



CONCEPT IMAGE. NOT FOR CONSTRUCTION

# HOTEL PROJECT SONOMA

## KENWOOD INVESTMENTS, LLC

### HOTEL PROJECT SONOMA

Sonoma, CA

**Kenwood Investments LLC**

REVISIONS

No.	Description	Date

**EIR PHASE MARCH 2023**

Sheet Title

**COVER SHEET**

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**03/16/2023**

Project No.    Project Number

**A0.00**

Drawing No.

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**PROJECT DIRECTORY**

- DEVELOPER**  
KENWOOD INVESTMENTS LLC, SONOMA, CA
- ARCHITECT**  
ROSSDRULISCUSENBERRY ARCHITECTURE, INC., SONOMA, CA
- DESIGN COLLABORATOR**  
KEITH WICKS, ARTIST, SONOMA, CA
- CIVIL ENGINEER**  
HUFFMAN ENGINEERING & SURVEYING, SANTA ROSA, CA
- STRUCTURAL ENGINEER**  
WALTER P. MOORE AND ASSOCIATES, SAN FRANCISCO, CA
- PRECONSTRUCTION SERVICES**  
MIDSTATE CONSTRUCTION CORPORATION, PETALUMA, CA
- MECHANICAL / PLUMBING ENGINEER**  
15000 INC, SANTA ROSA, CA
- ELECTRICAL ENGINEER**  
SILVERMAN & LIGHT INC, EMERYVILLE, CA
- BUILDING ENCLOSURE ENGINEER**  
SIMPSON GUMPERTZ & HEGER INC, SAN FRANCISCO, CA
- PARKING CONSULTANTS**  
AMPSCO SYSTEM PARKING, SAN FRANCISCO, CA
- WATER CONSERVATION CONSULTANTS**  
J CROWLEY GROUP, SACRAMENTO, CA
- GEOTECHNICAL ENGINEER**  
PJC AND ASSOCIATES, INC., ROHNERT PARK, CA
- FIRE CODE CONSULTANT**  
ZARI CONSULTING GROUP, INC.

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**REGIONAL LOCATION MAP**



SONOMA, CA.

Not For Construction

**HOTEL PROJECT SONOMA**

Sonoma, CA

**Kenwood Investments LLC**

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**CODE ANALYSIS AND FAR CALCULATIONS**

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**CODE ANALYSIS - Hotel Project Sonoma - New Construction**

**SUMMARY:**

**TOTAL LOT AREA:** 54,663 SF  
**TOTAL SITE COVERAGE AREA:** 40,645 SF (REFER TO SHEET A1.04)  
**ALLOWABLE LOT COVERAGE:** 100 %  
**ACTUAL LOT COVERAGE:** 74.4 %  
**ALLOWABLE FAR:** Lot Area x 2.0 = 109,326 SF  
**ACTUAL BUILDING AREA:** 86,827 SF (Excludes Basement Areas) = FAR Compliant

**BUILDING AREA PER STORY (EXCLUDES BASEMENT AREA)**

First Floor: 30,088 SF  
 Second Floor: 29,050 SF  
 Third Floor: 27,689 SF  
**Total: 86,827 SF**

**OPEN SPACE:** Exterior Courtyards and Patio Areas: 25,682 SF ( Approx. 46% of Site Area)

**BASEMENT PARKING GARAGE:** 52,110 SF

**GUEST ROOM COUNT**

**1st Floor**  
 Standard Guest Room: 1  
 ADA Guest Rooms: 2

**2nd Floor**  
 Standard Guest Rooms: 22  
 ADA Standard Room: 1  
 Suites: 4  
 Double Queen: 3  
**Sub Total: 30**

**3rd Floor**  
 Standard Guest Rooms: 22  
 ADA Suite: 1  
 Suites: 3  
 Double Queen: 3  
**Sub Total: 29**

**TOTAL GUESTROOMS: 62**

**RESIDENTIAL UNITS**

1st Floor: 0  
 2nd Floor: 5 (Includes 1 Accessible unit)  
 3rd Floor: 3

**TOTAL RESIDENTIAL UNITS: 8**

**PARKING**

**Basement**  
 Standard Spaces: 68  
 Valet Spaces: 36  
 Van Spaces: 3  
 Auxiliary Spaces: 6  
**Sub Total: 113**

**1st Floor Surface Parking**

Residential Spaces: 8  
 Staff Spaces: 8  
 Valet Spaces: 8  
**Sub Total: 17**

**TOTAL PARKING: 130**

**APPLICABLE REGULATIONS**

City of Sonoma Development Code, 2020  
 2022 CALIFORNIA BUILDING CODE  
 2022 CALIFORNIA ELECTRICAL CODE  
 2022 CALIFORNIA MECHANICAL CODE  
 2022 CALIFORNIA PLUMBING CODE  
 2022 CALIFORNIA ENERGY CODE  
 2022 CALIFORNIA FIRE CODE  
 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE

**APPLICABLE STANDARDS**

SMACNA - FIRE, SMOKE & RADIATION DAMPER INSTALLATION GUIDE FOR HVAC

**TYPE OF CONSTRUCTION:**

CIP Concrete Podium: Type I/A (rated, non-combustible)  
 3hr horizontal separation between podium and 2nd floor  
 2nd and 3rd floors: Type I/B

**FIRE PROTECTION**

Full Monitored Fire Alarm System and NFPA 14, Wet Standpipe Fire Sprinkler System Throughout

**MECHANICAL SHAFTS and ELEVATOR SHAFT**

2hrs rated

**EXIT STAIRS**

Stair #1: interior enclosed, 2 HR enclosed (From 1F to 3F)  
 Stair #2: interior enclosed, 2 HR enclosed (From Basement to 1 to 3F)  
 Stair #3: interior enclosed, 2 HR enclosed (From Basement to 3F)  
 Stair #4: interior enclosed, 2 HR enclosed (From 1F to 3F)  
 Stair #5: interior enclosed, 2 HR enclosed (From Basement to Roof)  
 Stair #6: interior enclosed, 2 HR enclosed (From Basement to Roof)  
 Stair #7: interior enclosed, 2 HR enclosed (From 1F to 3F)

**BUILDING OCCUPANCY**

Separated mixed use A-2; R-1; F-1; S-1; S-2

**BUILDING HEIGHT**

Depth of Basement Parking Garage: 11' - 2"  
 Floor Level 1: 12' - 4"  
 Floor Level 2: 10' - 4"  
 Floor Level 3: 12' - 4"  
**Building TOTAL: 35'**  
 Mechanical System Screening & Chimneys +3' in Selected Areas

**NUMBER OF EXITS**

4 From Basement  
 10 From 1st Floor  
 4 From 2nd Floor  
 4 From 3rd Floor  
 2 From Each Floor of Residential Building

**EXIT SEPARATION**

Min. 135'

**MAXIMUM TRAVEL DISTANCE**

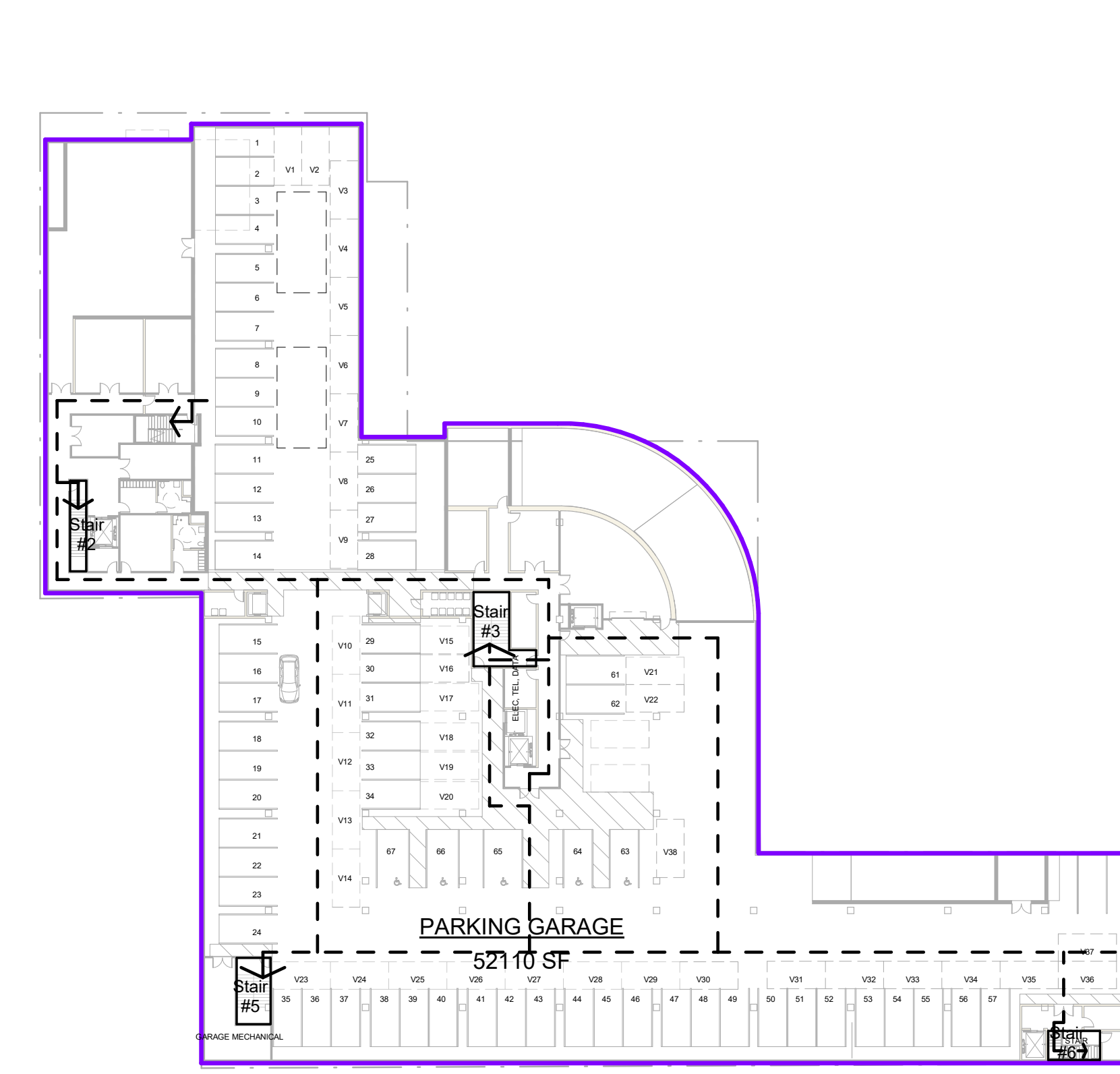
Max. 240'

Area Schedule - Basement		
Name	Occupancy	Area
PARKING GARAGE	S-2, PARKING GARAGE, ENCLOSED	52110 SF
<b>Basement Building Area = +/- 52110 SF</b>		

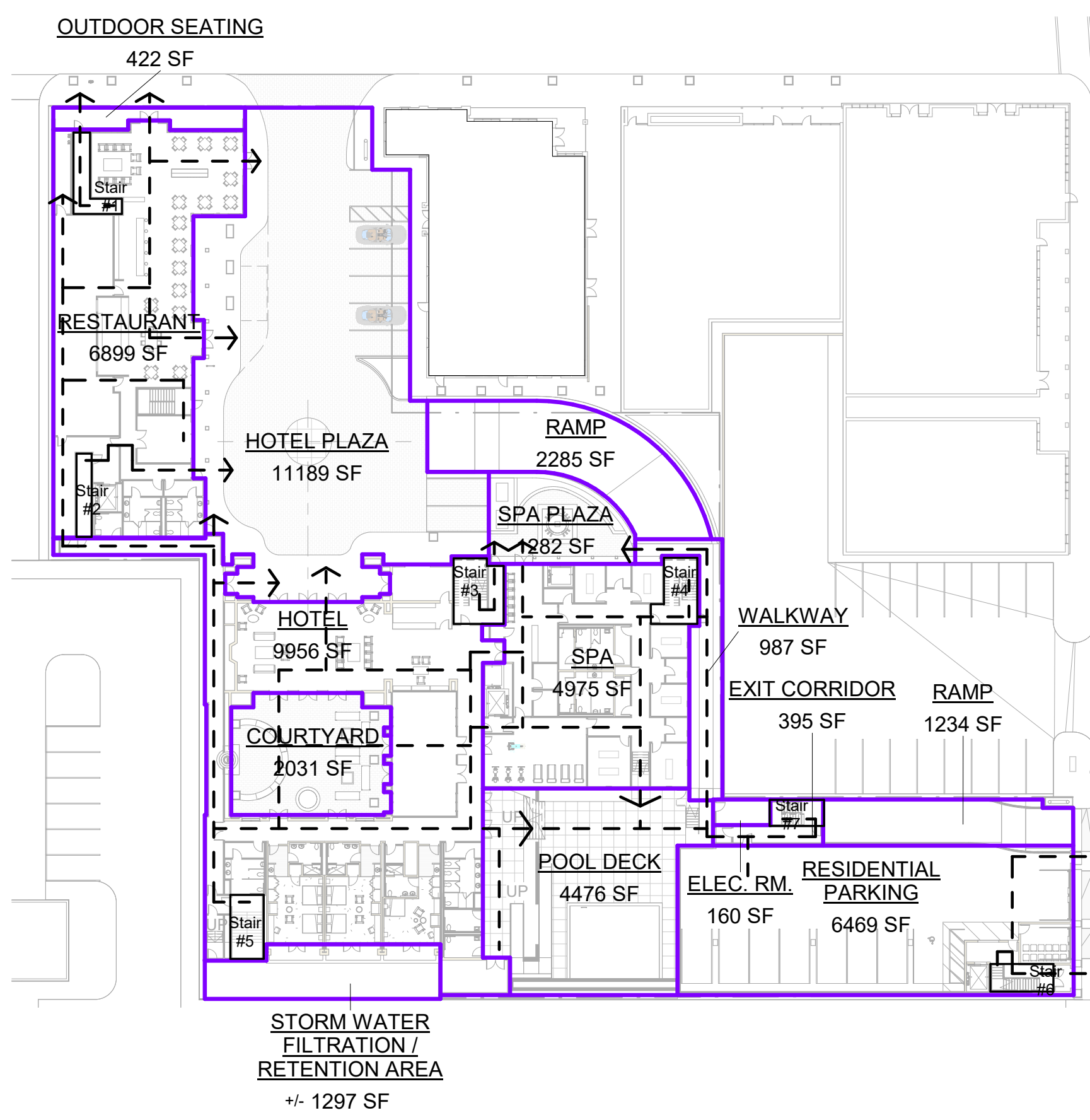
Area Schedule - 1st Floor		
Name	Occupancy	Area
COURTYARD	EXTERIOR	2,031 SF
ELEC. RM.	R-1, HOTEL, ROOMS, SPA AND SERVICES	160 SF
EXIT CORRIDOR	R-1, RESIDENTIAL	395 SF
HOTEL	R-1, HOTEL, ROOMS, SPA AND SERVICES	9,956 SF
HOTEL PLAZA	EXTERIOR	11,189 SF
OUTDOOR SEATING	EXTERIOR	422 SF
POOL DECK	EXTERIOR	4,476 SF
RAMP	EXTERIOR	2,285 SF
RAMP	S-2, PARKING GARAGE, ENCLOSED	1,234 SF
RESIDENTIAL PARKING	S-1, STORAGE	6,469 SF
RESTAURANT	A-2, RESTAURANT	6,899 SF
SPA	R-1, HOTEL, ROOMS, SPA AND SERVICES	4,975 SF
SPA PLAZA	EXTERIOR	1,282 SF
STORM WATER FILTRATION / RETENTION AREA	EXTERIOR	1,297 SF
WALKWAY	EXTERIOR	987 SF
<b>1st Floor Site Features &amp; Building Total Area = +/- 54,057 SF</b> <b>Refer to Sheet A1.04 for Site Coverage Calculation</b>		
<b>1st Floor Building Area = +/- 30,088 SF</b>		

Area Schedule - 2nd floor		
Name	Occupancy	Area
GARDEN TERRACE	EXTERIOR	622 SF
HOTEL A	R-1, HOTEL, ROOMS AND SERVICES	7,313 SF
HOTEL B	R-1, HOTEL, ROOMS AND SERVICES	14,951 SF
RESIDENTIAL BUILDING	R-1, RESIDENTIAL	6,786 SF
<b>2nd Floor Total Area = +/- 29,672 SF</b>		
<b>2nd Floor Building Area = +/- 29,050 SF</b>		

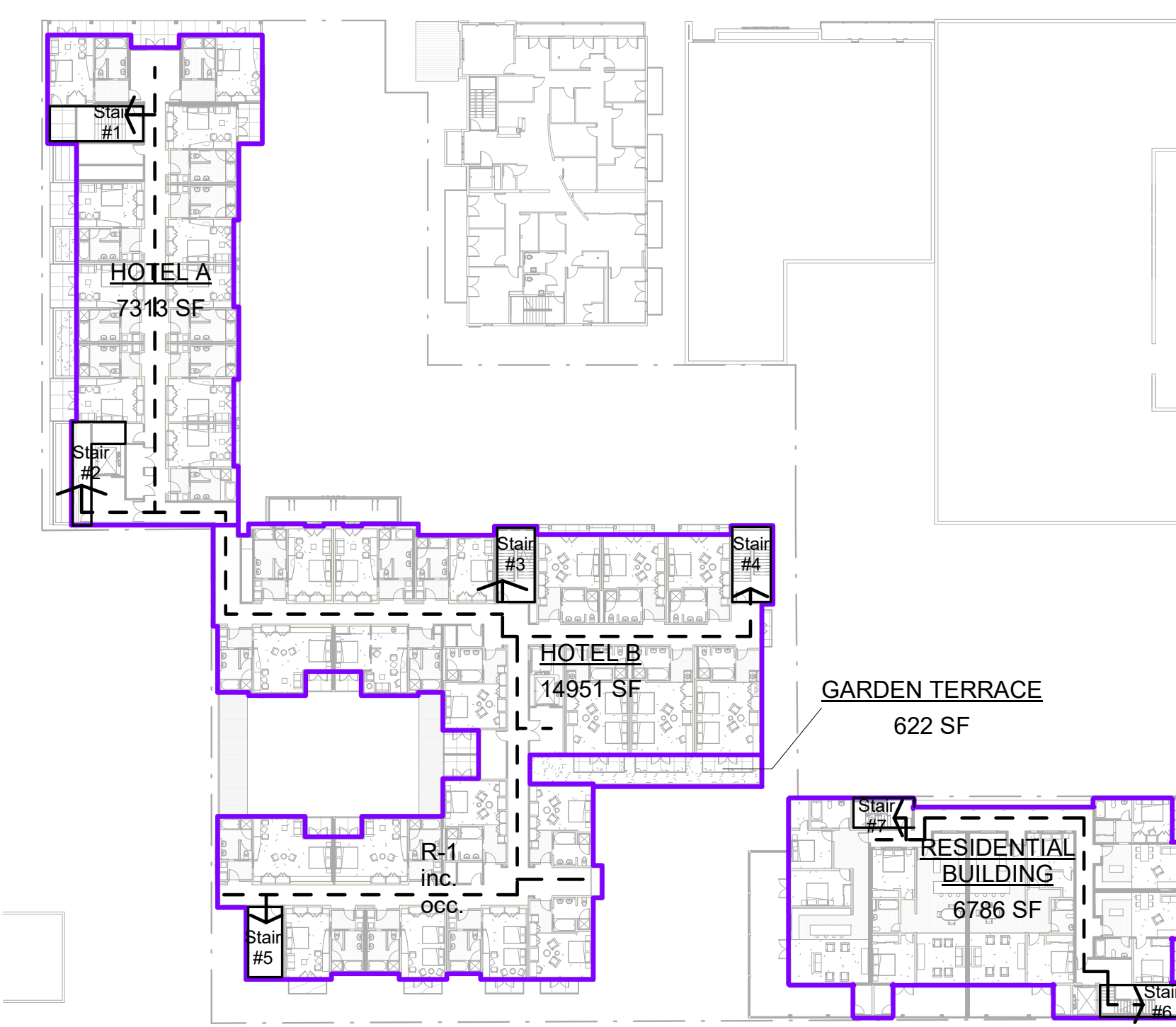
Area Schedule - 3rd floor		
Name	Occupancy	Area
HOTEL A	R-1, HOTEL, ROOMS AND SERVICES	6,887 SF
HOTEL B	R-1, HOTEL, ROOMS AND SERVICES	14,625 SF
RESIDENTIAL BUILDING	R-1, RESIDENTIAL	6,177 SF
<b>3rd Floor Building Area = +/- 27,689 SF</b>		



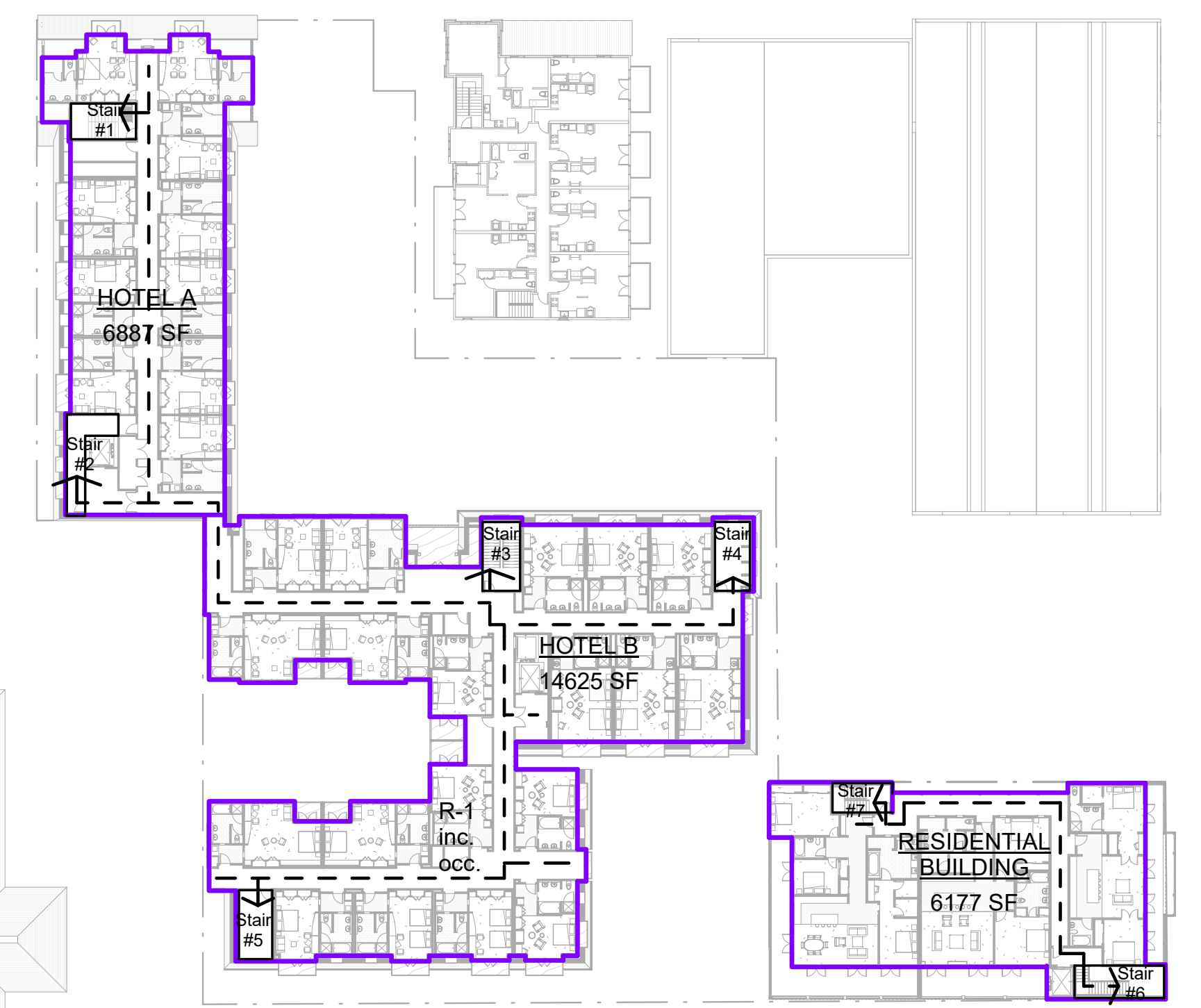
**BASEMENT**



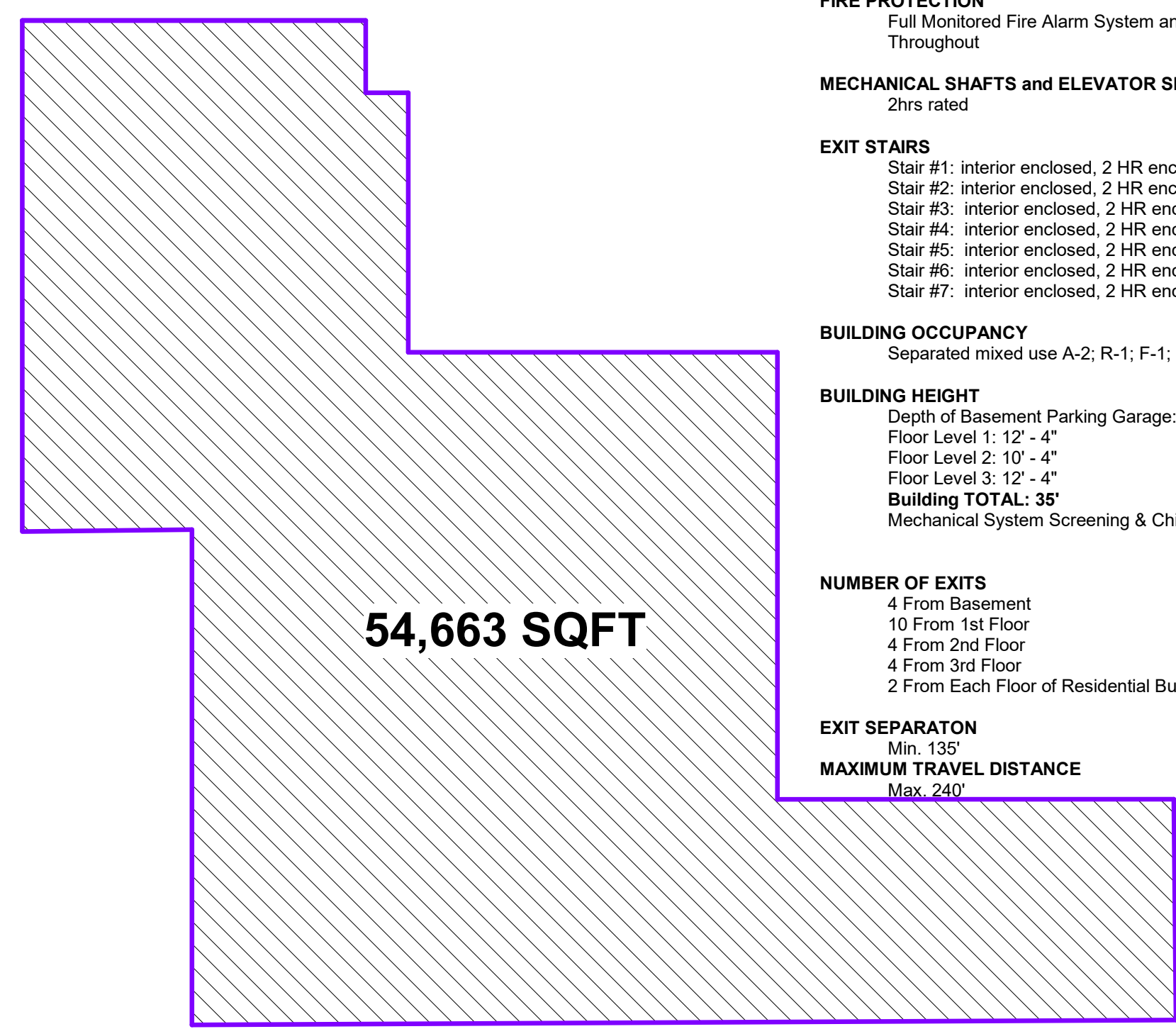
**FIRST FLOOR**



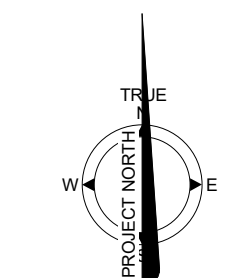
**SECOND FLOOR**



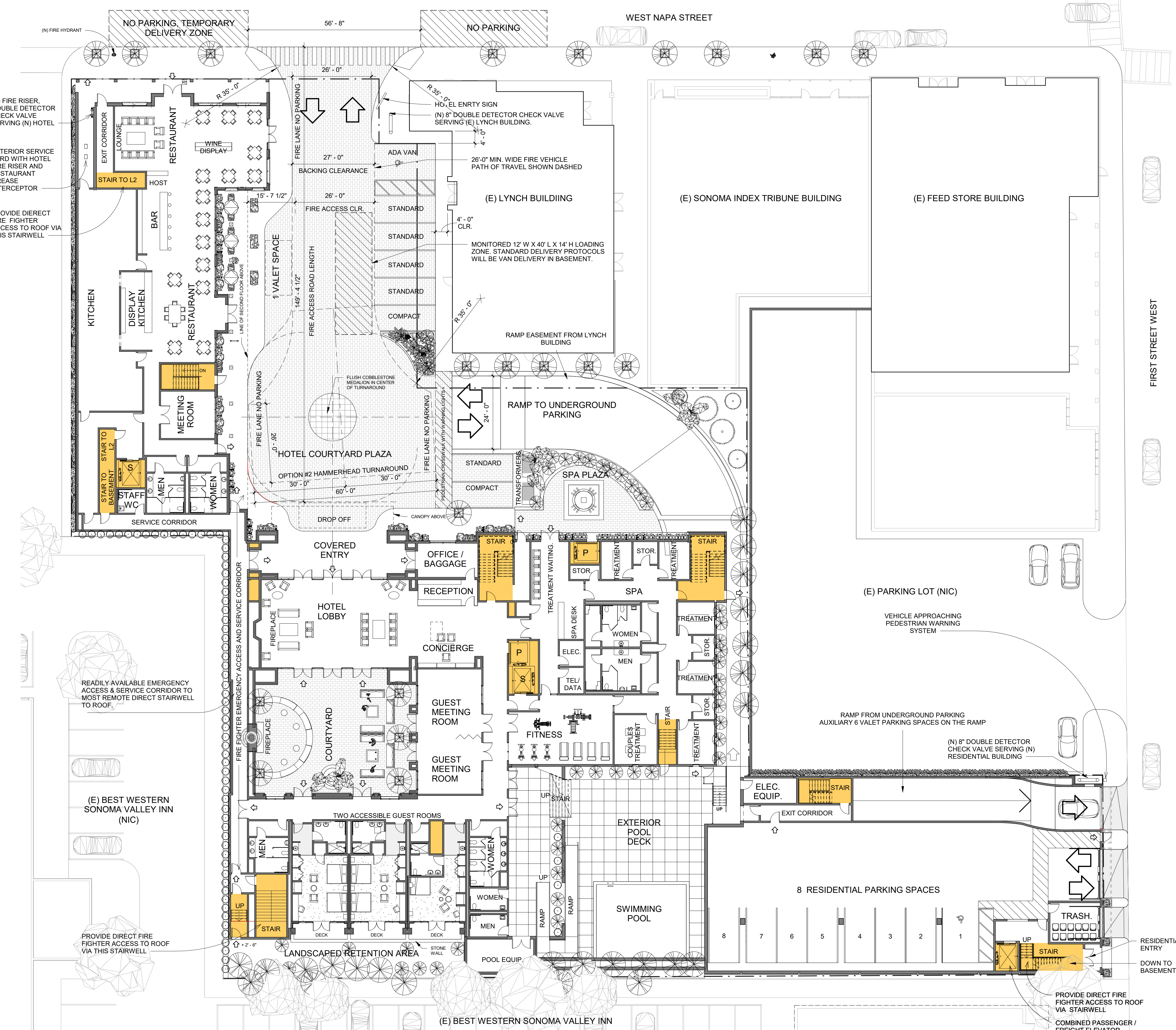
**THIRD FLOOR**



**LOT AREA**



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- PRELIMINARY GENERAL FIRE PROTECTION STRATEGY**  
PROJECT PROPOSES THE FOLLOWING
- Adhere to CFC Section D106.1 which allows multiple-family residential projects having less than 100 dwelling units to only have one (1) approved fire apparatus access road.
  - Comply with proposed AMMR by Zari Consulting Group, Fire Protection Engineers, Dated March 6, 2023
  - Include a fully monitored NFPA 14 automatic fire sprinkler and wet stand pipe system
  - Provide an emergency water supply connected to a fire pump system and emergency power if required
  - Revise building construction type from Type V to Type II B
  - Provide new wider curb cut onto West Napa Street with 35' inside turning radius
  - Remove fire apparatus obstructions along fire access road including, trees, landscape and entry portal
  - Provide 26' wide fire lane to center of site capable of supporting fire apparatus weighing up to 75,000 lbs. terminating at new voluntary hammerhead turnaround.
  - The fire access road shall be located a minimum of 15'-7" from the east side of the Hotel Restaurant Building
  - The fire access road from West Napa Street will be less than 150' from the face of the main hotel lobby. Fire apparatus roads less than 150 feet do not require a hammerhead turnaround.
  - Hotel Project Sonoma will voluntarily provide a hammerhead turnaround at the southern most end of the Hotel Plaza Courtyard vehicle drive. Proposed Hotel Plaza Courtyard fountain will be removed.
  - Each hotel and residential building will be provided with a minimum of one (1) direct access to the roof via a stairwell. Stairwells will be provided with an NFPA 14 standpipe system.
  - Designate and design the western service corridor as an additional readily accessible emergency access route including an entry directly accessible from the Hotel Plaza Courtyard for fire department personnel to reach the most remote area of the hotel and have direct access to the roof via a stairwell.
  - Relocate and install a new 8" double detector check valve and back flow preventer at proposed Service Yard at the west corner of proposed restaurant building to serve the Lynch Building and the new hotel
  - Provide dedicated separate 8" double detector check valve and back flow preventer at north east corner of proposed residential building
  - Add/Relocate new fire hydrant at west of the existing fire hydrant adjacent to the new double detector check valve in the proposed Service Yard
  - Provide full monitored fire alarm system throughout hotel
  - Provide fire extinguishers on each level with less than 75' travel distance between fire extinguisher cabinets
  - Provide fire alarm system throughout hotel building with one manual fire alarm box in approved locations in each building
  - Provide code compliant system of fire exits throughout facility
  - Provide a facility signage program including but not limited to: address numbers, facility directory and map, utility identification, fire alarm systems, fire sprinkler systems, fire department connections, standpipe systems, utility controls and other information as required by Fire Department

**RossDrulisCusenbery**

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ARCHITECTURE

**HOTEL PROJECT SONOMA**  
Sonoma, CA

**Kenwood Investments LLC**

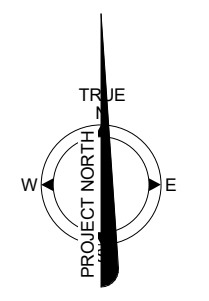
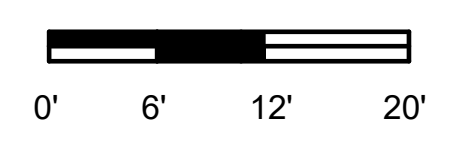
REVISIONS

No.	Description	Date

**EIR PHASE MARCH 2023**

Sheet Title  
**GENERAL FIRE PROTECTION STRATEGY**

Drawn By Author      Checked By Checker  
Scale:  
1/16" = 1'-0"  
Date:  
03/16/2023  
Project No.    Project Number



**A0.02**  
Drawing No.

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1 FIRST FLOOR PLAN - GENERAL FIRE PROTECTION STRATEGY  
1/16" = 1'-0"



**HOTEL PROJECT  
SONOMA**  
Sonoma, CA  
**Kenwood  
Investments LLC**

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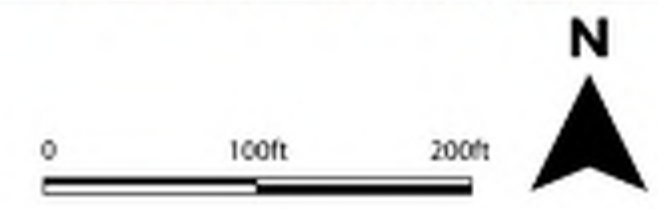
Sheet Title  
**PROJECT SITE  
LOCATION**

Drawn By Author      Checked By Checker

Scale:

Date:  
03/16/2023

Project No.    Project Number



PROJECT SITE LOCATION

**A1.00**  
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Sonoma, CA

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**EIR PHASE MARCH 2023**

Sheet Title

**SITE TOPOGRAPHIC  
SURVEY**

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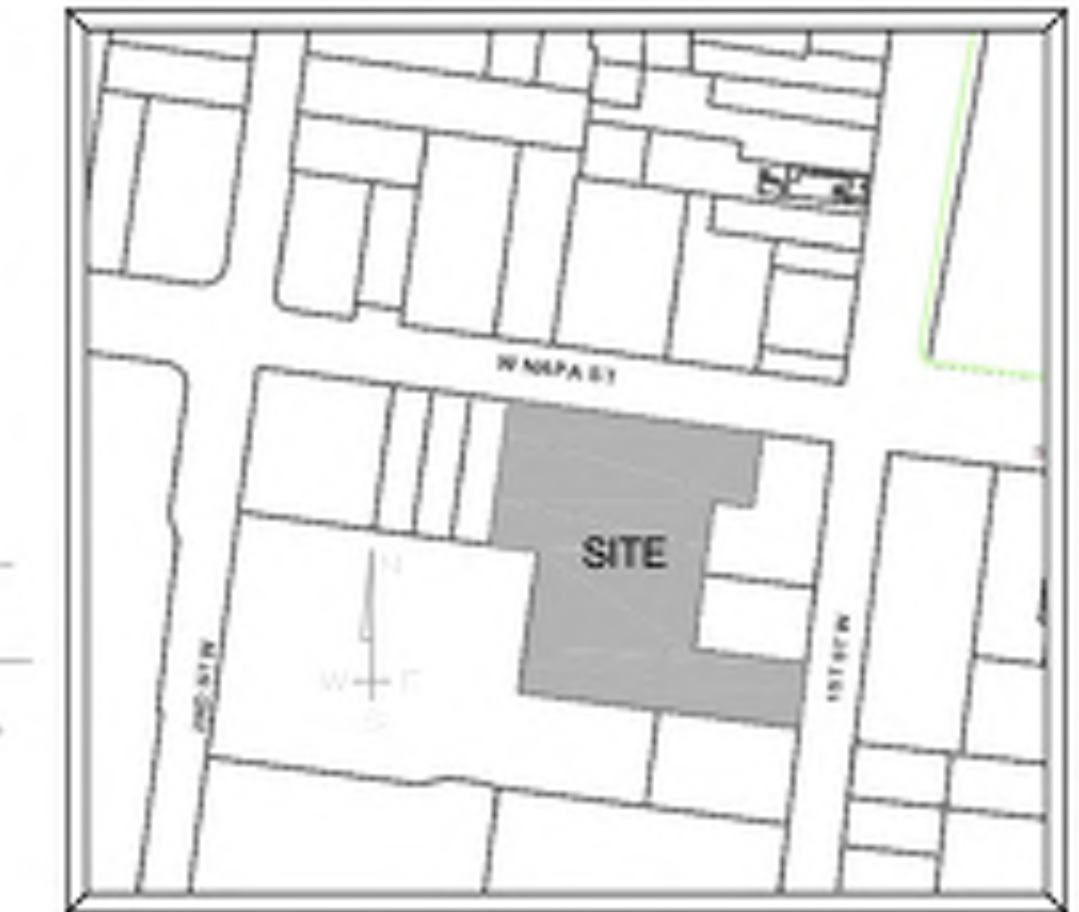
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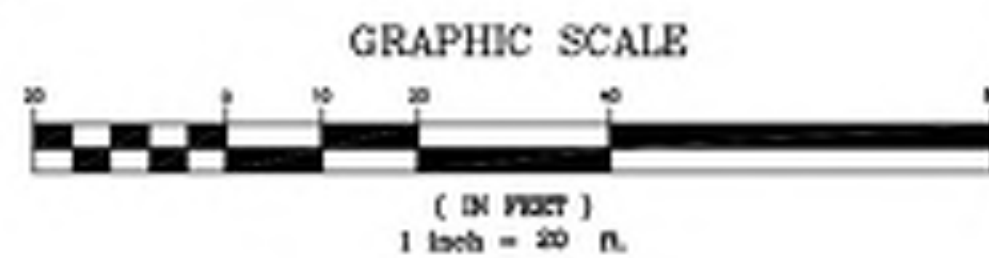
**Vicinity Map**  
N.T.S.

**Legend**

- ⊗ EXISTING FIRE HYDRANT
- EXISTING LUMINARY
- ⊙ EXISTING CLEANOUT
- ⊕ EXISTING SANITARY SEWER MANHOLE
- ⊖ EXISTING TELECOM MANHOLE
- ⊗ EXISTING STORM DRAIN MANHOLE
- ⊘ EXISTING OVERHANGING STREET LIGHT
- ⊙ EXISTING WATER VALVE
- ⊙ EXISTING TREE PER PLAN
- FOUND MONUMENT AS NOTED
- ▲ CONTROL AS NOTED
- EXISTING MAJOR ELEVATION CONTOUR
- EXISTING MINOR ELEVATION CONTOUR
- - - EXISTING PROPERTY LINE (T.B.)
- - - RECORDS D PROPERTY LINE
- - - EXISTING CENTERLINE STRIPING
- - - EXISTING PHYSICAL CENTERLINE
- - - RECORDS D EASEMENT LINE
- ▨ EXISTING BUILDING LINE
- EXISTING CONCRETE CURB LINE
- EXISTING CHAIN LINK FENCE
- EXISTING WOODEN FENCE
- - - EXISTING FLOWLINE
- - - EXISTING EDGE OF PAVEMENT
- - - EXISTING SEWER MAIN OR LATERAL
- - - EXISTING WATER MAIN OR LATERAL
- - - EXISTING GAS MAIN OR LATERAL
- - - EXISTING JOINT TRENCH
- - - EXISTING TELECOM CONDUIT
- - - EXISTING STORM DRAIN LINE
- - - EXISTING DRIP LINE
- ▨ EXISTING ASPHALT PAVING
- ▨ EXISTING CONCRETE PAVING

**MAPPING NOTES**

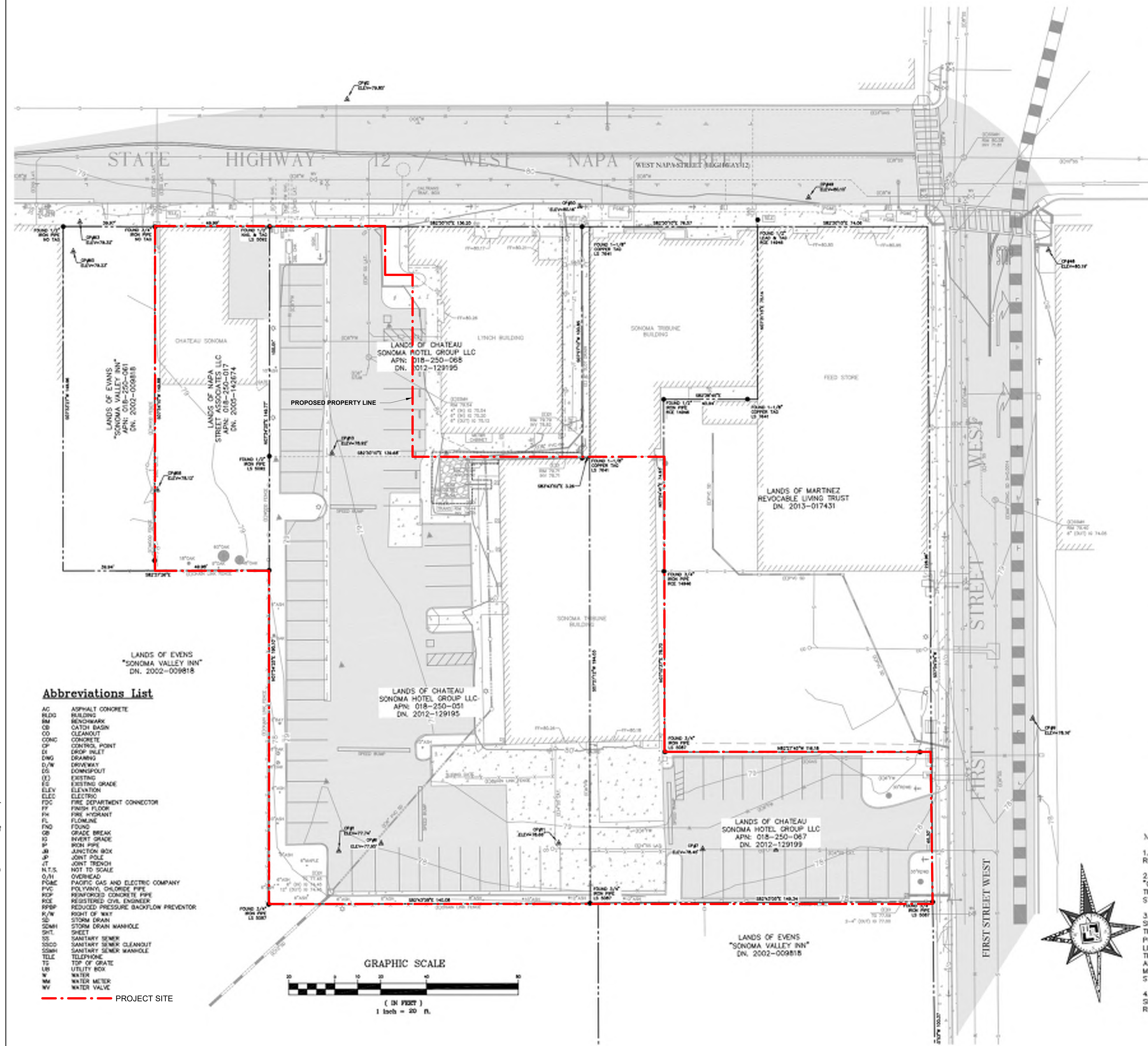
- PROPERTY LINES SHOWN ARE BASED ON FOUND MONUMENTS AND RECORD INFORMATION AND ARE APPROXIMATE.
- BENCHMARK: PER SONOMA COUNTY SANITATION DEPARTMENT "CITY OF SONOMA INFILTRATION STUDY" DRAWING NUMBER 040960. THE INVERT GRADE OF A SANITARY SEWER MANHOLE IN FIRST STREET WEST ELEV=74.05'
- THE LOCATION OF UNDERGROUND STRUCTURES AND UTILITIES SHOWN HEREON HAS BEEN DETERMINED FROM SURFACE EVIDENCE OF THEIR EXISTENCE AND/OR FROM INFORMATION OBTAINED FROM PUBLIC AND/OR UTILITY AGENCIES. THE ENGINEER ACCEPTS NO LIABILITY FOR THE LOCATION, EXISTENCE OR NON-EXISTENCE OF THOSE UNDERGROUND STRUCTURES, UTILITY LINES AND RELATED APPURTENANCES. ANY INDIVIDUAL, COMPANY OR AGENCY USING THIS MAP MUST CONFIRM THE LOCATION OF ALL UNDERGROUND LINES OR STRUCTURES PRIOR TO COMMENCING ANY EXCAVATION.
- UNDERGROUND FEATURES SHOWN AS DASHED REPRESENT SITUATIONS WHERE THE COMBINATION OF SURFACE FEATURES AND RECORD DATA WAS INCONCLUSIVE.



**Abbreviations List**

- AC ASPHALT CONCRETE
- BLDG BUILDING
- BM BENCHMARK
- CB CATCH BASIN
- CO CLEANOUT
- CONC CONCRETE
- CP CONTROL POINT
- DI DROP INLET
- DWG DRAWING
- D/W DRAINWAY
- EQ EQUIPMENT
- EG EXISTING GRADE
- ELEV ELEVATION
- ELEC ELECTRIC
- FDC FIRE DEPARTMENT CONNECTOR
- FF FINISH FLOOR
- FM FIRE HYDRANT
- FL FLOWLINE
- FO FOUND
- GB GRADE BREAK
- IG INVERT GRADE
- IP IRON PIPE
- JM JUNCTION BOX
- JO JOINT SOLE
- JT JOINT TRENCH
- N.T.S. NOT TO SCALE
- O.H. OVERHEAD
- P.G.A.E. PACIFIC GAS AND ELECTRIC COMPANY
- P.V.C. POLYVINYL CHLORIDE PIPE
- R.C.P. REINFORCED CONCRETE PIPE
- R.C.E. REGISTERED CIVIL ENGINEER
- R.P.P. REDUCED PRESSURE BACKFLOW PREVENTOR
- R/W RIGHT OF WAY
- SD STORM DRAIN
- SDMH STORM DRAIN MANHOLE
- SHT. SHEET
- SS SANITARY SEWER
- SSCD SANITARY SEWER CLEANOUT
- SSMH SANITARY SEWER MANHOLE
- TILE TILE
- TS TOP OF GRADE
- UB UTILITY BOX
- W WATER
- WM WATER METER
- WV WATER VALVE

PROJECT SITE



**HOTEL PROJECT  
SONOMA**  
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**EIR PHASE MARCH 2023**

Sheet Title  
**EXISTING SITE PLAN**

Drawn By Author      Checked By Checker  
Scale:  
**1/16" = 1'-0"**  
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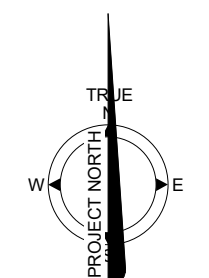
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--- PROPOSED SITE BOUNDARY LINE

1 EXISTING SITE PLAN  
1/16" = 1'-0"



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**GROSS BUILDING AREA  
SUMMARY**

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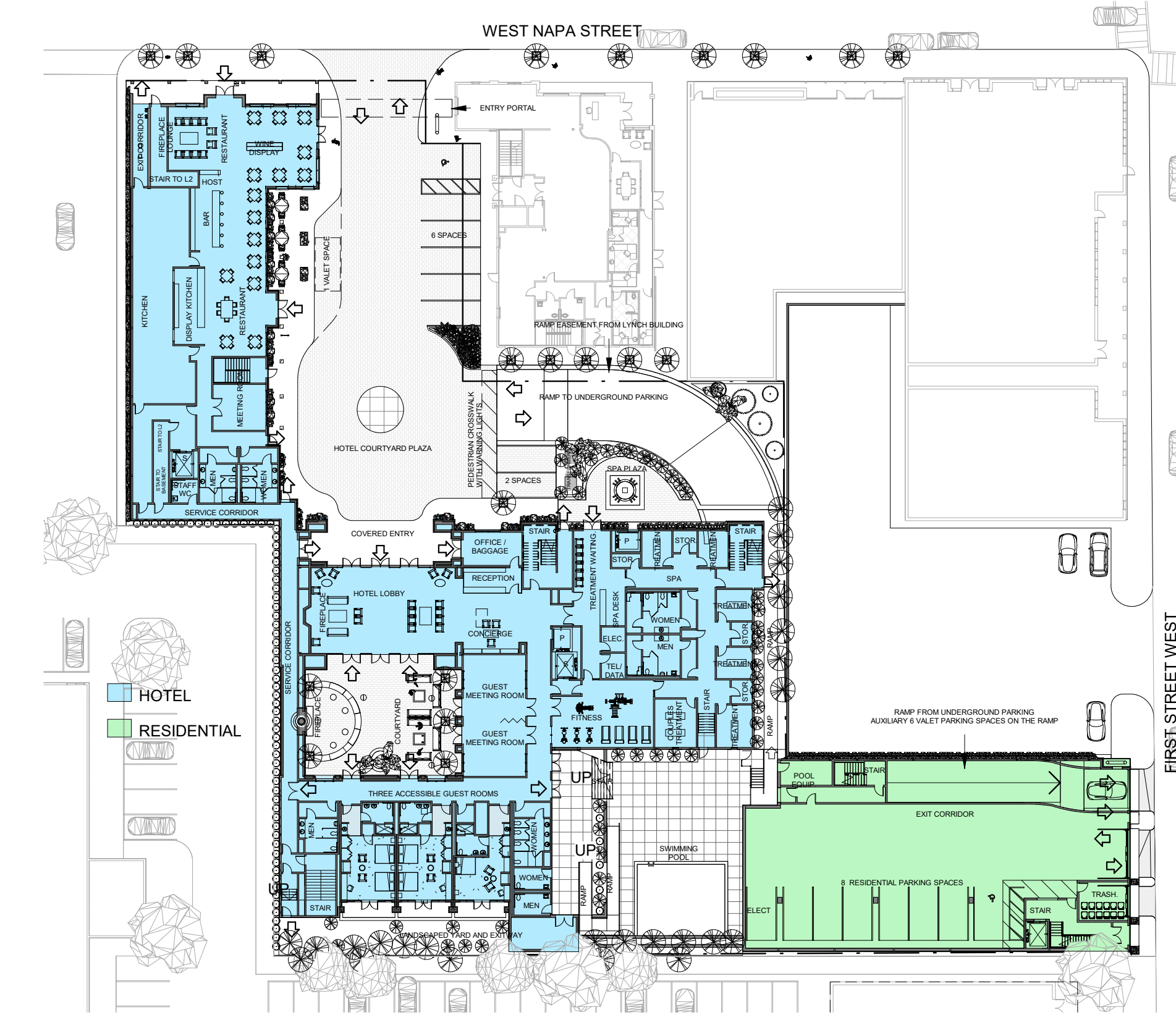
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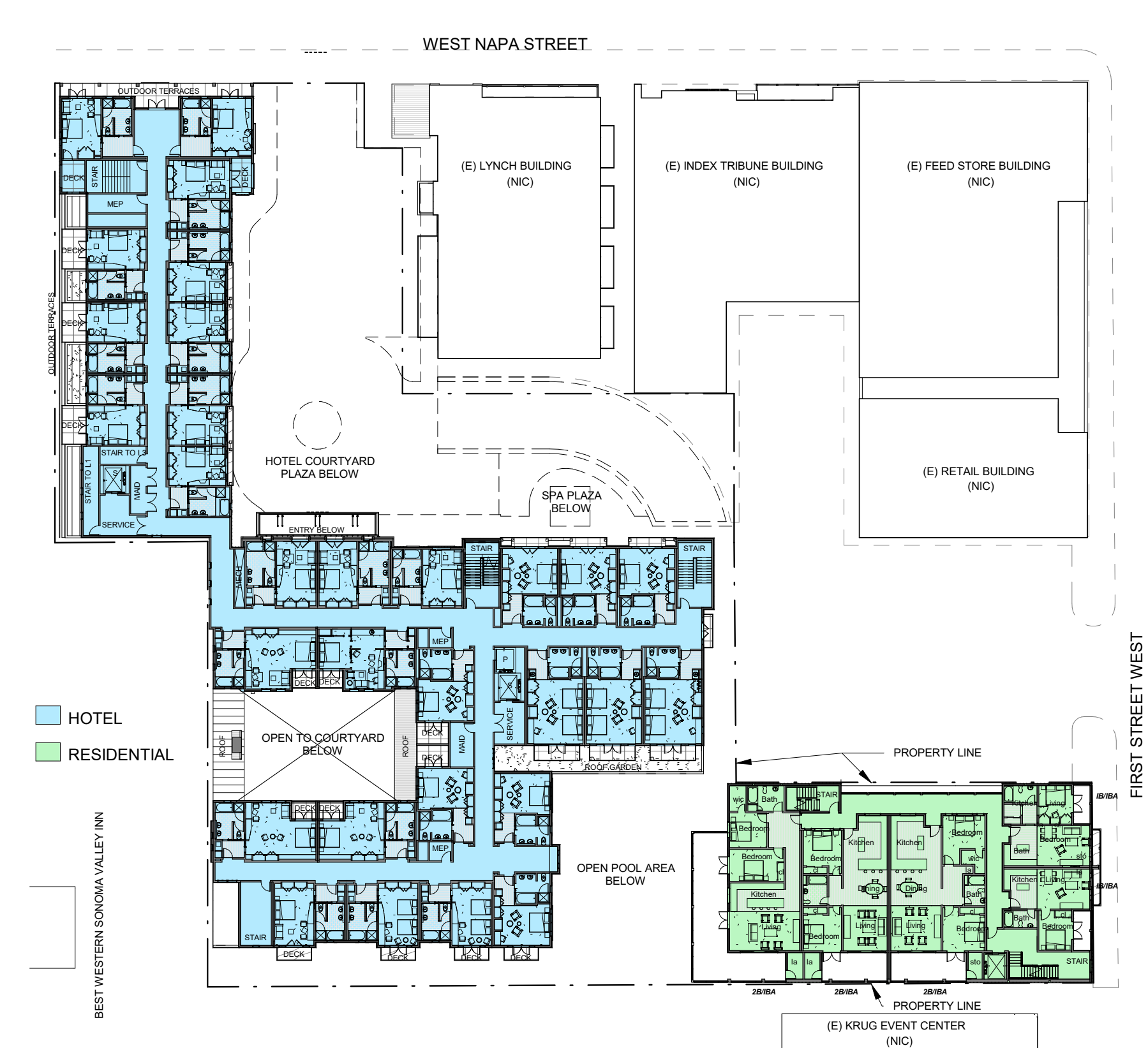
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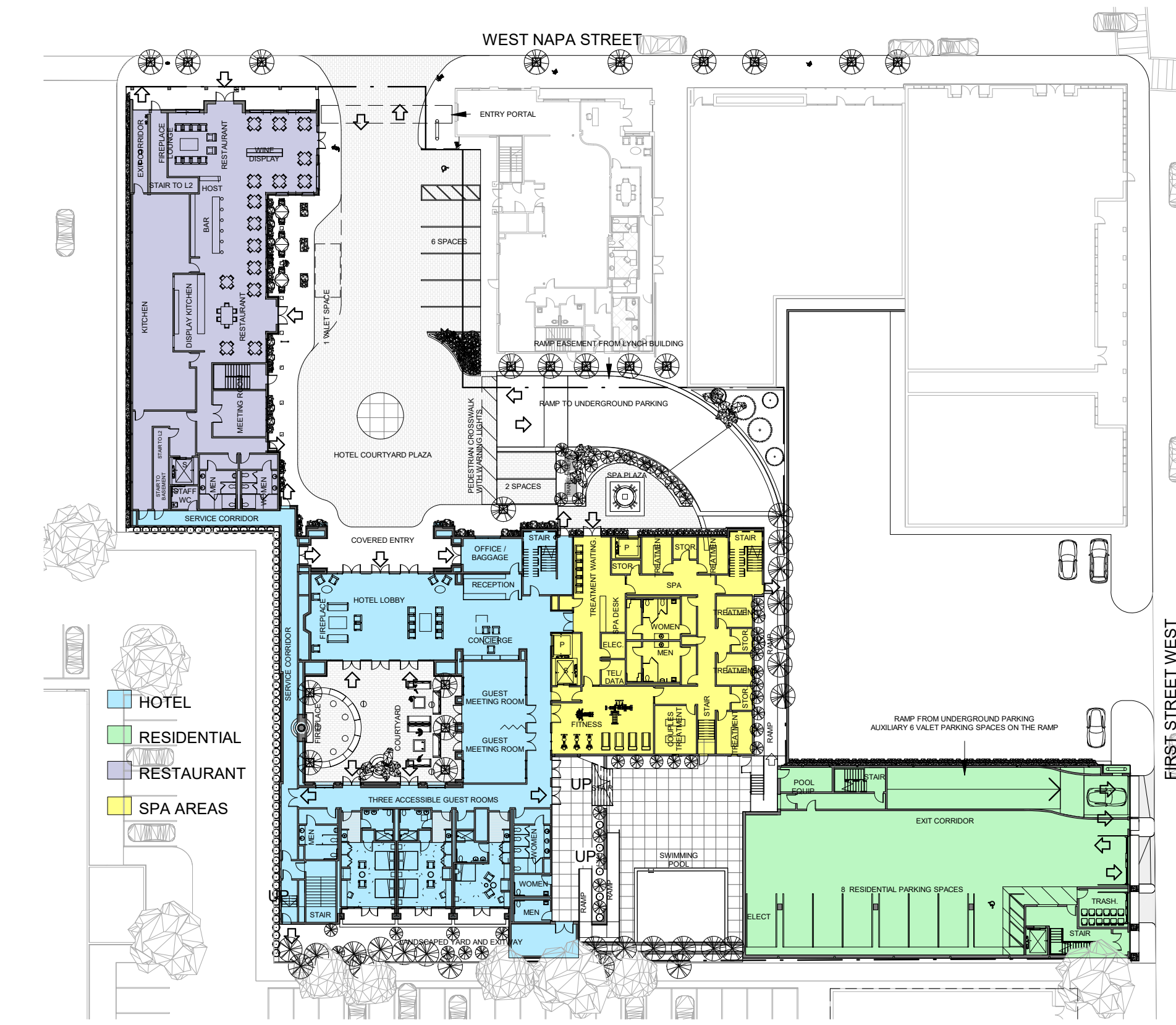
3 FIRST FLOOR - HOTEL / RESIDENTIAL  
1" = 40'-0"



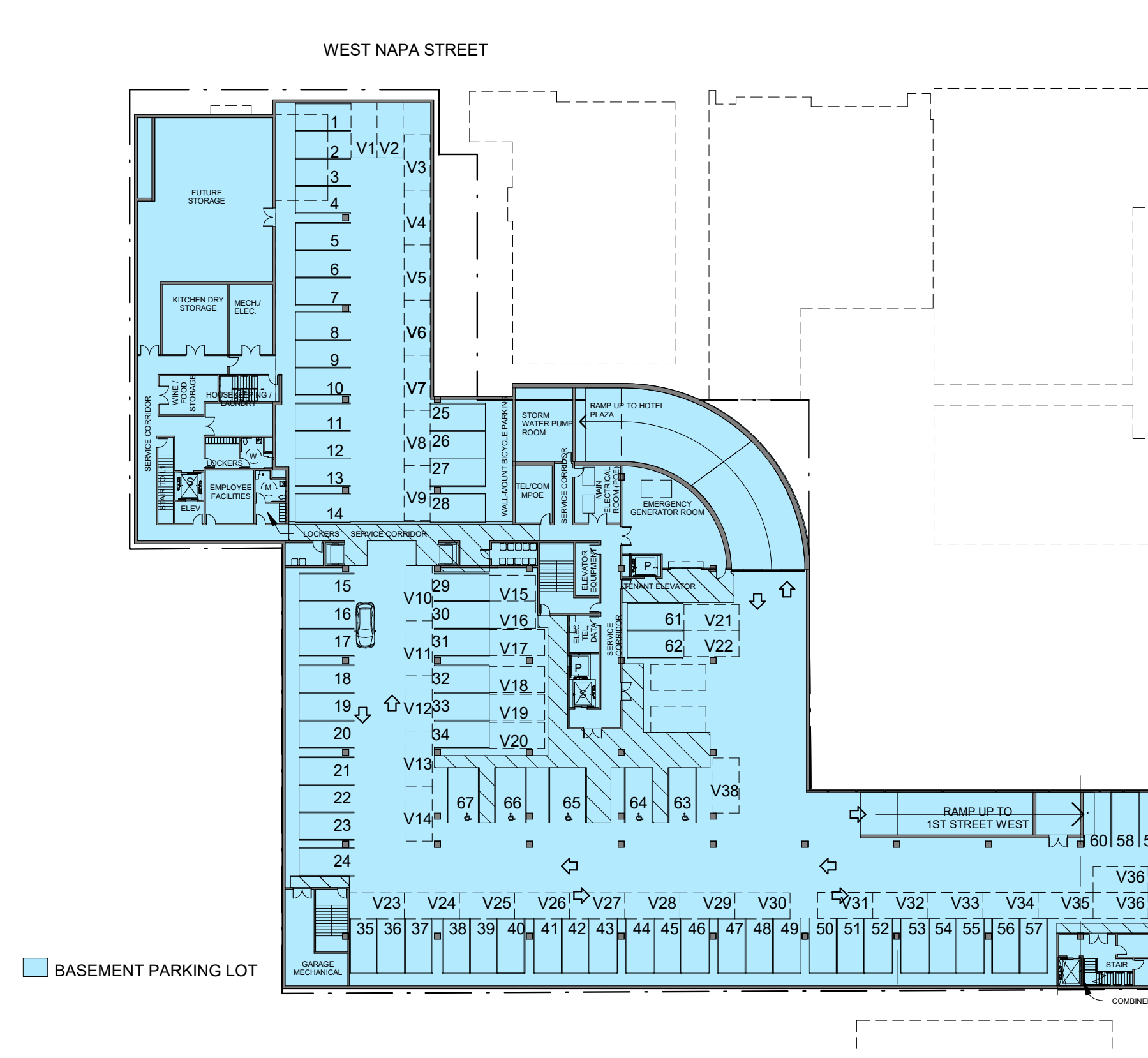
4 SECOND FLOOR - HOTEL / RESIDENTIAL  
1" = 40'-0"



5 THIRD FLOOR - HOTEL / RESIDENTIAL  
1" = 40'-0"



2 RESTAURANT / SPA AREAS  
1" = 40'-0"



1 BASEMENT COVERAGE  
1" = 40'-0"

**GROSS BUILDING AREA SUMMARY (BY USE)**

Use	Basement	First Floor	Second Floor	Third Floor	Sub Total
<b>Hotel</b>					
Basement:	52,110 SF				
First Floor:		21,838 SF			
Second Floor:			22,264 SF		
Third Floor:				21,512 SF	
<b>Sub Total</b>					<b>117,724 SF</b>

Use	First Floor Parking	Second Floor	Third Floor	Sub Total
<b>Residential</b>				
First Floor Parking:	8,307 SF			
Second Floor:		6,786 SF		
Third Floor:			6,177 SF	
<b>Sub Total</b>				<b>21,270 SF</b>

**TOTAL AREA 138,994 SF**

Use	Restaurant	SPA
<b>Restaurant / SPA Areas</b> (Areas Included In Hotel First Floor Above)		
Restaurant:	6,899 SF	
SPA:		4,975 SF

**GROSS BUILDING AREA SUMMARY (BY LEVEL)**

Level	Area
Basement:	52,110 SF
First Floor:	30,145 SF
Second Floor:	29,050 SF
Third Floor:	27,689 SF
<b>TOTAL AREA</b>	<b>138,994 SF</b>

**ONSITE PARKING CALCULATION**

Level	Standard Spaces	Valet Spaces	Delivery Spaces	Auxiliary Spaces	Sub Total
<b>Basement</b>					
Standard Spaces:	67				
Valet Spaces:		38			
Delivery Spaces:			2		
Auxiliary Spaces:				6	
<b>Sub Total</b>					<b>113</b>

Level	Residential Spaces	Staff Spaces	Lynch Valet Spaces	Sub Total
<b>1st Floor Surface Parking</b>				
Residential Spaces:	8			
Staff Spaces:		1		
Lynch Valet Spaces:			8	
<b>Sub Total</b>				<b>17</b>

**Total onsite parking 130**

**Off Site Staff Parking 25**

**TOTAL PARKING 155 Spaces**

**GUESTROOM CALCULATION**

Floor	Standard Guest Room	ADA Guest Rooms	Sub Total
<b>1st Floor</b>			
Standard Guest Room:	1		
ADA Guest Rooms:		2	
<b>Sub Total</b>			<b>3</b>

Floor	Standard Guest Rooms	Suites	Double Queen	Sub Total
<b>2nd Floor</b>				
Standard Guest Rooms:	22			
ADA Standard Room:		1		
Suites:			4	
Double Queen:			3	
<b>Sub Total</b>				<b>30</b>

Floor	Standard Guest Rooms	ADA Suite	Suites	Double Queen	Sub Total
<b>3rd Floor</b>					
Standard Guest Rooms:	22				
ADA Suite:		1			
Suites:			3		
Double Queen:				3	
<b>Sub Total</b>					<b>29</b>

**TOTAL GUESTROOMS 62**

Not For Construction

**HOTEL PROJECT  
SONOMA**

Sonoma, CA

**Kenwood  
Investments LLC**

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No.	Description	Date

**EIR PHASE MARCH 2023**

Sheet Title

**SITE COVERAGE  
CALCULATION**

Drawn By Author Checked By Checker

Scale:  
**As indicated**

Date:  
**03/16/2023**

Project No. Project Number

**A1.04**

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**TOTAL SITE COVERAGE**

The total site area is 54,663 SF. The area in yellow represents the percentage of total site area occupied by structures, and areas necessary for the ingress, egress, outdoor parking, and circulation of motor vehicles = 40,645 SF or 74.4% of total site area.

**ONSITE PARKING CALCULATION**

Basement	
Standard Spaces:	67
Valet Spaces:	38
Delivery Spaces:	2
Auxiliary Spaces:	6
<b>Sub Total</b>	<b>113</b>
1st Floor Surface Parking	
Residential Spaces:	8
Staff Spaces:	1
Lynch Valet Spaces:	8
<b>Sub Total</b>	<b>17</b>
<b>Total onsite parking</b>	<b>130</b>
<b>Off Site Staff Parking</b>	<b>25</b>
<b>TOTAL PARKING</b>	<b>155 Spaces</b>

**GUESTROOM CALCULATION**

1st Floor	
Standard Guest Room	1
ADA Standard Rooms:	2
<b>Sub Total</b>	<b>3</b>
2nd Floor	
Standard Guest Rooms:	22
ADA Standard Room:	1
Suites:	4
Double Queen:	3
<b>Sub Total</b>	<b>30</b>
3rd Floor	
Standard Guest Rooms:	22
ADA Suite:	1
Suites:	3
Double Queen:	3
<b>Sub Total</b>	<b>29</b>
<b>TOTAL GUESTROOMS</b>	<b>62</b>



1 SITE COVERAGE CALCULATION  
1/16" = 1'-0"

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No.	Description	Date

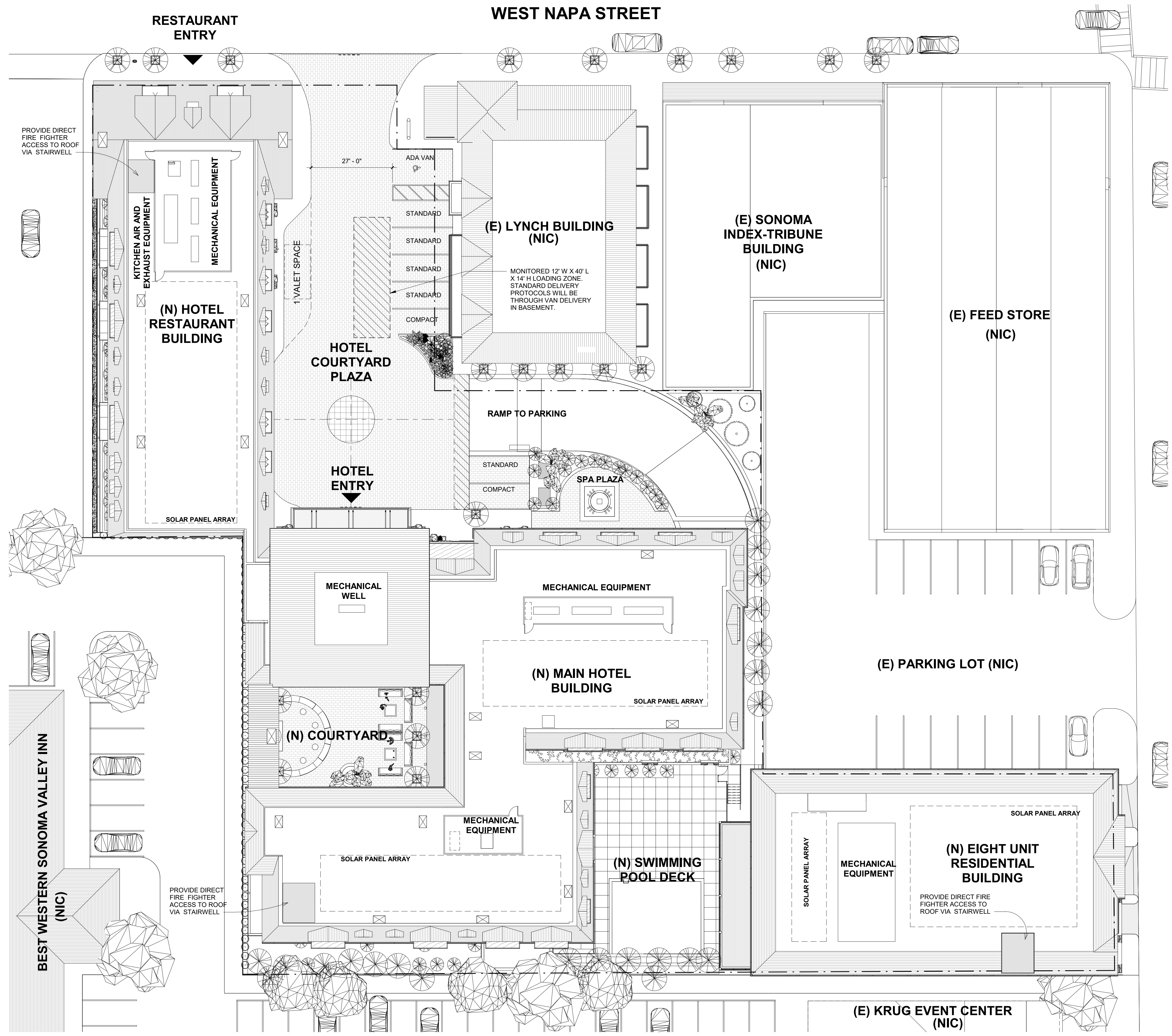
**EIR PHASE MARCH 2023**

Sheet Title  
**PROPOSED SITE ROOF  
PLAN**

Drawn By Author      Checked By Checker  
Scale:  
**1/16" = 1'-0"**  
Date:  
**03/16/2023**  
Project No.    Project Number

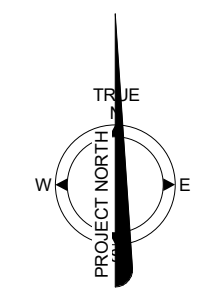
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② FIRST FLOOR PLAN  
1/16" = 1'-0"

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**BASEMENT PLAN**

Drawn By Author

Checked By Checker

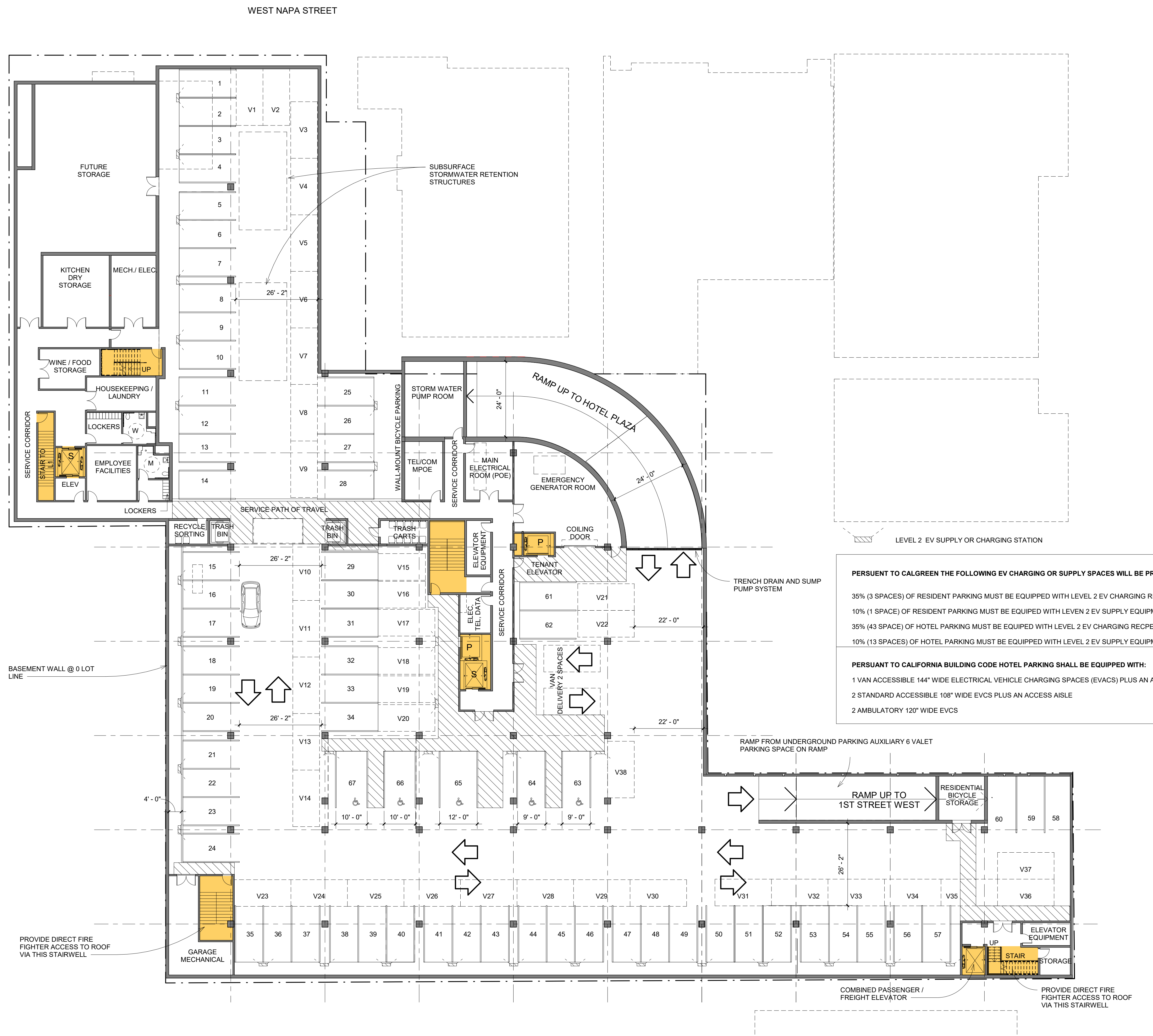
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PERSUANT TO CALGREEN THE FOLLOWING EV CHARGING OR SUPPLY SPACES WILL BE PROVIDED:		TOTAL SPACES
35% (3 SPACES) OF RESIDENT PARKING MUST BE EQUIPPED WITH LEVEL 2 EV CHARGING RECEPTACLES.		58 SPACES EV SUPPLY OR RECEPTACLES INCLUSIVE OF HOTEL COURTYARD SPACES
10% (1 SPACE) OF RESIDENT PARKING MUST BE EQUIPPED WITH LEVEL 2 EV SUPPLY EQUIPMENT.		
35% (43 SPACE) OF HOTEL PARKING MUST BE EQUIPPED WITH LEVEL 2 EV CHARGING RECEPTACLES.		65
10% (13 SPACES) OF HOTEL PARKING MUST BE EQUIPPED WITH LEVEL 2 EV SUPPLY EQUIPMENT.		
PERSUANT TO CALIFORNIA BUILDING CODE HOTEL PARKING SHALL BE EQUIPPED WITH:		SPACE #
1 VAN ACCESSIBLE 144" WIDE ELECTRICAL VEHICLE CHARGING SPACES (EVACS) PLUS AN ACCESS AISLE		65
2 STANDARD ACCESSIBLE 108" WIDE EVCS PLUS AN ACCESS AISLE		63 + 64
2 AMBULATORY 120" WIDE EVCS		66 + 67

**ONSITE PARKING CALCULATION**

<b>Basement</b>	
Standard Spaces:	67
Valet Spaces:	38
Delivery Spaces:	2
Auxiliary Spaces:	6
<b>Sub Total</b>	<b>113</b>
<b>1st Floor Surface Parking</b>	
Residential Spaces:	8
Staff Spaces:	1
Lynch Valet Spaces:	8
<b>Sub Total</b>	<b>17</b>
<b>Total onsite parking</b>	<b>130</b>
<b>Off Site Staff Parking</b>	<b>25</b>
<b>TOTAL PARKING</b>	<b>155 Spaces</b>

1 BASEMENT PLAN  
1/16" = 1'-0"

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**FIRST FLOOR PLAN**

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**RESTAURANT SEATS COUNT**

INDOOR SEATS	80
OUTDOOR SEATS	20
<b>TOTAL SEATS COUNT</b>	<b>100</b>

**ONSITE PARKING CALCULATION**

Basement	
Standard Spaces:	67
Valet Spaces:	36
Delivery Spaces:	2
Auxiliary Spaces:	6
<b>Sub Total</b>	<b>113</b>
1st Floor Surface Parking	
Residential Spaces:	8
Staff Spaces:	1
Lynch Valet Spaces:	8
<b>Sub Total</b>	<b>17</b>
<b>Total onsite parking</b>	<b>130</b>
<b>Off Site Staff Parking</b>	<b>25</b>
<b>TOTAL PARKING</b>	<b>155 Spaces</b>
GUEST ROOM CALCULATION	
1st Floor	
Standard Guest Room	1
ADA Guest Rooms:	2
<b>Sub Total</b>	<b>3</b>
2nd Floor	
Standard Guest Rooms:	22
ADA Standard Room:	1
Suites:	4
Double Queen:	3
<b>Sub Total</b>	<b>30</b>
3rd Floor	
Standard Guest Rooms:	22
ADA Suites:	1
Suites:	3
Double Queen:	3
<b>Sub Total</b>	<b>29</b>
<b>TOTAL GUESTROOMS</b>	<b>62</b>

1 FIRST FLOOR PLAN  
1/16" = 1'-0"

**HOTEL PROJECT  
SONOMA**  
Sonoma, CA  
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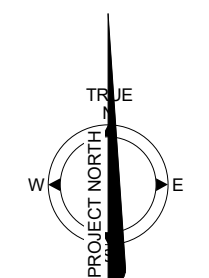
**EIR PHASE MARCH 2023**

Sheet Title  
**SECOND FLOOR PLAN**

**GUESTROOM CALCULATION**

<b>1st Floor</b>	Standard Guest Room	1
	ADA Guest Rooms:	2
	<b>Sub Total</b>	<b>3</b>
<b>2nd Floor</b>	Standard Guest Rooms:	22
	ADA Standard Room:	1
	Suites:	4
	Double Queen:	3
	<b>Sub Total</b>	<b>30</b>
<b>3rd Floor</b>	Standard Guest Rooms:	22
	ADA Suite:	1
	Suites:	3
	Double Queen:	3
	<b>Sub Total</b>	<b>29</b>
<b>TOTAL GUESTROOMS</b>		<b>62</b>

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① SECOND FLOOR PLAN  
1/16" = 1'-0"

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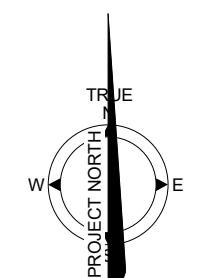
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Sheet Title  
**THIRD FLOOR PLAN**

**GUESTROOM CALCULATION**

<b>1st Floor</b>	Standard Guest Room	1
	ADA Guest Rooms:	2
	<b>Sub Total</b>	<b>3</b>
<b>2nd Floor</b>	Standard Guest Rooms:	22
	ADA Standard Room:	1
	Suites:	4
	Double Queen:	3
	<b>Sub Total</b>	<b>30</b>
<b>3rd Floor</b>	Standard Guest Rooms:	22
	ADA Suite:	1
	Suites:	3
	Double Queen:	3
	<b>Sub Total</b>	<b>29</b>
<b>TOTAL GUESTROOMS</b>		<b>62</b>

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**A2.03**  
Drawing No.

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① **THIRD FLOOR**  
1/16" = 1'-0"



HOTEL PLAZA COURTYARD - VIEW FROM WEST NAPA STREET



HOTEL RESTAURANT BUILDING - VIEW FROM HOTEL PLAZA COURTYARD



HOTEL EXTERIOR COURTYARD - NIGHT VIEW

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**CONCEPTUAL  
RENDERINGS**

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Sheet Title

**EXTERIOR ELEVATIONS -  
NORTH / EAST**

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1 NORTH ELEVATION



2 EAST ELEVATION

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No.	Description	Date

**EIR PHASE MARCH 2023**

Sheet Title

**EXTERIOR ELEVATIONS -  
SOUTH / WEST**

Drawn By Author Checked By Checker

Scale:

Date:  
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**A3.02**  
Drawing No.

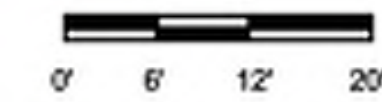
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1 SOUTH ELEVATION



2 WEST ELEVATION





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Sheet Title  
**VISUAL SIMULATIONS**

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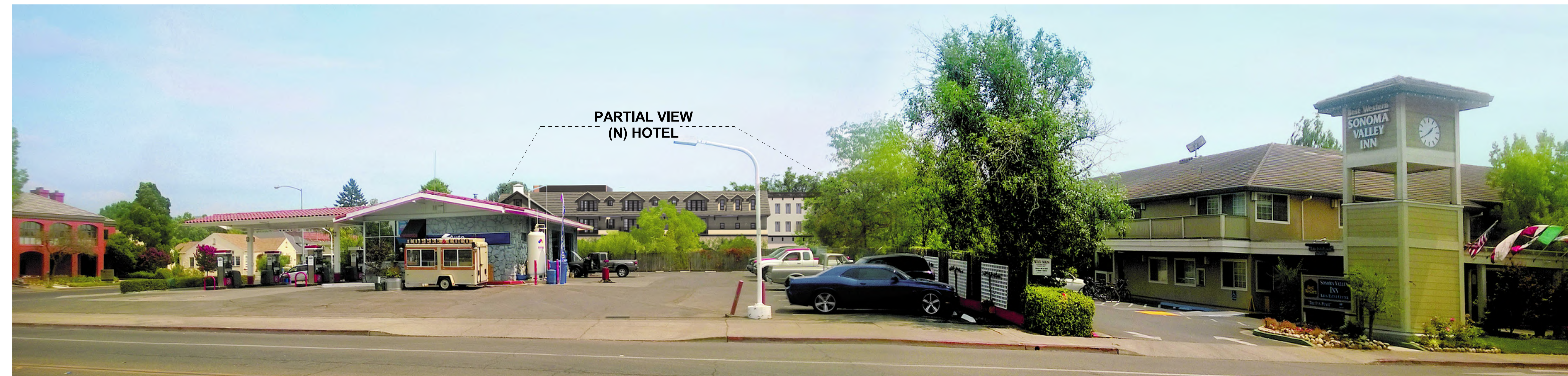
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CONTEXT- WEST NAPA STREET BETWEEN 1st ST WEST and 2nd ST WEST



VIEW EAST - SECOND STREET WEST



VIEW EAST - WEST NAPA STREET

1st ST WEST

2nd ST WEST

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VIEW EAST - WEST NAPA STREET



VIEW SOUTH - WEST NAPA STREET



VIEW WEST - WEST NAPA STREET



VIEW WEST - FIRST STREET

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**VISUAL SIMULATIONS**

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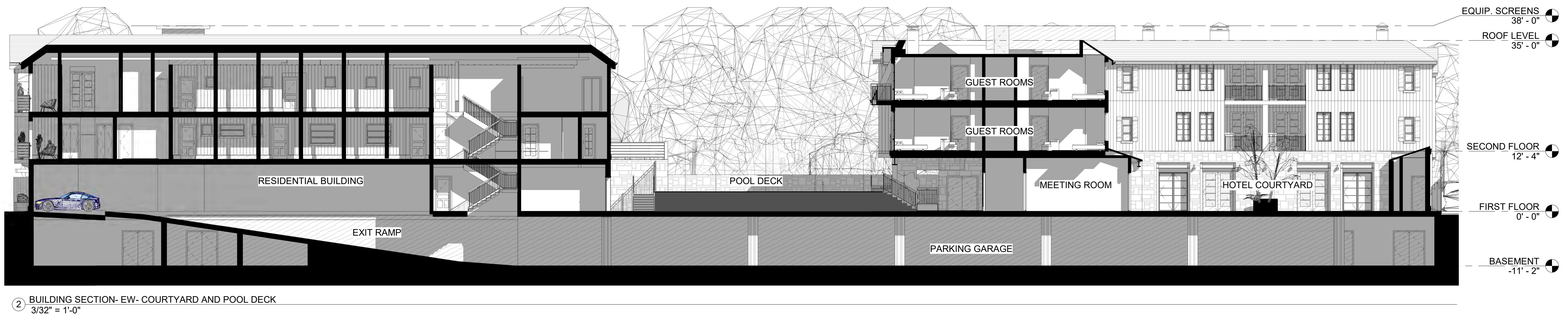
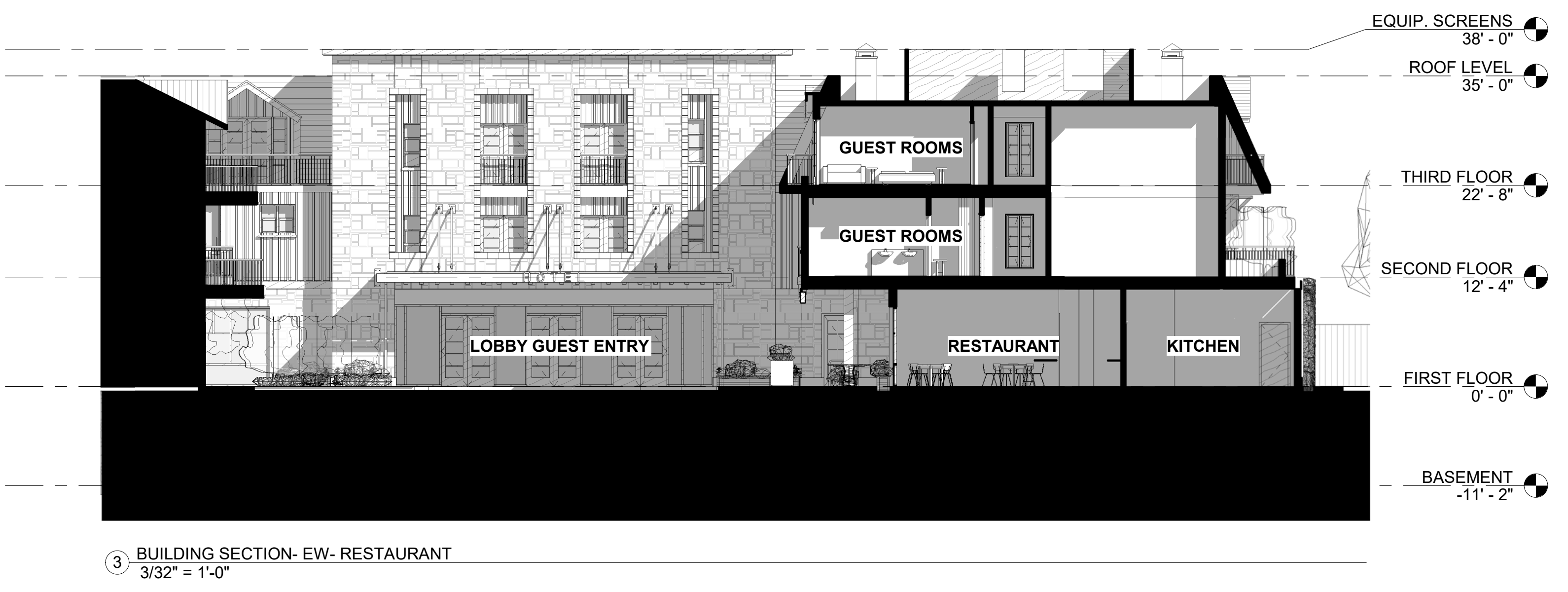
**EIR PHASE MARCH 2023**

Sheet Title  
**BUILDING SECTIONS**

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Scale:  
3/32" = 1'-0"  
Date:  
03/16/2023  
Project No.    Project Number

**A3.51**  
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No.	Description	Date

EIR PHASE MARCH 2023

Sheet Title  
**BUILDING SECTIONS**

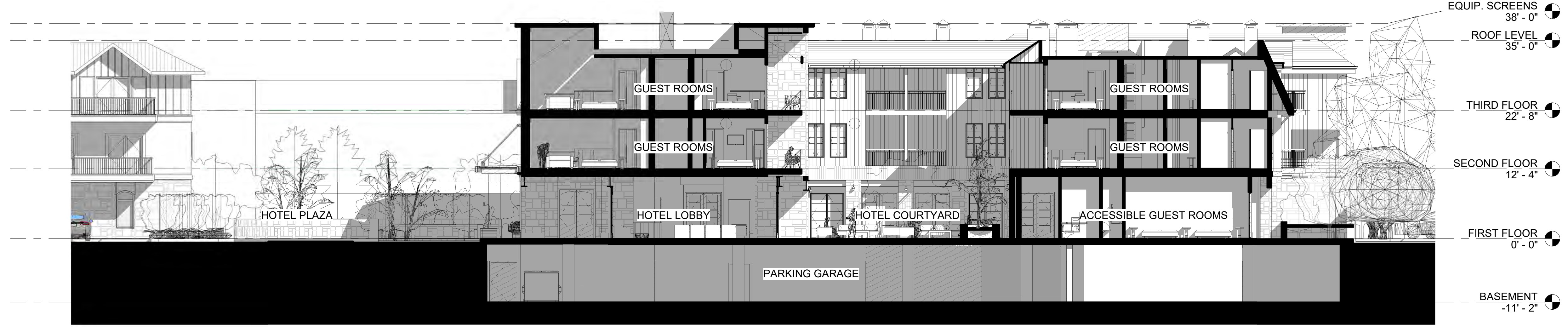
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03/16/2023  
Project No.    Project Number

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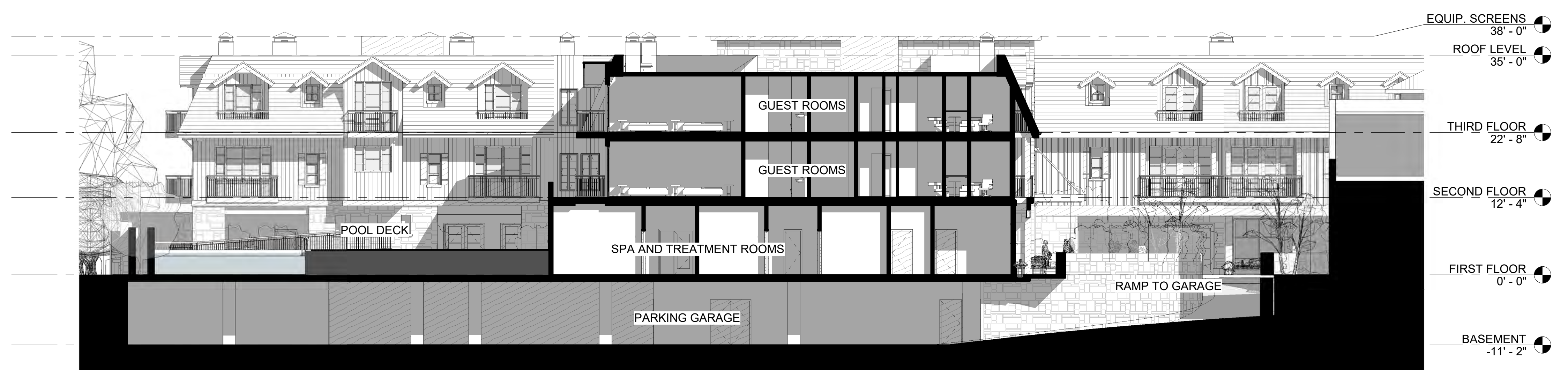
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② BUILDING SECTION- NS- BUILDING A  
3/32" = 1'-0"



① BUILDING SECTION- NS- BUILDING B COURTYARD  
3/32" = 1'-0"



③ BUILDING SECTION- NS- POOL DECK  
3/32" = 1'-0"

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