

SPECIAL PERMIT APPLICATION FOR THE TOWN OF WENDELL

Applicant Last Name Perkins

Applicant First Name Ashley

Applicant Street Address 19 Davis Rd

City Wendell State MA Zip Code 01379

Applicant Mailing Address (if different) 19 David Rd

City Millers Falls State MA Zip Code 01349

Phone(evening) 413-325-4760 Phone (day) 413-325-4760

Email ashley.slicer@yahoo.com

Address of the Activity 19 Davis Rd Wendell MA 01379

Assessors' Map and Parcel ID's 404-21

Parcel Deed Book and Page Franklin County Registry of Deeds, Plan Book 66, Page 94
Plan Book 7530, Page 142 and Plan Book 7530, Page 187

Parcel Owner Robert and Jennifer Lowell, Ashley and Jesse Perkins

Phone (evening) Same as Above Phone (day) Same as Above

Parcel Owner Mailing Address 19 Davis Rd

City Millers Falls State MA Zip Code 01349

Note: A copy of the Parcel Deed must be provided.

Special Permits:

No building or structure or land shall be used for any purposes other than those permitted in Article VI, Section B. The Special Permit Granting Authority (SPGA) has the power to impose any conditions, safeguards, and/or limitations on time or use of the premises granted under Special Permit.

Three general categories of uses are established under the Wendell Zoning Bylaws; those established by right, those prohibited, and those permitted by Special Permit. The Wendell Planning Board and the Selectboard are the SPGAs for those uses designated in Section F of Article VI as requiring a Special Permit. Special Permits may be issued only upon written determination by the SPGA that there will be no significant adverse effects to the Town after consideration of the Special Permit Criteria.

The applicant must submit a complete application to the Town Clerk, notify the Planning Board of application submittal in writing, and pay fees directly to the Planning Board in order for the application to be considered complete. A public hearing must take place within 65 days of filing and payment of fees. A decision will be rendered and filed with Town Clerk within 90 days after the public hearing is officially closed.

Please refer to the Town of Wendell's Zoning Bylaws Article VI, including Sections C and D for submission and procedural description. The applicant is responsible for a completed application and its appropriate filing.

What Permits are you applying for?

☐ Special Permit for Secondary Dwelling

☐ Special Permit for Guest Cabin

☒ Special Permit for removing and replacing a non-conforming structure

(see Article VI, Section F Use Regulations in Wendell Zoning Bylaws)

If applicant is not sole owner(s) of parcel(s), include a notarized statement by owner(s) granting permission for activity.

Please address the following Special Permit criteria.

Traffic safety and flow:

Access points on or to any road must not present unsafe traffic conditions. Parking and traffic flow on site must be adequate for proposed uses and safe for pedestrians.

Access points to the road will not be blocked and will not be unsafe for traffic conditions.
There is plenty of space on site for all necessary equipment and will be safe for working conditions.

Impact upon utilities and town services:

Must not stress the Town's capabilities to service the premises, considering existing roads, town equipment, and other municipal services.

There will be no impact to the town utilities or services for this remove and replace of a residential home. We are not requesting the use of the towns equipment.

Impact on abutting properties:

Consideration of the impact on neighborhood or abutting properties in relation to noise, light, odor, vibrations, smoke, dust, heat, vehicular traffic, pollution of air, earth, or surface and ground water, security, explosion, and fire hazards. Objectionable features should be screened from neighbors.

I have made the owners of the abutting properties aware of my intentions to remove and replace the existing home.

Impact on the natural environment:

All efforts must be made to minimize the displacement of stone walls, trees, natural and historical land features and buildings, soil and vegetation, blasting and grade changes, wildlife and aquatic habitat. Consideration of sufficient storm water drainage, protection from silt build-up, and minimization of erosion must be provided.

The natural environment on the property will be minimally affected by the construction as this proposal is only a remove and replace of the current residential home

Design standards:

All efforts must be made to insure that the design is energy efficient, and that the land and premises are adaptable to the proposed use, and that all structures should be visually harmonious with one another.

The new residential structure is compliant with energy efficiency and will be visually appealing and harmonious with the surrounding structures. The land and premises will be adaptable to the proposed use since the new residential home will be placed in the same spot as the previous home. Because of this, there will be minimal changes to the landscape.

Access for emergency vehicles:

Adequate access must be provided to within thirty (30) feet of the building site sufficient for all emergency vehicles i.e. fire trucks, ambulance, police, etc.

There is sufficient space on the property to accomodate all emergency vehicles should the need arise.

Flood Prevention and Mitigation:

For activities within areas prone to flooding or subject to inundation (from a dam release), all efforts must be made to ensure impacts are mitigated including the securing of chemicals and the safety of persons.

We are not in a flood zone. We have not experienced any flooding since obtaining the property in 1968.

Proposed uses should be harmonious with the existing wooded, rural, and agricultural character of Wendell and preserve views and open space.

A completed application includes:

- ☒ Fee
- ☒ If not sole owner(s) of parcel, notarized statement granting permission for activity by owner(s)
- ☒ Statements of how above Criteria will be met
- ☐ Any further material requested by the Planning Board (see below)
- ☐ If filing for Secondary Dwelling, written statements of Secondary Dwelling requirements
- ☐ If filing for Guest Cabin or Secondary Dwelling, building plans and a drawing of lot boundary that includes existing structures, access to the proposed building, the proposed building site and existing and proposed building set backs.

In addition the SPGA may further request:

Building plans drawn no greater than 40 feet to the inch, prepared by registered Massachusetts architect, engineer, landscape architect, or surveyor including:

- a locus map.
- boundary of the entire parcel held in common ownership by the applicant including existing buildings with all setbacks, proposed parking, loading areas, and waste storage and disposal.
- location, size, and type of all proposed signs and exterior lighting.
- existing and proposed topography of the site at two foot contour intervals including description of existing vegetation and natural features.
- storm water drainage plans showing proposed method of handling storm water run-off, engineering calculations used to determine drainage requirements based upon ten -year storm frequency, direction and location of run-off flow.

Additional requirements for Secondary Dwellings

Please address the following requirements: N/A

1. Subject to a Special Permit from the Wendell Planning Board, one secondary dwelling may be located on a building lot in accordance with the following requirements:
 - a) Occupants in the secondary dwelling shall be limited to a maximum of two (2).

b) Maximum square footage of the interior living area of the secondary dwelling shall be 800 square feet.

c) Construction of a secondary dwelling will require a minimum lot size of three (3) acres for a single-family dwelling and four (4) acres for a two-family dwelling.

d) A minimum 50 foot setback shall be maintained between the secondary dwelling and all lot lines.

e) The maximum setback between the primary and secondary dwelling shall not exceed 100 feet.

f) The Planning Board may waive setback requirements for conversion of a structure that has been in existence for the ten (10) years preceding application for this special permit, provided that such waiver is consistent with Special Permit criteria and does not compound any adverse impact on abutters

g) The principal building on the lot is a single or two family dwelling.

h) The proposed secondary dwelling will meet applicable sanitation and building codes.

i) Access to the secondary dwelling from the public way shall be through existing access (driveway) for the primary dwelling.

j) The secondary dwelling and primary dwelling must be held under the same ownership. The secondary dwelling cannot be sold separately from the primary dwelling, and the applicant must note this as a notation on or adjunct to the deed.

Fee Information applicable to Special Permits subject to Planning Board Review

Table of Special Permit Fees

Uses	Fee
Single Residence	\$50.00
Guest Cabin	\$50.00
Secondary Dwelling	\$50.00
Commercial or Industrial Special Permit	\$400 plus the larger of: \$100.00 per acre disturbed or \$100.00 per 2500 square feet of building space created or renovated

Applicant must pay the cost of legal notices to abutters, abutting towns, and newspapers. Please be prepared with a check at the public hearing. All Special Permits are conditioned on full payment of the permit fee and legal notice costs.



**Franklin Regional
Council of Governments**

May 19, 2025

Ashley Perkins
19 Davis Road
Wendell, MA 01379

Dear Ashley Perkins:

I have received your application to remove an existing manufactured home and replace it with a new one at 19 Davis Road, Wendell.

You submitted a site plan showing three homes on your building lot. However, Wendell zoning bylaws, article 5, section A 1, states that only one primary dwelling is allowed. Therefore, your existing home is considered preexisting non-conforming.

Article 4, "non-conforming structures," allows you to change the home based on a finding by the Zoning Board of Appeals.

Therefore, you are directed to the Wendell Zoning Board of Appeals for a finding which would allow you to remove the existing home and replace it with a new one.

Once you receive a positive finding please submit it to my office. I can then issue the building permit.

Sincerely,

A handwritten signature in black ink, appearing to read "James Hawkins", is written over the printed name. The signature is fluid and cursive.

James Hawkins
Building Commissioner

cc: Zoning Board of Appeals

5/20/2025


To Whom it May Concern:

We, Robert T. Lowell Jr. and Jennifer M. Lowell of 21 Davis Rd in Wendell
Massachusetts, grant permission for Ashley and Jesse Perkins to remove and replace
their existing manufactured home on our property.

Sincerely,

Robert T. Lowell Jr.
Robert T. Lowell Jr.

Jennifer M. Lowell
Jennifer M. Lowell

COMMONWEALTH OF MASSACHUSETTS
Robert and Jennifer Lowell
personally appeared before me, the undersigned notary public, and
proved to me his/her identity through satisfactory evidence, which
were Drivers License to be the person
whose name is signed on the preceding or attached document in my
presence on this 20 day of May, 2025.
 Paul Babineau II
PAUL BABINEAU II, Notary Public
My Commission Expires February 15, 2030



MassMapper

Leaflet | Mapbox

42.57079, -72.56004 LAT/LON

Enter a location...

300 ft
buffer distance

1:4514
50 m
200 ft

map_par_id	loc_id	map_no	town_id	prop_id
	M_121288_924287	403		319 403.0-0000-0003.0
403.0-0000-0001.0	M_120889_924830	403		319 403.0-0000-0001.0
	M_121325_925060	404		319 404.0-0000-0024.1
35-0-17	M_120840_925028	35		192 35-0-17
35-0-43	M_120835_924995	35		192 35-0-43
404.0-0000-0022.0	M_121071_924808	404		319 404.0-0000-0022.0
35-0-16	M_120755_925267	35		192 35-0-16
192-0-114.2	M_120430_921967	192		192 192-0-114.2
403.0-0000-0002.0	M_121063_924715	403		319 403.0-0000-0002.0
404.0-0000-0027.0	M_120883_925168	404		319 404.0-0000-0027.0
404.0-0000-0020.0	M_120869_924983	404		319 404.0-0000-0020.0
404.0-0000-0019.0	M_120945_925066	404		319 404.0-0000-0019.0

bldg_val	land_val	other_val	total_val	fy	lot_size	use_code
728300	273200	58600	1060100	2025	65	109
0	41600	13200	54800	2025	2.46	106
305300	54315	106200	465815	2025	73.2	0176
0	9500	0	9500	2025	0.55	132
193500	56400	0	249900	2025	0.28	101
0	42800	0	42800	2025	2.69	423
213400	122200	6000	341600	2025	15.3	101
0	3567400	0	3567400	2025	640	910
0	43000	0	43000	2025	2.72	130
0	36700	0	36700	2025	1.5	130
0	27700	0	27700	2025	0.17	130
47500	38700	7800	94000	2025	1.9	103

site_addr	addr_num	full_str	city	zip
28 COLD BROOK RD	28	COLD BROOK RD	WENDELL	01370
10 DAVIS RD	10	DAVIS RD	WENDELL	01370
47 DAVIS RD	47	DAVIS RD	WENDELL	01370
MORMON HOLLOW RD		MORMON HOLLOW RD	MONTAGUE	
3 DAVIS RD	3	DAVIS RD	MONTAGUE	
0 DAVIS RD	0	DAVIS RD	WENDELL	01370
89 MORMON HOLLOW RD	89	MORMON HOLLOW RD	MONTAGUE	
WENDELL RD		WENDELL RD	MONTAGUE	
0 DAVIS RD	0	DAVIS RD	WENDELL	01370
0 MORMON HOLLOW RD	0	MORMON HOLLOW RD	WENDELL	01370
5 DAVIS RD	5	DAVIS RD	WENDELL	01370
207 MORMON HOLLOW RD	207	MORMON HOLLOW RD	WENDELL	01370

owner1	own_addr	own_city
KELLER, DANIEL W.	28 COLD BROOK RD	MILLERS FALLS
THOMAS, RONALD	185 JUDGE RD	LYNN
FACEY, WILLIAM A.	47 DAVIS RD	MILLERS FALLS
PHANEUF RICHARD J	3 DAVIS ROAD	MILLERS FALLS
PHANEUF RICHARD J	3 DAVIS ROAD	MILLERS FALLS
WESTERN MASS ELECTRIC CO	PO BOX 270	HARTFORD
FOLEY BRIAN E	7 SAINT CHARLES ST	DERRY
MASSACHUSETTS COMMONWEALTH OF	251 CAUSEWAY ST	BOSTON
WESTERN MASS ELECTRIC CO	PO BOX 270	HARTFORD
THOMAS, RONALD	185 JUDGE RD	LYNN
PHANEUF, RICHARD	3 DAVIS RD	MILLERS FALLS
WICKLINE, MICHELLE	209 MORMON HOLLOW RD	MILLERS FALLS

own_state	own_zip	ls_book	ls_page
MA	01349	1581	67
MA	01904		
MA	01349	2339	95
MA	01349		
MA	01349	3996	34
CT	06141-0270		
NH	01349	08309	191
MA	02114		
CT	06141-0270		
MA	01904-2069		
MA	01349	5761	168
MA	01349	6101	209

Franklin County Registry of Deeds
Electronically Recorded Document

This is the first page of the document - Do not remove

Recording Information

Document Number	: 1154
Document Type	: DEED
Recorded Date	: February 10, 2025
Recorded Time	: 03:27:41 PM
Recorded Book and Page	: 08437 / 241
Number of Pages(including cover sheet)	: 5
Receipt Number	: 205707
Recording Fee (including excise)	: \$155.00

MASSACHUSETTS EXCISE TAX
Franklin District ROD #11 001
Date: 02/10/2025 03:27 PM
Ctrl# Doc# 00001154
Fee: \$.00 Cons: \$1.00

Franklin County Registry of Deeds
Scott A. Cote, Register
Courthouse
43 Hope Street
P.O. Box 1495
Greenfield, MA 01302-1495
413-772-0239
www.Masslandrecords.com

QUITCLAIM DEED

We, **ROBERT T. LOWELL, JR.** and **JENNIFER LOWELL**, a married couple, of Wendell, Franklin County, Massachusetts

in consideration of One and 00/100 Dollars (\$1.00)

Grant to: **JESSE W. J. PERKINS** and **ASHLEY M. PERKINS**, a married couple, both of 19 Davis Road, Wendell, Massachusetts, as tenants by the entirety
(tax bills to be mailed to: Robert T. Lowell, Jr. and Jennifer Lowell, 21 Davis Road, Millers Falls, Massachusetts 01349)

with QUITCLAIM COVENANTS

The land in Wendell, Franklin County, Massachusetts, bounded and described as follows:

BEGINNING on a point at an iron pin, said point being the southwesterly corner of land now or formerly of Louise Kniskern, on the easterly side of Davis Road, so called;

thence N 88° 33' 57" E 72.14 feet to an iron pin;

thence N 25° 08' 36" W 75.00 feet to an iron pin;

thence N 00° 49' 11" E 182.24 feet to an unmarked point, the last three courses being along the easterly boundary of land now or formerly of the aforesaid Kniskern, said unmarked point being in the center of Lyons Brook;

thence, in a northeast direction along the center line of Lyons Brook 127 feet, more or less, to a point which is N 50° 04' 27" E 125.96 feet from the previous point;

thence S 31° 00' 04" E 306.80 feet to an iron pin, said course being along the westerly line of land now or formerly of Wilfred E. & Marjorie Thompson;

thence S 07° 29' 00" E 459.19 feet to an iron pin, said course being along the westerly line of land now or formerly of William A. & Linda B. Facey;

thence S 21° 45' 59" W 199.76 feet to an iron pin in the easterly line of the aforesaid Davis Road, said course being along the northwesterly line of land now or formerly of Western Massachusetts Electric Company;

thence N 30° 03' 54" W 90.55 feet to an unmarked point;

thence N 18° 43' 36" W 240.32 feet to an unmarked point;

Property Address: 21 Davis Road, Wendell, Massachusetts

thence N 35° 53' 57" W 144.94 feet to an unmarked point;

thence N 30° 04' 23" W 77.68 feet to an unmarked point;

thence N 25° 08' 36" W 86.60 feet to an iron pin and place of beginning;

the last five courses being along the easterly line of Davis Road so called.

Containing 3.7 acres, more or less, and shown on Plan of Land in Wendell, Franklin County, Massachusetts, surveyed for Robert Lowell dated August 31, 1987, and recorded at the Franklin County Registry of Deeds, Plan Book 66, Page 94.

Being the same premises conveyed from Robert T. Lowell, Jr. to Robert T. Lowell, Jr. and Jennifer Lowell, as tenants by the entirety, dated April 28, 2020, and recorded in the Franklin County Registry of Deeds, Book 7530, Page 142.

RESERVING TO THE GRANTORS, ROBERT T. LOWELL, JR. AND JENNIFER LOWELL, A LIFE ESTATE IN THE ABOVE SAID PROPERTY WITH THE RIGHT TO USE AND OCCUPY THE PROPERTY DURING THE REMAINDER OF THEIR LIVES.

Reserving to the Grantors, the Declaration of Homestead dated April 28, 2020, and recorded with the Franklin County Registry of Deeds, Book 7530, Page 187.

No title examination was performed by the preparer of this deed

Executed as a sealed instrument this 10 day of February, 2025.

Robert T. Lowell
ROBERT T. LOWELL, JR.

COMMONWEALTH OF MASSACHUSETTS

COUNTY OF FRANKLIN

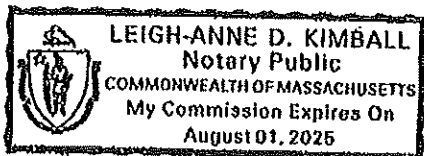
On this 10th day of February, 2025, before me, the undersigned notary public, personally appeared **ROBERT T. LOWELL, JR.**, who proved her identity to me:

 by personal knowledge of signatory for a period of time establishing beyond doubt that the individual has the identity claimed;

 by taking the oath of a credible witness, unaffected by this document or transaction, who has personal knowledge of signatory, said witness being personally known to me;

✓ by satisfactory evidence of photographic identification of signatory, which was his current driver's license,

and swore to me to be the person whose name is signed on the preceding or attached document, and acknowledged to me that he signed it voluntarily for its stated purpose, and affirmed to me that the contents of the document are truthful and accurate to the best of his knowledge and belief.



Leigh-Anne D. Kimball

Notary Public: Leigh-Anne D. Kimball
My Commission Expires: August 01, 2025

Executed as a sealed instrument this 10th day of February, 2025.

Jennifer Lowell
JENNIFER LOWELL

COMMONWEALTH OF MASSACHUSETTS

COUNTY OF FRANKLIN

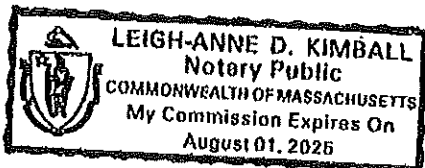
On this 10th day of February, 2025, before me, the undersigned notary public, personally appeared **JENNIFER LOWELL**, who proved her identity to me:

___ by personal knowledge of signatory for a period of time establishing beyond doubt that the individual has the identity claimed;

___ by taking the oath of a credible witness, unaffected by this document or transaction, who has personal knowledge of signatory, said witness being personally known to me;

☒ by satisfactory evidence of photographic identification of signatory, which was her current driver's license,

and swore to me to be the person whose name is signed on the preceding or attached document, and acknowledged to me that she signed it voluntarily for its stated purpose, and affirmed to me that the contents of the document are truthful and accurate to the best of her knowledge and belief.



Leigh-Anne D. Kimball
Notary Public: Leigh-Anne D. Kimball
My Commission Expires: August 01, 2025



The Commonwealth of Massachusetts
Board of Building Regulations and Standards
Massachusetts State Building Code, 780 CMR, 9th edition
Building Permit Application for a One- or Two-Family Dwelling

TOWN OF
WENDELL

Revised January 1,
2008

This Section For Official Use Only

Building Permit Number: _____ Date Applied: _____

Signature: _____
Building Commissioner/ Inspector of Buildings Date

SECTION 1: SITE INFORMATION

1.1 Property Address:
19 Davis Road Wendell MA 01379

1.2 Assessors Map & Parcel Numbers

464 21
Map Number Parcel Number

1.1a Is this an accepted street? yes _____ no _____

1.3 Zoning Information:

Zoning District _____ Proposed Use _____

1.4 Property Dimensions:

Lot Area (sq ft) _____ Frontage (ft) _____

1.5 Building Setbacks (ft)

Front Yard		Side Yards		Rear Yard	
Required	Provided	Required	Provided	Required	Provided
	240 ft		199 ft		459 ft

1.6 Water Supply: (M.G.L.c. 40, §54)

Public ☐ Private ☒

1.7 Flood Zone Information:

Zone: _____ Outside Flood Zone?
Check if yes ☒

1.8 Sewage Disposal System:

Municipal ☐ On site disposal system ☒

SECTION 2: PROPERTY OWNERSHIP¹

2.1 Owner¹ of Record:

Ashley Perkins

Name (Print)

Signature _____

19 Davis Road Wendell MA 01379

Address for Service:

413-325-4760

Telephone

E-MAIL: _____

SECTION 3: DESCRIPTION OF PROPOSED WORK² (check all that apply)

New Construction ☐ Existing Building ☐ Owner-Occupied ☐ Repairs(s) ☐ Alteration(s) ☐ Addition ☐
Demolition ☐ Accessory Bldg. ☐ Number of Units _____ Other ☒ Specify: _____

Brief Description of Proposed Work²: Remove and replace existing manufactured home.

**See Attached

SECTION 4: ESTIMATED CONSTRUCTION COSTS

Item	Estimated Costs: (Labor and Materials)	Official Use Only
1. Building	\$158,000	1. Building Permit Fee: \$ _____ Indicate how fee is determined: <input type="checkbox"/> Standard City/Town Application Fee <input type="checkbox"/> Total Project Cost ³ (Item 6) x multiplier _____ x _____ 2. Other Fees: \$ _____ List: _____ Total All Fees: \$ _____ Check No. _____ Check Amount: _____ Cash Amount: _____ <input type="checkbox"/> Paid in Full <input type="checkbox"/> Outstanding Balance Due: _____
2. Electrical	\$500.00	
3. Plumbing	\$500.00	
4. Mechanical (HVAC)	\$500.00	
5. Mechanical (Fire Suppression)	\$500.00	
6. Total Project Cost:	\$160,000	

SECTION 5: CONSTRUCTION SERVICES

5.1 Licensed Construction Supervisor (CSL)

N/A

Name of CSL- Holder

Address

Signature

Telephone

E-MAIL

License Number _____ Expiration Date _____

List CSL Type (see below) _____

Type	Description
U	Unrestricted (up to 35,000 Cu. Ft.)
R	Restricted 1&2 Family Dwelling
M	Masonry Only
RC	Residential Roofing Covering
WS	Residential Window and Siding
SF	Residential Solid Fuel Burning Appliance Installation
D	Residential Demolition

5.2 Registered Home Improvement Contractor (HIC)

N/A

HIC Company Name or HIC Registrant Name

Address

Signature

Telephone

Registration Number

Expiration Date

SECTION 6: WORKERS' COMPENSATION INSURANCE AFFIDAVIT (M.G.L. c. 152, § 25C(6))

Workers Compensation Insurance affidavit must be completed and submitted with this application. Failure to provide this affidavit will result in the denial of the Issuance of the building permit.

Signed Affidavit Attached? Yes ☒ No ☐

SECTION 7a: OWNER AUTHORIZATION TO BE COMPLETED WHEN OWNER'S AGENT OR CONTRACTOR APPLIES FOR A BUILDING PERMIT

I, N/A, as Owner of the subject property hereby authorize _____ to act on my behalf, in all matters relative to work authorized by this **BUILDING PERMIT** application.

Signature of Owner

Date

SECTION 7b: OWNER' OR AUTHORIZED AGENT DECLARATION

I, N/A, as Owner or Authorized Agent hereby declare that the statements and information on the foregoing application are true and accurate, to the best of my knowledge and behalf.

Print Name

Signature of Owner or Authorized Agent

Date

(Signed under the pains and penalties of perjury)

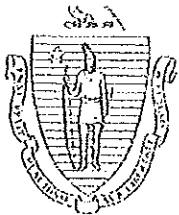
NOTES:

1. An Owner who obtains a building permit to do his/her own work, or an owner who hires an unregistered contractor (not registered in the Home Improvement Contractor (HIC) Program), will not have access to the arbitration program or guaranty fund under M.G.L. c. 142A. Other important information on the HIC Program and Construction Supervisor Licensing (CSL) can be found in 780 CMR Regulations 110.R6 and 110.R5, respectively.

2. When substantial work is planned, provide the information below:

Total floors area (Sq. Ft.) _____	(including garage, finished basement/attics, decks or porch)
Gross living area (Sq. Ft.) _____	Habitable room count _____
Number of fireplaces _____	Number of bedrooms _____
Number of bathrooms _____	Number of half/baths _____
Type of heating system _____	Number of decks/ porches _____
Type of cooling system _____	Enclosed _____ Open _____

3. "Total Project Square Footage" may be substituted for "Total Project Cost"



THE COMMONWEALTH OF MASSACHUSETTS
Department of Industrial Accidents
Office of Investigations
Lafayette City Center
2 Avenue de Lafayette, Boston, MA 02111-1750
www.mass.gov/dia

Workers' Compensation Insurance Affidavit: Builders/Contractors/Electricians/Plumbers
Applicant Information **Please Print Legibly**

Name (Business/Organization/Individual): _____

Address: _____

City/State/Zip: _____ Phone #: _____

Are you an employer? Check the appropriate box:

- | | |
|---|---|
| <p>1. <input type="checkbox"/> I am an employer with _____ employees (full and/or part-time).*</p> <p>2. <input type="checkbox"/> I am a sole proprietor or partnership and have no employees working for me in any capacity. [No workers' comp. insurance required.]</p> <p>3. <input checked="" type="checkbox"/> I am a homeowner doing all work myself. [No workers' comp. insurance required.] †</p> | <p>4. <input type="checkbox"/> I am a general contractor and I have hired the sub-contractors listed on the attached sheet. These sub-contractors have employees and have workers' comp. insurance. ‡</p> <p>5. <input type="checkbox"/> We are a corporation and its officers have exercised their right of exemption per MGL c. 152, §1(4), and we have no employees. [No workers' comp. insurance required.]</p> |
|---|---|

Type of project (required):

6. ☐ New construction
7. ☐ Remodeling
8. ☐ Demolition
9. ☐ Building addition
10. ☐ Electrical repairs or additions
11. ☐ Plumbing repairs or additions
12. ☐ Roof repairs
13. ☒ Other Remove and replace existing manufactured home.

*Any applicant that checks box #1 must also fill out the section below showing their workers' compensation policy information.

† Homeowners who submit this affidavit indicating they are doing all work and then hire outside contractors must submit a new affidavit indicating such.

‡ Contractors that check this box must attached an additional sheet showing the name of the sub-contractors and state whether or not those entities have employees. If the sub-contractors have employees, they must provide their workers' comp. policy number.

I am an employer that is providing workers' compensation insurance for my employees. Below is the policy and job site information.

Insurance Company Name: _____

Policy # or Self-ins. Lic. #: _____ Expiration Date: _____

Job Site Address: _____ City/State/Zip: _____

Attach a copy of the workers' compensation policy declaration page (showing the policy number and expiration date). Failure to secure coverage as required under Section 25A of MGL c. 152 can lead to the imposition of criminal penalties of a fine up to \$1,500.00 and/or one-year imprisonment, as well as civil penalties in the form of a STOP WORK ORDER and a fine of up to \$250.00 a day against the violator. Be advised that a copy of this statement may be forwarded to the Office of Investigations of the DIA for insurance coverage verification.

I do hereby certify under the pains and penalties of perjury that the information provided above is true and correct.

Signature: Garry R Date: 5/21/2025

Phone #: _____

Official use only. Do not write in this area, to be completed by city or town official.

City or Town: _____ Permit/License # _____

Issuing Authority (check one):

1. ☐ Board of Health 2. ☐ Building Department 3. ☐ City/Town Clerk 4. ☐ Electrical Inspector 5. ☐ Plumbing Inspector 6. ☐ Other _____

Contact Person: _____ Phone #: _____

SPECIFICATIONS FOR
CHAMPTON HOME BUILDERS CO.
DOUBLE SECTION MANUFACTURED HOUSING

1.0 FRAME

The frames will be constructed in accordance with third party approved structural drawings from the following materials:

1.1 Main Beams:

There are two main steel I-Beams, sized in accordance with the length and weight of the home. Beams shall run the full length of the home, unless the optional foundation installation is ordered, which shortens the frame 4" to 16" on each end to allow for a block foundation. Beams shall be spaced at either 80", 99.5" O.C. Steel shall meet the requirements of ASTM/A-36.

1.2 Crossmembers:

Crossmembers shall be welded to the bottom flange of the I-Beam, as required by loads. Crossmembers shall be a minimum of 1-1/2" x 3 x 1-1/2" x 13 gauge steel channel. Outriggers (if required) will align with crossmembers per approved structural drawings.

1.3 Front

Crossmember:

Front crossmember shall be the same material as main steel I-beam.

1.4 Hitch:

Hitches will be made of steel I-beam, sized for the applied load, and welded to the main beam and front crossmember. Detachable hitches are available as an option.

1.5 Finish:

All exposed steel shall be finished to resist rusting.

1.6 Axles:

Axles shall be as required for transportation from the manufacturing facility to the site.

2.0 FLOOR

The floor will be constructed in accordance with third party approved structural drawings from the following materials.

2.1 Floor Joists:

Joists shall be nominal 2" x 6". Joist grade and species shall be as required for roof load, floor load and frame spacing. Rim joist will be the same as floor joist. Available option 2 x 8 joist. (2 x 8 floor joist standard with 32' wide

and perimeter frame.)

2.2 Bottom Board: The bottom side of the floor shall be covered with a continuous roll bottom board, which protects the insulation and joists.

2.3 Insulation: Floor shall be insulated with a blanket of fiberglass insulation having a minimum uncompressed R-value of 22. Higher values of insulation are available.

2.4 Floor Decking: Floor joists shall be covered with nominal 5/8" thick particleboard or wafer board or plywood subfloor, exceeding the structural requirements of D-2 or D-3 decking.

2.5 Floor Covering: Decking shall be covered with a finish floor of either vinyl roll goods or wall-to-wall carpet with 1/2" pad. Upgrade carpet is an available options.

3.0 EXTERIOR WALLS Exterior walls will be constructed in accordance with third party approved structural drawings from the following materials:

3.1 Interior Finish: Walls shall be finished with 5/16" prefinished gypsum, glued and fastened to wall studs. 1/2" primed gypsum walls are available.

3.2 Wall Height: All exterior walls will have a minimum height of 7'-0". In some locations, 7'-6" wall height is standard.

3.3 Studs: Exterior walls are constructed of 2"x6" studs at 16" o/c, and shall be stud or #3 grade. Headers shall be as required for the roof load. In some locations 2"x4" walls are available.

3.4 Top Plate: Top plate shall be a single 2"x6" stud or #3 grade.

3.5 Bottom Plate: Bottom plate shall be a single 1"x6" stud or #3 grade.

3.6 Insulation: Walls shall be insulated with fiberglass insulation having a minimum R-value of 19. Available options are R-11 insulation with 4" walls.

ABS, installed in accordance with approved methods.

8.2 Water Lines: All water lines shall be PEX tubing with clamp ring insert or compression fittings, installed in

be applied over a one-piece approved shingle underlayment.

6.0 DESIGN-LIVE LOAD All structural components shall be designed to withstand the following loads, as required by Federal Standards:

6.1 Floors: Floors shall be designed to meet a 40 PSF live load. In addition, the floor shall support a 200 lb. concentrated load on a 1" dia. disc at any point on the floor.

6.2 Walls: Exterior walls shall withstand a 15 PSF wind load. Homes designated as hurricane zone construction shall withstand a 39 PSF wind load. Interior walls shall withstand a 5 PSF horizontal load.

6.3 Roofs: Roofs shall be designed to withstand the prescribed roof load for the area where the home is located, usually either 20, 30 or 40 PSF live load.

7.0 HEATING SYSTEM The home's heating system shall conform to the applicable Federal Standards in effect at the time of manufacture.

7.1 Equipment: The furnace shall be sized to heat the home to 70F when the outdoor temperature reaches the temperature shown on the compliance certificate. Standard equipment is gas forced air, oil fired forced air, electric forced air or hot water baseboard available as options.

7.2 Ducts: Each floor shall have a metal heat duct installed below the floor joists, with duct connectors thru the floor for adjustable floor registers. Duct will be 5"x12" and sized for air conditioning as specified on the data plate.

8.0 PLUMBING SYSTEM The plumbing system shall be designed and installed in accordance with the applicable Federal Standards in effect at the time of manufacture.

8.1 Drain Lines: All drain piping and fittings shall be schedule 40

accordance with approved methods.

8.3 Water Closet: Water closets shall be floor mounted vitreous china with close coupled tank, complete with seat and cover.

8.4 Lavatory: Lavatories shall be plastic oval mounted in a countertop with a 4" centerset faucet and standard stopper.

8.5 Tubs: Tubs shall be plastic with faucet and shower mixing valve. Garden tubs shall be plastic with same type of faucet. Fiberglass tubs are available at most locations.

8.6 Showers: Showers shall be a plastic pan and wall mounted mixing valve and shower head.

8.7 Kitchen Sink: Kitchen sink shall be stainless steel with back ledge for mounting of an 8" center set faucet.

8.8 Water Heater: Standard water heaters is 30 gal. electric. Optional water heaters are 30 or 40 gal. sealed combustion gas, 40 or 50 gal. electric and hot water baseboard heat with domestic hot water coil.

9.0 DOORS & WINDOWS

9.1 Exterior Doors:

Exterior doors shall be 32"x76" fiberglass clad foam filled doors complete with a keyed entry lockset. Optional combination storm/screen doors or insulated steel doors are available.

9.2 Interior Doors:

Interior doors shall be prefinished hollowcore doors with a honeycomb fill. Doors shall have passage locksets, with a privacy lockset in the bathroom.

9.3 Windows:

Windows shall be aluminum frame vertical sliding weatherstripped windows with Self-storing inside storms, glazed with SSB glass. All bedrooms shall have an egress window. Insulated windows are available. Safety glass where required.

10.0 ELECTRICAL

10.1 Service Entrance:

All homes shall be equipped with main circuit

breaker panelboards with all required branch breakers installed. All breakers shall have a minimum 10,000 amp interrupting capacity. Service entrance conduit shall terminate below the floor.

The main breaker capacity shall be sized for the equipment in the home.

10.2 Wiring

Devices:

Typical receptacles and switches are self-contained UL listed devices installed directly to the wall finish. These devices allow for a continuous loop of wire from the breaker panel to the last receptacle in the circuit.

10.3 Wiring:

All 120V/240V wiring shall be done with copper Romex with ground. Minimum wire size will be #14 AWG. Wires shall be sized in accordance with the National Electric Code. (1993)

11.0 CABINETS

11.1 Countertops:

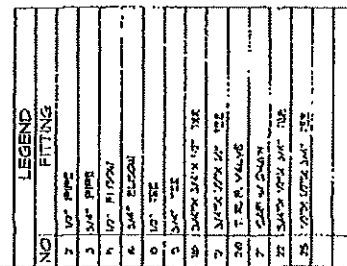
Countertops shall be made from 5/8" particleboard, laminated with high pressure plastic laminate on tops and edges.

11.2 Cabinets:

Cabinets shall be constructed using a minimum of 3/8" prefinished wood fiberboard approved for use as cabinet material. Cabinet doors shall have self-closing hinges. Drawers shall have side mounted roller guides.

12.0 CODES

All homes shall be built in accordance with the design requirements as found in the Federal Manufactured Housing Construction & Safety Standards and third party approved structural design package. Quality control program shall be followed at the corporate and plant level. Independent third party inspectors, state and NCSBCS inspectors will monitor the entire quality control program.



○ = FITTINGS TO CHANGE W/ OPTIONS.

1. WATER PUMP SUZUKI 100 cc STANDARD HEIGHT
DANGER SALVAGING STEEL, 1100 X 1.0 X 1.0
COMPLETE THING

2. SUZUKI MAY BE ELIMINATED IF PUMP USED IS
CAPABLE OF PUMPING RECHARGED BATTERY.

3. MANY OPTIONS ARE ADDED REFER TO CHART FOR
LINE SIZES.

PARTS	LINE SIZE
11014	5/8"
2 IN 11010	3/4"

4. HOT WATER LINE

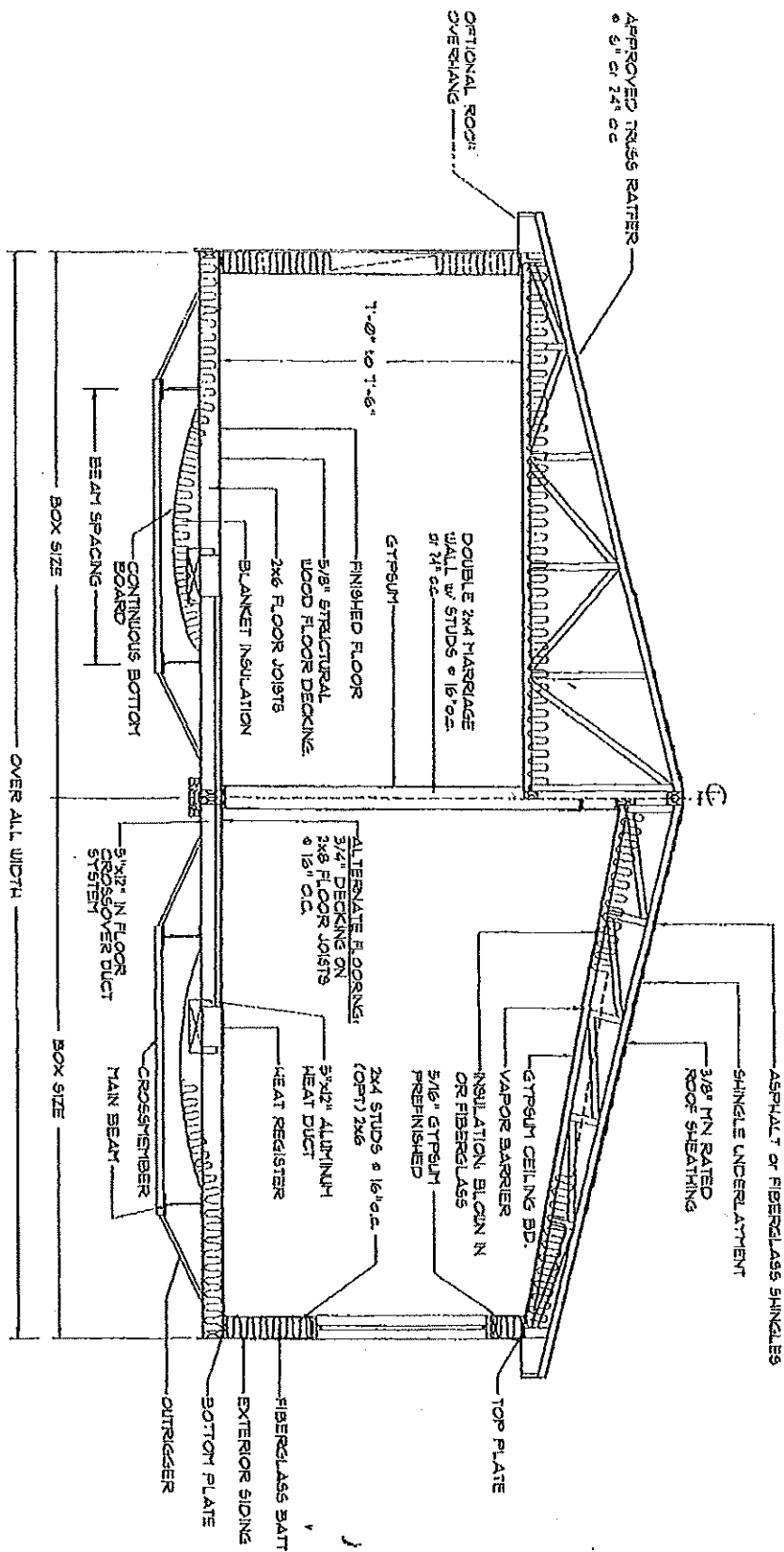
5. COLD WATER LINE

6. ALL SIZES OF FITTINGS ARE DISCUSSED BY THE
SIZE ON DRAWING.

 TITAN HOMES INC. P.O. BOX 977, RD. 1 & 204, SANGERSFIELD, N.Y. 14055	REVISIONS		COON STATION OFFICE	TYPICAL DOUBLE WIDE WATER LINE	20-2 20-2
			DESIGNED BY		
			SCALE NONE		
			DATE 11/25/97		

NOTES:

ALL DOUBLE SECTION HOMES MANUFACTURED BY CHAMPION HOME BUILDERS CO. COMPLY WITH CURRENT REQUIREMENTS OF THE FEDERAL MANUFACTURED HOUSING CONSTRUCTION AND SAFETY STANDARDS. REFER TO FOUNDATION DRINKINGS AND SET-UP MANUAL FOR FURTHER REQUIREMENTS.



BUILDING SECTION

REVISIONS

DESIGN ENGINEER OFFICE

TYPICAL DOUBLE WIDE

ASST. A-5



TITAN HOMES INC.

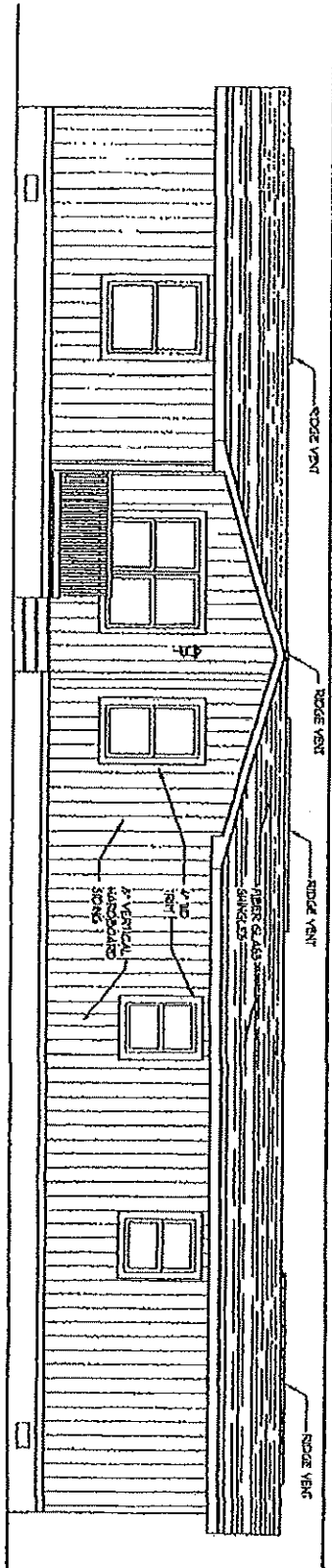
P.O. BOX 177, WY. 12 4 23, SAUGERTOWN, DE. 19055

CHECKED BY

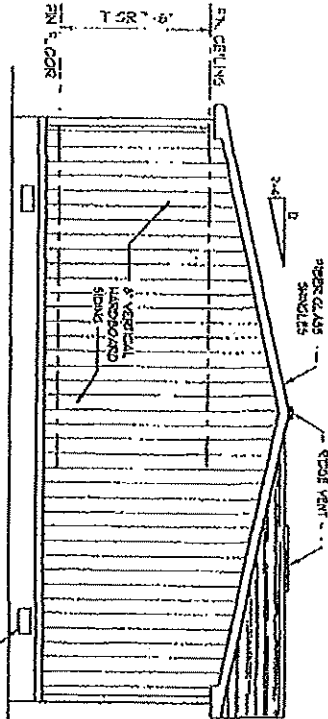
SCALE NONE

DATE 11/25/97

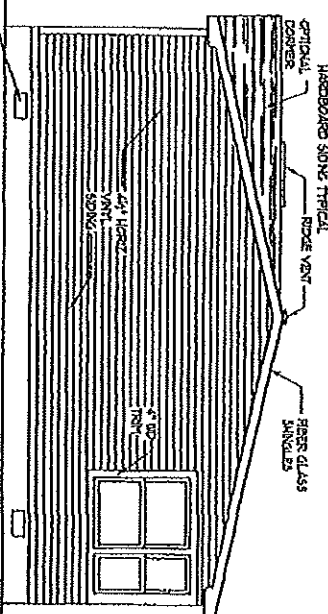
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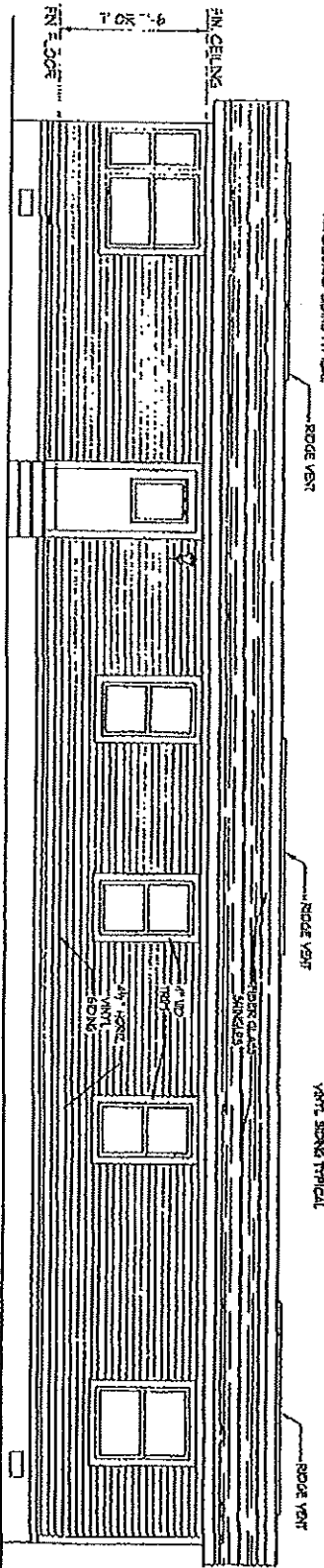
FRONT ELEVATION



L. SIDE ELEVATION



R. SIDE ELEVATION



REAR ELEVATION



TITAN HOMES INC.

P.O. BOX 177, Rte. 12 A 22, SANDERSFIELD, N.Y. 13465

REVISIONS

DESIGN BY: HOME OFFICE

DRAWN BY:

SCALE: NONE

DATE: 11/25/91

TYPICAL DOUBLE WIDE

ELEVATIONS

Sheet A-4



P.O. BOX 177, RT. 13 & 20 SAUGERTOWN, NY 12485

NOTIFICATIONS

PROJECT: 019AS-2860H32A1A
60'-0" X 26'-8"
3 BD 2 BTH
TOTAL SF: 1545
DATE: 12-2-87
SCALE: 1/8" = 1'-0"

TITLE

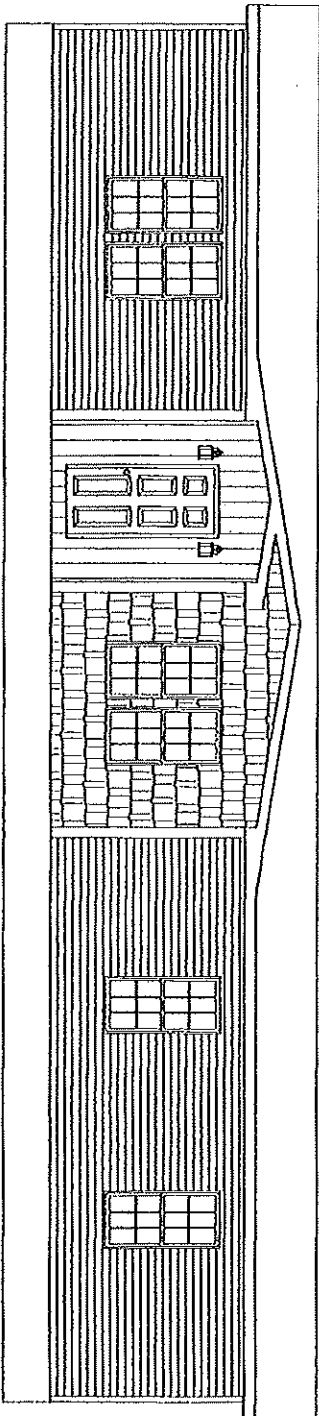
ELEVATIONS

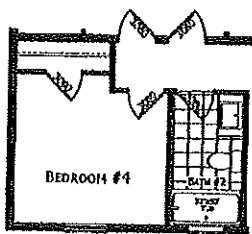
PLAN: 019AS-2860H32A1A

SHEET

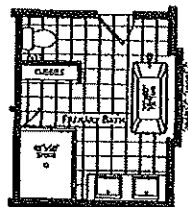
EV-101
PURSUIT

FOR THE USE OF THE ARCHITECT AND ENGINEER
FOR THE USE OF THE ARCHITECT AND ENGINEER
FOR THE USE OF THE ARCHITECT AND ENGINEER
FOR THE USE OF THE ARCHITECT AND ENGINEER

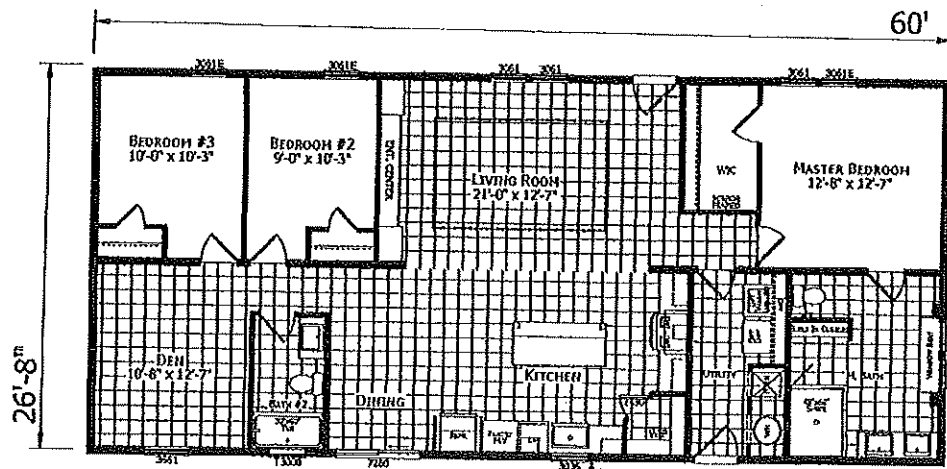




NOTE
OPTIONAL 4TH BEDROOM



OPTIONAL PRIMARY BATH



2860H32A1A A/B FLIP-MIRROR
3 BEDROOM 2 BATH
1600 Sq. Ft. TOTAL
60'-0" x 26'-8"

TITAN HOMES

2101 50TH AVE, STE. 114 & 2101 50TH AVE, STE. 114

EXPLANATION

PROJECT: 019AS-2860H32A1A
60'-0" x 26'-8"
3 BD 2 BTH

COPY: 1-101
DATE: 11/03/21
SCALE: 3/16" = 1'-0"

TITLE: LITERATURE PLAN

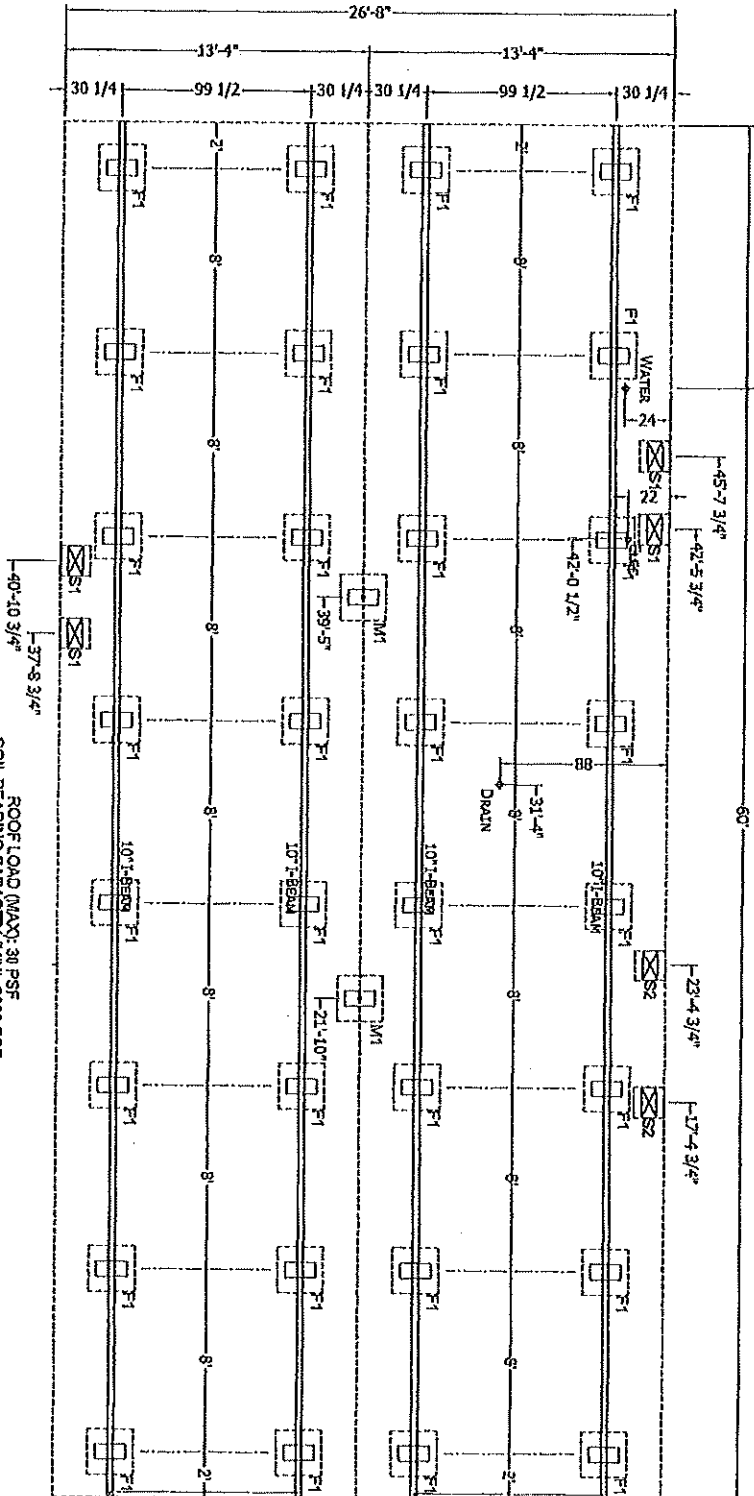
DESIGNER: HHS/2000/01

9 FEET: L-101
PURSUIT

PROPERTY IS AND DEVELOPER
THIS HOUSE IS A PROPERTY OF THE
HOMES OF AMERICA, INC. (HOMES OF AMERICA, INC.)
COPYRIGHT © 1994 BY HOMES OF AMERICA, INC.

- 1.) VERIFYING SOIL CAPACITY IS THE INSTALLERS RESPONSIBILITY.
- 2.) UTILITY DROP MEASUREMENTS ARE APPROXIMATE.
- 3.) FOR ALTERNATE PIER SPACING SEE CHAMPION INSTALLATION MANUAL.

PIER	LOAD	PIER	FOOTING
ID	LBS	SIZE	SIZE
F1	6340	8"x16"	24"x24"
S1	640	8"x16"	16"x16"
S2	1280	8"x16"	16"x16"
M1	5340	8"x16"	24"x24"



NOTE: ALL DROPS SUBJECT TO CHANGE UPON COMPLETION OF PRODUCTION PRINTS

TITAN HOMES		P.O. BOX 277, RT. 22 & 23, SANGERFIELD, NY 13455	
NOTATIONS			
PROJECT 019AS-2860H32ALA 60'-0" x 26'-8" 3 BD 2 BTH		TITLE PIER FOUNDATION PLAN	
DRAWN BY: GAW DATE: 12-05-22 SCALE: 3/16" = 1'-0"		DESIGNED BY: GAW/03/2024	
		SHEET PR-101	
		PIER AND CHAIR PURSUIT	
NOTES: 1. THESE FOUNDINGS AND APPROXIMATE AS-CONSTRUCTED FOUNDATIONS ARE BASED ON THE INFORMATION PROVIDED. CONTRACTOR IS RESPONSIBLE FOR CHANGES.			