

**STREETSBORO PLANNING AND ZONING COMMISSION**  
**Regular Meeting**  
**Tuesday April 13, 2021**  
**7:00 pm**

**1. Call to Order**

**2. Pledge of Allegiance and Invocation**

**3. Roll Call**

**4. Disposition of Minutes:**

May 12, 2020 Regular Meeting

March 9, 2021 Regular Meeting

**5. Old Business- None**

**6. Sign Review- Chapter 1159 –**

- 9254 State Route 43-Speedway  
Planter Sign

**7. New Business –**

- 8980 Kirby Lane-Streetsboro Parks and Recreation-  
Site Plan Amendment-Sand Volleyball Courts
- Address TBD- Geis Companies  
Site Plan Review-20,000 sq. ft. Spec/Flex Warehouse/Storage Building

**8. Reports, Communications and Correspondence**

**9. Citizens' Comments**

**10. Commission Member Comments**

**Announcements:** The next Regular Planning and Zoning Commission meeting will be held Tuesday May 11, 2021 at 7PM at the Streetsboro Municipal Building (555 Frost Road).

**11. Adjournment**

## **Sign Review-Chapter 1159**

9254 State Route 43-Speedway

Planter sign

**CITY OF STREETSBORO PLANNING AND ZONING DEPARTMENT**  
 9184 State Route 43, Streetsboro, OH 44241 (330) 626-4942 Ext. 4127 Fax (330) 626-4035

**SIGN REVIEW APPLICATION**


Date 02/22/21

<u>9254 STATE RT 43</u>		<u>Streetsboro</u>	
*Project Address	Parcel #	Zoning District	
<u>JAMES A BOND</u>	<u>6525 ANGOLA RD., HOLLAND, OH 43528</u>	<u>888-731-6122</u>	
Applicant Name	Applicant Address	Phone #	Fax #
<u>NATIONAL ILLUMINATION</u>	<u>6525 ANGOLA RD., HOLLAND, OH 43528</u>	<u>888-731-6122</u>	
Company Name	Company Address	Phone #	Fax #
<u>SPEEDWAY</u>			
Property Owner	Property Owner Address	Phone #	Fax #
Name of Agent or Attorney (if applicable) Address		Phone #	Fax#
Type of sign: _____			

**By virtue of my signature below, I acknowledge all of the following:**

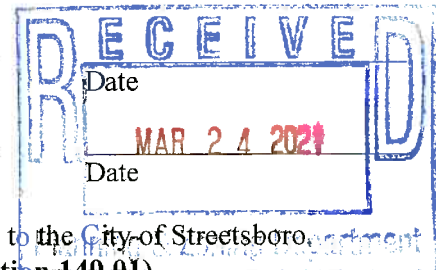
- (1) **That I recognize it is my responsibility to submit a complete application and my failure to do so could subject this application to not being submitted for consideration by the Commission (see reverse side);**
- (2) this request is for sign approval from the City Planning Commission;
- (3) should sign approval be given by the City Planning Commission, said approval does not authorize installation of the approved sign;
- (4) after receiving sign approval from the City Planning Commission, building permits must be applied for and received from the Building Department before the approved sign can be installed;
- (5) that the Planning and Zoning Department suggested that I talk to the Building Department as soon as possible to learn what additional procedures and fees will be requested by the Building Department after sign approval by the City Planning Commission;
- (6) design and installation of the approved sign must conform to all approved plans;
- (7) deviation from approved plans cannot occur without prior written consent of the City;
- (8) Unauthorized deviation from an approved plan will constitute "violation of the Zoning Code" and will allow the City to pursue any remedy available at law.

\*Please include copy of deed for subject property with application.

	<u>JAMES A BOND</u>
Applicant Signature	Print Name
<u>SEE LETTER OF AUTHORIZATION</u>	<u>ASHLEY VAIR</u>
Property Owner Signature	Print Name
Agent or Attorney Signature (include notarized statement)	Print Name

02/22/21

Date



All application fees are accepted in cash or by check payable to the City of Streetsboro

**All Fees are non-refundable (per Code Section 149.01)**

Rev Fee 04-28-05 Ord. 2005-47

(Staff use only)		Planning Commission Date	_____
Date Received	<u>3-23-21</u>	Approved	Y N
Fee Paid	<u>50-</u>		
Receipt No.	<u>4279</u>		

# CITY OF STREETSBORO PLANNING AND ZONING DEPARTMENT

9184 State Route 43, Streetsboro, OH 44241 (330) 626-4942 Ext. 4127 Fax (330) 626-4035

## Complete Application Requirements

### 1159.03 ADMINISTRATION/APPLICATION AND PERMIT.

(a) All signs exempt by Section 1159.21 of this Chapter must obtain City Planning Commission approval before getting a Zoning Certificate or a building permit to construct, alter, replace or move a sign.

(b) Application Requirements. A complete application shall consist of all of the following:

- (1) An application form supplied by the Planning and Zoning Department that is filled out and signed by the person or entity that will own the sign and the person or entity who owns the property or their designee; and
- (2) An application fee per Chapter 149; and
- (3) Sixteen copies of a site plan drawn to scale showing all of the following except for items waived by the Planning and Zoning Department:
  - A. The location and dimensions of the property's boundary lines and
  - B. Topographical lines for existing grade contours at two (2) feet intervals; and
  - C. The location of all buildings and structures, including fences, on the lot; and
  - D. The location and shape of driveways, parking spaces, curb cuts, and all other components of the vehicular circulation system; and
  - E. The location and shape of all easements and their purpose; and
  - F. The location, of all on site utilities apparatus, including poles; and
  - G. The location, dimensions, and description of all existing signage on the property; and
  - H. The sign design and layout proposed, including total area of the size, height, character, materials and color of letters, lines and symbols; and
  - I. Color photographs of existing buildings or colored rendering of proposed building; and
  - J. For illuminated signs, the number and types of lamps and lens material and a statement that the illumination of each sign will comply with the provisions in Section 1159.06.
  - K. Elevations, plans, specifications, and locations for proposed signs, including proposed lighting and landscaping. If a sign is proposed to be on a wall or fence, then the entire wall or fence section the sign will be attached to must be depicted showing the location of the sign and said wall fence; and
  - L. The elevations and plans required by h, above must depict all graphics, wording, numbers, and symbols to be displayed and must describe the nature of materials and the colors to be used for all components of the signs.
  - M. Details and specifications for construction, erection and attachment as required by the Building Code and the name of the sign contractor or company.

(4) All other information deemed pertinent by the Planning Director.

**NOTE: 1159.20 SIGN SPECIFICATION PLATE.**

All signs hereafter erected shall contain a two inch by four inch (2" x 4") specification plate indicating the date of installation; the sign permit number, the primary voltage and amperage of any electrical components in connection therewith. (Ord. 2005-94. Passed 7-25-05.)



Speedway LLC

**Re: Speedway, store # 3390**  
9254 State Route 43  
Streetsboro, OH 44241

To whom it may concern;

As a representative of Speedway LLC, I authorize National Illumination and Sign Corp to apply for and complete the permit and installation processes for the proposed sign work as specified in the application document(s) already submitted.

Thank you,

*Ashley Vair*



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**Speedway LLC**  
**3480 West Market St.**  
**Suite 201**  
**Fairlawn, OH 44333**  
**330-835-1701**

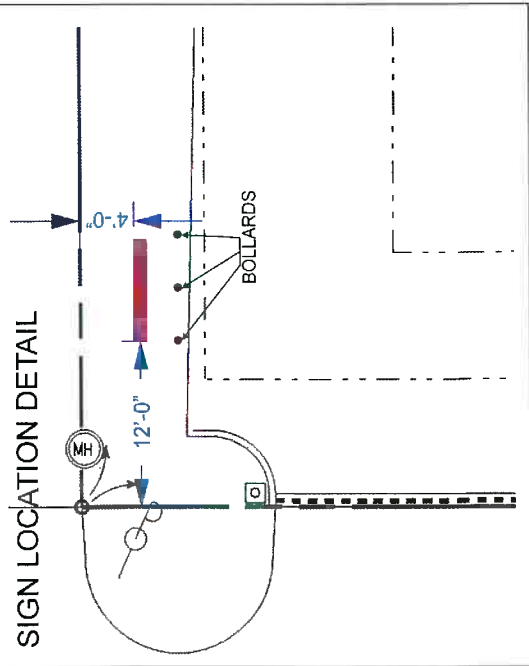
**Re: Landscaping plan - Speedway, store #3390**  
9254 St Rt. 43  
Streetsboro, OH 44241

To whom it may concern;

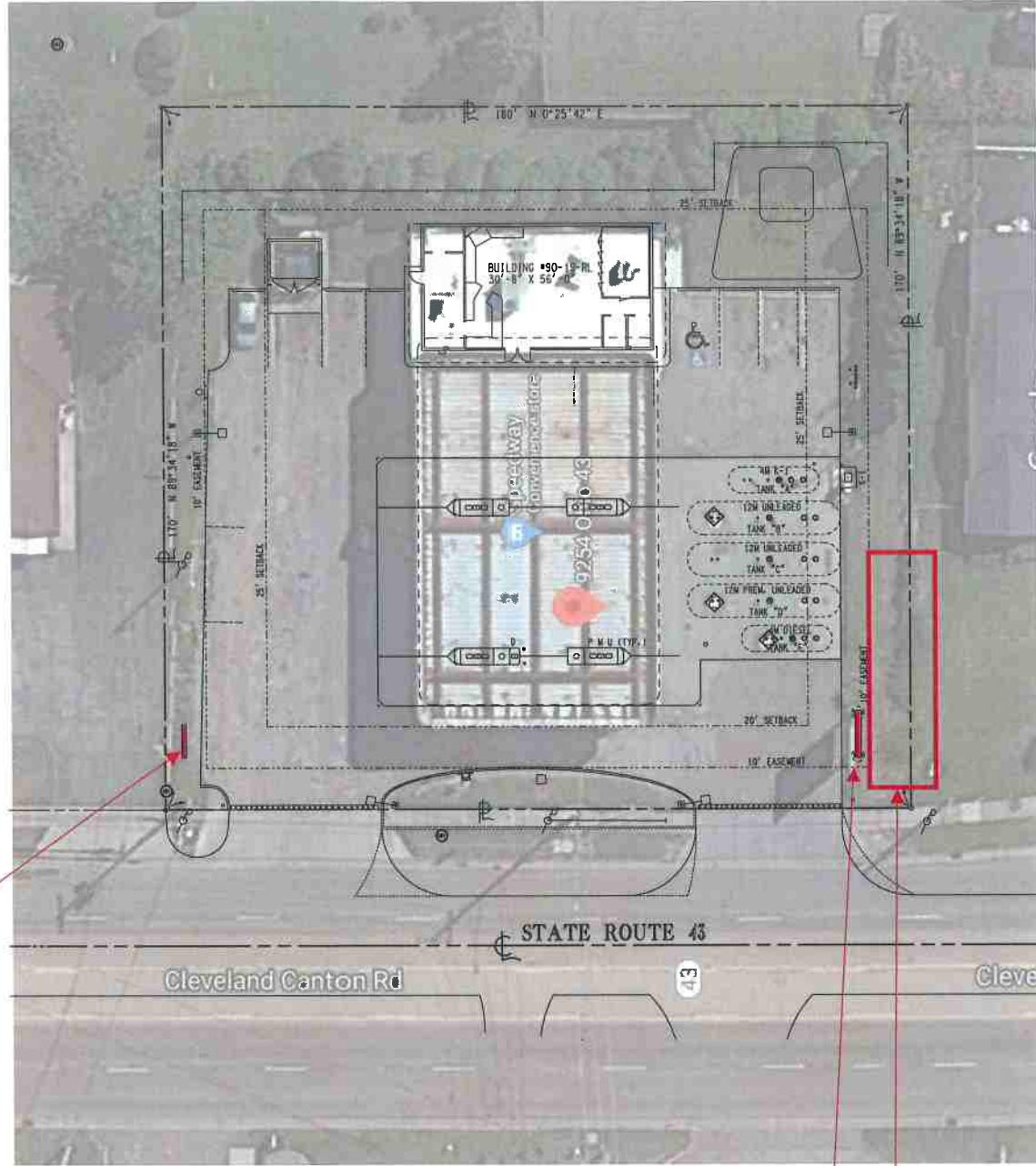
In compliance to the request by the city, Speedway will provide a landscape plan for the area surrounding the newly proposed freestanding sign. Speedway understands and agrees that the approval of the Plan Commission is contingent to this agreement.

Thank you,  
*Dustin Lance*  
Region Manager  
Speedway, LLC

**SIGN LOCATION DETAIL**



**PROPOSED NEW SIGN**



**EXISTING NON-CONFORMING SIGN (TO BE REMOVED)**

**NEIGHBOR'S BUSHES**



**Copyright ©2021 National Illumination & Sign Corporation**  
 THIS RENDERING WILL REMAIN THE EXCLUSIVE PROPERTY OF NATIONAL ILLUMINATION & SIGN CORPORATION AND IS COPYRIGHTED PER THE EXISTING LAWS OF THE UNITED STATES. IT SHALL NOT BE REPRODUCED, ALTERED, OR SHOWN WITHOUT THE WRITTEN CONSENT OF NATIONAL ILLUMINATION & SIGN CORPORATION. NATIONAL ILLUMINATION & SIGN CORPORATION RESERVES THE RIGHT TO PUBLISH ARTWORK, LOGOS, AND COMPLETION PHOTOS USING PRINTED AND ELECTRONIC MEDIA FOR NATIONALS ADVERTISING PURPOSES.

Project Name: SPEEDWAY #3390  
 Address: 9254 STATE RT 43  
 Approval ( Purchaser ) : \_\_\_\_\_  
 Approval Leasor / Agent ) : \_\_\_\_\_

City: STREETSBORO

State: OH

Date: \_\_\_\_\_

Date: \_\_\_\_\_

Salesman: GNU

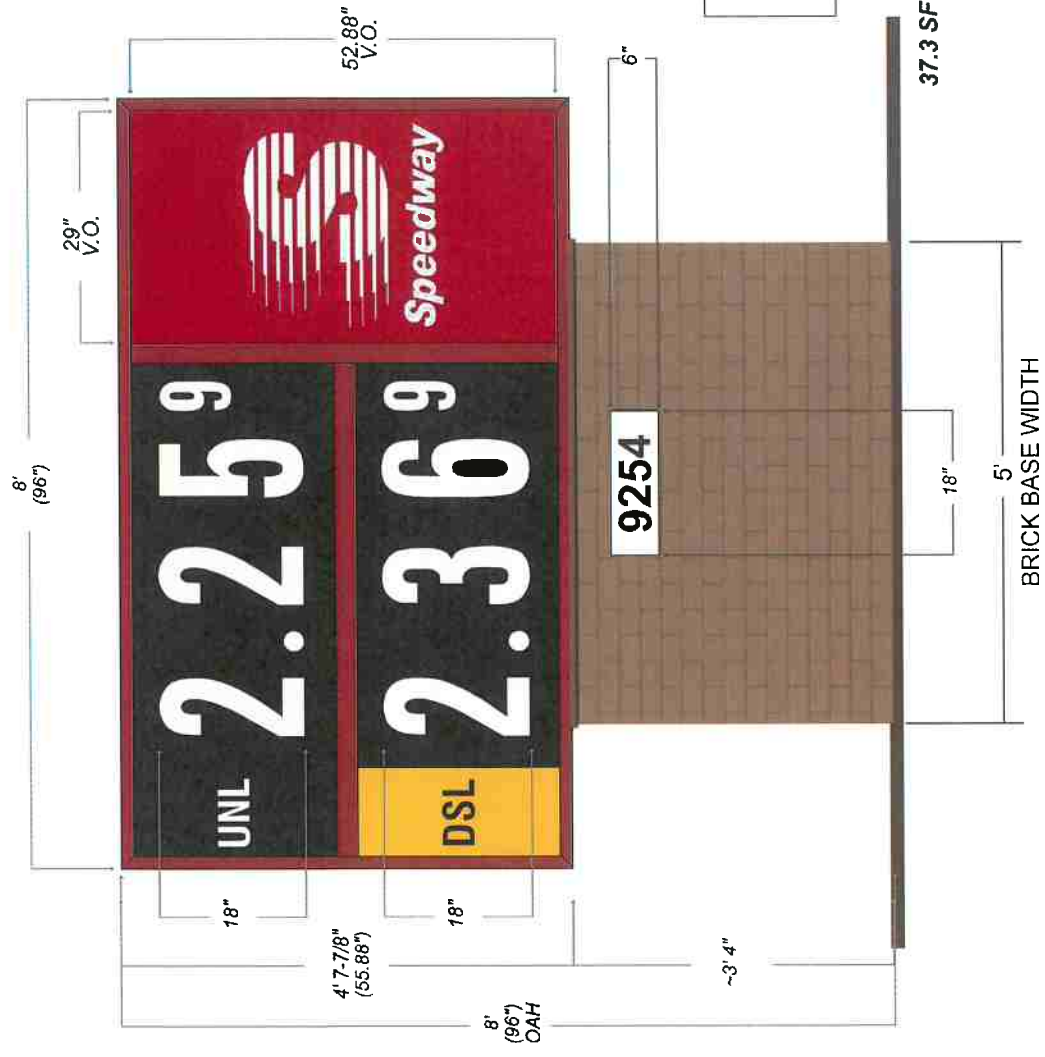
Drawing No.: 01221 - PROPOSED LOCATION

Scale: NTS

Designer: JB

Date: JANUARY 12, 2021

**Rendering**  
 This rendering is for graphic purposes only and is not intended for actual construction. All dimensions and mounting details, please refer to final engineering specifications and install drawings.



**NOTE: SIGN ILLUMINATION  
 WILL NOT EXCEED 400 NITS**

**NOTE:**  
 Final dimensions to be determined by Final Engineering

<p><b>Everbrite</b>          DISCLAIMER: Renderings are for graphic purposes only and not intended for actual construction dimensions. For windload requirements, actual dimensions and mounting detail, please refer to engineering specifications and install drawings. These drawings and designs are the exclusive property of Everbrite LLC. Use of, or duplication in any manner, without express written permission of Everbrite LLC is prohibited.</p>	
Customer: SPEEDWAY, LLC	Description: SCROLLER & Logo
Project No: 435418-3	Combo Monument
Date: 08/26/20	Revised: 11/30/20
Location & Site No: 9254 STATE ROUTE 43, STREETSBORO, OH 44241	Revised: 12/08/20
Drawn By: T. Heesen	Revised:
Scale: 1/2" = 1'	CUSTOMER SIGNATURE
	LANDLORD SIGNATURE
	DATE
	DATE



**CITY OF STREETSBORO  
MEMORANDUM**

TO: Planning and Zoning Commission

FROM: John H. Cieszkowski, Jr., AICP *JHC*  
Planning and Zoning Director

DATE: March 29, 2021

RE: Planter Sign Review- Speedway, 9254 SR 43

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Company: Speedway  
Address: 9254 State Route 43, Streetsboro 44241  
PID: 35-046-10-00-066-000  
Zoning: B, Business District  
Applicant: James A Bond, National Illumination  
Address: 6525 Angola Rd., Holland, OH 43528  
Owner (application): Speedway, Store #3390; Gastown Inc. per Auditor  
Address (County Auditor): 539 S. Main St., Findlay OH 45840

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I have reviewed the application materials for the proposed planter sign received 3/23/21 and offer the following comments for the Commission's consideration:

**Variations:** At the 2/16/21 meeting, the BZA granted the following variations for the subject site:

1. A variance from Section 1159.05(k) to allow for changeable copy in a planter identification sign; and
2. A variance from Section 1159.14(c)(1) to allow for a planter sign to be 1.5 feet from a side lot line.

**Summary:** The applicant is seeking approval to erect the following signage on the subject site/building for the existing Speedway Gas Station:

**Site Signage (not attached to the Building):**

- I. **Planter Sign**
  - a. Sign Area. A 37.2 sq. ft. (8 ft. X 4.65 ft.) planter sign complies with the maximum permitted sign area of 37.2 sq. ft.
  - b. Setback from ROW. The proposed planter sign is set back 12 feet from the State Route 43 right-of-way, which exceeds the minimum required setback of 10 feet.
  - c. Setback from Side Lot Line. The proposed planter sign is set back 4.0 feet from the northern side property line. The BZBA approved a variance to permit no less than a 1.5 ft. side yard setback. Since the proposed 4 ft. variance exceeds that which was approved by variance, the proposed side lot line of 4 ft. is permissible, as submitted.
  - d. Sign Height. The proposed sign height of 8 feet conforms to the maximum permitted sign height of 8.0 ft.
  - e. Landscaping. No landscape plans have been submitted. It should be noted that the application submittal includes an undated letter from Dustin Lance, Region Manager, Speedway LLC that has been included in the Commission's packet. The letter agrees in writing to submit a landscape plan for the proposed sign and acknowledges that final

sign approval will be contingent upon receipt, review and approval of the proposed landscape plan. Plans should be revised to include a Code-compliant landscaping plan. Staff suggests a mix of deciduous and coniferous shrubs. Colorful perennials also provide nice color.

- f. Illumination. The planter sign is proposed to be internally illuminated with LEDs. Plans note that the proposed sign will not have a luminance more than 400 nits, which is below the Code permitted maximum permitted luminance level for internally illuminated signs. With that being said, staff would ask that plans be revised to show a singular nit reading for the proposed planter sign.
- g. General.
  - i. *Specification Plate*. Per §1159.20, all illuminated signs shall include a Sign Specification Plate.
  - ii. *Bollard Details*. Plans show 3 bollards to be installed between the proposed sign and adjacent parking lot. Plans should be revised to show bollard details including color and height;
  - iii. The proposed planter sign conforms to all applicable dimensional and location requirements of the Zoning Ordinance or as permitted by variance.

**Recommendation:**

I recommend that the Planning and Zoning Commission grant approval subject to administrative review by the Planning and Zoning Director to ensure that the following items have been addressed:

1. That plans be revised to include a Code-compliant landscaping plan;
2. That plans be revised to provide a singular nit reading for the proposed planter sign; and
3. That plans be revised to show bollard details including color and height.

**8980 Kirby Lane**

Streetsboro Parks and Recreation

Sand Volleyball Courts

**CITY OF STREETSBORO PLANNING AND ZONING DEPARTMENT**  
 9184 State Route 43, Streetsboro, OH 44241 (330) 626-4942 Ext. 4127 Fax (330) 626-4035

**SITE PLAN AMENDMENT APPLICATION**

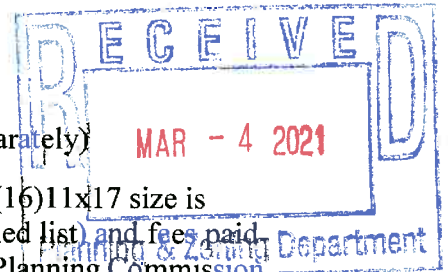
Date 3/3/2021

*Project Address <u>8980 Kirby Lane</u>	Parcel # <u>35-057-00-00-001-000</u>	Zoning District	
<u>GREG MYTINGER</u>	<u>9184 ST. RT 43</u>	<u>330-626-3802</u>	
Applicant Name	Applicant Address	Phone #	Fax #
<u>CITY OF STREETSBORO</u>	<u>SAME AS ABOVE</u>		
Company Name	Company Address	Phone #	Fax #
Property Owner	Property Owner Address	Phone #	Fax #
Name of Agent or Attorney (if applicable)	Address	Phone #	Fax #

Nature of this Application: ADDITION OF SAND Volleyball Courts  
WITH COURT LIGHTS, PARK WAY AND ADDITIONAL PARKING (Gravel)

Application Requirements:

- Site Plan Amendment Fee - \$300.00 plus cost of notices (cost of notices billed separately).
- Site Plan Engineering Review Fee – To be determined by the City Engineer (to be invoiced separately)
- Twenty Two (22)** copies of the site plan ((6) full size and (16) 11x17 size is preferred) are required with all related materials (see attached list) and fees paid before you will be placed on an agenda and meet with the Planning Commission.



\*Please include copy of deed for subject property with application.

*I recognize it is my responsibility to submit a complete application and my failure to do so could subject this application to not being submitted for consideration by the Commission.*

<u>[Signature]</u>	<u>GREG MYTINGER</u>	<u>3/3/2021</u>
Applicant Signature	(print name)	Date
_____ Property Owner Signature	(print name)	Date
_____ Agent or Attorney Signature (include notarized statement)	(print name)	Date

All application fees are accepted in cash or by check payable to the City of Streetsboro.  
**All Fees are non-refundable (per Code Section 149.01)**

Rev Fee 04-28-05 Ord. 2005-47

(Staff use only)	<u>fee waived</u>	Planning Commission Date	_____
Date Received	_____	Site Plan Approved	Y N
Fee Paid	_____		
Receipt No.	_____		

**CITY OF STREETSBORO PLANNING AND ZONING DEPARTMENT**  
 9184 State Route 43, Streetsboro, OH 44241 (330) 626-4942 Ext. 4127 Fax (330) 626-4035

**SITE PLAN AMENDMENT APPLICATION**

Date 3/3/2021

8980 Kirby Lane      35-057-00-00-001-000  
 \*Project Address      Parcel #      Zoning District

GREG MYTWIGER      9184 ST. RT 43      330-626-3802  
 Applicant Name      Applicant Address      Phone #      Fax #

CITY OF STREETSBORO      SAME AS ABOVE  
 Company Name      Company Address      Phone #      Fax #

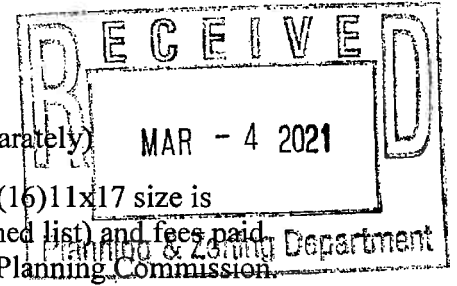
Property Owner      Property Owner Address      Phone #      Fax #

Name of Agent or Attorney (if applicable)      Address      Phone #      Fax#

Nature of this Application: ADDITION OF SAND Volleyball Courts  
WITH COURT LIGHTS, WALKWAY AND ADDITIONAL PARKING (Gravel)

Application Requirements:

- Site Plan Amendment Fee - \$300.00 plus cost of notices (cost of notices billed separately).
- Site Plan Engineering Review Fee – To be determined by the City Engineer (to be invoiced separately)
- Twenty Two (22) copies of the site plan ((6) full size and (16) 11x17 size is preferred) are required with all related materials (see attached list) and fees paid before you will be placed on an agenda and meet with the Planning Commission.



\*Please include copy of deed for subject property with application.

*I recognize it is my responsibility to submit a complete application and my failure to do so could subject this application to not being submitted for consideration by the Commission.*

[Signature]      GREG MYTWIGER      3/3/2021  
 Applicant Signature      (print name)      Date

\_\_\_\_\_  
 Property Owner Signature      (print name)      Date

\_\_\_\_\_  
 Agent or Attorney Signature      (print name)      Date  
 (include notarized statement)

All application fees are accepted in cash or by check payable to the City of Streetsboro.  
**All Fees are non-refundable (per Code Section 149.01)**  
Rev Fee 04-28-05 Ord. 2005-47

(Staff use only)	<u>fee waived</u>	Planning Commission Date	_____
Date Received	_____	Site Plan Approved	Y    N
Fee Paid	_____		
Receipt No.	_____		

**Site Plan Amendment Application**  
Streetsboro City Park, 8980 Kirby Lane, Streetsboro, OH 44241

## Sand Volleyball Courts

The Streetsboro Parks & Recreation Department would like to construct 2 Sand Volleyball courts within City Park. The Sand Volleyball courts will increase the departments availability to offer youth, teen and adult volleyball leagues, clinics and learn to play programs. The addition of the courts will also provide opportunities for residents to participate in pick-up games, offer additional opportunities to pavilion rental guests and increase the over all recreational appeal of the park.

The following site plan additions will correspond with the addition of the Sand Volleyball Courts.

Sand Volleyball Courts Location: The 100 x 80-foot Sand Volleyball court area will be located on the North side of the park's main drive. This location was chosen due to its proximity to the park's restrooms, parking and to provide additional recreational opportunities for pavilion renters.

City Park Conceptual Master Plan: Please find attached page 36 of the Parks & Recreation Department's Master Plan update, adopted January 2019. The Master Plan of City Park shows the preposed sand volleyball courts located to the South of the park's entrance drive. The alternative location was chosen due to the reasons stated above.

Walkway: The addition of a concrete walkway will provide patrons direct access to the Sand Volleyball Courts from the parking area. The walkway is estimated to be 80 feet long and encircle the courts. This will provide a barrier for the sand to remain in the court area, and provide walking access to and from the courts. Future improvements will extend the walkway to the northern tennis courts.

Sand Volleyball Court Lights: 6 light poles will provide the Sand Volleyball Courts with light for evening usage. Lighting for the project is provided by LSI Industries. Included is the Luminaire Schedule for the courts.

Court Light Kiosk: The court light kiosk will be located in the current location of the electric panel on the north side of the parks main entrance drive, and next to the additional parking. The kiosk will house the court lights controls.

The kiosk will be a 3-sided, message style kiosk, constructed of treated lumber. The kiosk will stand 84" (7 feet) with 66" sides (5 feet, 6 inches). This will create the 3 sides of the kiosk. The kiosk will be mounted in to the ground 4 x 4 treated lumber posts.

Patrons will have the ability to activate (turn on) the courts lights in 90-minute intervals, up to park closing. If on, the lights will automatically turn off at 10:00 PM. The courts lights will not turn on unless activated by a patron.

# Streetsboro City Park

8980 Kirby Lane

Legend:

Sand Volleyball Courts

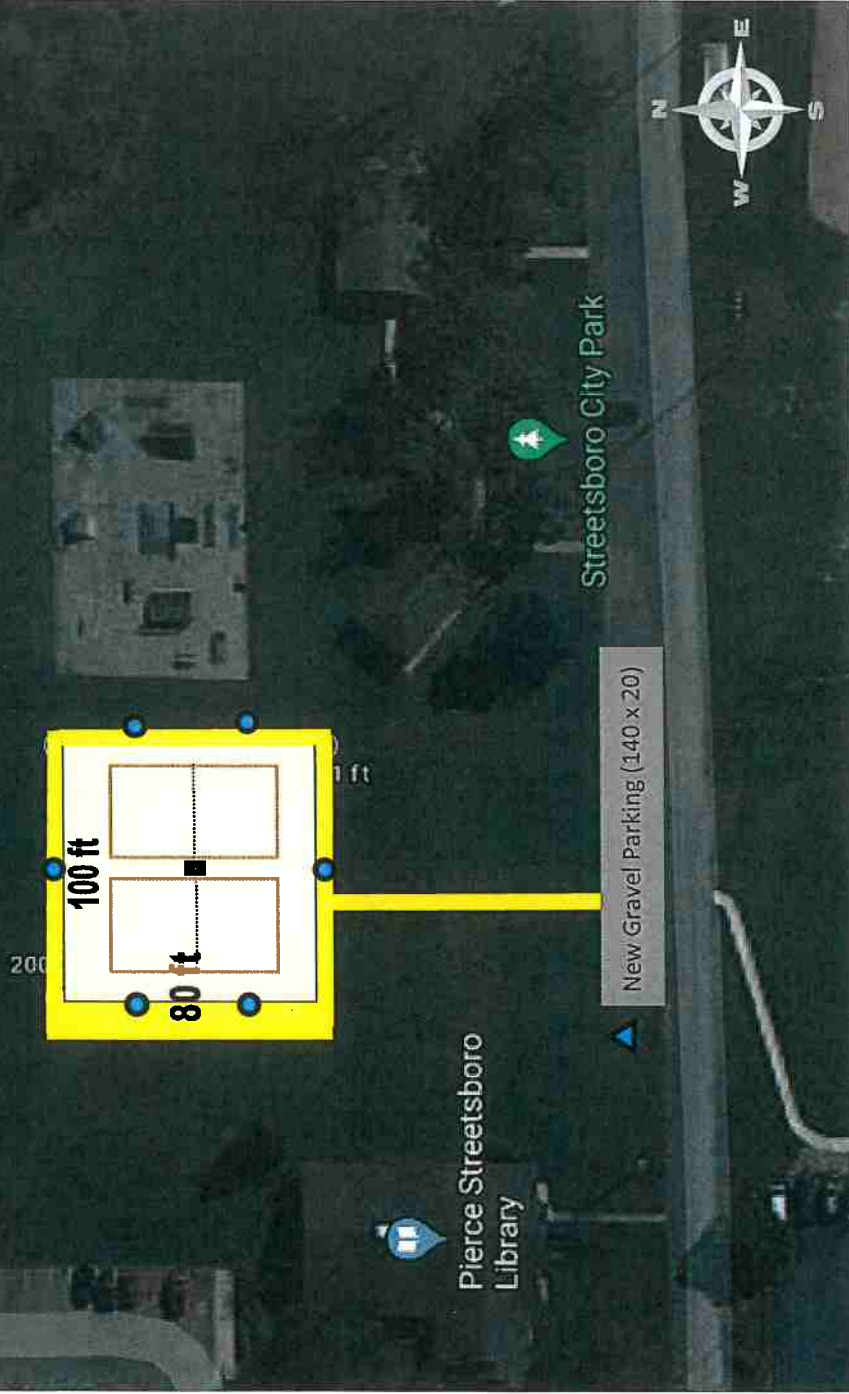
Walk Way

Light Poles

Kiosk

Officials Stand

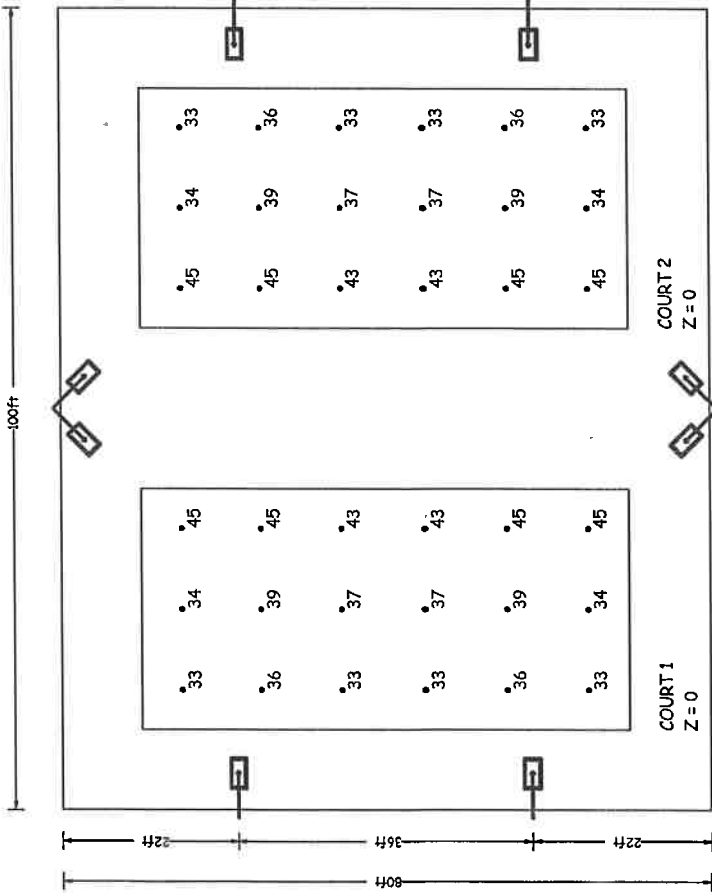
Gravel Parking Lot



# CITY PARK CONCEPTUAL MASTER PLAN







Calculation Summary:

Project:	City OF STREETSBORO	Calc Type	Units	Avg	Max	Min	Max/Min
Label							
COURT 1		Illuminance	Fc	38.33	45	33	1.36
COURT 2		Illuminance	Fc	38.33	45	33	1.36



The light levels shown are maintained using a .90 light loss factor (LLF). Light loss factors are used to adjust the light output of a luminaire operating in a controlled laboratory environment to the output obtained under actual field conditions. The LLF used in these calculations includes both recoverable and non-recoverable factors. Recoverable factors include luminaire dirt depreciation (LDD). Non-recoverable factors include optical system variations and depreciation in initial luminaire lumen output. The use of the light loss factor shown requires making certain assumptions about the lighting system, the specific application, and the maintenance of the system over time. Therefore, actual light levels measured in the field may vary from the calculated values, especially in regards to individual location measurements.

Calculations use a LED Maintained Lamp Lumen factor based upon 50,000 hours of life, derived from IES TM21-11, and based upon an in-situ case temperature of 85°C.

Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. The engineer and / or architect must determine applicability of the layout to existing or future field conditions.

LSI INDUSTRIES  
 10000 ALLIANCE ROAD  
 CINCINNATI, OH 45242  
 Voice Number : 513-666-4242  
 Fax Number :  
 Email Address : bruce@lsireps.com

Symbol	Qty	Label	Arrangement	Lum. Lumens	LLF	Description	Lum. Watts	Total Watts
—□	4	A	SINGLE	58977	0.900	XARL-FT-LED-HO-QW (COURTBLADE) @ 26' MTG. HT.	528.3	2113.2
□	2	C	TWIN 90	58977	0.900	XARL-FT-LED-HO-QW (COURTBLADE) @ 26' MTG. HT.	528.3	2113.2

**Streetsboro Sand Volleyball Courts**  
 Streetsboro, OH

\*Not to Scale  
 Filename: STREETSBORO 1A

**LSI Industries**  
 10000 Alliance Road  
 Cincinnati, OH 45242  
 Voice Number : 513-666-4242





# Volleyball Officials Stand

Mar, 3, 2021 12:00 PM  
LOWE'S OF BRIMFIELD TOWNSHIP, OH (2500)

## Plan Overview



<b>Decking Type</b> - Composite	<b>Beam Size</b> - 2 in. x 6 in.
<b>Decking Color</b> - Trex Lava Rock	<b>Beam Cantilever</b> - 2"
<b>Decking Size</b> - 5/4 in x 6 in	<b>Post Wood Type</b> - Pressure Treated
<b>Railing Material</b> - Composite	<b>Post Size</b> - 4 in. x 4 in.
<b>Railing Style</b> - Trex Transcend 36 in. in Tree House	<b>Number of Levels</b> - 1
<b>Total Square Feet</b> - 40 sq ft	<b>Joist Spacing</b> - 16 in on center
<b>Footer Depth</b> - 24 in	<b>Joist Wood Type</b> - Pressure Treated
<b>Live Load</b> - 40 psf	<b>Joist Size</b> - 2 in. x 6 in.
<b>Dead Load</b> - 10 psf	<b>Spacing Between Planks</b> - 1/8"
<b>Stair Stringer</b> - 12" on center	

### Estimated Cost of Materials: \$3840.77

Does not include state and local taxes. Estimates are based on representative costs of materials in your geographic area. Actual, current material costs may vary.

With your deck design in hand, talk to a Lowe's project specialist to start your build. You can reach us in store, online or over the phone.

#### In Store

Take this document or your project name to the Pro Services Deck and talk to an associate.

#### Online

Click [here](#) to schedule your free consultation with a project specialist.

#### Phone

Call 1-800-Go-Lowes to schedule your free consultation with a project specialist.

**CITY OF STREETSBORO**  
**MEMORANDUM**

TO: Planning and Zoning Commission

FROM: John H. Cieszkowski, Jr., AICP *JHC*  
Planning and Zoning Director

DATE: March 14, 2021

RE: Site Plan Amendment for City Park to Locate 2 Sand Volleyball Courts.

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Company: City of Streetsboro  
Address: Streetsboro City Park, 8980 Kirby Lane, Streetsboro, Ohio 44241  
PID: 35.057.00.00.001.000  
Zoning: R-2, Medium Density Urban Residential District  
Applicant: Greg Mytinger, Parks & Recreation Director  
Address: 9184 State Route 43, Streetsboro, Ohio 44241  
Owner: City of Streetsboro  
Address: 9184 State Route 43, Streetsboro, Ohio 44241

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I have reviewed the application and associated narrative dated 3/4/21 and offer the following comments for the Commission's consideration:

**Proposal:** The City of Streetsboro Parks and Recreation Department is seeking approval to locate two (2) outdoor sand volleyball courts at City Park with a total court area of 80 ft. X 100 ft. The courts are proposed to be located adjacent to the east of Pierce Library, north of the park entrance drive and adjacent to the west of the existing skate park. New gravel parking is proposed adjacent to existing gravel parking adjacent to the north of the existing park access drive. Additional proposed site improvements include lighting with an associated court light kiosk and a concrete walkway from the courts to/from proposed parking; Staff comments relative to these proposed site improvements are included below.

**Comments re: New Sand Volleyball Courts:**

- The proposed court location is not exactly in-line with the Parks and Rec. Comp Plan, however the proposed sand volleyball use constitutes a good holding use that is not as permanent as building a structure. This allows for the flexibility to add future parking and path networks, in conformance with the Plan.

Staff agrees with and finds reasonable the submitted narrative outlining the reasons for locating the sand volleyball courts, as submitted. Location adjacent to/in close proximity to existing restrooms, parking and park pavilion are vital park amenities. Staff finds the proposed location to be an efficient and orderly use of City park space.

- The proposed sand volleyball courts conform to all applicable Zoning Code requirements. The proposed courts will not create any negative impacts on adjacent properties or existing park uses.
- The proposed outdoor volleyball courts will provide additional recreational opportunities for both City Park visitors, City residents and students at the Streetsboro Elementary School.
- The proposed concrete walkway, linking the volleyball courts to adjacent parking, is proper planning and provides for safe pedestrian access between existing and future land uses.

- Proposed court lighting has built-in controls to ensure limited, yet reasonable usage (90 minute intervals, no later than 10 PM). Automatic shut-off capabilities should adequately control and prevent potential nuisance-related issues associated with light pollution.

As noted in the submitted narrative from the Parks and Recreation Director, the courts will be illuminated. Staff has reviewed the submitted photometric plan and can confirm that the proposed lighting will not emit glare onto adjacent properties or rights-of-way.

- The proposed court kiosk, which contains the lighting controls, sounds reasonable based upon review of the submitted narrative. To educate staff and clarify for the Commission at the upcoming meeting, the applicant should be prepared to provide a rendering or picture of the proposed kiosk for inclusion in the Zoning File.
- Plans show a proposed Officials stand located between the 2 courts. Is this stand permanent or temporary? What are the dimensions of the stand, particularly height? Color? Please provide additional details for the staff and Commission at the upcoming meeting.
- Based upon the limited scope of site improvements, no City/County Departments provided review comment letters. Any input from the Water Dept., Police Dept., Fire Dept., and PCWR will be forwarded to the Commission should comments be provided in advance of the upcoming meeting.

**Recommendation:**

I recommend that the Planning and Zoning Commission grant **approval subject to administrative review** by the Planning and Zoning Director to ensure that the following items have been addressed prior to issuance of a Zoning Certificate:

1. That the applicant provides a rendering or picture of the proposed court light kiosk for inclusion in the Zoning File; and
2. That the applicant provides additional details for the officials stand, i.e. is this stand permanent or temporary? What are the dimensions of the stand, particularly height? Color?

**Address TBD**

Geis Companies

Site Plan Review 20,000 Sq. Ft.

Spec/Flex/Warehouse/Storage Building

# CITY OF STREETSBORO PLANNING AND ZONING DEPARTMENT

9184 State Route 43, Streetsboro, OH 44241 (330) 626-4942 Ext. 4127 Fax (330) 626-4035

## SITE PLAN REVIEW APPLICATION

Date 05 MAR 21

<u>FROST ROAD DEVELOPMENT</u>	<u>35-012-00-00-001-015</u>	<u>I-1</u>
*Project Address	Parcel #	Zoning District
<u>TREVOR EXLINE</u>	<u>10020 AURORA - HUNTER RD</u>	<u>330-528-3500</u>
Applicant Name	Applicant Address	Phone #
<u>LEIS CONSTRUCTION</u>	"	"
Company Name	Company Address	Phone #
<u>EXP REAL ESTATE, LTD</u>	"	"
Property Owner	Property Owner Address	Phone #
<u>TREVOR EXLINE</u>	"	"
Name of Agent or Attorney (if applicable)	Address	Phone #
Nature of this Application: <u>SITE PLAN REVIEW / APPROVAL</u>		

**Application Requirements:**



Site Plan Review Administration Fee –  
**\$500.00 + \$.10 per square foot of building floor space plus cost of notices, total fee not to exceed \$5,000.00 (cost of notices billed separately).**



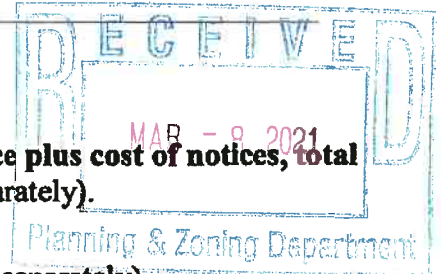
Site Plan Engineering Review Fee –  
 To be determined by the City Engineer (to be invoiced separately)



Twenty Two (22) copies of the site plan ((6) full size and (16) 11x17 size is preferred) are required with all related materials (see attached list) and fees paid before you will be placed on an agenda and meet with the Planning Commission.

\*Please include copy of deed for subject property with application.

*I recognize it is my responsibility to submit a complete application and my failure to do so could subject this application to not being submitted for consideration by the Commission.*



<u>TREVOR EXLINE</u>	<u>TREVOR EXLINE</u>	<u>05 MAR 21</u>
Applicant Signature	Print Name	Date
	<u>Gregory Beis</u>	<u>3/5/21</u>
Property Owner Signature	Print Name	Date
<u>TREVOR EXLINE</u>	<u>TREVOR EXLINE</u>	<u>05 MAR 21</u>
Agent or Attorney Signature (include notarized statement)	Print Name	Date

All application fees are accepted in cash or by check payable to the City of Streetsboro.

**All Fees are non-refundable (per Code Section 149.01)**

Rev Fee 04-28-05 Ord. 2005-47

(Staff use only)	
Date Received	<u>3-8-21</u>
Fee Paid	<u>\$2500.00</u>
Receipt No.	<u>4250</u>
Planning Commission Date	<u>4-13-21</u>
Site Plan Approved	Y    N



08 March, 2021

Mr. John Cieszkowski, Jr., AICP  
Planning and Zoning Director  
City of Streetsboro  
555 Frost Road  
Streetsboro, Ohio 44241

RE: New 20,000 SF Building at Frost Road Development

We would like to submit the following proposed project for the next available Planning and Zoning meeting. We are proposing a 100' x 200' Pre-engineered spec storage/warehouse building. The majority of the exterior is proposed to have insulated metal panel with the remaining being a split face CMU. We are proposing 4 drive in doors at the rear elevation to accommodate up to 4 tenants. Also included in this submission is an overall development parking study showing the current parking counts. Please refer to the Plans, Floor Plan, Elevations, and Rendering for a feel of what this project is designed to be.

Sincerely,

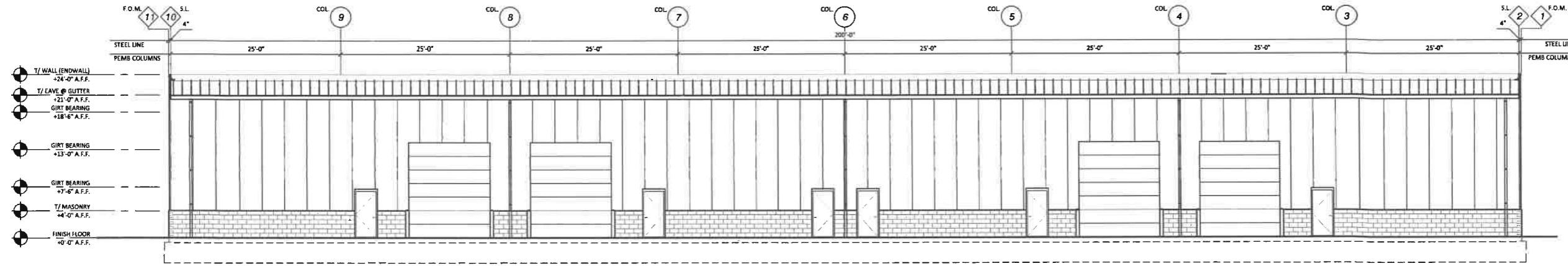
A handwritten signature in blue ink that reads "Trevor Extine".

Trevor Extine, Architect  
Geis Construction Company





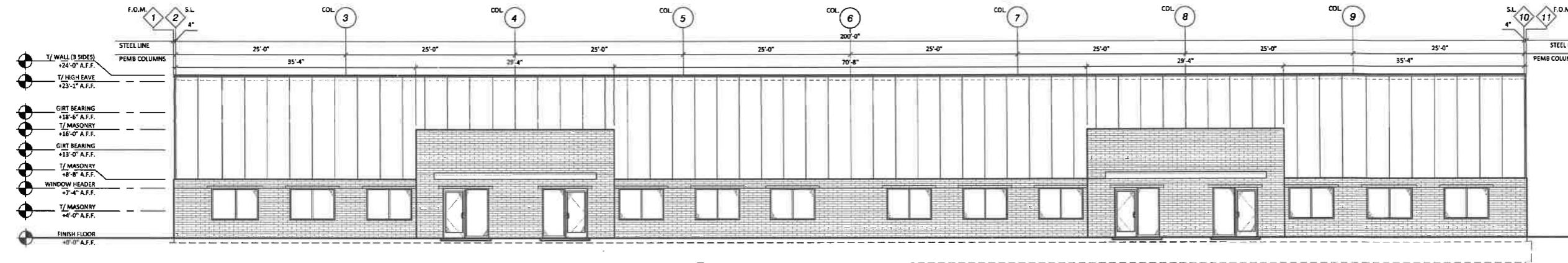
T:\085\Frost Road Commerce Center 3 - Streetsboro, OH\CONSTRUCTION DOCS\10\_813\_A-300-EXTERIOR ELEVATIONS.dwg 01/05/2021, Temor, Eline, 10-48



### WEST ELEVATION

SCALE: 1/8" = 1'-0"

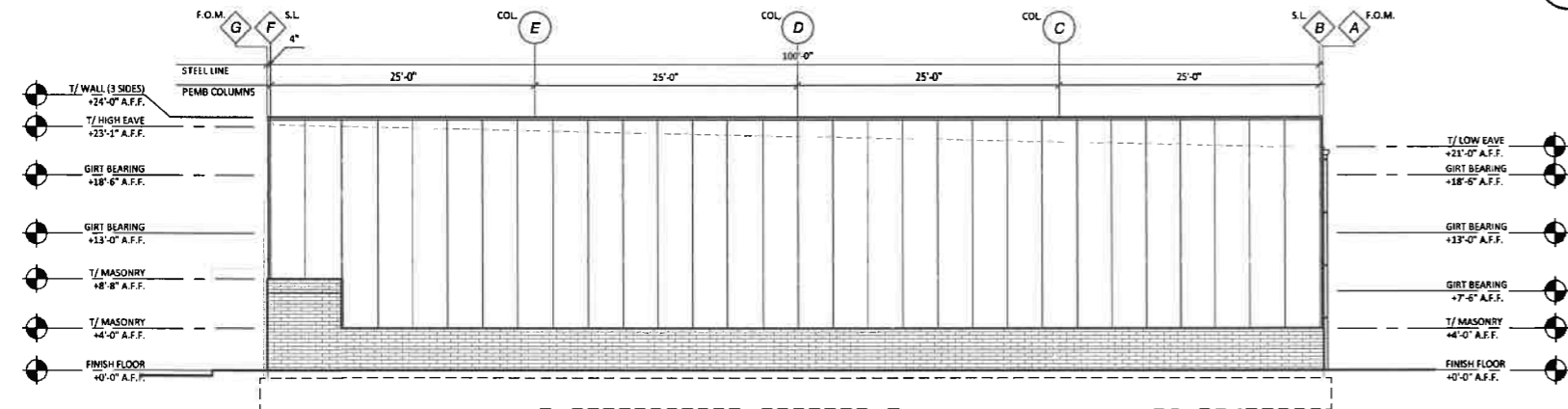
A  
A-300



### EAST ELEVATION

SCALE: 1/8" = 1'-0"

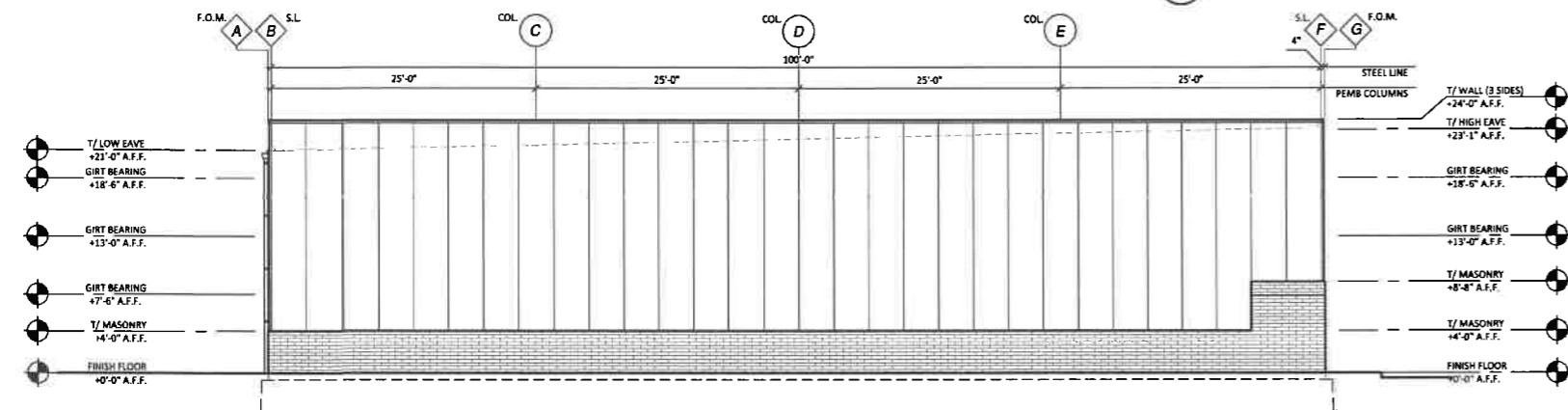
B  
A-300



### NORTH ELEVATION

SCALE: 1/8" = 1'-0"

C  
A-300



### SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

C  
A-300

PRELIMINARY  
NOT FOR CONSTRUCTION



Geis Companies, L.L.C.  
10020 Aurora-Hudson Rd  
Streetsboro, Ohio 44241  
PH: (330) 528-3500  
FX: (330) 528-0008  
www.geisco.net

Drawn By: \_\_\_\_\_  
Checked By: \_\_\_\_\_  
Project Number: 20-00-382

#### NOTICE

THIS ARCHITECTURAL AND ENGINEERING DRAWING IS GIVEN IN CONFIDENCE. NO USE OR DISSEMINATION MAY BE MADE WITHOUT PRIOR WRITTEN CONSENT OF THE ARCHITECT. ALL RIGHTS ARE HEREBY SPECIFICALLY RESERVED. JEIS CONSTRUCTION

#### DATES AND REVISIONS

01-29-2021  
PERMIT SET



#### GEIS COMPANIES

10020 Aurora-Hudson Rd  
Streetsboro, Ohio 44241  
PH: (330) 528-3500  
FX: (330) 528-0008  
www.geisco.net

FROST RD. COMMERCE  
CENTER III  
525 FROST ROAD  
STREETSBORO, OH 44241

OPTION #2  
ELEVATIONS

A-300

# TREE LIST

CODE	SCIENTIFIC NAME	COMMON NAME	SIZE	QTY
A	ACER ABIES	NORWAY SPRUCE	7'-8"	B+B 2
B	ACER RUBRUM 'RED SUNSET'	RED SUNSET MAPLE	2.5" CAL.	B+B 3

### INSTRUCTIONS FOR PLANT INSTALLATION

- REMOVE ALL TAGS, CONTAINERS, TWINE AND NYLON BURLAP BEFORE PLANTING. REMOVE ONLY THE TOP 1/2 OF BURLAP AND WIRE BASKET ON TREES.
- WHEN PLANTING TREES ON THE HOLE TWICE THE SIZE OF THE BALL AND BACK FILL WITH TOPSOIL/MIDRIS MIX. APPLY OSMOCOTE 6 MONTH FERTILIZER ON TO SOIL.
- REMOVE ALL BROKEN BRANCHES.
- ALL TREES TO HAVE A 3" DIAMETER OF SHREDDED HARDWOOD MULCH APPLIED TO THE DEPTH OF 3" TO INSURE PROPER GROWTH AND WEED CONTROL.
- ALL TREES SHALL BE STAKED TO INSURE PROPER GROWTH HABITS FOR THE FIRST YEAR.
- ALL TREES SHALL BE WRAPPED TO PROTECT TRUNKS FROM DEER AND WEATHER DAMAGE.

### INSTRUCTIONS FOR LAWN AND NO MOW AREAS

ALL SEEDED AREAS FOR LAWN AND NO MOW AREAS TO HAVE ROCKS, WEEDS AND DEBRIS REMOVED BEFORE THE APPLICATION OF SEED, STRAW AND SEED STARTER FERTILIZER. 3-4 WEEKS AFTER INSTALLATION ALL AREAS WILL BE FERTILIZED AGAIN AND BARE SPOTS WILL BE RE-SEEDING.

#### LAWN SEED MIX

FESCUE PLUS MIX 7 LBS/1000 SQ FT

- |   |                                   |
|---|-----------------------------------|
| 25% INFERNIO SUMMER TALL FESCUE           | 25% BULLSEYE OR HEAVY TALL FESCUE |
| 25% TITANUM 2LS TALL FESCUE               | 10% TRAVELER 2 TALL FESCUE        |
| 7% JACKPOT OR BUCKLAWN KENTUCKY BLUEGRASS |                                   |

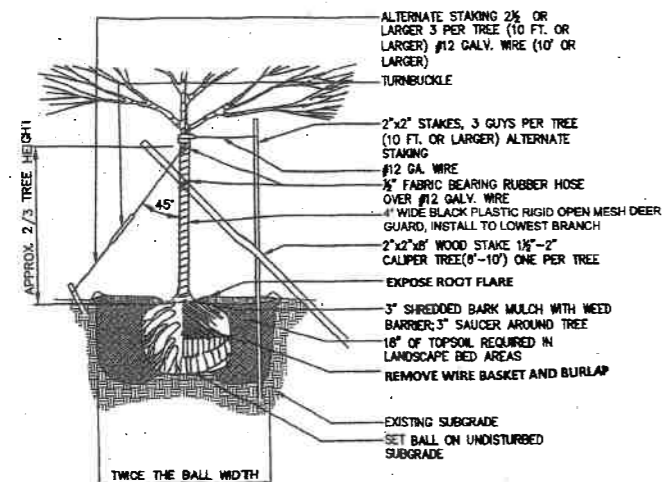
#### NO MOW SEED MIX

NO MOW MIXTURE 6 LBS/1000 SQ FT

- |                             |                           |
|-----------------------------|---------------------------|
| 30% BEACON HARD FESCUE      | 40% GLADIATOR HARD FESCUE |
| 10% MARCO POLO SHEEP FESCUE | 5% HANOKA SHEEP FESCUE    |

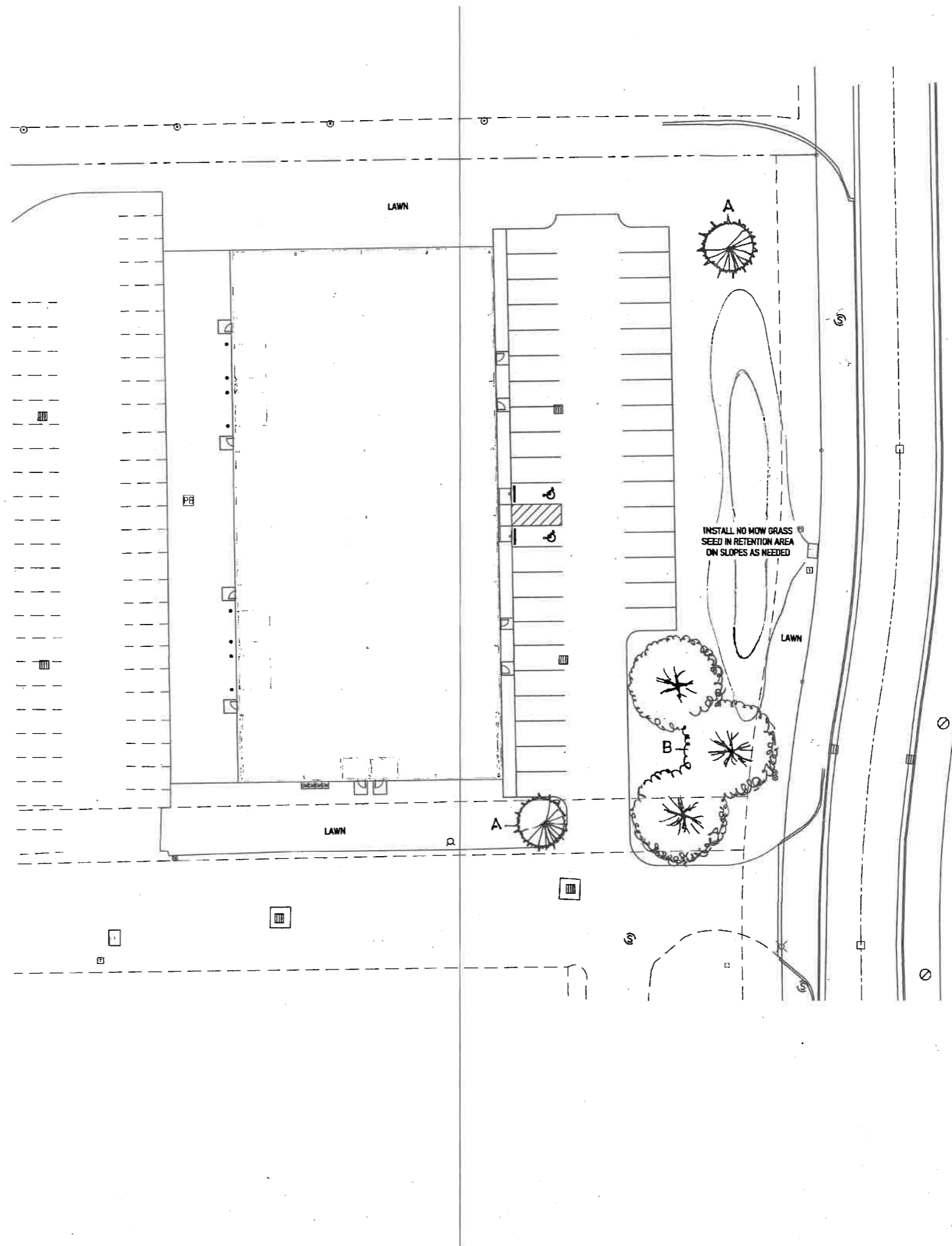
### TREE PLANTING DETAIL

NOT TO SCALE



### WARRANTY

THE CONTRACTOR WILL GUARANTEE ALL TREES AND LAWN FOR THE PERIOD OF 1 YEAR. THIS YEAR WILL START ON THE DAY AFTER THE OWNER'S FINAL ACCEPTANCE OF THE WORK COMPLETED. DEAD TREES WILL BE REPLACED ONCE AT THE END OF 90 DAYS, AND DEAD AND UNHEALTHY TREES WILL BE REPLACED AT THE END OF THE GUARANTEE PERIOD. IN THE CASE OF A TREE DYING A SECOND TIME, A TREE SUBSTITUTION OR CHANGE IN CONDITIONS MAY BE NECESSARY. WARRANTY ON REPLACEMENTS IS ALSO 90 DAYS. IN ALL CASES REPLACEMENTS WILL BE MADE DURING THE LOW RISK PERIODS: APRIL 1 TO JUNE 1 AND SEPTEMBER 15 TO NOVEMBER 15. PROVIDED PROPER MAINTENANCE HAS BEEN PERFORMED, ALL LAWN AREAS IN NEED OF REPAIR SHALL ALSO BE GUARANTEED FOR 1 YEAR.



**GEIS COMPANIES**  
 10020 Aurora-Hudson Rd  
 Streetsboro, Ohio 44221  
 PH: (330) 528-3500  
 FX: (330) 528-0008  
 www.geisco.net

**DATES AND REVISIONS**  
 04 JANUARY, 2021

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 GEIS CONSTRUCTION  
 REVISIONS REFLECTED IN THESE DRAWINGS INCLUDE CHANGES TO CONTRACT PRICE PREVIOUSLY PROVIDED. CHANGE ORDERS WILL BE PROVIDED FOR ALL CHANGES THAT ARE NOT IN THE BASE BID.

**FROST ROAD DEVELOPMENT**  
**FROST ROAD**  
**STREETSBORO, OHIO**

Drawn By  
 Checked By  
 Project Number



**NORTH**

SCALE 1" = 20'

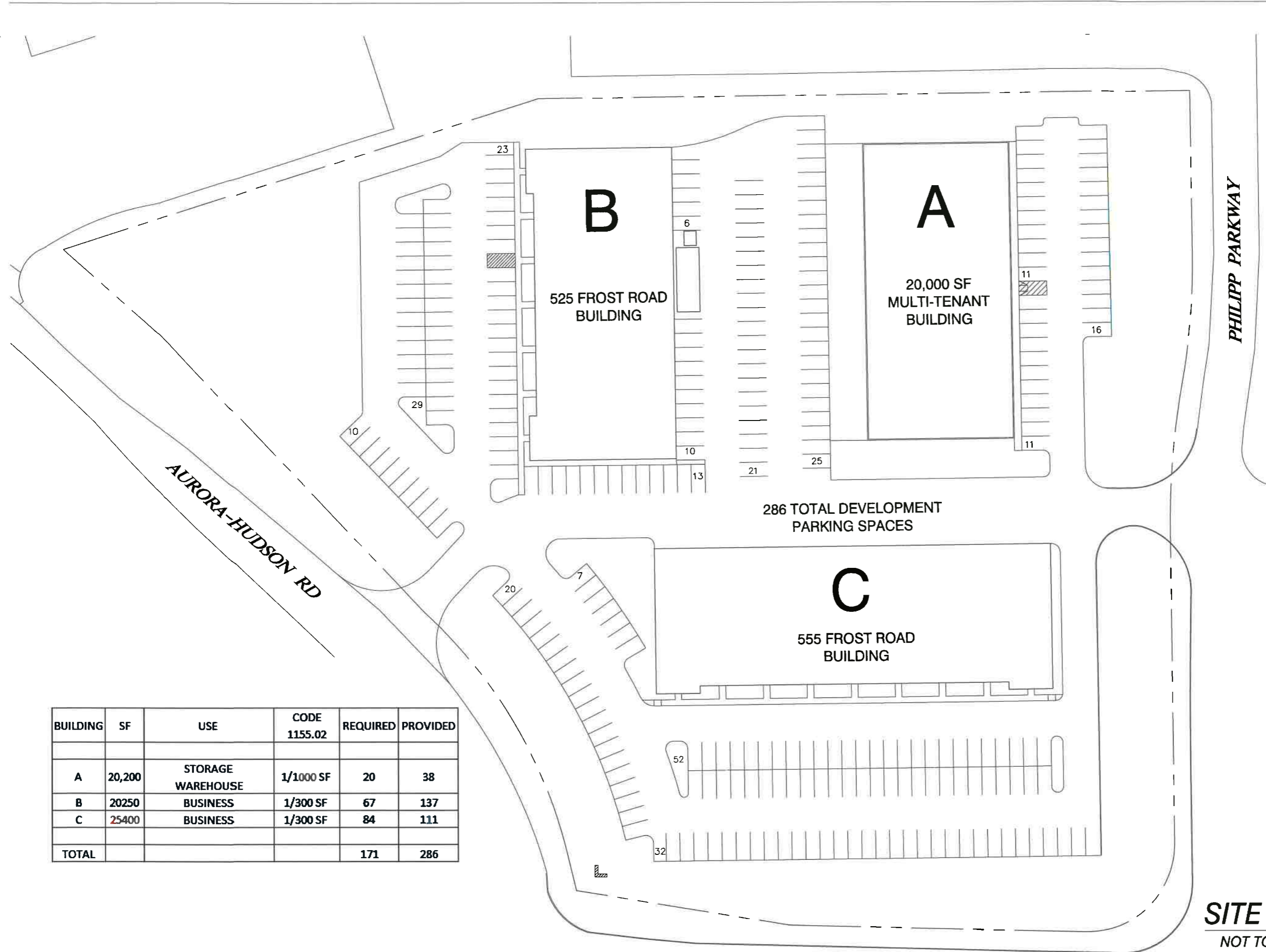
LANDSCAPE PLAN  
 DRAWING NO:

**LS-1**



GEIS COMPANIES  
 10020 Aurora-Hudson Rd  
 Streetsboro, Ohio 44221  
 PH: (330) 528-3500  
 FX: (330) 528-0008  
 www.geisco.net

DATES AND REVISIONS  
 04 March, 2021



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**20,000 SF MULTI-TENANT BLDG**  
**FROST ROAD COMMERCE CENTER 3**  
**STREETSBORO, OHIO**

Drawn By  
 Checked By  
 Project Number

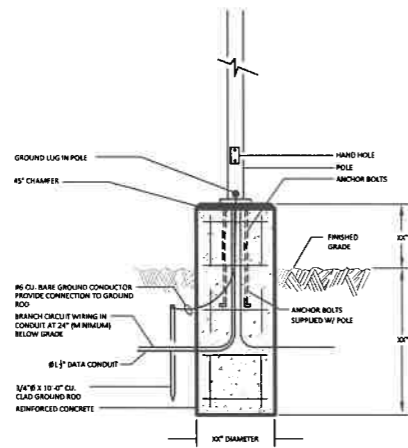


NORTH

**SITE PLAN**  
 NOT TO SCALE

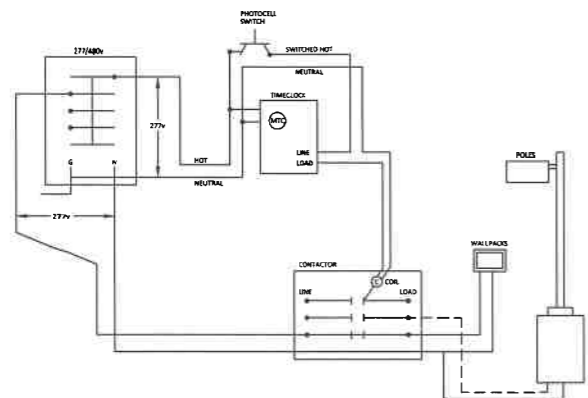
SITE PLAN  
 DRAWING NO:  
**A1.0**

BUILDING	SF	USE	CODE 1155.02	REQUIRED	PROVIDED
A	20,200	STORAGE WAREHOUSE	1/1000 SF	20	38
B	20250	BUSINESS	1/300 SF	67	137
C	25400	BUSINESS	1/300 SF	84	111
<b>TOTAL</b>				<b>171</b>	<b>286</b>



**FIXTURE TYPES 'S1' BASE DETAIL**  
SCALE: NONE

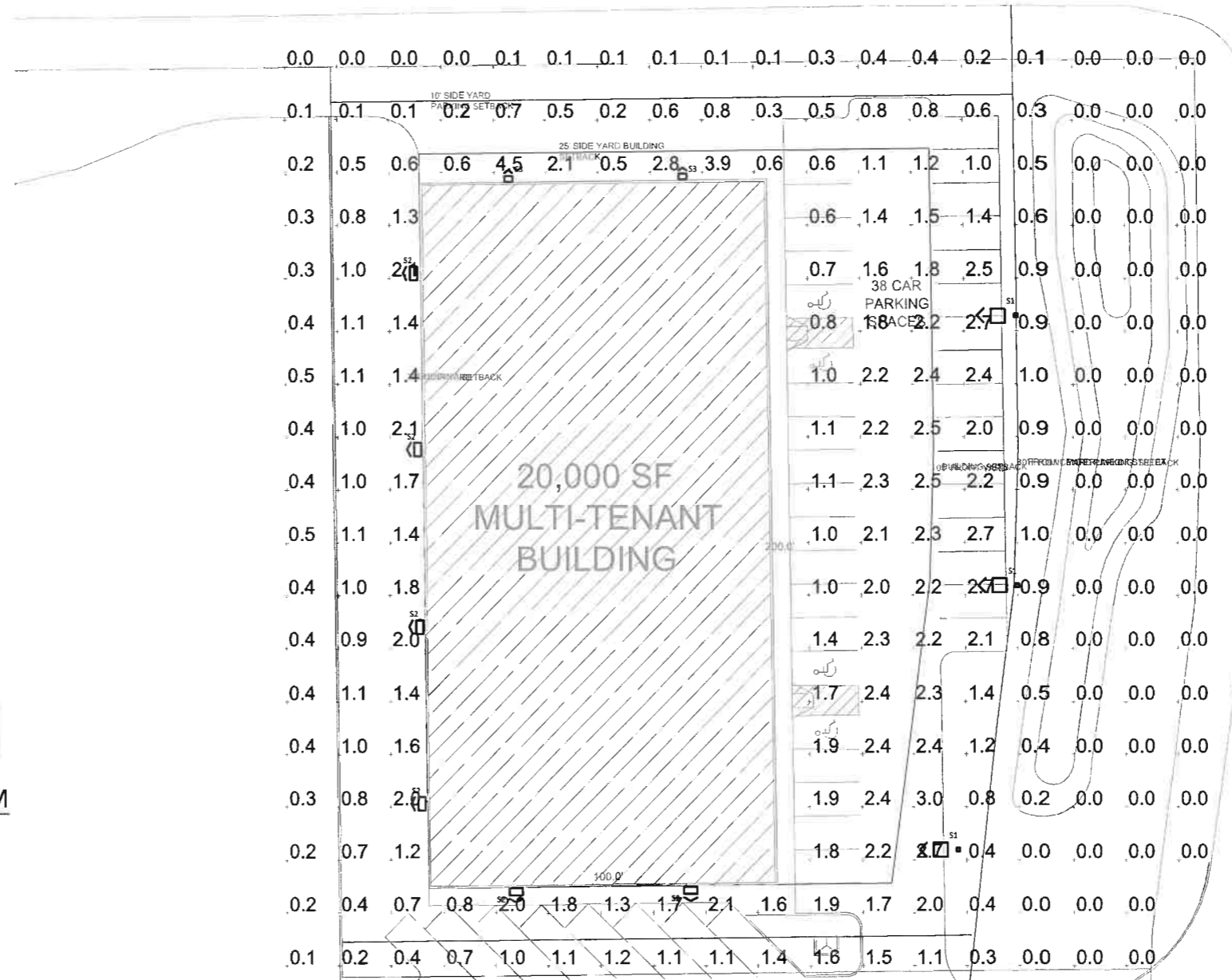
NOTE:  
ROUTE U/G DATA CABLE CONDUITS FOR FUTURE VIDEO CAMERAS AS HOME RUNS FROM ADDITION ELECTRICAL ROOM



**SITE LIGHTING CONTROL DIAGRAM**  
NO SCALE

**SITE FIXTURE SCHEDULE**

TAG	MFG / MODEL	DESC	LAMP	WATTAGE	NOTE
S1	LSI / MRM-LED-18L-SIL-FT-40-70CRI-HL	SITE POLE	LED	150	OR EQUAL
S2	LSI / XWM-FT-LED-04L-40	WALLPACK	LED	29.5	OR EQUAL
S3	LSI / MCOWP-27-45	WALLPACK	LED	26.85	OR EQUAL



**NOTICE**  
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**20,000 SF MULTI-TENANT BLDG**  
**FROST ROAD COMMERCE CENTER 3**  
**STREETSBORO, OHIO**

Drawn By  
Checked By  
Project Number



SITE ELECTRIC PLAN  
DRAWING NO:

**E0**

**SITE PLAN**  
SCALE: 1"=20'-0"  
1.44 ACRES

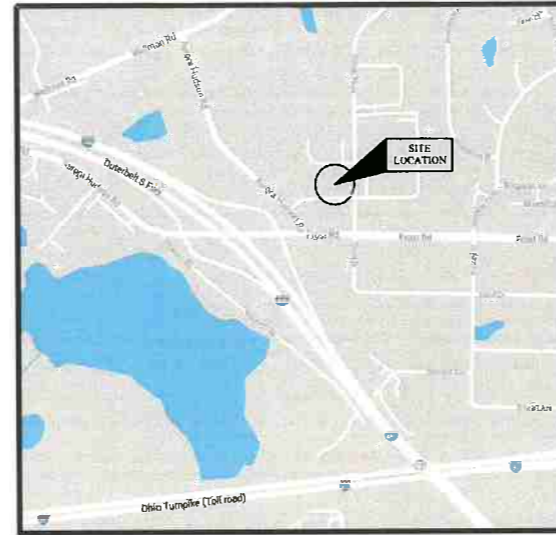
# FROST ROAD COMMERCE III

## CITY OF STREETSBORO COUNTY OF PORTAGE STATE OF OHIO

### SANITARY SEWERS


PORTAGE COUNTY WATER RESOURCES IS THE OWNER OF THE SANITARY SEWER SYSTEM

- ALL SANITARY SEWERS AND APPURTENANCES SHALL BE CONSTRUCTED IN STRICT ACCORDANCE WITH CURRENT STANDARDS AND SPECIFICATIONS OF DEPARTMENT OF PORTAGE COUNTY WATER RESOURCES.
- ROOF DRAINS, FOUNDATION DRAINS AND OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER ARE PROHIBITED.
- APPROVAL BY THE PORTAGE COUNTY WATER RESOURCES OFFICE CONSTITUTES NEITHER EXPRESS NOR IMPLIED WARRANTIES AS TO THE FITNESS, ACCURACY, OR SUFFICIENCY OF PLANS, DESIGNS OR SPECIFICATIONS.
- THE DESIGN ENGINEER CERTIFIES THAT ALL UTILITIES IN EXISTING AND PROPOSED ROADS AND EASEMENTS ARE SHOWN.
- ALL SANITARY SEWERS SHALL PASS THE AIR ACCEPTANCE TEST PRIOR TO ACCEPTANCE BY THE PORTAGE COUNTY WATER RESOURCES. A COPY OF THE AIR TEST SHALL BE SUBMITTED TO PORTAGE COUNTY WATER RESOURCES.
- ALL SANITARY SEWERS SHALL BE COLOR FILMED BY THE OWNER AND FOUND TO BE FREE OF DEFECTS AND FOREIGN MATTER AND IN PROPER ALIGNMENT PRIOR TO FORMAL ACCEPTANCE OF THE PORTAGE COUNTY WATER RESOURCES.
- ALL MANHOLE CASTINGS SHALL BE EAST JORDAN #2020 OR NEENAH R-1771 TYPE.
- ALL SANITARY SEWER LATERALS SHALL BE LAID AT NO LESS THAN 1% GRADE.
- ALL SANITARY SEWER LATERALS SHALL BE EXTENDED TO NOT LESS THAN 15 FEET INTO PROPERTY.
- THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ALL DAMAGE TO THE EXISTING SEWERAGE SYSTEM RESULTING FROM NON-COMFORMANCE WITH PORTAGE COUNTY WATER RESOURCES STANDARDS OR GENERAL NEGLIGENCE.
- 12" GRADE ADJUSTMENT OF MANHOLES PERMITTED WITH GRADE RINGS. MAXIMUM ADJUSTMENT NOT TO EXCEED 12". MINIMUM OF ONE GRADE RING REQUIRED.
- WHERE INLET AND OUTLET PIPES CONNECT TO MANHOLES A FLEXIBLE WATER TIGHT JOINT AS APPROVED BY THE PORTAGE COUNTY WATER RESOURCES IS REQUIRED.
- SANITARY SEWER MATERIALS SHALL CONSIST OF SDR-26 PVC MEETING ASTM D-3034 WITH JOINTS CONFORMING TO ASTM D-3212, PVC-COMPOSITE MEETING ASTM D-2680 WITH JOINTS CONFORMING TO ASTM D-2564 & BEDDING CONFORMING TO D-2680, CLASS II.
- THE OWNER (CONTRACTOR) MUST ALERT THE UTILITIES PROTECTION SERVICES AT 1-800-362-2764 AT LEAST 48 HOURS BEFORE ANY EXCAVATING HAS BEGUN.
- ALL ROUGH GRADING (WITHIN 6" OF FINISHED GRADE) SHALL BE COMPLETED WITHIN THE RIGHT-OF-WAY PRIOR TO SANITARY SEWER AND WATER LINE CONSTRUCTION.
- ALL SEWER RUN DISTANCE GIVEN ARE FROM CENTERLINE TO CENTERLINE OF MANHOLES. ALL PIPE INVERT ELEVATIONS GIVEN AT MANHOLES ARE AT CENTERLINE OF MANHOLE. SEWER GRADES ARE ESTABLISHED FROM CENTERLINE OF MANHOLE AND CARRIED THROUGH MANHOLE INVERT TO ASSURE FLOW THROUGH MANHOLE.
- ALL UNDERGROUND LINES ENCOUNTERED BY CONSTRUCTION OF SANITARY SYSTEM ARE TO BE COMPLETELY RESTORED AT THE EXPENSE OF THE CONTRACTOR.
- COST OF WYES AND STUBS TO BE INCLUDED IN PRICE BID PER LINEAR FOOT OF SANITARY SEWER.
- COST OF ANY SHEETING OR DEWATERING NECESSARY FOR INSTALLATION OF SANITARY SEWER SHALL BE INCLUDED IN PRICE BID PER LINEAR FOOT OF RESPECTIVE ITEMS. ALSO ANY FOUNDATION SLAG REQUIRED.
- AIR TESTS FOR THE SANITARY SEWER MUST CONFORM TO ASTM F-1417.
- WATER TIGHT FLEXIBLE GASKETS ON THE SEWER LINE CONNECTIONS MUST MEET ASTM C-923.
- PIPE DEFLECTION TESTING IS REQUIRED 30 DAYS AFTER FINAL BACKFILL. PIPE SHALL NOT EXCEED A DEFLECTION OF 5%.
- WORK ON THE SANITARY SEWER CAN ONLY BE PERFORMED M-F, 7:30 AM TO 4:00 PM.
- CONTRACTOR SHALL SCHEDULE A PRECONSTRUCTION MEETING WITH THE PORTAGE COUNTY WATER RESOURCES DEPARTMENT PRIOR TO STARTING WORK.



VICINITY MAP  
NO SCALE



SUBMITTED BY:   
MATTHEW L. WEBER REG. ENGINEER NO. 61709

APPROVED BY: \_\_\_\_\_  
STREETSBORO CITY ENGINEER

### GENERAL NOTES

- THE CONSTRUCTION OF THIS PROJECT SHALL BE GOVERNED BY THE STATE OF OHIO DEPARTMENT OF TRANSPORTATION (O.D.O.T.) CONSTRUCTION AND MATERIAL SPECIFICATIONS, CURRENT EDITION, THE O.D.O.T. STANDARD CONSTRUCTION DRAWINGS, AND THE CITY OF STREETSBORO SPECIFICATIONS AND STANDARD CONSTRUCTION DRAWINGS.
- ALL DISTURBED GREEN AREAS SHALL BE TOP DRESSED AND RE-SEED.
- CALL OHIO UTILITIES PROTECTION SERVICE BEFORE DIGGING (800-362-2764).
- ALL STORM SEWERS SHALL BE HIGH DENSITY POLYETHYLENE PIPE (HDPE), SMOOTH LINED, PER O.D.O.T. ITEM 707.33.
- ELECTRICAL CONDUIT SHALL BE AS REQUIRED BY THE UTILITY OWNER.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS IN THE ENGINEERING AND BUILDING DEPARTMENTS. ZONING CERTIFICATE MUST BE OBTAINED PRIOR TO CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR ANY ADDITIONAL SILTATION CONTROL MEASURES NECESSARY TO PREVENT SILT FROM LEAVING THE SITE.
- THE CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF DEMOLITION MATERIAL AND DEBRIS.
- THE CONTRACTOR IS RESPONSIBLE FOR RETURNING ALL DISTURBED AREAS TO THEIR ORIGINAL CONDITION, OR BETTER.
- TEMPORARY SOIL EROSION AND SEDIMENT CONTROL WILL BE REQUIRED IN ACCORDANCE WITH THE CITY OF STREETSBORO ENGINEER'S OFFICE.
- A PRE CONSTRUCTION MEETING MUST BE HELD AT THE CITY OF STREETSBORO ENGINEER'S OFFICE PRIOR TO STARTING ANY CONSTRUCTION ACTIVITY. IN ADDITION, THE CONTRACTOR SHALL PROVIDE 48 HOURS NOTICE TO THE CITY OF STREETSBORO BEGINNING WORK TO ARRANGE FOR INSPECTION.
- A 18 INCH MINIMUM VERTICAL CLEARANCE SHALL BE MAINTAINED FROM THE OUTSIDE EDGE OF ALL WATER MAIN PIPE TO THE OUTSIDE EDGE OF ALL STORM SEWER PIPE.
- A 4 FOOT MINIMUM HORIZONTAL CLEARANCE SHALL BE MAINTAINED FROM THE OUTSIDE EDGE OF ALL WATER MAIN PIPE TO THE OUTSIDE EDGE OF ALL STORM SEWER PIPE.
- AN 18" MINIMUM VERTICAL CLEARANCE SHALL BE MAINTAINED FROM THE OUTSIDE EDGE OF ALL WATER MAIN PIPE TO THE OUTSIDE EDGE OF ALL SANITARY SEWER.

### INDEX

#### DESCRIPTION

TITLE SHEET  
EXISTING CONDITIONS  
OVERALL SITE PLAN  
PARTIAL DEMOLITION PLAN  
SITE PLAN  
UTILITY PLAN  
PARTIAL GRADING PLAN  
SITE DETAILS  
PARTIAL SWP<sub>3</sub>  
SWP<sub>3</sub> DETAILS

#### SHEET NO.

C100  
C100A  
C100B  
C101-C101A  
C102  
C103  
C104-C104A  
C105-C105B  
C106-C106A  
C107-C111

**WEBER ENGINEERING SERVICES**  
2555 Hartville Rd., Suite B  
Rootstown, OH 44272  
www.WeberEngineeringServices.com  
330-329-2837  
matt@webercivil.com



Reg. No.: 61709

#### CLIENT:



10020 AURORA HUDSON ROAD  
STREETSBORO, OHIO 44241  
330.528.3500

#### OWNER:

DCF REAL ESTATE, LTD

10020 AURORA HUDSON RD.  
STREETSBORO OH 44241

#### Issue Date

12-31-2020  
03-08-2021

FROST ROAD COMMERCE III  
NEW CONSTRUCTION  
525 FROST ROAD, STREETSBORO, OHIO

TITLE SHEET

**C100**  
Project No. 2020-260

Ohio Utilities Protection Service  
Call Before You Dig  
800-362-2764 or 8-1-1  
www.oups.org



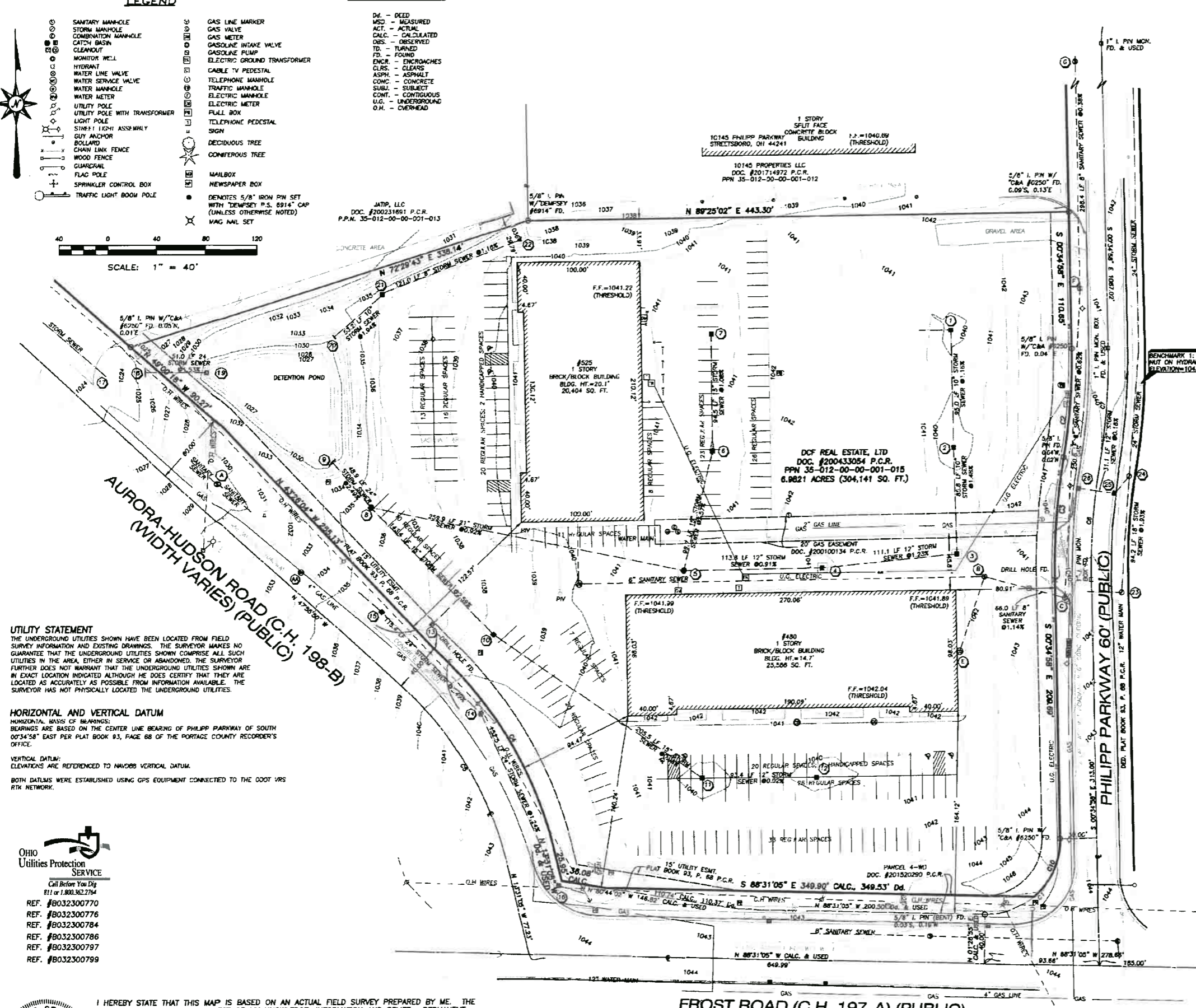
800-925-0988 or 8-1-1  
www.ogpups.org

LEGEND

ABBREVIATIONS

- SANITARY MANHOLE
- STORM MANHOLE
- COMBINATION MANHOLE
- CATCH BASIN
- CLEANOUT
- MONITOR WELL
- HYDRANT
- WATER LINE VALVE
- WATER SERVICE VALVE
- WATER MANHOLE
- WATER METER
- UTILITY POLE
- UTILITY POLE WITH TRANSFORMER
- LIGHT POLE
- STREET LIGHT ASSEMBLY
- GUY ANCHOR
- BOLLARD
- CHAIN LINK FENCE
- WOOD FENCE
- GUARDSAIL
- FLAG POLE
- SPRINKLER CONTROL BOX
- TRAFFIC LIGHT BOOM POLE
- GAS LINE MARKER
- GAS VALVE
- GAS METER
- GASOLINE INTAKE VALVE
- GASOLINE PUMP
- ELECTRIC GROUND TRANSFORMER
- CABLE TV PEDESTAL
- TELEPHONE MANHOLE
- TRAFFIC MANHOLE
- ELECTRIC MANHOLE
- ELECTRIC METER
- PULL BOX
- TELEPHONE PEDESTAL SIGN
- DECIDUOUS TREE
- CONIFEROUS TREE
- MAILBOX
- NEWSPAPER BOX
- DENOTES 5/8" IRON PIN SET WITH DEMPSEY P.S. 6914" CAP (UNLESS OTHERWISE NOTED)
- WAG NAIL SET

- DL - DEED
- MSD - MEASURED
- ACT - ACTUAL
- CALC - CALCULATED
- OBS - OBSERVED
- TD - TURNED
- FD - FOUND
- ENCR - ENCROACHES
- CLRS - CLEARS
- ASPH - ASPHALT
- CONC - CONCRETE
- SUBJ - SUBJECT
- CONT - CONTIGUOUS
- U.G. - UNDERGROUND
- O.H. - OVERHEAD



- EXISTING SANITARY SEWER**
- (A) SANITARY MANHOLE RM=1028.71 INV. N&S=1013.21
  - (B) SANITARY MANHOLE RM=1041.50 6" PVC INV. W=1032.00 8" PVC INV. E=1029.75 4" PVC INV. SW=1035.50
  - (C) SANITARY MANHOLE RM=1041.20 8" PVC INV. N,W&E=1029.90
  - (D) SANITARY CLEANOUT TOP=1039.69 UNABLE TO OPEN
  - (E) SANITARY CLEANOUT TOP=1042.14 UNABLE TO OPEN
  - (F) SANITARY MANHOLE RM=1041.65 8" PVC INV. N&S=1027.45 8" PVC INV. W=1027.57
  - (G) SANITARY MANHOLE RM=1040.10 8" PVC INV. N&S=1026.30
- EXISTING STORM SEWER**
- (1) CATCH BASIN RM=1039.00 10" ADS INV. N&S=1036.32
  - (2) CATCH BASIN RM=1040.07 10" ADS INV. N=1035.22 10" PVC INV. S=1035.22
  - (3) CATCH BASIN RM=1041.00 10" PVC INV. N=1033.95 12" PVC INV. W=1033.95
  - (4) CATCH BASIN RM=1040.88 18" PVC INV. W=1032.03 12" PVC INV. E=1047.50
  - (5) CATCH BASIN RM=1041.10 18" PVC INV. E=1031.00 15" PVC INV. N=1032.30 21" PVC INV. NW=1030.00
  - (6) CATCH BASIN RM=1039.06 15" PVC INV. N&S=1035.86
  - (7) CATCH BASIN RM=1040.03 15" PVC INV. S=1036.88
  - (8) CATCH BASIN RM=1035.00 24" ADS INV. SE=1028.40 12" PVC INV. E=1035.82
  - (9) CATCH BASIN RM=1039.58 12" PVC INV. W=1036.68
  - (10) CATCH BASIN RM=1036.41 12" PVC INV. NE=1033.11
  - (11) CATCH BASIN RM=1040.82 24" RCP INV. S=1036.02 24" RCP INV. N=1035.42
  - (12) CATCH BASIN RM=1036.84 24" RCP INV. N&S=1032.54
  - (13) CATCH BASIN RM=1043.62 24" RCP INV. N&E=1037.82
  - (14) RCP INV. NW=1020.98
  - (15) CONCRETE HEADWALL 24" ADS INV. S=1027.18
  - (16) CATCH BASIN RM=1038.01 15" PVC INV. N&S&E=1033.81
  - (17) CATCH BASIN RM=1039.42 15" PVC INV. NW=1035.82 12" PVC INV. E=1035.82
  - (18) CATCH BASIN RM=1039.58 12" PVC INV. W=1036.68
  - (19) CATCH BASIN RM=1036.41 12" PVC INV. NE=1033.11
  - (20) CATCH BASIN RM=1040.82 24" RCP INV. S=1036.02 24" RCP INV. N=1035.42
  - (21) CATCH BASIN RM=1036.84 24" RCP INV. N&S=1032.54
  - (22) CATCH BASIN RM=1043.62 24" RCP INV. N&E=1037.82
  - (23) RCP INV. NW=1020.98
  - (24) CONCRETE HEADWALL 24" ADS INV. E=1024.34
  - (25) OUTLET STRUCTURE RM=1029.42 24" ADS INV. W=1025.12 INV. VERTICAL SLIT E=1025.92
  - (26) CONCRETE HEADWALL 10" ADS INV. NE=1029.86
  - (27) CATCH BASIN RM=1035.54 10" ADS INV. SW=1036.89 8" ADS INV. NE=1030.88
  - (28) CATCH BASIN RM=1032.30 8" ADS INV. SW=1032.30
  - (29) STORM MANHOLE RM=1040.57 15" RCP INV. W=1033.47 18" RCP INV. N=1033.37
  - (30) STORM MANHOLE RM=1040.15 18" RCP INV. S=1031.55 24" RCP INV. N=1031.15 12" RCP INV. SW=1033.95
  - (31) CURB INLET BASIN GUTTER RIM=1039.10 12" RCP INV. NE&W=1034.90
  - (32) CURB INLET BASIN GUTTER RIM=1039.07 12" RCP INV. E=1035.47

- EXISTING UNKNOWN STRUCTURES**
- (A) UNKNOWN MANHOLE RM=1033.47 UNABLE TO OPEN

**WEBER ENGINEERING SERVICES**  
 2555 Hartville Rd., Suite B  
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 www.WeberEngineeringServices.com  
 330-329-2037  
 matt@webercivil.com

**STATE OF OHIO**  
 MATTHEW WEBER  
 61709  
 PROFESSIONAL ENGINEER  
 Reg. No.: 61709

**CLIENT:**  
  
 10020 AURORA HUDSON ROAD  
 STREETSBORO, OHIO 44241  
 330.528.3500

**OWNER:**  
 DCF REAL ESTATE, LTD  
 10020 AURORA HUDSON RD.  
 STREETSBORO OH 44241

**Issue Date**  
 12-31-2020  
 03-08-2021

**FROST ROAD COMMERCE III  
 NEW CONSTRUCTION  
 525 FROST ROAD, STREETSBORO, OHIO**

**EXISTING CONDITIONS**  
**C100A**  
 Project No. 2020-260

**UTILITY STATEMENT**  
 THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

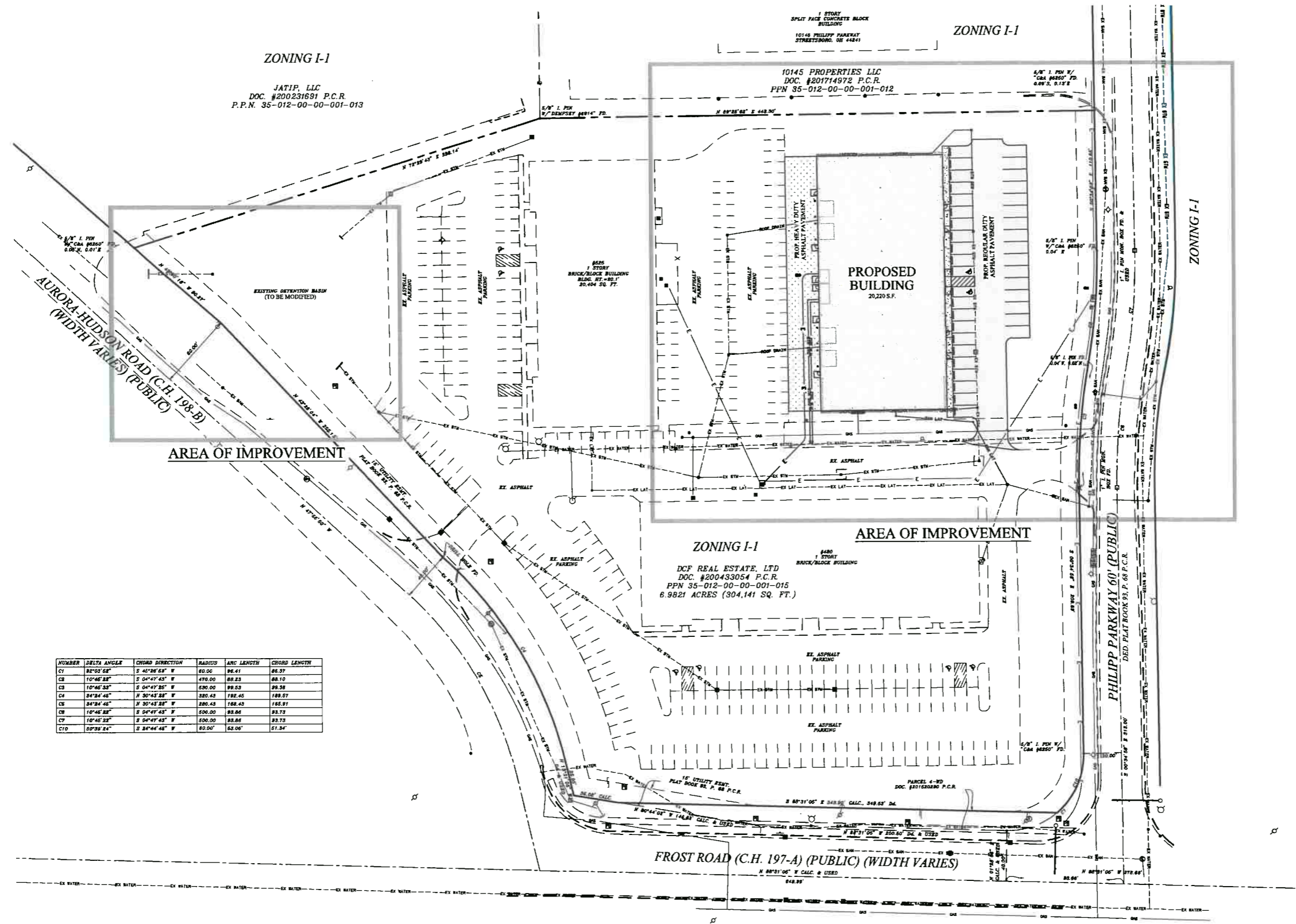
**HORIZONTAL AND VERTICAL DATUM**  
 HORIZONTAL BASIS OF BEARINGS:  
 BEARINGS ARE BASED ON THE CENTER LINE BEARING OF PHILIPP PARKWAY OF SOUTH 00°34'58" EAST PER PLAT BOOK 93, PAGE 68 OF THE PORTAGE COUNTY RECORDER'S OFFICE.  
 VERTICAL DATUM:  
 ELEVATIONS ARE REFERENCED TO NAVD83 VERTICAL DATUM.  
 BOTH DATUMS WERE ESTABLISHED USING GPS EQUIPMENT CONNECTED TO THE GOOT VRS RTK NETWORK.

**OHIO Utilities Protection SERVICE**  
 Call Before You Dig  
 811 or 1.800.362.7784  
 REF. #B032300770  
 REF. #B032300776  
 REF. #B032300784  
 REF. #B032300786  
 REF. #B032300797  
 REF. #B032300799

I HEREBY STATE THAT THIS MAP IS BASED ON AN ACTUAL FIELD SURVEY PREPARED BY ME. THE SURVEY IS CORRECT TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF. PERMANENT MONUMENTS WERE FOUND OR SET AT ALL LOCATIONS SHOWN HEREON. ALL DIMENSIONS GIVEN ARE EXPRESSED IN FEET AND DECIMAL PARTS THEREOF. BEARINGS ARE BASED ON THE CENTER LINE BEARING OF PHILIPP PARKWAY OF SOUTH 00°34'58" EAST PER PLAT BOOK 93, PAGE 68 OF THE PORTAGE COUNTY RECORDER'S OFFICE.

**Christopher J. Dempsey**  
 CHRISTOPHER J. DEMPSEY  
 PROFESSIONAL SURVEYOR NO. 6914

**DEMPSEY SURVEYING COMPANY**  
 P. 216/226-1130 12615 DETROIT AVENUE  
 P. 216/226-1131 11 CLEVELAND OH 44107-2835



NUMBER	DELTA ANGLE	CORD DIRECTION	RADIUS	ARC LENGTH	CORD LENGTH
C1	82°03'58"	S 45°28'53" W	80.00	96.41	86.37
C2	10°46'38"	S 04°47'45" W	470.00	86.23	88.10
C3	10°46'38"	S 04°47'25" W	500.00	89.53	89.38
C4	24°24'45"	N 30°45'28" W	320.63	182.45	189.57
C5	24°24'45"	N 30°45'28" W	320.63	182.45	189.57
C6	10°46'38"	S 04°47'45" W	500.00	89.56	89.71
C7	10°46'38"	S 04°47'45" W	500.00	89.56	89.71
C10	20°28'24"	S 24°44'45" W	80.00	63.06	51.34

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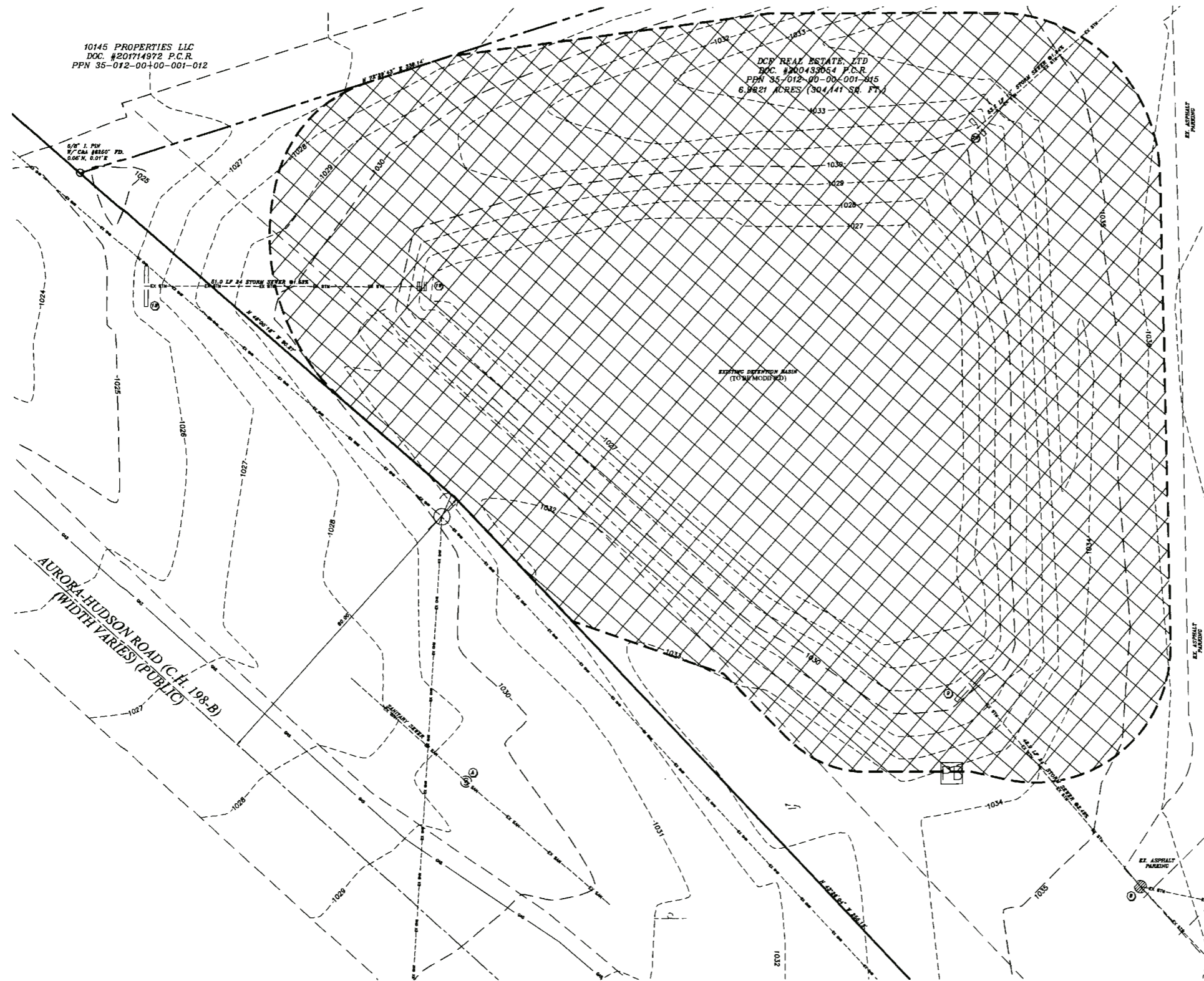
Issue Date  
 12-31-2020  
 03-08-2021  
 FROST ROAD COMMERCE III  
 NEW CONSTRUCTION  
 525 FROST ROAD, STREETSBORO, OHIO

OVERALL  
 SITE PLAN

**C100B**  
 Project No. 2020-260

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 www.oups.org  
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 Ohio's Gas Pipeline's Independent Public Service  
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 www.ogpups.org

Scale: 1" = 40'



**SITE BENCH MARK**  
 BENCH MARK #1  
 TOP NUT OF HYDRANT  
 ELEVATION = 1043.08

**EX. STORM  
 STRUCTURE  
 SCHEDULE**

- ① CATCH BASIN  
 24" PCC DWT. SS=1028.40  
 24" ADS DWT. N=1028.40  
 18" PCC DWT. S=1028.10
- ② CONCRETE HEADWALL  
 24" ADS DWT. S=1027.18
- ③ CONCRETE HEADWALL  
 24" ADS DWT. S=1024.34
- ④ OUTLET STRUCTURE  
 24" ADS DWT. N=1026.12  
 DWT. VERTICAL SLIT S=1026.22
- ⑤ CONCRETE HEADWALL  
 18" ADS DWT. N=1029.08

**EX. SANITARY  
 STRUCTURE  
 SCHEDULE**

- ① SANITARY MANHOLE  
 24" ADS DWT. N=1028.11  
 DWT. N=1012.21

**LEGEND**

AREA OF DEMOLITION & CLEARING  
 0.41 AC.  
 (1.89 AC. TOTAL)

ITALICS TEXT REPRESENTS EXISTING CONDITION  
 NON-ITALICS TEXT REPRESENTS PROPOSED CONDITION

CONTRACTOR SHALL VERIFY ALL EXISTING GAS, ELECTRIC, TELEPHONE AND FIBER OPTIC SERVICE CONNECTIONS ON SITE PRIOR TO CONSTRUCTION

**LEGEND**

- |   |  |
|---|--|
| <ul style="list-style-type: none"> <li>○ SANITARY MANHOLE</li> <li>○ STORM MANHOLE</li> <li>○ COMBINATION MANHOLE</li> <li>○ CATCH BASIN</li> <li>○ CLEANOUT</li> <li>○ MONITOR WELL</li> <li>○ HYDRANT</li> <li>○ WATER LINE VALVE</li> <li>○ WATER SERVICE VALVE</li> <li>○ WATER MANHOLE</li> <li>○ WATER METER</li> <li>○ UTILITY POLE</li> <li>○ UTILITY POLE WITH TRANSFORMER</li> <li>○ LIGHT POLE</li> <li>○ STREET LIGHT ASSEMBLY</li> <li>○ GUY ANCHOR</li> <li>○ BOLLARD</li> <li>○ CHAIN LINK FENCE</li> <li>○ WOOD FENCE</li> <li>○ GUARDRAIL</li> <li>○ FLAG POLE</li> <li>○ SPRINKLER CONTROL BOX</li> </ul> | <ul style="list-style-type: none"> <li>○ GAS LINE MARKER</li> <li>○ GAS VALVE</li> <li>○ GAS METER</li> <li>○ GASOLINE INTAKE VALVE</li> <li>○ GASOLINE PUMP</li> <li>○ ELECTRIC GROUND TRANSFORMER</li> <li>○ CABLE TV PEDESTAL</li> <li>○ TELEPHONE MANHOLE</li> <li>○ TRAFFIC MANHOLE</li> <li>○ ELECTRIC MANHOLE</li> <li>○ ELECTRIC METER</li> <li>○ PULL BOX</li> <li>○ TELEPHONE PEDESTAL</li> <li>○ FIBER OPTIC MARKER</li> <li>○ SIGN</li> <li>○ DECIDUOUS TREE</li> <li>○ CONIFEROUS TREE</li> <li>○ MAILBOX</li> <li>○ DENOTES 5/8" IRON PIN SET WITH "DEMPSEY P.S. 6914" CAP (UNLESS OTHERWISE NOTED)</li> <li>○ MAG NAIL SET</li> </ul> |
|---|--|

**UTILITY STATEMENT**  
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 330.528.3500

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 10020 AURORA HUDSON RD.  
 STREETSBORO OH 44241

**Issue Date**  
 12-31-2020  
 03-08-2021

**FROST ROAD COMMERCE III  
 NEW CONSTRUCTION  
 525 FROST ROAD, STREETSBORO, OHIO**

**PARTIAL  
 DEMOLITION  
 PLAN**

**C101**  
 Project No. 2020-260



Scale: 1" = 10'

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10145 PROPERTIES LLC  
 DOC. #201714972 P.C.R.  
 PPN 35-012-00-001-012

SITE BENCH MARK  
 BENCH MARK #1  
 TOP NUT OF HYDRANT  
 ELEVATION = 1043.08

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 www.WeberEngineeringServices.com  
 330-339-2817  
 matt@webercivil.com

STATE OF OHIO  
 MATTHEW WEBER  
 61709 REGISTERED PROFESSIONAL ENGINEER

Reg. No.: 61709

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FROST ROAD COMMERCE III  
 NEW CONSTRUCTION  
 525 FROST ROAD, STREETSBORO, OHIO

PARTIAL  
 DEMOLITION  
 PLAN

**C101A**  
 Project No. 2020-260

**EX. STORM STRUCTURE SCHEDULE**

- 1 CATCH BASIN (TO BE MODIFIED)  
 RSM=1028.86  
 18" ABS INV. WAS=1036.82
- 2 CATCH BASIN  
 RSM=1040.02  
 18" ABS INV. N=1035.82  
 18" PVC INV. S=1035.82
- 3 CATCH BASIN  
 RSM=1041.00  
 18" PVC INV. N=1033.02  
 18" PVC INV. S=1033.02
- 4 CATCH BASIN  
 RSM=1041.00  
 18" PVC INV. N=1032.02  
 18" PVC INV. S=1032.02
- 5 CATCH BASIN  
 RSM=1041.10  
 18" PVC INV. N=1031.00  
 18" PVC INV. S=1032.30  
 21" PVC INV. SW=1030.80
- 6 CATCH BASIN  
 RSM=1038.86  
 18" PVC INV. WAS=1036.82
- 7 CATCH BASIN  
 RSM=1040.02  
 18" PVC INV. S=1039.88
- 8 STORM MANHOLE  
 RSM=1040.02  
 18" RCP INV. N=1033.47  
 18" RCP INV. S=1033.37
- 9 STORM MANHOLE  
 RSM=1040.18  
 18" RCP INV. S=1031.85  
 24" RCP INV. N=1031.15  
 18" RCP INV. SW=1033.96
- 10 CURB INLET BASIN  
 CUTTER RSM=1039.10  
 18" RCP INV. NEAR=1034.80
- 11 CURB INLET BASIN  
 CUTTER RSM=1039.07  
 18" RCP INV. S=1036.47

**EX. SANITARY STRUCTURE SCHEDULE**

- 1 SANITARY MANHOLE (TO BE MODIFIED)  
 RSM=1041.86  
 6" PVC INV. N=1032.00  
 6" PVC INV. S=1028.76  
 4" PVC INV. SW=1026.60
- 2 SANITARY MANHOLE  
 RSM=1041.30  
 6" PVC INV. N=1029.00  
 4" PVC INV. S=1027.57

LEGEND



ITALICS TEXT REPRESENTS EXISTING CONDITION  
 NON-ITALICS TEXT REPRESENTS PROPOSED CONDITION

CONTRACTOR SHALL VERIFY ALL EXISTING GAS, ELECTRIC, TELEPHONE AND FIBER OPTIC SERVICE CONNECTIONS ON SITE PRIOR TO CONSTRUCTION

LEGEND

- |   |                               |   |   |
|---|-------------------------------|---|---|
| ○ | SANITARY MANHOLE              | ○ | GAS LINE MARKER   |
| ○ | STORM MANHOLE                 | ○ | GAS VALVE   |
| ○ | COMBINATION MANHOLE           | ○ | GAS METER   |
| ○ | CATCH BASIN                   | ○ | GASOLINE INTAKE VALVE   |
| ○ | CLEANOUT                      | ○ | GASOLINE PUMP   |
| ○ | MONITOR WELL                  | ○ | ELECTRIC GROUND TRANSFORMER   |
| ○ | HYDRANT                       | ○ | CABLE TV PEDESTAL   |
| ○ | WATER LINE VALVE              | ○ | TELEPHONE MANHOLE   |
| ○ | WATER SERVICE VALVE           | ○ | TRAFFIC MANHOLE   |
| ○ | WATER MANHOLE                 | ○ | ELECTRIC MANHOLE  |
| ○ | WATER METER                   | ○ | ELECTRIC METER  |
| ○ | UTILITY POLE                  | ○ | PULL BOX  |
| ○ | UTILITY POLE WITH TRANSFORMER | ○ | TELEPHONE PEDESTAL  |
| ○ | STREET LIGHT ASSEMBLY         | ○ | FIBER OPTIC MARKER  |
| ○ | GUY ANCHOR                    | ○ | SIGN  |
| ○ | BOLLARD                       | ○ | DECIDUOUS TREE  |
| ○ | CHAIN LINK FENCE              | ○ | CONIFEROUS TREE   |
| ○ | WOOD FENCE                    | ○ | MAILBOX   |
| ○ | GUARDRAIL                     | ○ | DENOTES 5/8" IRON PIN SET WITH "DEMPSEY P.S. 6914" CAP (UNLESS OTHERWISE NOTED) |
| ○ | FLAG POLE                     | ○ | MAG NAIL SET  |
| ○ | SPRINKLER CONTROL BOX         |   |   |

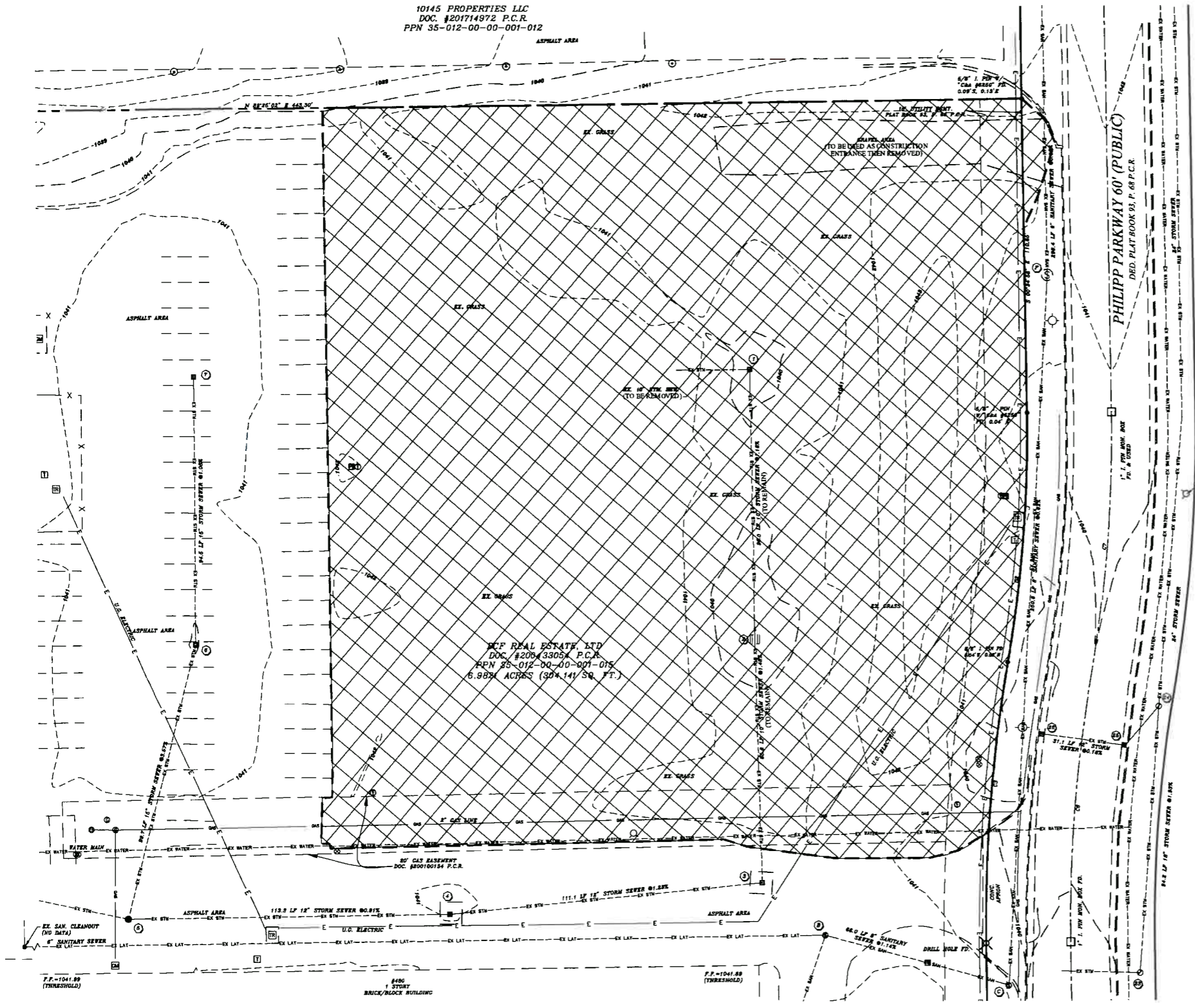
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Scale: 1" = 20'

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 www.ogpups.org



ZONING I-1

10145 PROPERTIES LLC  
DOC. #201714972 P.C.R.  
PPN 35-012-00-001-012

SITE BENCH MARK  
BENCH MARK #1  
TOP NUT OF HYDRANT  
ELEVATION = 3043.08

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Issue Date  
12-31-2020  
03-08-2021

FROST ROAD COMMERCE III  
NEW CONSTRUCTION  
525 FROST ROAD, STREETSBORO, OHIO

SITE PLAN

C102  
Project No. 2020-260

**SITE DATA**

USE DISTRICT	= I-1 (INDUSTRIAL, RESEARCH, OFFICE)
SITE AREA	= (6.9821 AC.)
PROJECT AREA	= (1.4759 AC.)
PROP. BUILDING AREA	= 20,220 S.F. (FOOTPRINT)
<b>BUILDING SETBACKS:</b>	
FRONT YARD	= 50'
SIDE YARD	= 25'
REAR YARD	= 25'
<b>NUMBER OF PARKING SPACES:</b>	
REGULAR PARKING SPACES	= 36
HANDICAP PARKING SPACES	= 2
TOTAL PARKING SPACES	= 38

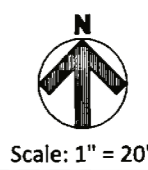
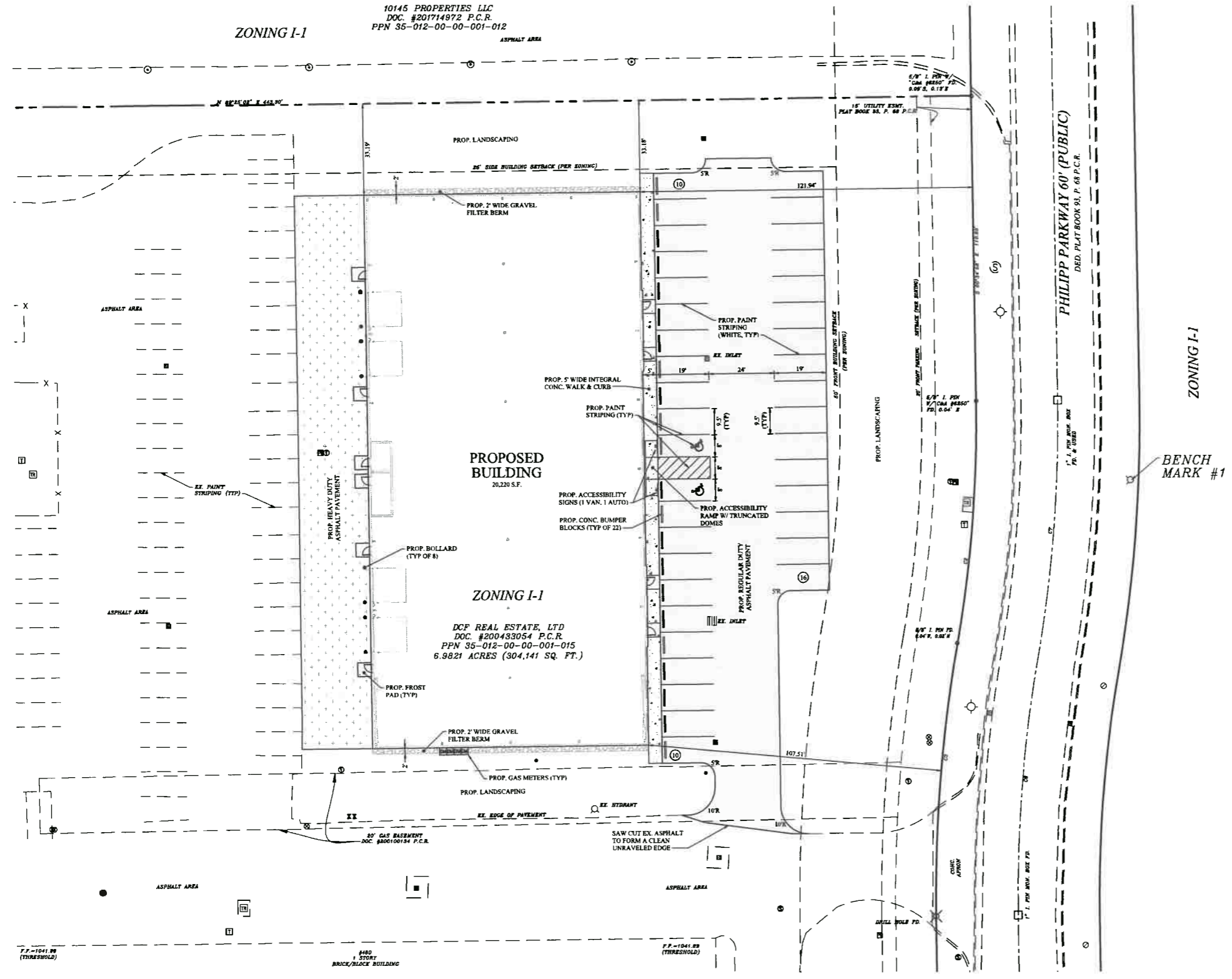
**FLOOD ZONE**

FLOOD ZONE "X" PER FLOOD INSURANCE  
RATE MAP NUMBER 39133C 0038 D  
COMMUNITY PANEL NUMBER 39133 0038 D  
EFFECTIVE DATE AUGUST 18, 2009

**LEGEND**

	REGULAR DUTY ASPHALT
	HEAVY DUTY ASPHALT
	CONCRETE PAVING

ITALICS TEXT REPRESENTS EXISTING CONDITION  
NON-ITALICS TEXT REPRESENTS PROPOSED CONDITION



Scale: 1" = 20'

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 BENCH MARK #1  
 TOP NUT OF HYDRANT  
 ELEVATION = 1043.08

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CLIENT:

**GEIS**

10020 AURORA HUDSON ROAD  
 STREETSBORO, OHIO 44241  
 330.528.3500

OWNER:

**DCF REAL ESTATE, LTD**

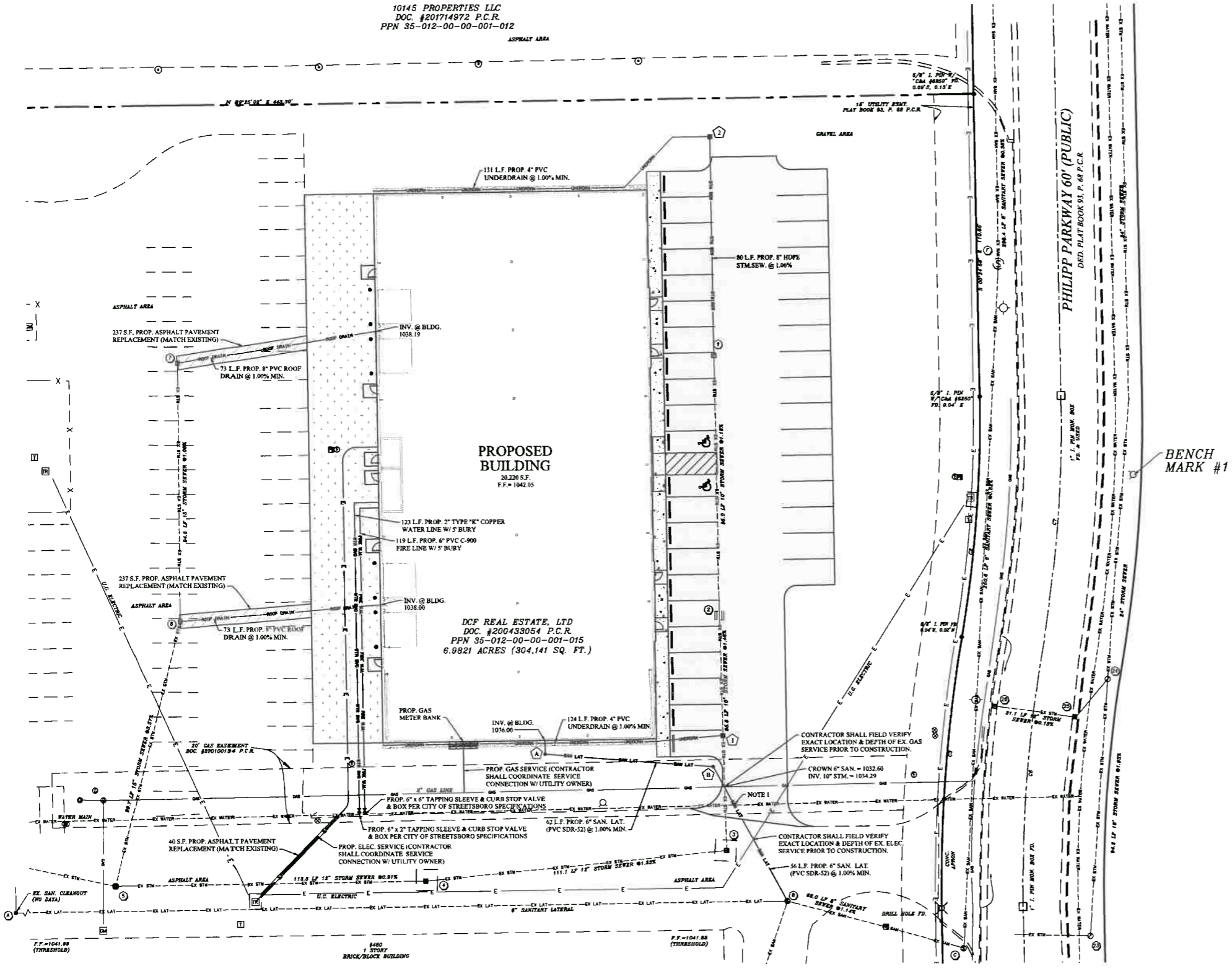
10020 AURORA HUDSON RD.  
 STREETSBORO OH 44241

Issue Date  
 12-31-2020  
 03-08-2021

FROST ROAD COMMERCE III  
 NEW CONSTRUCTION  
 525 FROST ROAD, STREETSBORO, OHIO

UTILITY PLAN

**C103**  
 Project No. 2020-260



**NOTE 1:**  
 CONTRACTOR SHALL DEFLECT W.M. AS NECESSARY TO MAINTAIN 18" MIN. VERTICAL CLEARANCE BETWEEN W.M. & SAN. SEW. AND/OR STM. SEW. AT ALL TIMES. (INSTALL BENDS WHERE NECESSARY)

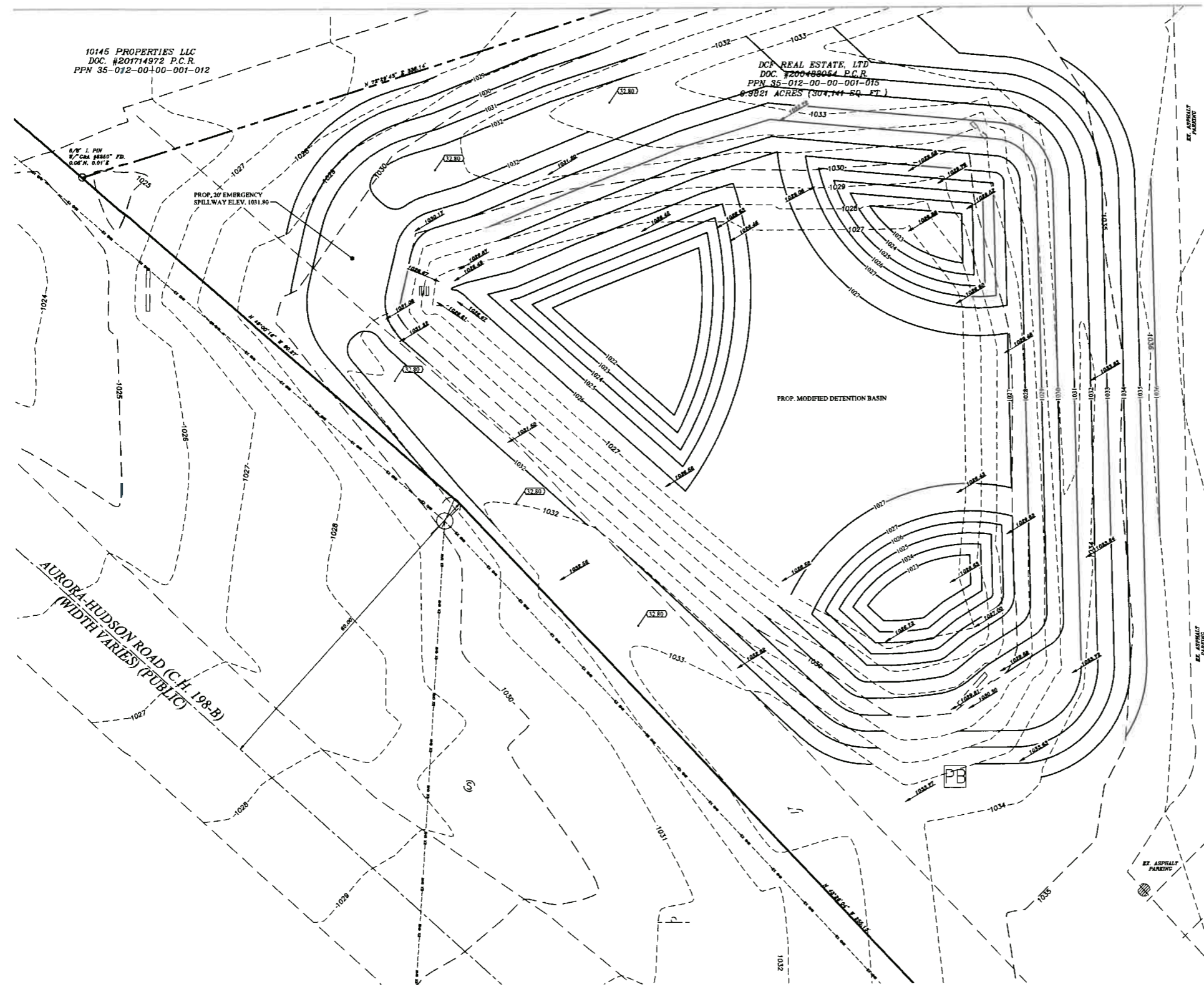
**LEGEND**  
 ITALIC TEXT REPRESENTS EXISTING CONDITION  
 NON-ITALIC TEXT REPRESENTS PROPOSED CONDITION



Scale: 1" = 20'

**OHIO Utilities Protection SERVICE**  
 Call Before You Dig  
 800-362-2764 or 8-1-1  
 www.oups.org

**OGPUPS**  
 Ohio Gas & Electric Protection Service  
 800-925-0988 or 8-1-1  
 www.ogpups.org



10145 PROPERTIES LLC  
 DOC. #201714972 P.C.R.  
 PPN 35-012-00-001-012

DCF REAL ESTATE, LTD  
 DOC. #200489054 P.C.R.  
 PPN 35-012-00-001-015  
 0.9821 ACRES (304,141 SQ. FT.)

**SITE BENCH MARK**  
 BENCH MARK #1  
 TOP NUT OF HYDRANT  
 ELEVATION = 1043.08

- LEGEND**
- ITALICS TEXT REPRESENTS EXISTING CONDITION  
 NON-ITALICS TEXT REPRESENTS PROPOSED CONDITION
- (10.00)* PROPOSED SPOT GRADE
  - (10.00) PROPOSED GRADE AT CURB
  - (10.00)* EXISTING SPOT GRADE

**WEBER ENGINEERING SERVICES**  
 2555 Hartsville Rd., Suite B  
 Rootstown, OH 44272  
 www.WeberEngineeringServices.com  
 330.329.2037  
 matt@weberevil.com

STATE OF OHIO  
 MATTHEW WEBER  
 61709  
 PROFESSIONAL ENGINEER  
 Reg. No.: 61709

CLIENT:  
  
 10020 ALPORA HUDSON ROAD  
 STREETSBORO, OHIO 44241  
 330.528.3500

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 NEW CONSTRUCTION  
 525 FROST ROAD, STREETSBORO, OHIO

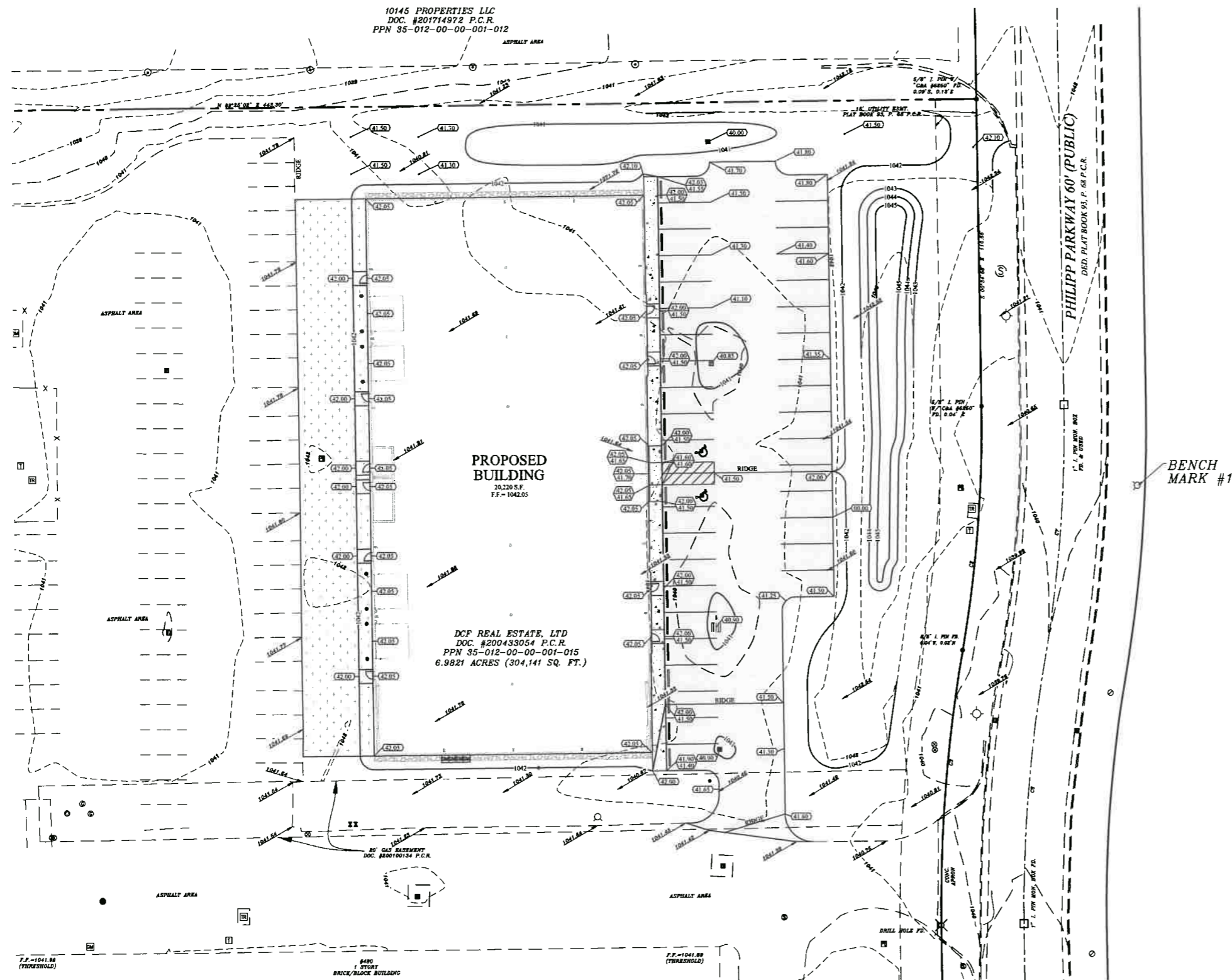
**PARTIAL GRADING PLAN**

**C104**  
 Project No. 2020-260

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 www.ogpups.org

N  
  
 Scale: 1" = 10'



**SITE BENCH MARK**  
 BENCH MARK #1  
 TOP NUT OF HYDRANT  
 ELEVATION = 1043.06

**LEGEND**  
 ITALICS TEXT REPRESENTS EXISTING CONDITION  
 NON-ITALICS TEXT REPRESENTS PROPOSED CONDITION

- PROPOSED SPOT GRADE
- PROPOSED GRADE AT CURB
- EXISTING SPOT GRADE

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FROST ROAD COMMERCE III  
 NEW CONSTRUCTION  
 525 FROST ROAD, STREETSBORO, OHIO

**PARTIAL GRADING PLAN**

**C104A**  
 Project No. 2020-260

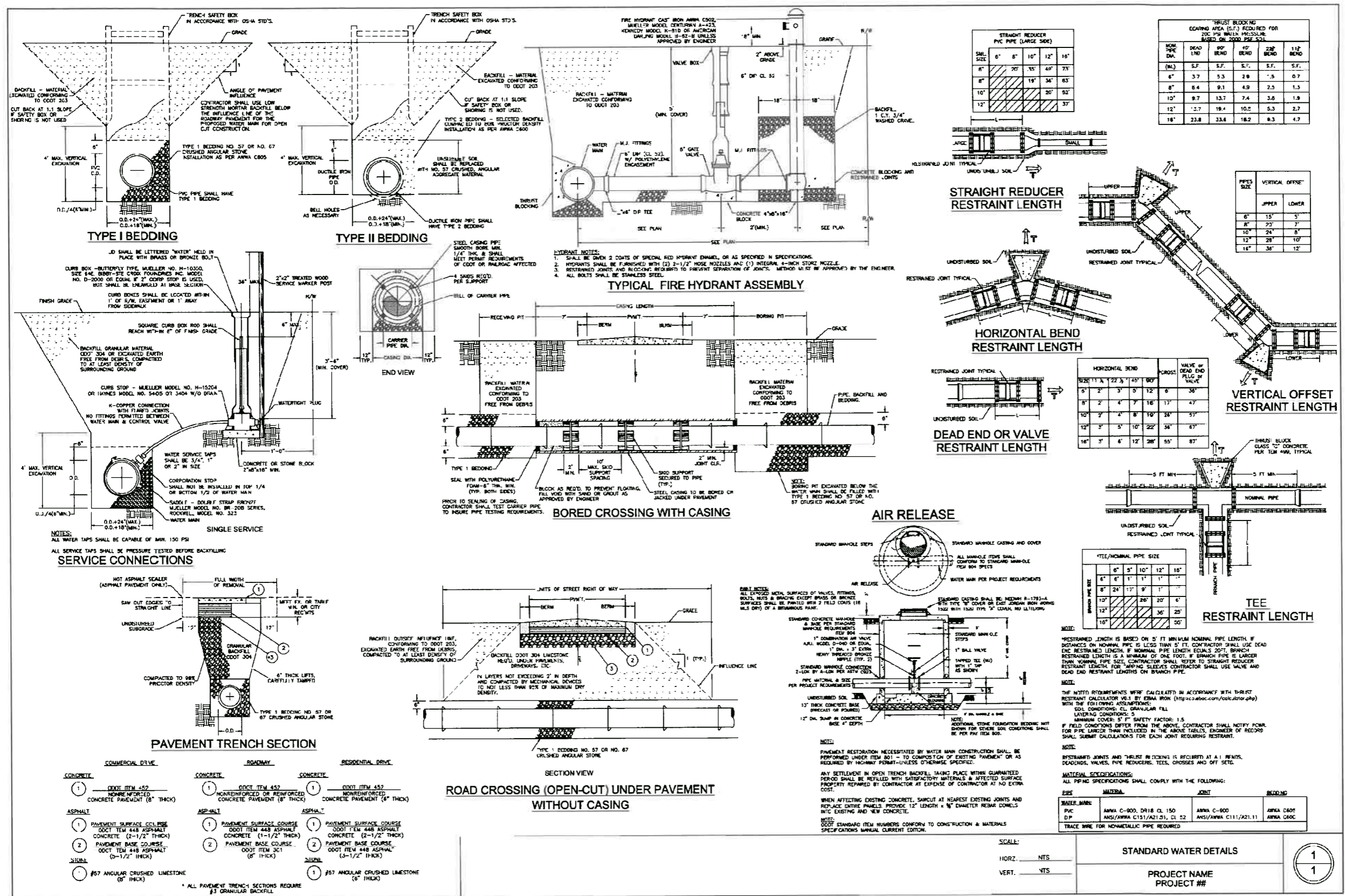
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 www.oups.org

**OGPUPS**  
 One Oil & Gas Pipeline Underground Protection Service  
 800-925-0988 or 8-1-1  
 www.ogpups.org



Scale: 1" = 20'





ALL HYDRANTS SHALL BE COLOR CODED BLUE AND YELLOW AS PER THE CITY OF STREETSBORO WATER DEPARTMENT STANDARDS.  
 ALL HYDRANTS & FIRE LINE VALVES SHALL BE LEFT HAND TO OPEN.



Reg. No.: 61709

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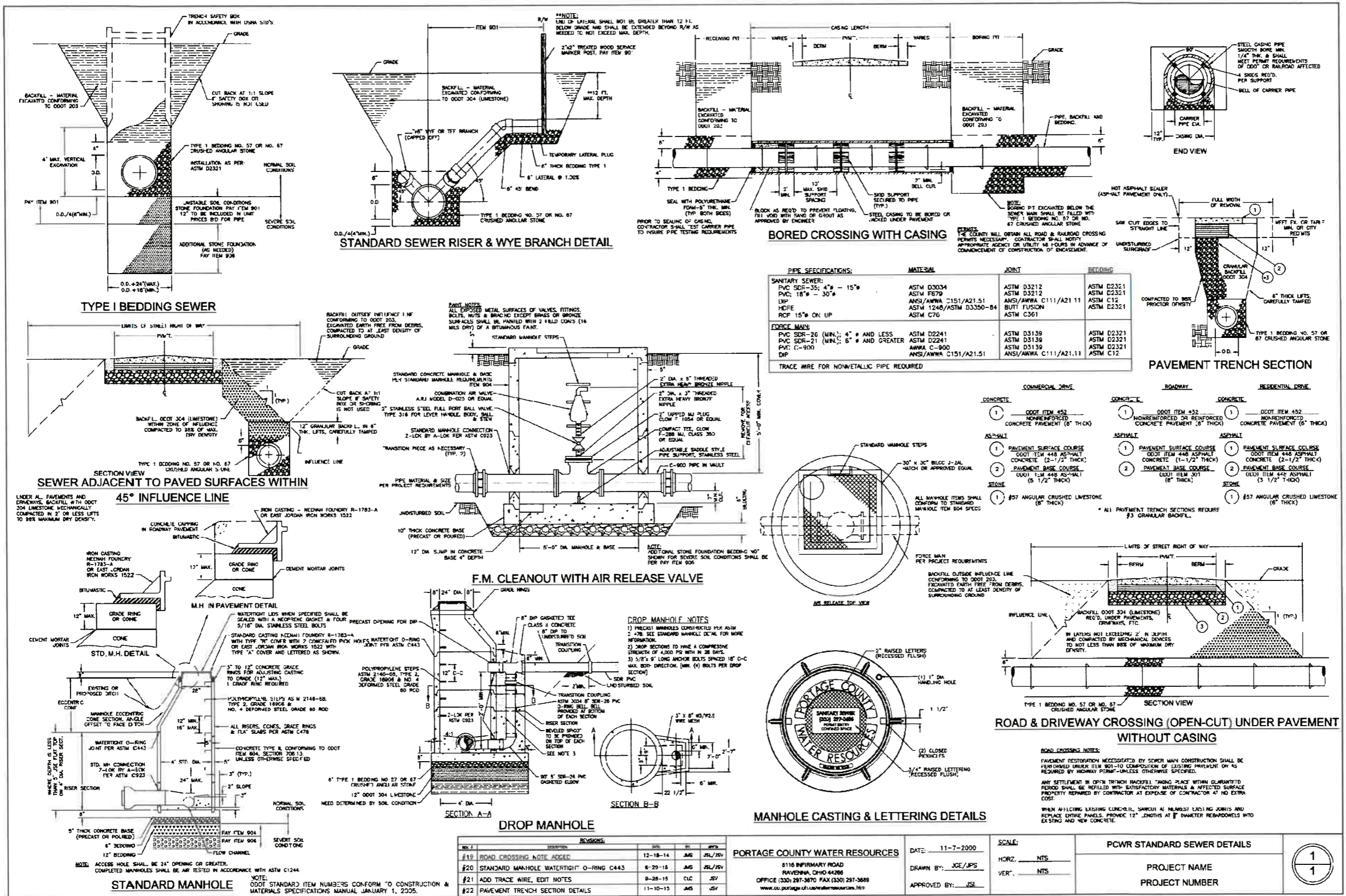
Issue Date

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 03-08-2021

FROST ROAD COMMERCE III  
 NEW CONSTRUCTION  
 525 FROST ROAD, STREETSBORO, OHIO

SITE DETAILS

**C105B**  
 Project No. 2020-260



**PIPE SPECIFICATIONS:**

PIPE SPECIFICATIONS:	MATERIAL	JOINT	BEDDING
SANITARY SEWER: PVC SDR-35; 4" - 15"	ASTM D3034	ASTM D3212	ASTM D2321
PVC; 18" - 30"	ASTM F879	ASTM D3212	ASTM D2321
LHP	ANSI/AWWA C151/A21.51	ANSI/AWWA C111/A21.11	ASTM C12
HDPE	ASTM 1248/ASTM D3350-B4	BUTT FUSION	ASTM D2321
RCF 15" ON UP	ASTM C76	ASTM C361	
FORCE MAIN: PVC SDR-26 (MIN.); 4" AND LESS	ASTM D2241	ASTM D3139	ASTM D2321
PVC SDR-21 (MIN.); 6" AND GREATER	ASTM D2241	ASTM D3139	ASTM D2321
PVC C-900	AWWA C-900	ASTM D3139	ASTM D2321
DP	ANSI/AWWA C151/A21.51	ANSI/AWWA C111/A21.11	ASTM C12

TRACE WIRE FOR NONMETALLIC PIPE REQUIRED

**PAVEMENT TRENCH SECTION**

COMMERCIAL DRIVE	ROADWAY	RESIDENTIAL DRIVE
1. ODOT ITEM 452 NONREINFORCED OR REINFORCED CONCRETE PAVEMENT (6" THICK) AS-PHALT 1. PAVEMENT SURFACE COURSE ODOT ITEM 448 ASPHALT CONCRETE (2-1/2" THICK) 2. PAVEMENT BASE COURSE ODOT ITEM 401 (5 1/2" THICK) STONE 1. #57 ANGULAR CRUSHED LIMESTONE (6" THICK)	1. ODOT ITEM 452 NONREINFORCED OR REINFORCED CONCRETE PAVEMENT (6" THICK) ASPHALT 1. PAVEMENT SURFACE COURSE ODOT ITEM 448 ASPHALT CONCRETE (1-1/2" THICK) 2. PAVEMENT BASE COURSE ODOT ITEM 401 (6" THICK)	1. ODOT ITEM 452 NONREINFORCED CONCRETE PAVEMENT (6" THICK) ASPHALT 1. PAVEMENT SURFACE COURSE ODOT ITEM 448 ASPHALT CONCRETE (2-1/2" THICK) 2. PAVEMENT BASE COURSE ODOT ITEM 442 ASPHALT (3 1/2" THICK) STONE 1. #57 ANGULAR CRUSHED LIMESTONE (6" THICK)

\* ALL PAVEMENT TRENCH SECTIONS REQUIRE #3 GRANULAR BACKFILL.

**REVISIONS**

REV.	DESCRIPTION	DATE	BY	APP.
#19	ROAD CROSSING NOTE ADDED	12-18-14	JMS	JSL/RSV
#20	STANDARD MANHOLE WATER TIGHT O-RING C443	6-29-15	JMS	JSL/RSV
#21	ADD TRACE WIRE, EDIT NOTES	8-28-15	CLC	JSV
#22	PAVEMENT TRENCH SECTION DETAILS	11-10-15	JMS	JSV

**PORTAGE COUNTY WATER RESOURCES**  
 5115 BIRMINGHAM ROAD  
 RAVENNA, OHIO 44206  
 OFFICE (330) 297-3670 FAX (330) 297-3688  
 www.co.portage.oh.us/waterresources.htm

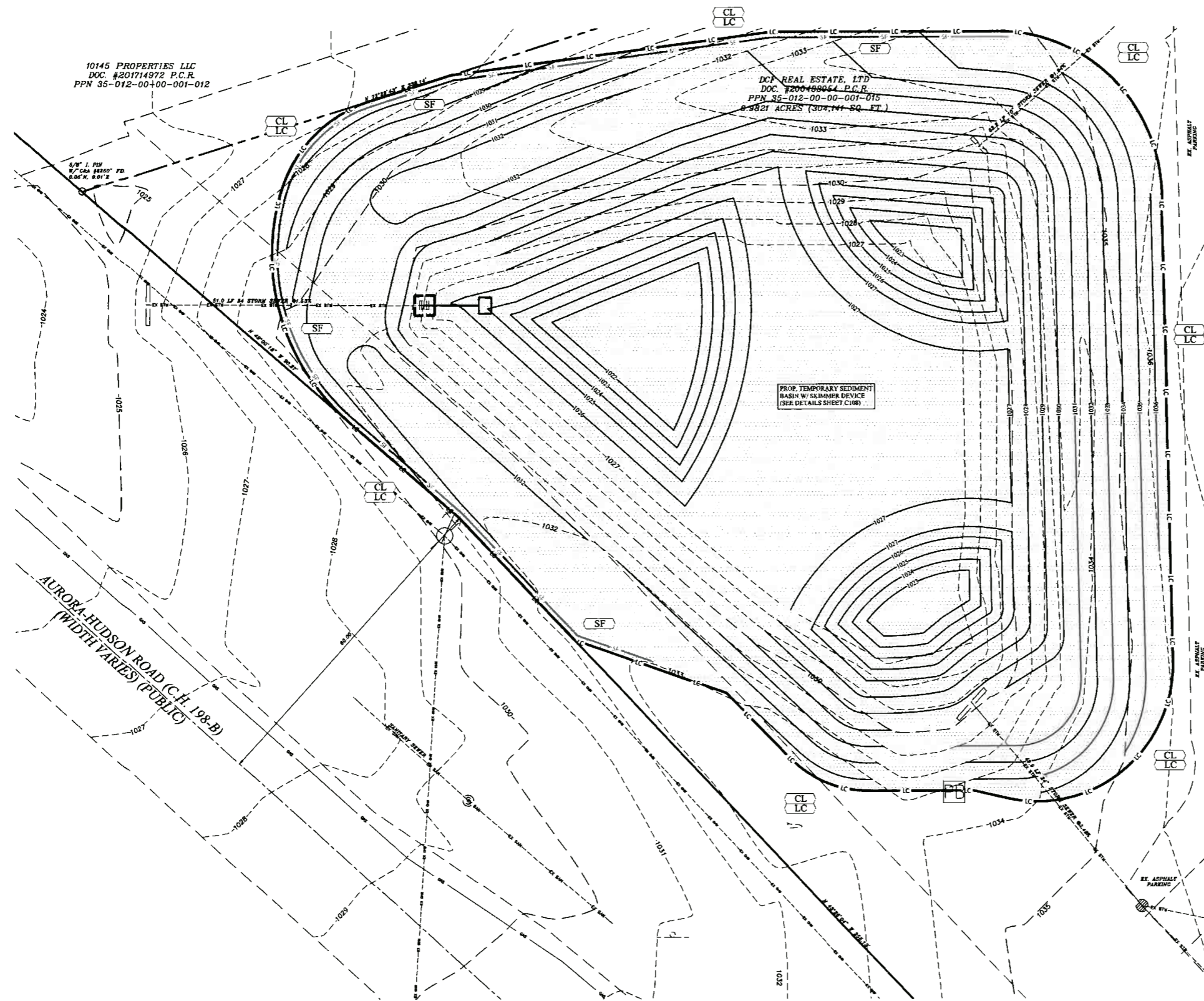
DATE: 11-7-2000  
 SCALE:  
 HORZ.: NTS  
 VER.: NTS  
 DRAWN BY: JCE/JPS  
 APPROVED BY: JSL

**PCWR STANDARD SEWER DETAILS**

PROJECT NAME \_\_\_\_\_  
 PROJECT NUMBER \_\_\_\_\_

C:\Users\jweber\Documents\2020-260\Frost Road\DWG\C105B.dwg





**SITE BENCH MARK**  
 BENCH MARK #1  
 TOP NUT OF HYDRANT  
 ELEVATION = 1043.08

**FLOOD ZONE**

FLOOD ZONE 'X' PER FLOOD INSURANCE  
 RATE MAP NUMBER 39133C 0038 D  
 COMMUNITY PANEL NUMBER 39133 0038 D  
 EFFECTIVE DATE AUGUST 18, 2009

**SWP3 AMENDMENT ACTIVITIES**

GRADING \_\_\_\_\_ DATE \_\_\_\_\_  
 SITE STABILIZATION \_\_\_\_\_ DATE \_\_\_\_\_  
 SWP3 AMENDMENT \_\_\_\_\_ DATE \_\_\_\_\_

**SWP3 RESPONSIBLE PARTY**

GEIS CONSTRUCTION  
 JEN DIAZ  
 10020 AURORA HUDSON RD.  
 STREETSBORO, OHIO  
 216.218.3507

**ESTIMATED CONSTRUCTION DATES**

START DATE 02-15-2021  
 END DATE 10-01-2021

**SWP3 PREPARED**

03-08-2021

ALL OFF-SITE BORROW OR SPOIL AREAS SHALL  
 BE REQUIRED TO BE PERMITTED BY A SEPARATE NOI AND  
 RELATED SWP3.

TAG	HATCH/SYMBOL	SWP3 BMP
CL LC		CLEARING LIMITS, LIMITS OF CONSTRUCTION
TCE		TEMPORARY CONSTRUCTION ENTRANCE
CTW, VE, TW, DMP		CEMENT TRUCK WASHOUT, VEHICLE FUELING, TOXIC WASTE AND DUMPSTER LOCATION
IP		INLET PROTECTION (SEE DETAIL ON SHT. C110)
IPSS		INLET SILT SACK PROTECTION (SEE DETAIL ON SHT. C110)
TAG	LINE	SWP3 BMP
SF		SILT FENCE
CFS		12" COMPOST FILTER SOCK MAY BE SUBSTITUTED FOR SILT FENCE AT CONTRACTORS DISCRETION

**INSPECTION CHECKLIST**

INSPECTIONS SHALL BE MADE ONCE EVERY SEVEN (7) CALENDAR DAYS AND WITHIN 24 HOURS AFTER ANY STORM EVENT GREATER THAN ONE-HALF INCH OF RAIN PER 24 HOUR PERIOD

DATE	INSPECTOR	WEATHER CONDITIONS	RAINFALL AMOUNT	SEDIMENT DISCHARGE	DISCHARGE LOCATION	BMPs FAILED	ADDITIONAL BMPs NEEDED	CORRECTIONS MADE

**WEBER ENGINEERING SERVICES**  
 2555 Hartsville Rd., Suite B  
 Rootstown, OH 44272  
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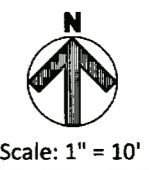
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 STREETSBORO, OHIO 44241  
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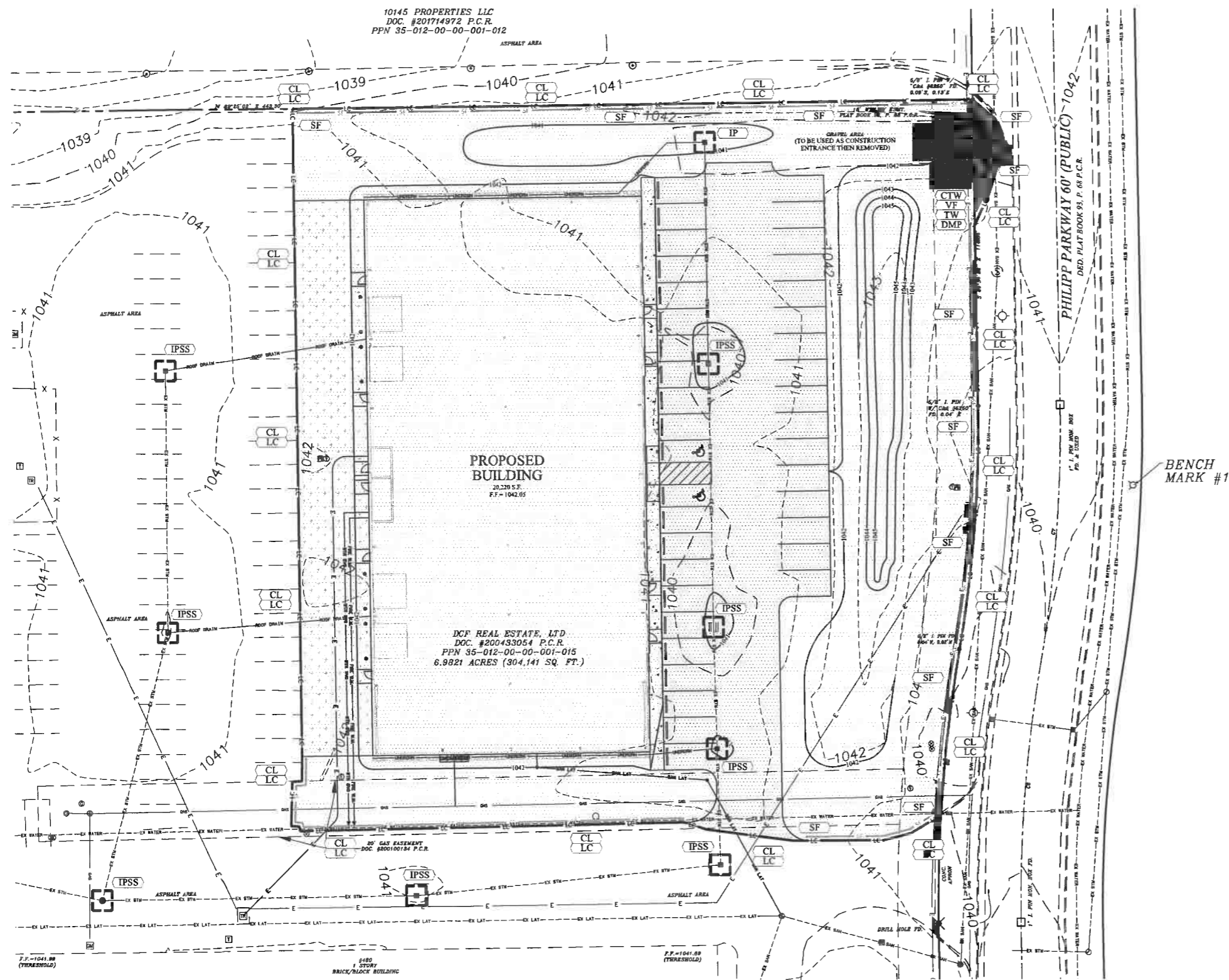
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Issue Date  
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 03-08-2021  
 FROST ROAD COMMERCE III  
 NEW CONSTRUCTION  
 525 FROST ROAD, STREETSBORO, OHIO

PARTIAL SWP3

C106  
 Project No. 2020-260





**SITE BENCH MARK**  
BENCH MARK #1  
TOP NUT OF HYDRANT  
ELEVATION = 1043.08

**FLOOD ZONE**

FLOOD ZONE 'X' PER FLOOD INSURANCE  
RATE MAP NUMBER 39133C 0038 D  
COMMUNITY PANEL NUMBER 39133 0038 D  
EFFECTIVE DATE AUGUST 18, 2009

**SWP3 AMENDMENT ACTIVITIES**

GRADING \_\_\_\_\_ DATE \_\_\_\_\_  
SITE STABILIZATION \_\_\_\_\_ DATE \_\_\_\_\_  
SWP3 AMENDMENT \_\_\_\_\_ DATE \_\_\_\_\_

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STREETSBORO, OHIO  
216-218-3507

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01-08-2021

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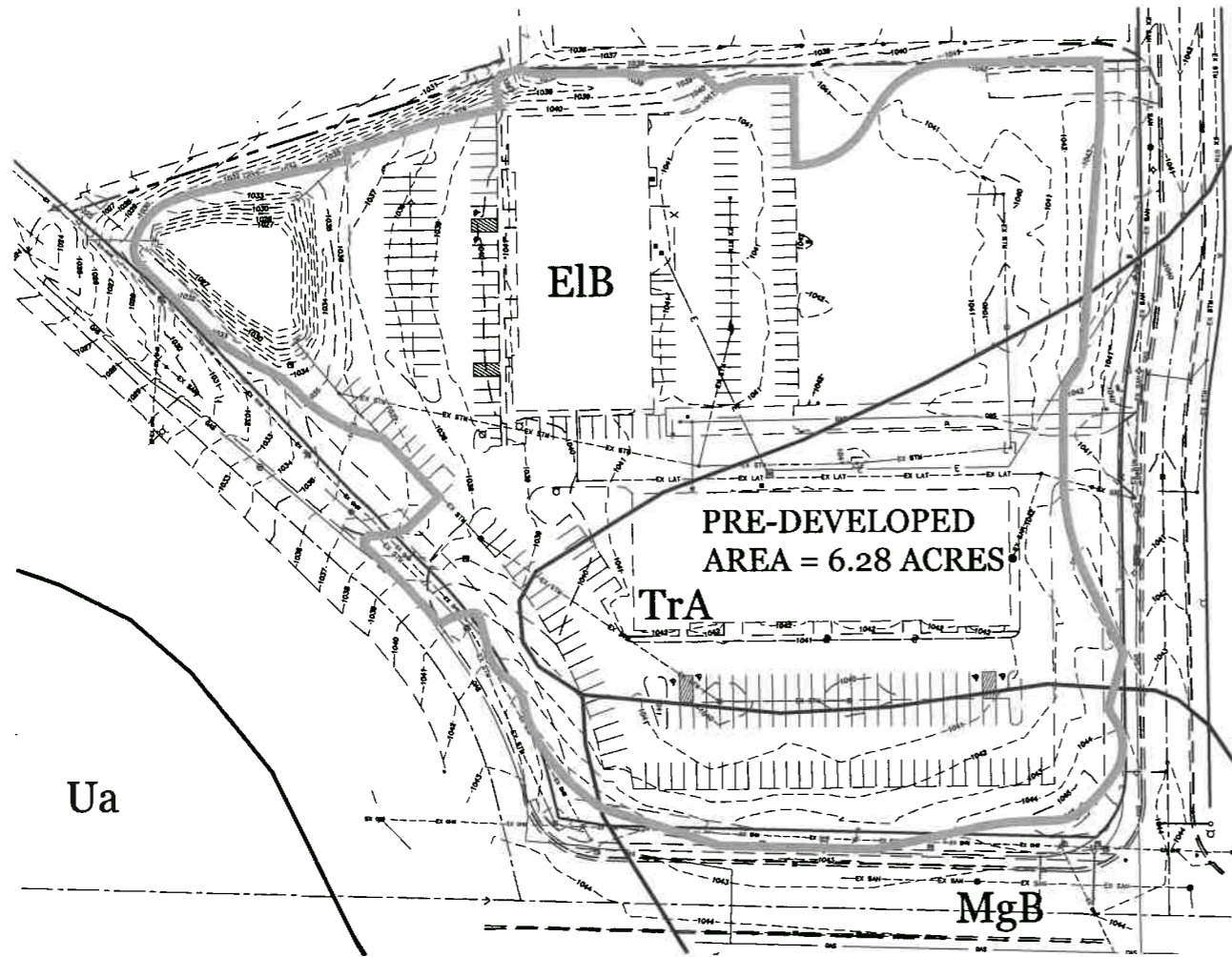
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FROST ROAD COMMERCE III  
NEW CONSTRUCTION  
525 FROST ROAD, STREETSBORO, OHIO

**PARTIAL SWP3**

**C106A**  
Project No. 2020-260

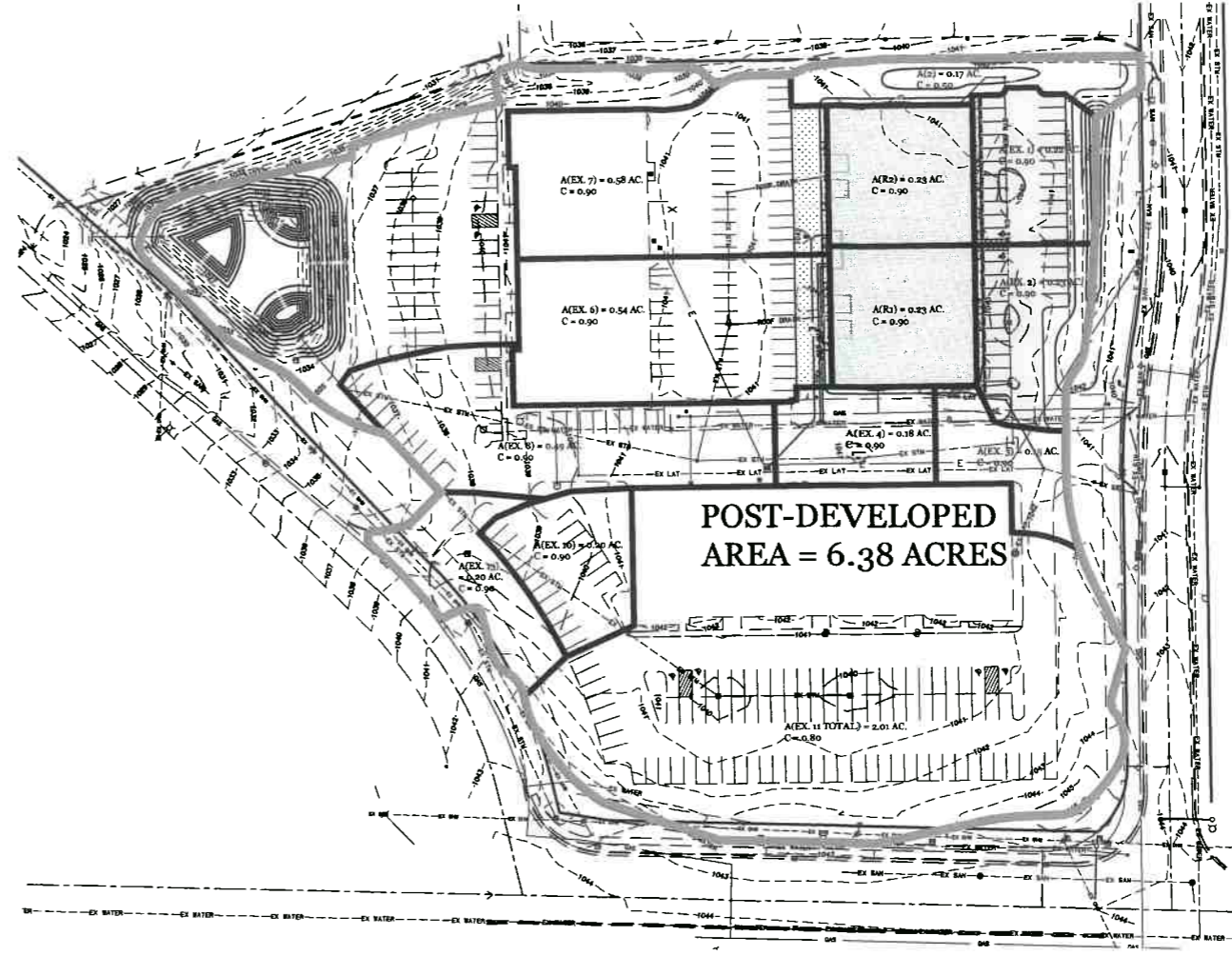




**PRE-DEVELOPED DRAINAGE MAP & SOILS MAP**

PRE-DEVELOPED: AREA = 6.28 AC., CN = 91, TC = 12 MIN.

- EIB - Ellsworth silt loam, 2 to 6 percent slopes
- MgB - Mahoning silt loam, 2 to 6 percent slopes
- TrA - Trumbull silt loam, 0 to 2 percent slopes
- Ua - Udorthents



**STORM DRAINAGE MAP & POST DEVELOPED DRAINAGE**

POST-DEVELOPED: AREA = 6.38 AC., CN = 94, TC = 12 MIN.

**STORM SEWER CALCULATIONS (10-YR)**

Page 1

Station	Line	Inlet	Drain Area	Slope	Flow	Velocity	Time	Tc	Rain Rate	Total Flow	Pipe	Invert Elev	HGL Elev	Slope / Rise Elev	Line ID							
																Area x C	Flow	Velocity	Time	Flow	Flow	Flow
1	End	48.480	0.48	8.40	0.90	0.44	4.84	10.0	14.5	4.2	19.36	36.87	6.72	24	2.82	1027.18	1028.40	1029.18	1029.96	1031.10	1035.80	Ex. 8 to Ex. 9
2	1	339.927	0.01	2.56	0.90	0.01	2.25	10.0	13.8	4.3	9.86	16.48	4.98	21	0.92	1028.40	1029.80	1029.86	1031.96	1036.80	1041.18	Ex. 8 to Ex. 9
3	2	113.337	0.18	0.86	0.90	0.18	0.80	10.0	12.8	4.8	3.97	10.85	3.83	16	0.91	1031.00	1032.03	1031.96	1041.10	1040.88	1040.88	Ex. 4 to Ex. 5
4	3	111.123	0.15	0.78	0.90	0.14	0.83	10.0	12.1	4.8	2.90	4.26	6.29	12	1.23	1032.86	1033.86	1033.18	1034.88	1040.88	1041.08	Ex. 3 to Ex. 4
5	4	41.808	0.01	0.83	0.90	0.01	0.80	10.0	11.9	4.8	2.29	2.88	4.80	10	1.48	1033.86	1034.87	1034.88	1036.25	1041.08	1040.90	Ex. 3 to Ex. 4
6	5	43.941	0.23	0.82	0.90	0.21	0.80	10.0	11.7	4.8	2.27	2.88	4.80	10	1.48	1034.87	1036.22	1036.25	1036.88	1040.88	1040.90	Ex. 2 to 1
7	6	80.050	0.23	0.38	0.90	0.20	0.38	10.0	11.1	4.7	1.34	2.35	3.31	10	1.18	1035.22	1036.32	1036.88	1036.84	1040.88	1040.88	Ex. 1 to Ex. 2
8	7	80.050	0.17	0.17	0.90	0.08	0.08	10.0	10.0	5.0	0.42	1.35	2.48	8	1.68	1036.48	1037.33	1037.84	1037.83	1040.88	1040.88	Ex. 1 to Ex. 1
9	2	86.873	0.94	1.58	0.90	0.48	1.42	10.0	11.0	4.8	8.78	13.23	8.51	13	3.37	1032.30	1036.88	1032.84	1036.81	1041.10	1038.88	Ex. 8 to Ex. 6
10	9	84.487	0.98	0.81	0.90	0.52	0.73	10.0	10.4	4.8	3.58	7.27	3.80	15	1.08	1038.88	1038.88	1038.81	1037.84	1036.88	1040.88	Ex. 7 to Ex. 6
11	10	73.108	0.23	0.23	0.90	0.21	0.21	10.0	10.0	5.0	1.03	1.31	3.88	8	1.00	1037.46	1038.18	1037.81	1036.87	1040.88	1042.08	RD-3
12	8	73.088	0.23	0.23	0.90	0.21	0.21	10.0	10.0	5.0	1.03	1.91	3.88	8	2.14	1036.44	1036.48	1036.88	1036.88	1042.08	RD-1	
13	1	143.452	0.40	2.41	0.90	0.36	1.87	10.0	10.5	4.8	8.56	11.28	8.14	15	2.59	1030.10	1033.81	1034.88	1034.88	1038.01	1038.01	Ex. 10 to Ex. 6
14	13	255.588	2.01	2.01	0.90	1.81	1.81	10.0	10.0	5.0	7.86	8.92	6.80	15	0.88	1033.91	1036.82	1036.85	1037.73	1038.01	1038.42	Ex. 11 to Ex. 10

Project File: 2020-260 Storm 01A.dwg  
Number of Lines: 14  
Plot Date: 3/8/2021

NOTES: Intensity = 31.04 / (Inlet Area + 8.80) \* 0.78. Reason period = 10 min. 10 : c = ch : s = slope : b = base



Scale: 1" = 60'

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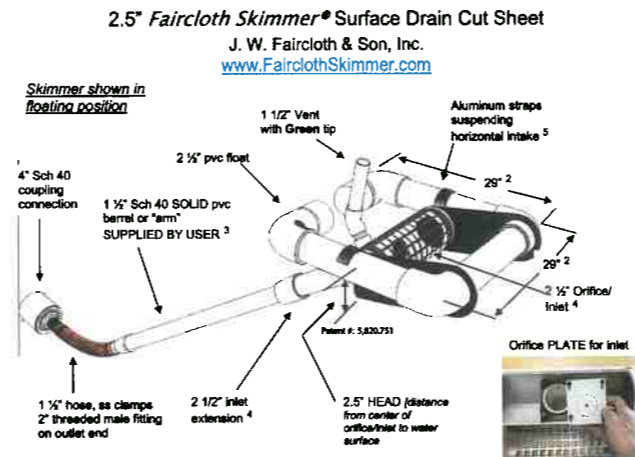
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FROST ROAD COMMERCE III  
NEW CONSTRUCTION  
525 FROST ROAD, STREETSBORO, OHIO

SWP3  
DETAILS

**C107**  
Project No. 2020-260

Sediment Basin Data	
<b>Basin Number</b>	
A. Total Contributing Watershed (ac.)	6.38
B. Disturbed Area (ac.)	1.89
C. Req. Dewatering Volume (A x 1,800 cu. ft./ac.)	11,484
D. Req. Sediment Storage Zone Vol. (B <sup>3</sup> / 1000)	1,890
E. Total Required Capacity (C+D in cu ft.)	13,374
F. Dewatering Volume Provided (cu. ft./ac.)	22,252
G. Sediment Storage Provided (cu. ft./ac.)	5,455
H. Total Storage Provided in Crest of Riser (cu. ft./ac.)	27,708
<b>Principal Spillway</b>	
Req. Principal Spillway Capacity (10 yr-24hr storm) (cfs)	24.66
Principal Spillway Capacity Provided (cfs)	94.86
Principal Spillway Elevation	1029.42
Riser (inches)	24"
Diameter of Barrel (inches)	24"
Volume of Concrete to Prevent Riser Flotation (cu. ft.)	25
<b>Outlet Type</b>	
Drawdown Time (Hours must exceed 48 hr drawdown)	72
Mark selected outlet type (X)	
A. Non-perforated Riser with Stub & Faircloth Skimmer	X
(Orifice size in inches)	2
Stone pad provided at top of Sediment storage	X
B. Protected Single Orifice	
(Orifice size in inches)	
C. Perforated Riser	
Hole size (inches)	
Number of Holes	
Protection of Perforations - no holes (<3/4") typ. need anti-clogging measure - aggregate > than hole size or wire cloth/fence & geotextile	
<b>Bottom Elevation</b>	
Bottom Elevation	1022.00
Sediment Storage Zone Elevation	1025.92
Crest of Principal Spillway Elevation (Min. 1 ft. below crest E. S.)	1029.42
Pond Depth at Riser (ft., ideally 3'-5')	7.42
Top of Embankment Elevation	1032.80
Embankment Side Slopes (Max 2:1, combined 5:1)	2:1 - 3:1
Embankment Top Width (ft.)	10
<b>Req. Emergency Spillway Capacity (25 yr-24hr storm) (cfs)</b>	
Req. Emergency Spillway Discharge (25 yr-24 hr storm less Principal S.)	-64.63
Emergency Spillway Capacity Provided (cfs)	56.00
Emergency Spillway Elevation	1031.80
Emergency Spillway Bottom Width	20.00
Emergency Spillway Lining	Vegetative
<b>Rock Outlet Protection (Size, gradation and quality of rock)</b>	
Length	10.00
Width	5.00
Depth	1.50
Gradation - O.D.O.T. unless specified otherwise	C



- Skimmer can be attached to a straight 4" sch 40 pipe through the dam but the pipe may need to be anchored to the bottom at the connection so it is secure. Coupling can be removed and hose attached to outlet using the threaded 2" fitting. Typical methods used: a) a metal structure with a steel stub out welded on the side at the bottom with a 2" threaded coupling or reducer(s); b) a concrete structure with a hole or orifice at the bottom - use a steel plate with a hole cut in it and coupling welded to it that will fit over the hole in the concrete and bolted to the structure with sealant; or c) grout a 4" pvc pipe in a hole in the concrete to connect the skimmer.
- Dimensions are approximate, not intended as plans for construction.
- Barrel (solid, not foam core pipe) should be 1.4 times the depth of water with a minimum length of 6' so the inlet can be pulled to the side for maintenance. If more than 8' long weight may have to be added to inlet to counter the increased buoyancy.
- Orifice/inlet tapers down from 2 1/2" maximum inlet to a 1 1/2" barrel and hose. Barrel is smaller to reduce buoyancy and tendency to lift inlet but is sufficient for flow through inlet because of slope. The orifice/inlet can be reduced using the plate and cutter provided to control the outflow rate - see #6.
- Horizontal intake is 5" pipe between the straps with aluminum screen door for access to the 2 1/2" inlet and orifice inside.
- Capacity: 6,234 cubic feet per day maximum with 2 1/2" inlet and 2.5 head. Inlet can be reduced by installing a smaller orifice using the plate and cutter provided to adjust flow rate for the particular drawdown time required. Please use the sizing template at [www.fairclothskimmer.com](http://www.fairclothskimmer.com).
- Ships assembled. User glues inlet extension and barrel, installs vent, cuts orifice in plate and attaches to outlet pipe or structure. Includes float, flexible hose, rope, and orifice plate and cutter. Does NOT include 1 1/2" Sch 40 SOLID pvc barrel or "arm" SUPPLIED BY USER.

2-Sinccut 5-1-19

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TEMPORARY SEDIMENT CONTROL CALCULATIONS

Use a Temporary Skimmer

Total Drainage Area:	6.38 Ac.
Disturbed Earth Area:	1.89 Ac.
Sediment Storage Volume Required (1,000 C.F./Ac.):	1,890 C.F.
Sediment Storage Volume Provided Below Skimmer Orifice:	5,455 C.F.
Dewatering Volume Required (1,800 C.F./Ac.):	11,484 C.F.
Dewatering Volume Provided Below Principal Spillway:	22,252 C.F.
Design Detention Volume:	58,712 C.F.
Bottom of Temporary Sediment Basin:	1022.00
Invert of Skimmer device:	1025.92
Bottom of Detention Pond:	1025.92
Cleanout Elevation:	1023.57
Set Crest of Principal Spillway at:	1029.42
Set Crest of Emergency Spillway at:	1031.80
Top of Bank:	1032.80

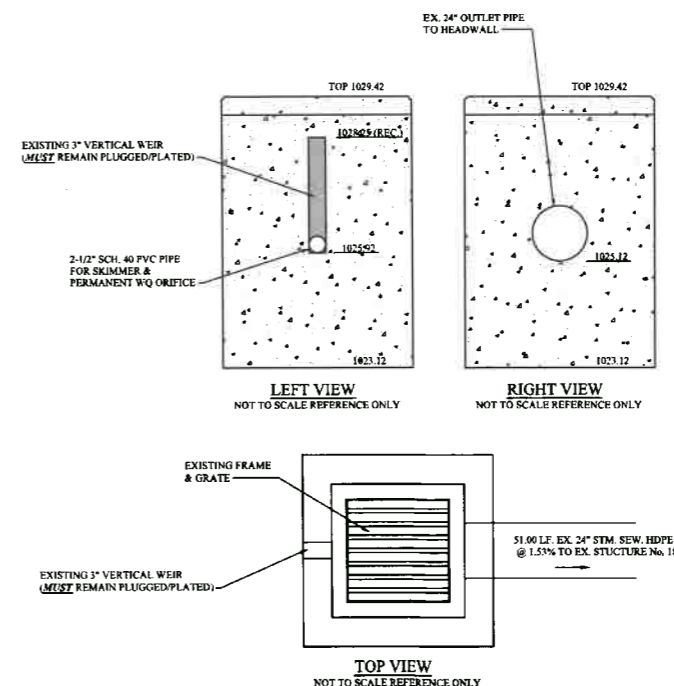
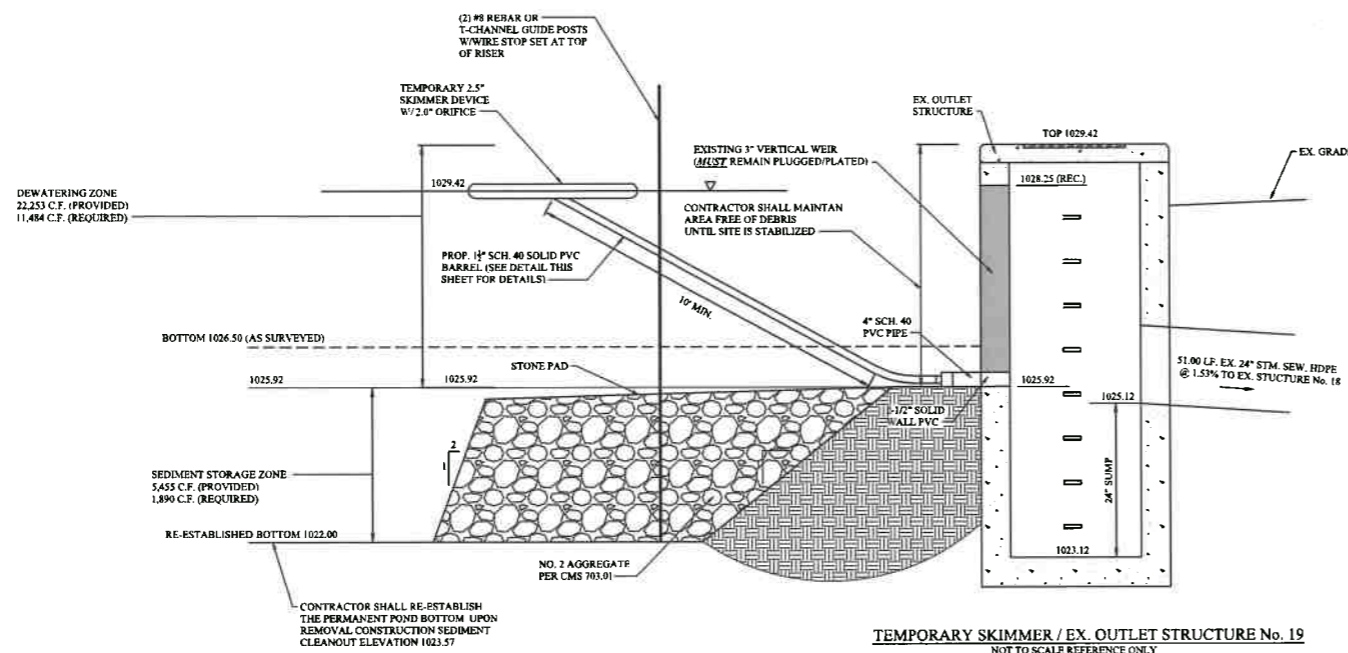
TEMPORARY SEDIMENT CONTROL VOLUME CALCULATIONS

Elevation	Area S.F.	Volume (C.F.)	Volume Sum (C.F.)		Spillway Design
			Area	Volume	
			39.95	100-yr Peak Flow C.F.S.	
			1.00	Spillway Height, Ft.	
			20.00	Spillway Width, Ft.	
BOT	1022.00	434	0	0	
	1023.00	870	652	652	
	1024.00	1,325	1,097	1,749	
	1025.00	1,879	1,602	3,351	
DEW	1025.92	2,695	2,104	5,455	
	1027.00	5,567	4,461	9,916	
	1028.00	7,248	6,407	16,323	
	1029.00	8,257	7,752	24,075	
	1030.00	9,321	8,789	32,854	
	1031.00	10,625	9,973	42,837	
	1032.00	11,870	11,247	54,085	
TB	1032.80	12,726	9,838	63,923	

TEMPORARY SKIMMER DEVICE

Calculate Skimmer Size	Basin Volume in Cubic Feet	11,484 Cu.Ft.	Skimmer Size	2.5 Inch
Days to Drain*		3 Days	Orifice Radius	1.0 Inch(es)
			Orifice Diameter	2.0 Inch(es)

\*The NC assumes 2 (two) hr drain



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 matt@webercivil.com

STATE OF OHIO  
 MATTHEW WEBER  
 61709  
 PROFESSIONAL ENGINEER  
 Reg. No.: 61709

CLIENT:  
  
 10020 AURORA HUDSON ROAD  
 STREETSBORO, OHIO 44241  
 330.528.3500

OWNER:  
 DCF REAL ESTATE, LTD  
 10020 AURORA HUDSON RD.  
 STREETSBORO OH 44241

Issue Date  
 12-31-2020  
 03-08-2021  
 FROST ROAD COMMERCE III  
 NEW CONSTRUCTION  
 525 FROST ROAD, STREETSBORO, OHIO

SWP3  
 DETAILS

C108  
 Project No. 2020-260



Reg. No.: 61709

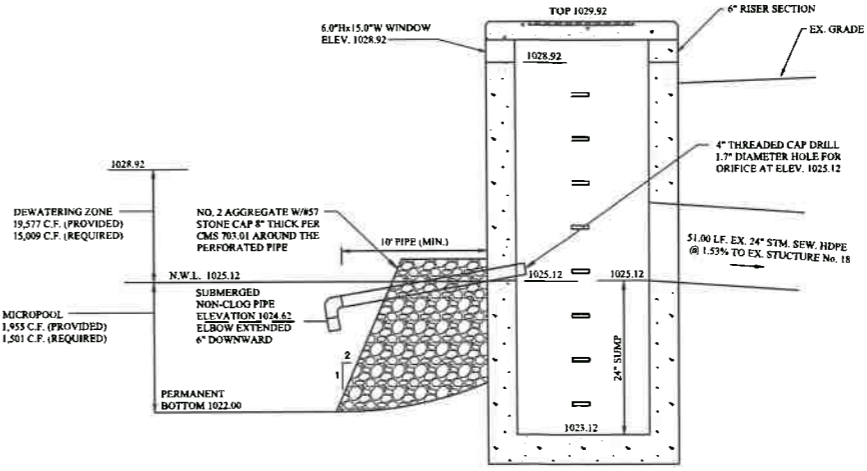
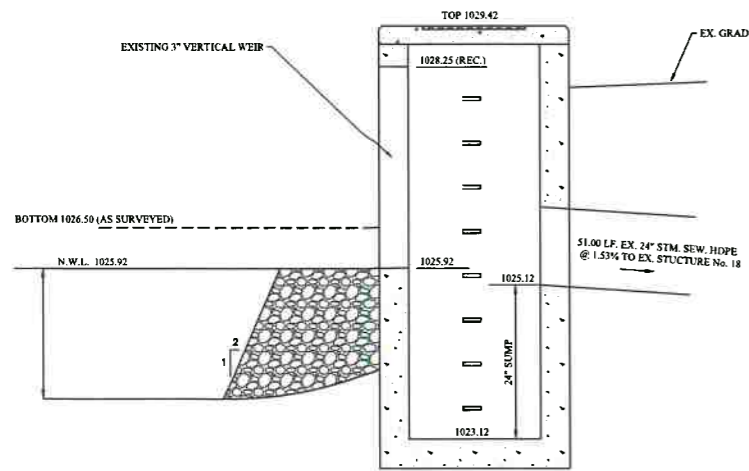
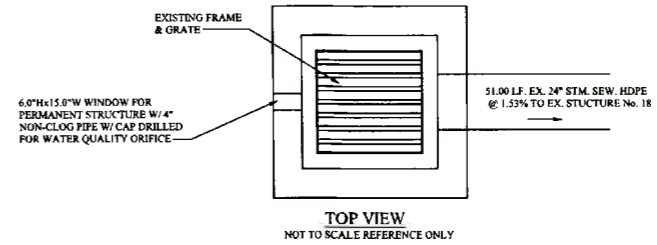
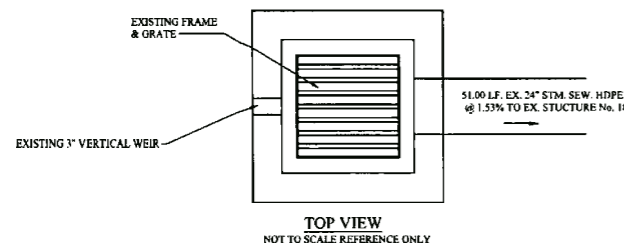
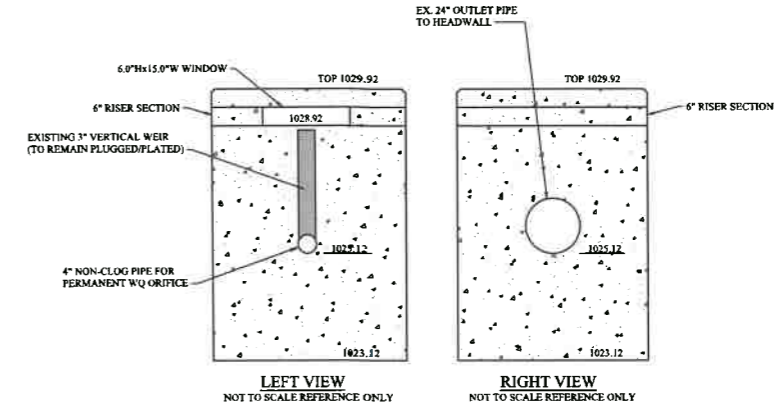
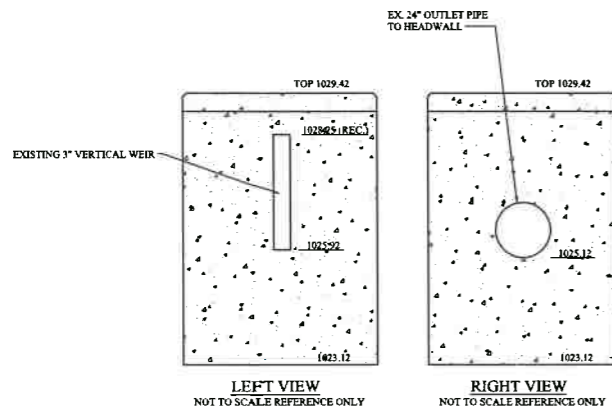
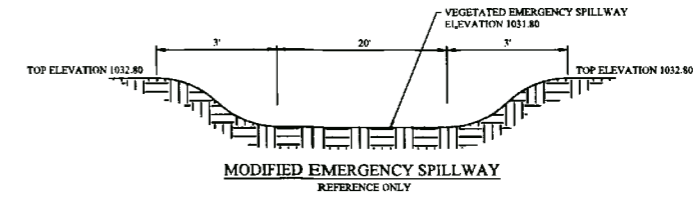
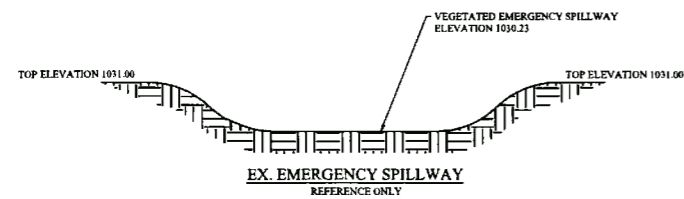
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C108A  
 Project No. 2020-260



EXISTING OUTLET STRUCTURE No. 19  
 NON-CLOG FIGURE 2.63 OF OHIO RAINWATER AND LAND DEVELOPMENT MANUAL  
 REFERENCE ONLY

MODIFIED OUTLET STRUCTURE No. 19  
 NON-CLOG FIGURE 2.63 OF OHIO RAINWATER AND LAND DEVELOPMENT MANUAL  
 REFERENCE ONLY

**Project and Watershed Information: WQV Calculation**  
 version 1.1 2016-10-23

Project Name: Frost Road Commerce III  
 Project Location: Streetsboro, Ohio  
 Project Latitude: 41.393003  
 Project Longitude: -81.23432  
 WQDES Permit Application:  
 Submitted by: MW  
 Date: 3/8/2021

Subwatershed ID/Label: Modified Pond  
 Subwatershed Drainage Area,  $A_{SD}$ : 6.38 acres = 277,913 ft<sup>2</sup>  
 Subwatershed Impervious Area,  $A_{SI}$ : 4.75 acres = 206,910 ft<sup>2</sup>  
 Imperviousness fraction,  $f$ : 0.74  
 Volumetric Runoff Coefficient,  $R_v$ : 0.32  
 Water Quality Volume,  $WQV$ : 15,809 ft<sup>3</sup>

**Dry Extended Detention Basin WQV Compliance Tool**  
 version 1.1 2016-10-23

Project Name: Frost Road Commerce III  
 Subwatershed ID/Label: Modified Pond  
 Submitted by: MW  
 Date: 3/8/2021

Subwatershed Drainage Area,  $A_{SD}$ : 6.38 acres = 277,913 ft<sup>2</sup>  
 Subwatershed Impervious Area,  $A_{SI}$ : 4.75 acres = 206,910 ft<sup>2</sup>  
 Imperviousness fraction,  $f$ : 0.74  
 Water Quality Volume,  $WQV$ : 15,809 ft<sup>3</sup>

Soil Series: Elsworth silt loam  
 HSG: D

**Step 2 - Dry ED Basin Volume Requirements**

Extended Detention Volume,  $EDV$ : 15000 ft<sup>3</sup>  
 Minimum Sediment Storage Volume,  $V_{SED}$ : 2000 ft<sup>3</sup>  
 Minimum Forebay Volume,  $V_{FB}$ : 1500 ft<sup>3</sup>  
 Minimum Permanent Micropool Volume,  $V_{MP}$ : 3300 ft<sup>3</sup>

Elevation	Area	Incremental Volume	Cumulative Volume
ft	ft <sup>2</sup>	ft <sup>3</sup>	ft <sup>3</sup>
Bottom of Permanent Micropool = 1022.00	434		
(Include forebay area if below EDV)			
1023.00	870	688	688
1024.00	1,325	1,890	1,792
1025.00	1,671	1,894	3,686
1026.00	1,861	1,822	5,508
1027.00	2,095	2,038	7,546
1028.00	2,348	2,045	9,591
1029.00	2,625	2,047	11,638
1030.00	2,921	2,042	13,680
1031.00	3,234	2,030	15,710
1032.00	3,561	2,013	17,723
1033.00	3,901	1,991	19,714
1034.00	4,254	1,964	21,678
1035.00	4,621	1,932	23,610
1036.00	5,001	1,895	25,505
1037.00	5,394	1,853	27,358
1038.00	5,801	1,806	29,164
1039.00	6,221	1,754	30,918
1040.00	6,654	1,697	32,615
1041.00	7,101	1,635	34,250
1042.00	7,561	1,568	35,818
1043.00	8,034	1,496	37,314
1044.00	8,521	1,419	38,733
1045.00	9,021	1,337	40,070
1046.00	9,534	1,250	41,320
1047.00	10,061	1,158	42,478
1048.00	10,601	1,061	43,539
1049.00	11,154	959	44,498
1050.00	11,721	852	45,350

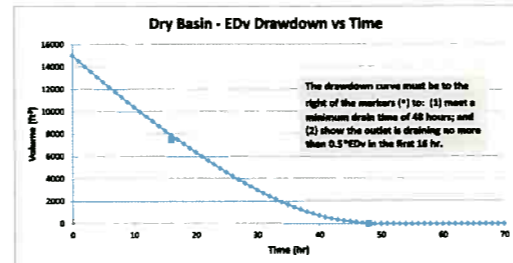
**Step 3 - WQV Treatment and Storage**

WQ Office Invert Elevation = 1025.12  
 Elevation at Top of EDV = 1029.92  
 Secondary Outlet Invert Elevation = 1023.12

WQ Treatment Volume Provided,  $V_{WP}$ : 18,577 ft<sup>3</sup>  
 Treatment Vol Provided Relative to EDV,  $V_{WP}/EDV$ : 1.24  
 Permanent Pool Volume Provided,  $V_{PPV}$ : 8,553 ft<sup>3</sup>  
 Forebay Volume Provided,  $V_{FB}$ : 1,800 ft<sup>3</sup>  
 Is forebay volume below WQ outlet? (Yes or No): Yes  
 Permanent Micropool Volume Provided,  $V_{MP}$ : 1,800 ft<sup>3</sup>  
 Ratio  $V_{FB}/V_{MP}$  Provided to  $V_{FB}/V_{MP}$  Required: 1.30  
 Sediment Storage Volume Provided,  $V_{SED}$ : 2,000 ft<sup>3</sup>  
 Ratio  $V_{SED}$  Provided to  $V_{SED}$  Required: 1.18

**Step 4 - Outlet Structure Design**

Maximum Hydraulic Head,  $H_{max}$ : 8.23 ft  
 Orifice Coefficient,  $C_d$ : 0.6  
 Target (Minimum) Draw-Down Time,  $T_d$ : 48 hr  
 Target Average Discharge,  $Q_{avg}$ : 0.05 cfs  
 Average Hydraulic Head,  $H_{avg}$ : 1.62 ft  
 Estimated Orifice Area,  $A_{or}$ : 2.06 ft<sup>2</sup>  
 Estimated Orifice Diameter,  $D_{or}$ : 1.61 ft  
 Design Orifice Diameter,  $D_{des}$ : 1.70 ft  
 Time to Completely Drain EDV,  $T_c$ : 48 hr  
 Volume Drained in First 24 Hr,  $V_{24}$ : 7,881 ft<sup>3</sup>  
 % of EDV: 47.3%



OHIO EPA PERMIT NO. OHC000005

PART III G. SWP3 REQUIREMENTS

- a. COMMERCIAL BUILDING EXPANSION
b. TOTAL SITE AREA - 6.98 AC. - DISTURBED AREA = 1.89 AC.
c. PRE-CONSTRUCTION CURVE NUMBER - CN = 91;
POST-CONSTRUCTION CURVE NUMBER - CN = 94
d. IMPERVIOUS AREA = 4.91 AC. (ENTIRE SITE). PERCENT IMPERVIOUS = 70.3%.
e. SOIL TYPES:
E1B - Ellsworth silt loam, 2 to 6 percent slopes
MgB - Mahoning silt loam, 2 to 6 percent slopes
T1A - Trumbull silt loam, 0 to 2 percent slopes
Ua - Udorhts
f. PRIOR LAND USE: VACANT LAND (PREVIOUSLY DESIGNED FOR DEVELOPMENT)
g. CONSTRUCTION SEQUENCE - SEE IMPROVEMENT PLANS
h. UNNAMED TRIBUTARY TO TINKERS CREEK
i. NOT SUBDIVIDED (MEASURES IDENTIFIED ON PLANS)
j. NOT APPLICABLE
k. PERMIT REQUIREMENTS ATTACHED. (FIELD COPY)
l. IDENTIFIED ON SHEET C106
m. IDENTIFIED ON SHEET C106
n. SITE MAP SHOWN ON PLANS

- (i) LIMITS OF CONSTRUCTION IDENTIFIED ON THE PLANS (LC).
(ii) SOIL TYPES IDENTIFIED ON THE PLANS
(iii) DRAINAGE WATER SHEDS IDENTIFIED ON THE PLANS.
(iv) NO SPRINGS, LAKES OR WATER WELLS WITHIN 200 FEET OF THE SITE.
(v) EXISTING & PLANNED LOCATIONS OF BUILDINGS, ROADS, PARKING FACILITIES AND UTILITIES ARE IDENTIFIED ON THE PLANS.
(vi) EROSION AND SEDIMENT CONTROL PRACTICES ARE IDENTIFIED ON THE PLANS.
(vii) SEDIMENT & STORM WATER MANAGEMENT DATA IS IDENTIFIED ON THE PLANS.
(viii) PERMANENT STORM WATER MANAGEMENT PRACTICES ARE IDENTIFIED ON THE PLANS.
(ix) CEMENT TRUCK WASHOUT, DUMPSTER & VEHICLE FUELING AREA ARE IDENTIFIED ON THE PLANS.
(x) CONSTRUCTION ENTRANCE IS IDENTIFIED ON THE PLANS.
(xi) NOT APPLICABLE.

- A. NOT APPLICABLE.
B. TEMPORARY SEEDING AND PERMANENT SEEDING MEASURES ARE IDENTIFIED ON THE PLANS.
(i) TABLE 1 & TABLE 2 HAVE BEEN IDENTIFIED ON THE PLANS.
(ii) NOT APPLICABLE.

- C. SHEET FLOW RUNOFF HAS BEEN CONTROLLED BY MEANS OF SILT FENCE AND DIRECTED TOWARDS UNDISTURBED SOILS. POINT DISCHARGES HAVE BEEN CONTAINED WITHIN STORM SEWERS.
D. SEDIMENT CONTROL HAS BEEN MANAGED BY MEANS OF SILT FENCE.
(i) NOTED THROUGHOUT THE PLANS.
(ii) SILT FENCE UTILIZED.
(iii) SILT FENCE IS IDENTIFIED ON THE PLANS.
(iv) INLET PROTECTION IS IDENTIFIED ON THE PLANS.
(v) NOT APPLICABLE.
(vi) NOTED ON THE IMPROVEMENT PLANS.

- E. POST-CONSTRUCTION MAINTENANCE AND INSPECTION IS IDENTIFIED ON THE PLANS.
LARGE CONSTRUCTION ACTIVITIES - NOT APPLICABLE
SMALL CONSTRUCTION ACTIVITIES - RATIONALE IDENTIFIED ON PLANS
F. SURFACE WATER PROTECTION - NOT APPLICABLE
G. OTHER CONTROLS

- (i) CEMENT TRUCK WASHOUT AREA IS IDENTIFIED ON THE PLANS.
(ii) DUST CONTROL MEASURES AND VEHICLE TRACKING ARE IDENTIFIED ON THE PLANS.
(iii) ADDITIONAL NOTES ARE IDENTIFIED ON THE PLANS.
(iv) NOTED ON THE PLANS.
(v) NOTED ON THE PLANS.

- H. NOTED THROUGHOUT THE PLANS.
I. INSPECTION FREQUENCY AND INSPECTION CHECKLIST IS NOTED ON THE PLANS.
(i) NOTED ON THE PLANS.
(ii) NOTED ON THE PLANS.
(iii) STATEMENT NOTED.

- 3. APPROVED STATE OR LOCAL PLANS STATEMENT NOTED.
4. EXCEPTIONS STATEMENT NOTED.

CONSTRUCTION SEQUENCE

(ALL ITEMS ARE TO BE THE RESPONSIBILITY OF THE GENERAL SITE CONTRACTOR)

SITE PREPARATION

NOTE:

PROVIDE SAFE AND SECURE PEDESTRIAN AND VEHICULAR TRAFFIC CIRCULATION THROUGHOUT THE ENTIRETY OF THE CONSTRUCTION SEQUENCE WITH WELL DEFINED CONSTRUCTION BOUNDARIES TO BE ACCESSED BY CONSTRUCTION PERSONNEL ONLY. ALL EROSION CONTROLS ARE TO BE THOROUGHLY INSPECTED BY THE CONTRACTOR UPON THE COMPLETION OF EACH WORK DAY AND MAINTAINED THROUGHOUT THE REQUIRED LIFE OF THE CONTROL, AS SPECIFIED BY THE APPROVED EROSION AND SEDIMENTATION CONTROL PLANS AND NARRATIVE. THE CONTRACTOR MUST REVIEW THE APPROVED EROSION AND SEDIMENTATION CONTROL PLANS AND NARRATIVE. THE CONTRACTOR MUST REVIEW THE APPROVED NPDES PERMIT AND SIGN THE PERMIT TO ACCEPT RESPONSIBILITIES AS THE CO-PERMITTEE.

INITIAL PHASE (WITHIN 7 DAYS OF START OF GRUBBING)

- 1. INSTALL A TEMPORARY CONSTRUCTION ENTRANCE FOR ACCESS TO CONSTRUCTION AREAS OF SITE.
2. SETUP CONSTRUCTION TRAILER ON SITE AND ESTABLISH TEMPORARY POWER AND TELEPHONE SERVICE AS NECESSARY.
3. ALL TEMPORARY UTILITY SERVICES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
4. STAKEOUT LIMITS OF DISTURBANCE.
5. INSTALL TEMPORARY INLET PROTECTION ON ALL EXISTING CATCH BASINS WITHIN LIMITS OF CONSTRUCTION. REMOVE SILT PROTECTION FROM DESIGNATED INLETS ONLY WHEN INLET STRUCTURE IS TO BE REMOVED AS REQUIRED BY PROGRESSION OF CONSTRUCTION. REFER TO PLANS FOR IDENTIFICATION OF INLET STRUCTURES TO BE REMOVED.
6. INSTALL ALL FILTER FABRIC FENCE WHERE SHOWN ON PLANS.
7. BEGIN SITE CLEARING.
8. REMOVE TOPSOIL FROM AREAS OF BUILDING AND PAVEMENT.
9. BEGIN EARTHWORK OPERATIONS.
10. CONVERT EXISTING STORM WATER BASIN TO TEMPORARY BASIN.
11. IN THE EVENT OF RAIN, ALLOW STANDING WATER TO SETTLE PRIOR TO PUMPING. UTILIZE THE PUMPING SYSTEMS TO PUMP POLLUTED WATER PER E.P.A. REQUIREMENTS. ALLOW ONLY CLEAN WATER TO BE DISCHARGED TO THE EXISTING DRAINAGE SYSTEM. REMOVE SILT FROM BASINS AS NECESSARY PRIOR TO CONTINUING EARTHWORK. MATERIAL SHOULD BE MECHANICALLY SPREAD AND DRIED PRIOR TO INCORPORATION INTO THE EARTHWORK PROCEDURES. ADEQUACY OF THE DRIED MATERIAL IS TO BE DETERMINED BY A GEOTECHNICAL ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE AND ENSURE THAT PROPER MECHANISMS ARE IN PLACE TO CONTROL WASTE MATERIALS. CONSTRUCTION WASTES INCLUDES, BUT ARE NOT LIMITED TO, EXCESS SOIL MATERIALS, BUILDING MATERIALS, CONCRETE WASH WATER, SANITARY WASTES, ETC., THAT COULD ADVERSELY IMPACT WATER QUALITY. MEASURES SHALL BE PLANNED AND IMPLEMENTED FOR HOUSEKEEPING, MATERIALS MANAGEMENT, AND LITTER CONTROL. WHEREVER POSSIBLE, RECYCLING OF EXCESS MATERIALS IS PREFERRED, RATHER THAN DISPOSAL.

INTERIM PHASE GENERAL CONSTRUCTION

- 1. MAINTAIN TEMPORARY CONTROLS UNTIL REMOVAL IS WARRANTED DUE TO PROGRESSION OF WORK.
2. BEGIN EARTHMOVING OPERATIONS. CONTRACTOR IS RESPONSIBLE FOR NOTIFYING THE COUNTY CONSERVATION DISTRICT OF LOCATION AND EROSION AND SEDIMENTATION CONTROL MEASURES IMPLEMENTED AT BORROW OR SPOIL SITE OF IMPORT/EXPORT MATERIAL. THE CONTRACTOR IS TO COORDINATE WITH OWNER THE PLACEMENT OF SUCH MEASURES.
3. STORM SEWER, SANITARY SEWER, WATER LINE AND UTILITY LINE CONSTRUCTION MAY BEGIN IMMEDIATELY FOLLOWING ESTABLISHMENT OF GRADE AND WITH THE PERMISSION OF THE OWNER.
4. STABILIZE ALL UTILITY TRENCHES AT THE END OF EACH WORKDAY BY MEANS OF GRAVEL BACKFILL TO SURFACE, REPAVING OR MULCHING.
5. REPLACE TOPSOIL, FINE GRADE AND SEED AS REQUIRED.
6. STABILIZE ALL DISTURBED AREAS WITH PERMANENT SEED AND MULCHING OR CROWN/VETCH SEEDING IMMEDIATELY UPON REACHING FINAL GRADE.
7. INSTALL PAVEMENT SUBBASE.
8. BEGIN BITUMINOUS PAVING. REMOVING TEMPORARY CONSTRUCTION ENTRANCE ONLY WHEN NECESSARY.
9. RESEED AND REDRESS ANY AREAS THAT MAY REQUIRE ATTENTION IMMEDIATELY. NOTE THAT LAWN AREAS WILL NOT BE DEEMED STABLE UNTIL A UNIFORM 80% COVERAGE IS ACHIEVED.
10. ALL EROSION MEASURES SHALL REMAIN IN PLACE UNTIL THE SITE IS STABILIZED. ALL AREAS OF VEGETATIVE SURFACE STABILIZATION, WHETHER TEMPORARY OR PERMANENT, SHALL BE CONSIDERED TO BE IN PLACE AND FUNCTIONAL WHEN THE REQUIRED UNIFORM RATE OF COVERAGE (80%) IS OBTAINED.

FINAL PHASE POST-PAVING BASIN CONVERSION

- 1. IF, FOR ANY REASON, THE PROJECT IS SUSPENDED, THE CONTRACTOR SHALL INSURE THAT ALL INSTALLED EROSION MEASURES ARE FUNCTIONING AND PROPERLY MAINTAINED DURING THIS PERIOD, AND THAT ALL BARED SOILS ARE SEEDDED AND MULCHED WITH TEMPORARY SEED MIXTURE.
2. THE FOLLOWING ITEMS MUST BE COMPLETED BY THE CONTRACTOR, IN ORDER, ONCE THE SITE HAS BEEN DEEMED STABLE:
A. REMOVE SEDIMENT CONTROL DEVICES AND ESTABLISH WATER QUALITY CONTROL ORIFICE.
B. REMOVE TEMPORARY CONSTRUCTION ENTRANCE PRIOR TO COMPLETION OF PAVING.
C. SITE CLEAN UP.
D. RESEED ANY AREAS THAT REQUIRE ADDITIONAL SEED
E. FILTER FENCES ARE TO BE CLEANED, REMOVED, BACKFILLED AND SEEDDED WITH PERMANENT SEEDING.
F. VERIFY POSITIVE CONVEYANCE FLOW IN ALL DRAINAGE STRUCTURES.

SPECIFICATIONS FOR TEMPORARY SEEDING

TEMPORARY SEEDING SPECIES SELECTION table with columns: SEEDING DATES, SPECIES, LB/1000 FT^2, LB/ACRE. Rows include March 1 to August 15 and August 16th to November, listing species like oats, tall fescue, annual ryegrass, etc.

SEEDING DATES AND SOIL CONDITIONS

- 1. SEEDING SHOULD BE DONE MARCH 1 TO MAY 31 OR AUGUST 1 TO SEPTEMBER 30. IF SEEDING OCCURS OUTSIDE OF THE ABOVE SPECIFIED DATES, ADDITIONAL MULCH AND IRRIGATION MAY BE REQUIRED TO ENSURE SUCCESSFUL SEED GERMINATION. TILLAGE FOR SEEDBED PREPARATION SHOULD BE STOPPED WITHIN 72 HOURS OF THE SEEDING DATE AND NOT FORM RIBBONS WHEN COMPLETED BY HAND. PRIOR TO SEEDING, SEE THE FOLLOWING SECTION ON DORMANT SEEDING.
2. STRUCTURAL EROSION AND SEDIMENT CONTROL PRACTICES SUCH AS DIVERSIONS AND SEDIMENT TRAPS SHALL BE INSTALLED AND STABILIZED WITH TEMPORARY SEEDING PRIOR TO GRABBING THE REST OF THE CONSTRUCTION SITE.
3. TEMPORARY SEED SHALL BE APPLIED BETWEEN CONSTRUCTION OPERATIONS ON SOIL THAT WILL NOT BE GRADED OR REWORKED FOR 14 DAYS OR MORE. THESE IDEAL AREAS SHOULD BE RESEED AS SOON AS POSSIBLE AFTER GRABBING OR SHALL BE RESEED WITHIN 72 HOURS AFTER APPLICATIONS OF TEMPORARY SEEDING ARE NECESSARY ON TYPICAL CONSTRUCTION PROJECTS.
4. SOIL AMENDMENTS - APPLICATIONS OF TEMPORARY VEGETATION SHALL ESTABLISHED ADEQUATE STANDS OF VEGETATION WHICH MAY REQUIRE THE USE OF SOIL AMENDMENTS. SOIL TESTS SHOULD BE TAKEN ON THE SITE TO DETERMINE THE NEED FOR LIME AND FERTILIZER.
5. SEEDING METHOD - SEED SHALL BE APPLIED UNIFORMLY WITH A CYCLONE SEEDER. SMALL CULTIPACKER SEEDER, OR HYDROSEEDER, WHEN FEASIBLE, SEED THAT IS BEING BROADCAST SHALL BE COVERED BY RAKING OR DRAGGING AND THEN LIGHTLY TAMPED INTO PLACE USING A ROLLER OR CULTIPACKER. IF HYDROSEEDING IS USED, THE SEED AND FERTILIZER WILL BE MIXED ON-SITE AND THE SEEDING SHALL BE DONE IMMEDIATELY WITHIN 24 HOURS.

MULCHING TEMPORARY SEEDING

- 1. APPLICATIONS OF TEMPORARY SEEDING SHALL INCLUDE MULCH WHICH SHALL BE APPLIED DURING OR IMMEDIATELY AFTER SEEDING. SEEDING SHALL BE DONE PRIOR TO GRABBING AND WITH FAVORABLE SOIL CONDITIONS AND ON VERY FLAT SOIL CONDITIONS MAY NOT NEED MULCH TO ACHIEVE ADEQUATE STABILIZATION.
2. MATERIALS: STRAW - IF STRAW IS USED, IT SHALL BE UNROTTED SMALL-GRAIN APPLIED AT 2 TONS/AC OR 90 LB./1,000 SQ. FT. (TWO TO THREE BALES). THE MULCH SHALL BE SPREAD UNIFORMLY BY HAND OR MECHANICALLY TO THE SOIL SURFACE IS COVERED. FOR UNIFORM DISTRIBUTION OF MULCH, STRAW SHOULD BE SPREAD IN TWO 10-10 FT. STRIPS AND SPREAD TWO 45 LB. BALES OF STRAW IN EACH SECTION. HYDROSEEDERS - IF WOOD CELLULOSE FIBER IS USED, IT SHALL BE USED AT 2,000 LB./AC OR 46 LB./1,000 SQ. FT. OTHER ACCEPTABLE MULCHES INCLUDE MULCH MATERIALS APPLIED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS OR WOOD CHIPS APPLIED AT 4 TONS/AC.
3. STRAW MULCH SHALL BE ANCHORED IMMEDIATELY TO MINIMIZE LOSS BY WIND OR WATER. ANCHORING METHODS: MECHANICALLY - A DISC, CRIMPER OR SIMILAR TYPE TOOL SHALL BE SET STRAIGHT TO PUNCH OR ANCHOR THE MULCH MECHANICALLY INTO THE SOIL. STRAW MECHANICALLY ANCHORED SHALL NOT BE FINELY CHIPPED BUT GENERALLY BE LEFT LONGER THAN 6 IN. MULCH NETTING - NETTING SHALL BE USED ACCORDING TO THE MANUFACTURER'S RECOMMENDATION. NETTING MAY BE NECESSARY TO HOLD MULCH IN PLACE IN AREAS OF CONCENTRATED RUNOFF AND TO PREVENT EROSION AND DAMAGE TO SEEDING AREAS FROM EXCESSIVE RUNOFF. SYNTHETIC BINDERS - SYNTHETIC BINDERS SUCH AS ACRYLIC OR ACRYLIC/TAOL/PCA-TM, PETROLEUM TERRA TACK OR EQUIVALENT MAY BE USED AT RATES SPECIFIED BY THE MANUFACTURER.

BMP INSPECTION CHECKLIST

BMP INSPECTION CHECKLIST table with columns: BMP, FREQUENCY, NOTES. Rows include GENERAL INSPECTION, STORM WATER BASIN, VEGETATION, SILT FENCE.

REGULAR INSPECTION AND MAINTENANCE WILL BE PROVIDED FOR ALL EROSION AND SEDIMENT CONTROL PRACTICES. PERMANENT RECORDS OF MAINTENANCE AND INSPECTIONS MUST BE KEPT THROUGHOUT THE CONSTRUCTION PERIOD. INSPECTIONS MUST BE MADE A MINIMUM OF ONCE EVERY 7 DAYS AND IMMEDIATELY AFTER STORM EVENTS GREATER THAN 0.5 INCHES OF RAIN IN A 24 HOUR PERIOD. PROVIDED WILL BE NAME OF INSPECTOR, MAJOR OBSERVATIONS, DATED OF INSPECTION AND CORRECTIVE MEASURES TAKEN. RECORDS SHALL BE SUBMITTED TO THE CITY OF STREETSBORO ENGINEERING DEPARTMENT FOR REVIEW BY MAY 1ST OF EACH YEAR.
ALL CONTROL PRACTICES THAT REQUIRE REPAIR SHALL BE REPAIRED WITHIN THREE (3) DAYS OF THE INSPECTION.

ADDITIONAL SWP3 CONSIDERATIONS

NO OPEN BURNING
DUST CONTROL SHALL BE ACHIEVED BY USE OF WATERING TRUCKS. USE OF OIL IS STRICTLY PROHIBITED. INLET PROTECTION MUST BE IMPLEMENTED PRIOR TO DUST CONTROL MEASURES.
IN THE EVENT OF A PETROLEUM SPILL (>25 GALLONS) OR THE PRESENCE OF OIL SHEEN, THE CONTRACTOR SHALL CONTACT THE OHIO E.P.A. AT 800-282-9378, THE LOCAL FIRE DEPARTMENT.
SMALL SPILLS (<25 GALLONS) SHALL BE CLEANED UP USING AN ABSORBING AGENT, THE ABSORBING AGENT REMOVED AND DISPOSED OF ACCORDING TO FEDERAL REGULATIONS.
ALL TRENCH DEWATERING MEASURES SHALL BE DISCHARGED INTO SETTLING BASINS PRIOR TO DISCHARGE FROM SITE. BMPs THAT REQUIRE REPAIR SHALL BE REPAIRED WITHIN 3 DAYS OF INSPECTION. SETTLING PONDS MUST BE REPAIRED WITHIN 10 DAYS OF INSPECTION.
STREETS ADJACENT TO SITE SHALL BE CLEANED AT THE END OF EACH WORK DAY.

POST-CONSTRUCTION BMP RATIONALE

STORM WATER MANAGEMENT AND POST CONSTRUCTION WATER QUALITY BMPs HAVE BEEN ADDRESSED BY MEANS OF AN EXISTING ON-SITE STORM WATER MANAGEMENT/WATER QUALITY BASIN.

MAINTENANCE FOR PERMANENT SEEDINGS FERTILIZATION AND MOWING table with columns: MIXTURE, FORMULA, LBS./ACRE, LBS./1,000 SQ. FT., TIME, MOWING. Rows include CREEPING RE FESCUE, TALL FESCUE, TURF-TYPE FESCUE, CROWN VETCH FESCUE, FLAT FEA FESCUE.

NOTE: FOLLOWING ARE THE RECOMMENDATIONS IN REFERENCE TO FERTILIZER RATES SHOWN ABOVE.

SPECIFICATIONS FOR PERMANENT SEEDING

- 1. PREPARATION: STRAW - IF STRAW IS USED IT SHALL BE UNROTTED SMALL-GRAIN STRAW APPLIED AT THE RATE OF 2 TONS/ACRE OR 90 LB./1,000 SQ. FT. (TWO TO THREE BALES). THE MULCH SHALL BE SPREAD UNIFORMLY BY HAND OR MECHANICALLY TO THE SOIL SURFACE IS COVERED. FOR UNIFORM DISTRIBUTION OF MULCH, STRAW SHOULD BE SPREAD IN TWO 10-10 FT. STRIPS AND SPREAD TWO 45 LB. BALES OF STRAW IN EACH SECTION. HYDROSEEDERS - IF WOOD CELLULOSE FIBER IS USED, IT SHALL BE USED AT 2,000 LB./AC OR 46 LB./1,000 SQ. FT. OTHER ACCEPTABLE MULCHES INCLUDE MULCH MATERIALS APPLIED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS OR WOOD CHIPS APPLIED AT 4 TONS/ACRE.
2. MULCHING: MULCH MATERIAL SHALL BE APPLIED IMMEDIATELY AFTER SEEDING. DOMESTIC SEEDING SHALL BE MULCHED. 100% OF THE GROUND SURFACE SHALL BE COVERED WITH AN APPROVED MATERIAL.
3. MATERIALS: STRAW - IF STRAW IS USED IT SHALL BE UNROTTED SMALL-GRAIN STRAW APPLIED AT THE RATE OF 2 TONS/ACRE OR 90 LB./1,000 SQ. FT. (TWO TO THREE BALES). THE MULCH SHALL BE SPREAD UNIFORMLY BY HAND OR MECHANICALLY TO THE SOIL SURFACE IS COVERED. FOR UNIFORM DISTRIBUTION OF MULCH, STRAW SHOULD BE SPREAD IN TWO 10-10 FT. STRIPS AND SPREAD TWO 45 LB. BALES OF STRAW IN EACH SECTION. HYDROSEEDERS - IF WOOD CELLULOSE FIBER IS USED, IT SHALL BE USED AT 2,000 LB./AC OR 46 LB./1,000 SQ. FT. OTHER ACCEPTABLE MULCHES INCLUDE MULCH MATERIALS APPLIED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS OR WOOD CHIPS APPLIED AT 4 TONS/ACRE.
4. STRAW AND MULCH ANCHORING METHODS: STRAW MULCH SHALL BE ANCHORED IMMEDIATELY TO MINIMIZE LOSS BY WIND OR WATER. ANCHORING METHODS: MECHANICALLY - A DISC, CRIMPER OR SIMILAR TYPE TOOL SHALL BE SET STRAIGHT TO PUNCH OR ANCHOR THE MULCH MECHANICALLY INTO THE SOIL. STRAW MECHANICALLY ANCHORED SHALL NOT BE FINELY CHIPPED BUT GENERALLY BE LEFT LONGER THAN 6 IN. MULCH NETTING - NETTING SHALL BE USED ACCORDING TO THE MANUFACTURER'S RECOMMENDATION. NETTING MAY BE NECESSARY TO HOLD MULCH IN PLACE IN AREAS OF CONCENTRATED RUNOFF AND ON CRITICAL SLOPES. SYNTHETIC BINDERS - SYNTHETIC BINDERS SUCH AS ACRYLIC OR ACRYLIC/TAOL/PCA-TM, PETROLEUM TERRA TACK OR EQUIVALENT MAY BE USED AT RATES SPECIFIED BY THE MANUFACTURER.

EROSION PREVENTION PRACTICES

SEEDING DATES AND SOIL CONDITIONS
SEEDING SHOULD BE DONE MARCH 1 TO MAY 31 OR AUGUST 1 TO SEPTEMBER 30. IF SEEDING OCCURS OUTSIDE OF THE ABOVE SPECIFIED DATES, ADDITIONAL MULCH AND IRRIGATION MAY BE REQUIRED TO ENSURE SUCCESSFUL SEED GERMINATION. TILLAGE FOR SEEDBED PREPARATION SHOULD BE STOPPED WITHIN 72 HOURS OF THE SEEDING DATE AND NOT FORM RIBBONS WHEN COMPLETED BY HAND. PRIOR TO SEEDING, SEE THE FOLLOWING SECTION ON DORMANT SEEDING.

DORMANT SEEDING

- 1. SEEDINGS SHOULD NOT BE MADE FROM OCTOBER 1 THROUGH NOVEMBER 30 DURING THIS PERIOD. THE SEEDS ARE LIKELY TO GERMINATE BUT SIGNIFICANTLY WILL NOT BE ABLE TO SURVIVE THE WINTER.
2. THE FOLLOWING METHODS MAY BE USED FOR "DORMANT SEEDING":
- FROM OCTOBER 1 THROUGH NOVEMBER 30, PREPARE THE SEEDBED AND THEN APPLY SEED ACCORDING TO THE ABOVE AND FERTILIZER, THEN MULCH AND ANCHOR.
- FROM NOVEMBER 20 THROUGH MARCH 15, WHEN SOIL CONDITIONS PERMIT, PREPARE THE SEEDBED, LIME AND FERTILIZER, APPLY THE SEED AND FERTILIZER MIXTURE, MULCH AND ANCHOR. INCREASE THE SEEDING RATES BY 50% FOR THIS TYPE OF SEEDING.
- APPLY SEED UNIFORMLY WITH A CYCLONE SEEDER. SMALL CULTIPACKER SEEDER, OR HYDROSEEDER, WHEN FEASIBLE, SEED THAT IS BEING BROADCAST SHALL BE COVERED BY RAKING OR DRAGGING AND THEN LIGHTLY TAMPED INTO PLACE USING A ROLLER OR CULTIPACKER. IF HYDROSEEDING IS USED, THE SEED AND FERTILIZER WILL BE MIXED ON-SITE AND THE SEEDING SHALL BE DONE IMMEDIATELY WITHIN 24 HOURS.

PERMANENT SEEDING

PERMANENT SEEDING SHALL INCLUDE IRRIGATION TO ESTABLISH VEGETATION DURING DRY WEATHER OR DURING SITE CONDITIONS WHICH REQUIRE EXCESSIVE IRRIGATION TO PREVENT DROUGHT AND TO PREVENT EROSION AND DAMAGE TO SEEDING AREAS FROM EXCESSIVE RUNOFF.
SEEDING SHALL BE DONE MARCH 1 TO MAY 31 OR AUGUST 1 TO SEPTEMBER 30. IF SEEDING OCCURS OUTSIDE OF THE ABOVE SPECIFIED DATES, ADDITIONAL MULCH AND IRRIGATION MAY BE REQUIRED TO ENSURE SUCCESSFUL SEED GERMINATION. TILLAGE FOR SEEDBED PREPARATION SHOULD BE STOPPED WITHIN 72 HOURS OF THE SEEDING DATE AND NOT FORM RIBBONS WHEN COMPLETED BY HAND. PRIOR TO SEEDING, SEE THE FOLLOWING SECTION ON DORMANT SEEDING.

EROSION PREVENTION PRACTICES

WIND CELLULOSE FIBER - WOOD CELLULOSE FIBER SHOULD BE APPLIED AT A NET DRY WEIGHT OF 750 LB./AC. THE WOOD CELLULOSE FIBER SHALL BE MIXED WITH WATER WITH THE MIXTURE CONTAINING A MAXIMUM OF 50 LB. CELLULOSE GALLONS OF WATER.

SEEDING RATES

PERMANENT SEEDING table with columns: SEED MIX, SEEDING RATE (LBS./ACRE, LBS./1,000 SQ. FT.), NOTES. Rows include CREeping RE FESCUE, DOMESTIC RYEGRASS, KENTUCKY BLUEGRASS, TALL FESCUE, TURF-TYPE (DWARF) FESCUE, TALL FESCUE, CROWN VETCH TALL FESCUE, FLAT FEA FESCUE, TALL FESCUE, ROAD DITCHES AND SWALES, TURF-TYPE (DWARF) FESCUE, KENTUCKY BLUEGRASS, PERENNIAL RYEGRASS, KENTUCKY BLUEGRASS, CREEPING RED FESCUE.

NOTE: OTHER APPROVAL SEED SPECIES MAY BE SUBSTITUTED.

TABLE 1: PERMANENT STABILIZATION

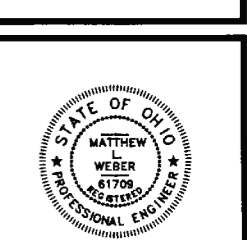
TABLE 1: PERMANENT STABILIZATION table with columns: AREA REQUIRING PERMANENT STABILIZATION, TIME FRAME TO APPLY EROSION CONTROLS. Rows include ANY AREAS THAT WILL BE DORMANT FOR ONE YEAR OR MORE, ANY AREAS WITHIN 50 FEET OF A SURFACE WATER OF THE STATE AND AT FINAL GRADE, ANY OTHER AREAS AT FINAL GRADE.

TABLE 2: TEMPORARY STABILIZATION

TABLE 2: TEMPORARY STABILIZATION table with columns: AREA REQUIRING TEMPORARY STABILIZATION, TIME FRAME TO APPLY EROSION CONTROLS. Rows include ANY DISTURBED AREAS WITHIN 50 FEET OF A SURFACE WATER OF THE STATE AND NOT AT FINAL GRADE, FOR ALL CONSTRUCTION ACTIVITIES AND DISTURBED AREAS THAT WILL BE DORMANT FOR MORE THAN 14 DAYS BUT LESS THAN ONE YEAR, AND NOT WITHIN 50 FEET OF A SURFACE WATER OF THE STATE, DISTURBED AREAS THAT WILL BE IDLE OVER WINTER.

WHERE VEGETATIVE STABILIZATION TECHNIQUES MAY CAUSE STRUCTURAL INSTABILITY OR ARE OTHERWISE UNDESIRABLE, ALTERNATIVE STABILIZATION TECHNIQUES MUST BE EMPLOYED. PERMANENT AND TEMPORARY STABILIZATION ARE DEFINED IN PART VII.

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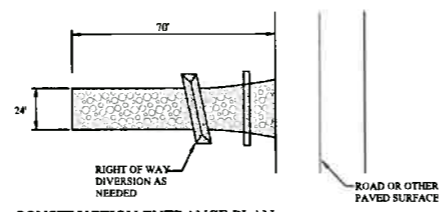
OWNER: DCF REAL ESTATE, LTD, 10020 AURORA HUDSON RD, STREETSBORO OH 44241

Issue Date 12-31-2020 03-08-2021

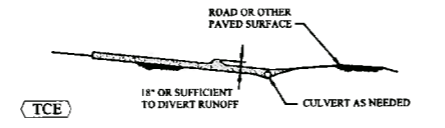
FROST ROAD COMMERCE III NEW CONSTRUCTION 525 FROST ROAD, STREETSBORO, OHIO

SWP3 DETAILS

C109 Project No. 2020-260



CONSTRUCTION ENTRANCE PLAN  
REFERENCE ONLY NOT TO SCALE



CONSTRUCTION ENTRANCE PROFILE  
REFERENCE ONLY NOT TO SCALE

- STONE SIZE - (DOT #1 1.5-2.5 INCH) STONE SHALL BE USED, OR RECYCLED CONCRETE EQUIVALENT.
- LENGTH- THE CONSTRUCTION ENTRANCE SHALL BE AS LONG AS REQUIRED TO STABILIZE HIGH TRAFFIC AREAS BUT NOT LESS THAN 70 FT. (EXCEPTION: APPLY 30 FT. MINIMUM TO SINGLE RESIDENCE LOTS.)
- THICKNESS- THE STONE LAYER SHALL BE AT LEAST 6 INCHES THICK FOR LIGHT DUTY ENTRANCES OR AT LEAST 10 INCHES FOR HEAVY DUTY USE.
- WIDTH- THE ENTRANCE SHALL BE AT LEAST 14 FEET WIDE, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
- GEOTEXTILE- A GEOTEXTILE SHALL BE LAID OVER THE ENTIRE AREA PRIOR TO PLACING STONE. IT SHALL BE COMPOSED OF STRONG ROT-PROOF POLYMERIC FIBERS AND MEET THE FOLLOWING SPECIFICATIONS.
- TIMING- THE CONSTRUCTION ENTRANCE SHALL BE INSTALLED AS SOON AS IS PRACTICABLE BEFORE MAJOR GRADING ACTIVITIES.
- CULVERT- A PIPE OR CULVERT SHALL BE CONSTRUCTED UNDER THE ENTRANCE IF NEEDED TO PREVENT SURFACE WATER FROM FLOWING ACROSS THE ENTRANCE OR TO PREVENT RUNOFF FROM BEING DIRECT OUT ONTO PAVED SURFACES.
- WATER BAR- A WATER BAR SHALL BE CONSTRUCTED AS PART OF THE CONSTRUCTION ENTRANCE IF NEEDED TO PREVENT SURFACE RUNOFF FROM FLOWING THE LENGTH OF THE CONSTRUCTION ENTRANCE AND CUT ONTO PAVED SURFACES.

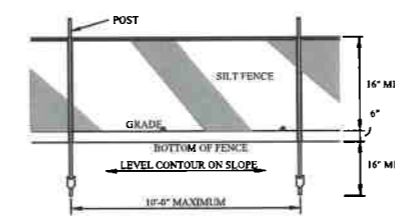
GEOTEXTILE SPECIFICATION FOR CONSTRUCTION ENTRANCE		
MINIMUM TENSILE STRENGTH	200 LBS.	
MINIMUM PUNCTURE STRENGTH	80 PSL	
MINIMUM TEAR STRENGTH	50 LBS.	
MINIMUM BURST STRENGTH	320 PSL	
MINIMUM ELONGATION	20%	
EQUALMENT OPENING SIZE	EQS-0.08AL	
PERMITIVITY	1X10 <sup>-3</sup> CM/SEC.	

TCE SPECIFICATIONS FOR CONSTRUCTION ENTRANCE

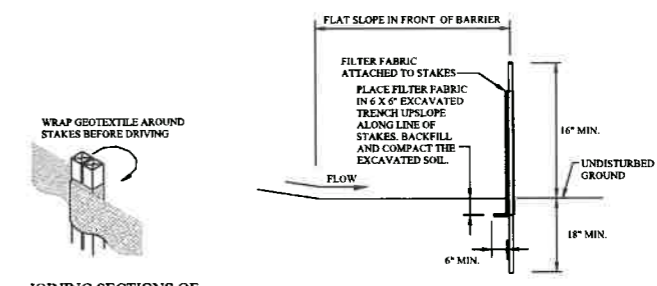
REQUIREMENTS FOR GEOTEXTILES			
PROPERTY	TEST METHOD	WOVEN CLASS I	NONWOVEN-I
TENSILE STRENGTH (POUNDS) /	ASTM C 463 GRAB TEST	200 MINIMUM IN ANY PRINCIPAL DIRECTION	150 MINIMUM
ELONGATION AT FAILURE (PERCENT) /	ASTM D 483 GRAB TEST	> 20	> 30
PUNCTURE (POUNDS) /	ASTM D 4833	90 MINIMUM	80 MINIMUM
ULTRAVIOLET LIGHT (5 RESIDUAL TENSILE STRENGTH)	ASTM D 4355 150-HR EXPOSURE	70 MINIMUM	70 MINIMUM
APPARENT OPENING SIZE (AOS)	ASTM D 4751	AS SPECIFIED, BUT NO SMALLER THAN .212 (1870) / 2	AS SPECIFIED MAX. #40 / 2
PERCENT OPEN AREA (PERCENT)	CWO-02115-86	4.0 MINIMUM	---
PERMITIVITY SEC-1	ASTM D 4491	0.10 MINIMUM	0.16 MINIMUM

- MINIMUM AVERAGE ROLL "V" VALUE (WEAKEST PRINCIPAL DIRECTION), U.S. STANDARD SIZE SIZE
- NOTE: CWO IS A USACE REFERENCE

RIPRAP SIZE CHART		
TYPE OF ROCK OR RIPRAP (ODOT)	"N" VALUE	SIZE OF ROCK
		50% 85%
TYPE D	.036	> 6 IN. 3-12 IN.
TYPE C	.04	> 12 IN. 6-18 IN.
TYPE B	.043	> 18 IN. 12-24 IN.
TYPE A	.045	> 24 IN. 18-30 IN.



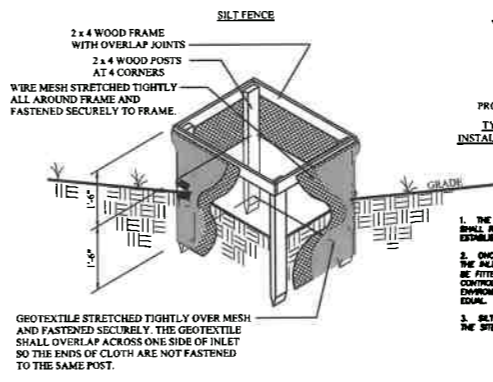
SF SILT FENCE DETAIL  
REFERENCE ONLY NOT TO SCALE



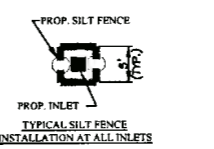
SF SILT FENCE SECTION  
REFERENCE ONLY NOT TO SCALE



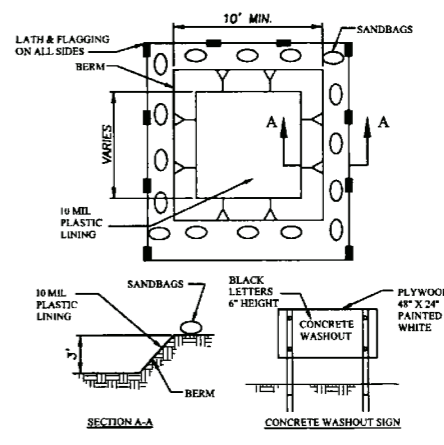
SF JOINING SECTIONS OF SILT FENCE DETAIL  
REFERENCE ONLY NOT TO SCALE



SILT FENCE INSTALLATION



PROP. SILT FENCE INSTALLATION AT ALL INLETS



TEMP. CONCRETE WASHOUT FACILITY

- TEMPORARY CONCRETE WASHOUT FACILITIES SHALL BE LOCATED A MINIMUM OF 50 FT FROM STORM DRAIN INLETS, OPEN DRAINAGE FACILITIES, AND WATER CURBS. FACILITY SHALL BE LOCATED AWAY FROM CONSTRUCTION TRAFFIC OR ACCESS AREAS TO PREVENT DISTURBANCE OR TRACKING.
- TEMPORARY CONCRETE WASHOUT FACILITIES SHALL BE CONSTRUCTED AS SHOWN ON THE DETAIL WITH A MINIMUM LENGTH AND MINIMUM WIDTH OF 10'.
- LATH AND FLAGGING SHALL BE COMMERCIAL TYPE.
- PLASTIC LINING MATERIAL SHALL BE A MINIMUM OF 10 MIL POLYETHYLENE SHEETING AND SHALL BE FREE OF HOLES, TEARS, OR OTHER DEFECTS THAT COMPROMISE THE IMPERMEABILITY OF THE MATERIAL.
- A SIGN SHALL BE INSTALLED ADJACENT TO WASHOUT FACILITY TO INFORM CONCRETE EQUIPMENT OPERATORS TO UTILIZE THE PROPER FACILITIES.
- TEMPORARY CONCRETE WASHOUT FACILITIES SHALL HAVE A TEMPORARY PIT OR BERMED AREAS OF SUFFICIENT VOLUME TO COMPLETELY CONTAIN ALL LIQUID AND CONCRETE WASTE GENERATED BY WASHOUT PROCEDURES.
- WASHOUT OF CONCRETE TRUCKS SHALL BE PERFORMED IN DESIGNATED AREAS ONLY.
- ONLY CONCRETE FROM MIXER TRUCK CHUTES SHOULD BE WASHED INTO CONCRETE WASHOUT.
- CONCRETE WASHOUT FROM CONCRETE PUMPER BINS CAN BE WASHED INTO CONCRETE PUMPER TRUCKS AND DISCHARGED INTO DESIGNATED WASHOUT AREA OR PROPERLY DISPOSED OF OFF-SITE.
- CONCRETE WASTES SHALL BE ALLOWED TO HARDEN THEN BROKEN UP, REMOVED, AND PROPERLY DISPOSED OF IN ACCORDANCE WITH LOCAL REGULATION ON A REGULAR BASIS.
- WHEN TEMPORARY WASHOUT FACILITIES ARE NO LONGER REQUIRED FOR THE WORK, THE HARDENED CONCRETE SHALL BE REMOVED AND DISPOSED OF. MATERIALS USED TO CONSTRUCT THE WASHOUT FACILITIES SHALL BE REMOVED FROM THE SITE OF THE WORK AND DISPOSED OF.

TEMP. CONCRETE WASHOUT FACILITY

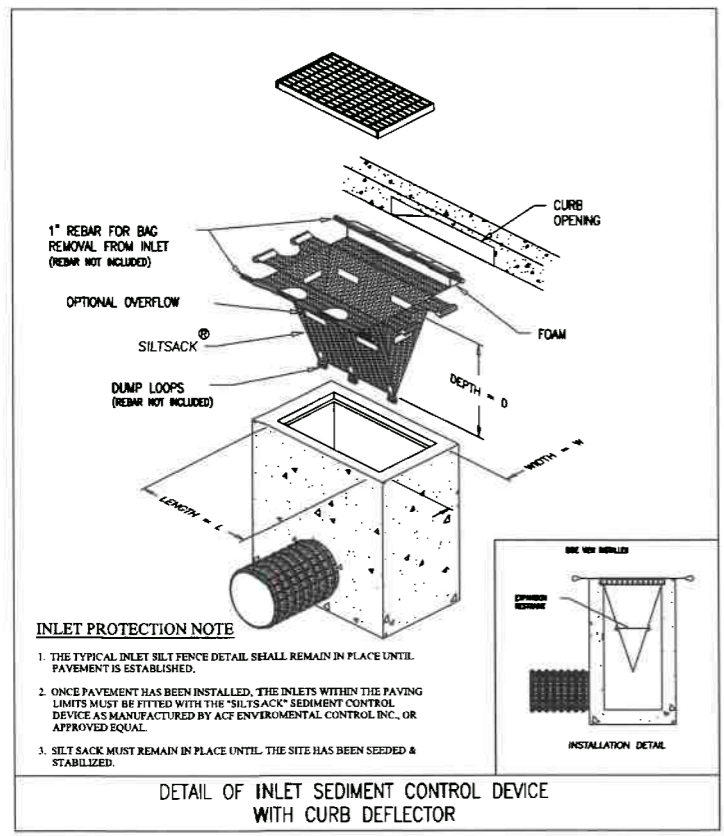
- SILT FENCE SHALL BE CONSTRUCTED BEFORE UPSLOPE LAND DISTURBANCE BEGINS.
- ALL SILT FENCE SHALL BE PLACED AS CLOSE TO THE CONTOUR AS POSSIBLE SO THAT WATER WILL NOT CONCENTRATE AT LOW POINTS IN THE FENCE AND SO THAT SMALL SWALES OR DEPRESSIONS WHICH MAY CARRY SMALL CONCENTRATED FLOWS TO THE SILT FENCE ARE DISSIPATED ALONG ITS LENGTH.
- TO PREVENT WATER PONDED BY THE SILT FENCE FROM FLOWING AROUND THE ENDS, EACH END SHALL BE CONSTRUCTED UPSLOPE SO THAT THE ENDS ARE AT A HIGHER ELEVATION.
- WHERE POSSIBLE, SILT FENCE SHALL BE PLACED ON THE FLATTEST AREA AVAILABLE.
- WHERE POSSIBLE, VEGETATION SHALL BE PRESERVED FOR 3 FT. OR AS MUCH AS POSSIBLE UPSLOPE FROM THE SILT FENCE. IF VEGETATION IS REMOVED, IT SHALL BE REESTABLISHED WITHIN 7 DAYS FROM THE INSTALLATION OF THE SILT FENCE.
- THE HEIGHT OF THE SILT FENCE SHALL BE A MIN. OF 16 IN. ABOVE THE ORIGINAL GROUND SURFACE.
- THE SILT FENCE SHALL BE PLACED IN A TRENCH CUT A MIN. OF 6 IN. DEEP. THE TRENCH SHALL BE CUT WITH A TRENCHER, CABLE LAYING MACHINE, OR OTHER SUITABLE DEVICE WHICH WILL ENSURE AN ADEQUATELY UNIFORM TRENCH DEPTH.
- THE SILT FENCE SHALL BE PLACED WITH THE STAKES ON THE DOWN SLOPE SIDE OF THE GEOTEXTILE AND SO THAT 1/2 IN. OF CLOTH ARE BELOW THE GROUND SURFACE. EXCESS MATERIAL SHALL LAY ON THE BOTTOM OF THE 6 IN. DEEP TRENCH. THE TRENCH SHALL BE BACKFILLED AND COMPACTED ON BOTH SIDES OF THE FABRIC.
- SEAMS BETWEEN SECTIONS OF SILT FENCE SHALL BE SPICED TOGETHER ONLY AT A SUPPORT POST WITH A MINIMUM 6-IN. OVERLAP PRIOR TO DRIVING INTO THE GROUND.
- MAINTENANCE-SILT FENCE SHALL ALLOW RUNOFF TO PASS ONLY AS DIFFUSE FLOW THROUGH THE GEOTEXTILE. IF RUNOFF OVERTOPS THE SILT FENCE, FLOWS UNDER OR AROUND THE ENDS, OR IN ANY OTHER WAY BECOMES A CONCENTRATED FLOW, ONE OF THE FOLLOWING SHALL BE PERFORMED, AS APPROPRIATE: 1) THE LAYOUT OF THE SILT FENCE SHALL BE CHANGED, 2) ACCUMULATED SEDIMENT SHALL BE REMOVED, OR 3) OTHER PRACTICES SHALL BE INSTALLED.

- SEDIMENT DEPOSITS SHALL BE ROUTINELY REMOVED WHEN THE DEPOSIT REACHES APPROXIMATELY ONE-HALF OF THE HEIGHT OF THE SILT FENCE.
- SILT FENCES SHALL BE INSPECTED AFTER EACH RAINFALL AND AT LEAST DAILY DURING A PROLONGED RAINFALL. THE LOCATION OF EXISTING SILT FENCE SHALL BE REVIEWED DAILY TO ENSURE ITS PROPER LOCATION AND EFFECTIVENESS. IF DAMAGED, THE SILT FENCE SHALL BE REPAIRED IMMEDIATELY.
- CRITERIA FOR SILT FENCE MATERIALS
- FENCE POSTS- THE LENGTH SHALL BE A MINIMUM OF 32 IN. LONG. WOOD POSTS WILL BE 2" BY 2" IN. HARDWOOD OF SOUND QUALITY. THE MAXIMUM SPACING BETWEEN POSTS SHALL BE 10 FT.
  - SILT FENCE FABRIC (SEE CHART BELOW):

MINIMUM CRITERIA FOR SILT FENCE FABRIC (ODOT, 2002)		
FABRIC PROPERTIES	VALUES	TEST METHOD
MINIMUM TENSILE STRENGTH	120 LBS. (538 N)	ASTM D 4382
MINIMUM ELONGATION AT 90 LBS	50%	ASTM D 4832
MINIMUM PUNCTURE STRENGTH	50 LBS (220 N)	ASTM D 4833
MINIMUM TEAR STRENGTH	40 LBS (180 N)	ASTM D 4533
APPARENT OPENING SIZE	< .04 MM	ASTM D 4751
MINIMUM PERMITIVITY	1X10 <sup>-3</sup> SEC <sup>-1</sup>	ASTM D 4491
UV EXPOSURE STRENGTH RETENTION	70%	ASTM D 4385

SF SPECIFICATIONS FOR SILT FENCE

IP SPECIFICATIONS FOR GEOTEXTILE INLET PROTECTION  
REFERENCE ONLY NOT TO SCALE



IPSS SILTSACK DETAIL

- INLET PROTECTION NOTE
- THE TYPICAL INLET SILT FENCE DETAIL SHALL REMAIN IN PLACE UNTIL PAVEMENT IS ESTABLISHED.
  - ONCE PAVEMENT HAS BEEN INSTALLED, THE INLETS WITHIN THE PAVING LIMITS MUST BE FITTED WITH THE SILTSACK SEDIMENT CONTROL DEVICE AS MANUFACTURED BY ACT ENVIRONMENTAL CONTROL INC. OR APPROVED EQUAL.
  - SILT SACK MUST REMAIN IN PLACE UNTIL THE SITE HAS BEEN SEEDED & STABILIZED.

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STATE OF OHIO  
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Issue Date  
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**FROST ROAD COMMERCE III  
 NEW CONSTRUCTION**  
 525 FROST ROAD, STREETSBORO, OHIO

**SWP3  
 DETAILS**  
**C110**  
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CLIENT:



10020 AURORA HUDSON ROAD  
 STREETSBORO, OHIO 44241  
 330.528.3500

OWNER:

DCF REAL ESTATE, LTD

10020 AURORA HUDSON RD.  
 STREETSBORO OH 44241

Issue Date

12-31-2020  
 03-08-2021

FROST ROAD COMMERCE III  
 NEW CONSTRUCTION  
 525 FROST ROAD, STREETSBORO, OHIO

SWP3  
 DETAILS

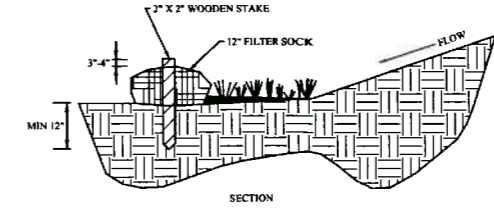
C111  
 Project No. 2020-260

**SPECIFICATIONS FOR DUST CONTROL**

ADHESIVES FOR DUST CONTROL			
ADHESIVE	WATER DILUTION (ADHESIVE WATER)	NOZZLE TYPE	APPLICATION RATE GAL./AC.
LATEX EMULSION	12.5:1	FINE	235
TESIN IN WATER ACRYLIC EMULSION (NO-TRAFFIC)	4:1	FINE	300
ACRYLIC EMULSION (NO-TRAFFIC)	7:1	COARSE	450
ACRYLIC EMULSION (TRAFFIC)	3.5:1	COARSE	350

- VEGETATIVE COVER AND/MULCH- APPLY TEMPORARY OR PERMANENT SEEDING AND MULCH TO AREAS THAT WILL REMAIN IDLE FOR OVER 21 DAYS. SAVING EXISTING TREES AND LARGE SHRUBS WILL ALSO REDUCE SOIL AND AIR MOVEMENT ACROSS DISTURBED AREAS. SEE TEMPORARY SEEDING; PERMANENT SEEDING; MULCHING PRACTICES; AND TREE AND NATURAL AREA PROTECTION PRACTICES.
- WATERING- SPRAY SITE WITH WATER UNTIL THE SURFACE IS WET BEFORE AND DURING GRADING AND REPEAT AS NEEDED, ESPECIALLY ON HAUL ROADS AND OTHER HEAVY TRAFFIC ROUTES. WATERING SHALL BE DONE AT A RATE THAT PREVENTS DUST BUT DOES NOT CAUSE SOIL EROSION. WETTING AGENTS SHALL BE UTILIZED ACCORDING TO MANUFACTURERS INSTRUCTIONS.
- SPRAY-ON ADHESIVES-APPLY ADHESIVE ACCORDING TO THE FOLLOWING TABLE OR MANUFACTURERS' INSTRUCTIONS
- STONE - GRADED ROADWAYS AND OTHER SUITABLE AREAS WILL BE STABILIZED USING CRUSHED STONE OR COARSE GRAVEL AS SOON AS PRACTICABLE AFTER REACHING AN INTERIM OR FINAL GRADE. CRUSHED STONE OR COARSE GRAVEL CAN BE USED AS A PERMANENT COVER TO PROVIDE CONTROL OF SOIL EMISSIONS.
- BARRIERS- EXISTING WINDBREAK VEGETATION SHALL BE MARKED AND PRESERVED. SNOW FENCING OR OTHER SUITABLE BARRIER MAY BE PLACED PERPENDICULAR TO PREVAILING AIR CURRENTS AT INTERVALS OF ABOUT 15 TIMES THE BARRIER HEIGHT TO CONTROL AIR CURRENTS AND BLOWING SOIL.
- CALCIUM CHLORIDE - THIS CHEMICAL MAY BE APPLIED BY MECHANICAL SPREADER AS LOOSE, DRY GRANULES OR FLAKES AT A RATE THAT KEEPS THE SURFACE MOIST BUT NOT SO HIGH AS TO CAUSE WATER POLLUTION OR PLANT DAMAGE. APPLICATION RATES SHOULD BE STRICTLY IN ACCORDANCE WITH SUPPLIERS' SPECIFIED RATES.
- OPERATION AND MAINTENANCE - WHEN TEMPORARY DUST CONTROL MEASURES ARE USED; REPETITIVE TREATMENT SHOULD BE APPLIED AS NEEDED TO ACCOMPLISH CONTROLS.

STREET CLEANING- PAVED AREAS THAT HAVE ACCUMULATED SEDIMENT FROM CONSTRUCTION SHOULD BE CLEANED DAILY, OR AS NEEDED, UTILIZING A STREET SWEEPER OR BUCKET-TYPE ENDLOADER OR SCRAPER.



- MATERIALS-COMPOST USED FOR FILTER SOCKS SHALL BE WEED, PATHOGEN AND INSECT FREE AND FREE OF ANY REFUSE, CONTAMINANTS OR OTHER MATERIALS TOXIC TO PLANT GROWTH. THEY SHALL BE DERIVED FROM A WELL-DECOMPOSED SOURCE OF ORGANIC MATTER AND CONSIST OF PARTICLES RANGING FROM 1/2" TO 2"
  - FILTER SOCKS SHALL BE 3 OR 5 MIL. CONTINUOUS, TUBULAR, RIDGE KNITTED MESH NETTING MATERIAL, FILLED WITH COMPOST PASSING THE ABOVE SPECIFICATIONS FOR COMPOST PRODUCTS.
  - FILTER SOCKS WILL BE PLACED ON A LEVEL LINE ACROSS SLOPES, GENERALLY PARALLEL TO THE BASE OF THE SLOPE OR OTHER AFFECTED AREA. ON SLOPES APPROACHING 2:1, ADDITIONAL SOCKS SHALL BE PROVIDED AT THE TOP AND AS NEEDED MID-SLOPE.
  - FILTER SOCKS INTENDED TO BE LEFT AS A PERMANENT FILTER OR PART OF THE NATURAL LANDSCAPE SHALL BE SEEDED AT THE TIME OF INSTALLATION FOR ESTABLISHMENT OF PERMANENT VEGETATION.
  - FILTER SOCKS ARE NOT TO BE USED IN CONCENTRATE FLOW SITUATIONS OR IN RUNOFF CHANNELS.
- MAINTENANCE:**
- ROUTINELY INSPECT FILTER SOCKS AFTER EACH SIGNIFICANT RAIN, MAINTAINING FILTER SOCKS IN A FUNCTIONAL CONDITION AT ALL TIMES.
  - REMOVE SEDIMENTS COLLECTED AT THE BASE OF THE FILTER SOCKS IN A FUNCTIONAL CONDITION AT ALL TIMES.
  - WHERE THE FILTER SOCK DETERIORATES OR FAILS, IT WILL BE REPAIRED OR REPLACED WITH A MORE EFFECTIVE ALTERNATIVE.
  - REMOVAL-FILTER SOCKS WILL BE DISPERSED ON SITE WHEN NO LONGER REQUIRED IN SUCH A WAY AS TO FACILITATE AN NO OBSTRUCT SEEDINGS.

CFS COMPOST FILTER SOCK DETAIL  
 REFERENCE ONLY NOT TO SCALE

**SPECIFICATIONS FOR MULCHING**

- MULCH AND OTHER APPROPRIATE VEGETATIVE PRACTICES SHALL BE APPLIED TO DISTURBED AREAS WITHIN 7 DAYS OF GRADING IF THE AREA IS TO REMAIN DORMANT (UNDISTURBED) FOR MORE THAN 21 DAYS OR ON AREAS AND PORTIONS OF THE SITE WHICH CAN BE BROUGHT TO FINAL GRADE.
  - STRAW - SHALL BE UNKNOTTED SMALL GRAIN STRAW APPLIED AT THE RATE OF 2 TONS/AC. OR 90 LB./1,000 SQ. FT. (TWO TO THREE BALES). THE STRAW MULCH SHALL BE SPREAD UNIFORMLY BY HAND OR MECHANICALLY SO THE SOIL SURFACE IS COVERED. FOR UNIFORM DISTRIBUTION OF HAND-SPREAD MULCH, DIVIDE AREA INTO APPROXIMATELY 1,000-SQ. FT. SECTIONS AND PLACE TWO 45-LB. BALES OF STRAW IN EACH SECTION.
  - HYDROSEEDERS - WOOD CELLULOSE FIBER SHOULD BE USED AT 2,000 LB./AC. OR 46 LB./1,000 SQ. FT.
  - OTHER - ACCEPTABLE MULCHES INCLUDE MULCH MATTINGS AND ROLLED EROSION CONTROL PRODUCTS APPLIED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS OR WOOD MULCH/CHIPS APPLIED AT 10-20 TONS/AC.
- MULCH ANCHORING - MULCH SHALL BE ANCHORED IMMEDIATELY TO MINIMIZE LOSS BY WIND OR RUNOFF. THE FOLLOWING ARE ACCEPTABLE METHODS FOR ANCHORING MULCH:
  - MECHANICAL - USE A DISK, CRIMPER, OR SIMILAR TYPE TOOL SET STRAIGHT TO PUNCH OR ANCHOR THE MULCH MATERIAL INTO THE SOIL. STRAW MECHANICALLY ANCHORED SHALL NOT BE FINELY CHOPPED BUT BE LEFT GENERALLY LONGER THAN 6 INCHES.
  - MULCH NETTINGS - USE ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS, FOLLOWING ALL PLACEMENT AND ANCHORING REQUIREMENTS. USE IN AREAS OF WATER CONCENTRATION AND STEEP SLOPES TO HOLD MULCH IN PLACE.
  - SYNTHETIC BINDERS - FOR STRAW MULCH, SYNTHETIC BINDERS SUCH AS ACRYLIC DLK (AGRI-TAC), DCA-70, PETROSE, TERRA TACK, OR EQUAL MAY BE USED AT RATES RECOMMENDED BY THE MANUFACTURER. ALL APPLICATIONS OF SYNTHETIC BINDERS MUST BE CONDUCTED IN SUCH A MANNER WHERE THERE IS NO CONTACT WITH WATER OF THE STATE.
  - WOOD CELLULOSE FIBER - WOOD CELLULOSE FIBER MAY BE USED FOR ANCHORING STRAW. THE FIBER BINDER SHALL BE APPLIED AT A NET DRY WEIGHT OF 750 LBS./AC. THE WOOD CELLULOSE FIBER SHALL BE MIXED WITH WATER AND THE MIXTURE SHALL CONTAIN A MAXIMUM OF 50 LB./100 GAL. OF WOOD CELLULOSE FIBER.

**SPECIFICATIONS FOR SODDING**

- MATERIALS**
- SOD SHALL BE HARVESTED, DELIVERED AND INSTALLED WITHIN A PERIOD OF 48 HOURS. SOD NOT TRANSPLANTED WITHIN THIS PERIOD SHALL BE INSPECTED AND APPROVED PRIOR TO INSTALLATION.
  - THE SOD SHALL BE KEPT MOIST AND COVERED DURING HAULING AND PREPARATION FOR PLACEMENT.
  - SOD SHALL BE MACHINE CUT AT A UNIFORM SOIL THICKNESS OF 0.75 INCHES, PLUS OR MINUS 0.25 INCHES, AT THE TIME OF CUTTING. MEASUREMENTS FOR THICKNESS SHALL EXCLUDE TOP GROWTH AND THATCH.
- SITE PREPARATION**
- A SUBSOILER, PLOW OR OTHER IMPLEMENT SHALL BE USED TO REDUCE SOIL COMPACTION AND ALLOW MAXIMUM INFILTRATION. MAXIMIZING INFILTRATION WILL HELP CONTROL BOTH RUNOFF RATE AND WATER QUALITY. SUBSOILING SHALL NOT BE CONDUCTED ON SLIP-PRONE AREAS WHERE SOIL PREPARATION SHOULD BE LIMITED ONLY TO WHAT IS NECESSARY FOR ESTABLISHING VEGETATION.
  - THE AREA SHALL BE GRADED AND TOPSOIL SPREAD WHERE NEEDED.
  - SOIL AMENDMENTS
    - LIME- AGRICULTURAL GROUND LIMESTONE SHALL BE APPLIED TO ACIDIC SOILS AS RECOMMENDED BY A SOIL TEST. IN LIEU OF A SOIL TEST, LIME SHALL BE APPLIED AT THE RATE OF 100 LB./1,000 SQ. FT. OR 2 TONS/AC.
    - FERTILIZER- FERTILIZER SHALL BE APPLIED AS RECOMMENDED BY A SOIL TEST. IN LIEU OF A 2 SOIL TEST FERTILIZER SHALL BE APPLIED AT A RATE OF 12 LB./1,000 SQ. FT. OR 500 LB./AC. OF 10-10-10 OR 12-12-12 ANALYSIS
    - THE LIME AND FERTILIZER SHALL BE WORKED INTO THE SOIL WITH A DISK, HARROW, SPRING-TOOTH HARROW, OR OTHER SUITABLE FIELD IMPLEMENT TO A DEPTH OF 3 INCHES.
  - BEFORE LAYING SOD, THE SURFACE SHALL BE UNIFORMLY GRADED AND CLEARED OF ALL DEBRIS, STONES AND CLODS LARGER THAN 3-IN. DIAMETER.
- SOD INSTALLATION**
- DURING PERIODS OF EXCESSIVELY HIGH TEMPERATURES, THE SOIL SHALL BE LIGHTLY IRRIGATED IMMEDIATELY BEFORE LAYING THE SOD.
  - SOD SHALL NOT BE PLACED ON FROZEN SOIL.
  - THE FIRST ROW OF SOD SHALL BE LAID IN A STRAIGHT LINE WITH SUBSEQUENT ROWS PLACED PARALLEL TO AND TIGHTLY WEDGED AGAINST EACH OTHER. LATERAL JOINTS SHALL BE STAGGERED IN A BRICK-LIKE PATTERN. ENSURE THAT SOD IS NOT STRETCHED OR OVERLAPPED AND THAT ALL JOINTS ARE BUTTED TIGHT IN ORDER TO PREVENT VOIDS THAT WOULD DRY THE ROOTS.
  - ON SLOPING AREAS WHERE EROSION MAY BE A PROBLEM, SOD SHALL BE LAID WITH THE LONG EDGE PARALLEL TO THE CONTOUR AND STAGGERED JOINTS. THE SOD SHALL BE SECURED WITH PEGS OR STAPLES.
  - AS SODDING IS COMPLETED IN ANY ONE SECTION, THE ENTIRE AREA SHALL BE ROLLED OR TAMPED TO ENSURE SOLID CONTACT OF ROOTS WITH THE SOIL SURFACE. SOD SHALL BE WATERED IMMEDIATELY AFTER ROLLING OR TAMPING UNTIL THE SOD AND SOIL SURFACE BELOW THE SOD ARE THOROUGHLY WET. THE OPERATIONS OF LAYING TAMPING AND IRRIGATING FOR ANY PIECE OF SOD SHALL BE COMPLETED WITHIN 8 HOURS.
- MAINTENANCE**
- IN THE ABSENCE OF ADEQUATE RAINFALL, WATERING SHALL BE PERFORMED DAILY OR AS OFTEN AS NECESSARY DURING THE FIRST WEEK WITH SUFFICIENT QUANTITIES TO MAINTAIN MOIST SOIL TO A DEPTH OF 4-6 INCHES.
  - AFTER THE FIRST WEEK, SOD SHALL BE WATERED AS NECESSARY TO MAINTAIN ADEQUATE MOISTURE AND ENSURE ESTABLISHMENT.
  - THE FIRST MOWING SHALL NOT BE ATTEMPTED UNTIL SOD IS FIRMLY ROOTED.

C:\Users\matt\Documents\2020-260\Frost Road Commerce III\SWP3\SWP3-03-08-2021.dwg, 12/31/2020, 10:00 AM



**CITY OF STREETSBORO**  
**MEMORANDUM**

TO: Planning and Zoning Commission

FROM: John H. Cieszkowski, Jr., AICP *JHC*  
Planning & Zoning Director

DATE: March 20, 2021

RE: Site Plan Review for proposed approx. 20,000 sq. ft. Spec/Flex Warehouse/Storage Building; Gateway Commerce Center III

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Company: Unknown- To Be Determined

Site Address: To Be Determined; Fire Dept. requested a Philipp Parkway Address

Parcel #: TBD, subject site currently a part of PPN: 35-012-00-00-001-015

Zoning: I-1, Industrial Research and Office District

Applicant: Trevor Extine, Geis Construction

Address: 10020 Aurora-Hudson Rd., Streetsboro, Ohio 44241

Property Owner: DCF Real Estate, LTD (according to County Auditor Records)

Address: 10020 Aurora-Hudson Rd., Streetsboro, Ohio 44241

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I have reviewed the application and associated information, stamped received 3/8/21, and offer the following comments for the Commission's consideration:

**Proposal:**

The applicant is proposing to construct an approximately 20,000 sq. ft. (100 ft. x 200 ft.) Spec/Flex/Build-to-suit multi-tenant warehouse/storage facility on the subject site. The proposed building would be located behind (adjacent to north of) the current Streetsboro City Hall.

The square footage of accessory office use in the subject building is unknown and will likely vary depending upon end-users. Additional site improvements include off-street parking areas, loading docks, drive aisles and site landscaping. The existing stormwater detention basin, located west of the subject building adjacent to Aurora Hudson Rd., is proposed to be modified in order to adequately serve the 2 existing buildings along with the proposed new building.

The approximately 1.43 acre subject site is currently vacant and is zoned I-1, Industrial, Research, Office. The proposed warehouse/office/storage facility is a principal permitted use by-right in the I-1 District. The subject site is adjacent to two existing buildings, which are both used in a similar manner (multi-tenant industrial/office uses).

**Site Plan Review Comments:**

See below staff's Site Plan Review comments. In the event that additional information, clarification or plan revisions are needed, the item has been added to the list of recommended conditions of approval, contained in the Recommendation section at the end of this memo.

**a. Miscellaneous**

1. Financial Guarantees. Per §1152.11 (and as noted on the bottom of the List of General Items Checked During Site Plan Review form), a cash bond or other financial guarantee shall be placed

on deposit to ensure that landscaping, parking and sidewalk improvements are installed in conformance with approved site plans. See Code section below.

**1152.11 FINANCIAL GUARANTEES.**

Prior to issuance of zoning permits, a cash bond or other financial guarantee shall be placed on deposit with the Finance Director of the City, to insure that improvements, such as landscaping, parking and sidewalks, are installed in conformance with the approved site plan. The bond or guarantee shall be for the construction cost estimate of the improvements based on an estimate approved by the City Engineer, plus twenty percent (20%) of the estimate in lieu of increased costs, and shall be for a period not to exceed two years and providing for the complete construction of the improvements within that period. Such performance bond or other financial guarantees shall be returned to the applicant only if and after the certificate of occupancy is issued to the applicant. (Ord. 1989-48. Passed 8-28-89.)

No cost estimate has been submitted. Per §1152.11, above, a cost estimate for the performance bond for sidewalks, pavement and landscaping should be submitted for review by the City Engineer. Following City Engineer approval of the cost estimate, a cash bond or other financial guarantee shall be placed on deposit with the Finance Director to ensure that landscaping, parking and sidewalk improvements are installed in conformance with approved site plans.

2. Environmental Assessment req'd per §1152.05. Applicants often submit a narrative addressing Code items. Staff has customarily accepted a Ph. 1 environmental report as satisfying the intent of the Code requirement. The applicant should submit a Phase 1 environmental report for the subject site for inclusion in the City's zoning file.
3. Building Elevations (Sheet A-300).
  - a. *Exterior Materials and Colors*. The submitted color building elevations should be revised to specify proposed building materials and colors. Furthermore, the applicant should be prepared to provide the Planning Commission with accurate color swatches and all proposed building materials at the upcoming meeting.

The applicant's application narrative dated 3/8/21 notes insulated metal panel and split face CMU. Based upon the submitted color building elevations, the proposed exterior building materials (with a mix of CMU and EIFS or similar) would be harmonious with nearby structures in the I-1 District.

- b. *Downspout Color*. Submitted black and white elevations show downspouts, but color elevations do not show downspouts. Plans should be revised to show color downspouts that either match the adjacent building wall or utilize an accent color that is suitable to the color palette chosen for the principal building.
4. Site Plan (Sheet C102)
  - a. *Dumpster Enclosures*. As also noted in GPDs comment letter, plans should be revised to show proper dumpster enclosures to serve the proposed building and adjoining buildings. There are several existing un-enclosed dumpsters lining the drive aisle adjacent to the subject parcel. Staff recommends that plans be revised to show either separate enclosures for each tenant space or more reasonably a shared central dumpster enclosure area that would serve all 3 buildings (2 existing buildings + the proposed spec building).

- b. *Re-locate Building Closer to Philipp Parkway.* Plans currently show a loading area width of approximately 20 ft. between the rear building wall existing parking spaces. Staff is concerned that the proposed 20 ft. is not wide enough to adequately accommodate safe use of the loading area. For reference, two-way drive aisles in parking lots are customarily 24 ft. in width. To accommodate a more reasonable width for the loading dock area at the rear of the building, staff recommends that plans be revised to move the building closer to Philipp Parkway. The building should be able to be moved closer to Philipp Parkway while still accommodating the required minimum front yard building setback and parking lot buffering. With the building moved closer to Philipp, the width of the loading area can be increased to a more reasonable distance.
- c. *Bumper Blocks and Bollards between Truck Access and Existing Adjacent Parking Spaces.* Plans show a truck loading area at the rear of the subject building that is adjacent to existing off-street parking spaces. In order to adequately protect these parking spaces from adjacent truck loading areas, staff recommends that bumper blocks be added to existing spaces that are directly adjacent to the new truck loading area. Furthermore, staff recommends that bollards be added to areas where the existing parking spaces will align with overhead dock doors on the proposed building.
- d. *Utility meter screening/protection.* Plans show a gas meter bank adjacent to the proposed south building wall. Staff recommends that plans be revised to screen and protect the gas meter bank from traffic via bollards or other mutually acceptable means. These meters are located adjacent to an existing two-way service drive aisle that also provides direct vehicular access to/from Philipp Parkway to existing off-street parking west of the subject building.
- e. *Sidewalks.* Sidewalks play a large role in creating and maintaining quality of life for residents and employees through increased activity levels and connection to recreational, commercial and industrial activity areas. Sound planning principles dictate that sidewalks be added adjacent to all new development, regardless of proposed use and location of existing sidewalks. Furthermore, the Comprehensive Master Plan contains several references to a lack of sidewalks and a desire by residents to increase sidewalks and pedestrian connectivity City-wide. (Refer to Comp. Plan Pgs. 6, 9.8, 9.17, 9.18, and 9.22).

As a result, plans should be revised to show sidewalks along the site's Philipp Parkway frontage or add a note regarding cost-sharing relative to future sidewalk installation. It should be noted that in lieu of installing "sidewalks to nowhere", the City has had discussions with the applicant regarding the future installation of sidewalks adjacent to the subject site. Staff recommends that the applicant commit in writing to sharing financially in the all costs (design, acquisition of ROW and construction) associated with sidewalks adjacent or across Philipp Parkway from the subject site. Said financial commitment should be signed by all parties, recorded and attached to the deed for the subject site, and be in a form acceptable to the Law Director to ensure that funding is available for future use by the City. The final location and cost of sidewalks relative to the subject site should be based upon evaluation of all factors (grade, ROW acquisition and width) by the City Engineer.

- f. *HVAC units.* Plans note a slightly sloped roof and site plans show no ground-mounted HVAC units for the proposed building. The applicant should clarify the location of proposed HVAC units and plans should be revised to show HVAC units and necessary screening. Staff will work with the applicant to adequately obscure HVAC units from view, while also allowing for proper access to the units for maintenance purposes.
5. Landscaping Plan (Sheet LS-1)

- a. *Replacement in Perpetuity.* Plans should be revised to add a general note that guarantees that any dead landscaping material will be replaced in perpetuity and in a timely manner with approved plants as noted on Planning Commission-approved landscape plans. Staff is trying to avoid a future property maintenance issue.
  - b. *Changes approved by Planning Director.* Plans should be revised to add a general note stating that any changes to the type and quantity of plants on the PC-approved landscaping plan shall be approved by the Streetsboro Planning and Zoning Director.
  - c. *Additional Site Landscaping Between Parking Lot and Philipp Parkway Right-of-Way.* Per §1155.03(g) plans be revised to show additional site landscaping between the parking lot and the Philipp Parkway right-of-way. Adding coniferous trees and shrubs along with hearty perennials would buffer the parking area from the adjacent right-of-way. Staff suggests adding a combination of coniferous trees and shrubs and perennials to add year-round color. Grasses are also preferred as they are low maintenance and drought resistant.
6. **Photometric Plan (Sheet E0).**
- a. *Luminaire Schedule- Quantity; Fixture Details.* Plans should be revised to show a site fixture schedule that includes the quantity, type (including fixture details), and mounting height of all proposed exterior light fixtures.
- c. **Staff Comments (other City, applicable County Depts.):**
1. **Police:** Comment letter dated 3/11/21 provided in Commission packet.
  2. **Fire:** Comment letter dated 3/15/21 provided in Commission packet.
  3. **Engineering:** GPD review comment letter dated 3/12/21 provided in Commission packet.
  4. **Water.** Comment letter dated 3/17/21 provided in Commission packet.
  5. **Portage County Water Resources (PCWR):** No comment letter provided to-date. The comment letter will be provided to the Commission upon receipt. If applicable, any Plan revisions addressing PCWR comments must be completed prior to issuance of a Zoning Certificate.

**Recommendation:**

I recommend that the Planning and Zoning Commission grant **approval subject to administrative review** by the Planning and Zoning Director to ensure that the following items have been addressed prior to issuance of a Zoning Certificate:

**Documentation to be Submitted.**

1. That the applicant submits a cost estimate for the performance bond for review by the City Engineer. Following City Engineer approval of the cost estimate, a cash bond or other financial guarantee shall be placed on deposit with the Finance Director to ensure that landscaping, parking and sidewalk improvements are installed in conformance with approved site plans;
2. That the applicant submits a Phase 1 environmental report for the subject site for inclusion in the City's zoning file;

**Building Elevation Revisions.**

3. That color building elevations be revised to specify building materials and colors. The applicant should be prepared to provide the Planning Commission with accurate color swatches and all proposed building materials at the upcoming meeting;
4. That plans be revised to show color downspouts that either match the adjacent building wall or utilize an accent color that is suitable to the color palette chosen for the principal building;

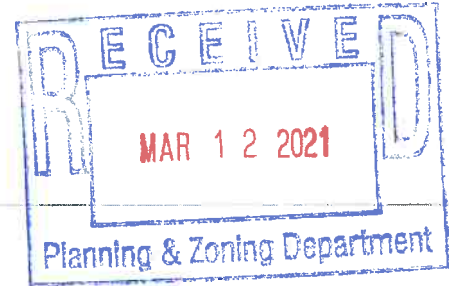
**Miscellaneous Plan Revisions.**

5. That plans be revised to show proper dumpster enclosures to serve the proposed building and adjoining buildings. Staff recommends that plans be revised to show either separate enclosures

- for each tenant space or more reasonably a shared central dumpster enclosure area that would serve all 3 buildings (2 existing buildings + the proposed spec building);
6. That plans be revised to move the building closer to Philipp Parkway to accommodate a wider loading area at the rear of the building;
  7. That plans be revised to add bumper blocks to existing parking spaces that are directly adjacent to the new truck loading area. Furthermore, staff recommends that earth tone-colored bollards be added to areas where the existing parking spaces will align with overhead dock doors on the proposed building;
  8. That plans be revised to screen and protect the gas meter bank from traffic via bollards or other mutually acceptable means;
  9. That plans be revised to either show sidewalks adjacent to the subject site's Philipp Parkway frontage or add a note regarding cost-sharing relative to future sidewalk installation. In lieu of installing "sidewalks to nowhere", staff recommends that the applicant commit in writing to sharing financially in all costs (i.e. design, acquisition of ROW, construction) associated with future sidewalk installation adjacent to or across Philipp Parkway from the subject site;
  10. That the applicant clarifies the location of proposed HVAC units and that plans be revised to show HVAC and necessary screening. Staff will work with the applicant to adequately obscure HVAC units from view, while also allowing for proper access to the units for maintenance purposes;
  11. That plans be revised to add a general note that guarantees that any dead landscaping material will be replaced in perpetuity and in a timely manner with approved plants as noted on Planning Commission-approved landscape plans;
  12. That plans be revised to add a general note stating that any changes to the type and quantity of plants on the PC-approved landscaping plan shall be approved by the Streetsboro Planning and Zoning Director;
  13. That plans be revised to show additional site landscaping between the parking lot and the Philipp Parkway right-of-way. Adding coniferous trees and shrubs would adequately buffer the parking area from the adjacent right-of-way (refer to §1155.03(g));
  14. That plans be revised to show a site fixture schedule that includes the quantity, type (including fixture details), and mounting height of all proposed exterior light fixtures;
- Conformance to Dept. Comments.**
15. That plans be revised to address all Streetsboro Police Department review comments, as noted in the 3/11/21 review letter;
  16. That plans be revised to address all Streetsboro Fire Department review comments, as noted in the 3/15/21 review letter;
  17. That plans be revised to address all Streetsboro Water Department review comments, as noted in the 3/17/21 review letter;
  18. That plans be revised to address all PCWR review comments, if any; and
  19. That plans be revised to address all GPD engineering review comments, as noted in the 3/12/21 review letter and any subsequent review letters.



Mr. John H. Cieszkowski, Jr., AICP  
Planning & Zoning Director  
9184 State Route 43  
Streetsboro, Ohio 44241



## Frost Road Commerce III

Dear Mr. Cieszkowski,

We have reviewed the improvement plans, stormwater management report and LTMA for the subject project and offer the following comments:

### General Comments

1. Provide PCWR approval of the plans.
2. Provide a detailed cost estimate for review with the 20% contingency added.

### SWP3 Plan & Stormwater Management

3. Provide copy of NPDES permit approval.
4. Provide 25-year storm sewer tabulation for hydraulic grade check.
5. Show construction equipment and trailer staging location.
6. Extend construction entrance to curb. Add replacement of curb upon removal of the construction entrance.

### Utility Comments

7. Will the headwall and conduit at the northeast corner of the pond need to be removed and extended due to the change in grade.

### Site Layout and Grading Comments

8. Address the lack of a dumpster location on entire site and how trash collection will be handled.

Please provide a revised submittal per the above comments.

Sincerely,

A handwritten signature in black ink that reads "Matthew D. Glass".

Matthew D. Glass, P.E.  
City Engineer



# STREETSBORO FIRE DEPARTMENT

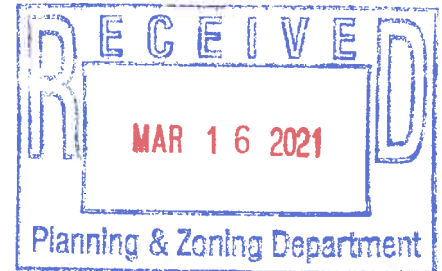
9184 State Route 43 • Streetsboro, Ohio 44241

330-626-4664

Fax: 330-626-5918

Robert A. Reinholz  
Fire Chief

## Fire Prevention Bureau Site Plan Review



### Project:

525 Frost Rd. 20,000 Sq. Ft. Spec. Building

### Comments:

1. The fire department connection for the sprinkler system shall be within 50 ft of a fire hydrant.
2. Fire Department believes the address for this building should be a Philipp Parkway address since the building is facing Philipp Parkway.
3. No other issues with the plans submitted.

### Reviewed:

3/15/21

Please contact the signed Fire Prevention Officer with any questions, comments or concerns. **All test and inspections shall be scheduled with the Fire Prevention Bureau no less than 48 hours in advance.**

**Inspector Richard Owens**  
**Fire Prevention Officer**

*Providing the Citizens of Streetsboro with Prompt,  
Courteous, Professional Emergency Service*



**STREETSBORO POLICE DEPARTMENT**

2080 State Route 303  
Streetsboro OH 44241-1707  
www.streetsboropolice.org

**Patricia J. Wain**  
Chief of Police  
Phone: 330.626.4976  
Fax: 330.626.5239  
info@streetsboropolice.com

TO: Planning Department

FROM: Chief Patricia Wain

DATE: March 11, 2021

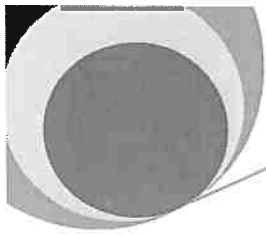
RE: Site Plan: Geis Construction for 525 Frost Road

After reviewing the site plan amendment for new construction at 525 Frost Road. My only comment would be to suggest additional signage at Frost Road indicating the addresses at the complex. Because 525 Frost sits directly behind 555 Frost and the entrance drive is off of Phillip Parkway, it may not be as easily located because the expected address would be Phillip Parkway.

Patricia Wain  
Chief of Police







*City of Streetsboro*  
**WATER DEPARTMENT**  
**Site Plan Review Report**

3/17/2021

Frost Road Commerce III

Phillip Parkway, Streetsboro Ohio 44241

**Reviewed By:** Geoffrey R. Willa Water Operator 1 / GIS Administrator

Streetsboro Water Department

2094 State Route 303

Streetsboro, Ohio 44241

Phone: (330) 626-2856

Email: [gwilla@cityofstreetsboro.com](mailto:gwilla@cityofstreetsboro.com)

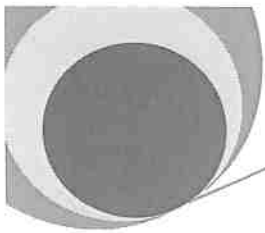
**Site Plan:**  Approved as Submitted  Site Plan Requires Revisions

**#1- Required Revision:** Water Service line is required to be relocated to north end of building and tapped to 12" main at street. Water Service lines are prohibited from being tapped to a fire main. Additionally service size and curb stop valve must be identified and labeled.

**Reason for Revision:** Water Department Rules and Regulations. South side of building houses sewer and gas line that prohibits installation on south side of building. Additionally only one of existing 2 water lines are shown on the south side of the building.

**#2- Required Revision:** Building must have its own fire protection. Existing fire services 2 structures currently with a 6" main for the Frost Road addresses. It has been brought to my attention the address for this building will have to be labeled as Phillip Parkway address. A minimum 12" x 8" tapping sleeve will be required at the road and 8" minimum line taken thru a 12" casing under the road to the first tee and ran as 8" or 6" to hydrants on south east corner depending on Fire Department size approval. The line size to the building will be determined by the fire system installed and fire load. All hydrants will be blue and yellow unless connected to the fire pump system. In this case the hydrant would be color coded yellow. C-900 will be an acceptable fire line. Fire line must have tapping valve and valve box and a second valve on the other side of the road with valve box. Valves must be same size as the fire line.

**Reason for Revision:** Water Department Rules and Regulations, NFPA, AWWA and Ten State Standards.



## City of Streetsboro

### WATER DEPARTMENT Site Plan Review Report

**#3- Required Revision:** Recommend a valve be located near the tee on the hydrant run for emergency use in the event that line would develop a leak the building could still have water to fire system. This valve does not replace the hydrant watch valve at the hydrant which at minimum is required.

**Reason for Revision:** Recommendation

**#4- Required Revision:** FDC to be located within 50' of the existing hydrant located on the south side of the building and line size to building to be determined by Fire Department and building fire load.

**Reason for Revision:** NFPA Standards, Streetsboro Fire Department.

**#5- Required Revision:** In addition to the Site Plan Drawings, the City of Streetsboro Water Department requires a detailed drawing of the proposed interior plumbing at entry point (Utility Room(s)) for Domestic and Fire, and to include: Service and Fire Lines, meters, backflow devices, and pumps with descriptions of each.

**Reason for Revision:** Water Department Rules

**#6- Required Revision:** Language must be in water notes: All service taps shall be from the water main along the frontage of the property within the green space (no service taps shall be placed within the driveway unless otherwise approved in writing by the City Service Director). §102.01 of the Water rules and regulations, Ordinance No. 2005-40, Passed March 28, 2005.

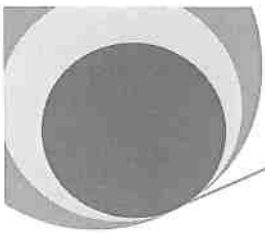
**Reason for Revision:** City of Streetsboro Ordinance.

**#7- Required Revision:** All water and fire service lines and apparatuses must be labeled and identified as to type and size. Interior plumbing design at entry point (Water Room) must also be accurately identified and received at the Water Department office for design approval.

**Reason for Revision:** Water Department Rules

**Additional Comments:** The City of Streetsboro Water Department requires all Proposed and As-Built drawings be submitted electronically to pass final inspection. Also included in this submission shall be a detailed drawing of the interior plumbing at entry point (Utility Room(s)) for domestic and fire, and to include meters, backflow devices, and pumps with descriptions of each. Electronic submittals should be forwarded to [gwilla@cityofstreetsboro.com](mailto:gwilla@cityofstreetsboro.com). The City of Streetsboro will not accept CAD files as electronic submission.

See attached rough detail I have included.



# City of Streetsboro

## WATER DEPARTMENT Site Plan Review Report

