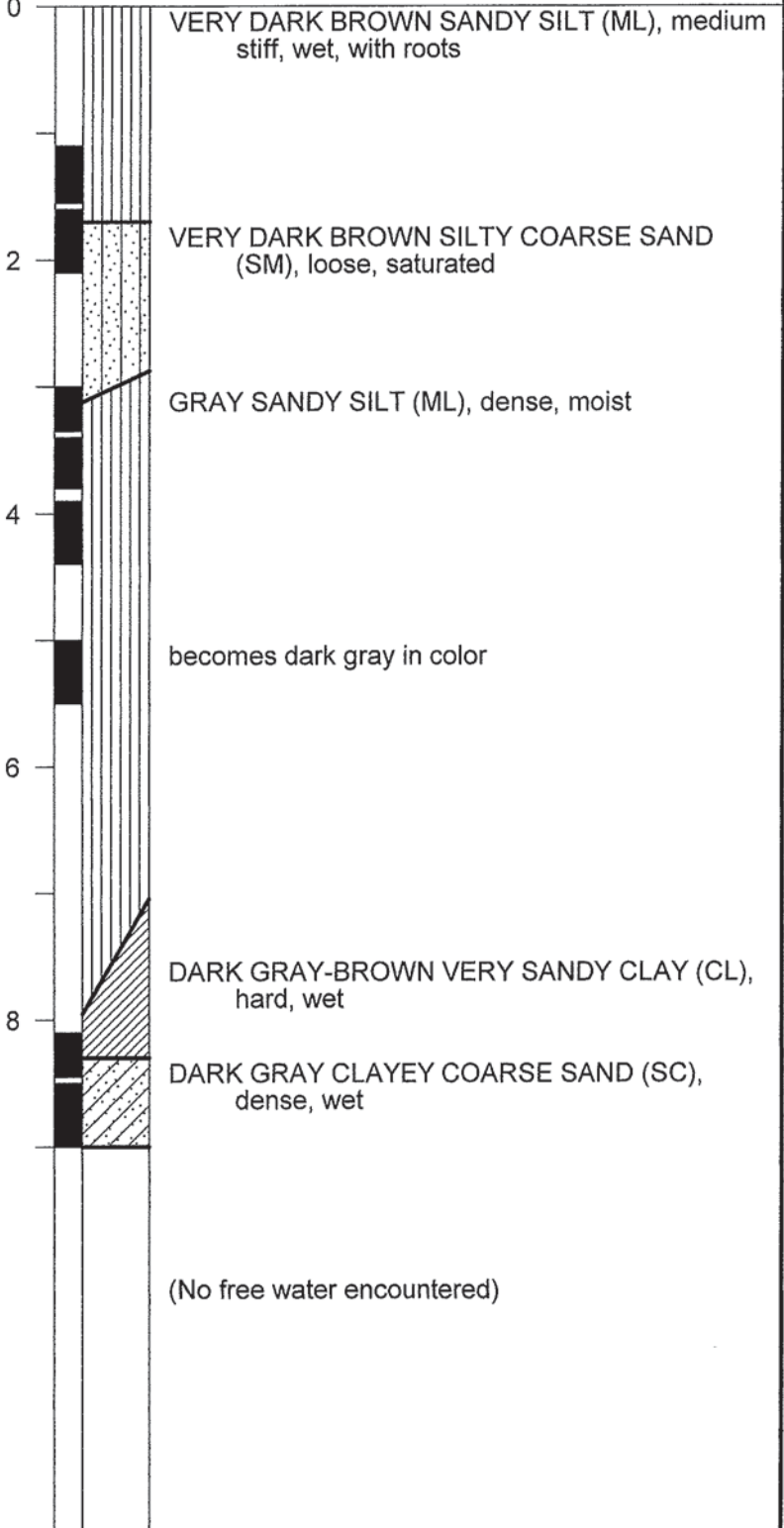
UC(P) = 4500

21 10.2 97

42 17.3 78

UC(P) = 4500

32 20.1 103



REESE & ASSOCIATES
CONSULTING
GEOTECHNICAL
ENGINEERS

Job No: 2031.1.1

Date: 1-16-20

Appr: BFP

LOG OF BORING 4








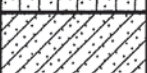


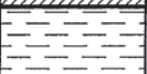




MACARTHUR PLACE HOTEL
& SPA RENOVATIONS
29 EAST MACARTHUR STREET
SONOMA, CALIFORNIA

PLATE

5

*Converted to Standard Penetration Blow Counts

UNIFIED SOIL CLASSIFICATION SYSTEM

MAJOR DIVISIONS			TYPICAL NAMES		
COARSE GRAINED SOILS MORE THAN HALF IS LARGER THAN No. 200 SIEVE	GRAVEL MORE THAN HALF OF COARSE FRACTION IS LARGER THAN No. 4 SIEVE SIZE	CLEAN GRAVEL WITH LESS THAN 5% FINES	GW		WELL GRADED GRAVEL, GRAVEL-SAND MIXTURE
			GP		POORLY GRADED GRAVEL, GRAVEL-SAND MIXTURE
		GRAVEL WITH OVER 12% FINES	GM		SILTY GRAVEL, GRAVEL-SAND-SILT MIXTURE
			GC		CLAYEY GRAVEL, GRAVEL-SAND-CLAY MIXTURE
	SAND MORE THAN HALF OF COARSE FRACTION IS SMALLER THAN No. 4 SIEVE SIZE	CLEAN SAND WITH LESS THAN 5% FINES	SW		WELL GRADED SAND, GRAVELLY SAND
			SP		POORLY GRADED SAND, GRAVELLY SAND
		SAND WITH OVER 12% FINES	SM		SILTY SAND, GRAVEL-SAND-SILT MIXTURE
			SC		CLAYEY SAND, GRAVEL-SAND-CLAY MIXTURE
FINE GRAINED SOILS MORE THAN HALF IS SMALLER THAN No. 200 SIEVE	SILT AND CLAY LIQUID LIMIT LESS THAN 50		ML		INORGANIC SILT, ROCK FLOUR, SANDY OR CLAYEY SILT WITH LOW PLASTICITY
			CL		INORGANIC CLAY OF LOW TO MEDIUM PLASTICITY, GRAVELLY, SANDY, OR SILTY CLAY (LEAN)
			OL		ORGANIC CLAY AND ORGANIC SILTY CLAY OF LOW PLASTICITY
	SILT AND CLAY LIQUID LIMIT GREATER THAN 50		MH		INORGANIC SILT, MICACEOUS OR DIATOMACEOUS FINE SANDY OR SILTY SOIL, ELASTIC SILT
			CH		INORGANIC CLAY OF HIGH PLASTICITY, GRAVELLY, SANDY OR SILTY CLAY (FAT)
			OH		ORGANIC CLAY OF MEDIUM TO HIGH PLASTICITY, ORGANIC SILT
HIGHLY ORGANIC SOILS			PT		PEAT AND OTHER HIGHLY ORGANIC SOILS

NOTE: DUAL SYMBOLS ARE USED TO INDICATE BORDERLINE SOIL CLASSIFICATIONS

KEY TO TEST DATA

EI — Expansion Index	TxUU — Unconsolidated Undrained Triaxial	320	(2600)		
Consol — Consolidation	TxCU — Consolidated Undrained Triaxial	320	(2600)		
LL — Liquid Limit (in %)	DSCD — Consolidated Drained Direct Shear	2750	(2000)		
PL — Plastic Limit (in %)	FVS — Field Vane Shear	470			
PI — Plasticity Index	LVS — Laboratory Vane Shear	700			
SA — Sieve Analysis	UC — Unconfined Compression	2000	*		
G _s — Specific Gravity	UC(P) — Laboratory Penetrometer	700	*		
■ "Undisturbed" Sample					
□ Bulk Sample					

Notes: (1) All strength tests on 2.8" or 2.4" diameter samples unless otherwise indicated.

* Compressive Strength

REESE & ASSOCIATES
CONSULTING
GEOTECHNICAL
ENGINEERS

Job No: 2031.1.1

Date: 1-16-20

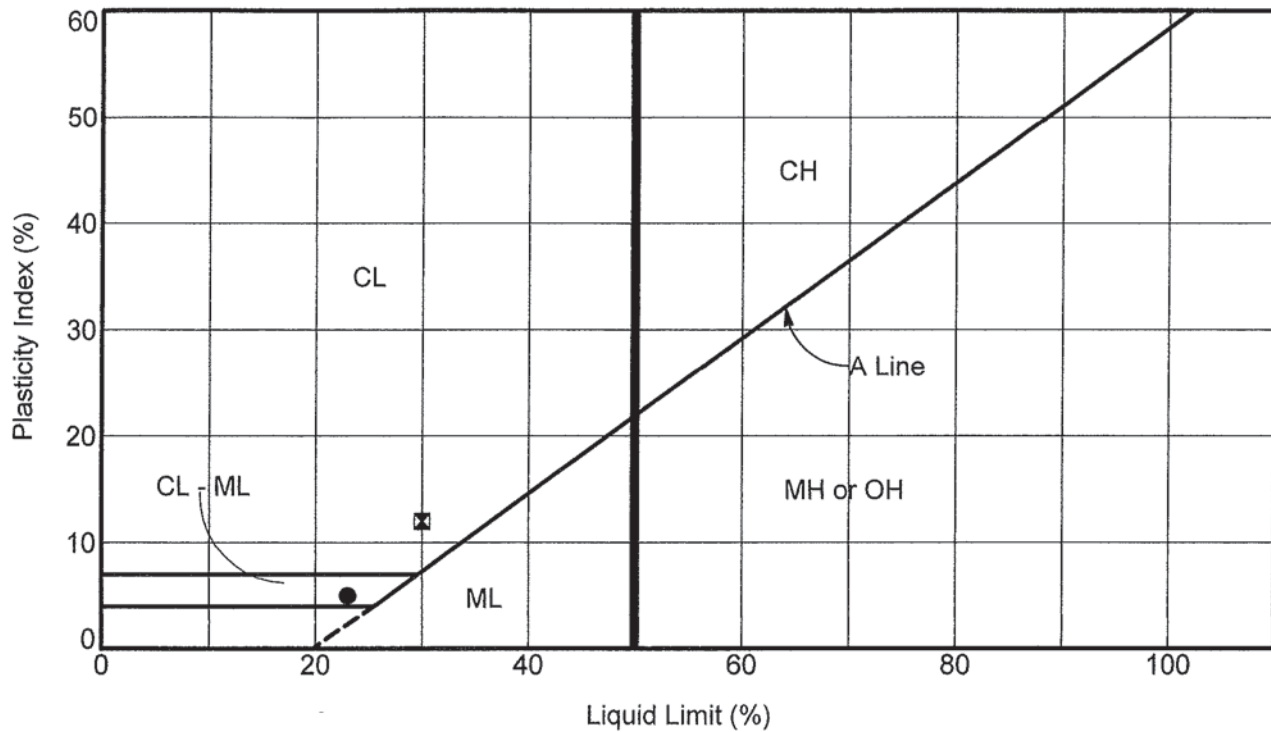
Appr: RP

SOIL CLASSIFICATION CHART AND KEY TO TEST DATA

MACARTHUR PLACE HOTEL
& SPA RENOVATIONS
29 EAST MACARTHUR STREET
SONOMA, CALIFORNIA

PLATE

6



ASTM D 4318-98

Symbol	Classification and Source	Liquid Limit (%)	Plastic Limit (%)	Plasticity Index (%)	Free Swell (%)
●	DARK GRAY-BROWN SANDY SILT (ML) Test Boring 2 at 1.4 feet	23	18	5	20
☒	GRAY SANDY CLAY (CL) Test Boring 3 at 4.1 feet	30	18	12	30

REESE & ASSOCIATES
CONSULTING
GEOTECHNICAL
ENGINEERS

Job No: 2031.1.1

Date: 1-16-20

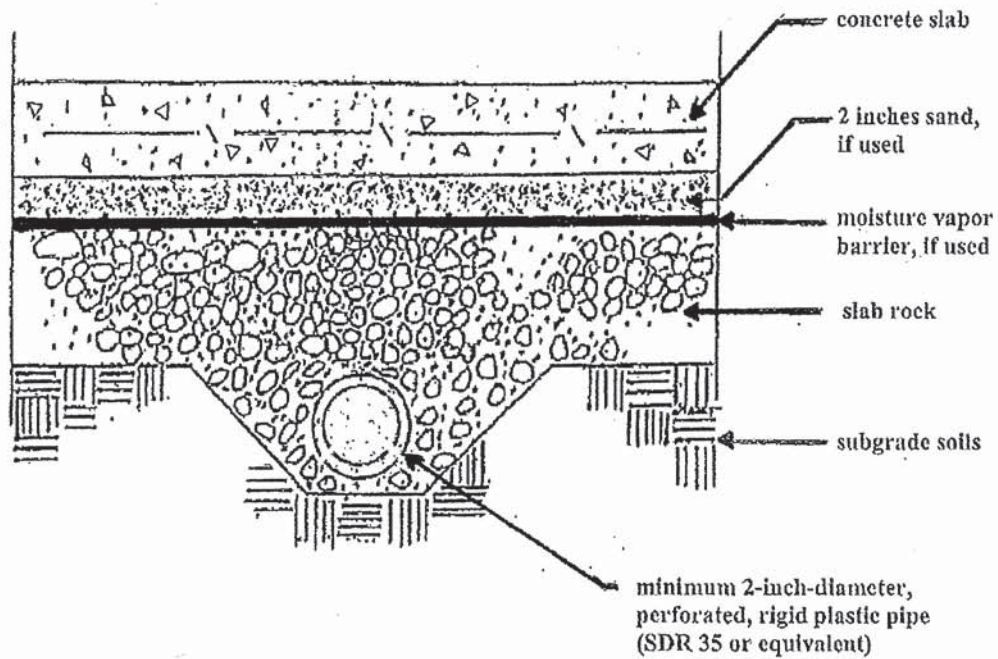
Appr: *BEP*

ATTERBERG LIMITS TEST RESULTS

MACARTHUR PLACE HOTEL
& SPA RENOVATIONS
29 EAST MACARTHUR STREET
SONOMA, CALIFORNIA

PLATE

7



**REESE &
ASSOCIATES**
CONSULTING
GEOTECHNICAL
ENGINEERS

Job No: 2031.1.1

Date: 01-31-20

Appr: *RFP*

**TYPICAL CROSS SECTION
UNDERSLAB SUBDRAIN**

**MACARTHUR PLACE HOTEL
AND SPA RENOVATION
29 EAST MACARTHUR STREET
SONOMA, CALIFORNIA**

PLATE

8

Appendix NOI

Noise Analysis

Macarthur Place Hotel

Sonoma, CA

HOTEL EXPANSION

1 April 2021

Prepared for: **Joe Walsh**
IMH Financial
7001 N. Scottsdale Road, Ste 2050
Email: JWalsh@imhfc.com

Prepared by: **Salter**
Eric A. Yee
Email: eyee@salter-inc.com

Salter Project 20-0553



130 Sutter Street, Floor 5
San Francisco, CA 94104

tel 415.397.0442
salter-inc.com

Acoustics
Audiovisual
Telecommunications
Security

INTRODUCTION

Macarthur Place Hotel intends to expand their guest room capacity by adding 11 new guest rooms in 5 separate bungalows. As part of the conditions of approval, the City of Sonoma has required an environmental noise study to assess the land use compatibility, address potential noise concerns from adjacent neighbors, and evaluate the project according to CEQA standards. Where necessary, this study recommends mitigation measures to meet these requirements. This report is divided into six sections including a discussion of environmental acoustics at the end of this report:

1. Acoustical Criteria
2. Existing Noise Conditions
3. Land Use Compatibility
4. Project Generated Noise
5. CEQA Analysis
6. Fundamentals of Environmental Noise

In summary, the project meets the noise goal and objectives stated in the Noise Element of the Sonoma General Plan 2020 and does not constitute a significant acoustical impact. Therefore, no special considerations are necessary.

CRITERIA

Applicable acoustical criteria are contained in the Noise Element section of the Sonoma General Plan 2020, Sonoma Municipal Code, and the California Environmental Quality Act Appendix G.

Noise Element of the Sonoma General Plan 2020

Goal PS-1 Achieve noise compatibility between existing and new development to preserve the quiet atmosphere of Sonoma and quality of life. Applicable policies follow below:

- 1.1 Apply the following standards for maximum Ldn levels to citywide development:
 - 45 Ldn: For indoor environments in all residential units.
 - 60 Ldn: for outdoor environments around all residential developments / outdoor public facilities.
- 1.3 Require adequate mitigation of potential noise from all proposed development.
- 1.4 Evaluate proposed development using the Noise Assessment Guide and require an acoustical study when it is not certain that a proposed project can adequately mitigation potential noise impacts.
- 1.5 Encourage all development to minimize noise intrusions through project design.

Sonoma Municipal Code

Sonoma Municipal Code (SMC) Section 9.56 Noise

Subject to the exceptions and exemptions set forth in SMC 9.56.050 and 9.56.060, the general noise limits set forth in this section shall apply. A summary of the general noise limits set forth in this section is set forth in Table 1. Where two or more noise limits may apply, the more restrictive noise limit shall govern. For purposes of determining sound levels from any source of sound, a sound level measurement shall be made at any point on any receiving private or public property. Sound level measurements shall be made with a sound level meter (Type 1 or 2) set to A-weighting, and “fast” response for intermittent sound. Slow or fast response may be used for constant noise sources. For intermittent sound, the one-second rms maximum level (Lmax) shall be used. For constant sound, the average level (Leq) shall be used.

A. Residential Property Noise Limits.

1. No person shall produce, suffer or allow to be produced by any machine, animal or device, or by any other means, a noise level greater than the following, when measured on any residential property:
 - a. Daytime: 60 dBA intermittent
50 dBA constant
 - b. Nighttime: 50 dBA intermittent
40 dBA constant

2. No person shall produce, suffer or allow to be produced by any machine, animal, or device, or by any other means, a noise level greater than the following, when measured on any mixed use property:
 - a. Daytime: 65 dBA intermittent
55 dBA constant
 - b. Nighttime: 55 dBA intermittent
45 dBA constant

CEQA Appendix G

The California Environmental Quality Act (CEQA) guidelines include a checklist of items, some of which related to noise and vibration. The relevant CEQA items ask if the project result in the following:

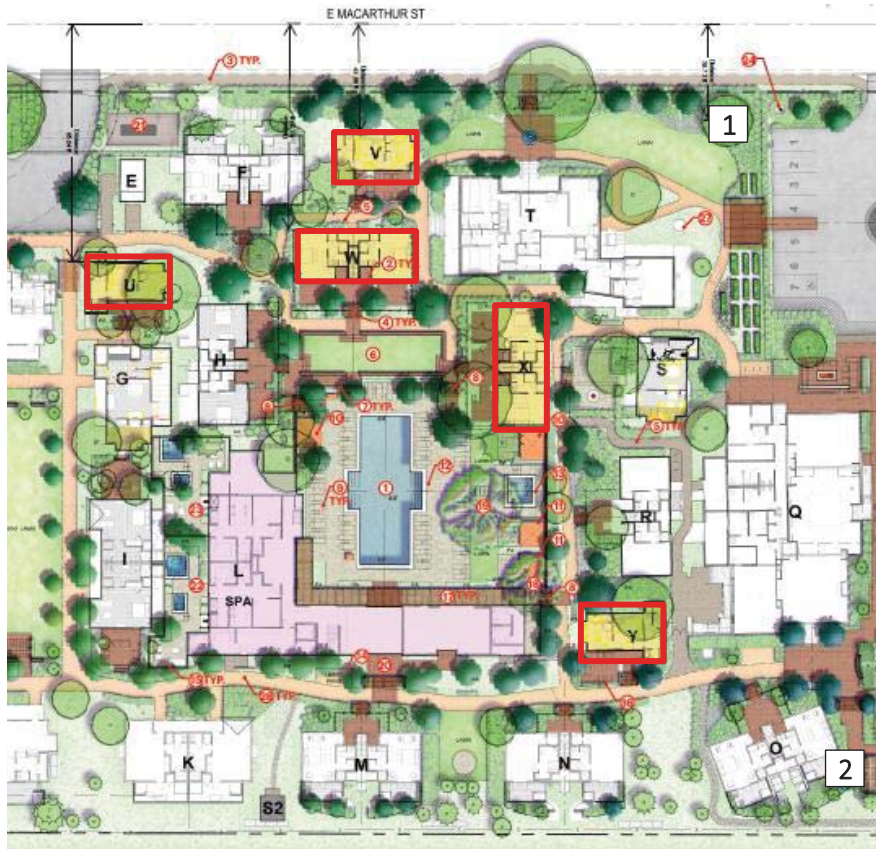
- a) Exposure of persons to or generation of noise levels in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies?

- c) A substantial permanent increase in ambient noise levels in the project vicinity above levels existing without the project?

- d) A substantial temporary or periodic increase in ambient noise levels in the project vicinity above levels existing without the project?

EXISTING NOISE CONDITIONS

The project property is the south of E. Macarthur Street. The project is bordered on the north by one single family residence across E Macarthur Street. To the south is Sonoma Valley High School. The Along the east property line are existing residences and the west property is along Broadway. The map below shows the location of the proposed guest bungalows (outlined in red and marked with letters U through Y). Bungalows W and X are two story units with 4 guest rooms each. The remaining three bungalows are single guest rooms.



Traffic noise from Broadway (State Route 12) and E MacArthur Boulevard make up the majority of noise affecting the project site. To assess the traffic noise exposure of these new guest units, acoustical measurements were made along E MacArthur and Broadway (shown the map above as Numbers 1 and 2). These meters measured the noise at these locations for 3 days from January 5 through January 8, 2021.

Meter 1 was located 12 feet above the ground in a tree 40 feet from the centerline of E MacArthur Boulevard. At this location, the average Ldn measured 62 dBA.

Meter 2 was also located 12 feet above the ground in a tree 160 feet from the centerline of Broadway (State Route 12). At this location, the average Ldn measured 59 dBA.

To account for future noise increase due to possible traffic volume increase, this report assumes a 25% increase in the future average daily traffic volume (ADT). This change in the ADT would correlate to an increase in the Ldn of one dB.

Based on the various distances and shielding from their corresponding roads, the noise level at each new bungalow is listed in the following table.

Bungalow	Distance to Roadway	Noise Level (Ldn)
U	95 feet to CL of E MacArthur Blvd	59 dBA
V	45 feet to CL of E MacArthur Blvd	62 dBA
W	84 feet to CL of E MacArthur Blvd	60 dBA
X	114 feet to CL of E MacArthur Blvd	58 dBA
Y	160 feet to CL of Broadway (SR 12)	57 dBA

LAND USE COMPATIBILITY AND GENERAL PLAN COMPLIANCE

Based on the acoustical analysis, 9 of the guestrooms would be exposed to noise levels below Ldn 60 dBA. Per the Noise Element in the City of Sonoma General Plan 2020, noise exposures below Ldn 60 dBA are acoustically compatible for the guestroom additions without special considerations.

Action: No further measures are required.

Bungalow V would be exposed to a noise level of Ldn 62 dBA and Bungalow W would be exposed to a noise level of Ldn 60 dB. Per the Noise Element in the City of Sonoma General Plan 2020, noise exposures between Ldn 60 dBA and Ldn 65 dBA are conditionally acceptable. The indicated noise levels may cause slight interference with indoor activities if windows are open.

Action: Windows would need to remain closed to achieve the Ldn 45 dBA standard in the Sonoma General Plan

PROJECT GENERATED NOISE

Mechanical Equipment - The guestroom addition includes new HVAC equipment. The City of Sonoma requires a noise analysis of this equipment to assess the potential noise impacts on nearby noise sensitive receivers created by the new equipment. This equipment has not yet been selected. Assuming the project selects comparable split systems to the existing units, the noise levels of such equipment would not exceed Sonoma's maximum noise level standard.

Action: To verify compliance, this equipment should be reviewed by a qualified acoustical consultant to verify that its noise will comply with all local noise standards once the equipment is selected. If necessary, condenser shrouds (e.g. Zombie boxes) or redirecting the condenser fan orientation are two examples of measures that may be implemented to further reduce noise as necessary.

CEQA FINDINGS

Noise levels at the project site range from acceptable to conditionally acceptable. With mitigation measures (i.e. closed windows), the interior noise levels would comply with local standards. Therefore, the project does not constitute an acoustical impact per the CEQA Appendix G Guidelines.

The new guestrooms add new air conditioning equipment to control guestroom temperature. Equipment has not yet been selected. Proper equipment selection and landscape siting would result in no increase to the adjacent noise-sensitive receivers. Therefore, the project does not constitute an acoustical impact per the CEQA Appendix G Guidelines.

APPENDIX A

FUNDAMENTAL CONCEPTS OF ENVIRONMENTAL NOISE

This section provides background information to aid in understanding the technical aspects of this report.

Three dimensions of environmental noise are important in determining subjective response. These are:

- a) The intensity or level of the sound;
- b) The frequency spectrum of the sound;
- c) The time-varying character of the sound.

Airborne sound is a rapid fluctuation of air pressure above and below atmospheric pressure. Sound levels are usually measured and expressed in decibels (dB), with 0 dB corresponding roughly to the threshold of hearing.

The "frequency" of a sound refers to the number of complete pressure fluctuations per second in the sound. The unit of measurement is the cycle per second (cps) or hertz (Hz). Most of the sounds which we hear in the environment do not consist of a single frequency, but of a broad band of frequencies, differing in level. The name of the frequency and level content of a sound is its sound spectrum. A sound spectrum for engineering purposes is typically described in terms of octave bands which separate the audible frequency range (for human beings, from about 20 to 20,000 Hz) into ten segments.

Many rating methods have been devised to permit comparisons of sounds having quite different spectra. Surprisingly, the simplest method correlates with human response practically as well as the more complex methods. This method consists of evaluating all of the frequencies of a sound in accordance with a weighting that progressively de-emphasizes the importance of frequency components below 1000 Hz and above 5000 Hz. This frequency weighting reflects the fact that human hearing is less sensitive at low frequencies and at extreme high frequencies relative to the mid-range.

The weighting system described above is called "A"-weighting, and the level so measured is called the "A-weighted sound level" or "A-weighted noise level." The unit of A-weighted sound level is sometimes abbreviated "dBA." In practice, the sound level is conveniently measured using a sound level meter that includes an electrical filter corresponding to the A-weighting characteristic. All U.S. and international standard sound level meters include such a filter. Typical sound levels found in the environment and in industry are shown in Figure A-

1.

Although a single sound level value may adequately describe environmental noise at any instant in time, community noise levels vary continuously. Most environmental noise is a conglomeration of distant noise sources which results in a relatively steady background noise having no identifiable source. These distant sources may include traffic, wind in trees, industrial activities, etc. and are relatively constant from moment to moment. As natural forces change or as human activity follows its daily cycle, the sound level may vary slowly from hour to hour. Superimposed on this slowly varying background is a succession of identifiable noisy events of brief duration. These may include nearby activities such as single vehicle passbys, aircraft flyovers, etc. which cause the environmental noise level to vary from instant to instant.

To describe the time-varying character of environmental noise, statistical noise descriptors were developed. "L10" is the A-weighted sound level equaled or exceeded during 10 percent of a stated time period. The L10 is considered a good measure of the maximum sound levels caused by discrete noise events. "L50" is the A-weighted sound level that is equaled or exceeded 50 percent of a stated time period; it represents the median sound level. The "L90" is the A-weighted sound level equaled or exceeded during 90 percent of a stated time period and is used to describe the background noise.

As it is often cumbersome to quantify the noise environment with a set of statistical descriptors, a single number called the average sound level or "Leq" is now widely used. The term "Leq" originated from the concept of a so-called equivalent sound level which contains the same acoustical energy as a varying sound level during the same time period. In simple but accurate technical language, the Leq is the average A-weighted sound level in a stated time period. The Leq is particularly useful in describing the subjective change in an environment where the source of noise remains the same but there is change in the level of activity. Widening roads and/or increasing traffic are examples of this kind of situation.

In determining the daily measure of environmental noise, it is important to account for the different response of people to daytime and nighttime noise. During the nighttime, exterior background noise levels are generally lower than in the daytime; however, most household noise also decreases at night, thus exterior noise intrusions again become noticeable. Further, most people trying to sleep at night are more sensitive to noise. To account for human sensitivity to nighttime noise levels, a special descriptor was developed. The descriptor is called the Ldn (Day/Night Average Sound Level) which represents the 24-hour average sound level with a penalty for noise occurring at night. The Ldn computation divides the 24-hour day into two periods: daytime (7:00 am to 10:00 pm); and nighttime (10:00 pm to 7:00 am). The nighttime sound levels are assigned a 10 dB penalty prior to averaging with daytime hourly sound levels.

For highway noise environments, the average noise level during the peak hour traffic volume is approximately equal to the Ldn.

The effects of noise on people can be listed in three general categories:

- a) Subjective effects of annoyance, nuisance, dissatisfaction;
- b) Interference with activities such as speech, sleep, and learning;
- c) Physiological effects such as startle, hearing loss.

The sound levels associated with environmental noise usually produce effects only in the first two categories. Unfortunately, there has never been a completely predictable measure for the subjective effects of noise nor of the corresponding reactions of annoyance and dissatisfaction. This is primarily because of the wide variation in individual thresholds of annoyance and habituation to noise over time.

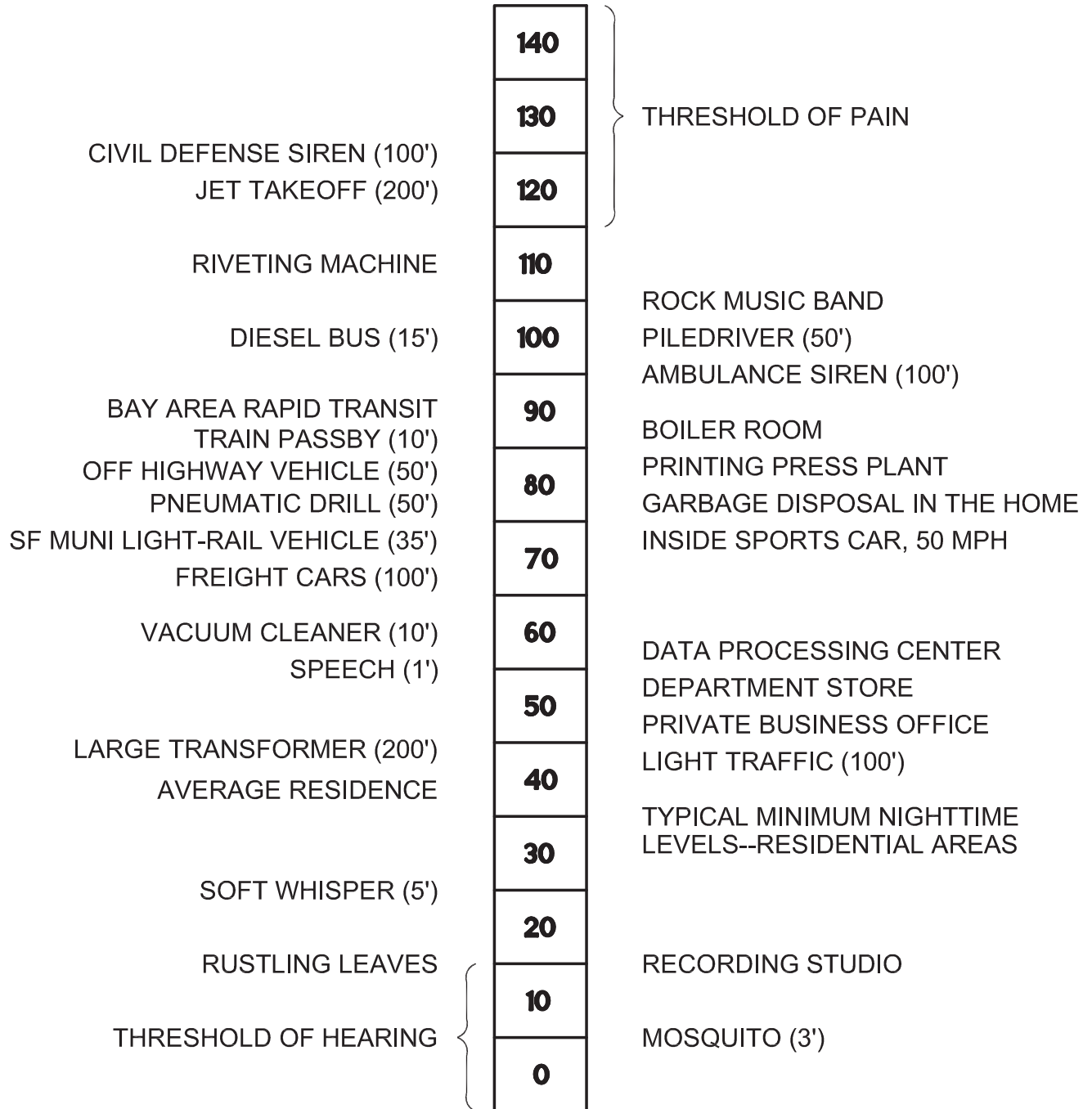
Thus, an important factor in assessing a person's subjective reaction is to compare the new noise environment to the existing noise environment. In general, the more a new noise exceeds the existing, the less acceptable the new noise will be judged.

With regard to increases in noise level, knowledge of the following relationships will be helpful in understanding the quantitative sections of this report:

- a) Except in carefully controlled laboratory experiments, a change of only 1 dB in sound level cannot be perceived.
- b) Outside of the laboratory, a 3 dB change is considered a just-noticeable difference.
- c) A change in level of at least 5 dB is required before any noticeable change in community response would be expected.
- d) A 10 dB change is subjectively heard as approximately a doubling in loudness, and would almost certainly cause an adverse community response.

FNDA2LDN

A-WEIGHTED
SOUND PRESSURE LEVEL,
IN DECIBELS



(100') = DISTANCE IN FEET
BETWEEN SOURCE
AND LISTENER

© 2013
CHARLES M. SALTER ASSOCIATES, INC.
FOR ACOUSTICAL DESIGN INFORMATION ONLY

TYPICAL SOUND LEVELS
MEASURED IN THE
ENVIRONMENT AND INDUSTRY

FIGURE A1

1107
MISC.

C
11.25.03



Carrier® Infinity™ - 1 Ton 19 SEER Residential Variable Speed Air Conditioner Condensing Unit

Item: 24VNA913A003 MFR: 24VNA913A003

Availability

Sign in to see real-time inventory at the stores closest to you.

What's the price? Sign in for pricing.	Quantity * <input type="text" value="1"/>
	<input type="button" value="Add To Cart"/>
	<input type="button" value="Save To List"/>

Frequently Bought Together

Best Sellers



DiversiTech - 6-12-6NM
DiversiWhips 1/2" x 6' #10
THHN Wire - Non-Metallic

Item: 6-12-6NM
MFR: 6-12-6NM

What's the price?
Sign in for pricing.

Add To Cart



MARS - 83335 Non-Fused
60 Amp Disconnect

Item: 83335
MFR: 83335

What's the price?
Sign in for pricing.

Add To Cart



DiversiTech - EL2424-3 E
Lite® Plastic Equipment
Pad 24" x 24" x 3"

Item: EP-24X24X3-P
MFR: EL2424-3

What's the price?
Sign in for pricing.

Add To Cart



Streamline - 3/8"
1/2" x 50' Stand
Set

Item: 383412500
MFR: 61220500

What's the price?
Sign in for pricing.

Add To C

Pads Mounts & Blocks

Line Sets

Disconnects & Whips

Thermostats

Refrigerant & Oils

About This Product

Product Info

Description

The Infinity® 19VS air conditioner offers high-efficiency variable speed performance in a remarkably small cabinet and provides up to 19 SEER cooling efficiency. The variable speed inverter capacity control delivers up to 5 stages of operation for exceptional load matching, dehumidification and zoning performance.

This product has been designed and manufactured to provide flexible system matching and work with a wide variety of indoor units and controls.

Note: Always refer to the AHRI directory (www.ahridirectory.org) for the most up-to-date ratings information.

Check the product data to obtain the proper lineset size based on application.

STANDARD FEATURES

Energy Efficiency

- Up to 19 SEER / up to 13 EER
- Microtube Technology™ refrigeration system

Sound

- Sound level as low as 56 dBA in low speed (Silencer System II).
- Soft start and smooth ramp to operating speeds

Comfort

- Variable speed compressor operates at 5 stages with capacity range from as wide as 25-100%
- Air cooled Inverter variable speed drive
- System requires Infinity™ Touch Control with version 11 software or newer for 5 stage operation
- Ratings provided with 2-stage thermostats and suitable non-communicating indoor products for 2-stage operation.

Reliability

- Puron® refrigerant -- environmentally sound, won't deplete the ozone layer and low lifetime service cost.
- Front-seating service valves
- Inverter control drives compressor and fan motor
- No control module attached to fan motor
- Infinity™ intelligence monitors critical system parameters
- Pressure equalizer valve for easy compressor starting
- High pressure switch
- Suction pressure transducer
- Compressor discharge temperature sensor
- Suction temperature sensor
- Filter drier (field installed)
- Internal crankcase heater standard

Flexibility and installation:

- 2 control wires to outdoor unit in complete Infinity™ system and Touch Control
- Smaller and lighter than 2-stage units
- Minimum and Maximum adjustments with Infinity™ Touch Control
- Compatible with non-communicating thermostats

Durability

WeatherArmor™ Ultra protection package:

- Solid, Durable sheet metal construction
- Steel louver coil guard
- Baked-on, complete outer coverage, powder paint

Applications

- Line sets up to 100 ft (30.5 m) equivalent length
- No long-line accessories required.



Warning: this product contains a chemical known to the State of California to cause cancer. P65Warnings.ca.gov

Specifications

Weight	135 Pounds (lbs)
Length	23.125 Inches (In)
Width	23.125 Inches (In)
Height	31.625 Inches (In)
Country of Origin	USA
Air Flow	Vertical
Brand	Carrier
Certifications	AHRI Certified,ISO 9001 QMI-SAI Global Certified
CFM	1600
Circuit Breaker - Max Amps	20
Circuit Breaker - Min Amps	13.5
Color	Gray
Compressor	Variable Speed Rotary
Condenser Motor HP	1/5 HP
Condenser Motor RPM	650
Condenser Motor Speeds	Variable
Condenser Motor Type	Brushless DC
Cooling Capacity	13000
Cooling Capacity Range	12500
Cooling Rated Capacity Btu/h	12000
Cycle/Hertz	60 Hz
EER	11-13
Energy Star Rated	Yes

ETL Listed	No
Fins per Inch	20
Full Load Amps	0.58
Inverter	Yes
Liquid Line Fitting	Sweat or Braze
Liquid Line Size (OD)	3/8"
Maximum Piping Length	100'
Metering Device	TXV/TEV - Thermostatic Expansion Valve
Phase	Single
Product Family	24VNA9
Prop 65	Yes
Rated Current Amps	10.3
Rated Load Amps	10.3
Refrigerant	R-410a
Rows	1
SEER	19
Sound Level (dBA)	60
Stage	Variable
Suction Line Fitting	Sweat or Braze
Suction Line Size (OD)	3/4"
Tier	Infinity®
Tonnage	1
UL Listed	Yes
UL Recognized	Yes
Voltage	208-230 VAC

Warranty Offered

Yes

Documents

Equipment Part List

Appendix TRA

Traffic Initial Study Checklist



January 20, 2021

Mr. Joe Walsh, Vice President Development
 L'Auberge de Sonoma, LLC
 7001 N. Scottsdale Rd., Suite 2050
 Scottsdale, AZ 85253

Initial Study Checklist for MacArthur Place Hotel and Spa, Phase 2

Dear Mr. Walsh;

W-Trans has completed an Initial Study checklist based on criteria set forth in the California Environmental Quality Act (CEQA) for the proposed MacArthur Place Hotel and Spa expansion. This document includes a description of the proposed project and an analysis of how the project would align to each of the four transportation/traffic CEQA checklist items.

Project Description

The proposed project would add 11 guest rooms to the MacArthur Place Hotel and Spa at 29 East MacArthur Street in the City of Sonoma. The project would not include any modifications to access from the street network or to the on-site circulation, though temporary access to MacArthur Street would be required for the duration of the project and parking would be prohibited for 40 feet along the south side of MacArthur Street to accommodate a request from the Fire Marshal. There would be an increase of one to two employees per shift associated with the expanded visitor capacity. The master plan for the site is enclosed.

CEQA Initial Study Checklist

This section details discussion of the CEQA checklist for potential transportation/traffic impacts. The potential impacts are summarized in the following table.

XVI. Transportation/Traffic	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
Would the project:				
a) Conflict with a program, plan, ordinance or policy addressing the circulation system, including transit, roadway, bicycle and pedestrian facilities?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Conflict or be inconsistent with CEQA Guidelines § 15064.3, subdivision (b)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Substantially increase hazards due to a geometric design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g., farm equipment)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Result in inadequate emergency access?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

The project was evaluated based on the criteria above as well as consistency with the City of Sonoma’s Circulation Element policies from the City’s General Plan, adopted in 2016.

a) Would the project conflict with a program, plan, ordinance or policy addressing the circulation system, including transit, roadway, bicycle, and pedestrian facilities?

Less-than-significant impact. The proposed project would include the addition of 11 guest rooms but would not impact the off-site circulation system.

East MacArthur Street is a collector roadway, characterized by continuous sidewalks and streetlighting along the project frontage. The project is located adjacent to the signalized intersection with Broadway, which includes pedestrian crossing facilities. Most streets in the vicinity of the project also have continuous sidewalks along both sides of the street, the exceptions being local residential streets. There are no bicycle facilities along East MacArthur Street, but there are existing bike lanes on West MacArthur Street and the General Plan has identified Broadway for a road diet, which would remove travel lanes and add bike lanes. There is also a bike route along 2nd Street, less than one block from the project, that connects to the center of Sonoma, one block from Sonoma Plaza. A bike path at the Nathanson Creek Preserve, adjacent to the project, provides additional connectivity to local destinations. There is a transit stop for Sonoma County Transit Routes 30 and 32 at Broadway/MacArthur Street, the nearest intersection to the project site, but no service on East MacArthur Street.

Regarding transit users, bicyclists, and pedestrians, there are no notable gaps in the multimodal circulation network and the project would not impact the existing or planned facilities, as all proposed improvements are located on-site. The project is therefore consistent with adopted policies and plans regarding public transit, bicycle, and pedestrian facilities and supports Circulation Element Policy 1.1, “Ensure that the City’s circulation network is a well-connected system that effectively accommodates vehicular and non-vehicular traffic in a manner that considers the context of surrounding land uses and the needs of all roadway users.”

b) Would the project conflict or be inconsistent with CEQA Guidelines section 15064.3, subdivision (b)?

Less-than-significant impact. CEQA Guidelines §15064.3, subdivision (b) indicate that land use projects would have a significant impact if the project resulted in vehicle miles traveled (VMT) exceeding an applicable threshold of significance. Since the City of Sonoma, like most other jurisdictions, has yet to adopt a threshold of significance for VMT, guidance from the state Office of Planning and Research, as presented in *Technical Advisory on Evaluating Transportation Impacts in CEQA* (2018), was applied to analyze potential impacts of the project. The guidance indicates that projects expected to generate fewer than 110 trips per day may generally be assumed to cause a less-than-significant impact. Using the rates published by the Institute of Transportation Engineers (ITE) in the *Trip Generation Manual* for Land Use 310, it was estimated that the addition of 11 rooms through the proposed project would generate an average of 92 new trips per day and can therefore be assumed to have a less-than-significant impact on VMT. It should also be noted that the hotel is located approximately one-half mile from Sonoma Plaza, so guests could walk to many destinations during their stay. The estimated trip generation for the project is shown in Table 1.

Table 1 – Trip Generation Summary											
Land Use	Rooms	Daily		AM Peak Hour				PM Peak Hour			
		Rate	Trips	Rate	Trips	In	Out	Rate	Trips	In	Out
Hotel	11	8.36	92	0.47	5	3	2	0.60	7	3	4

c) Would the project substantially increase hazards due to a geometric design feature or incompatible use?

Less-than-significant impact. The proposed project does not include any permanent modifications to the existing transportation and street network or propose changes to existing driveway geometrics that would increase hazards related to design features. A temporary access to MacArthur Street would be needed during

construction, and it would have adequate sight distance along the straight, flat roadway and be consistent with applicable design standards. The proposed project would be located entirely on-site and include the addition of 11 guest rooms, but site access would continue to be via the existing driveways as approved in the March 2018 Use Permit and on-site vehicle circulation would not be impacted. In the event that there are any required minor modifications to the site, the on-site circulation system would be designed to meet applicable design standards.

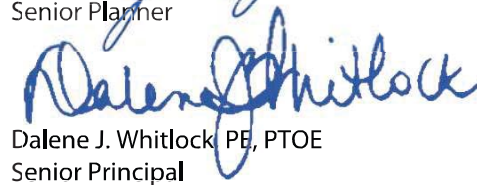
d) Would the project result in inadequate emergency access?

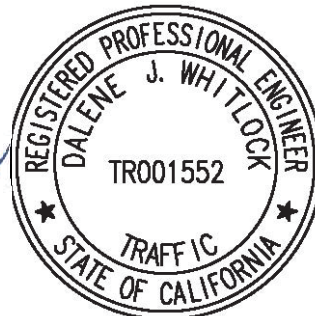
Less-than-significant impact. The proposed project does not include any modifications to the existing transportation and street network except that the Fire Marshal has requested that the curb on the south side of MacArthur Street be painted red for 40 feet to the east of the West Parking lot entry to accommodate fire apparatus at the proposed new fire hydrant and wet stand pipe location. The on-site modifications would not impact vehicle circulation or emergency access and the minimal number of additional trips could reasonably be expected to have no perceptible effect on traffic operation and therefore emergency vehicle response times. The project is therefore consistent with City of Sonoma General Plan Policy CE-8, Review of Development Impacts, which states, "As part of the development review process, the Planning and Public Works Departments shall review development projects to ensure that developers provide adequate emergency vehicle access."

Thank you for giving W-Trans the opportunity to provide these services. Please call if you have any questions.

Sincerely,


Barry Bergman, AICP
Senior Planner

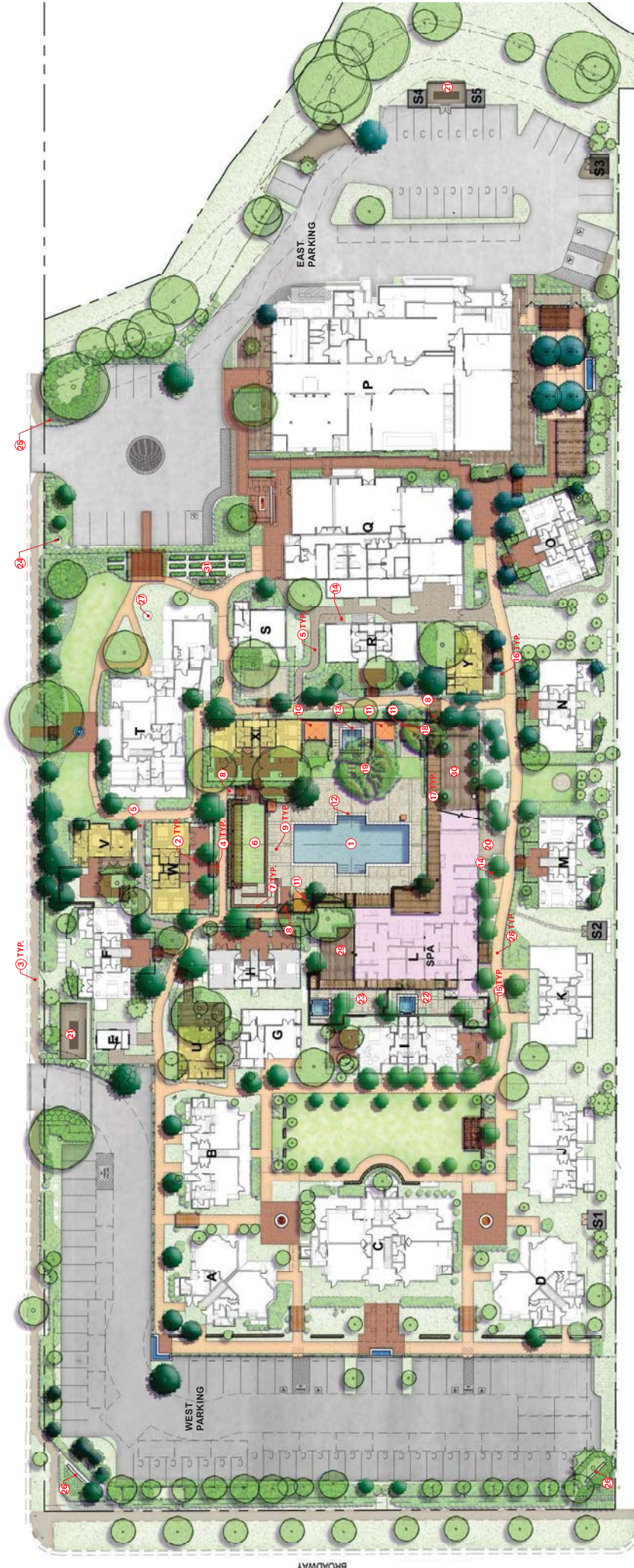

Dalene J. Whitlock PE, PTOE
Senior Principal



DJW/bdb/SON062.L2




Enclosure: Project Master Plan



E MACARTHUR ST



BROADWAY

LEGEND

-  EXISTING TREES
-  PROPOSED TREES
-  TRANSPLANTED TREES

-  EXISTING & EXPANDED SPA
-  PROPOSED NEW GUESTROOMS

PARKING LOT STATISTICS

STANDARD:	53
COMPACT:	40
VALET:	28
ADA:	6
VAN ADA:	1
STANDARD CHARGING STATION :	4
TOTAL:	131

PARKING SUMMARY TABLE

EXISTING PARKING SPACES PER 2018 USE PERMIT:	121
ADDITIONAL PARKING SPACES 2020:	11
TOTAL PARKING SPACES:	131

**MACARTHUR PLACE HOTEL & SPA GUESTROOM ADDITION PROJECT
PROPOSED GUESTROOM SUMMARY TABLE**

Designation	Number of New Guestrooms	New Building Area	Comment
U	1	54.4 SF	Cottage Suite
V	1	535 SF	Cottage Suite
W	4	1,314 SF	Two Story Four Plex Building, M.N. & O
X	4	1,314 SF	Two Story Four Plex Building, M.N. & O Similar to existing building, M.N. & O
Y	11	567 SF	COTTAGE SUITE Area calculation includes exterior showers, ramps and stairs
Sub-Total		5,485 SF	

PROGRAM

- | | | |
|---------------------------------------|--|-----------------------------|
| 1 20'X60' SWIMMING POOL | 13 10'X10' RAISED JACUZZI | 24 FLAG POLE |
| 2 BRICK PAVING | 14 BICYCLE PARKING | 25 ENTRY SIGN |
| 3 SIDEWALK | 15 8' HIGH STUCCO WALL | 26 MAIN SIGN |
| 4 ENTRY ARBOR FOR COTTAGES | 16 4' HIGH GARDEN FENCE | 27 SCULPTURE |
| 5 SERVICE PATH | 17 TRELIS COVERED AREA | 28 GUEST PATH |
| 6 RAISED LAWN | 18 LARGE EXISTING CREPE MYRTLE - TO BE RELOCATED | 29 ROOFTOP COUPLE'S TERRACE |
| 7 5' HIGH WROUGHT IRON - POOL FENCING | 19 EXISTING MAGNOLIA - TO BE RELOCATED | 30 ROOFTOP SUNDECK |
| 8 POOL ENCLOSURE GATE | 20 SPA MAIN ENTRY | 31 HERB GARDEN |
| 9 CHAISE LOUNGES | 21 GENERATOR | |
| 10 10'X12' CABANA | 22 MEN'S HYDROTHERAPY | |
| 11 10'X10' CABANA | 23 WOMEN'S HYDROTHERAPY | |
| 12 PRECAST CONCRETE POOL COPING | | |