

## Request for Quotes

The City of Exira is seeking quotations for asbestos survey and testing on eight buildings (eleven facades) within the Main Street District. This is a part of Downtown Façade Rehabilitation project. The testing will be on suspect materials that have the potential to be disturbed on or within the building during demolition or construction. The project will encompass façade modifications only. Buildings in which testing is required can be found in the appendix of this document.

The City will award a contract based upon the lowest responsible quote. Anyone submitting a quote must be licensed by the Iowa Department of Inspections, Appeals, and Licensing (DIAL), insured in the State of Iowa, and able to obtain a Unique Entity Identifier (UEI) number. Any license and insurance documents should be submitted with the quote.

*This agreement is for services related to a project that is subject to the Build America, Buy America Act (BABA) requirements under Title IX of the Infrastructure Investment and Jobs Act ("IIJA"), Pub. L. 117-58. Absent an approved waiver, all iron, steel, manufactured products, and construction materials used in this project must be produced in the United States, as further outlined by the Office of Management and Budget's Memorandum M-24-02, Implementation Guidance on Application of Buy America Preference in Federal Financial Assistance Programs for Infrastructure. Contractor shall include Manufacturer's Certification for BABA requirements for all BABA covered items to be incorporated into the infrastructure project. Contractor shall comply with BABA requirements, including coordination with manufacturers, distributors, and suppliers to correct deficiencies in any BABA documentation. For any change orders, Contractor shall provide BABA documentation for any new products or materials required by the change. Contractor shall designate responsible parties for determining the final classifications for all project items.*

*Section 3 requirements under 12 U.S.C. § 1701u*

*A. "The work to be performed under this contract is subject to the requirements of Section 3 of the Housing and Urban Development Act of 1968, as amended, 12 U.S.C. 1701u (Section 3). The purpose of Section 3 is to ensure that employment and other economic opportunities generated by HUD assistance or HUD-assisted projects covered by Section 3, shall, to the greatest extent feasible, be directed to low- and very low-income persons, particularly persons who are recipients of HUD assistance for housing. B. The parties to this contract agree to comply with HUD's regulations in 24 CFR part 75, which implement Section 3. As evidenced by their execution of this contract, the parties to this contract certify that they are under no contractual or other impediment that would prevent them from complying with the part 75 regulations. C. The Contractor agrees to post copies of a notice advising workers of the Contractor's commitments under Section 3 in conspicuous places at the work site where both employees and applicants for training and employment positions can see the notice. The notice shall describe the Section 3 preference, shall set forth minimum number and job titles subject to hire, availability of apprenticeship and training positions, the qualifications for each; and the name and location of the person(s) taking applications for each of the positions; and the anticipated date the work shall begin. D. The Contractor agrees to provide written notice of employment and contracting opportunities to all known Section 3 Workers and Section 3 Businesses. E. The*

*Contractor agrees to employ, to the greatest extent feasible, Section 3 workers or provide written justification to the recipient that is consistent with 24 CFR Part 75, describing why it was unable to meet minimum numerical Section 3 Worker hours goals, despite its efforts to comply with the provisions of this clause. F. The Contractor agrees to maintain records documenting Section 3 Workers that were hired to work on previous Section 3 covered projects or activities that were retained by the contractor for subsequent Section 3 covered projects or activities. G. The Contractor agrees to post contract and job opportunities to the Opportunity Portal and will check the Business Registry for businesses located in the project area. H. The Contractor agrees to include compliance with Section 3 requirements in every subcontract for Section 3 projects as defined in 24 CFR part 75, and agrees to take appropriate action, as provided in an applicable provision of the subcontract upon a finding that the subcontractor is in violation of the regulations in 24 CFR part 75. The contractor will not subcontract with any subcontractor where the contractor has notice or knowledge that the subcontractor has been found in violation of the regulations in 24 CFR part 75. I. The Contractor will certify that any vacant employment positions, including training positions, that are filled (1) after the contractor is selected but before the contract is executed, and (2) with persons other than those to whom the regulations of 24 CFR part 75 require employment opportunities to be directed, were not filled to circumvent the contractor's obligations under 24 CFR part 75. J. The Contractor will certify that they have followed prioritization of effort in 24 CFR part 75.19 for all employment and training opportunities. The contractor will further certify that it meets or exceeds the applicable Section 3 benchmarks, defined in 24 CFR Part 75.23, and if not, shall describe in detail the qualitative efforts it has taken to pursue low- and very low income persons for economic opportunities. K. Noncompliance with HUD's regulations in 24 CFR part 75 may result in sanctions, termination of this contract for default, and debarment or suspension from future HUD assisted contracts. "Section 3 Business Concerns are encouraged to respond to this proposal. A Section 3 Business Concern is one that satisfies one of the following requirements: 1. It is at least 51 percent owned and controlled by low- or very low-income persons; 2. Over 75 percent of the labor hours performed for the business over the prior three month period are performed by Section 3 Workers\*; or 3. It is a business at least 51 percent owned and controlled by current public housing residents or residents who currently live in Section 8-assisted housing. \* A Section 3 Worker is defined as any worker who currently fits or when hired within the past five years fit at least one of the following categories, as documented: 1. The worker's income for the previous or annualized calendar year is below the applicable income limit established by HUD; 2. The worker is employed by a Section 3 business concern; or 3. The worker is a YouthBuild participant. Businesses that believe they meet the Section 3 criteria are encouraged to register as a Section 3 Business through HUD's website: [www.portalapps.hud.gov/Sec3BusReg/BRegistry/RegisterBusiness](http://www.portalapps.hud.gov/Sec3BusReg/BRegistry/RegisterBusiness)*

Quotes are due to Lauren Mortensen with Region XII Council of Governments on January 15, 2026 by 5:00 PM.

If possible, the city would like survey and testing completed prior to January 30, 2026 for the architect to include in the project manual for general construction. If this is not possible, please state the date which survey and testing would be completed by.

The selected firm will be utilized to solicit bids for any required remediation once the survey and testing results are reviewed with the proposed scope of rehabilitation work.

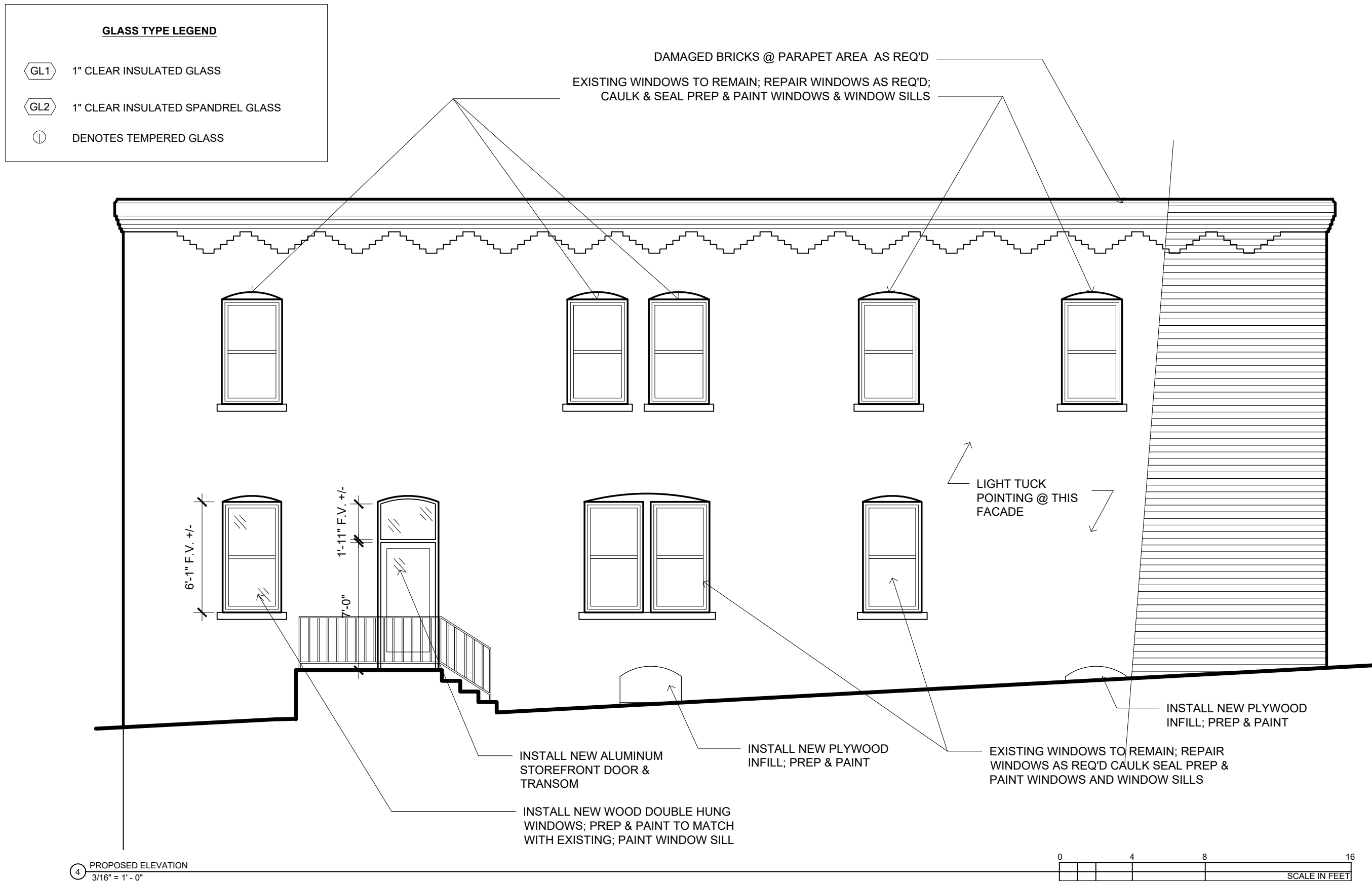
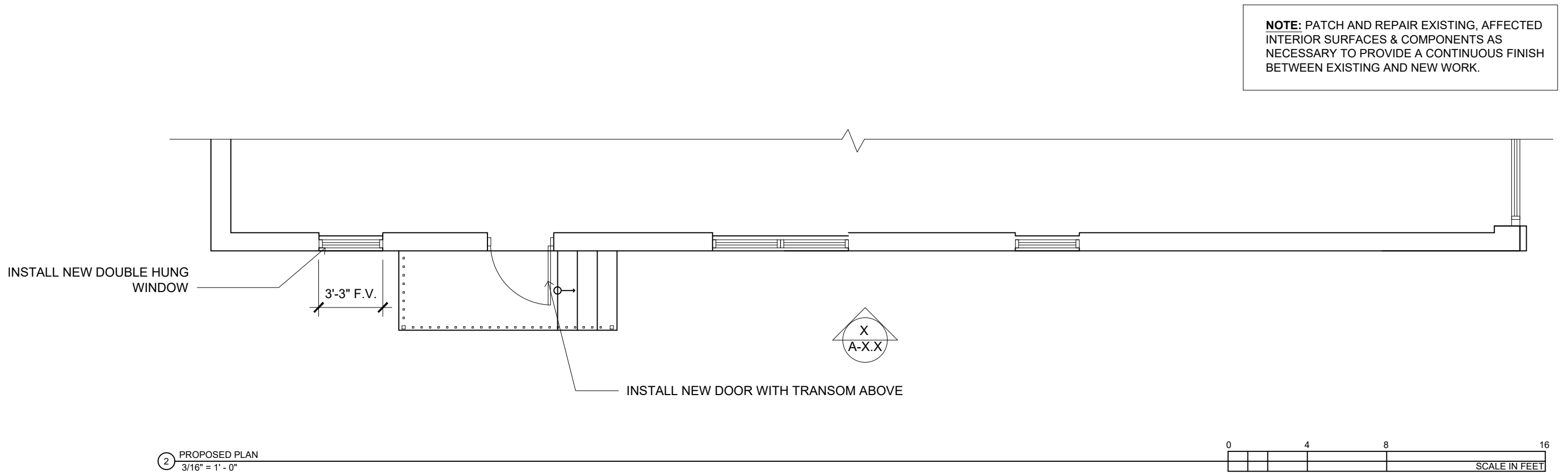
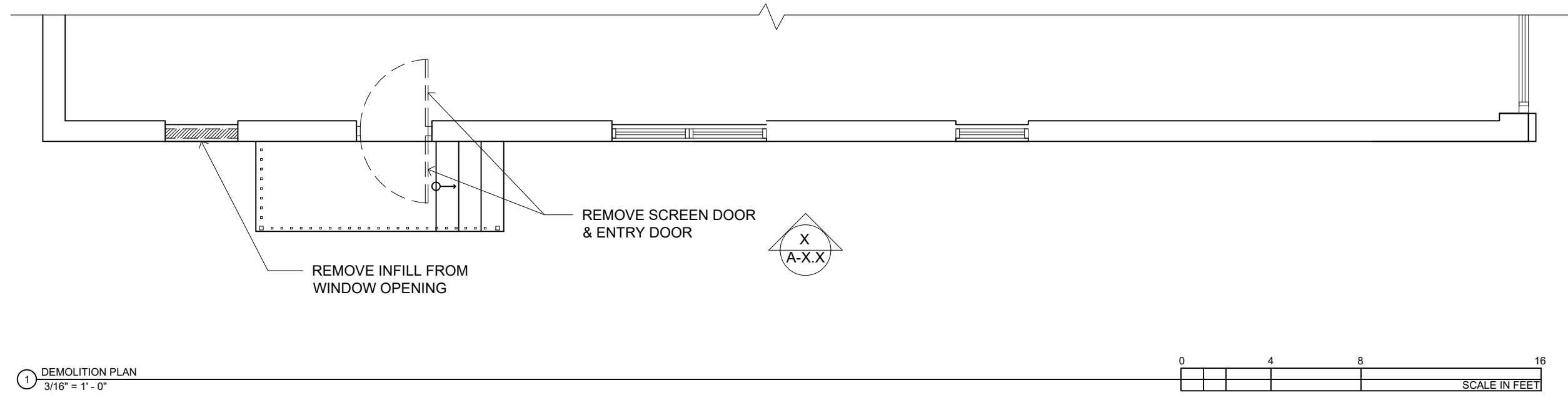
For more information, please contact Lauren Mortensen at Region XII Council of Governments at 712-792-9914 or by email at [lmortensen@region12cog.org](mailto:lmortensen@region12cog.org).

SIDE ELEVATION  
EXTERIOR WALLS: FAIR  
STOREFRONTS: NONE  
ENTRYWAYS: POOR  
WINDOWS: POOR  
FRONT FOUNDATION: FAIR  
PORCH, STAIRS, DECK RAMP: POOR  
AWNINGS/SIGNAGE: NONE  
ROOF: NOT OBSERVED

- PROPOSED SCOPE OF WORK SIDE FACADE:**
- MASONRY REPAIR/RESTORATION: TUCK POINT EXPOSED BRICK WITH APPROPRIATE RESTORATION MORTAR AS DETERMINED BY MORTAR ANALYSIS. COLOR, TEXTURE, AND CHEMICAL COMPOSITION TO BE INFORMED BY ANALYSIS AND ARCHITECT APPROVED. REPLACE DAMAGED BRICK NEAR PARAPET AS REQUIRED
  - STOREFRONTS: REPLACE STOREFRONT DOOR WITH NEW INSULATED GLASS STOREFRONT SYSTEM
  - DOUBLE HUNG WINDOWS: REPLACE UPPER-STORY WINDOWS WITH NEW WOOD DOUBLE HUNG WINDOWS; SEE ELEVATION FOR NEW WINDOW REPLACEMENT. EXISTING WINDOWS ARE TO REMAIN; REPAIR WINDOWS; CAULK AND SEAL AS REQUIRED

HISTORIC DESIGNATION:

THIS PROPERTY IS PRESUMED TO BE A POTENTIALLY CONTRIBUTING RESOURCE TO A POTENTIAL HISTORIC DISTRICT.



## EXIRA FACADE REHABILITATION

EXIRA, IOWA

The Franks Design Group, PC

410 First Street  
Glenwood, Iowa 51534  
712.527.3996

### ARCHITECT

THE FRANKS DESIGN GROUP, P.C.  
410 FIRST STREET;  
GLENWOOD, IOWA 51534  
TEL: 712-527-3996

REVISION DATE

1

DATE:

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**SLUM & BLIGHT INVENTORY:**  
EXTERIOR WALLS: FAIR  
STOREFRONTS: FAIR  
ENTRYWAYS: POOR  
WINDOWS: POOR  
FRONT FOUNDATION: POOR  
PORCH, STAIRS, DECK RAMP: POOR  
AWNINGS/SIGNAGE: POOR  
ROOF: NOT OBSERVED

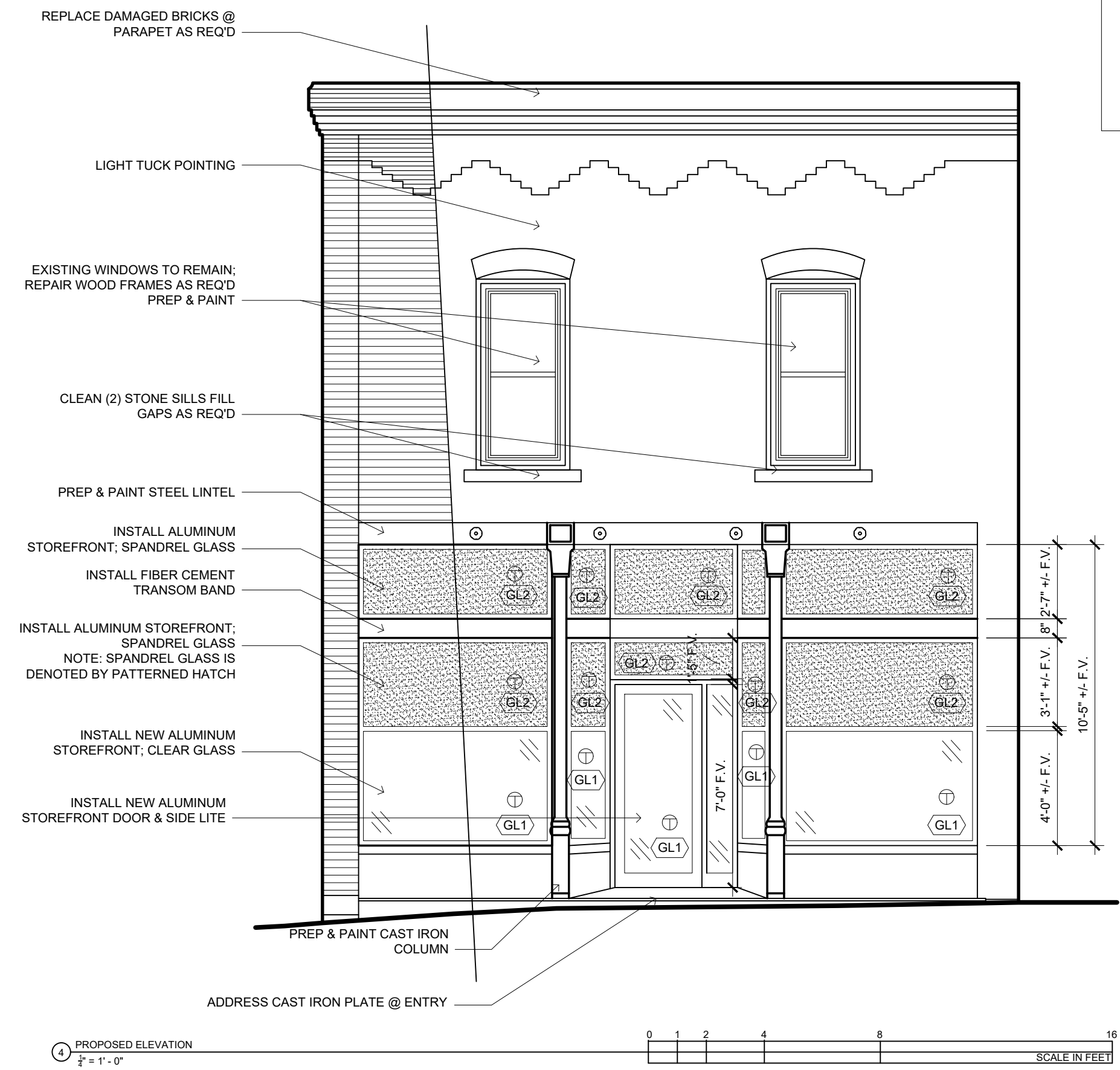
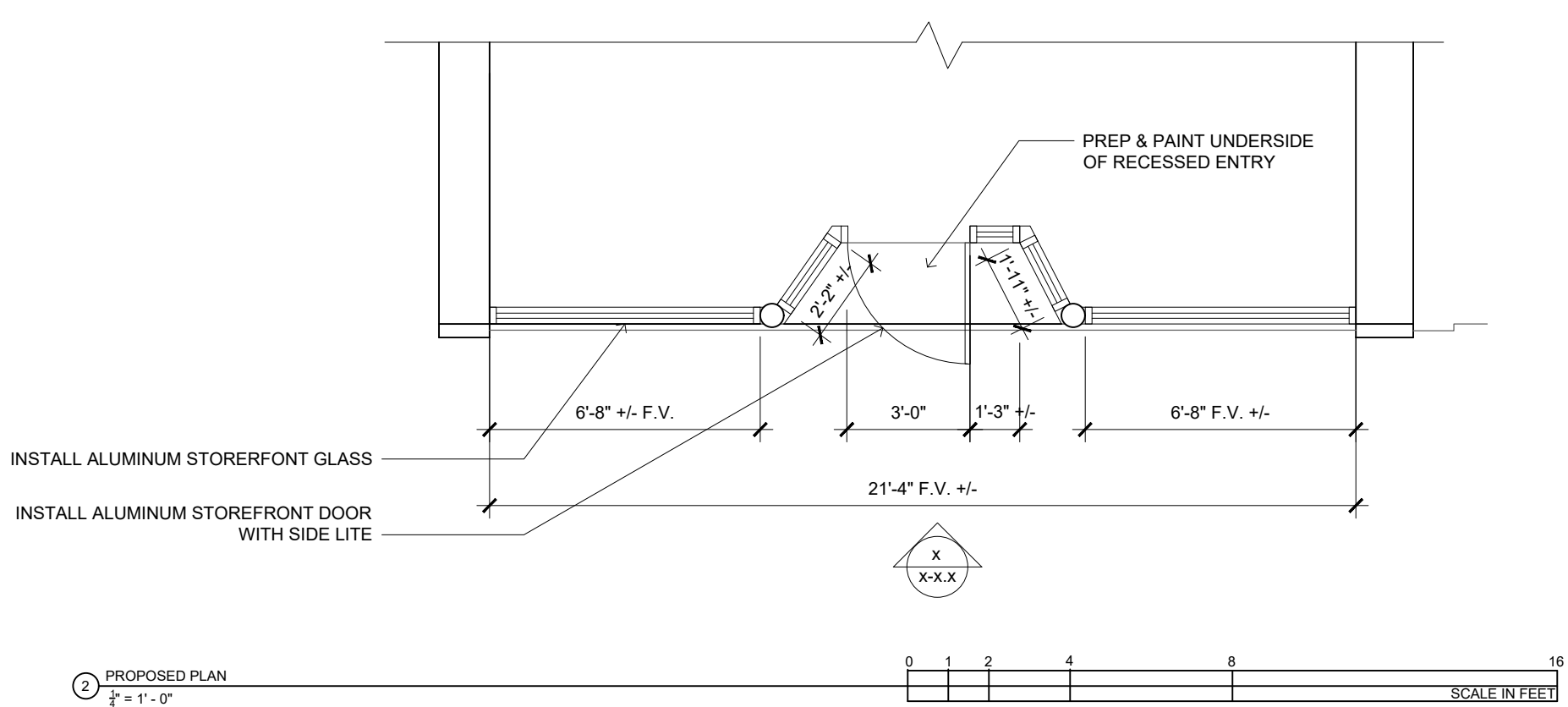
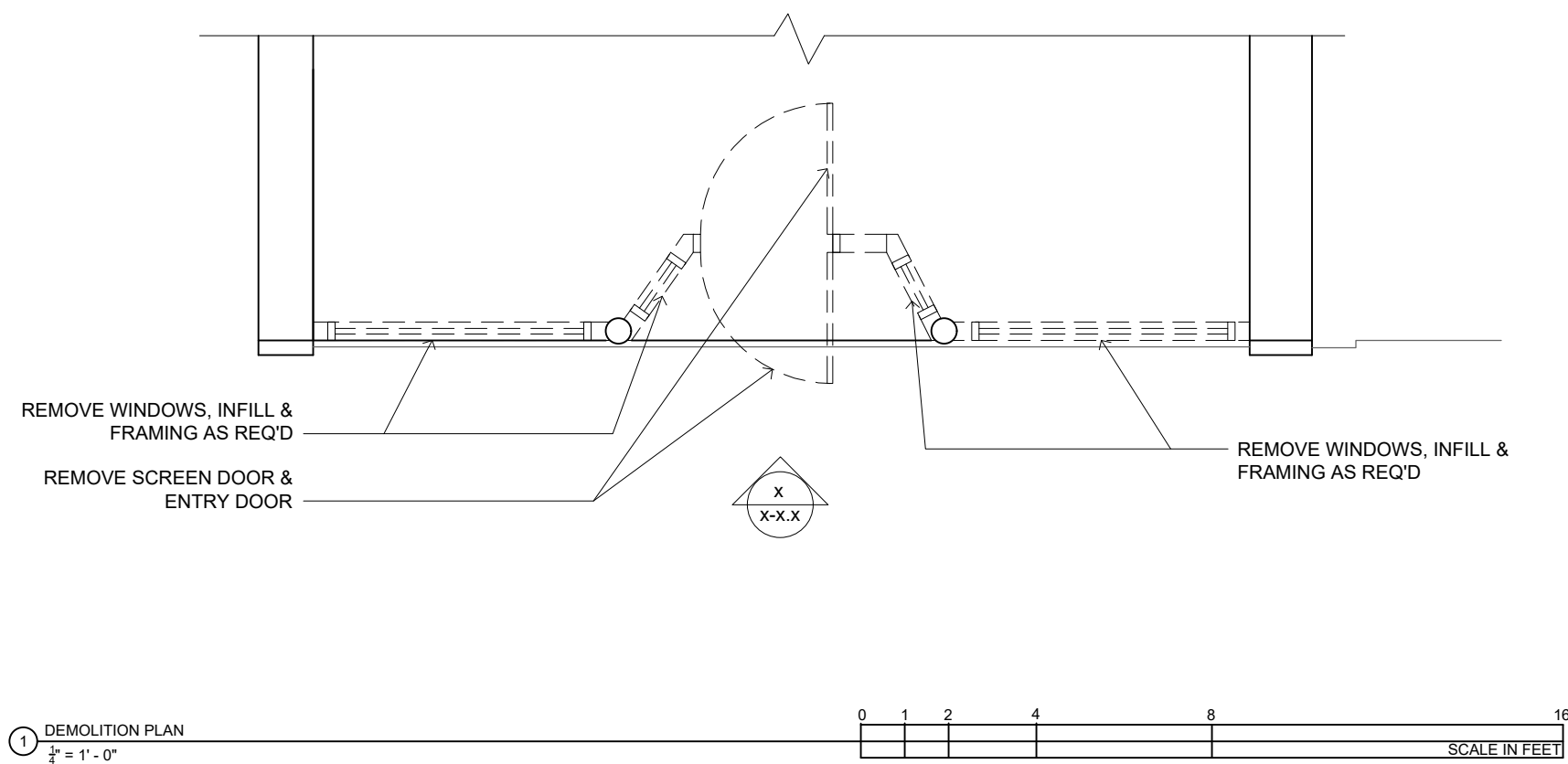
- PROPOSED SCOPE OF WORK FRONT FACADE:**
- MASONRY REPAIR/RESTORATION: TUCK POINT EXPOSED BRICK WITH APPROPRIATE RESTORATION MORTAR AS DETERMINED BY MORTAR ANALYSIS. COLOR, TEXTURE, AND CHEMICAL COMPOSITION TO BE INFORMED BY ANALYSIS AND ARCHITECT APPROVED
  - STOREFRONTS: REPLACE STOREFRONT WINDOW & DOORS WITH NEW INSULATED GLASS STOREFRONT SYSTEM
  - UPPER STORY WINDOWS: EXISTING UPPER STORY WINDOWS TO REMAIN; REPAIR WOOD FRAMES AS REQUIRED; PREP & PAINT
  - FRONT FOUNDATION: REPAIR BRICKS & TUCK POINT LARGE OPEN GAPS AT MASONRY NEAR BOTTOM FOUNDATION
  - PAINT: PREP AND PAINT EXISTING CAST IRON COLUMNS OR EXTERIOR MATERIAL WITH PANELIZED MULTI-COLOR SCHEME INCLUDING UPPERSTORY WINDOWS.
  - CAST IRON PLATE: ADDRESS ISSUE OF CAST IRON PLATE AT ENTRY DOOR

**HISTORIC DESIGNATION:**  
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EXISTING PHOTO

**NOTE:** PATCH AND REPAIR EXISTING, AFFECTED INTERIOR SURFACES & COMPONENTS AS NECESSARY TO PROVIDE A CONTINUOUS FINISH BETWEEN EXISTING AND NEW WORK



GLASS TYPE LEGEND	
GL1	1" CLEAR INSULATED GLASS
GL2	1" CLEAR INSULATED SPANDREL GLASS
T	DENOTES TEMPERED GLASS

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EXIRA, IOWA

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TEL: 712-527-3996

REVISION DATE

1

DATE:

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SLUM & BLIGHT INVENTORY:

EXTERIOR WALLS: FAIR  
STOREFRONTS: POOR  
ENTRYWAYS: FAIR  
UPPER STORY WINDOWS:FAIR  
FRONT FOUNDATION: FAIR  
PORCH, STAIRS, DECK RAMP: FAIR  
AWNINGS/SIGNAGE: FAIR  
ROOF: NOT OBSERVED

PROPOSED SCOPE OF WORK:

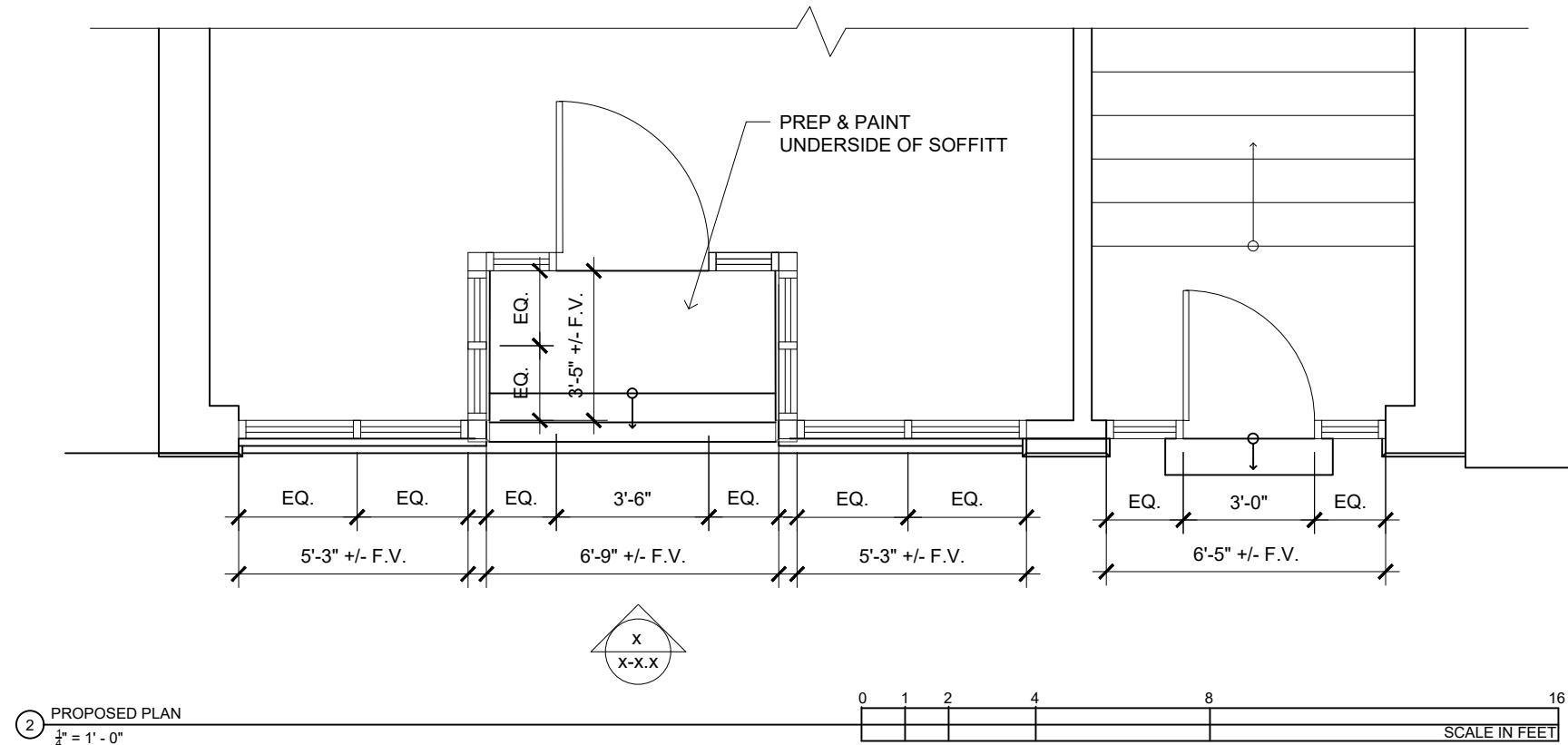
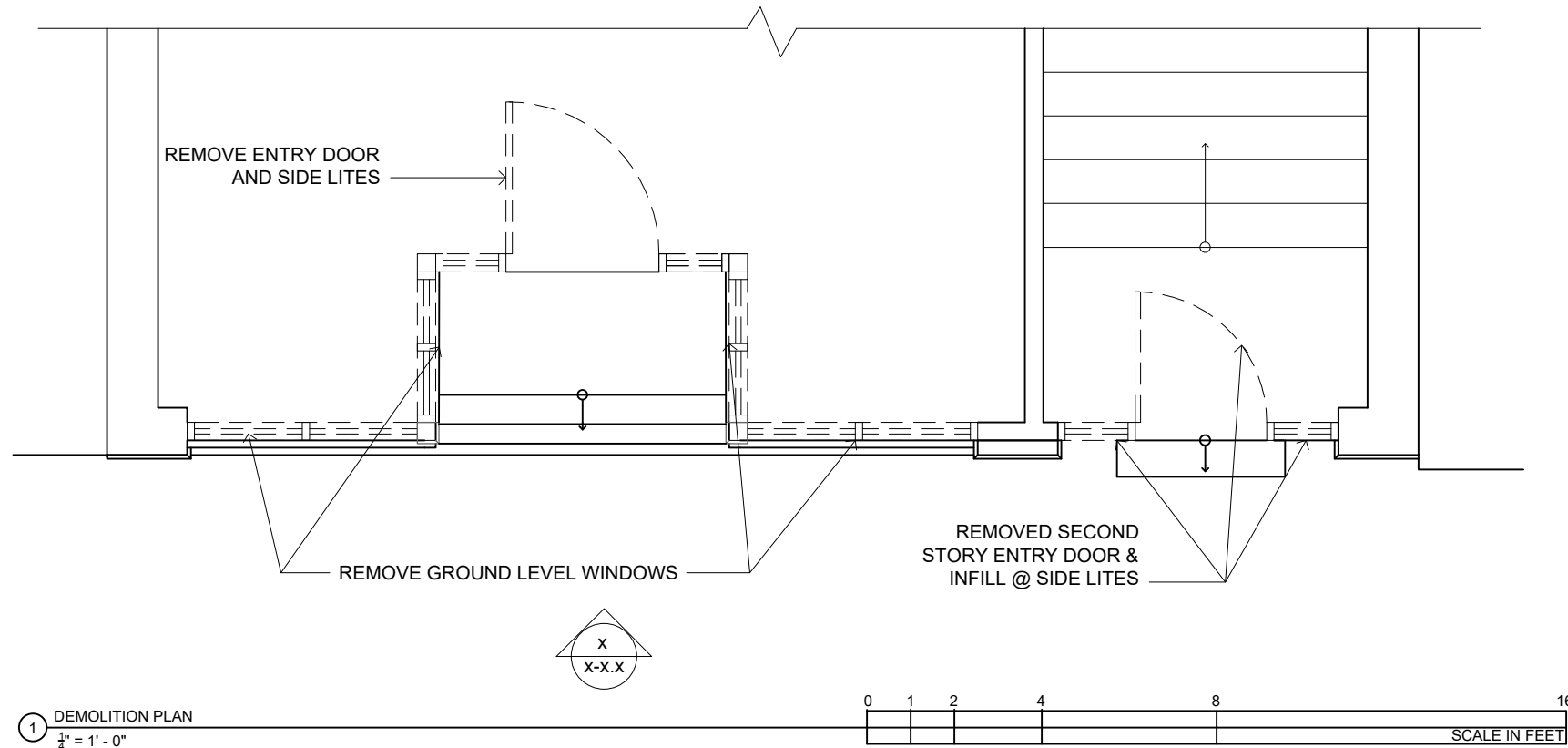
- MASONRY REPAIR/RESTORATION: TUCK POINT EXPOSED BRICK WITH APPROPRIATE RESTORATION MORTAR AS DETERMINED BY MORTAR ANALYSIS. COLOR, TEXTURE, AND CHEMICAL COMPOSITION TO BE INFORMED BY ANALYSIS AND ARCHITECT APPROVED
- STOREFRONTS: REPLACE STOREFRONT WINDOW & DOORS WITH NEW INSULATED GLASS ALUMINUM STOREFRONT SYSTEM
- TRANSOM: INSTALL NEW ALUMINUM FRAMED CLEAR INSULATING GLASS AT TRANSOM AREA.
- UPPER STORY WINDOWS: EXISTING WINDOWS TO REMAIN; CAULK AND SEAL EDGES AS REQUIRED
- FRONT FOUNDATION: CAULK AT FOUNDATION AS REQUIRED.
- KICK PANEL: REMOVE EXISTING INFILL; INSTALL NEW PANELIZED FIBER CEMENT KICKPANEL
- PAINT: PREP AND PAINT EXISTING PAINTED EXTERIOR ELEMENTS WITH PANELIZED MULTI-COLOR SCHEME; PREP & PAINT UNDERSIDE OF SOFFIT, TRANSOM BAND WHERE FORMER AWNING COVER REMAINS.
- WOOD DOOR: INSTALL NEW WOOD ENTRY DOOR TO SECOND STORY WITH SIDE LITES.
- TILES: EXISTING TILES AT RECESSED ENTRY TO REMAIN; GROUT AND SEAL TILES AS REQUIRED.

HISTORIC DESIGNATION:

THIS PROPERTY IS PRESUMED TO BE A POTENTIALLY CONTRIBUTING RESOURCE TO A POTENTIAL HISTORIC DISTRICT.



EXISTING PHOTO



NOTE: PATCH AND REPAIR EXISTING, AFFECTED INTERIOR SURFACES & COMPONENTS AS NECESSARY TO PROVIDE A CONTINUOUS FINISH BETWEEN EXISTING AND NEW WORK.

GLASS TYPE LEGEND	
GL1	1" CLEAR INSULATED GLASS
GL2	1" CLEAR INSULATED SPANDREL GLASS
T	DENOTES TEMPERED GLASS



# EXIRA FACADE REHABILITATION

EXIRA, IOWA

The Franks Design Group, PC

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ARCHITECT

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TEL: 712-527-3996

REVISION

DATE

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SLUM & BLIGHT INVENTORY:

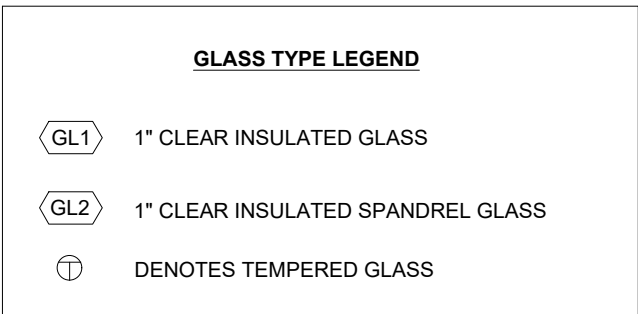
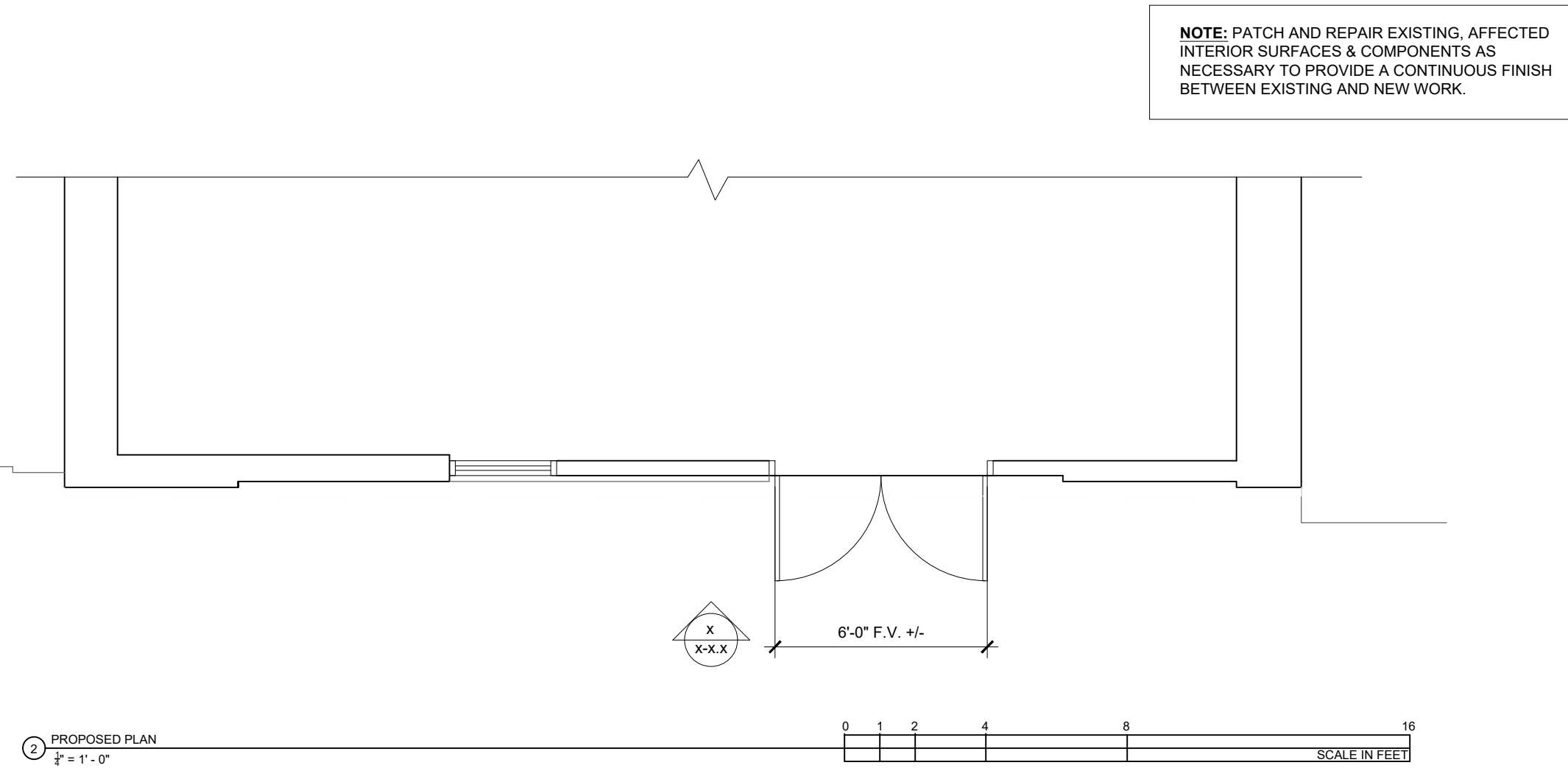
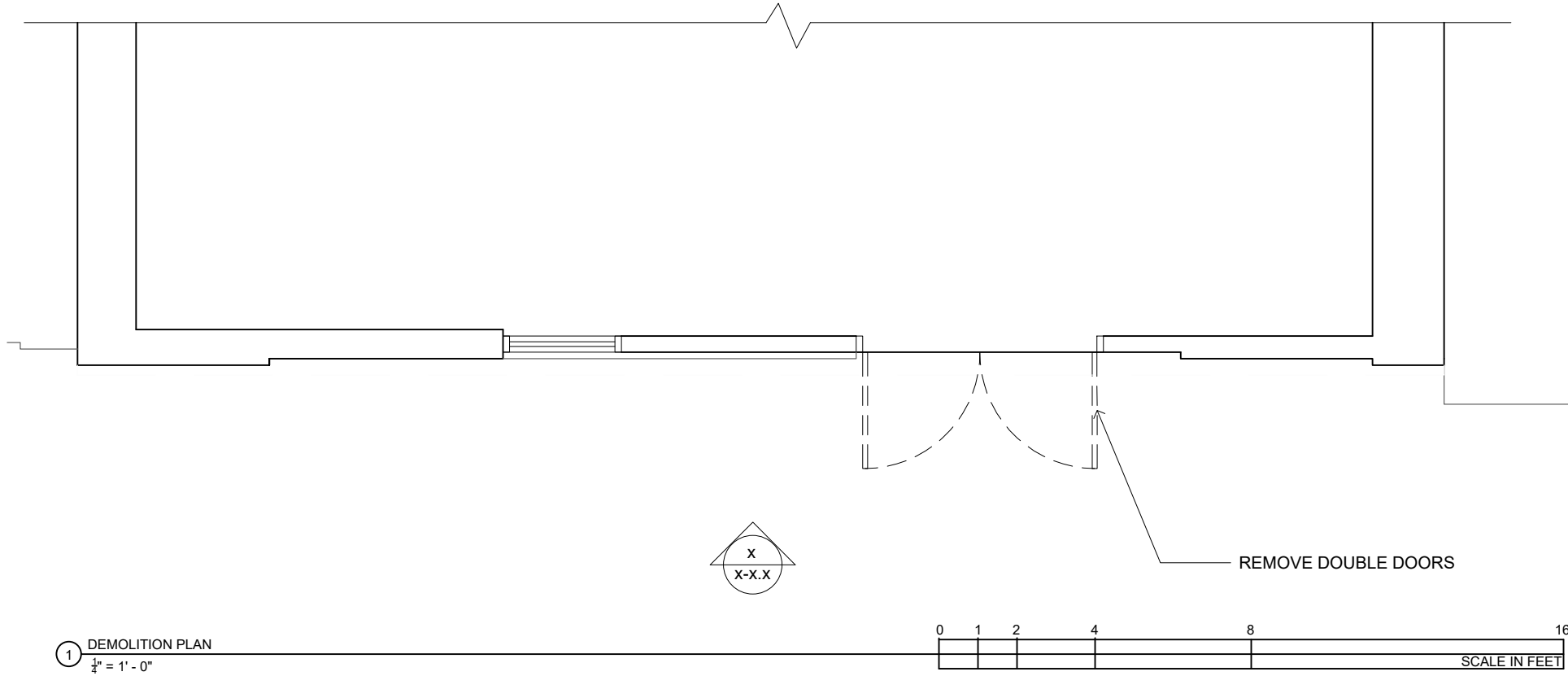
EXTERIOR WALLS: FAIR  
STOREFRONTS: FAIR  
ENTRYWAYS: FAIR  
WINDOWS: NONE  
FRONT FOUNDATION: FAIR  
PORCH, STAIRS, DECK RAMP: N/A  
AWNINGS/SIGNAGE: NONE  
ROOF: POOR

PROPOSED SCOPE OF WORK:

- MASONRY REPAIR/RESTORATION: MODERATE TUCK POINT EXPOSED BRICK WITH APPROPRIATE RESTORATION MORTAR AS DETERMINED BY MORTAR ANALYSIS. COLOR, TEXTURE, AND CHEMICAL COMPOSITION TO BE INFORMED BY ANALYSIS AND ARCHITECT APPROVED
- STOREFRONTS: REPLACE STOREFRONT WINDOW & DOUBLE DOORS WITH NEW INSULATED GLASS STOREFRONT SYSTEM
- FRONT FOUNDATION: CAULK AT FOUNDATION AS REQUIRED.
- TRANSOM AREA: CAULK AND SEAL EXISTING METAL SIDING; INSTALL NEW FABRIC AWNING
- PAINT: PREP AND PAINT EXISTING CORNICE OR EXTERIOR MATERIAL WITH PANELIZED MULTI-COLOR SCHEME INCLUDING UPPERSTORY WINDOWS .
- ROOFING: INSTALL NEW ROOF

HISTORIC DESIGNATION:

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EXIRA  
FACADE  
REHABILITATION

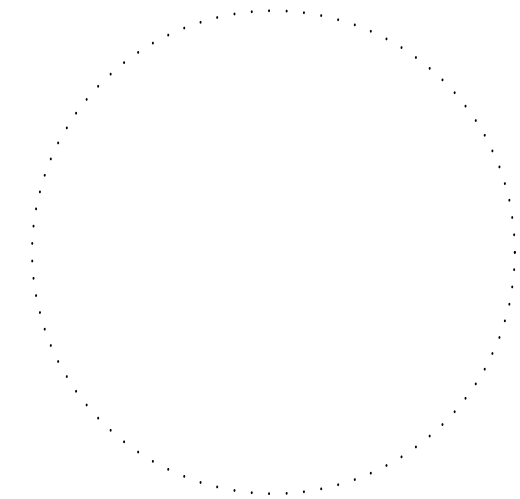
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REVISION DATE

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DATE:

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SLUM & BLIGHT INVENTORY:

EXTERIOR WALLS:	POOR
STOREFRONTS:	FAIR
ENTRYWAYS:	POOR
WINDOWS:	FAIR
FRONT FOUNDATION:	NOT VISIBLE
PORCH, STAIRS, DECK, RAMP:	NONE
AWNINGS/SIGNAGE:	FAIR
ROOF:	NOT OBSERVED

PROPOSED SCOPE OF WORK:

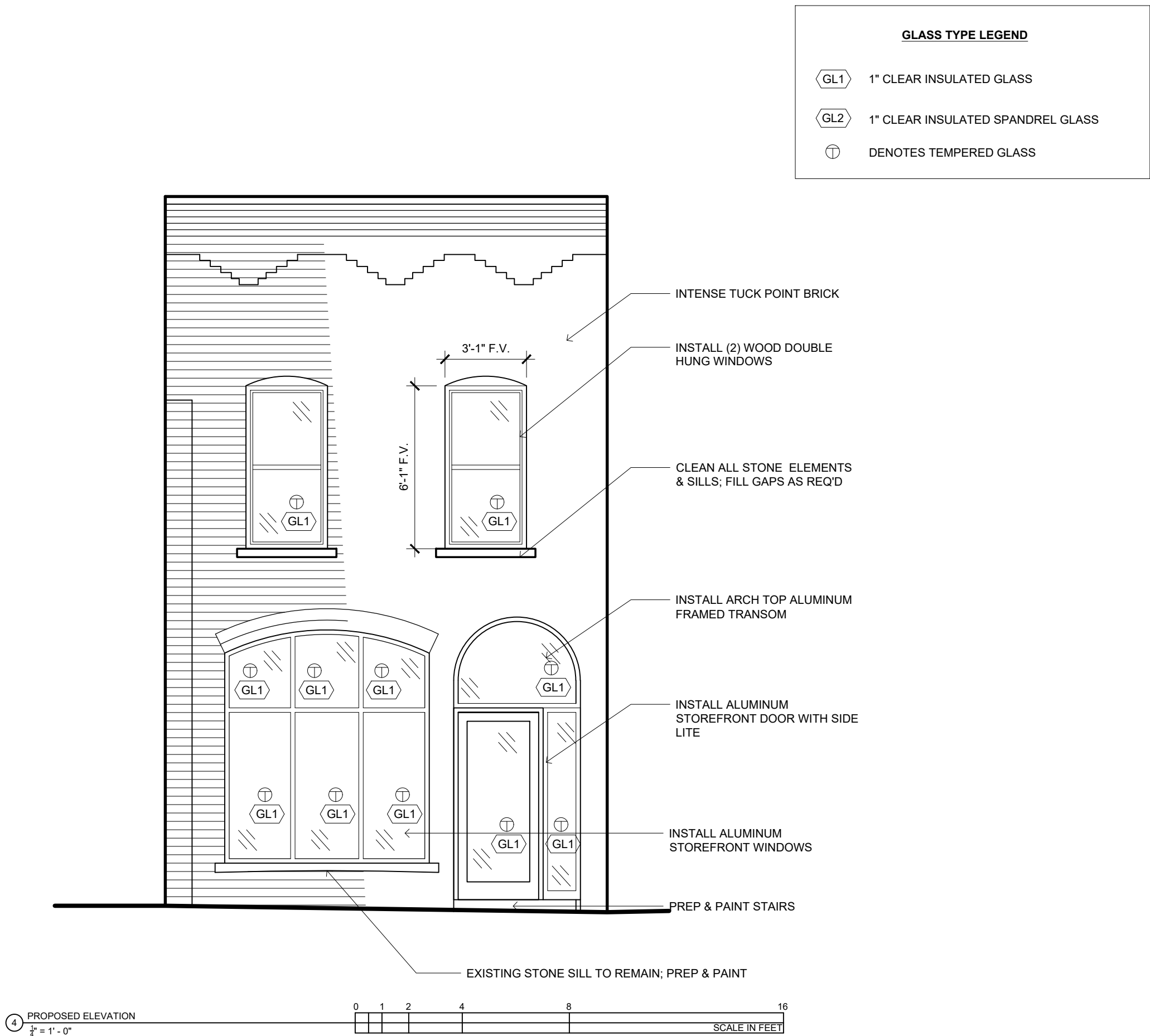
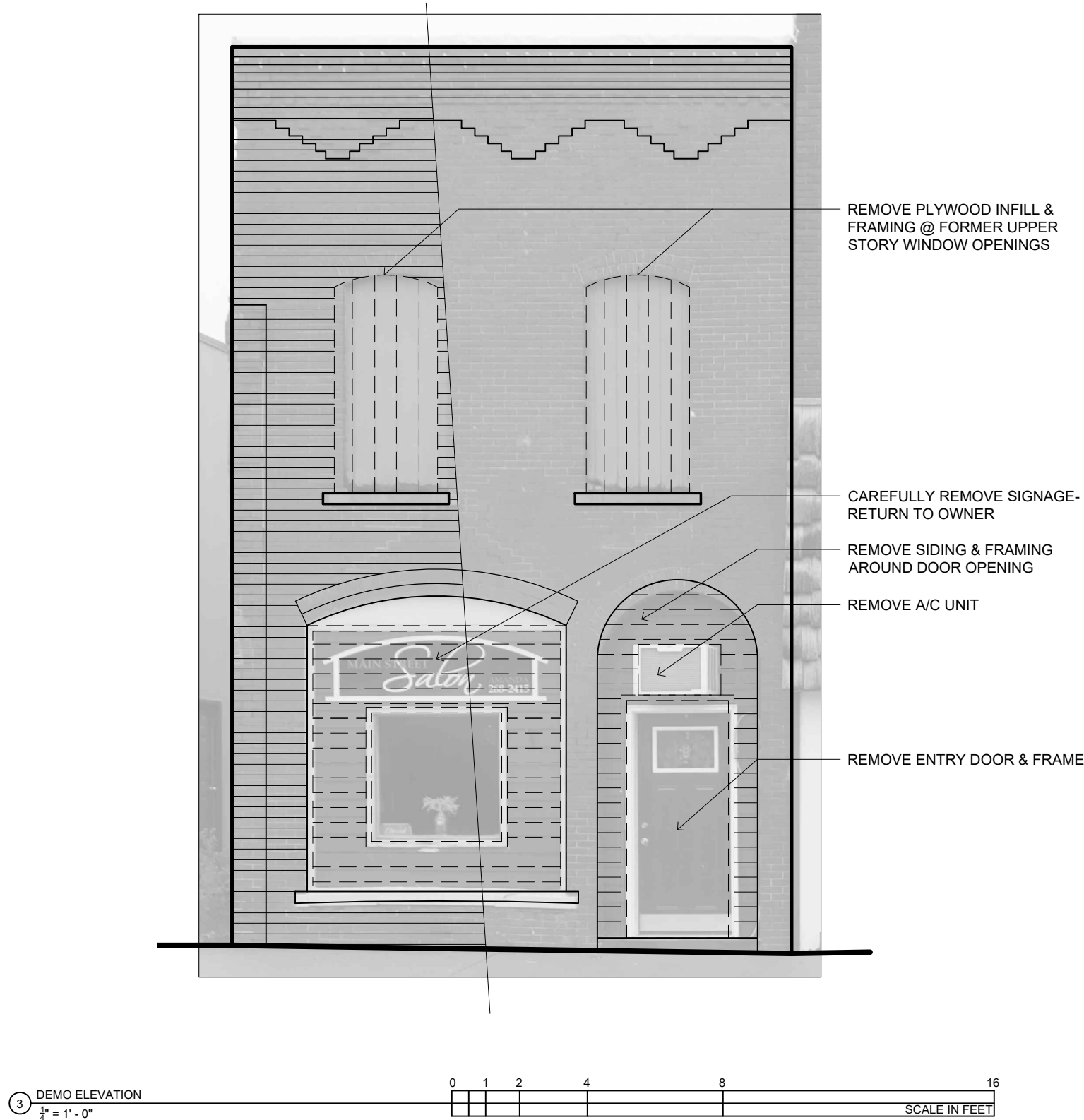
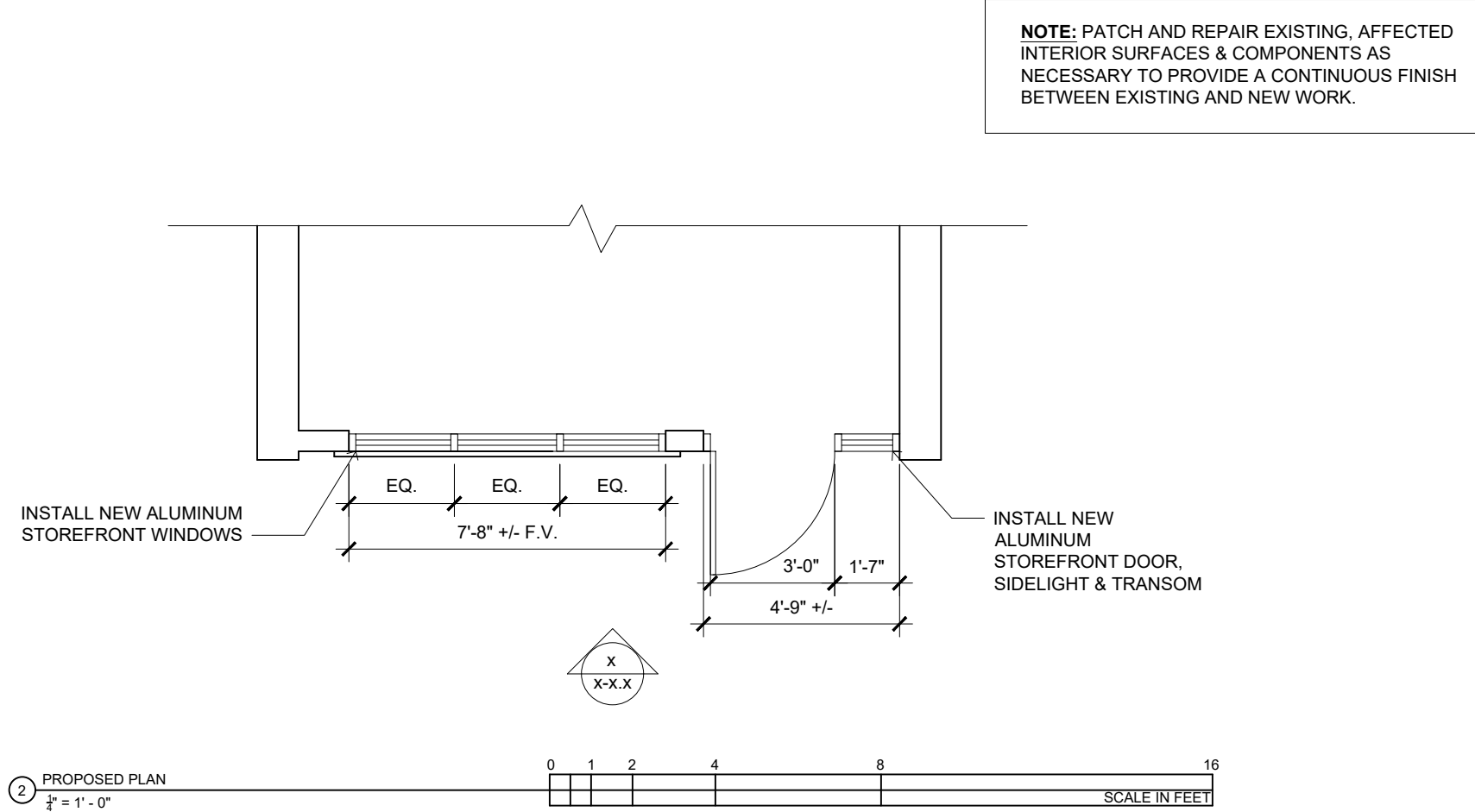
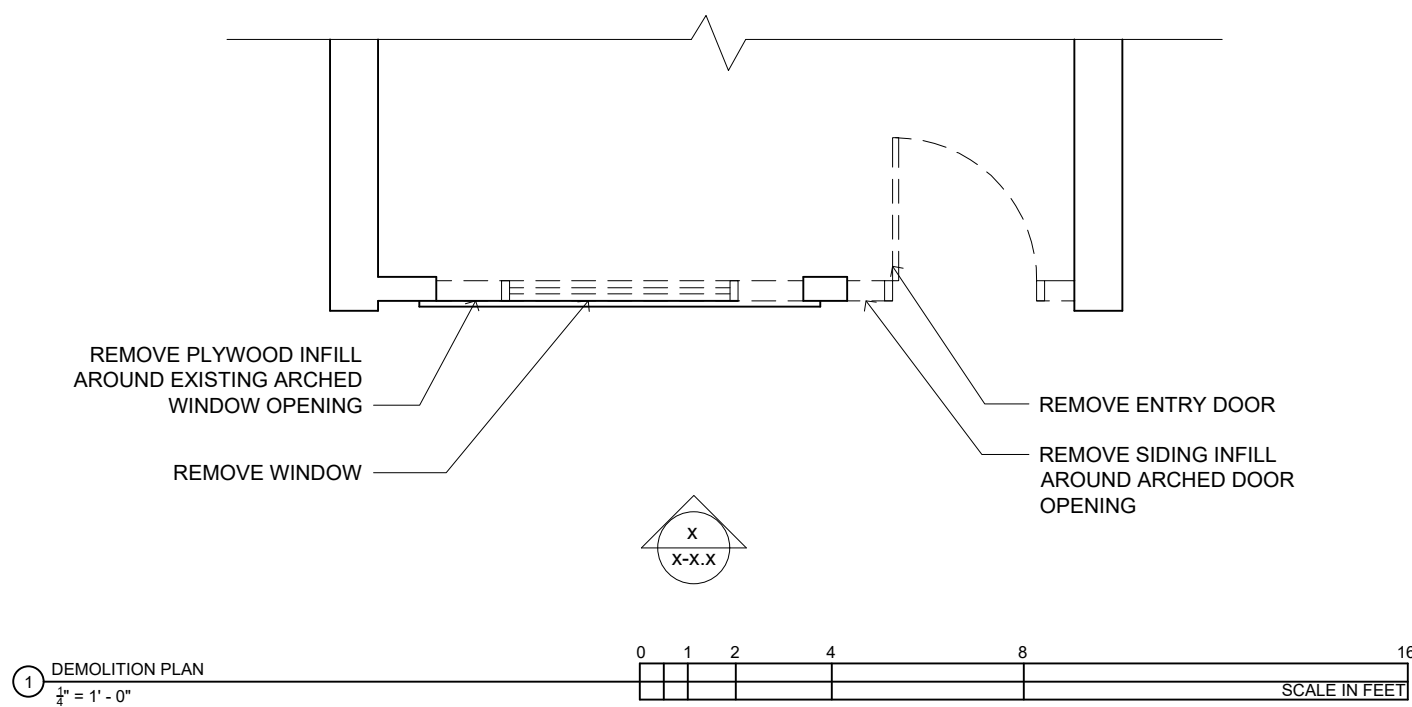
- MASONRY REPAIR/RESTORATION: TUCK POINT EXPOSED BRICK WITH APPROPRIATE RESTORATION MORTAR AS DETERMINED BY MORTAR ANALYSIS. COLOR, TEXTURE, AND CHEMICAL COMPOSITION TO BE INFORMED BY ANALYSIS AND ARCHITECT APPROVED
- STOREFRONTS: REPLACE STOREFRONT WINDOW & DOORS WITH NEW INSULATED GLASS STOREFRONT SYSTEM
- UPPER STORY WINDOWS: REPLACE UPPER-STORY WINDOWS WITH NEW WOOS DOUBLE HUNG WINDOWS
- STONE: FILL GAPS AND CLEAN STONE AS REQUIRED
- PAIN: PREP AND PAINT EXISTING CONCRETE WINDOW SILL AND/OR ANY OTHER PAINTED EXTERIOR ELEMENTS

HISTORIC DESIGNATION:

THIS PROPERTY IS PRESUMED TO BE A POTENTIALLY CONTRIBUTING RESOURCE TO A POTENTIAL HISTORIC DISTRICT.



EXISTING PHOTO



EXIRA  
FACADE  
REHABILITATION

EXIRA, IOWA

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REVISION

DATE

1

DATE: 08 OCTOBER 2025

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#1A - 105 W. WASHINGTON STREET



SLUM & BLIGHT INVENTORY:

EXTERIOR WALLS: FAIR  
STOREFRONTS: POOR  
ENTRYWAYS: POOR  
WINDOWS: POOR  
FRONT FOUNDATION: NOT VISIBLE  
PORCH, STAIRS, DECK RAMP: N/A  
AWNINGS/SIGNAGE: NONE  
ROOF: NOT OBSERVED

PROPOSED SCOPE OF WORK:

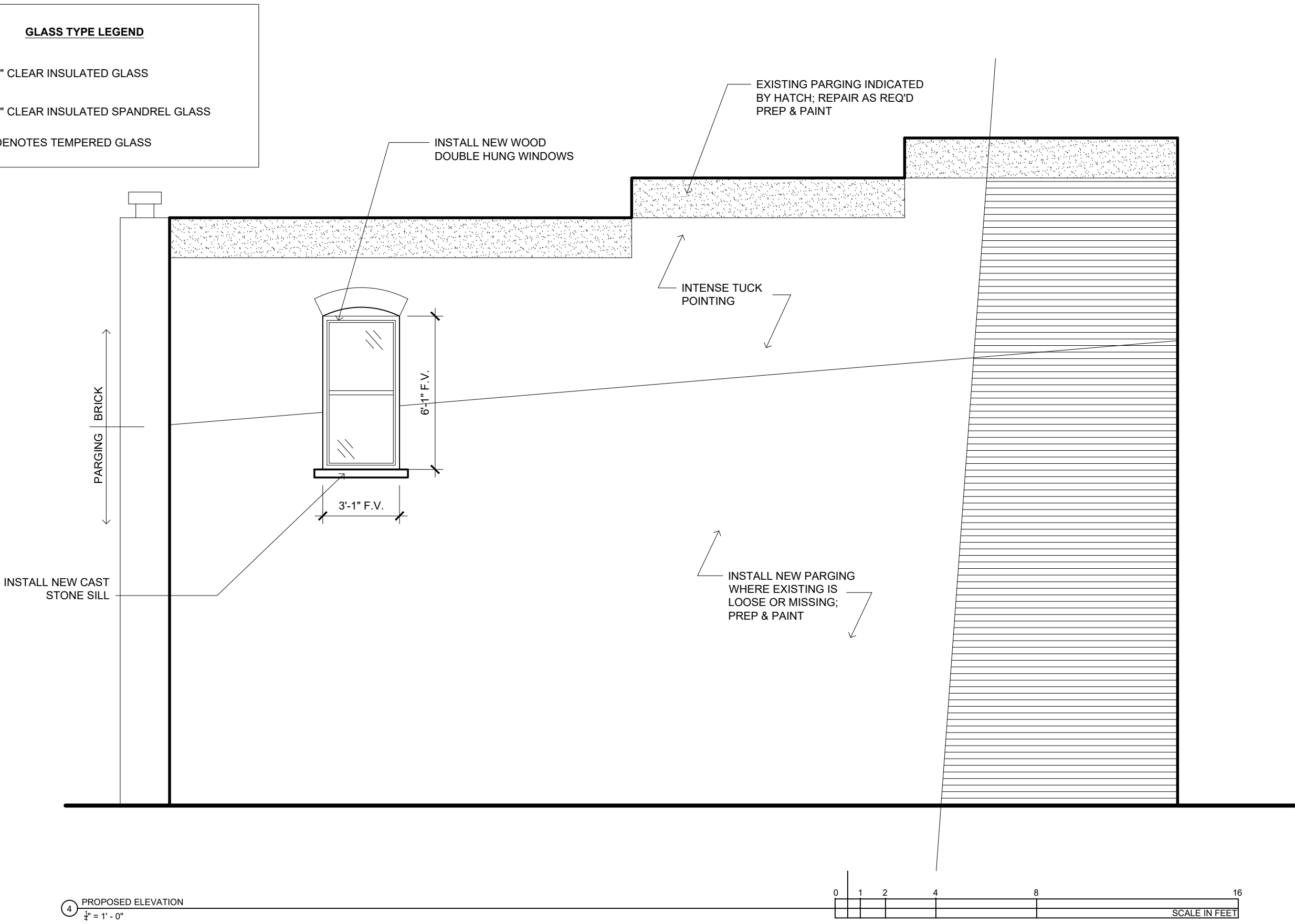
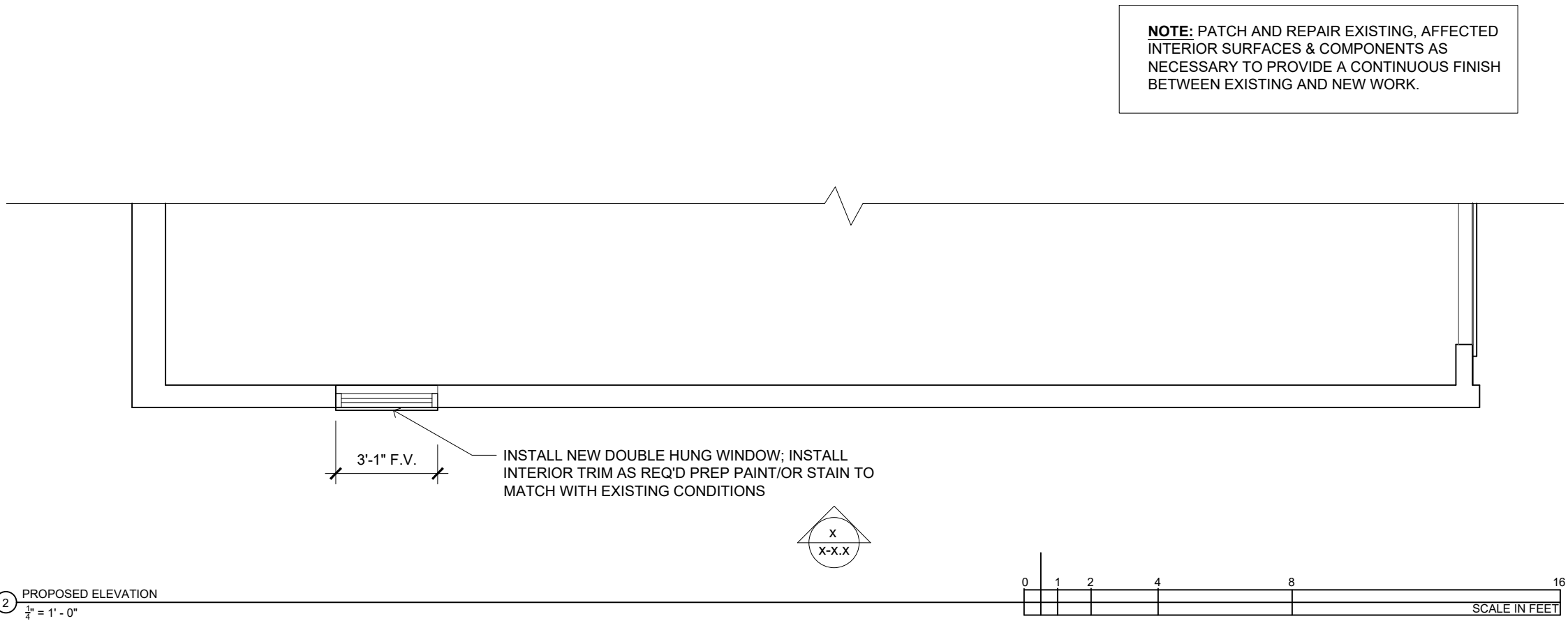
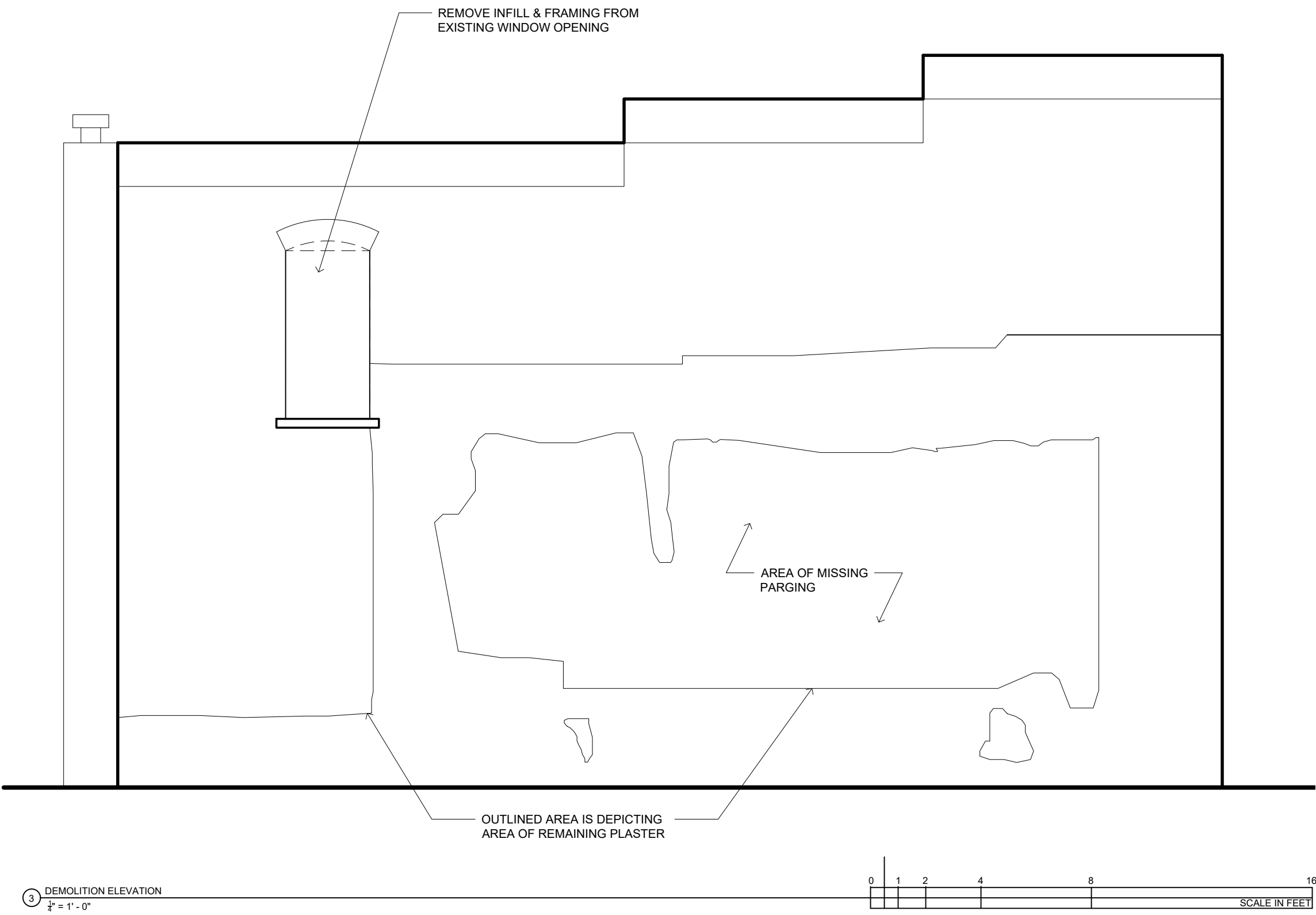
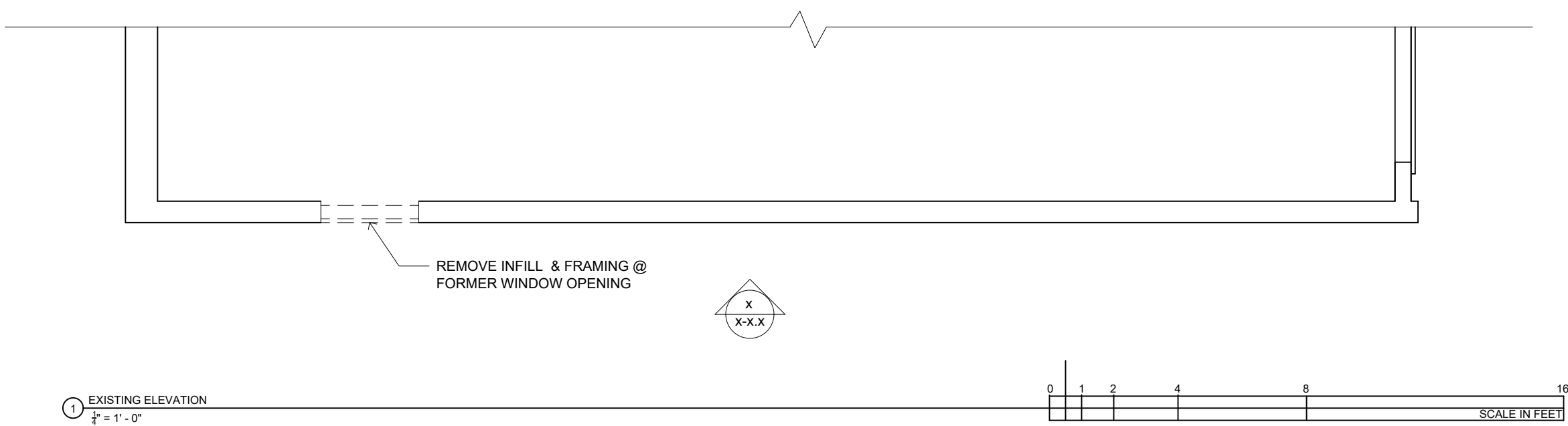
- MASONRY REPAIR/RESTORATION: TUCK POINT EXPOSED BRICK WITH APPROPRIATE RESTORATION MORTAR AS DETERMINED BY MORTAR ANALYSIS. COLOR, TEXTURE, AND CHEMICAL COMPOSITION TO BE INFORMED BY ANALYSIS AND ARCHITECT APPROVED
- UPPER STORY WINDOWS: REPLACE UPPER-STORY WINDOWS WITH NEW WOOD DOUBLE HUNG WINDOWS; INSTALL NEW CAST STONE SILL UNDER UPPER STORY WINDOW
- EFIS: INSTALL NEW EFIS WHERE EXISTING EFIS WAS PREVIOUSLY INSTALLED
- PAINT: PREP AND PAINT EXISTING NEW/EXISTING EFIS OR EXTERIOR MATERIAL WITH PANELIZED MULTI-COLOR SCHEME INCLUDING UPPERSTORY WINDOWS .

HISTORIC DESIGNATION:

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EXISTING PHOTO



EXIRA  
FACADE  
REHABILITATION

EXIRA, IOWA

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410 First Street  
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ARCHITECT

THE FRANKS DESIGN GROUP, P.C.  
410 FIRST STREET,  
GLENWOOD, IOWA 51534  
TEL: 712-527-3996

REVISION

DATE

1

DATE: 08 OCTOBER 2025

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#1B - 105 W. WASHINGTON STREET

**SLUM & BLIGHT INVENTORY:**

EXTERIOR WALLS: FAIR  
STOREFRONTS: POOR  
ENTRYWAYS: POOR  
WINDOWS: POOR  
FRONT FOUNDATION: FAIR  
PORCH, STAIRS, DECK, RAMP: FAIR  
AWNINGS/SIGNAGE: NONE  
ROOF: POOR

**PROPOSED SCOPE OF WORK:**

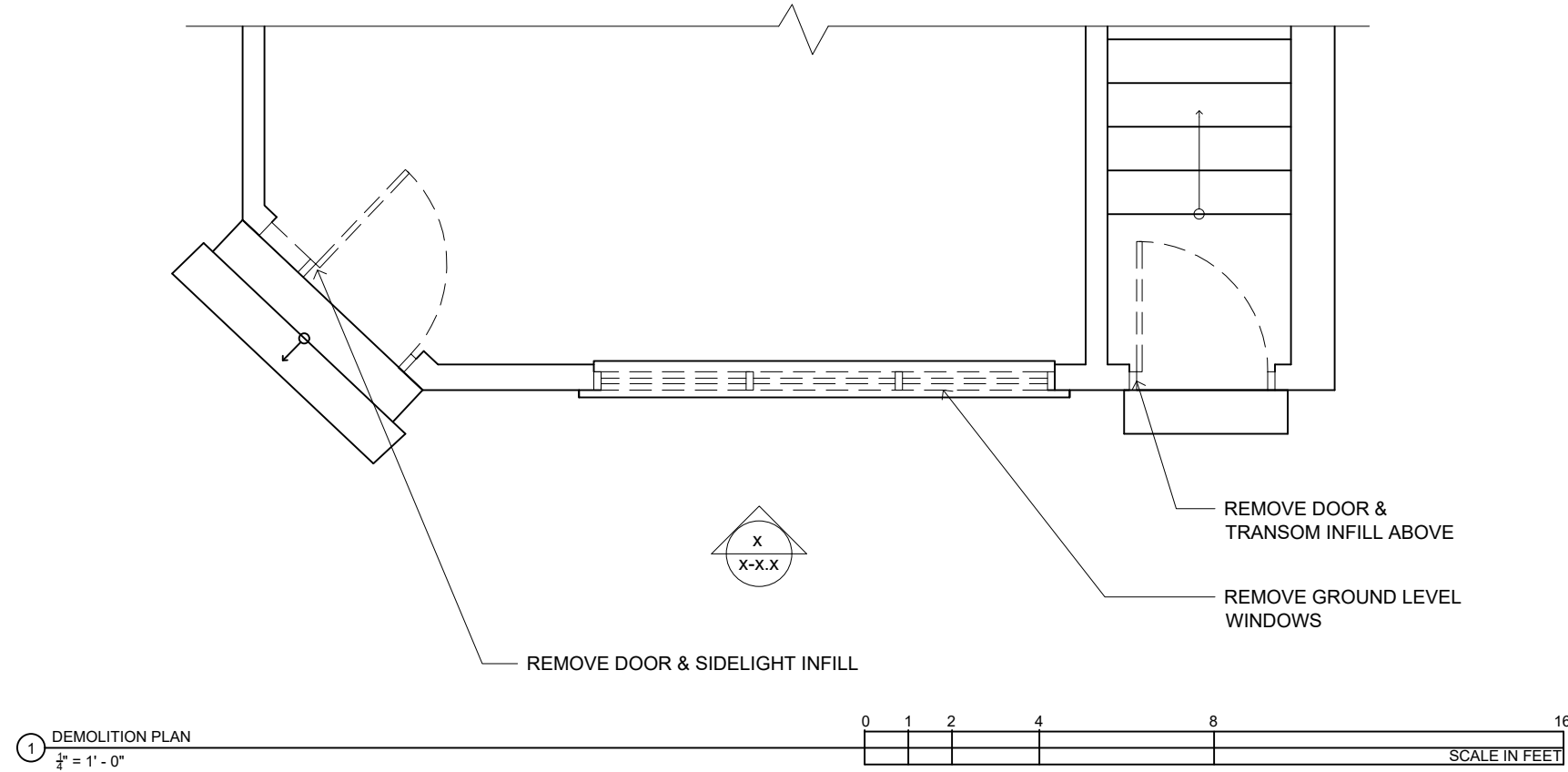
- MASONRY REPAIR/RESTORATION: TUCK POINT EXPOSED BRICK WITH APPROPRIATE RESTORATION MORTAR AS DETERMINED BY MORTAR ANALYSIS. COLOR, TEXTURE, AND CHEMICAL COMPOSITION TO BE INFORMED BY ANALYSIS AND ARCHITECT APPROVED
- STOREFRONTS: REPLACE STOREFRONT WINDOW & DOORS WITH NEW INSULATED GLASS STOREFRONT SYSTEM
- UPPER STORY WINDOWS: REPLACE UPPER-STORY WINDOWS WITH NEW WOOD DOUBLE HUNG.
- FRONT FOUNDATION: CAULK AT FOUNDATION AS REQUIRED.
- PAINT: PREP AND PAINT EXISTING CORNICE OR EXTERIOR MATERIAL WITH PANELIZED MULTI-COLOR SCHEME INCLUDING UPPERSTORY WINDOWS .

**HISTORIC DESIGNATION:**

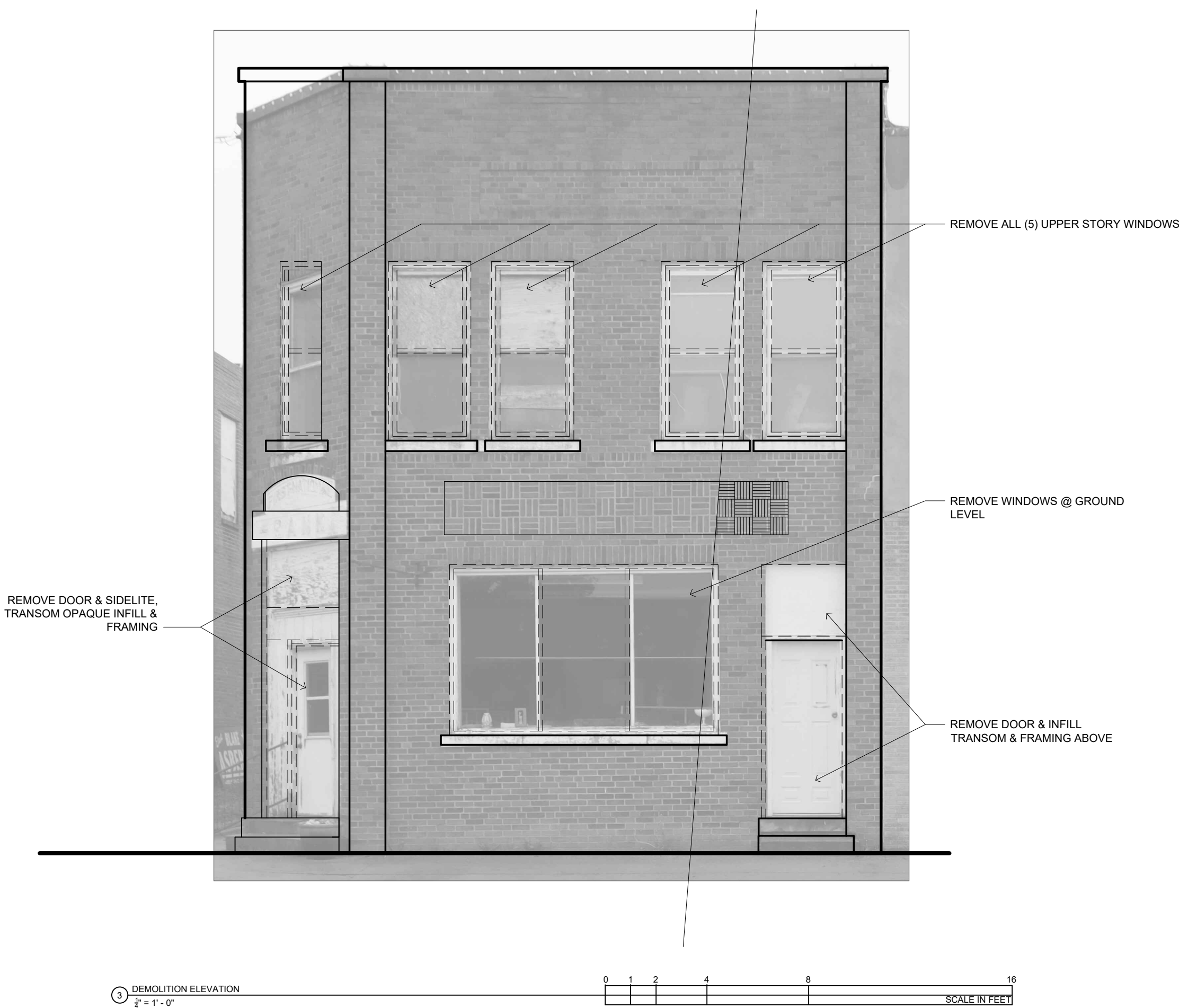
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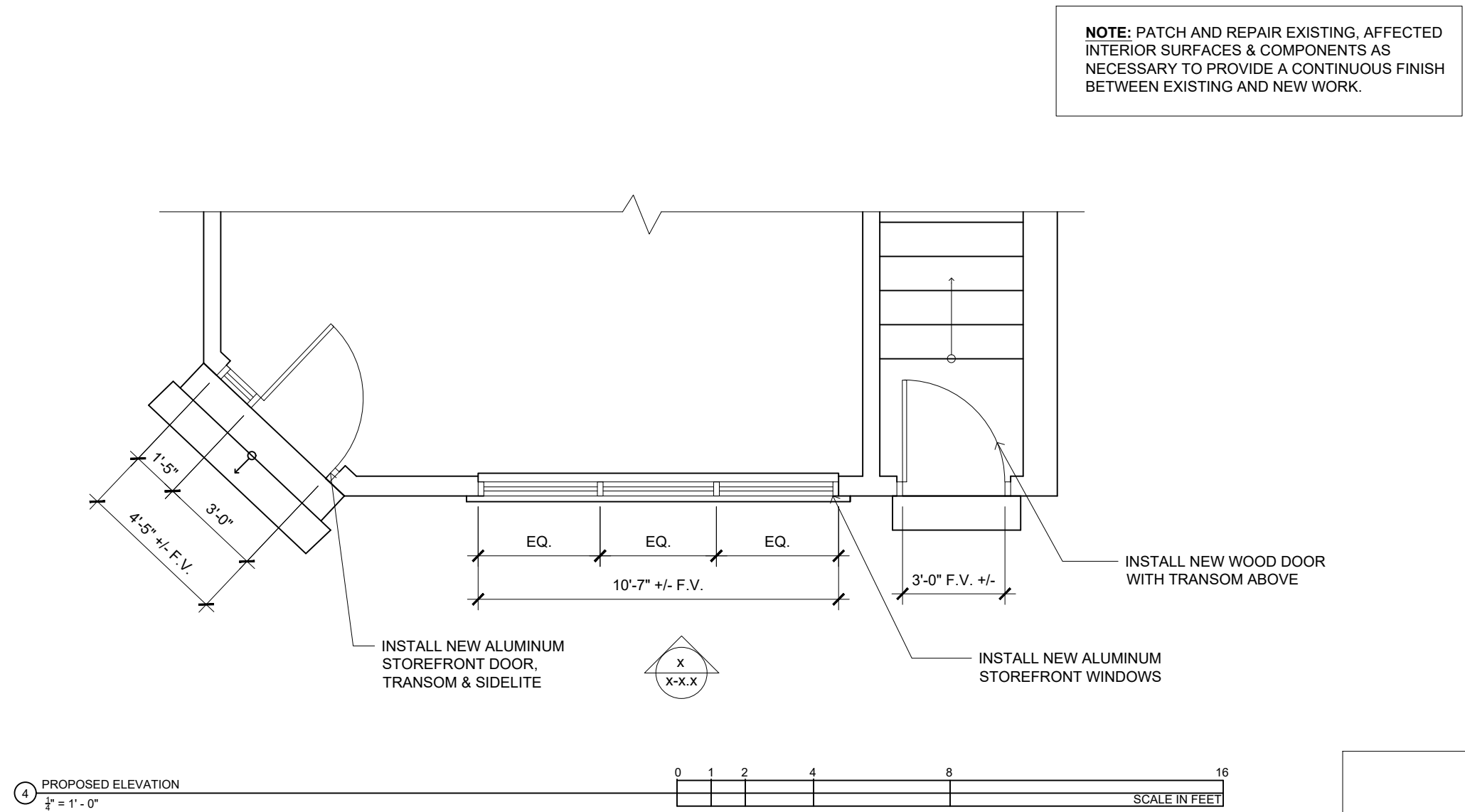
EXISTING PHOTO



1 DEMOLITION PLAN  
1" = 1'-0"



3 DEMOLITION ELEVATION  
1" = 1'-0"



2 PROPOSED ELEVATION  
1" = 1'-0"



4 PROPOSED ELEVATION  
1" = 1'-0"

NOTE: PATCH AND REPAIR EXISTING, AFFECTED INTERIOR SURFACES & COMPONENTS AS NECESSARY TO PROVIDE A CONTINUOUS FINISH BETWEEN EXISTING AND NEW WORK.

GLASS TYPE LEGEND	
GL1	1" CLEAR INSULATED GLASS
GL2	1" CLEAR INSULATED SPANDREL GLASS
T	DENOTES TEMPERED GLASS

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FACADE  
REHABILITATION**

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**ARCHITECT**

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#2A - 109 W. WASHINGTON STREET

SLUM & BLIGHT INVENTORY:

EXTERIOR WALLS: POOR  
STOREFRONTS: POOR  
ENTRYWAYS: POOR  
WINDOWS: POOR  
FRONT FOUNDATION: FAIR  
PORCH, STAIRS, DECK, RAMP: NONE  
AWNINGS/SIGNAGE: NONE  
ROOF: POOR

PROPOSED SCOPE OF WORK:

ROOF: REMOVE WOOD DECKING AT PRIMARY SURFACE & TO MASONRY PARAPETS & OTHER VERTICAL SURFACES- NEW ROOF TO BE FULLY ADHERED TPO MEMBRANE SYSTEM OVER POLY ISO INSULATION.

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REHABILITATION

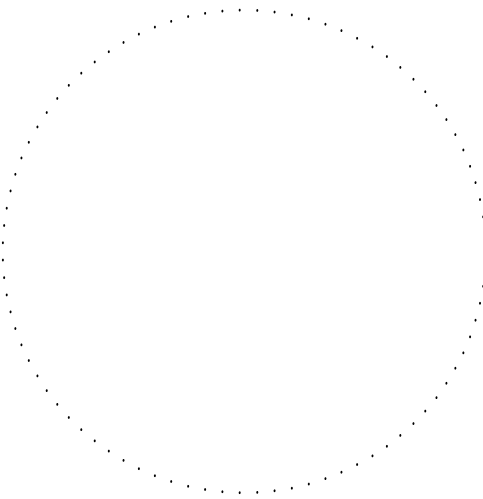
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TEL: 712-527-3996

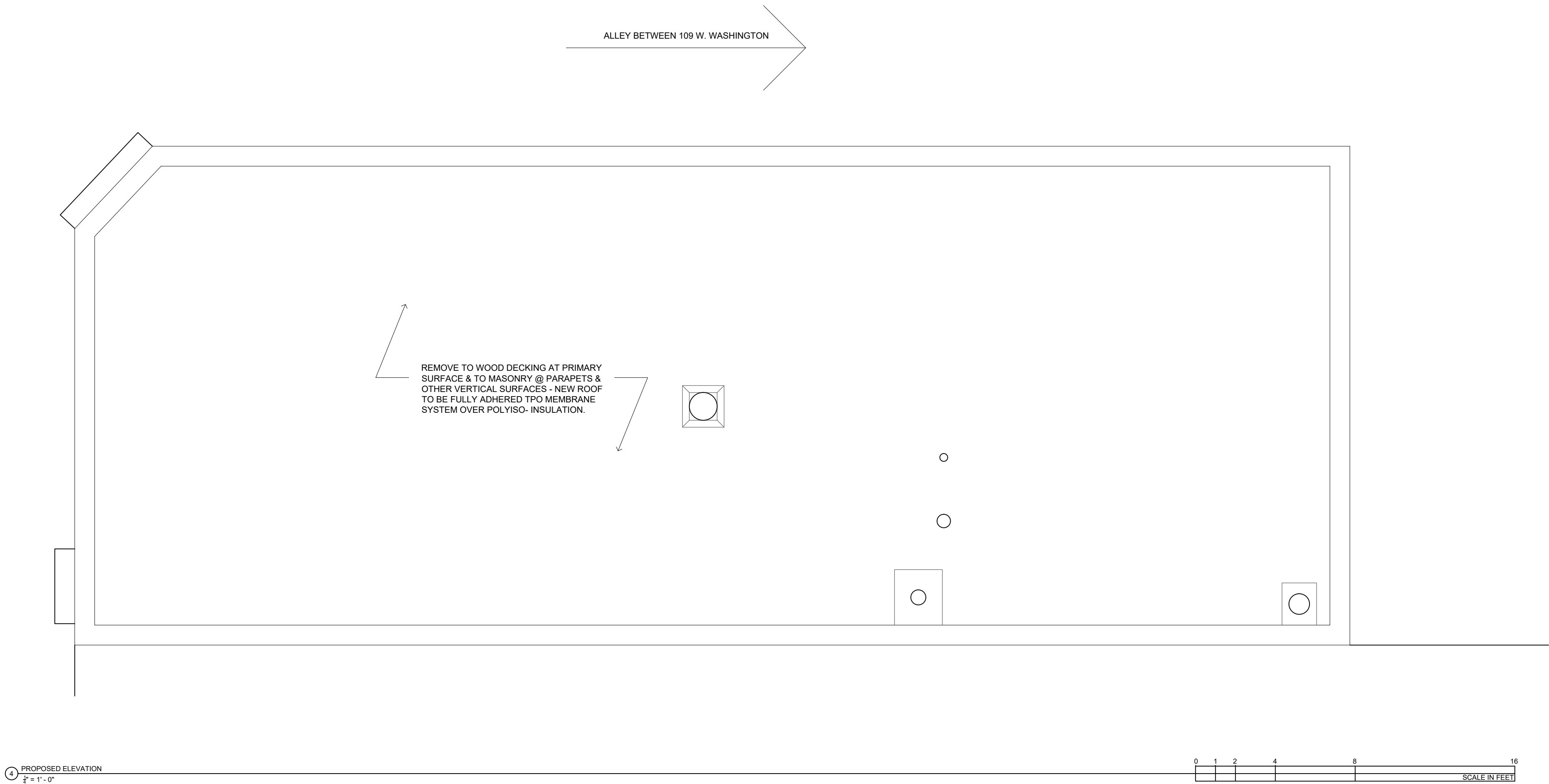


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PROPOSED ELEVATION  
1/8" = 1'-0"

0 1 2 4 8 16  
SCALE IN FEET



SLUM & BLIGHT INVENTORY:

EXTERIOR WALLS: POOR  
STOREFRONTS: POOR  
ENTRYWAYS: POOR  
WINDOWS: POOR  
FRONT FOUNDATION: FAIR  
PORCH, STAIRS, DECK, RAMP: NONE  
AWNINGS/SIGNAGE: NONE  
ROOF: POOR

PROPOSED SCOPE OF WORK:

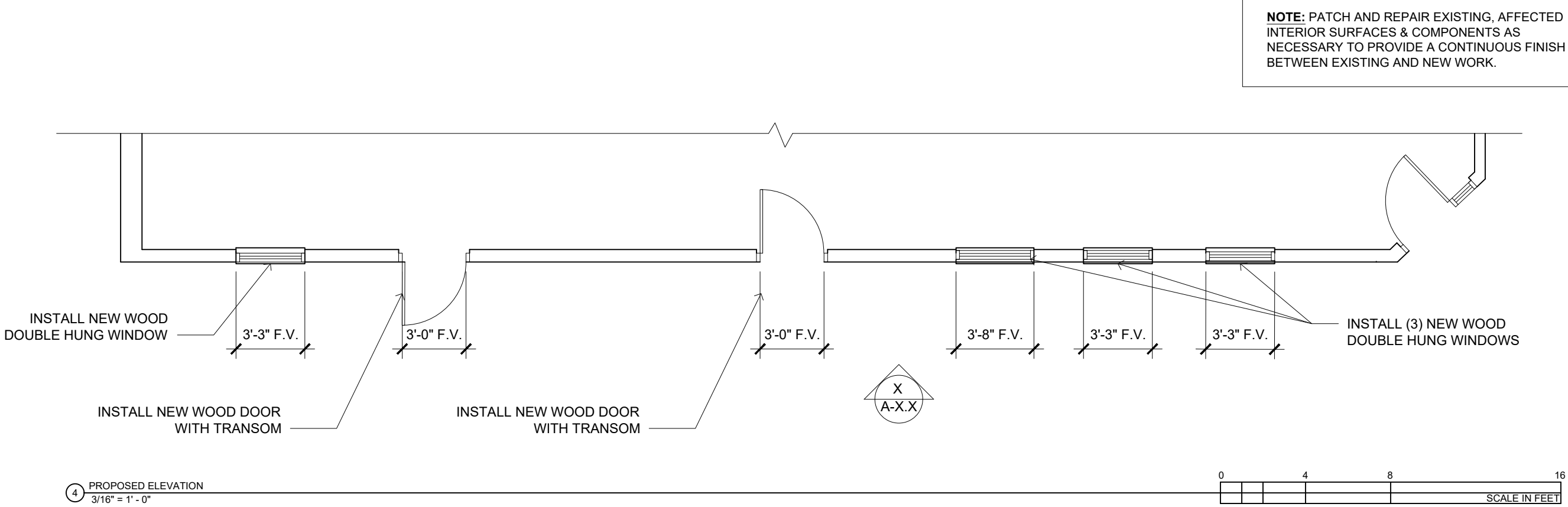
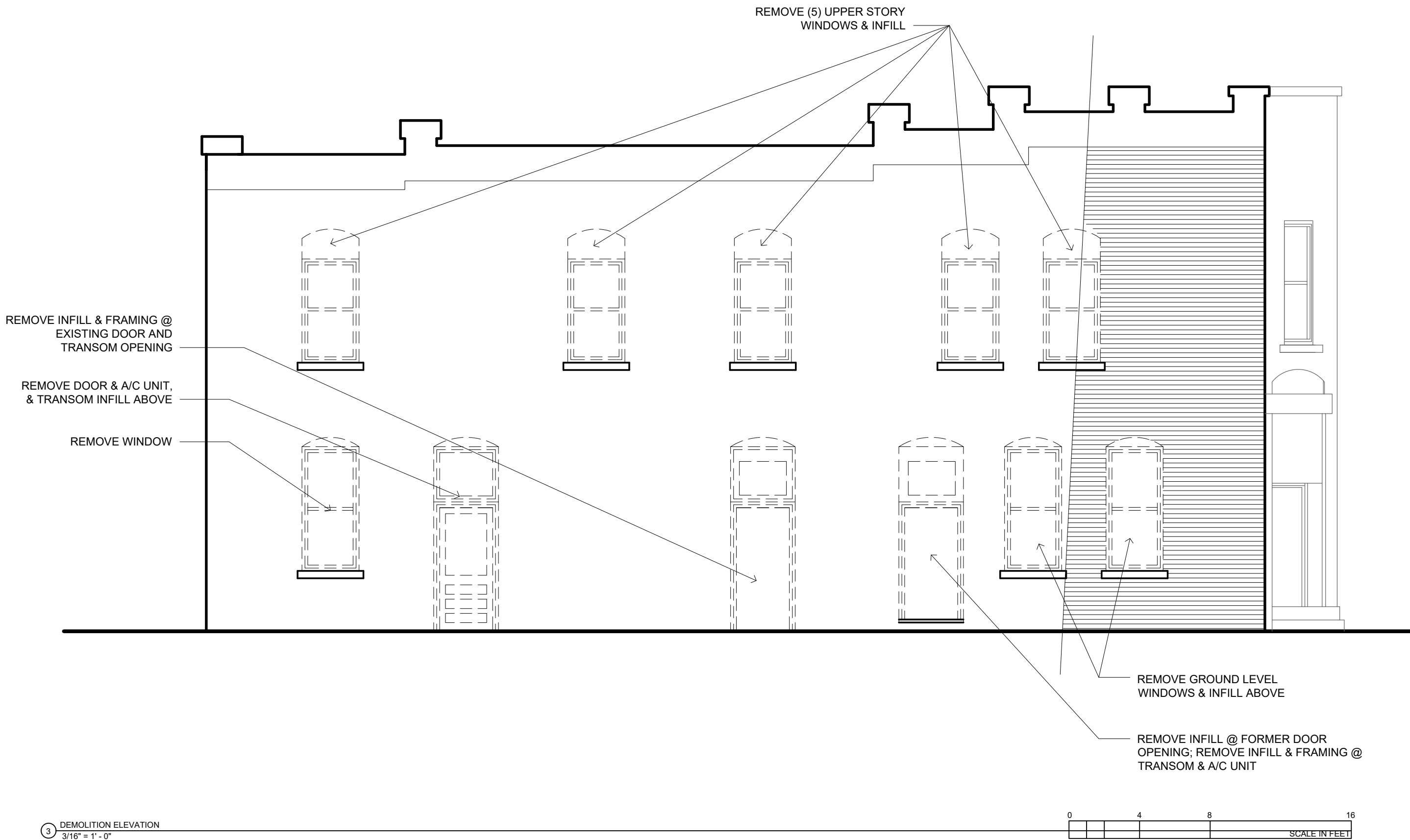
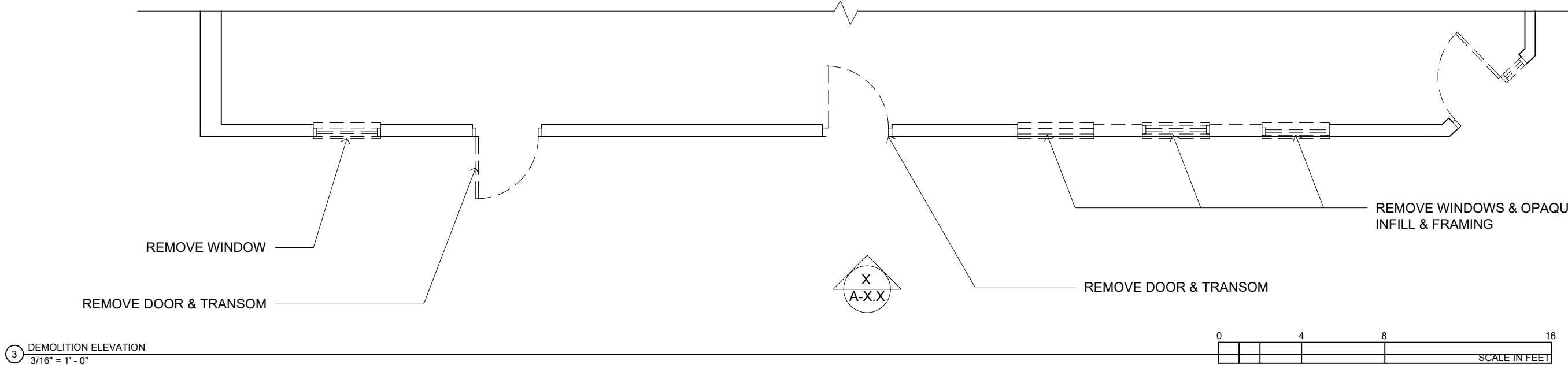
- MASONRY REPAIR/RESTORATION: TUCK POINT EXPOSED BRICK WITH APPROPRIATE RESTORATION MORTAR AS DETERMINED BY MORTAR ANALYSIS. COLOR, TEXTURE, AND CHEMICAL COMPOSITION TO BE INFORMED BY ANALYSIS AND ARCHITECT APPROVED
- STOREFRONTS: REPLACE STOREFRONT DOORS WITH NEW INSULATED GLASS STOREFRONT SYSTEM
- UPPER STORY WINDOWS: REPLACE UPPER-STORY WINDOWS WITH NEW
- STRUCTURAL REPAIRS: STRUCTURALLY STABILIZE THE BUILDING AS REQUIRED.
- PAINT: PREP AND PAINT EXISTING CORNICE OR EXTERIOR MATERIAL WITH PANELIZED MULTI-COLOR SCHEME INCLUDING UPPERSTORY WINDOWS .

HISTORIC DESIGNATION:

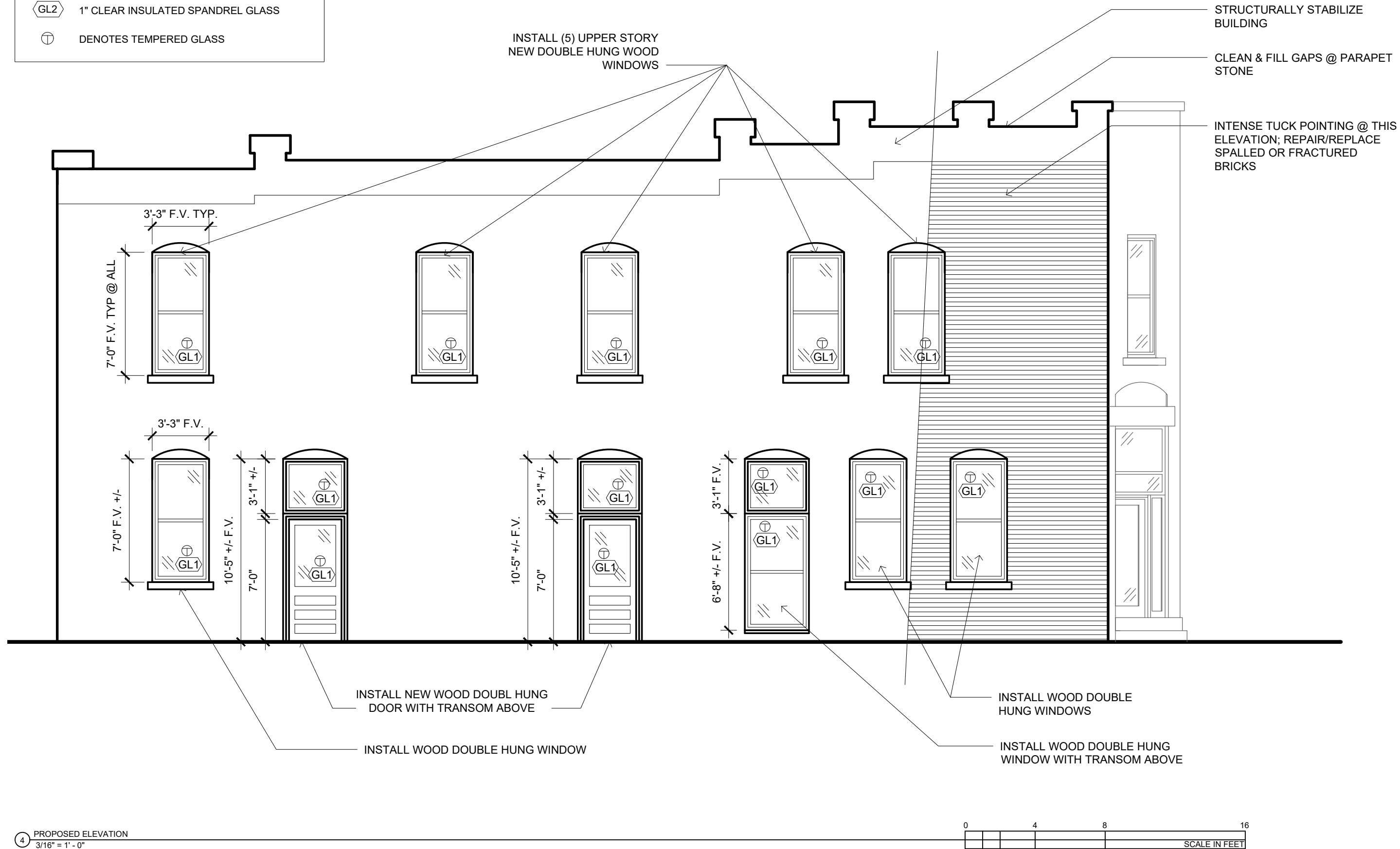
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EXISTING PHOTO



GLASS TYPE LEGEND	
GL1	1" CLEAR INSULATED GLASS
GL2	1" CLEAR INSULATED SPANDREL GLASS
Ⓢ	DENOTES TEMPERED GLASS



EXIRA  
FACADE  
REHABILITATION

EXIRA, IOWA

The Franks Design Group, PC

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TEL: 712-527-3996

REVISION DATE

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DATE:

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SLUM & BLIGHT INVENTORY:

EXTERIOR WALLS: NOT EVALUATED YET  
STOREFRONTS: NOT EVALUATED YET  
ENTRYWAYS: NOT EVALUATED YET  
WINDOWS: NOT EVALUATED YET  
FRONT FOUNDATION: NOT EVALUATED YET  
PORCH, STAIRS, DECK, RAMP: NOT EVALUATED YET  
AWNINGS/SIGNAGE: NOT EVALUATED YET  
ROOF: NOT EVALUATED YET

PROPOSED SCOPE OF WORK:

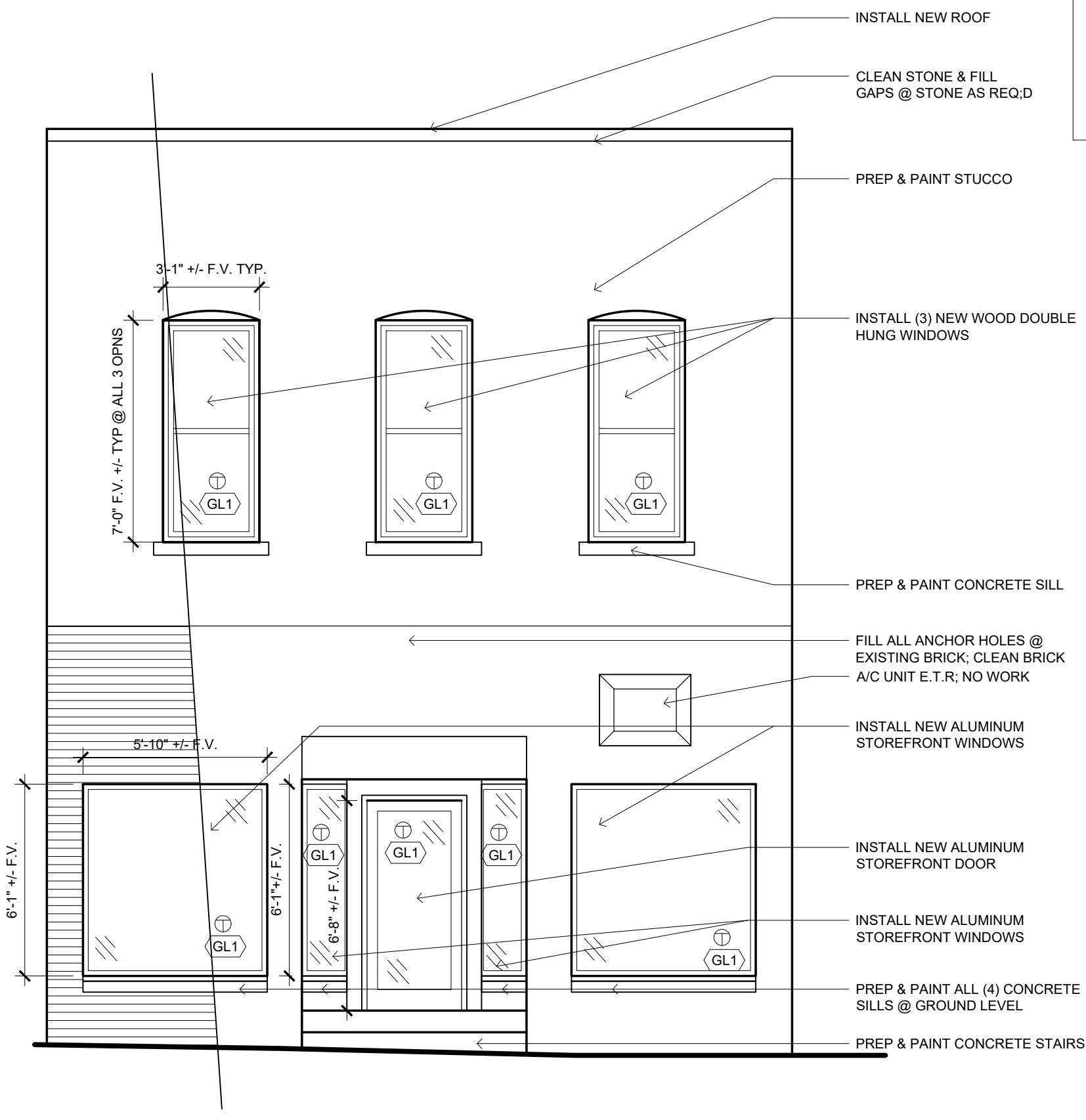
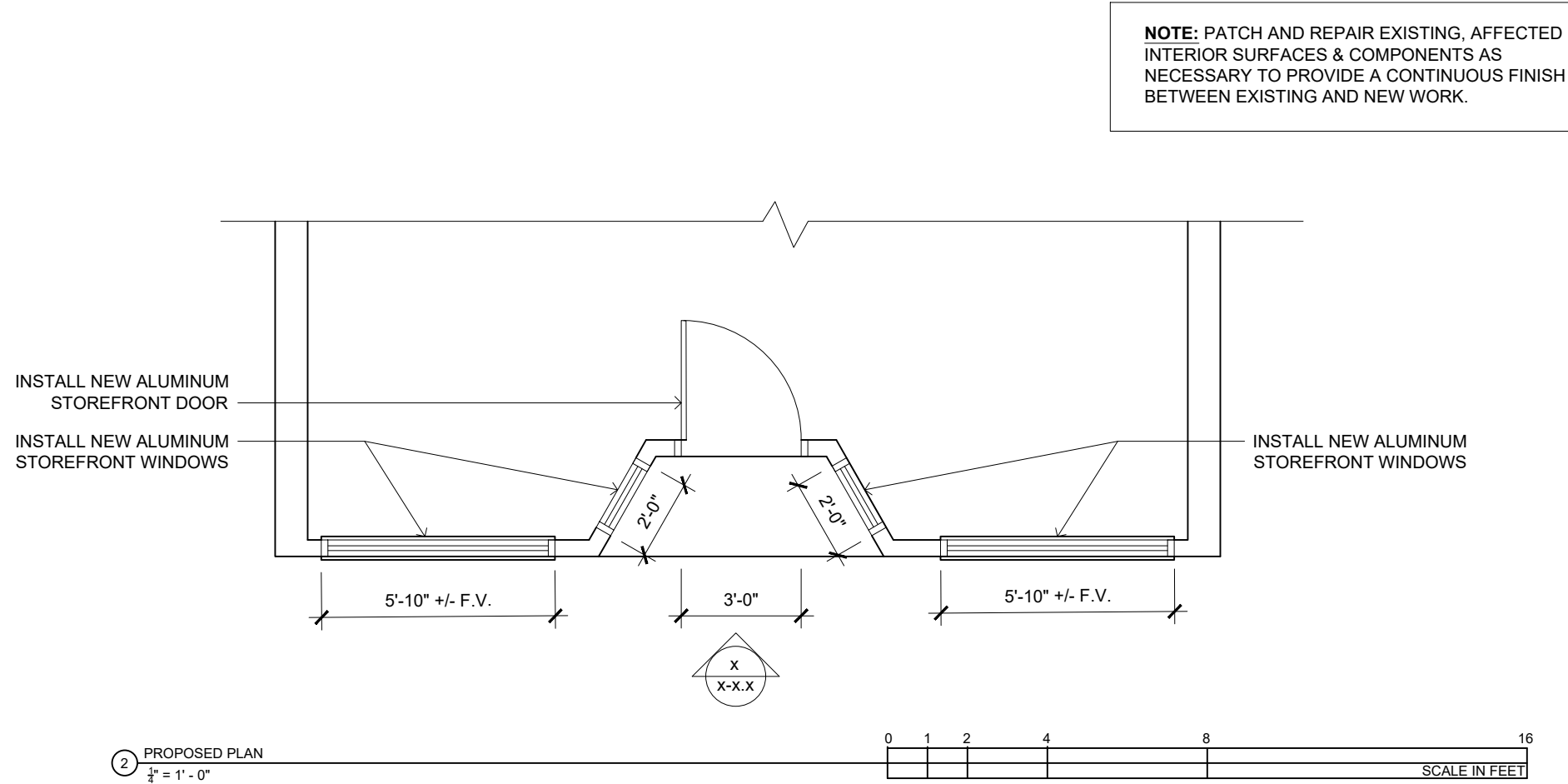
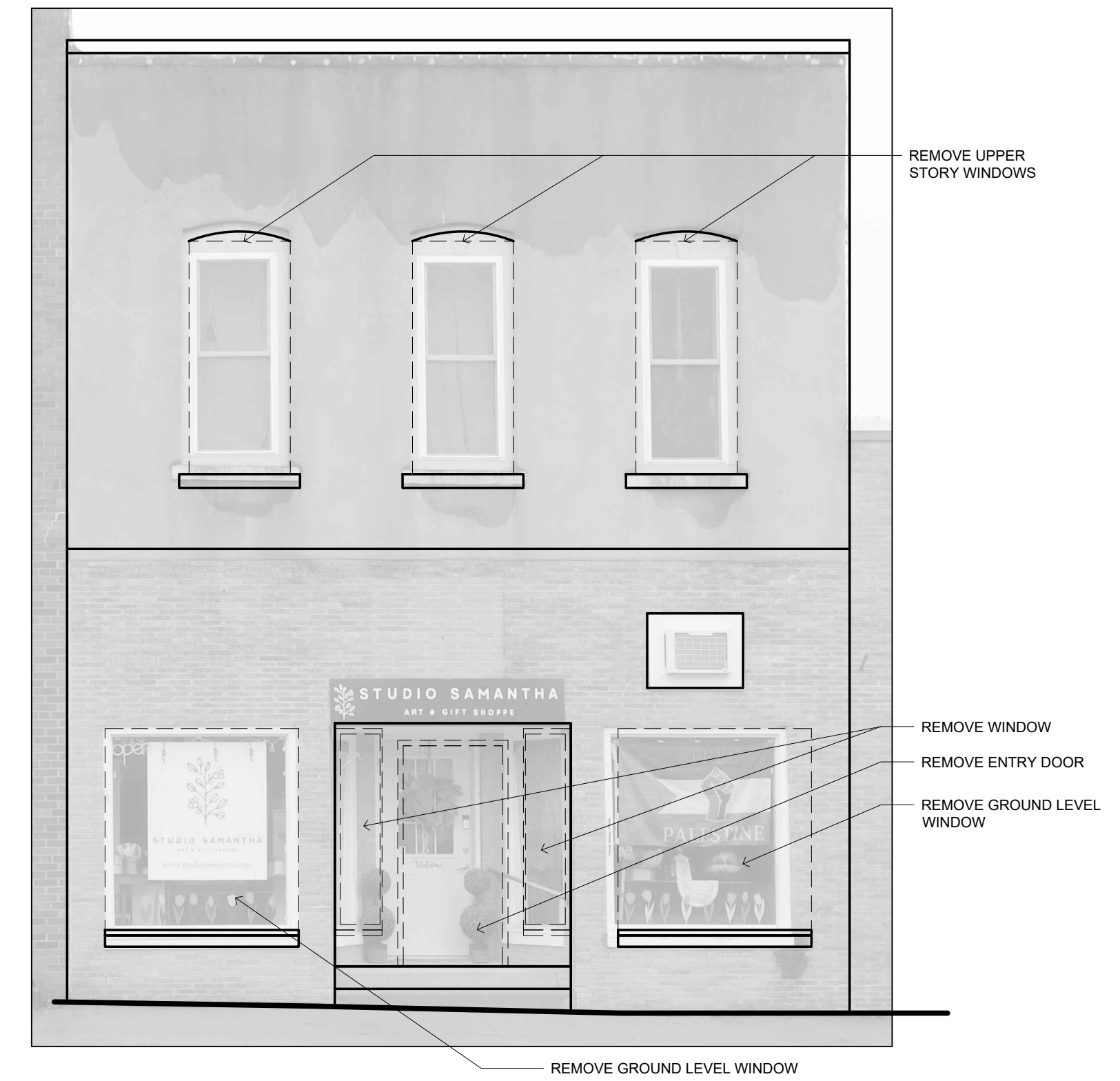
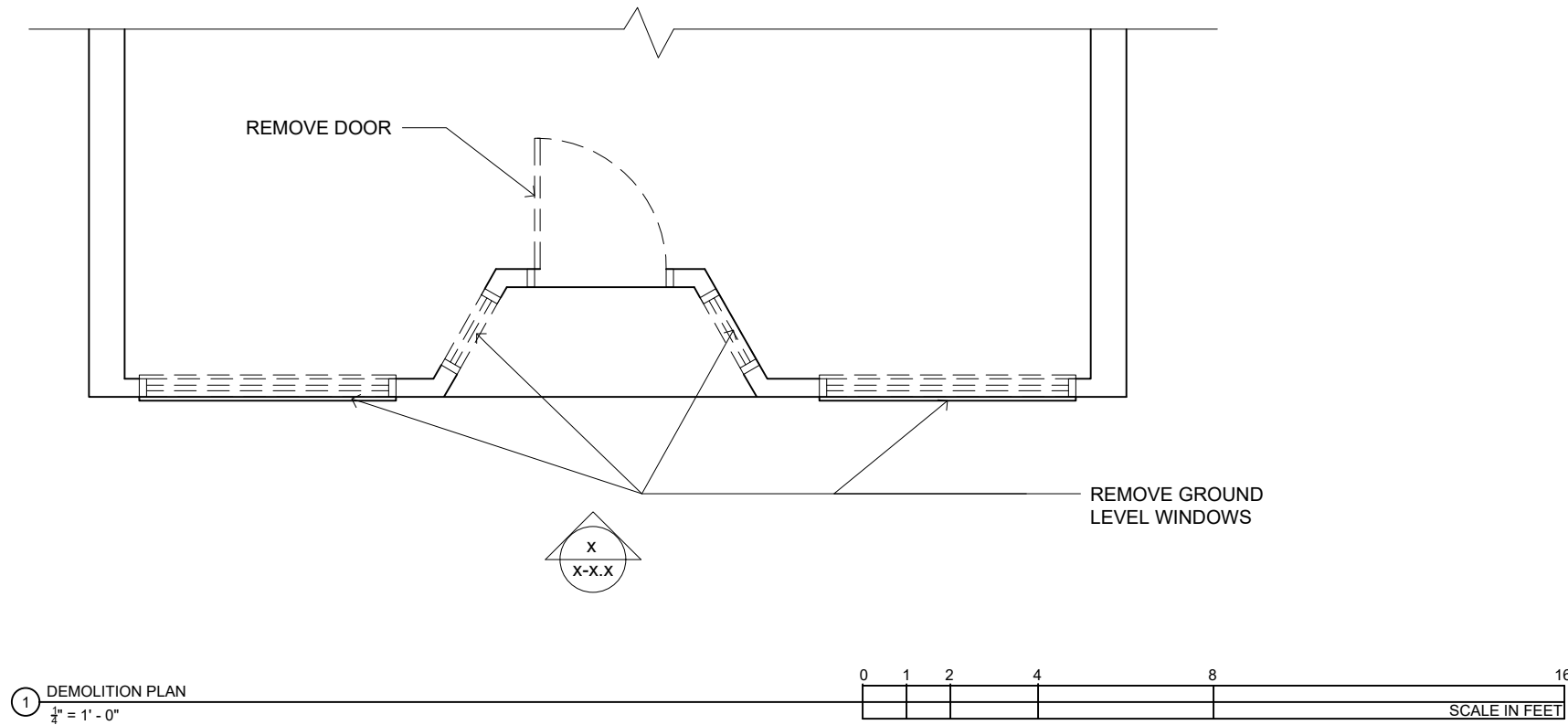
- MASONRY REPAIR/RESTORATION: LIGHT TUCK POINT EXPOSED BRICK WITH APPROPRIATE RESTORATION MORTAR AS DETERMINED BY MORTAR ANALYSIS. COLOR, TEXTURE, AND CHEMICAL COMPOSITION TO BE INFORMED BY ANALYSIS AND ARCHITECT APPROVED CLEAN BRICK
- STOREFRONTS: REPLACE STOREFRONT WINDOW & DOORS WITH NEW INSULATED GLASS STOREFRONT SYSTEM
- UPPER STORY WINDOWS: REPLACE UPPER-STORY WINDOWS WITH NEW
- FRONT FOUNDATION: CAULK AT FOUNDATION AS REQUIRED.
- ROOF: INSTALL NEW ROOFING
- PAINT: PREP AND PAINT EXISTING CORNICE OR EXTERIOR MATERIAL WITH PANELIZED MULTI-COLOR SCHEME INCLUDING UPPERSTORY WINDOWS .

HISTORIC DESIGNATION:

THIS PROPERTY IS PRESUMED TO BE A POTENTIALLY CONTRIBUTING RESOURCE TO A POTENTIAL HISTORIC DISTRICT.



EXISTING PHOTO



NOTE: PATCH AND REPAIR EXISTING, AFFECTED INTERIOR SURFACES & COMPONENTS AS NECESSARY TO PROVIDE A CONTINUOUS FINISH BETWEEN EXISTING AND NEW WORK.

GLASS TYPE LEGEND

- GL1 1" CLEAR INSULATED GLASS
- GL2 1" CLEAR INSULATED SPANDREL GLASS
- Ⓢ DENOTES TEMPERED GLASS



EXIRA  
FACADE  
REHABILITATION

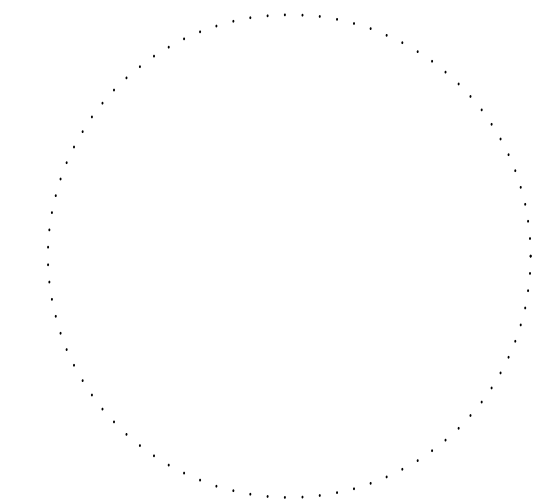
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SLUM & BLIGHT INVENTORY:

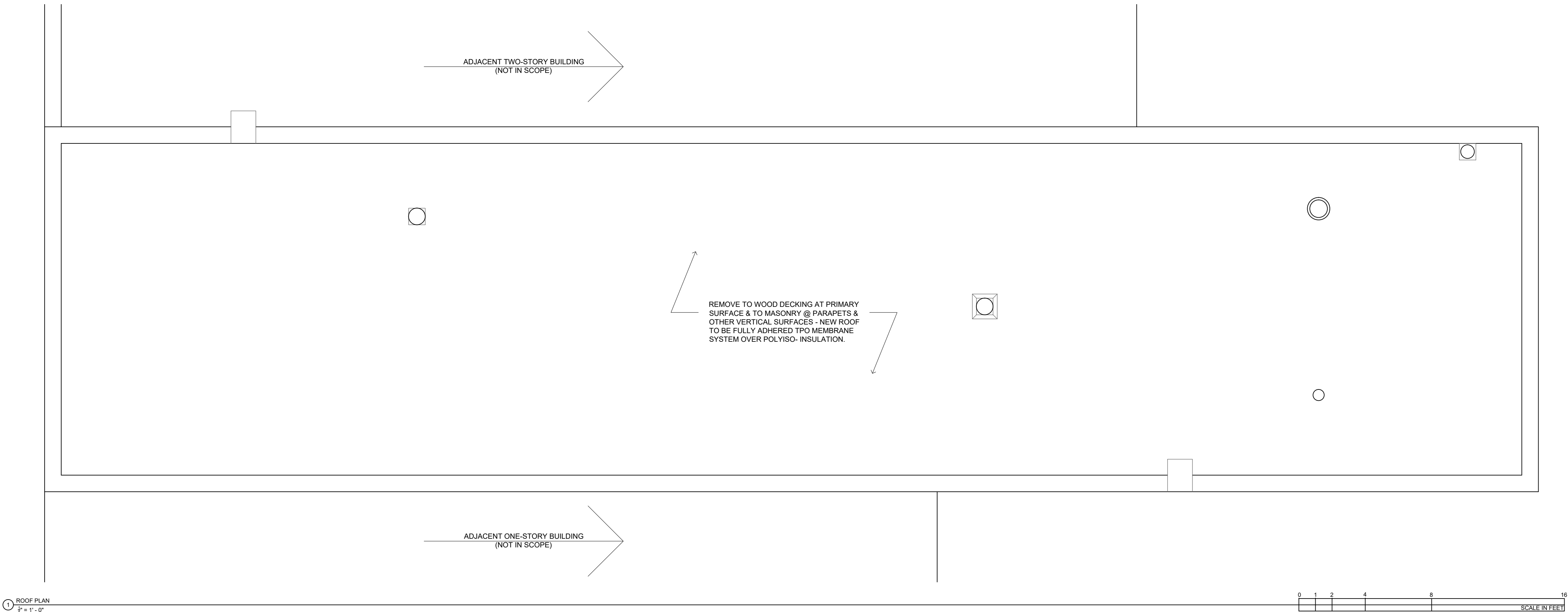
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STOREFRONTS: NOT EVALUATED YET  
ENTRYWAYS: NOT EVALUATED YET  
WINDOWS: NOT EVALUATED YET  
FRONT FOUNDATION: NOT EVALUATED YET  
PORCH, STAIRS, DECK, RAMP: NOT EVALUATED YET  
AWNINGS/SIGNAGE: NOT EVALUATED YET  
ROOF: NOT EVALUATED YET

PROPOSED SCOPE OF WORK:

- ROOF: REMOVE WOOD DECKING AT PRIMARY SURFACE & TO MASONRY PARAPETS & OTHER VERTICAL SURFACES- NEW ROOF TO BE FULLY ADHERED TPO MEMBRANE SYSTEM OVER POLY ISO INSULATION.

HISTORIC DESIGNATION:

THIS PROPERTY IS PRESUMED TO BE A POTENTIALLY CONTRIBUTING RESOURCE TO A POTENTIAL HISTORIC DISTRICT.



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FACADE  
REHABILITATION

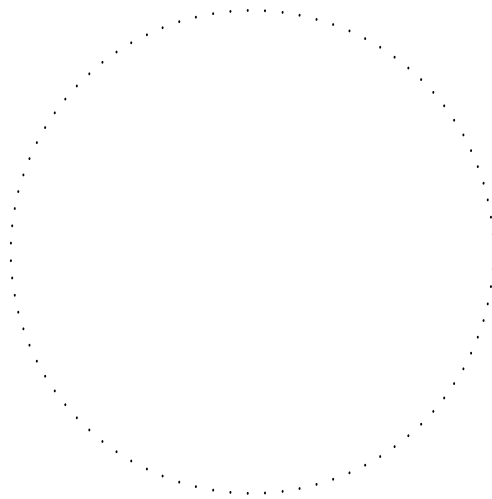
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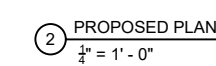
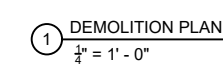
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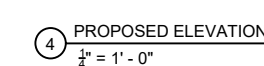
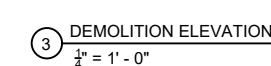
EXTERIOR WALLS:	FAIR
STOREFRONTS:	FAIR
ENTRYWAYS:	FAIR
UPPER STORY WINDOWS:	NONE
FRONT FOUNDATION:	NOT VISIBLE
PORCH, STAIRS, DECK RAMP:	NONE
AWNINGS/SIGNAGE:	FAIR
ROOF:	POOR

- MASONRY REPAIR/RESTORATION: LIGHT TUCK POINT EXPOSED BRICK WITH APPROPRIATE RESTORATION MORTAR AS DETERMINED BY MORTAR ANALYSIS. COLOR, TEXTURE, AND CHEMICAL COMPOSITION TO BE INFORMED BY ANALYSIS AND ARCHITECT APPROVED
- STOREFRONTS: REPLACE STOREFRONT WINDOW & DOORS WITH NEW INSULATED GLASS STOREFRONT SYSTEM
- PAINT: PREP AND PAINT EXISTING CONCRETE WINDOW SILLS, AND OPAQUE INFILL AS REQUIRED
- SIGNAGE: EXISTING SIGNAGE TO REMAIN; CLEAN AS REQUIRED

THIS PROPERTY IS PRESUMED TO BE A POTENTIALLY CONTRIBUTING RESOURCE TO A POTENTIAL HISTORIC DISTRICT.



**NOTE:** PATCH AND REPAIR EXISTING, AFFECTED INTERIOR SURFACES & COMPONENTS AS NECESSARY TO PROVIDE A CONTINUOUS FINISH BETWEEN EXISTING AND NEW WORK.



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SLUM & BLIGHT INVENTORY:

EXTERIOR WALLS: FAIR  
STOREFRONTS: FAIR/POOR  
ENTRYWAYS: POOR  
WINDOWS: N/A  
FRONT FOUNDATION: NOT VISIBLE  
PORCH, STAIRS, DECK RAMP: N/A  
AWNINGS/SIGNAGE: FAIR  
OTHER: OVERHEAD DOORS - POOR

PROPOSED SCOPE OF WORK:

- MASONRY REPAIR/RESTORATION: TUCK POINT EXPOSED BLOCK WITH APPROPRIATE MORTAR AS DETERMINED BY MORTAR ANALYSIS. COLOR, TEXTURE, AND CHEMICAL COMPOSITION TO BE INFORMED BY ANALYSIS AND ARCHITECT APPROVED
- STOREFRONTS: REPLACE STOREFRONT WINDOWS @ GROUND LEVEL WITH NEW INSULATED GLASS ALUMINUM FRAMED STOREFRONT SYSTEM, INCLUDING NEW OVERHEAD DOORS AS INDICATED BY DRAWING ELEVATION.
- OVERHEAD DOORS: INSTALL NEW OVERHEAD DOORS
- PAINT: PREP AND PAINT EXISTING BLOCKING OR EXTERIOR MATERIAL.
- MASONRY INFILLS: INSTALL NEW FACE BRICK @ EXISTING MASONRY OPENINGS

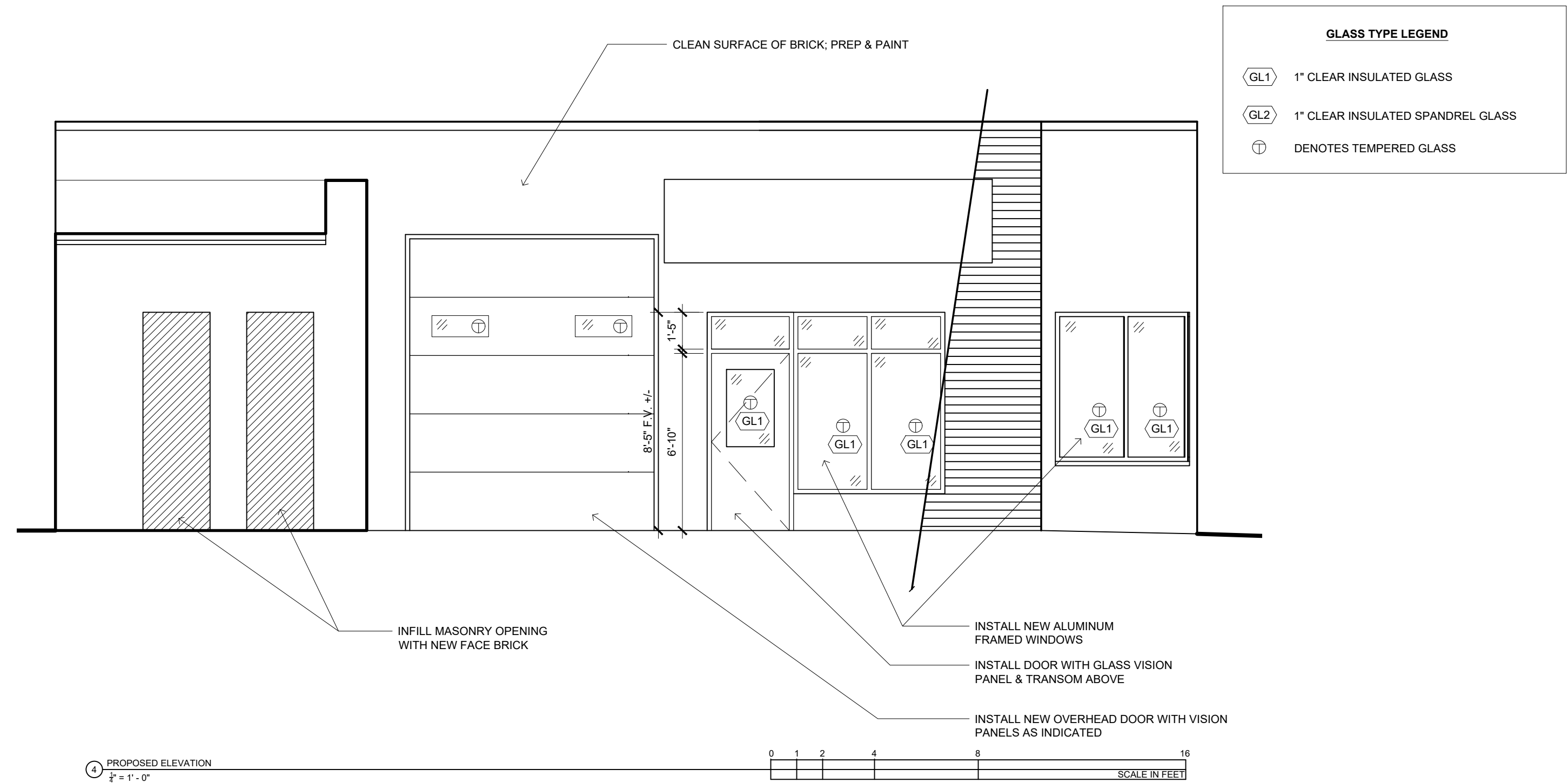
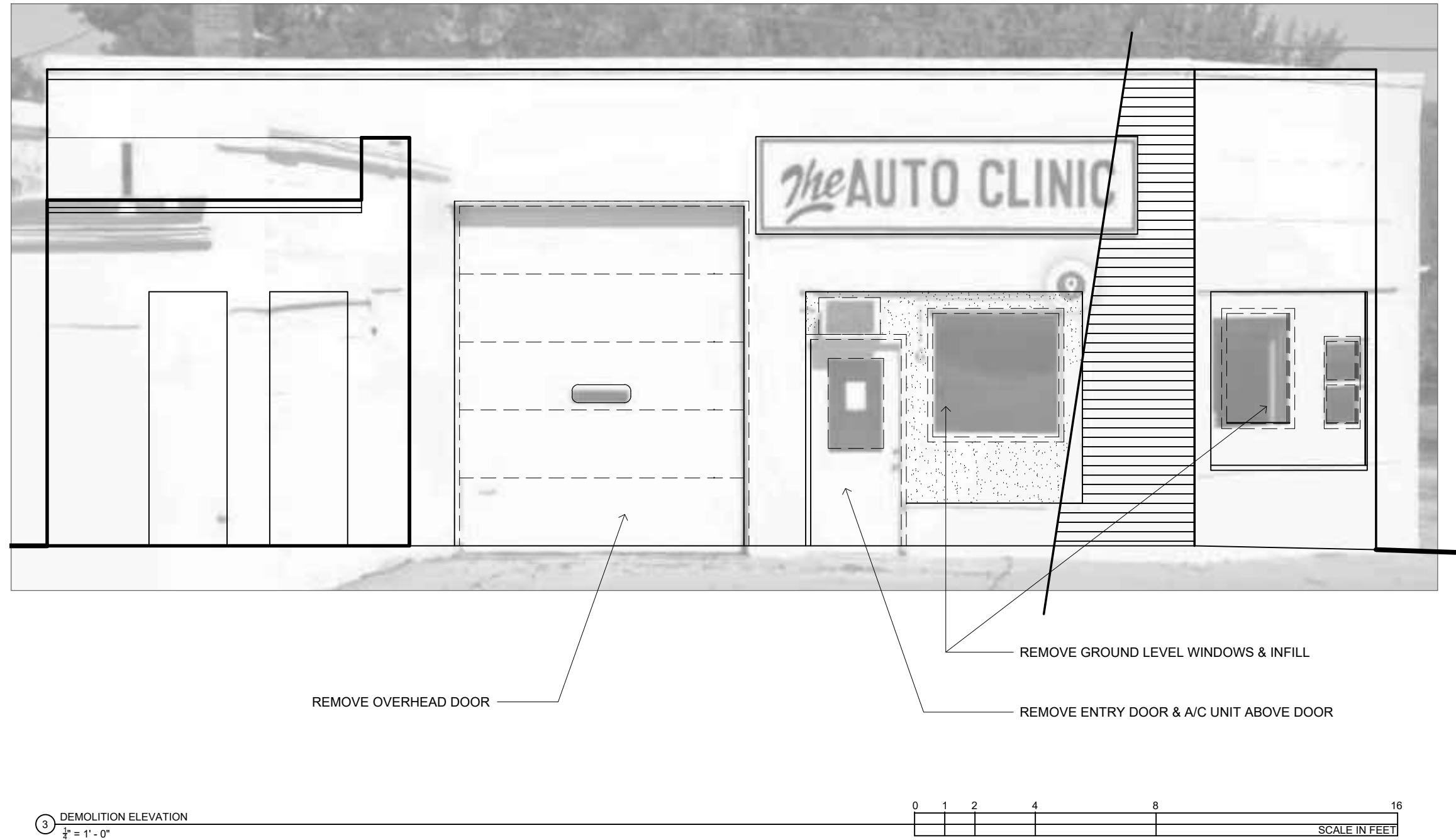
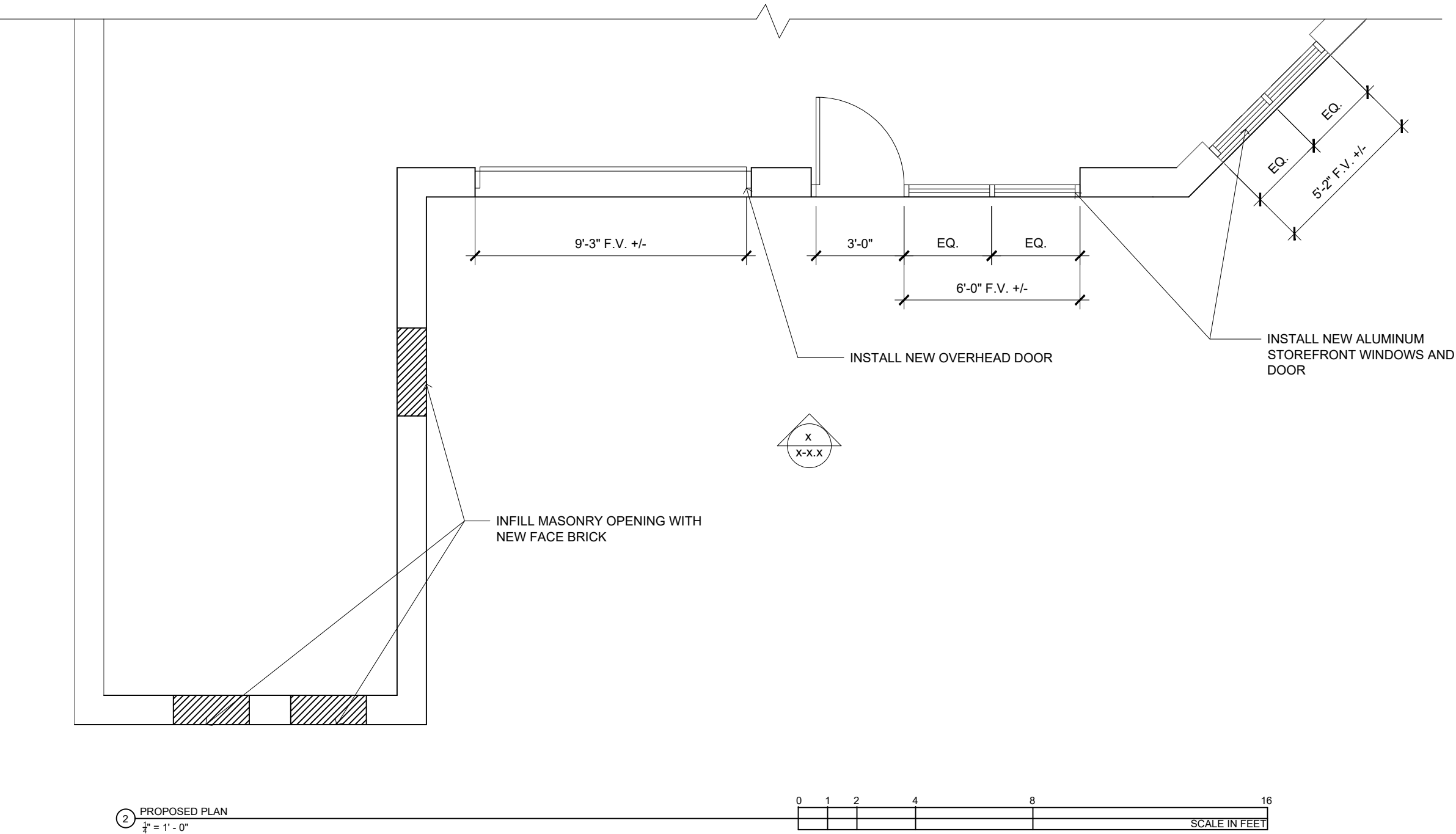
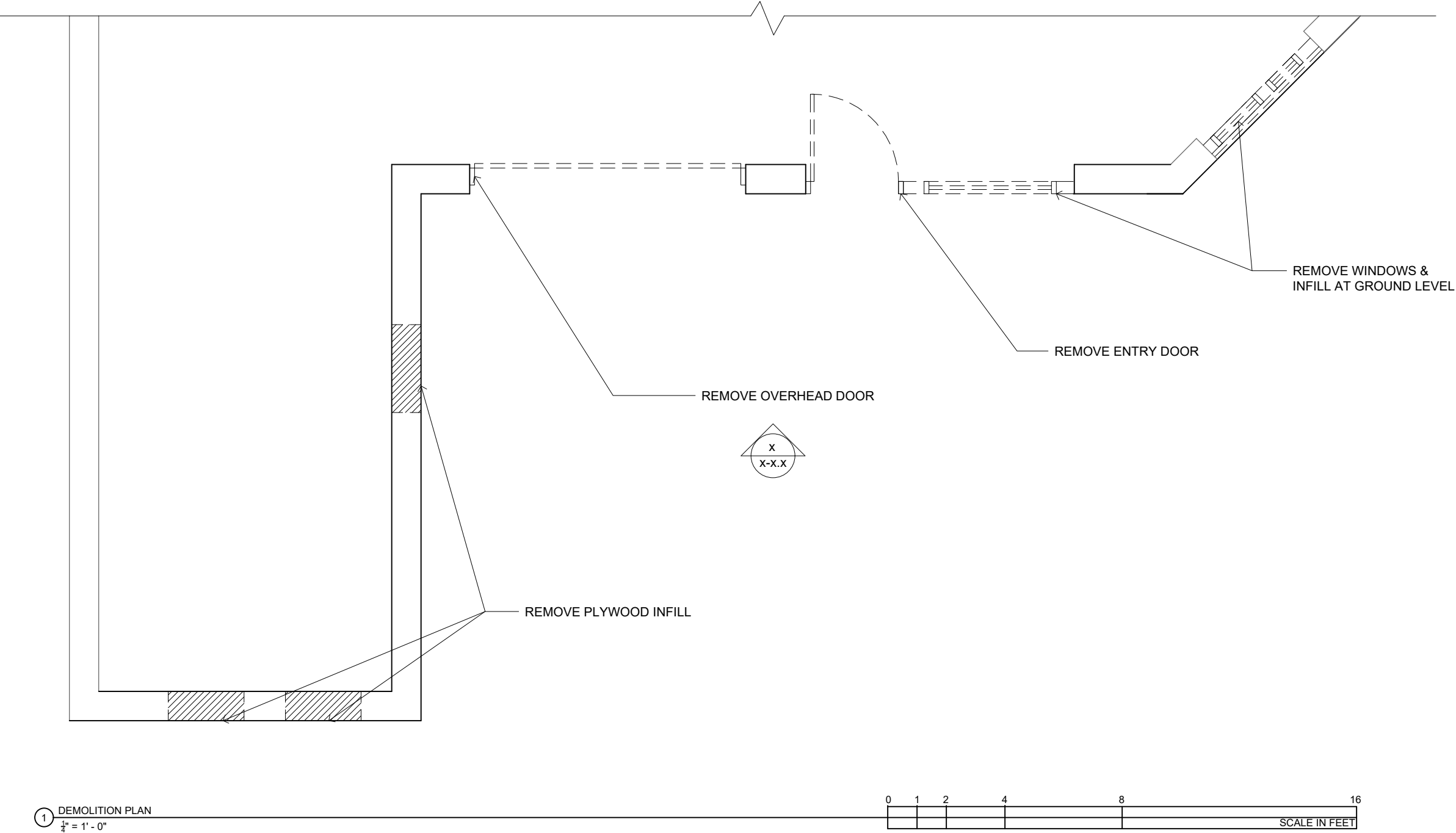
HISTORIC DESIGNATION:

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EXISTING PHOTO

NOTE: PATCH AND REPAIR EXISTING, AFFECTED INTERIOR SURFACES & COMPONENTS AS NECESSARY TO PROVIDE A CONTINUOUS FINISH BETWEEN EXISTING AND NEW WORK.



GLASS TYPE LEGEND

GL1 1" CLEAR INSULATED GLASS  
GL2 1" CLEAR INSULATED SPANDREL GLASS  
T DENOTES TEMPERED GLASS

EXIRA  
FACADE  
REHABILITATION

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REVISION

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DATE:

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SLUM & BLIGHT INVENTORY:

EXTERIOR WALLS: FAIR  
STOREFRONTS: FAIR/POOR  
ENTRYWAYS: POOR  
UPPER WINDOWS: N/A  
FRONT FOUNDATION: N/A  
PRCH. STAIRS, DECK RAMP: FAIR  
AWNINGS/SIGNAGE: N/A  
OTHER: OVERHEAD DOORS - POOR

PROPOSED SCOPE OF WORK:

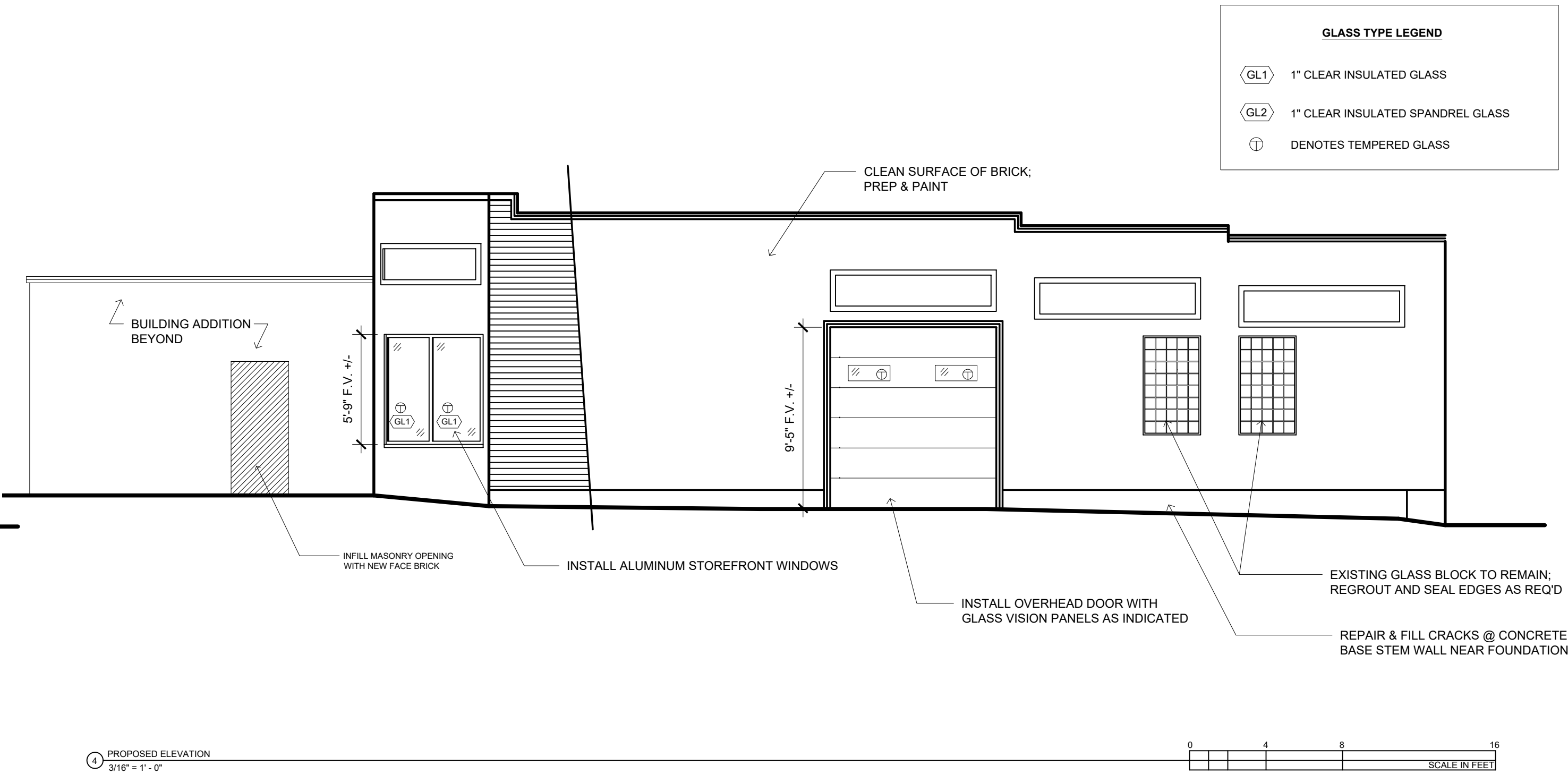
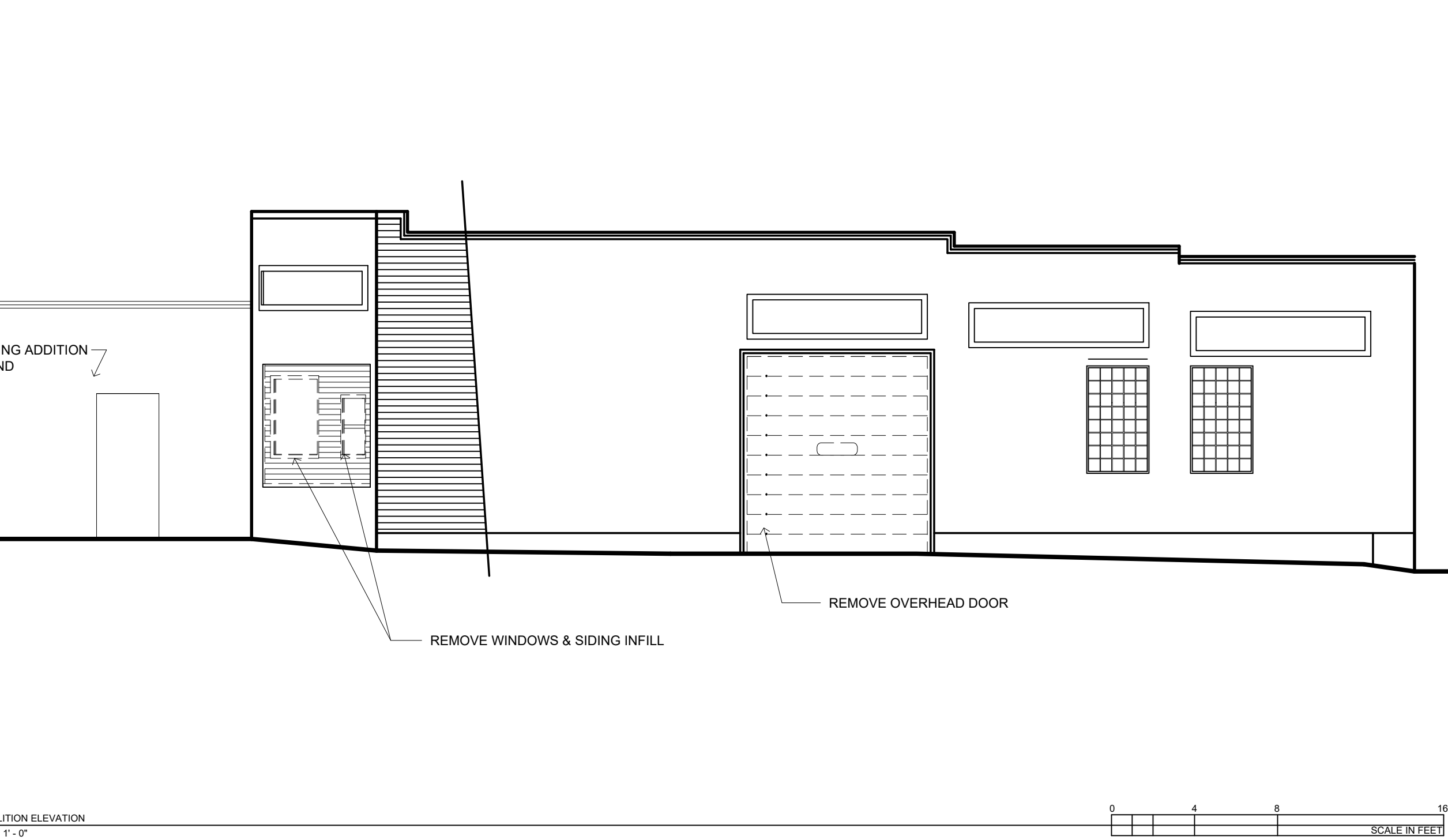
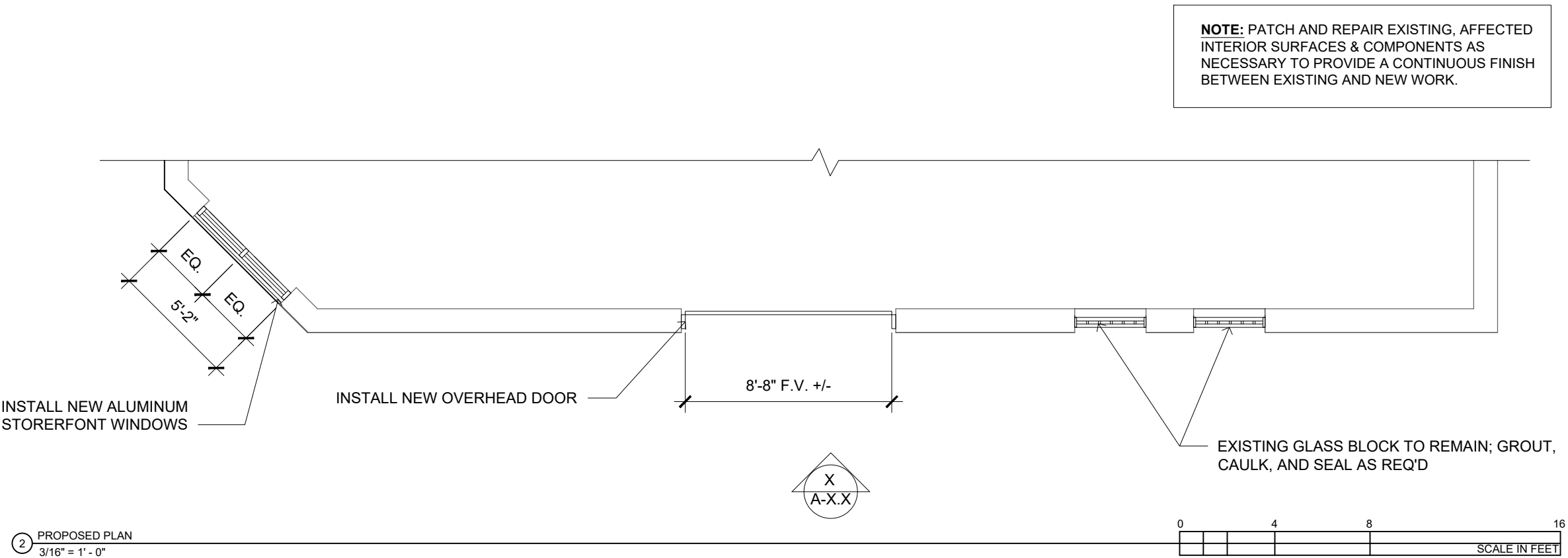
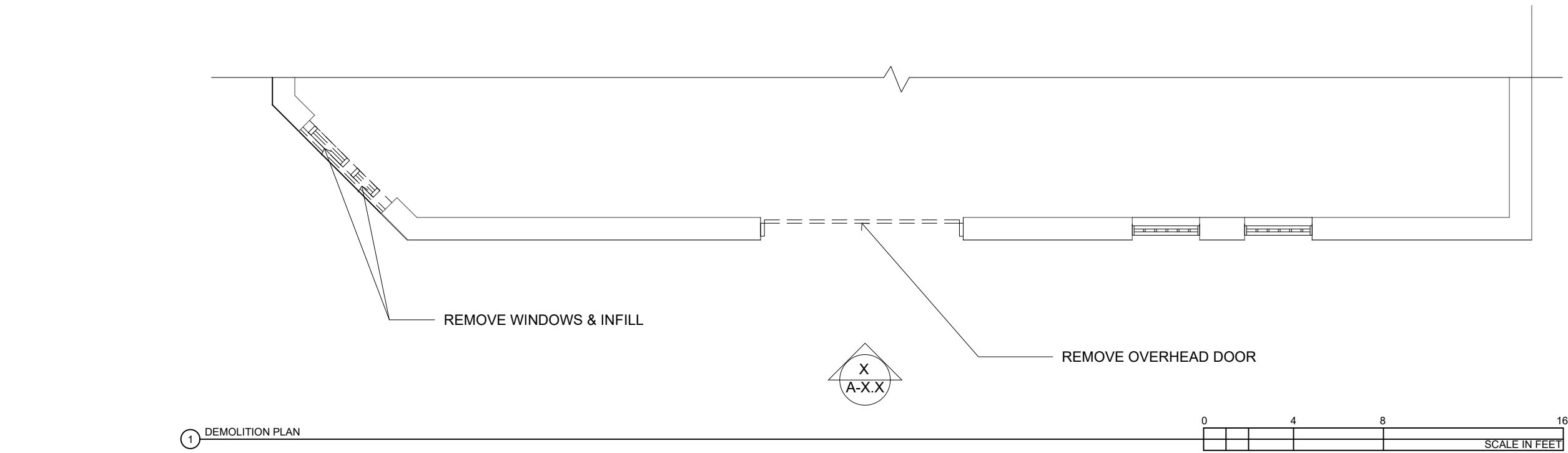
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- OVERHEAD DOORS: INSTALL NEW OVERHEAD DOORS
- PAINT: PREP AND PAINT EXISTING BLOCKING OR EXTERIOR MATERIAL.
- MASONRY INFILLS: INSTALL NEW FACE BRICK @ EXISTING MASONRY OPENINGS.
- FOUNDATION: REPAIR GAPS AS CONCRETE STEM WALL NEAR FOUNDATION

HISTORIC DESIGNATION:

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EXISTING PHOTO



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FACADE  
REHABILITATION

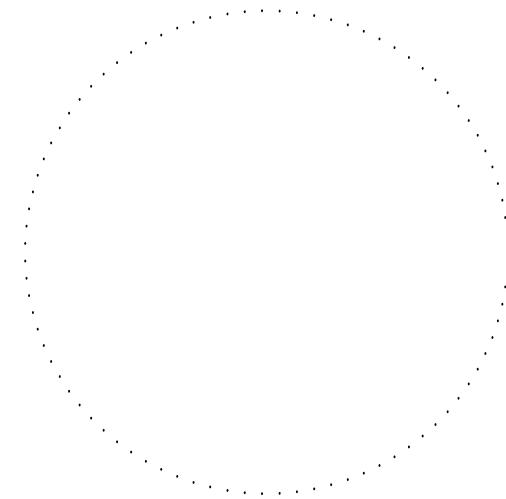
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