

APPENDIX B

Village of Westhampton Beach

B-1 Zoning District

Design Guidelines

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I. Design Standards

These design principles are applicable to all development within the B-1 Zoning District, and shall be utilized by the Planning Board during the review of site plan applications.

(1) Design Principles

(a) Create a sense of place - the recognized heart of the community.

Design, size, locate, and orient buildings to create a memorable place of distinct character, based on the existing traditional development within the B-1 Zoning District as further defined below:

- [1] Buildings shall address the street. Primary doorways open onto the street and are designed to attract people to enter from the front sidewalk. Front facades contain ample windows and style elements that add interest and character.
- [2] If buildings are located adjacent to public amenities, such as plazas, gardens, and parks, they shall address these amenities in the same way they address streets.
- [3] Buildings shall be built on or close to the front property line with articulation of the facade to provide visual interest or space for a public plaza or outdoor eating area.
- [4] Buildings shall be attached or located close together with openings between them serving primarily as pedestrian or driveway accessways to rear parking lots, outdoor dining areas, or public or private amenity spaces.
- [5] A mix of single and multi-story buildings with a common set of design organizational elements.
- [6] Buildings need not have the same architectural style.

(b) Disjointed suburban strip development shall not be permitted where:

- [1] Buildings are developed as separate projects having little in common with and no connections to adjacent buildings.
- [2] Buildings are set back far from the street and address parking lots rather than the street.
- [3] Building design is dominated by standard one-story formula based architecture.

- (c) Offer a vibrant mix of activities and uses consistent with a traditional "downtown."
 - [1] Provide and maintain a complementary mix of uses in the B-1 Zoning District that will attract activity both day and evening.
 - [2] Buildings on Main Street shall contain a mix of at least two uses: retail, restaurant, office, entertainment, or residential uses. A large percentage of the ground floor of each building shall be occupied by retail, restaurant, entertainment uses.
 - [3] Buildings on Typical Side Street may be single-use buildings or contain a mix of uses, though it is the objective to obtain a mix of uses along this street.
- (d) Provide a flexible design concept that can respond to changes in market forces.
 - [1] Use these design standards as a guide to the character and type of development desired by the municipality, though developers are welcome to suggest alternative design concepts that meet these design principles, objectives and standards.
 - [2] Design buildings within the B-1 Zoning District to be adaptable to changes over time in the types and mix of uses that can be accommodated.
- (e) Make B-1 Zoning District walkable by providing quality pedestrian links and safe crossings.
 - [1] Provide public pedestrian access from the front of buildings to civic, and recreation spaces, and to rear parking areas.
 - [2] Provide pedestrian connections from off-street parking lots to the buildings they serve, to sidewalks along streets, and also to adjacent parking lots.
 - [3] Use both interior (through buildings) and exterior public pedestrian accessways to facilitate pedestrian connections. Entrances to buildings from rear and side parking lots are encouraged.
- (f) Provide adequate parking, but do not allow it to dominate the landscape.
 - [1] Locate off-street parking lots to the rear or side of buildings with most parking located to the rear.
 - [2] Meet the minimum and maximum parking standards.
 - [3] Design and construct well-landscaped parking lots.
 - [4] Screen views of cars from the street.
- (g) Integrate the B-1 Zoning District into the community.
 - [1] Provide vehicular connections between adjacent parking lots, whether or not they are under the same ownership or are located in B-1 Zoning District.
 - [2] Construct continuous public sidewalks and bicycle trails to connect adjacent parcels and neighborhoods.

(2) Definitions

Definitions of the following terms may be required:

Bulkhead: The wall area below the display window associated with a commercial building. See See Figure 1.

Cornice: The upper projecting section of an entablature; projecting ornamental molding along the top of a building or wall. See Figure 1 and 2.

Entablature: The part of a structure between the column capital and the roof or pediment, comprising the architrave, frieze and cornice. See Figure 2.

Fenestration: The arrangement of windows in a wall.

Floorplate: The horizontal land area occupied by a building at finished grade including projections and overhangs.

Height, Building: The vertical distance from the average elevation of the finished lot grade at the front of the building to the highest point of the roof, including any parapet wall.

Hood, Window: A large molding over a window. Figure 1 illustrates window hoods over upper facade windows.

Lintel: A horizontal architectural element, supporting the weight above a door or window. An example of a lintel is illustrated in Figure 11

Muntin: A bar for holding the edges of window panes within a sash. Figure 11 provides an illustration of muntins within a window. For the purposes of these Design Standards, applied or false muntins qualify as muntins. Applied or false muntins do not hold panes within a sash but mimic true muntins by appearing to divide a window into panes.

Parapet Wall: A low, solid protective wall along the edge of a roof. See Figure 5, 6 and 7.

Sash: A frame in which the panes of a window are set. See Figure 11

Sill: A horizontal piece or member beneath a window, door, or other opening. See Figure 11.

Spandrel: Continuous horizontal panels below and above windows.

(3) Design Elements

The following design standards shall apply to all buildings throughout B-1 Zoning District. Following this section are more specific standards for buildings by street, which provide further definition of what is required.

(a) Orientation / Facade Treatment

- [1] Buildings shall address the street. A prominent doorway to the street and sidewalk shall be provided. The façade facing the street (front facade) shall contain windows and style elements (cornices, columns, entablature, sculpture, false windows, window hoods, projecting bays, balconies, or awnings, etc.) that add interest and character. (Figure 1 and Figure 2) Facades facing onto access way to internal parking lots shall contain windows and style elements that add character and interest.
- [2] Buildings may also offer a rear door to the rear parking lot, such door being of a size and design as to be easily identifiable as a primary entrance into the building.

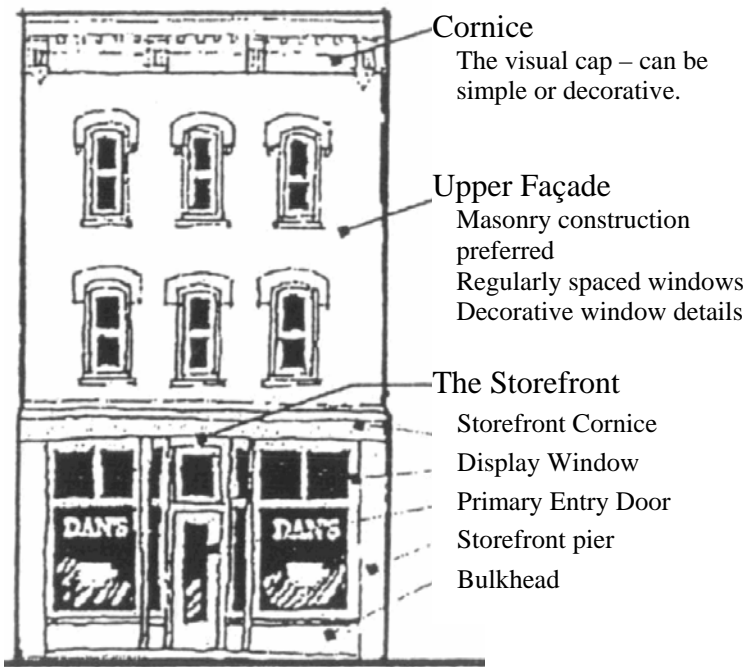


Figure 1: Key Building Facade Elements

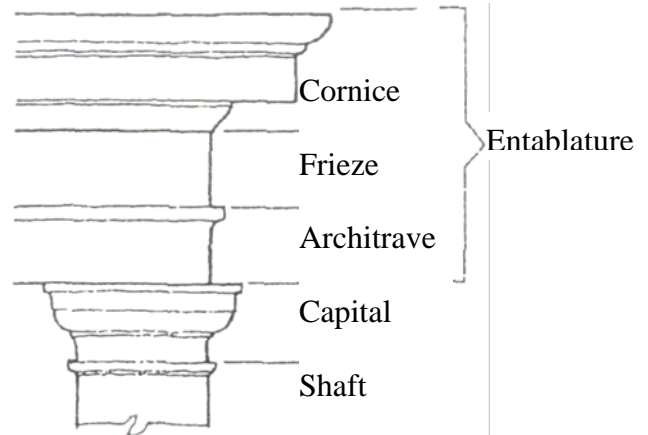


Figure 2: Facade Style Elements

[3] Rear facades which are meant to be visible by the public shall also contain visual interest features, such as windows and/or style elements, though the level of such ornamentation may be less than that provided on the front facade. (Figure 3)

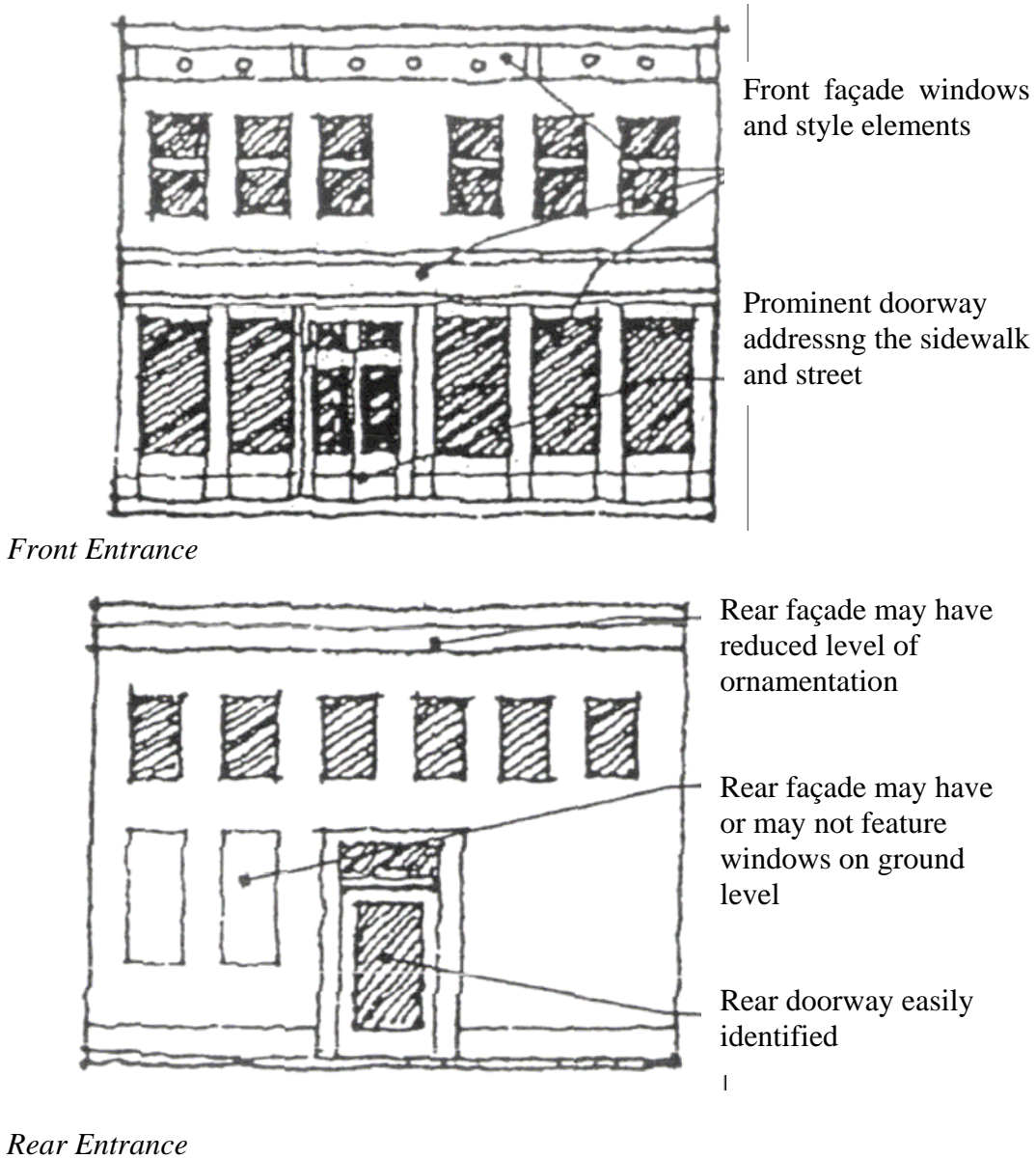
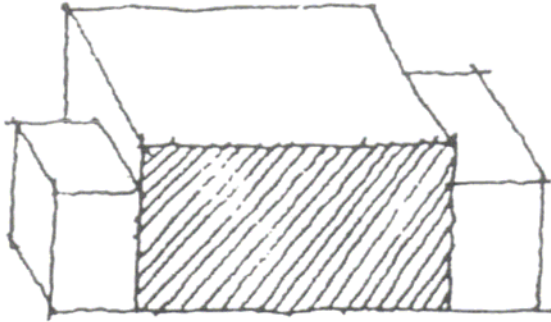


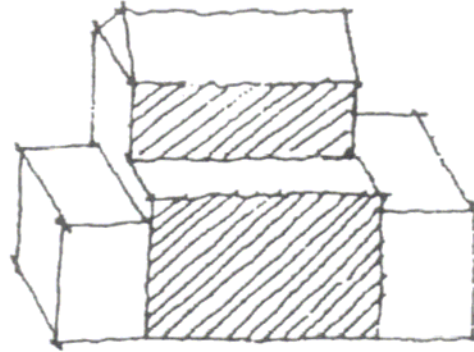
Figure 3: Front & Rear Building Facades

(b) Setbacks

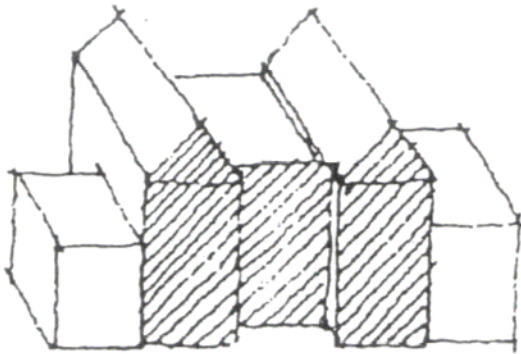
[1] Buildings shall be built on or close to the minimum front yard setback with articulation of the facade to provide visual interest or space for a public plaza or outdoor eating area. (See



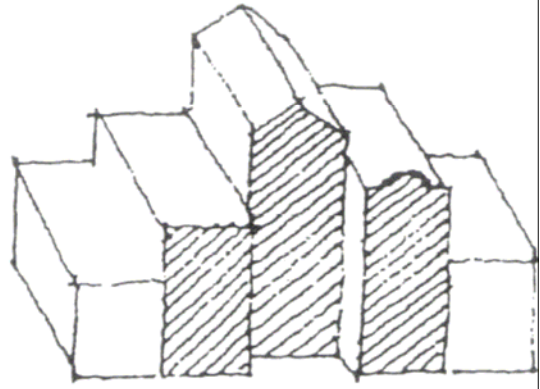
Avoid an unarticulated building mass.



Use stepped-back building heights.



Use varied façade setbacks & roof types



Use varied building heights & setbacks

[2] Figure 4)

Figure 4: Building Facade Articulation and Building Massing & Setback

(c) Height

- [1] Building heights should be two or three stories. While buildings of two story are encouraged, some one-story buildings may be permitted.
- [2] One-story buildings shall present a front facade with or without a visible roof of at least 16 feet. An ornamented parapet wall or cornice extending above the roofline may be used to achieve this appearance of height. (Figure 5)
- [3] Two-story buildings shall present a front facade with or without a visible roof of at least 30 feet. An ornamented parapet wall or cornice extending above the roofline may be used to achieve this appearance of height. (Figure 5 and 6)

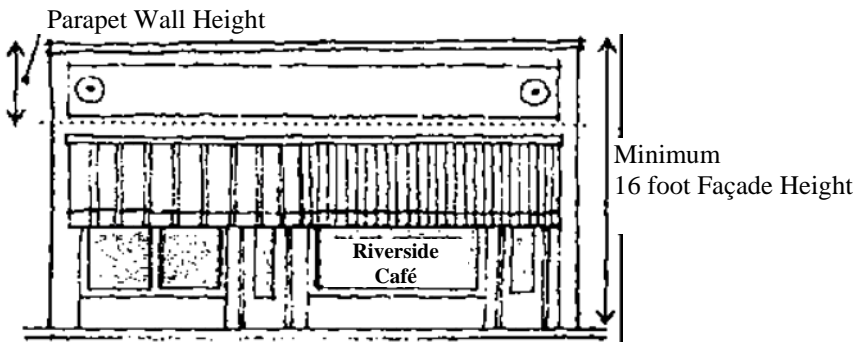


Figure 5: One-story Building with Parapet Wall

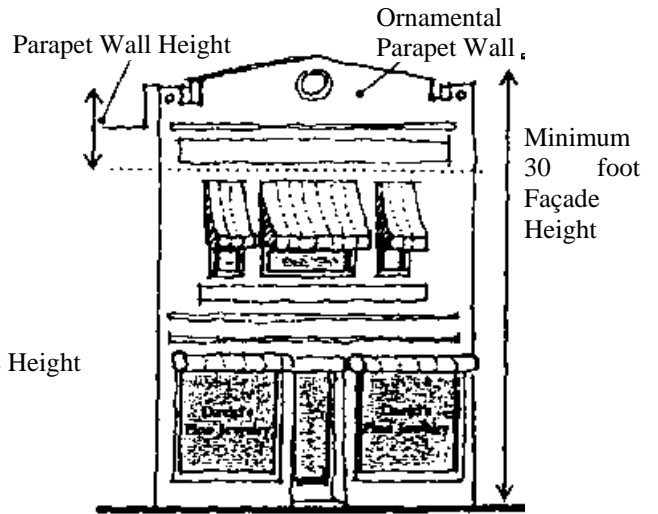


Figure 6: Two Story Building with Parapet Wall

- (d) Building Massing, Form, Variation - The form of buildings within the B-1 Zoning District shall exhibit vertical emphasis with distinct architectural components. They shall be designed to have a "bottom, middle and top" rather than a uniform exterior, visually expressing that the ground floor functions are different from upper floor functions. (Figure 7)

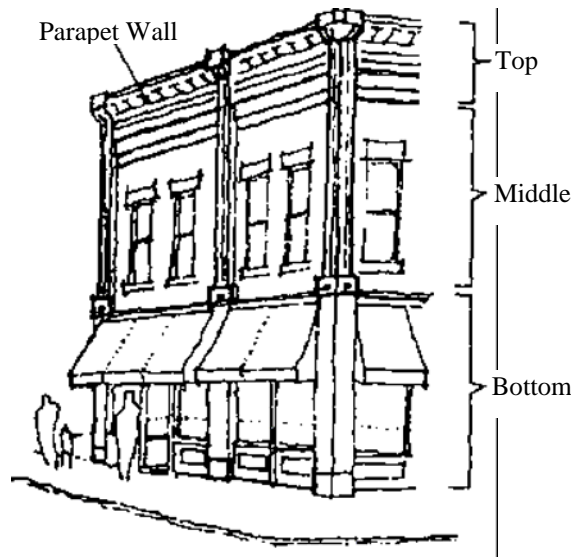


Figure 7: Buildings with a vertical directional emphasis

- [1] The maximum size building footprint shall be 20,000 square feet, except for a grocery store which shall have a maximum footprint of 35,000 square feet.
- [2] Buildings shall exhibit variations in the building front and rear facades that make the building appear as multiple buildings rather than one large building. This may be achieved through facade articulation, roofline variation and/or changes in materials/colors. (Figure 8)

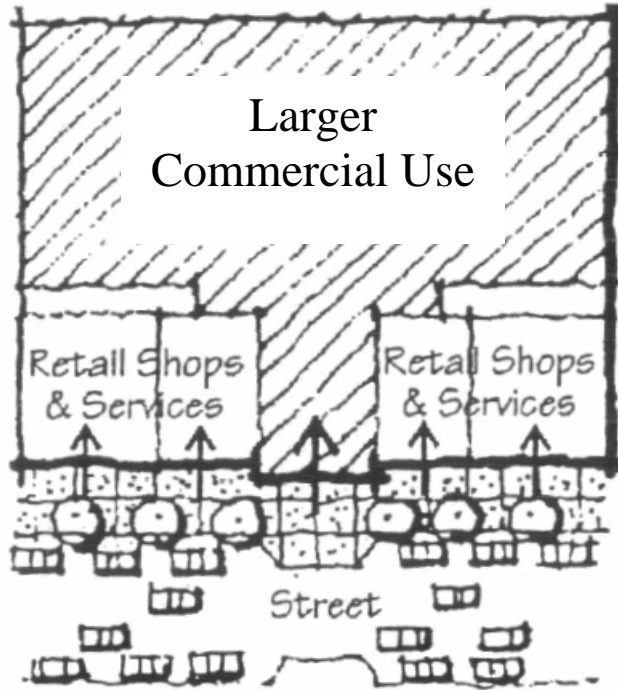


Figure 8: Reducing the Streetscape Impact of Large Building Masses

- [3] The form of buildings shall exhibit a vertical directional emphasis or a balance of vertical and horizontal directional emphasis and not a horizontal directional emphasis. (Figure 9)



“This” ...

Vertical Directional Emphasis

“Not this ...”

Horizontal Directional Emphasis

Figure 9: Emphasis on Vertical Directional Emphasis

[4] Moderate variations in building mass, form and style are encouraged over monotonous repetition or extreme variations (Figure 10). A balance will be sought.

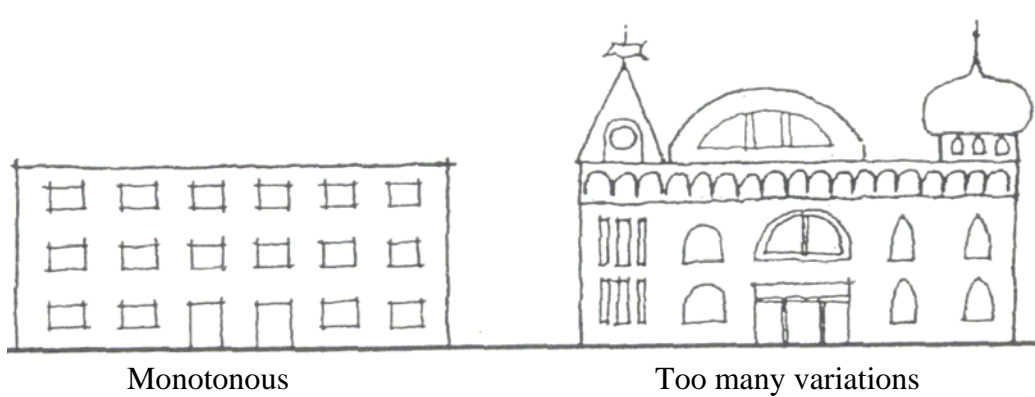


Figure 10: Avoid Extremes in Building Mass, Form & Style

(e) Doors and windows

- [1] Glass curtain walls and spandrel-glass strip windows shall not be used as the style of fenestration in the B-1 Zoning District.
- [2] Clear or lightly tinted glass shall be used on front facades so as to show active interior spaces and to contribute to a lively street scene.
- [3] Individually defined windows with detail elements, such as sills, lintels, sashes, muntins, or windows adorned with awnings or hoods are encouraged, though storefront windows are appropriate on the first floor. (Figure 11, Figure 9, and Figure 1) Unadorned windows may be appropriate for some architectural styles, if visual interest is provided by other architectural elements.

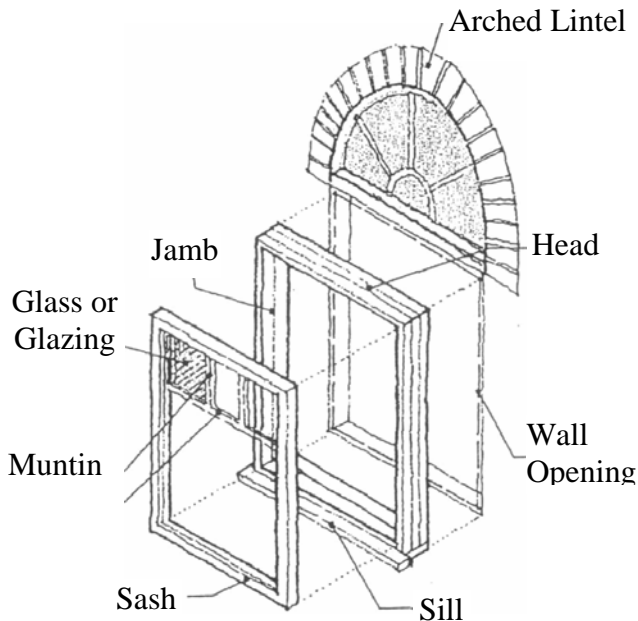


Figure 11: Basic Window Elements

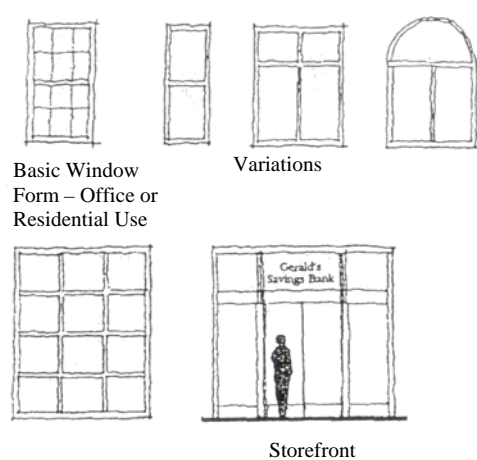


Figure 12: Basic Window Types

(f) Roofs

- [1] Flat, pitched, hip or gabled roofs may be used. Ornamented parapet walls or cornices shall be used to screen and add visual interest to buildings with flat and shallow pitched roofs. These parapet walls and cornices should have a three dimensional quality, as opposed to a thin, pasted on appearance. The parapet walls and cornices shall be provided on the sides of buildings facing streets, parking lots, and public spaces.
- [2] Varied roof lines are desired. Architectural embellishments that add interest to roofs, such as dormers, cupolas, clock towers, are encouraged. Such embellishments shall be integral elements of the building architecture with appropriate depth and proportion. They should be located and designed to reinforce entrances and window patterns and/or to provide a visual focal point at the end of a vista.

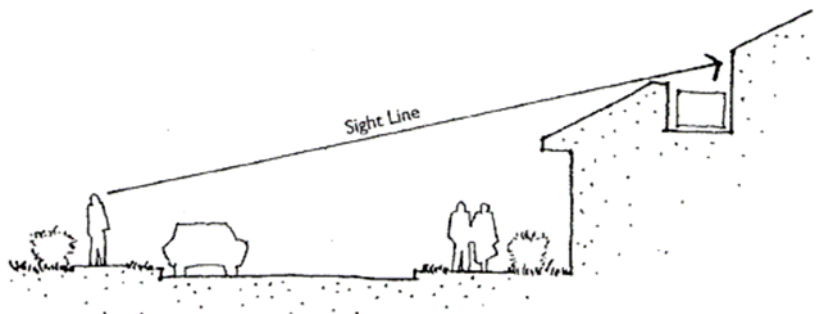
(g) Materials / colors

- [1] Building facade materials of the following types are encouraged:
- [2] Walls: wood clapboard, or shingles are preferred; materials designed to mimic these materials, brick, stone, or stucco shall be consider on a case by case basis.
- [3] Decorative elements: metal grillwork and sculpture, ceramic tile, concrete and stone sculpture and ornaments
- [4] Building facade materials that shall not be used: unadorned concrete block, metal or plastic sheathing, glass curtain walls, plywood, or other inappropriate materials as determined by the Architectural Review Board.
- [5] Reflective or bronze/gold-colored glass shall not be employed in windows and doors.
- [6] Gabled and hip roofs should be wood cedar shakes, architectural detail asphalt shingles, or materials designed to mimic these materials.
- [7] Pitched, gabled and hip roof colors shall be approved by the Architectural Review Board.
- [8] Facades, doors, window frames, awnings, and other architectural elements should be colored to complement the roof color theme of that building. A simple palette of one to three subtle colors is recommended for each building. The following are to be avoided: bright or flashy colors (purple, pink, chartreuse, etc.), superficial graphic patterns, large stripes or dots, large corporate logos (i.e., the building becomes a sign).

(h) Utility Elements

- [1] Mechanical equipment and service functions associated with a building shall be incorporated into the overall design theme of the building and landscape so that these functions are out of view from streets, parking lots and public spaces. All design elements used to screen such functions, top including walls, fences, doors, etc., shall be visually compatible with adjacent buildings. Landscaping shall provide an opaque screen and complement the landscaping of the building. Other standards include:

- [2] Rooftop mechanical equipment shall be integrated into the overall mass of a building, so that it is not visible from ground level, by screening it behind parapet walls or by recessing equipment into hips, gables, or similar features. In any case the parapet wall, or any feature utilized for screening shall be a minimum of 3 inches higher than the highest mechanical equipment to be



screened (Figure 13)

Figure 13: Screening of Roof-top Mechanical Equipment

- [3] Mechanical or "meter rooms" shall be incorporated into all buildings to house all appropriate utility meters, junction boxes, conduits and connections. (Figure 14)
- [4] Vents shall be painted to match adjacent building surfaces or otherwise screened with landscaping, walls or fencing. Dumpsters and transformers shall not be located in prominent, highly visible locations. All dumpsters shall be well screened with fences or walls. (Figure 14)

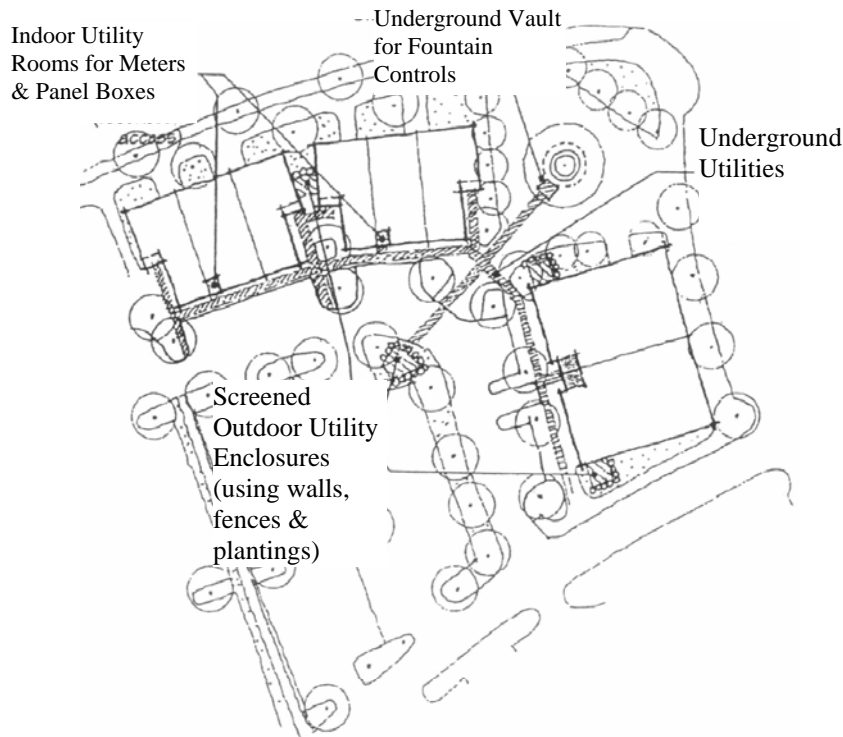


Figure 14: Location & Screening of Utility Elements

[5] Loading docks shall be incorporated on side of the building not visible to the public or otherwise screened with landscaping, walls, doors, or fencing. (Figure 15)

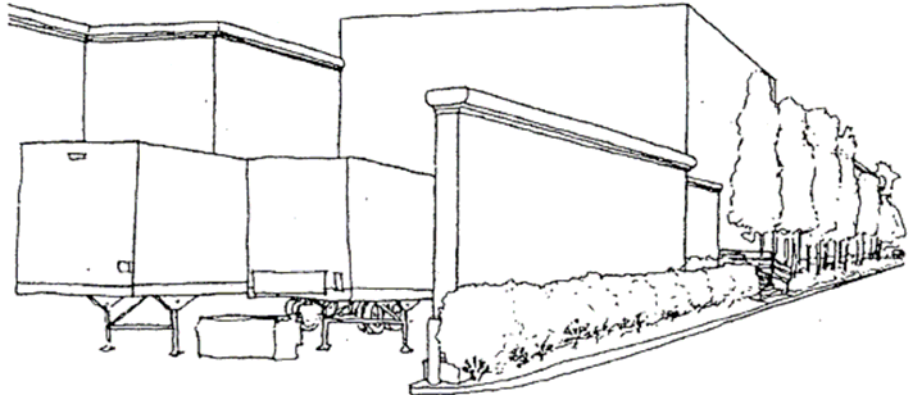


Figure 15: Screening for loading Docks Using Walls/Fencing & Landscaping

(4) Site Landscape

(a) Street Trees / Shade Trees

All streets and parking lots within B-1 Zoning District are required to be planted with street trees. Ideally, these will be large deciduous shade trees selected based on the following characteristics: ability to survive in the subject environments; limited maintenance requirements; good shade quality; ability to provide well-matched specimens; attractive branching characteristics; and attractive fall color. Street trees should be located to minimize sight distance conflicts at intersections, allow sufficient clearance for pedestrians and avoid interference with utilities.

[1] Street trees shall be planted an average of 30 feet on center, with a maximum of 40 feet on center;

[2] Street trees shall be a minimum 3 1/2" - 4" caliper when installed;

(b) Ornamental Trees

Key public open spaces and other important areas within B-1 Zoning District shall be planted with additional ornamental trees. The ornamental trees shall have the following characteristics: ability to survive in urban environments; limited maintenance requirements; showy flowers; ability to provide well-matched specimens; and, attractive branching characteristics.

(c) Landscape treatment of off-street parking lots

Surface parking lots shall be divided into modules ("outdoor rooms") through the placement of planting islands (Figure 16). Linear islands of plantings are preferred. The interior landscape of off-street parking lots shall comply with those of the Village Code, however, no less than ten percent of surface lots shall be dedicated to these landscaped areas.

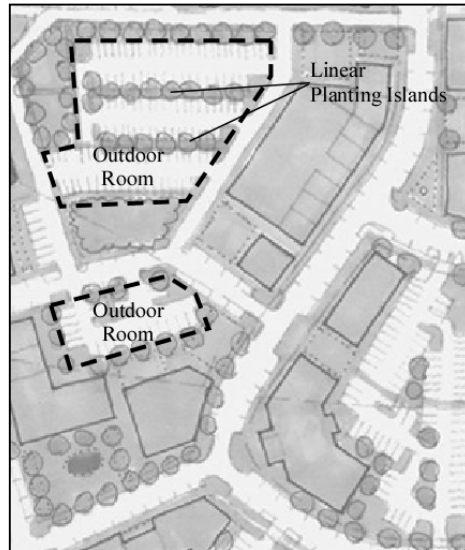


Figure 16: Using Landscaping to Create "Outdoor Rooms" in Parking Lots

(5) Off-Street Parking Lots

- (a) Parking lots visible to the street shall be screened with hedges, walls, fences, or other architectural or landscape elements.
- (b) Pedestrian paths shall be provided through parking areas to the entrances of buildings and to adjacent sidewalks. (Figure 17)



Figure 17: Landscaped Pedestrian Connections through Parking Lots

- (c) Vehicular connections between adjacent parking lots are required. Entrances from parking lots to the street shall be shared to the maximum extent possible to avoid multiple curb cuts.
- (d) Common, Cross Access, and Share Parking agreements shall be filed with the County Clerks office as part of all site plan approvals.