

City of Willamina
Planning Commission
Thursday, March 9, 2023 6:00PM
RESCHEDULED DUE TO WEATHER FROM 02.28.2023

West Valley Fire Station
825 NE Main Street
Willamina, OR 97396

In-person attendance is allowed at the Planning Commission Meeting. The City also provides access via the Zoom platform. Zoom access information is available at the end of this Agenda.

- I. CALL THE MEETING TO ORDER
- II. ROLL CALL
- III. FLAG SALUTE
- IV. AGENDA ADDITIONS, DELETIONS, AND CORRECTIONS

Regular Agenda

A) Site Plan Review, file #SDR 23-01 at 1100 NE Oaken Hills Drive. Willamina School District proposes to expand the existing Middle School building in the southwest corner of the Willamina School District campus. Proposed expansion would add 8,138 SF to the existing 6,245 SF facility. Addition would include six (6) classrooms, restrooms, main office, staff offices, staff breakroom, storage closets, etc. Site improvements would include new utility service connections, concrete walkways, and twelve (12) new parking spaces.

- V. PUBLIC INPUT – BUSINESS FOR THE AUDIENCE

Public Input: Presentations not scheduled on the Agenda are limited to three (3) minutes. Longer presentations should be submitted to the City Recorder prior to the meeting.

Comments may be given verbally via Zoom, in-person, or submitted to the Deputy City Recorder at stevensk@ci.willamina.or.us in advance of the meeting.

Join Zoom Meeting

<https://us02web.zoom.us/j/85005494976?pwd=bEF1UnpodUdNTVJvVjdSSktyUE9nUT09>

Meeting ID: 850 0549 4976

Passcode: 940184

One tap mobile

+12532050468,,85005494976#,,,,*940184# US

+12532158782,,85005494976#,,,,*940184# US (Tacoma)

Dial by your location

+1 253 205 0468 US

ADJOURN.

Next Planning Commission Meeting March 28, 2023

THIS IS AN OPEN PUBLIC MEETING

Persons with hearing, visual or manual impairments who wish to participate in the meeting should contact the City of Willamina at least 48 hours prior to the meeting date in order that appropriate communication assistance can be arranged. The City of Willamina Council meetings are accessible to the disabled. Please let us know if you need any special accommodations to attend this meeting.

**City of Willamina
Planning Commission**
Tuesday, February 28, 2023 6:00PM

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**CITY OF WILLAMINA PLANNING COMMISSION
NOTICE OF PROPOSED PUBLIC MEETING**

SITE PLAN REVIEW

NOTICE IS HEREBY GIVEN that on Tuesday, February 28, 2023, at 6:00 pm the Willamina Planning Commission will hold a public meeting to consider and decide on the following land use application during their regularly scheduled meeting. The meeting will be held at West Valley Fire District, 825 NE Main St, Willamina, OR 97396, and online via Zoom online meeting platform. Remote participants may join by phone or video. The zoom link and login details will be posted on the City's website prior to the meeting.

FILE: Site Plan Review #SDR 23-01 "Willamina Middle School Expansion Project"

OWNER/APPLICANT: Willamina School District No 30J

PROPOSAL: Expansion to existing Middle School building in the southwest corner of the Willamina School District campus. Proposed expansion would add 8,138 SF to the existing 6,245 SF facility. Addition would include six (6) classrooms, restrooms, main office, staff offices, staff breakroom, storage closets, etc. Site improvements would include new utility service connections, concrete walkways, and twelve (12) new parking spaces.

PROPERTY: 1100 NE Oaken Hills Drive in Willamina, Oregon

ZONE: PAI – Public Assembly Institution

CRITERIA: Willamina Development Code Sections: 2.111 Public Assembly/Institution (PAI) Zone, 2.200 General Development Standards, 3.105 Site Plan Review

Pursuant to Willamina Development Code 3.101.01(B), a Site Plan Review is a Type I-B action. A Type I-B is a ministerial action reviewed by the Planning Commission based on generally clear and objective standards with some discretion afforded to Planning Commission. Conditions may be placed on the decision and notice is sent to the applicant and property owners within the required notice area. Appeal is to the City Council. Pursuant to the public notice requirements in WDC 3.202.01(B) "Written notice of any Type I-B action shall be mailed to the applicant and all property owners, including county and state agencies responsible for roads and highways, within 100 feet of the subject property a minimum of fourteen (14) days prior to the Planning Commission decision. The 14-day period shall serve as a comment period prior to the final decision. Written notice of the final decision shall be mailed to the applicant any property owner or agency that commented on the application."

Written comments may be submitted to City of Willamina 411 NE 'C' Street, Willamina, OR 97396, or emailed to Planning Clerk Bridget Meneley at: MeneleyB@ci.willamina.or.us. All comments should be directed to the applicable criteria. Failure to raise an issue during the comment period, or failure to provide sufficient specificity to afford the decision-makers an opportunity to respond to the issue, precludes future appeals of the City decision to the Land Use Board of Appeals. It is the applicant's responsibility to raise constitutional or other issues relating to any proposed condition of approval. The failure of the applicant to raise such issues with sufficient specificity to afford the decision maker an opportunity to respond to the issue precludes an action for damages in circuit court. A copy of the application documents and evidence submitted by or on behalf of the applicant and applicable standards are available for inspection at no cost and will be provided at a reasonable cost. A staff report related to this application will be available for inspection seven (7) days prior to the meeting at no cost and copies provided at reasonable cost. For questions and accommodations, please contact Bridget Meneley at Willamina City Hall (503) 876-2242.

City of Willamina
411 NE "C" Street
PO Box 629
Willamina OR 97396
Telephone: 503-876-2242
Fax: 503-876-1121
ci.willamina.or.us

PLANNING APPLICATION FORM

Property Address: 1100 NE Oaken Hill Drive
Willamina, OR 97396

Assessor's Map & Tax Lot Polk Yamhill
6S - 6W - 06 - Tax Lot(s) 900
- - - - - Tax Lot(s)

Zoning _____

Project Type (Please check all applicable):

- Annexation
- Conditional Use
- Home Occupation
- Lot Line Adjustment
- Non-Conforming Use
- Partition
- Signs
- Similar Use
- Subdivision and Planned Unit Development
- Variance
 - Minor
 - Major
- Zone Change
- Other: _____

Size of the Project (# of units, lots, sq. ft., etc.):

Attachments:

- (4) folded Maps/Site Plan to scale (if larger than 11" x 17")
- (1) 8 1/2" x 11" reduced copy of site plan
- Written Narrative/Response to Criteria
- Power of Attorney (if applicable)

Description of Request

(include name of project and proposed uses)

Willamina Middle School Expansion
Classrooms, Administration Offices, Restrooms, and
associated site work including utilities, parking, and walks.

(For Office Use)

COMPLETE PER: Engineering _____
(Req'd Zn Chg, SPR, & Land Divisions)
Planning _____

Property Owner: Willamina School District
Address: 1100 NE Oaken Hill Drive
Willamina, OR 97396
Phone: 503-876-4525

Applicant: WSD Superintendent: Carrie Zimbrick
Address: 1100 NE Oaken Hill Drive
Willamina, OR 97396
Phone: 503-876-4525

Authorized Representative (if different from applicant):

Scholten Construction Inc.
Address: 8375 Rowell Creek Rd.
Willamina, OR 97396
Phone: 503-879-9094

Surveyor or Engineer (if applicable):

Paul L. Bentley Architect AIA PC
Address: 615 SE Jackson St.
Roseburg, OR 97470
Phone: 541-672-0273

CERTIFICATION: I hereby certify that the information on this application is correct and that I own the property or the owner has executed a Power of Attorney authorizing me to pursue this application (attached).

Carrie Zimbrick 1-12-23
(Signature of Owner or Attorney-in-Fact) Date

(Signature of Additional Owner) Date

(For Office Use)

Date Application Received: _____
Date Application Complete: _____
Pre-app required? Y N Pre-app # _____
Fee Paid: _____ Initials: _____
File Number: _____

A Site Plan Review Application Includes:

- Application cover page (submitted to City)
- Explanation of Type I-B Action (copy for applicant)
- Site plan or drawings, as applicable (submitted to City)
- Written explanation of the site plan review request:
Proposed expansion of existing Willamina Middle School will be a Type VB construction, 8,138sf addition to the 6,245sf existing Middle School facility. The addition will include six (6) classrooms, two (2) multi-user restrooms, two (2) single-user/staff restrooms, a main office, two (2) individual staff offices, staff breakroom, storage closet(s), an electrical/riser room, and circulation space. Site improvements will include new utility services connections, concrete walks, and twelve (12) new parking spaces.
- Written response to criteria (attached)
- Deposit Fee: \$600.00 (Resolution No.16-17-013, May 9, 2017)

Applicants are required to reimburse the City for any and all costs associated with their Land Use Applications. Deposit amounts are based on City Planner, City Engineer, City Attorney and other occurred costs or fees associated with land use applications, must be paid in full by the applicant prior to the City of Willamina signing off on any land use decision. In the event that costs do not exceed the initial application deposit, the City shall reimburse the unused portion of the applicant's deposit.

Site Plan Review – Written Response to Criteria

Criteria the Planning Commission uses to make a decision.

The applicant is required to submit written responses that provide evidence indicating the proposal's compliance with the following:

Willamina Development Code, Section 3.105.03, B and 3.105.06.

- A. All of the provisions and regulations of the underlying zone, unless modified by other Sections of this Code.

Response: The proposed Middle School Expansion is a permitted use, meeting all of the dimensional and development standards of the underlying PIA zone (2.111.02 Permitted Uses, 2.111.05 Dimensional Standards, and 2.111.06 Development Standards) without modification. The proposed expansion satisfies all provisions and regulations of the underlying PIA zone (2.111 Public Assembly/Institution).

- B. Conformance with the General Development Standards in this Code including streets, off-street parking, public facilities (storm drainage, water, sewer, streets), private utility lines and facilities, signs, site design, and landscaping.

Response: The proposed expansion complies with the general development standards of the Willamina Development Code (2.401 General Standards) without exception.

- C. Characteristics of adjoining and surrounding uses.

Response: The proposed expansion is located within the already established Willamina School District property.

- D. Drainage and erosion control needs.

Response: The proposed expansion will have minimal impact on the % of non-permeable surface on the property and will be addressed through connection to the existing storm water system.

- E. Public health factors.

Response: Proposed expansion will have no negative effect on public health, either during construction or following completion.

F. Traffic safety, internal circulation, and parking.

Response: Though the expansion does increase staff/student occupancy, site design includes twelve (12) new parking spaces as required (2.203.05 Off-Street Automobile Parking Requirements) with no change to the internal circulation or safety.

G. Provision for adequate noise and/or visual buffering from non-compatible uses.

Response: All surrounding uses are similar. The nearest non-compatible use is a single-family residence, which is located approx. 450ft to the south of the proposed expansion and is buffered by trees and existing school facilities.

H. Retention of existing natural features on site.

Response: Subject site is grass with a few sporadically planted fir trees. All existing trees not in immediate proximity (i.e. would pose concern for safety, structural damage) to the proposed addition have been retained.

I. Potential or actual hazard areas such as steep slopes and flood plains.

Response: N/A. The existing has a moderate eastward slope with no steep slope concerns.

J. Connectivity of internal circulation to existing and proposed streets, bikeways and pedestrian facilities.

Response: No change to internal circulation.

The property is zoned (check the appropriate box):

- Single-family Residential (R-1): Section 2.101.
- Two-family Residential (R-2): Section 2.102.
- Multiple-family Residential (R-3): Section 2.103.
- General Commercial (C-1): Section 2.104.
- Commercial Residential (C-2): Section 2.105.
- Industrial (M-1): Section 2.108.
- Public Institution/Assembly (PIA): Section 2.111.

If additional space is needed, please attach an additional page(s).

A NEW PROJECT FOR:

WILLAMINA MIDDLE SCHOOL

1 100 NE OAKEN HILLS DR.

WILLAMINA, OREGON



PAUL L BENTLEY Architect A.L.A. P.C.

DESIGN DEVELOPMENT

A NEW PROJECT FOR:

WILLAMINA MIDDLE SCHOOL

1 100 NE OAKEN HILLS DR.

WILLAMINA, OR

DRAWING INDEX

TS-1.0 TITLE SHEET, VICINITY MAP, DRAWING INDEX, KEY PLAN

CIVIL DRAWINGS

- SP-1.0 EXISTING SITE PLAN (SURVEY B.O.)
- C-1.0 CIVIL SITE & GRADING PLAN
- C-1.1 CIVIL UTILITY PLAN

ARCHITECTURAL DRAWINGS

- A-0.0 EGRESSES & CODE REVIEW PLAN
- A-1.0 OVERALL FLOOR PLAN
- A-1.1 PROPOSED ADDITION FLOOR PLAN
- A-1.2 LARGE SCALE CLASSROOM FLOOR PLAN
- A-1.3 LARGE SCALE OFFICE FLOOR PLANS
- A-1.4 LARGE SCALE RESTROOM PLANS
- A-2.0 SCHEDULES
- A-2.1 INTERIOR ELEVATIONS
- A-3.0 REFLECTED CEILING PLAN
- A-4.0 EXTERIOR ELEVATIONS
- A-5.0 BUILDING SECTIONS
- A-6.0 ROOF PLAN

MECHANICAL DRAWINGS

- FP-1.1 FIRE PROTECTION PLAN
- M-01 MECHANICAL ZONING PLAN
- M-21 MECHANICAL PIPING PLAN - NEW
- M-31 MECHANICAL PIPING PLAN - NEW
- M-41 ROOF MECHANICAL PLAN - NEW
- M-60 MECHANICAL SCHEDULES
- M-61 MECHANICAL DETAILS
- M-62 MECHANICAL DETAILS

PLUMBING DRAWINGS

- P-21 PLUMBING PLAN - NEW
- P-60 PLUMBING SCHEDULE

ELECTRICAL DRAWINGS

- E-0.1 ELECTRICAL ABBREVIATIONS & SYMBOL LEGEND
- E-0.2 ELECTRICAL DETAILS
- E-0.3 ONE-LINE DIAGRAM
- E-0.4 ELECTRICAL & LUMINAIRE SCHEDULES
- E-1.1 ENLARGED LIGHTING PLAN
- E-2.1 ELECTRICAL SITE PLAN
- E-3.1 ENLARGED POWER PLAN
- E-4.1 ENLARGED LOW VOLTAGE PLAN
- E-5.1 ENLARGED FIRE ALARM & SECURITY PLAN
- E-6.1 PROPOSED PANEL SCHEDULES

STRUCTURAL DRAWINGS

- S-0.0 STRUCTURAL NOTES
- S-1.0 FOUNDATION PLAN
- S-2.0 FOUNDATION DETAILS
- S-3.0 ROOF FRAMING PLAN
- S-4.0 FRAMING DETAILS
- S-5.0 FRAMING DEMO

VICINITY MAP

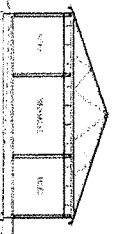


GENERAL NOTES

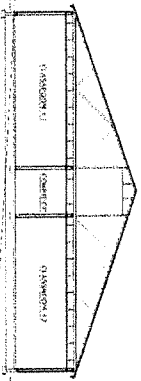
1. DO NOT SCALE DRAWINGS. REFER ALL SCALE ISSUES TO ARCHITECT PRIOR TO BIDDING.
2. ALL MATERIALS AND WORKMANSHIP SHALL CONFORM WITH STATE AND COUNTY SPECIFICATIONS. CONTRACTOR SHALL BE RESPONSIBLE TO BID CONTRACTOR SHALL BE RESPONSIBLE FOR EXACT LOCATION AND ORIENTATION OF ALL UTILITIES PRIOR TO BEGINNING ANY WORK.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR EXACT LOCATION AND ORIENTATION OF ALL UTILITIES PRIOR TO BEGINNING ANY WORK.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR EXACT LOCATION AND ORIENTATION OF ALL UTILITIES PRIOR TO BEGINNING ANY WORK.
5. SEE EGRESSES PLANS FOR CODE DATA.

DESIGNED BY: GHM/H
CHECKED BY: PLB
DATE: 11-10-22
TITLE: TITLE SHEET
SCALE: N.T.S.
SHEET NO: TS-1
OF: 1

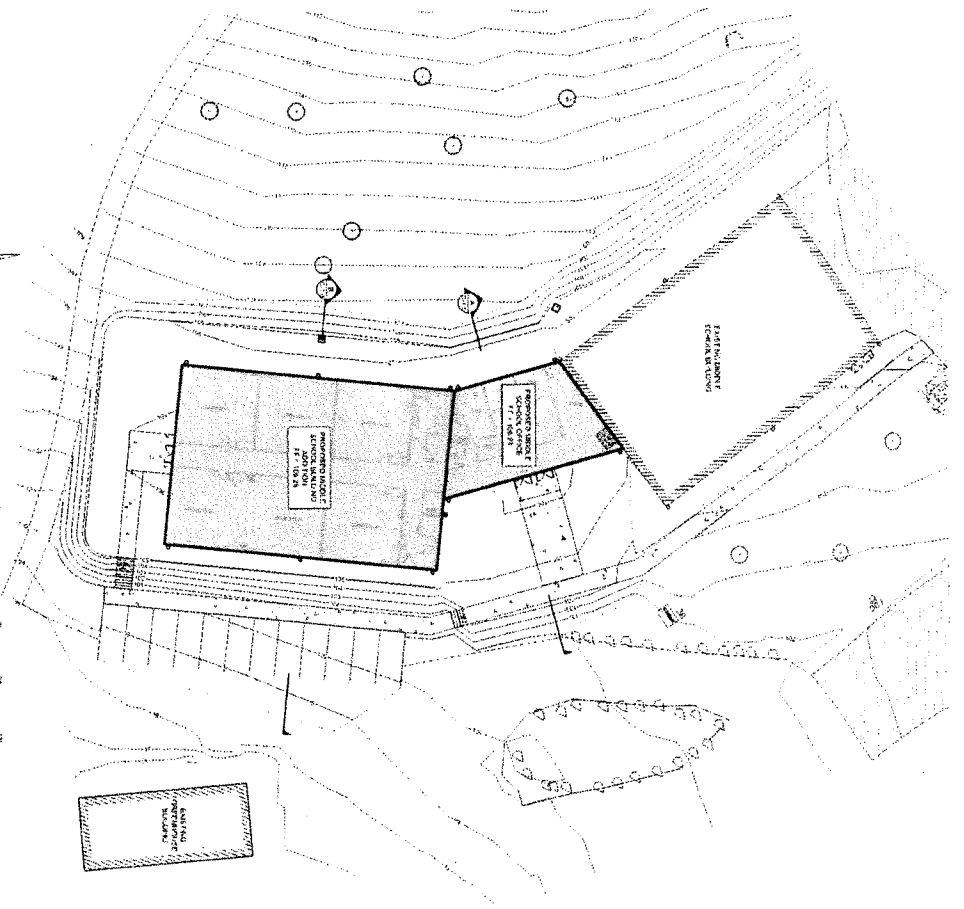
A SECTION AT OFFICE
1" = 10'-0"



B SECTION AT CLASSROOMS
1" = 10'-0"



CIVIL SITE & GRADING PLAN
1" = 250'



DESIGN BY:	CF
CHECKED BY:	GL
DATE:	12.20.2022
TITLE:	CIVIL SITE & GRADING PLAN
SCALE:	SEE SHEET
SHEET NO.:	C-1.0
OF	1

PRELIMINARY
NOT FOR CONSTRUCTION.
REVISIONS OR PURSUERS ON THIS SHEET SHALL BE AT THE USER'S RISK.
LOCKE ENGINEERING
1000 N. HANCOCK
WILLAMINA, OR

A NEW PROJECT FOR:

WILLAMINA MIDDLE SCHOOL

1100 NE DAKEN HILLS DR. WILLAMINA, OR

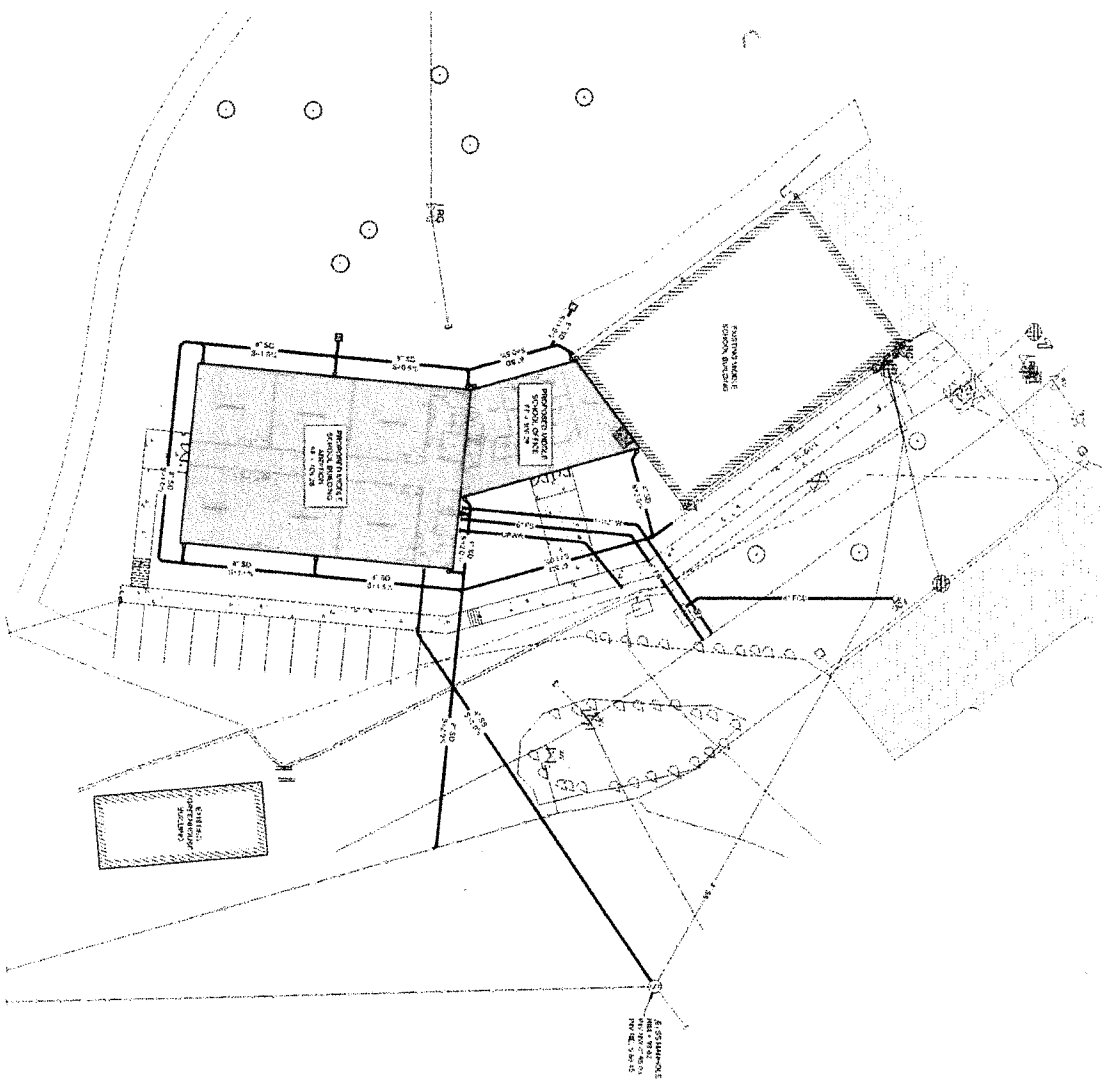
Locke ENGINEERING
200 S. A. STANTON
WILLAMINA, OR 97146
503.261.1111
50% CD SET

PAUL L BENTLEY Architect A.I.A. P.C.

1100 NE DAKEN HILLS DR
WILLAMINA, OR 97146
503.261.1111
WWW.PLBENTLEYARCHITECT.COM



DATE	1/11/23
REVISION	



CIVIL UTILITY PLAN
1"=20'-0"



REV	DATE	DESCRIPTION

DATE: 12.20.2022	CHECKED BY: GL	ORDER BY: CF
TITLE: CIVIL UTILITY PLAN	SCALE: SEE SHEET	
SHEET NO: G-1.1 OF 1		

PRELIMINARY
NOT FOR
CONSTRUCTION
PERMITS, OR
INSTALLATION
CONTRACTS

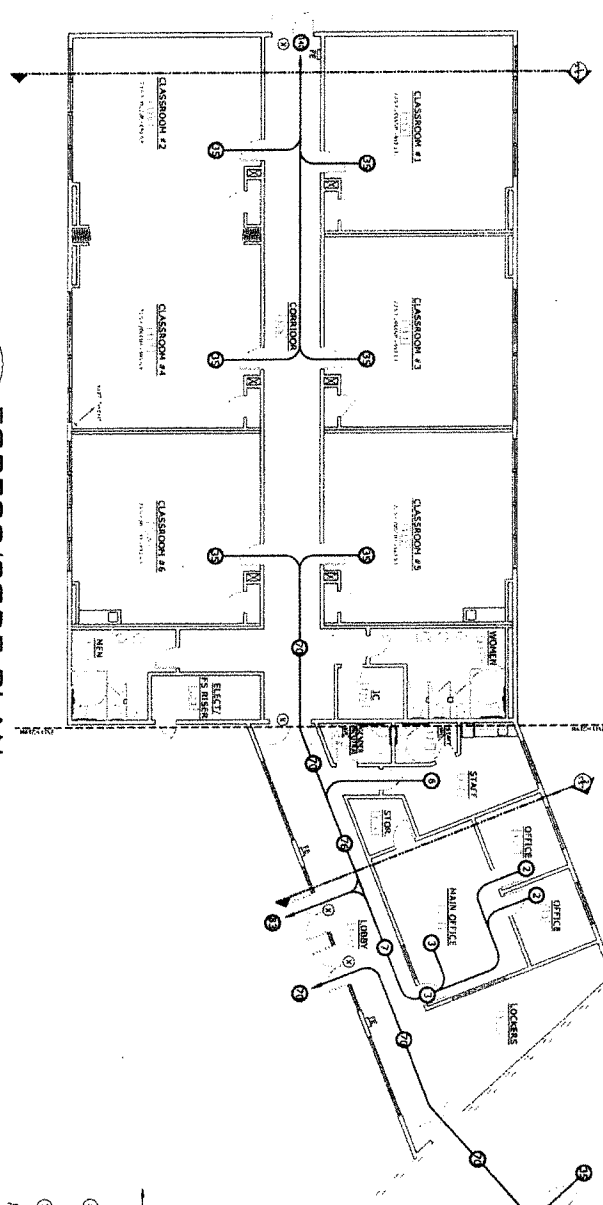
A NEW PROJECT FOR:

WILLAMINA MIDDLE SCHOOL

1100 NE OAKEN HILLS DR. WILLAMINA, OR

Locke
ENGINEERS
505 CO. ST.

Paul L Bentley Architect A.I.A. P.C.



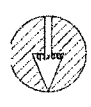
1
EGRESS/CODE PLAN

1/8" = 1'-0"

- LEGEND**
- ① NUMBER OF OCCUPANTS, 2019 OISSC
 - ② NUMBER OF OCCUPANTS, 2019 OISSC
 - ③ EXIT SIGN
 - ④ FIRE EXTINGUISHER & CABINET
 - (N) NEW OCCUPANTS (ALL OTHERS EXISTING)

CODE DATA: 2019 OISSC

DATE OF CONSTRUCTION	2011	EXISTING
EXISTING OCCUPANCY	6	
TOTAL EXISTING SQUARE FOOTAGE	6,245	
TOTAL SQUARE FOOTAGE @ ADDITION	8,138	
TOTAL PROPOSED SQUARE FOOTAGE	14,383	
- TOTAL ALLOWED SF PER FLOOR -	38,000	
- TOTAL ALLOWED # OF FLOORS -	1	
- TOTAL ALLOWED SF	UNLIMITED	
MIN. SETBACK DISTANCES: (NO CHANGES FROM PH. 1)	FRONT: 10'	
	REAR: 10'	
	LEFT: 10'	
	RIGHT: 10'	
FIRE SPRINKLER (S)	NO	
CONSTRUCTION TYPE	VA	
EXITS PROVIDED	3	
EXITS REQUIRED	2	
TOTAL # OF OCCUPANTS @ NEW ADDITION (ASSUME 117 BOYS & 116 GIRLS)	233	
TOTAL # OF OCCUPANTS @ EXISTING (ASSUME ... BOYS & ... GIRLS)	6	
# OF V.C. REQ. PER GARAGE	1 BA.	
# OF V.C. PROPOSED FOR MEN	1 BA.	
# OF V.C. PROPOSED FOR WOMEN	1 BA.	
LONGEST DISTANCE TO EXIT	80 FT-300' ALLOWED	



A NEW PROJECT FOR:

WILLAMINA MIDDLE SCHOOL

1100 NE OAKEN HILLS DR WILLAMINA, OR

A-0.0

OF

DRAWN BY: CMH/11

CHECKED BY: PLB

DATE: 11-10-22

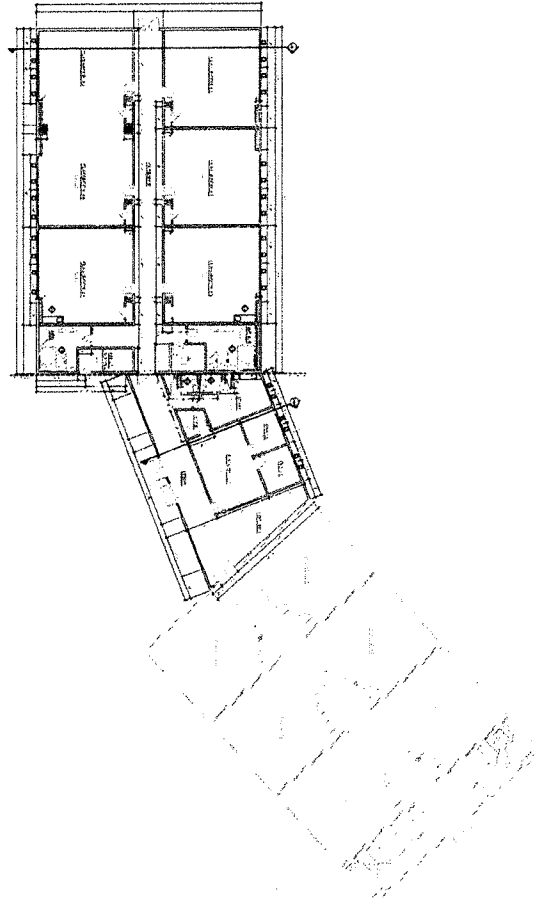
TITLE: EGRESS/CODE PLAN

SCALE: 1/8" = 1'-0"

SHEET NO.:

115 NE ANDERSON STREET
WILSONVILLE, OR 97150
503.538.1111
WWW.PLBENTLEYARCHITECT.COM

PAUL L BENTLEY Architect A.I.A. P.C.



A-1

PROPOSED FLOOR PLAN

1/16" = 1'-0"



A-1.0	OF	DRAWN BY: CMH/1
		CHECKED BY: PLB
		DATE: 11-10-22
		TITLE: GENERAL PROPOSED FLOOR PLAN
		SCALE: 1/16" = 1'-0"
SHEET NO:		


A NEW PROJECT FOR:

WILLAMINA MIDDLE SCHOOL

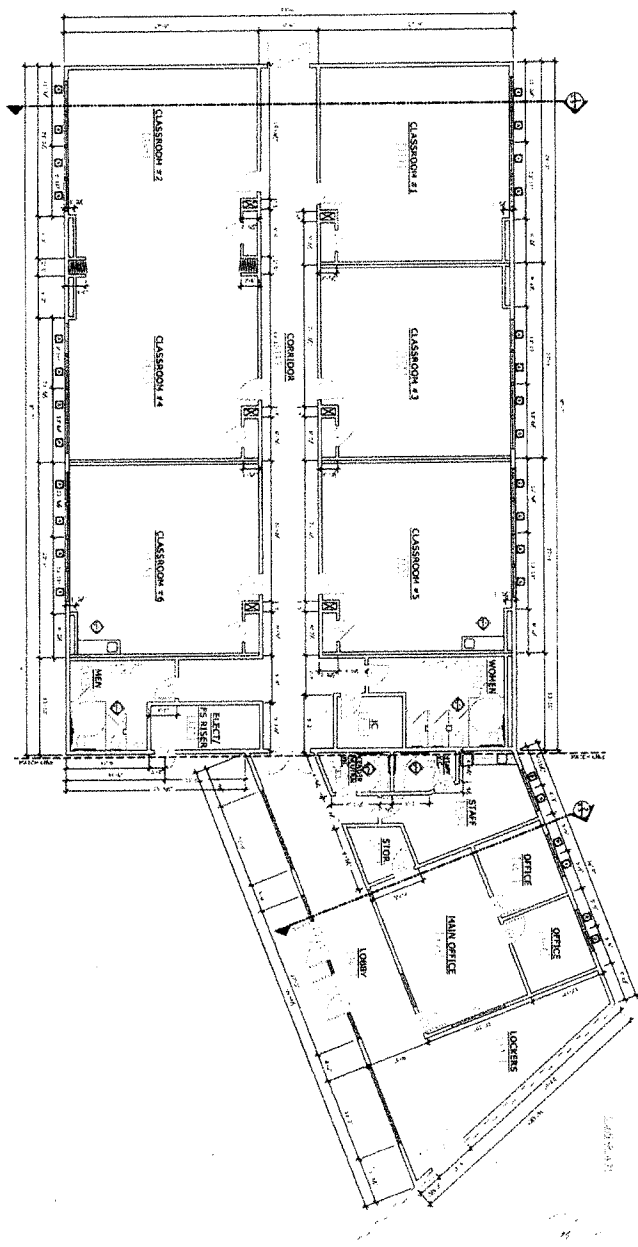
1100 NE OAKEN HILLS DR. WILLAMINA, OR

DESIGN DEVELOPMENT

2150 JENSEN BLVD
 WILLAMINA, OR 97146
 503-737-0274 FAX
 503-737-3000 TEL
 WWW.PLBENTLEYARCHITECT.COM



PAUL L BENTLEY Architect A.I.A. P.C.



1 PROPOSED FLOOR PLAN
 A-1.1
 1/8" = 1'-0"



DRAWN BY: CMH/1	SHEET NO:
CHECKED BY: P.L.B	A-1.1
DATE: 11-10-22	OF:
TITLE: PROPOSED FLOOR PLAN	
SCALE: 1/8" = 1'-0"	

A NEW PROJECT FOR:

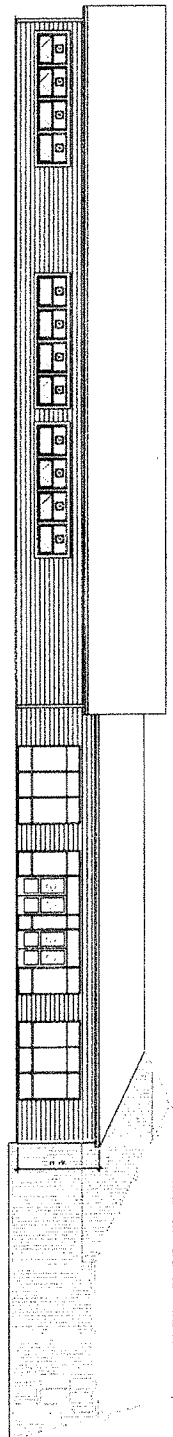
WILLAMINA MIDDLE SCHOOL

1100 NE OAKEN HILLS DR. WILLAMINA, OR

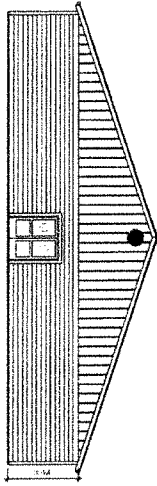
DESIGN DEVELOPMENT SET



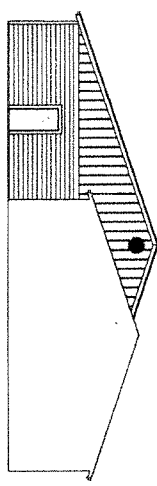
PAUL L BENTLEY Architect A.I.A. P.C.



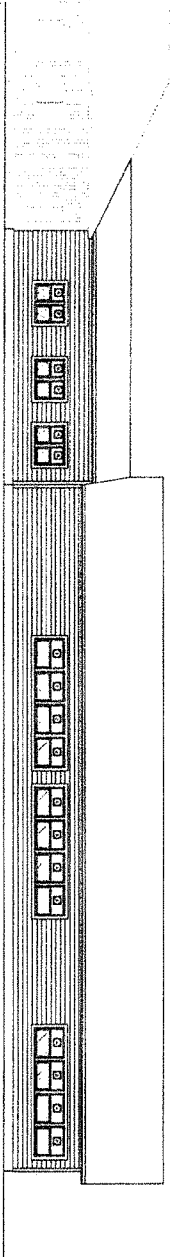
1 EAST ELEVATION
A-4.0
1/8" = 1'-0"



2 SOUTH ELEVATION
A-4.0
1/8" = 1'-0"



3 NORTH ELEVATION
A-4.0
1/8" = 1'-0"



4 WEST ELEVATION
A-4.0
1/8" = 1'-0"

DESIGNED BY: CHM	A-4.0 OF
CHECKED BY: PLB	
DATE: 11-0-22	
TITLE: ELEVATIONS	
SCALE: 1/8"=1'-0"	
SHEET NO:	

A NEW PROJECT FOR:
WILLAMINA MIDDLE SCHOOL
 1100 NE OAKEN HILLS DR. WILLAMINA, OR

DESIGN DEVELOPMENT
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 AND STAIR CASE
PAUL L BENTLEY Architect A.I.A. P.C.



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WILLAMINA MIDDLE SCHOOL

1 100 NE OAKEN HILLS DR.

WILLAMINA, OREGON

DRAWING INDEX

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- A-3.0 REFLECTED CEILING PLAN
- A-4.0 EXTERIOR ELEVATIONS
- A-5.0 BUILDING SECTIONS
- A-6.0 ROOF PLAN

MECHANICAL DRAWINGS

- M-1.1 FIRE PROTECTION PLAN
- M-0.1 MECHANICAL ZONING PLAN
- M-2.1 MECHANICAL PLAN - NEW
- M-3.1 MECHANICAL PIPING PLAN - NEW
- M-4.1 ROOF MECHANICAL PLAN - NEW
- M-6.0 MECHANICAL SCHEDULES
- M-6.1 MECHANICAL DETAILS
- M-6.2 MECHANICAL DETAILS

PLUMBING DRAWINGS

- P-2.1 PLUMBING PLAN - NEW
- P-6.0 PLUMBING SCHEDULE

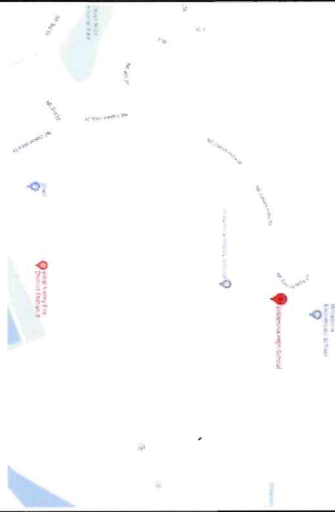
ELECTRICAL DRAWINGS

- E-0.1 ELECTRICAL ABBREVIATIONS & SYMBOL LEGEND
- E-0.2 ELECTRICAL DETAILS
- E-0.3 ONE-LINE DIAGRAM
- E-0.4 ELECTRICAL & LUMINAIRE SCHEDULES
- E-1.1 ENLARGED LIGHTING PLAN
- E-2.1 ELECTRICAL SITE PLAN
- E-3.1 ENLARGED POWER PLAN
- E-4.1 ENLARGED LOW VOLTAGE PLAN
- E-5.1 ENLARGED FIRE ALARM & SECURITY PLAN
- E-6.1 PROPOSED PANEL SCHEDULES

STRUCTURAL DRAWINGS

- S-0.0 STRUCTURAL NOTES
- S-1.0 FOUNDATION PLAN
- S-2.0 FOUNDATION DETAILS
- S-3.0 ROOF FRAMING PLAN
- S-4.0 FRAMING DETAILS
- S-5.0 FRAMING DEMO

VICINITY MAP



GENERAL NOTES

1. DO NOT SCALE DRAWINGS. (REFER ALL SCALE ISSUES TO ARCHITECT PRIOR TO BIDDING. WILLAMINA SHALL COMPLY WITH CITY AND LOCAL CODES. CONTRACTOR SHALL BE RESPONSIBLE TO AID COMPLIANT SYSTEMS.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR EXACT LOCATION AND VERIFY GRADES, LINES, LOCATION AND DIMENSIONS AS INDICATED IN THE EXACT PLANS AND TO THE ELEVATION INDICATED.
3. SEE NOTES PLANS FOR CODE DATA.
4. AND ERECT WORK SQUARE, PLUMB, TRUE-TO-LINE AND GRADE.
5. SEE NOTES PLANS FOR CODE DATA.



PAUL L BENTLEY ARCHITECT A.I.A. P.C.
 1110 S. OREGON STREET
 WILLAMINA, OR 97146
 TEL: 503.257.8744
 FAX: 503.257.8744
 WWW.PLBENTLEYARCHITECT.COM

PAUL L BENTLEY Architect A.I.A. P.C.

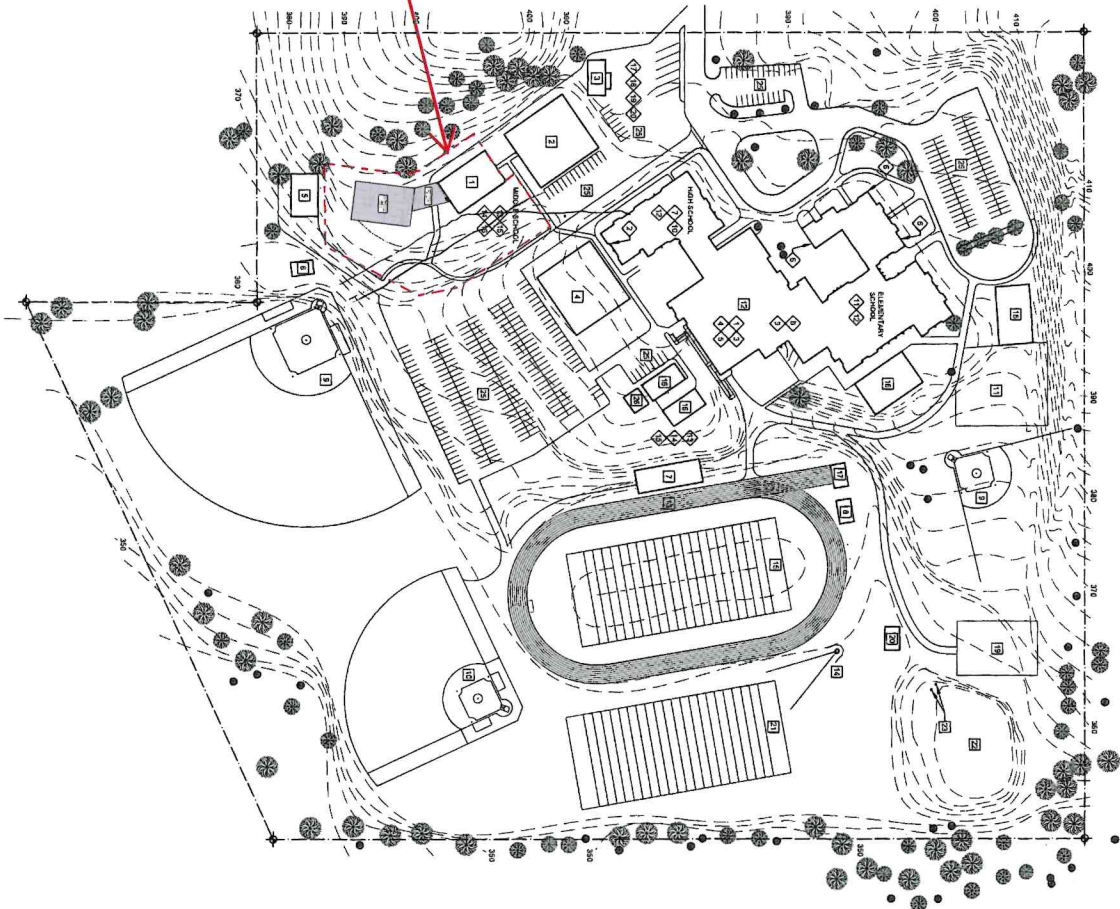
A NEW PROJECT FOR:

WILLAMINA MIDDLE SCHOOL
 1 100 NE OAKEN HILLS DR. WILLAMINA, OR

DRAWN BY: CMH/LL
 CHECKED BY: PLB
 DATE: 11-1-022
 TITLE SHEET
 SCALE: N.T.S.
 SHEET NO:
TS-1
 OF -

PROPOSED PROJECT BOUNDARY

- HIGH SCHOOL / ELEMENTARY SCHOOL**
- ▷ EXTERIOR
 - ▷ MAJOR WATER MAINS CONDUIT, CLEAN, REEL AND AND
 - ▷ BRICK VENTILATION CHIMNEY TO BE REPLACED
 - ▷ METAL LINING IN BATHS CONDUIT / PAINT
 - ▷ EXTERIOR YELLOW METAL DOORS AND FRAMES, CLEAN MUST
 - ▷ ROOF IN GOOD CONDITION
 - ▷ CEILING / FLOOR AND / OR BRICK REPAIR REQUIRED
 - ▷ HAZARDOUS
 - ▷ CEILING TILES TO BE REPLACED
 - ▷ BOLLARD TO BE REPLACED
 - ▷ CORRAL TOWER TO BE REPLACED
 - ▷ RESTROOM PARTIALS TO BE REPLACED
 - ▷ CLASSROOM BENCHES TO BE REPLACED
 - ▷ WINE CASKS AT HALLWAYS TO BE REPLACED
- MIDDLE SCHOOL AND MODULAR CLASSROOMS**
- ▷ SPARK, WASTEWATER TREATMENT AND INCINERATION TO BE REPLACED
 - ▷ EXISTING SYSTEMS TO BE REPAIRED
 - ▷ FLOORING UNDER BUILDINGS
 - ▷ VENTILATION / EXHAUSTION SYSTEM
 - ▷ EXISTING DATA ROOMS / SERVER ROOMS TO BE REPLACED
- DISTRICT OFFICE**
- ▷ INTERIOR TILE FLOORING OVER CEMENT FLOOR
 - ▷ ROOF LEAKS TO BE REPAIRED
 - ▷ FENCES AND DECKS TO BE REPLACED
 - ▷ FOUNDATION TILDS/CONCRETE TO BE REPAIRED



1 WILLAMINA SCHOOL DISTRICT EXISTING CONDITIONS
SCALE: 1" = 100'



- BUILDING LEGEND**
- 17 EXISTING MIDDLE SCHOOL
 - 18 EXISTING MIDDLE SCHOOL MULTIPURPOSE BUILDING
 - 19 EXISTING DISTRICT OFFICE
 - 20 EXISTING GYMNASIUM / GYM
 - 21 EXISTING GYMNASIUM / GYM
 - 22 EXISTING CONCRETE STAIRS
 - 23 EXISTING CLASSROOMS
 - 24 EXISTING TRACK EXTERIOR
 - 25 EXISTING BASEBALL FIELD
 - 26 EXISTING SOFTBALL FIELD
 - 27 EXISTING PLAY AREA
 - 28 EXISTING HIGH SCHOOL / ELEMENTARY SCHOOL
 - 29 EXISTING TRACK
 - 30 EXISTING STADIUM
 - 31 EXISTING FOOTBALL FIELD
 - 32 EXISTING CLASSROOM BUILDING
 - 33 EXISTING TRACK STROBE
 - 34 EXISTING COMMENTARY AREA
 - 35 EXISTING FOOTBALL STROBE
 - 36 EXISTING FOOTBALL STROBE
 - 37 EXISTING REC. SERVICE POOD
 - 38 EXISTING OFFICE BUILDING
 - 39 EXISTING WATER TOWER
 - 40 EXISTING PARKING
 - 41 EXISTING VARIETY COUNTY BUILDING



WILLAMINA SCHOOL DISTRICT

TOPOGRAPHIC SURVEY for: SCHOLTEN CONSTRUCTION

Location: MAP 124, SECTION 9, T. 4 S., R. 9 W., N.M.
YAMHILL COUNTY, OREGON

Tax Lot: 6606 - 800
Date: 12 August 2023

Tree Table

1	.....	22	.....
2	.....	23	.....
3	.....	24	.....
4	.....	25	.....
5	.....	26	.....
6	.....	27	.....
7	.....	28	.....
8	.....	29	.....
9	.....	30	.....
10	.....	31	.....
11	.....	32	.....
12	.....	33	.....
13	.....	34	.....

ELEVATIONS ARE BASED ON AN ASSUMED DATUM

TAX LOT 6606 - 1001
R BURR HOLDINGS LLC
INST. NO. 201903772

TAX LOT 6606 - 800
SCHOOL DISTRICT NO 30 J
INST. NO.

TAX LOT 6606 - 1300
ROBERT BURR LIVING TRUST
INST. NO. 202208712

TAX LOT 6606 - 1300
ROBERT BURR LIVING TRUST
INST. NO. 202208712



- Legend**
- NONMENT FOUND
 - ⊗ IRRIGATION VALVE
 - ⊗ WATER VALVE
 - ⊗ FIRE HYDRANT
 - ⊗ WATER SPROUT
 - ⊗ POWER METERS
 - ⊗ POWER RISER
 - ⊗ POWER TRANSFORMER
 - ⊗ SEPTIC CLEANOUT
 - ⊗ STONE DRAIN CATCH BASIN
 - ⊗ STONE
 - ⊗ SILVER
 - ⊗ RAILROAD
 - ⊗ PROPERTY LINE
 - ⊗ UNDERGROUND POWER
 - ⊗ EDGE OF GRAVEL
 - ⊗ SANITARY SEWER LINE
 - ⊗ STONE DRAIN LINE
 - ⊗ WATER LINE
 - ⊗ COMMUNICATIONS LINE
 - ⊗ UNDERGROUND WATER
 - ⊗ EDGE OF CONCRETE
 - ⊗ MAJOR CONTROL INTERVAL (S)
 - ⊗ MINOR CONTROL INTERVAL (T)
 - ⊗ FENCE
 - ⊗ ASPHALT
 - ⊗ BUILDING
 - ⊗ CONCRETE
 - ⊗ GRAVEL

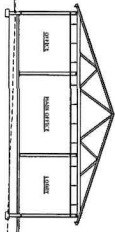
REGISTERED PROFESSIONAL LAND SURVEYOR

DIRECTIONS
JAMES M. MCDONALD
December 31 December 2023

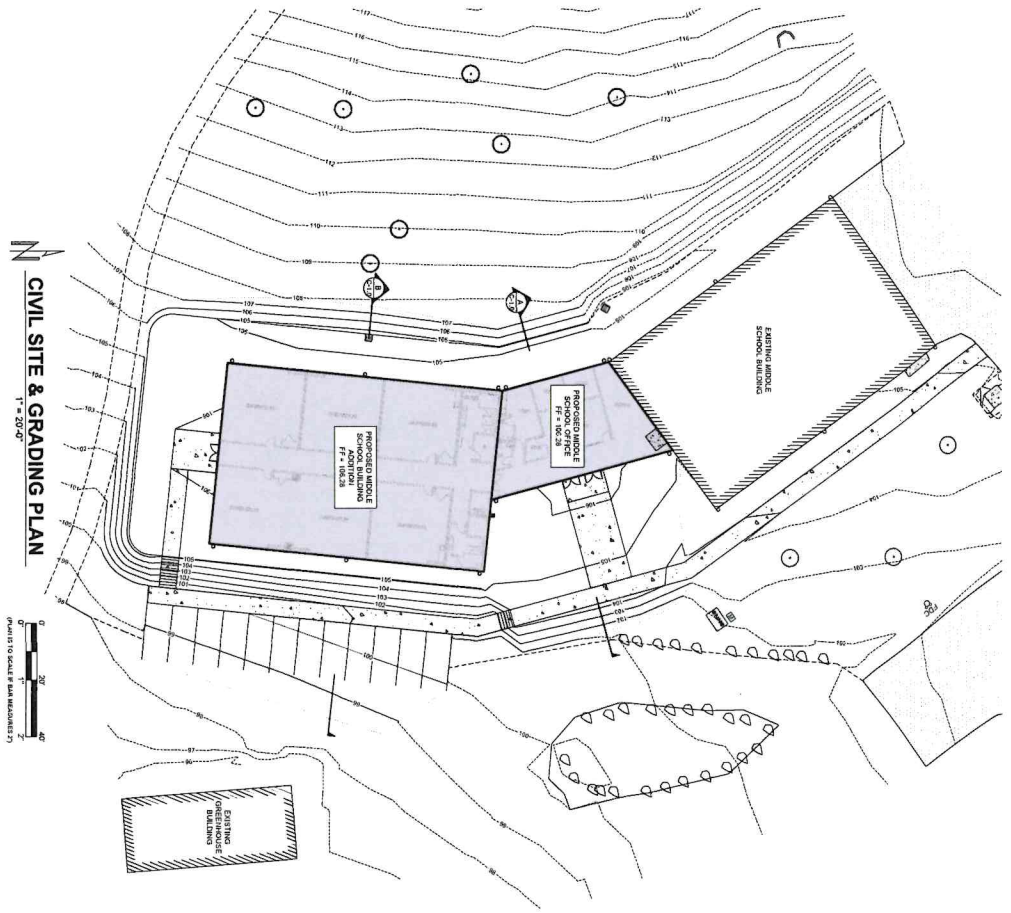
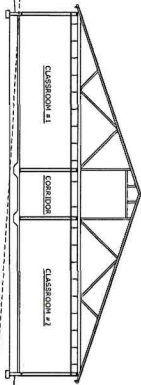
By: J. Robert McDonald & Assoc., LLC
3885 Seward Drive
Medford, Oregon 97504
P.O. Box 872-0387
E-mail: jrmcdonald@jrmcdonald.com

Scale: 1" = 30'

A SECTION AT OFFICE
 1" = 10'-0"



B SECTION AT CLASSROOMS
 1" = 10'-0"



REV.	DATE	DESCRIPTION

DRAWN BY:	CF
CHECKED BY:	GL
DATE:	12/20/2022
TITLE:	CIVIL SITE & GRADING PLAN
SCALE:	SEE SHEET
SHEET NO.:	C-1.0
OF	1

PRELIMINARY
 NOT FOR
 CONSTRUCTION,
 PURPOSES, OR
 IMPLEMENTATION
 WITHOUT THE
 LICENSED ENGINEER'S
 SEAL AND SIGNATURE

A NEW PROJECT FOR:

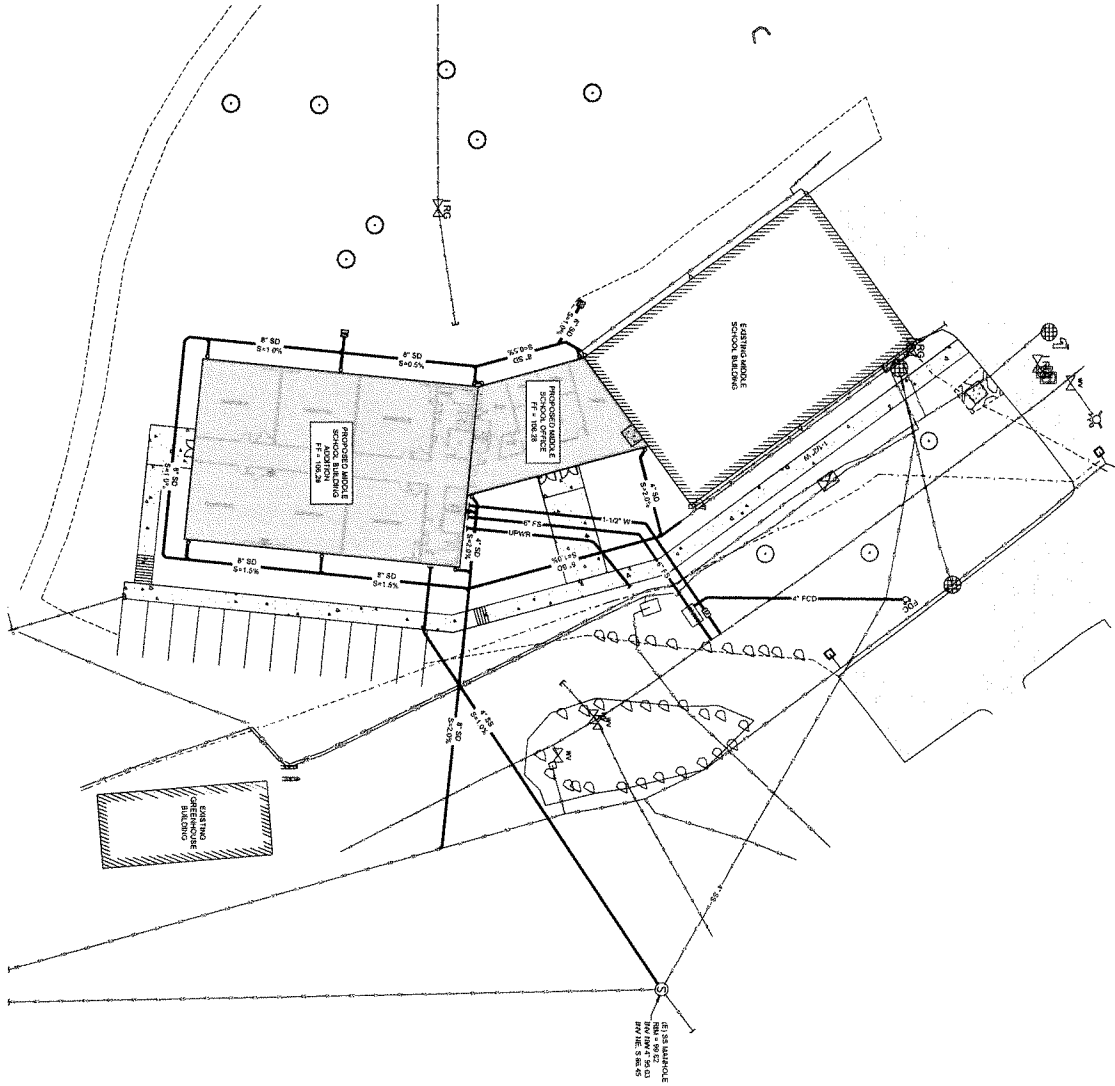
WILLAMINA MIDDLE SCHOOL

1100 NE OAKEN HILLS DR. WILLAMINA, OR

Locke
ENGINEERS
 1000 NE OAKEN HILLS DR.
 WILLAMINA, OR 97146
 503.862.5627
 SOIL CD SET

PAUL L BENTLEY Architect A.I.A. P.C.

CIVIL UTILITY PLAN
 1" = 20'-0"



REV.	DATE	DESCRIPTION

DESIGN BY:	CF
CHECKED BY:	GL
DATE:	1.20.2022
TITLE:	CIVIL UTILITY PLAN
SCALE:	SEE SHEET
SHEET NO.:	C-1.1
OF:	1

A NEW PROJECT FOR:

WILLAMINA MIDDLE SCHOOL

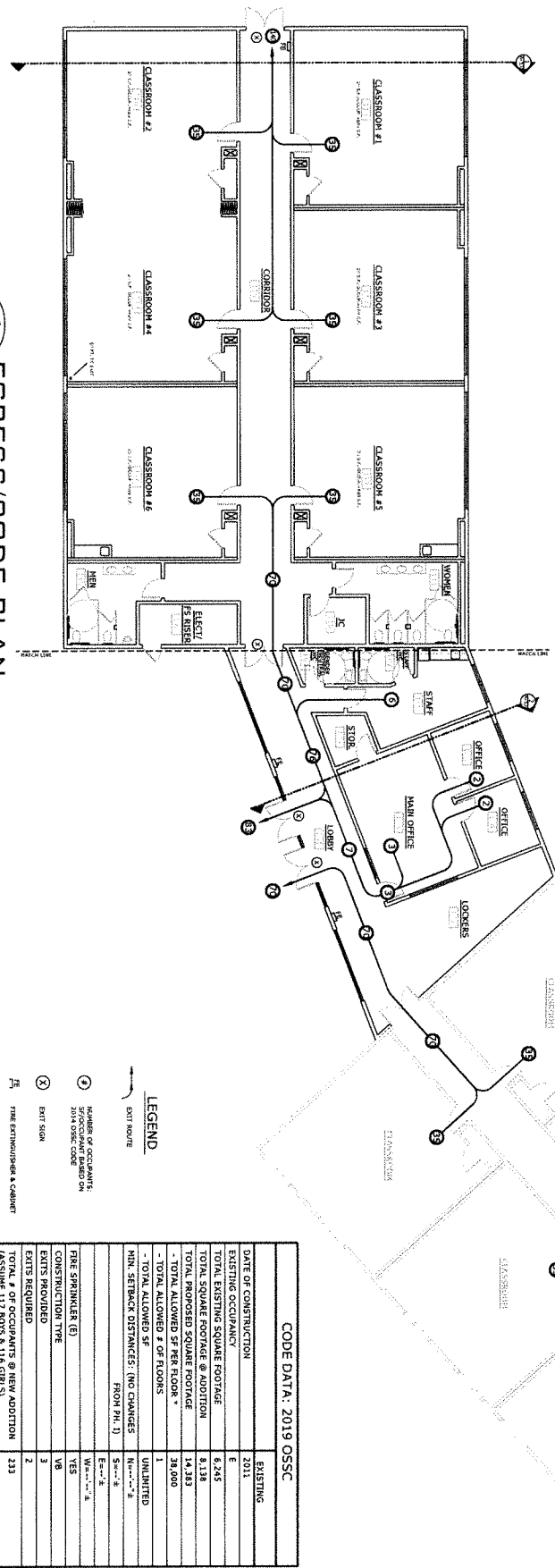
1100 NE DAKEN HILLS DR. WILLAMINA, OR

Locke
 ENGINEERS
 50% OF SET


PAUL L BENTLEY Architect A.I.A. P.C.

1 EGRESS/CODE PLAN

1/8" = 1'-0"



LEGEND

- ① NUMBER OF OCCUPANTS
2019 OESC CODE
- ② EXIT SIGN
- Ⓢ FIRE EXTINGUISHER & CABINET
- (N) RECREATION SPACE
(ALL OTHERS EXISTING)

CODE DATA: 2019 OSSC

DATE OF CONSTRUCTION	EXISTING
EXISTING OCCUPANCY	E
TOTAL EXISTING SQUARE FOOTAGE	6,245
TOTAL SQUARE FOOTAGE @ ADDITION	8,138
TOTAL PROPOSED SQUARE FOOTAGE	14,383
- TOTAL ALLOWED SF PER FLOOR *	39,000
- TOTAL ALLOWED # OF FLOORS	1
- TOTAL ALLOWED SF	UNLIMITED
- TOTAL ALLOWED SF	UNLIMITED
MIN. SETBACK DISTANCES: (NO CHANGES FROM PL. D)	50'-0" - 8'
FRONT	50'-0" - 8'
REAR	50'-0" - 8'
LEFT	50'-0" - 8'
RIGHT	50'-0" - 8'
FIRE SPRINKLER (E)	YES
CONSTRUCTION TYPE	VB
EXITS PROVIDED	2
EXITS REQUIRED	3
TOTAL # OF OCCUPANTS @ NEW ADDITION (ASSUME 117 BOYS & 116 GIRLS)	233
TOTAL # OF OCCUPANTS @ EXISTING (ASSUME --- BOYS & --- GIRLS)	---
# OF WC REQ. PER GENDER	3 MA, 4 FA
# OF WC PROPOSED FOR MEN	3 + 1 UNIMALS
LONGEST DISTANCE TO EXIT	80 FT < 300' ALLOWED



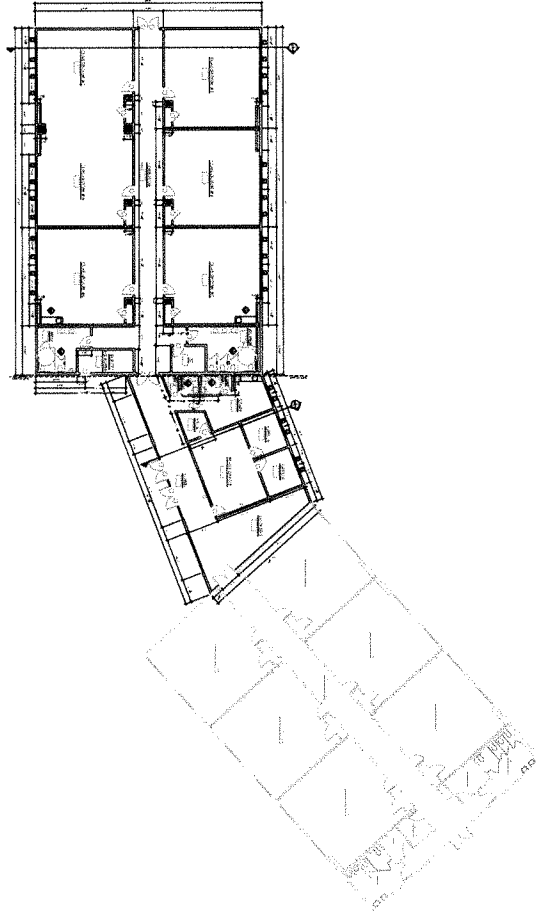
A-0.0
OF 2

SHEET NO:
DRAWN BY: CMH
CHECKED BY: PLB
DATE: 11-10-22
TITLE: EGRESS/CODE PLAN
SCALE: 1/8" = 1'-0"

A NEW PROJECT FOR:
WILLAMINA MIDDLE SCHOOL
1100 NE DAKEN HILLS DR. WILLAMINA, OR

DESIGN DEVELOPMENT SET

PAUL L BENTLEY Architect A.I.A. P.C.



A-1

PROPOSED FLOOR PLAN

1/16" = 1'-0"



A-1.0 OF 7	SHEET NO:
	DATE: 11-10-22
	TITLE: ELYSE PALL PROPOSED FLOOR PLAN
	SCALE: 1/16"=1'-0"
	DRAWN BY: CHM
	CHECKED BY: PLB

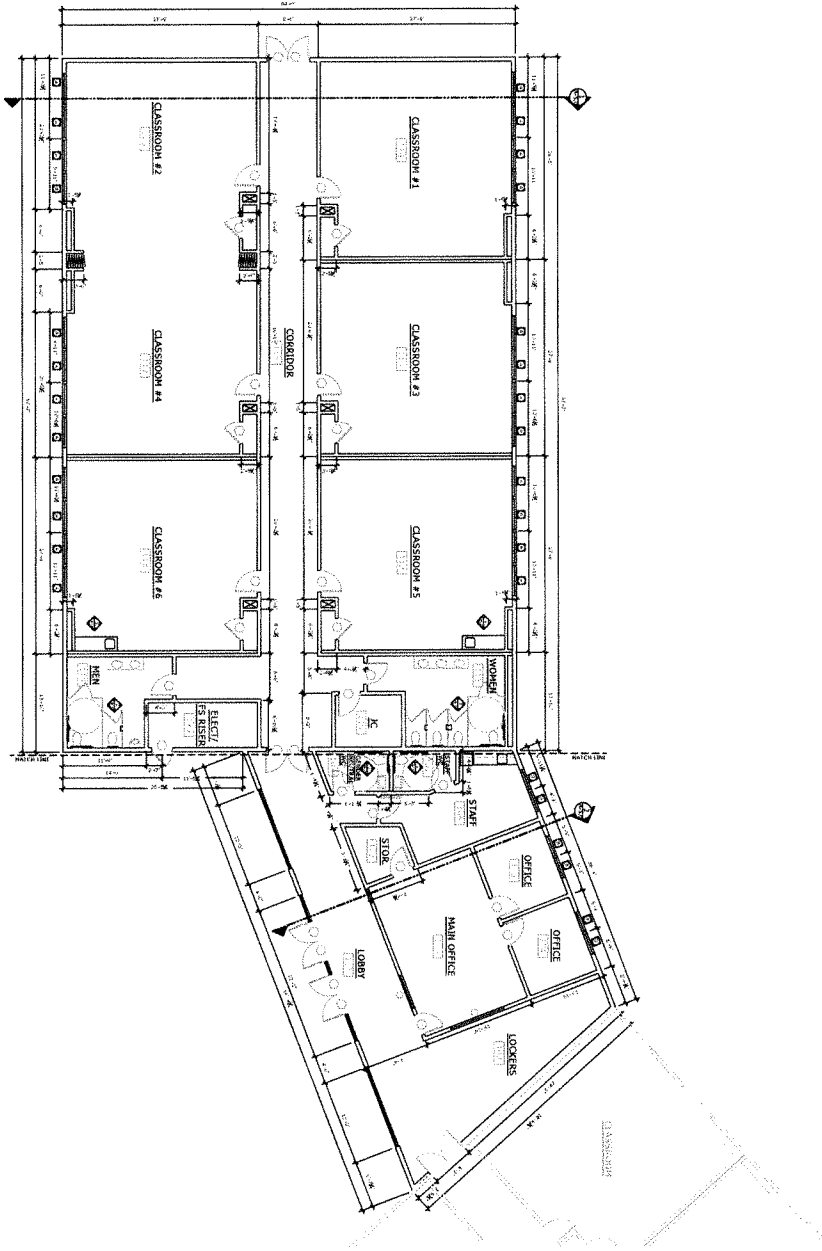
A NEW PROJECT FOR:

WILLAMINA MIDDLE SCHOOL

1100 NE OAKEN HILLS DR. WILLAMINA, OR

DESIGN DEVELOPMENT SET


PAUL L BENTLEY Architect A.I.A. P.C.



A-1.1

PROPOSED FLOOR PLAN

1/8" = 1'-0"



DRAWN BY: CWH/LL	SHEET NO:
CHECKED BY: PJB	A-1.1
DATE: 11-10-22	OF 1
TITLE: PROPOSED FLOOR PLAN	
SCALE: 1/8"=1'-0"	

A NEW PROJECT FOR:

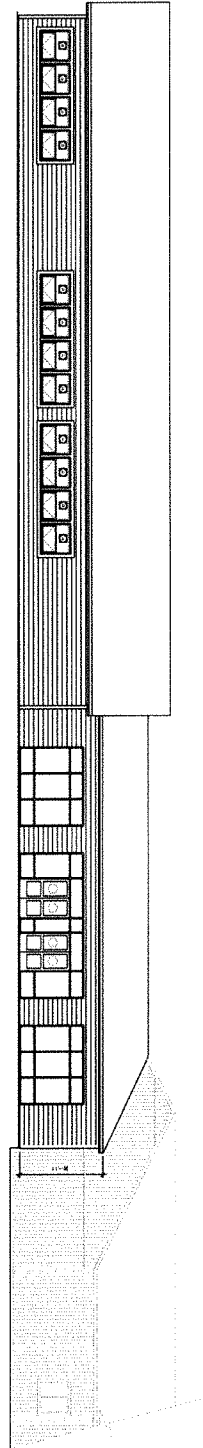
WILLAMINA MIDDLE SCHOOL

1100 NE OAKEN HILLS DR. WILLAMINA, OR

DESIGN DEVELOPMENT SET

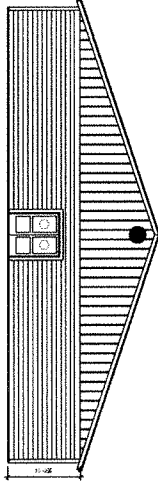


PAUL L BENTLEY Architect A.I.A. P.C.



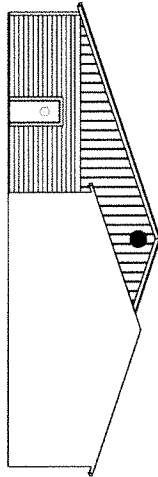
1 EAST ELEVATION

1/8" = 1'-0"



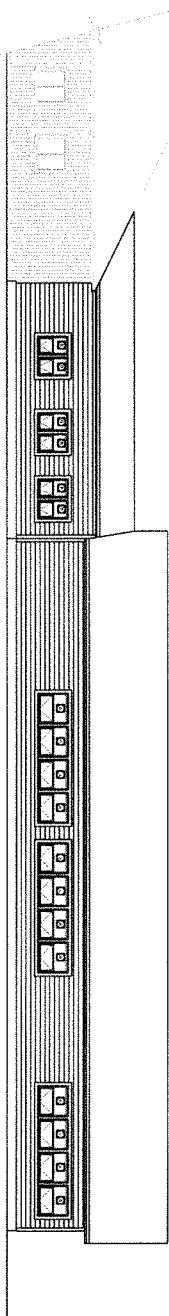
2 SOUTH ELEVATION

1/8" = 1'-0"



3 NORTH ELEVATION

1/8" = 1'-0"



4 WEST ELEVATION

1/8" = 1'-0"

A NEW PROJECT FOR:

WILLAMINA MIDDLE SCHOOL

1100 NE OAKEN HILLS DR. WILLAMINA, OR

DRAWN BY:	DMH
CHECKED BY:	MLB
DATE:	11-10-23
TITLE:	ELEVATIONS
SCALE:	1/8" = 1'-0"
SHEET NO.:	A-4.0
OF -	07 -


 PAUL L BENTLEY Architect A.I.A. P.C.

CITY OF WILLAMINA
411 NE C Street – P O Box 629
Willamina, OR 97396
503-876-2242 fax 503-876-1121

STAFF REPORT TO THE PLANNING COMMISSION

I. BACKGROUND

DATE: March 3, 2023 for the March 9, 2023 Meeting
Rescheduled from February 28, 2023 due to snow storm

FILE: Site Plan Review #SDR 23-01 “Middle School Expansion Project”

OWNER/APPLICANT: Willamina School District No 30J

PROPOSAL: Expansion to existing Middle School building in the southwest corner of the Willamina School District campus.

PROPERTY: 1100 NE Oaken Hills Drive

ZONE: PAI – Public Assembly Institution

CRITERIA: Willamina Development Code:

- Section 2.111 Public Assembly Institution (PAI)
- Section 2.200 General Development Standards
- Section 3.105 Site Plan Review

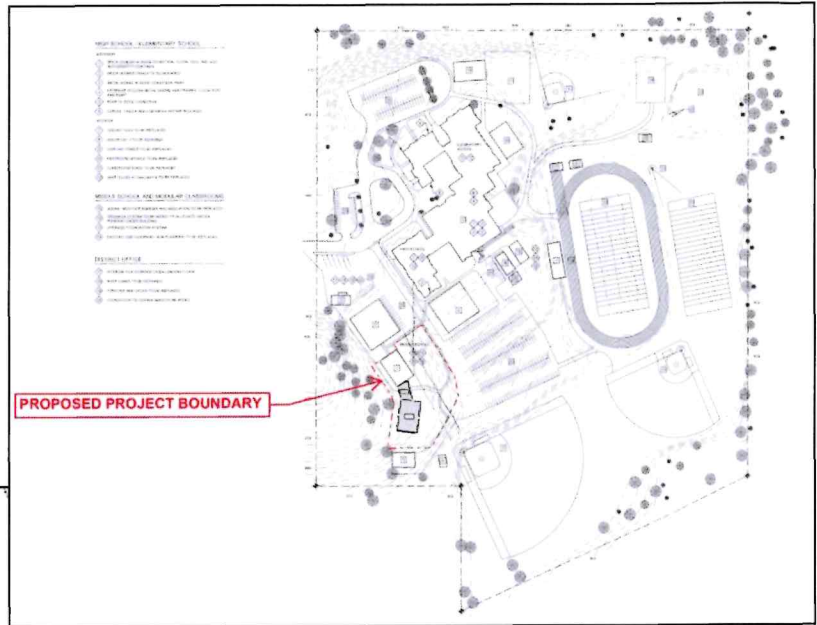
II. AUTHORITY & PROCEDURE

Pursuant to Willamina Development Code 3.101.01(B), a Site Plan Review is a Type I-B action. A Type I-B is a ministerial action reviewed by the Planning Commission based on generally clear and objective standards with some discretion afforded to Planning Commission. Conditions may be placed on the decision and notice is sent to the applicant and property owners within the required notice area. Appeal is to the City Council.

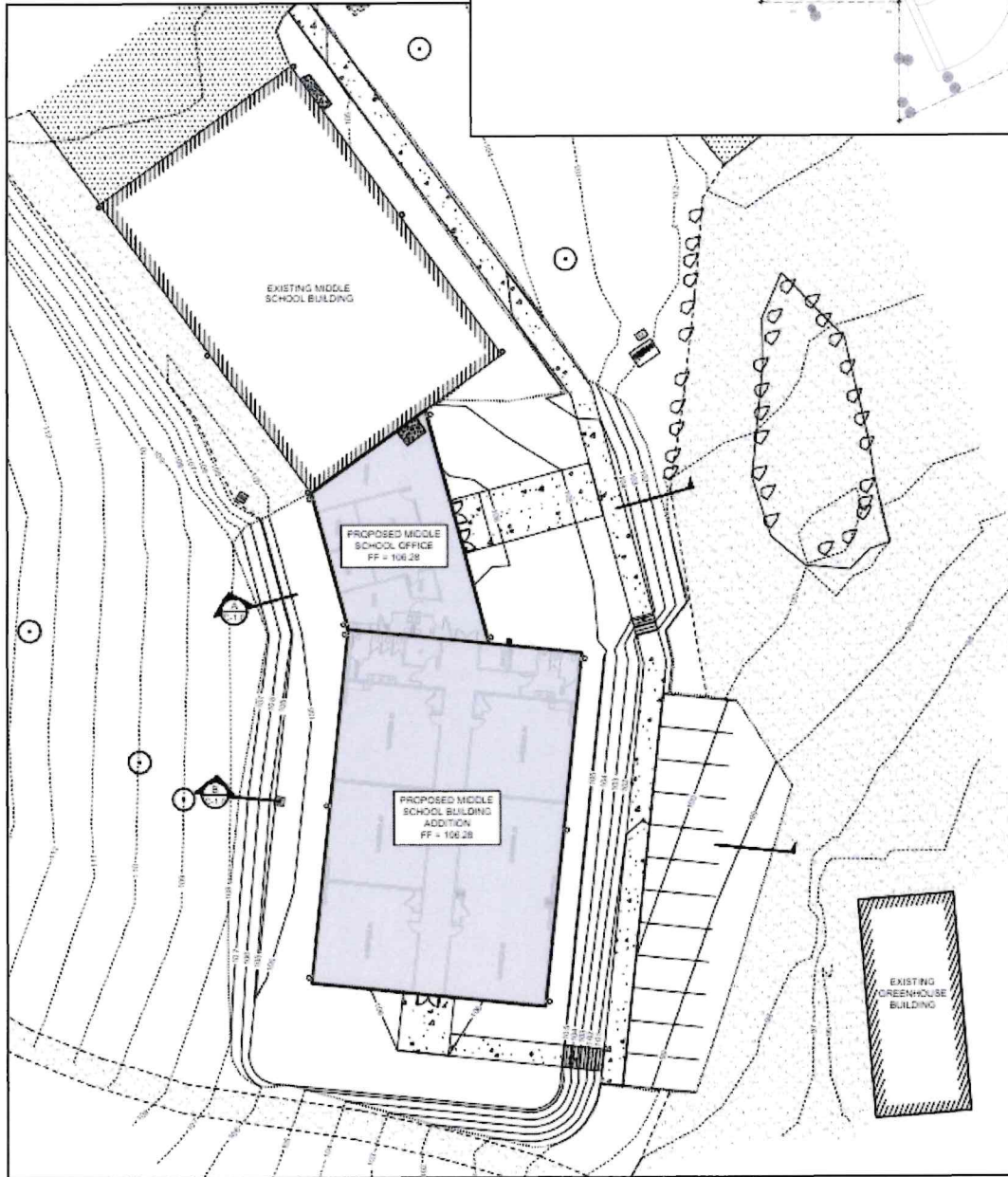
Pursuant to the public notice requirements in WDC 3.202.01(B) “Written notice of any Type I-B action shall be mailed to the applicant and all property owners, including county and state agencies responsible for roads and highways, within 100 feet of the subject property a minimum of fourteen (14) days prior to the Planning Commission decision. The 14-day period shall serve as a comment period prior to the final decision. Written notice of the final decision shall be mailed to the applicant any property owner or agency that commented on the application.” No neighbor comments were received on this file.

III. REFERENCE MAPS & PLANS

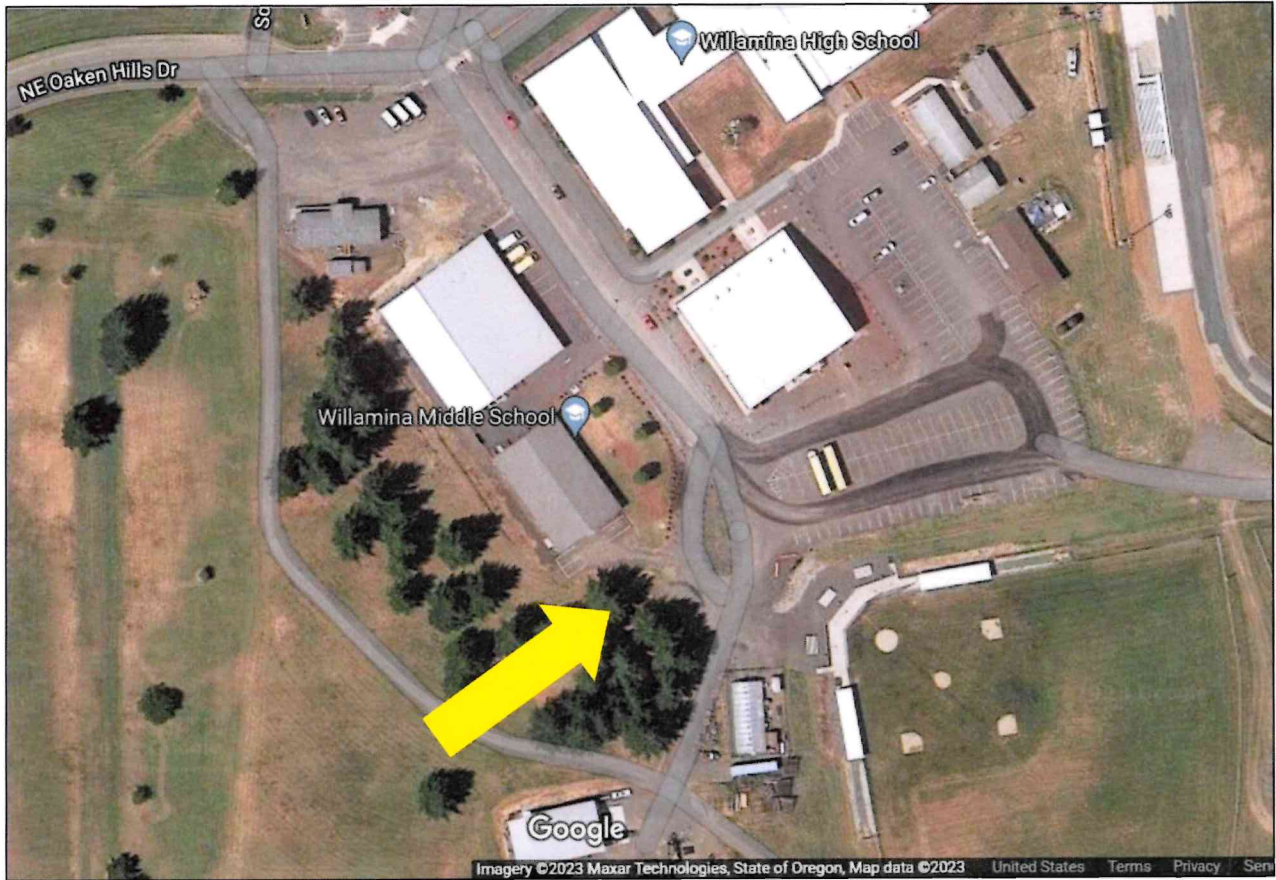
A. REFERENCE MAP OF CAMPUS →



B. PROPOSED SCHOOL EXPANSION:



C. EXISTING CONDITIONS AERIAL IMAGE. Source: Google, 2023



IV. ANALYSIS OF DECISION CRITERIA & DEVELOPMENT STANDARDS

The purpose of this section is to provide the Willamina Planning Commission a summary of the applicable sections of the Willamina Development Code (WDC).

3.105 SITE PLAN REVIEW

3.105.6 Evaluation of Site Development Plan

The review of a Site Development Plan shall be based upon consideration of the following:

- A. Compliance with the Permitted Uses section of the applicable zone district, or Conditionally Permitted Uses section with an approved Conditional Use Permit.*

FINDINGS: Pursuant to WDC 2.111.02 Permitted Uses, “Publicly owned buildings and facilities such as city halls, community centers, libraries, schools, fire stations, and police stations” are listed as permitted uses, allowed outright with an approved Site Plan Review. No conditional use permit is required.

Regarding the layout of the site plan, the dimensional standards of the PAI zone are provided in WDC 2.11.05. The site plan provided for the middle school expansion meets the PAI zone setback standards of Front yard 10 feet, Side yard 0-10 feet, and Rear yard 0-10 feet due to the large size of the existing school campus. The proposed structure is less than the 70-foot height limit of the PAI zone.

B. Conformance with the General Development Standards contained in this Ordinance including:

1. Streets

FINDINGS: Street standards are provided in WDC 2.202. The Willamina School Campus takes access from NE Oaken Hills Drive, which is a public street in City of Willamina jurisdiction from Main Street to NE 4th Place. North of that intersection, NE Oaken Hills Drive is shown in School District ownership on the Yamhill County GIS. Streets within the campus, including the street accessing the middle school, are considered private drives. The internal access drive is required to be paved to 20-foot minimum width to the proposed new parking spaces serving the Middle School expansion. This is addressed below in the off-street parking section, and a corresponding recommended condition of approval is included.

No Fire District comments were received by the date of this staff report. Final Fire Department approval related to building access and turn-around is required prior to building permit as a recommended condition of approval.

This standard can be met through the applicant's compliance with the recommended conditions of approval related to streets and access.

2. Off-street parking

FINDINGS: Off-Street Parking and Loading Standards are provided in WDC 2.203. Specifically, the minimum required parking ratios provided in WDC 2.203.05 (H) Off-Street Automobile Parking Requirements require two (2) spaces per classroom for Elementary or Junior High Schools. The new middle school wing is proposing to add six (6) new classrooms. The submitted site plan shows 12 new parking spaces in front of the new middle school wing. The 6-to-12 ratio addresses only the new portion of the site. This review does not address existing parking provisions. Presumably existing large shared parking lots on the campus are currently sufficient for staff, students, and visitors to all buildings.

The proposed 12 new parking spaces are connected to the building by a concrete pedestrian walkway with steps to both the main entrance as well as the southern doors of the new wing. WDC 2.203.06 *Requirements for Accessible Parking Spaces constructed to ADA Standards* requires a minimum of one (1) ADA space with the 12 proposed standard vehicle parking spaces. The applicant stated in a phone discussion that ADA accessible parking has been and will continue to be located on the north end of the building, connected to the main entrance by the paved path in front of the existing middle school wing. A recommended condition of approval requires a revised site plan showing a minimum of one (1)

ADA space and associated loading zone(s). Yamhill County Building Department may have additional requirements for ADA parking and/or access at the building permit stage.

WDC 2.203.08(A) *Surfacing*: states that all driveways, parking, and loading areas shall have a durable, hard surface. Further, parking spaces shall be a minimum of 9 feet wide by 18 feet in length, and two-way driveways shall be paved a minimum width of 20 feet. These standards are included as a recommended condition of approval.

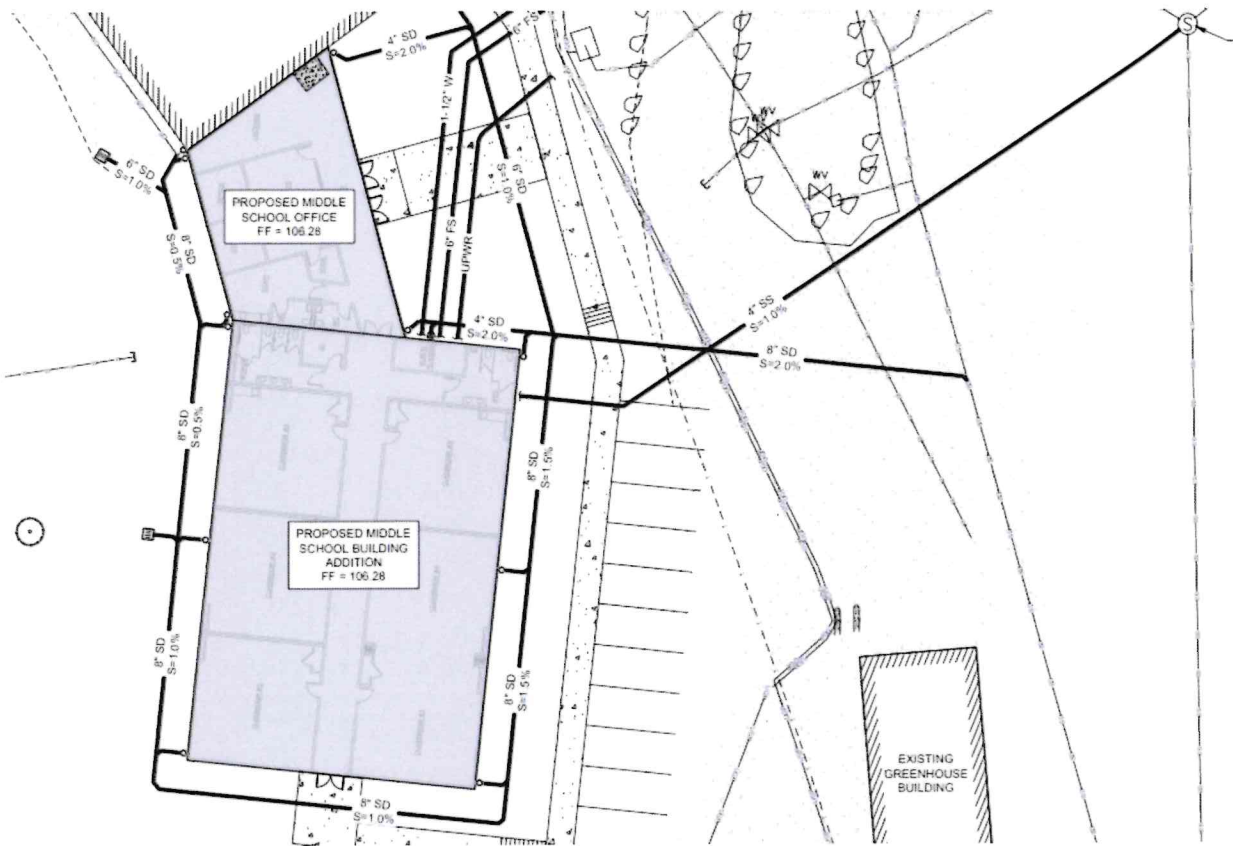
Also, Subsection (C) states: "In the event several uses occupy a single structure or parcel of land, the total requirements for off-street parking shall be the sum of the requirements of the several uses computed separately, unless a reduction is approved for shared parking pursuant to Subsection 2.203.04 above." Staff acknowledges that the overall parking on site is a sum of all campus buildings and related school uses. No master parking plan was submitted or required with this application. Staff review was limited to new development.

WDC 2.203.11 *Bicycle Parking* is required at a ratio of 2 spaces per classroom (as the WDC was revised in 2022 with TSP adoption). A standard inverted 'U' or "staple" style bike rack can accommodate 2 bicycles each. The additional six (6) classrooms would require the addition of 12 bicycle parking spaces, or 6 new racks total. This is included as a condition of approval.

This application can be found to meet these standards through compliance with the recommended conditions of approval related to off-street parking.

3. *Public facilities, including storm drainage, and, utility lines and facilities*

FINDINGS: Within the Willamina Development Code, storm drainage is addressed in 2.204 *Storm Drainage*, and utilities are addressed in 2.205 *Utility Lines and Facilities*. The submitted plan set was reviewed by the City Engineer and Public Works Director, and was sent to the Fire District. The applicant proposes connections to existing utilities on site. The plan shows connections to the new building from existing utilizes, including 1 ½" water, 6" fire suppression to the building, 4" sanitary sewer, 8" storm drain, and underground power. In terms of fire suppression, an existing hydrant is shown to the north of the building, and a new FDC is shown on the plan set on a 4" water line. A cropped screenshot shows the proposed connections below.



Jesse Fields, City Engineer with Keller Associates commented:

My only comment on this is back to the fire flows. Prior to completion of the City's current booster pump station and transmission main project (the one that overlaps with Ridgeview and Bush subdivisions), the modeled fire flows from the 2015 WMP (attached) range from 900-1400-gpm. I am fairly certain this is too low, and I believe this was the limiting factor for the school's development in previous conversations. The pump station and transmission main project will greatly improve these flows... contractor on this project and will be developing a project schedule that will be more accurate.

Fire will need to comment on this and will probably want to see a hydrant flow test meeting whatever their requirement is for the school before granting occupancy. I would say it is at the schools risk to continue construction prior to completion of the City's project.

I have no issue with allowing the building permits to be issued knowing that the BPS Main project is awarded and funded, but I would want a statement from the Chief to award occupancy prior to completion of the BPS project. The applicant should be made aware of this and understand what the Chief will require before allowing the permit to be issued as well as awarding occupancy. This way they understand how the City project relates to their permit and occupancy.

Staff has included a recommended condition of approval that Final Occupancy shall not be granted prior to completion of the City Booster Pump water system project unless otherwise approved by the Fire Chief.

This application can be found to meet these standards through compliance with the recommended conditions of approval related to utilities and facilities.

4. Signs

FINDINGS: No signs are proposed, reviewed, or approved with this application.

5. Site and landscaping design

FINDINGS: WDC 2.207 Site and Landscaping Design details the percent of landscaping required for a new development, based upon the underlying zoning. This section does identify a minimum landscaped area for the PAI zone. For reference, commercial projects are required to provide 10% and industrial projects provide 6% of the gross area. In this case, the overall Willamina School District campus already provides a large amount of landscaped areas in grass and trees. While a handful of trees were removed from the site in summer of 2022, there are still established trees remaining on the hillside west of the new wing, as well as a landscaped area out front between the new parking, walkway, and building. The intent of this standard is met as proposed.

C. Drainage and erosion control needs;

FINDINGS: As previously addressed, the submitted plan sets show a proposed connection to the existing storm drain lines, and there are storm drain catch basins in the driveway in front of the project area. Neither the City Engineer nor the Public Works Director expressed concern about impacts to the site drainage by increasing the impervious surface on site.

D. Public health factors;

FINDINGS: Generally public health factors relate to municipal water and sewer connections. These have been previously discussed. There are no additional concerns related to public health.

E. Traffic safety, internal circulation and parking;

FINDINGS: As previously addressed, parking provision minimums are met as proposed. Parking is required to be paved, as is the connecting driveway, to a minimum of 20 feet in width. All other internal private streets and shared parking lots are existing on the campus, and are not reviewed with this land use application.

F. Provision for adequate noise and/or visual buffering from non-compatible uses;

FINDINGS: The subject building is located on the large, combined Willamina School District Campus. There are existing trees buffering the campus from adjacent residential properties. Neighbors were provided a comment period prior to the staff report. No concerns were received in response.

G. Retention of existing natural features on site; and

FINDINGS: The portion of the campus proposed to be improved is undeveloped, sloping, with evergreen trees. Some trees were removed in summer of 2022 to allow for grading of the building footprint on the project site. The site plan shows remaining trees west of the building. No other existing natural features are noted in the plan set.

H. Problems that may arise due to development within potential hazard areas.

FINDINGS: No potential hazard areas are identified with this application.

I. Connectivity of internal circulation to existing and proposed streets, bikeways and pedestrian facilities.

FINDINGS: A new concrete walkway provides pedestrian connection from the new parking to all three Middle School building entrances. While the front walkway does have stairs, ADA access comes from the north side of the building where ADA parking is proposed to be located, and will be shown on subsequent plan sets. Available Google aerial imagery shows existing painted crosswalks connecting the sidewalk along Oaken Hills Drive NE to the Middle School building. It is the continuing obligation of the property owner to repaint crosswalks on private property to ensure visible dedicated bicycle and pedestrian connections between the downhill public right-of-way and the subject building, for the safety of staff, students, and visitors traveling to the campus. This is included as a condition of approval.

V. STAFF CONCLUSION AND RECOMMENDATION

The proposed Middle School expansion project site plan can be found to meet the applicable standards through compliance with the recommended conditions of approval. Staff recommends that the Planning Commission APPROVE the proposed middle school expansion site plan, subject to the following conditions of approval.

VI. RECOMMENDED CONDITIONS OF APPROVAL

1. REVISED SITE PLAN. Prior to building permit approval, applicant shall submit for City review a revised site plan demonstrating compliance with the following conditions of approval.
2. STREET PAVING. Prior to final occupancy, applicant shall extend the paved driveway in front (east) of the Middle School to access the new parking spaces. Pursuant to WDC 2.203.08, two-way driveways shall be paved a minimum of 20-feet in width.
3. PARKING. New parking spaces shall be paved, and shall be a minimum of 9 feet wide by 18 feet in length.
4. FIRE DEPT APPROVAL. Prior to building permits, applicant shall demonstrate Fire Department approval related to building access, turn-around, water, and fire suppression.
5. FIRE FLOW. Due to low fire flows at this location, final occupancy shall not be granted prior to completion of the City of Willamina Booster Pump Water System Project, unless otherwise approved by the Fire Chief.
6. ADA PARKING. Applicant shall provide a minimum of (1) ADA parking space and associated loading zone(s), with accessible route to the Middle School Building.
7. BICYCLE PARKING. Applicant shall provide a minimum of 12 new bicycle parking spaces, or 6 double-sided racks.
8. CROSSWALK MAINTENANCE. It is the continuing obligation of the property owner to repaint crosswalks on private property to ensure the visibility of bicycle and pedestrian connections, for the safety of students, staff, and visitors traveling to and through the campus.
9. PERMITS REQUIRED. Prior to construction, applicant shall secure Building Permits issued by Yamhill County Building Division, in partnership with the City of Willamina. The first step is a Building Compliance Application submitted to the City of Willamina.
10. LAND USE APPROVAL TIMELINE. Pursuant to WDC 3.105.08, Site Plan Review approval shall be effective for a period of one year from the date of approval. Substantial construction of the approved plan shall begin within the one (1) year period. Site Plan Review approval shall be voided immediately if construction on the site is a departure from the approved plan. Substantial conformance, as defined in Section 1.200, is determined according to Section 1.101.05. Time extensions may be granted subject to the criteria and procedures of WDC 3.105.08(C).

VII. PLANNING COMMISSION OPTIONS

In consideration of the submitted Site Plan Review application and staff's recommended findings above, the Planning Commission has the following options:

- A. Motion to APPROVE Site Plan Review application #SDR 23-01 as submitted, and adopt the findings and conditions of approval recommended in the staff report; or
- B. Motion to APPROVE Site Plan Review application #SDR 23-01, and adopt the findings and conditions of approval recommended in the staff report, AS MODIFIED by the Planning Commission; or
- C. Motion to DENY Site Plan Review application #SDR 23-01, with revised findings supporting denial, as detailed by the Planning Commission.
- D. Motion to TABLE the agenda item to the next regular meeting of the Planning Commission, indicating specific additional information needed to allow for a future decision; or

RECOMMENDED MOTION

Motion to approve the Willamina Middle School Site Plan, file #SDR 23-01, and to adopt the findings and recommended conditions of approval included in the staff report to the Planning Commission.