

Request for Quotes

The City of Exira is seeking quotations for asbestos survey and testing on eight buildings (eleven facades) within the Main Street District. This is a part of Downtown Façade Rehabilitation project. The testing will be on suspect materials that have the potential to be disturbed on or within the building during demolition or construction. The project will encompass façade modifications only. Buildings in which testing is required can be found in the appendix of this document.

The City will award a contract based upon the lowest responsible quote. Anyone submitting a quote must be licensed by the Iowa Department of Inspections, Appeals, and Licensing (DIAL), insured in the State of Iowa, and able to obtain a Unique Entity Identifier (UEI) number. Any license and insurance documents should be submitted with the quote.

This agreement is for services related to a project that is subject to the Build America, Buy America Act (BABA) requirements under Title IX of the Infrastructure Investment and Jobs Act (“IIJA”), Pub. L. 117-58. Absent an approved waiver, all iron, steel, manufactured products, and construction materials used in this project must be produced in the United States, as further outlined by the Office of Management and Budget’s Memorandum M-24-02, Implementation Guidance on Application of Buy America Preference in Federal Financial Assistance Programs for Infrastructure. Contractor shall include Manufacturer’s Certification for BABA requirements for all BABA covered items to be incorporated into the infrastructure project. Contractor shall comply with BABA requirements, including coordination with manufacturers, distributors, and suppliers to correct deficiencies in any BABA documentation. For any change orders, Contractor shall provide BABA documentation for any new products or materials required by the change. Contractor shall designate responsible parties for determining the final classifications for all project items.

Section 3 requirements under 12 U.S.C. § 1701u

A. The work to be performed under this contract is subject to the requirements of Section 3 of the Housing and Urban Development Act of 1968, as amended, 12 U.S.C. 1701u (Section 3). The purpose of Section 3 is to ensure that employment and other economic opportunities generated by HUD assistance or HUD-assisted projects covered by Section 3, shall, to the greatest extent feasible, be directed to low- and very low-income persons, particularly persons who are recipients of HUD assistance for housing. B. The parties to this contract agree to comply with HUD’s regulations in 24 CFR part 75, which implement Section 3. As evidenced by their execution of this contract, the parties to this contract certify that they are under no contractual or other impediment that would prevent them from complying with the part 75 regulations. C. The Contractor agrees to post copies of a notice advising workers of the Contractor’s commitments under Section 3 in conspicuous places at the work site where both employees and applicants for training and employment positions can see the notice. The notice shall describe the Section 3 preference, shall set forth minimum number and job titles subject to hire, availability of apprenticeship and training positions, the qualifications for each; and the name and location of the person(s) taking applications for each of the positions; and the anticipated date the work shall begin. D. The Contractor agrees to provide written notice of employment and contracting opportunities to all known Section 3 Workers and Section 3 Businesses. E. The

Contractor agrees to employ, to the greatest extent feasible, Section 3 workers or provide written justification to the recipient that is consistent with 24 CFR Part 75, describing why it was unable to meet minimum numerical Section 3 Worker hours goals, despite its efforts to comply with the provisions of this clause. F. The Contractor agrees to maintain records documenting Section 3 Workers that were hired to work on previous Section 3 covered projects or activities that were retained by the contractor for subsequent Section 3 covered projects or activities. G. The Contractor agrees to post contract and job opportunities to the Opportunity Portal and will check the Business Registry for businesses located in the project area. H. The Contractor agrees to include compliance with Section 3 requirements in every subcontract for Section 3 projects as defined in 24 CFR part 75, and agrees to take appropriate action, as provided in an applicable provision of the subcontract upon a finding that the subcontractor is in violation of the regulations in 24 CFR part 75. The contractor will not subcontract with any subcontractor where the contractor has notice or knowledge that the subcontractor has been found in violation of the regulations in 24 CFR part 75. I. The Contractor will certify that any vacant employment positions, including training positions, that are filled (1) after the contractor is selected but before the contract is executed, and (2) with persons other than those to whom the regulations of 24 CFR part 75 require employment opportunities to be directed, were not filled to circumvent the contractor's obligations under 24 CFR part 75. J. The Contractor will certify that they have followed prioritization of effort in 24 CFR part 75.19 for all employment and training opportunities. The contractor will further certify that it meets or exceeds the applicable Section 3 benchmarks, defined in 24 CFR Part 75.23, and if not, shall describe in detail the qualitative efforts it has taken to pursue low- and very low income persons for economic opportunities. K. Noncompliance with HUD's regulations in 24 CFR part 75 may result in sanctions, termination of this contract for default, and debarment or suspension from future HUD assisted contracts. "Section 3 Business Concerns are encouraged to respond to this proposal. A Section 3 Business Concern is one that satisfies one of the following requirements: 1. It is at least 51 percent owned and controlled by low- or very low-income persons; 2. Over 75 percent of the labor hours performed for the business over the prior three month period are performed by Section 3 Workers; or 3. It is a business at least 51 percent owned and controlled by current public housing residents or residents who currently live in Section 8-assisted housing. * A Section 3 Worker is defined as any worker who currently fits or when hired within the past five years fit at least one of the following categories, as documented: 1. The worker's income for the previous or annualized calendar year is below the applicable income limit established by HUD; 2. The worker is employed by a Section 3 business concern; or 3. The worker is a YouthBuild participant. Businesses that believe they meet the Section 3 criteria are encouraged to register as a Section 3 Business through HUD's website:*

www.portalapps.hud.gov/Sec3BusReg/BRegistry/RegisterBusiness

Quotes are due to Lauren Mortensen with Region XII Council of Governments on January 15, 2026 by 5:00 PM.

If possible, the city would like survey and testing completed prior to January 30, 2026 for the architect to include in the project manual for general construction. If this is not possible, please state the date which survey and testing would be completed by.

The selected firm will be utilized to solicit bids for any required remediation once the survey and testing results are reviewed with the proposed scope of rehabilitation work.

For more information, please contact Lauren Mortensen at Region XII Council of Governments at 712-792-9914 or by email at lmortensen@region12cog.org.



EXIRA FACADE REHABILITATION

EXIRA, IOWA

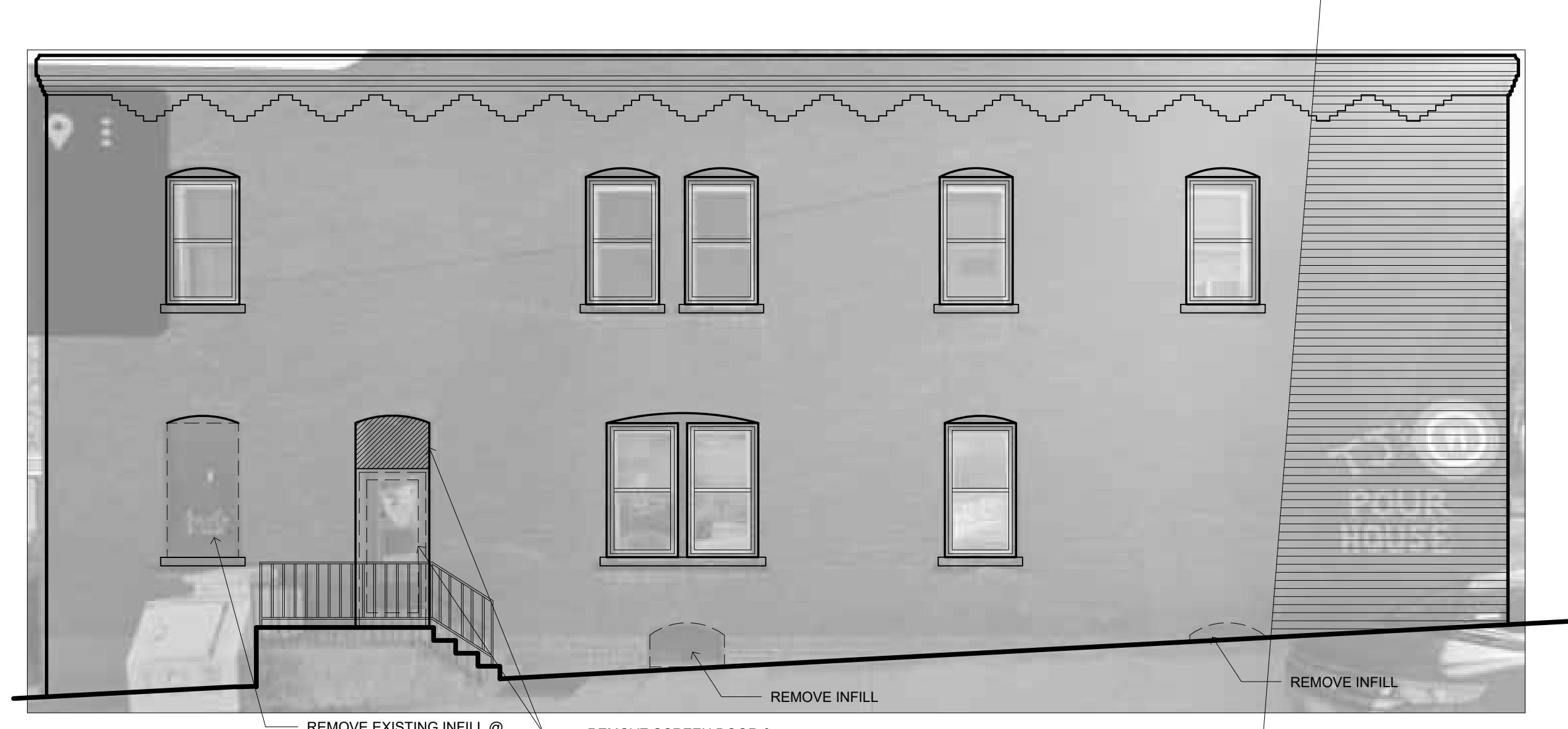
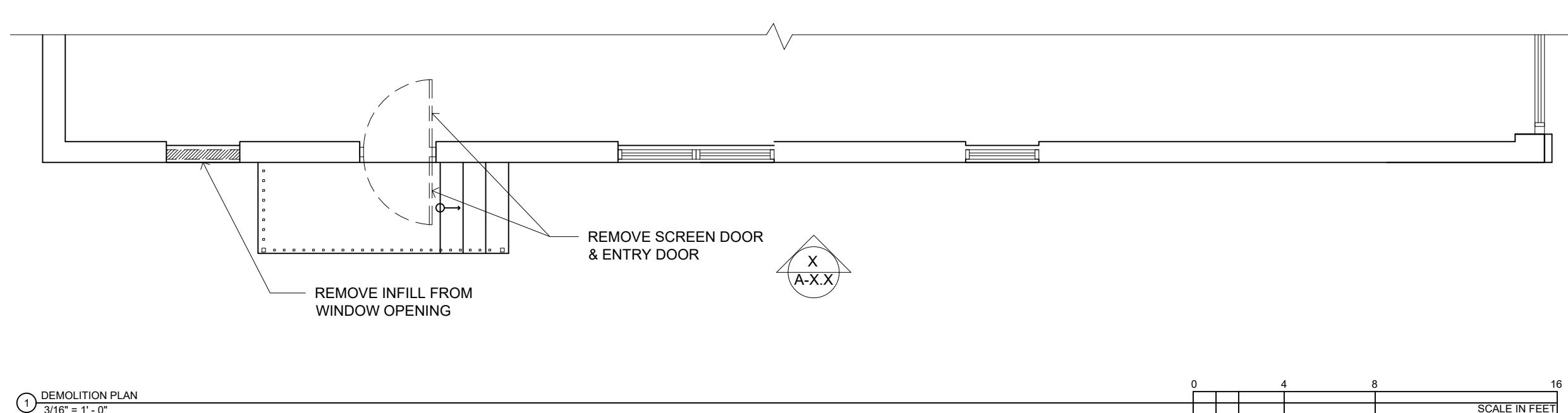
SIDE ELEVATION
EXTERIOR WALLS: FAIR
STOREFRONTS: NONE
ENTRYWAYS: POOR
WINDOWS: POOR
FRONT FOUNDATION: FAIR
PORCH, STAIRS, DECK RAMP: POOR
AWNINGS/SIGNAGE: NONE
ROOF: NOT OBSERVED

PROPOSED SCOPE OF WORK SIDE FACADE:

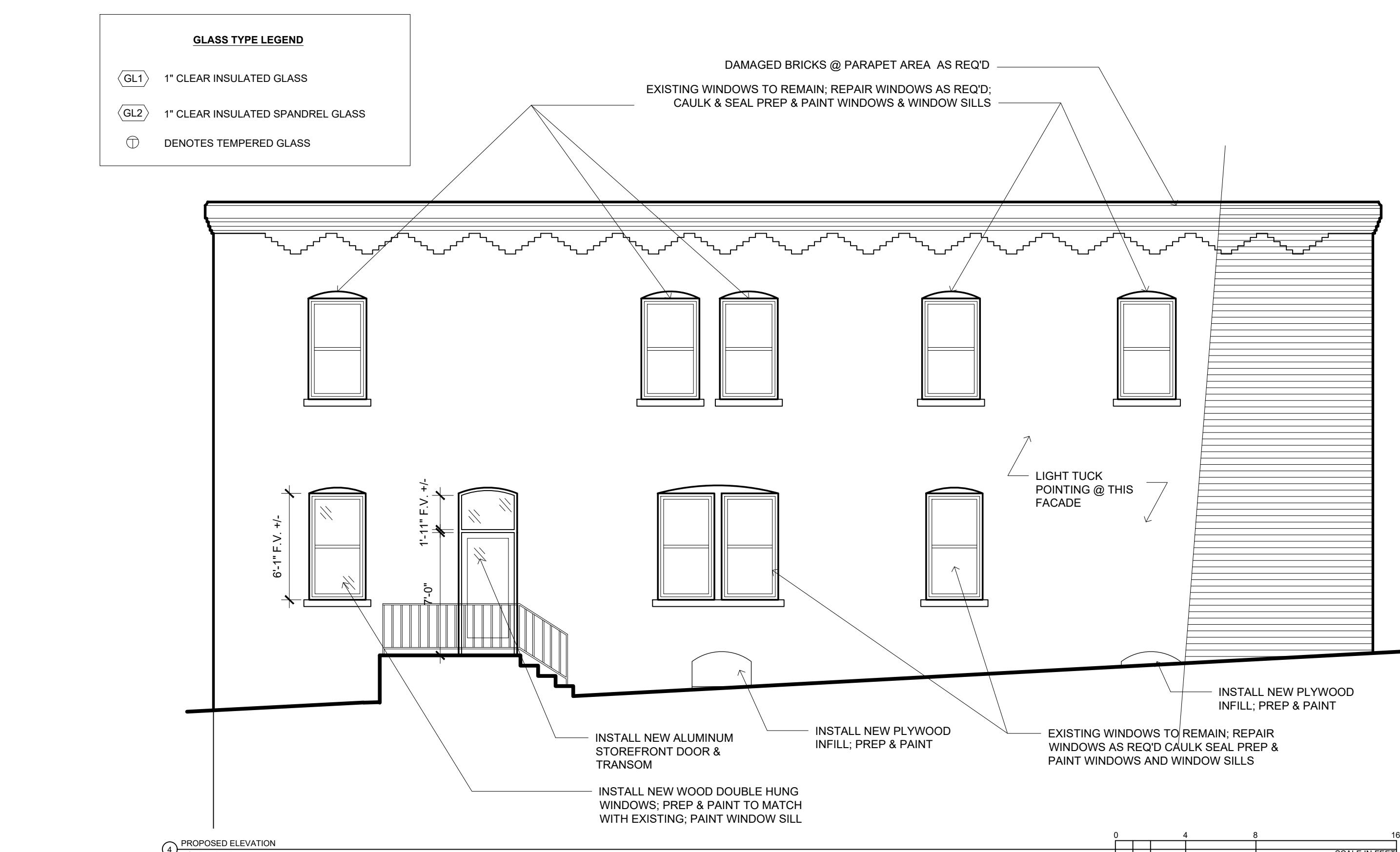
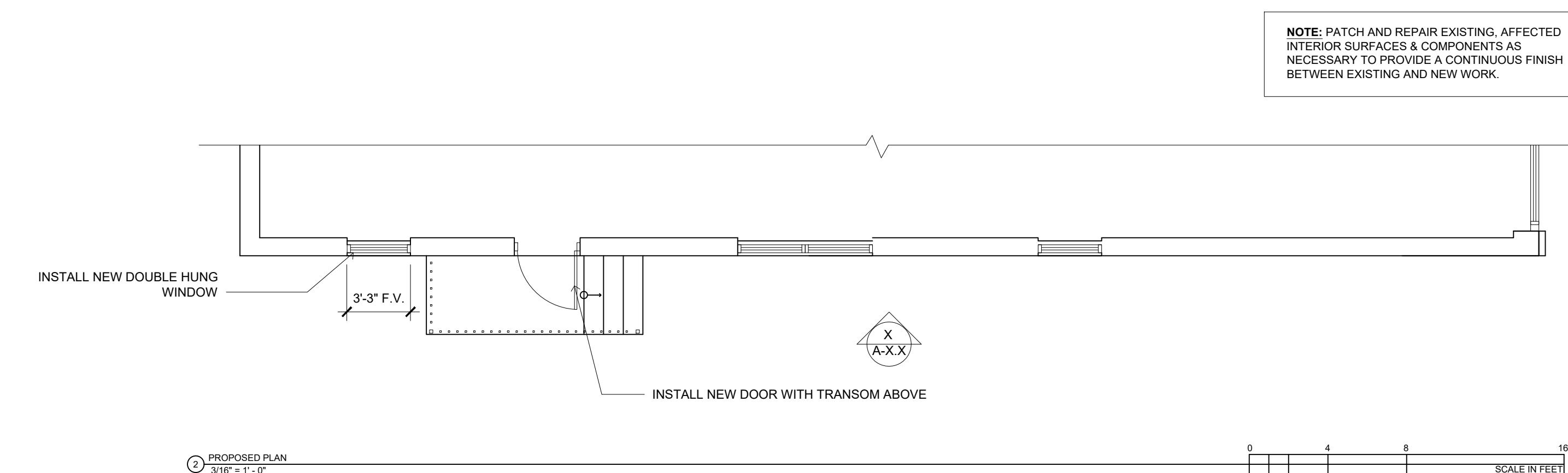
- MASONRY REPAIR/RESTORATION: TUCK POINT EXPOSED BRICK WITH APPROPRIATE RESTORATION MORTAR AS DETERMINED BY MORTAR ANALYSIS, COLOR, TEXTURE, AND CHEMICAL COMPOSITION TO BE INFORMED BY ANALYSIS AND ARCHITECT APPROVED. REPLACE DAMAGED BRICK NEAR PARAPET AS REQUIRED
- STOREFRONTS: REPLACE STOREFRONT DOOR WITH NEW INSULATED GLASS STOREFRONT SYSTEM
- DOUBLE HUNG WINDOWS: REPLACE UPPER-STORY WINDOWS WITH NEW WOOD DOUBLE HUNG WINDOWS; SEE ELEVATION FOR NEW WINDOW REPLACEMENT. EXISTING WINDOWS ARE TO REMAIN; REPAIR WINDOWS; CAULK AND SEAL AS REQUIRED

HISTORIC DESIGNATION:

THIS PROPERTY IS PRESUMED TO BE A POTENTIALLY CONTRIBUTING RESOURCE TO A POTENTIAL HISTORIC DISTRICT.



DEMOLITION ELEVATION
3/16" = 1'-0"



PROPOSED ELEVATION
3/16" = 1'-0"

The Franks Design Group, PC

410 First Street
Glenwood, Iowa 51534
712-527-3996

ARCHITECT

THE FRANKS DESIGN GROUP, P.C.
410 FIRST STREET;
GLENWOOD, IOWA 51534
TEL: 712-527-3996

REVISION DATE

1

DATE:

© COPYRIGHT 2025 THE FRANKS DESIGN GROUP, P.C.



EXIRA FAÇADE REHABILITATION

EXIRA, IOWA

The Franks Design Group, PC

410 First Street
Glenwood, Iowa 51534
712-527-3996

ARCHITECT

THE FRANKS DESIGN GROUP, P.C.
410 FIRST STREET:
GLENWOOD, IOWA 51534
TEL: 712-527-3996

SLUM & BLIGHT INVENTORY:
EXTERIOR WALLS: FAIR
STOREFRONTS: FAIR
ENTRYWAYS: POOR
WINDOWS: POOR
FRONT FOUNDATION: POOR
PORCH, STAIRS, DECK RAMP: POOR
AWNINGS/SIGNAGE: POOR
ROOF: NOT OBSERVED

PROPOSED SCOPE OF WORK FRONT FAÇADE:

- MASONRY REPAIR/RESTORATION: TUCK POINT EXPOSED BRICK WITH APPROPRIATE RESTORATION MORTAR AS DETERMINED BY MORTAR ANALYSIS, COLOR, TEXTURE, AND CHEMICAL COMPOSITION TO BE INFORMED BY ANALYSIS AND ARCHITECT APPROVED
- STOREFRONTS: REPLACE STOREFRONT WINDOW & DOORS WITH NEW INSULATED GLASS STOREFRONT SYSTEM
- UPPER STORY WINDOWS: EXISTING UPPER STORY WINDOWS TO REMAIN; REPAIR WOOD FRAMES AS REQUIRED; PREP & PAINT
- FRONT FOUNDATION: REPAIR BRICKS & TUCK POINT LARGE OPEN GAPS AT MASONRY NEAR BOTTOM FOUNDATION
- PAINT: PREP AND PAINT EXISTING CAST IRON COLUMNS OR EXTERIOR MATERIAL WITH PANELIZED MULTI-COLOR SCHEME INCLUDING UPPERSTORY WINDOWS.
- CAST IRON PLATE: ADDRESS ISSUE OF CAST IRON PLATE AT ENTRY DOOR

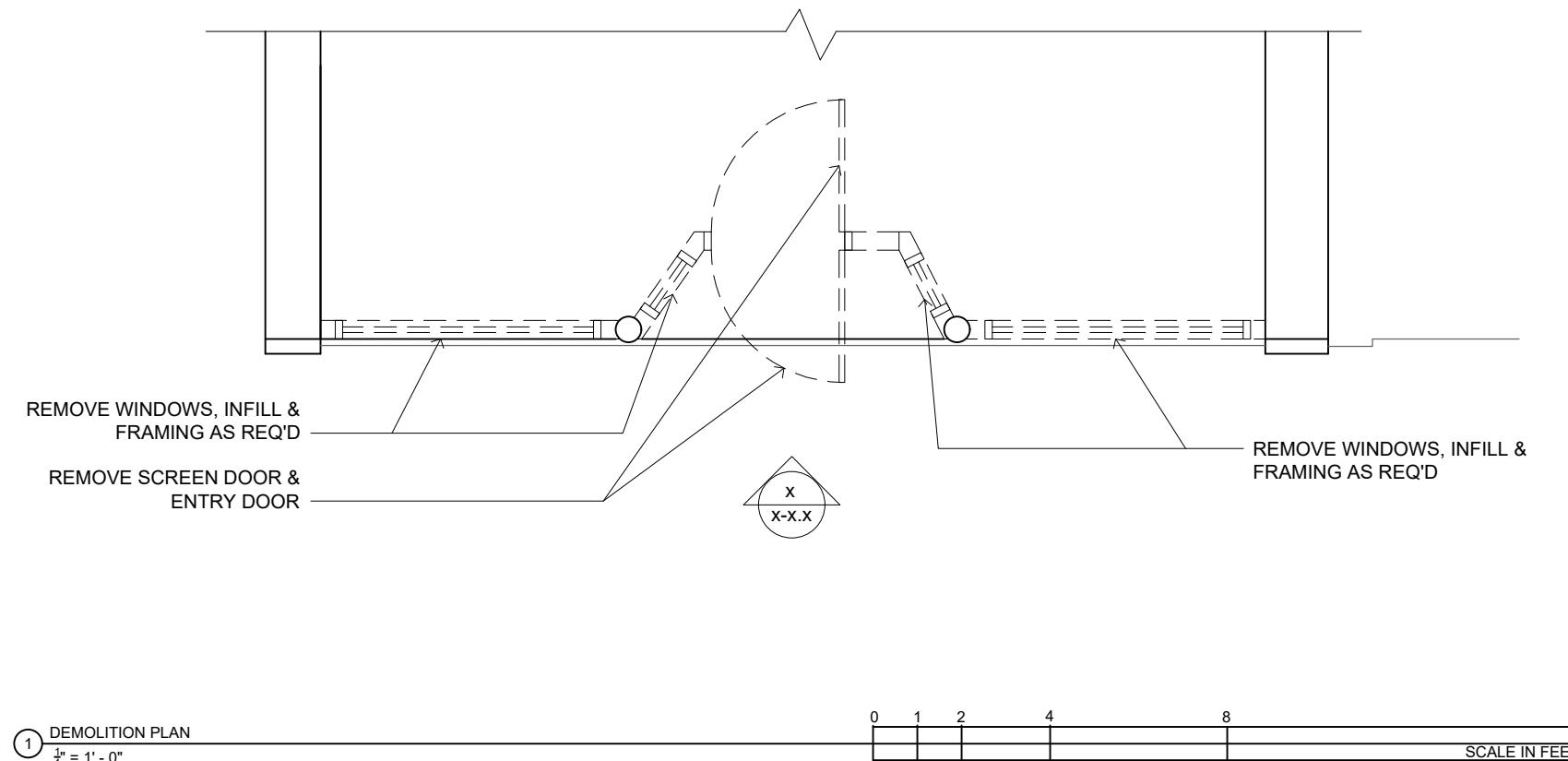
HISTORIC DESIGNATION:

THIS PROPERTY IS PRESUMED TO BE A POTENTIALLY CONTRIBUTING RESOURCE TO A POTENTIAL HISTORIC DISTRICT.



EXISTING PHOTO

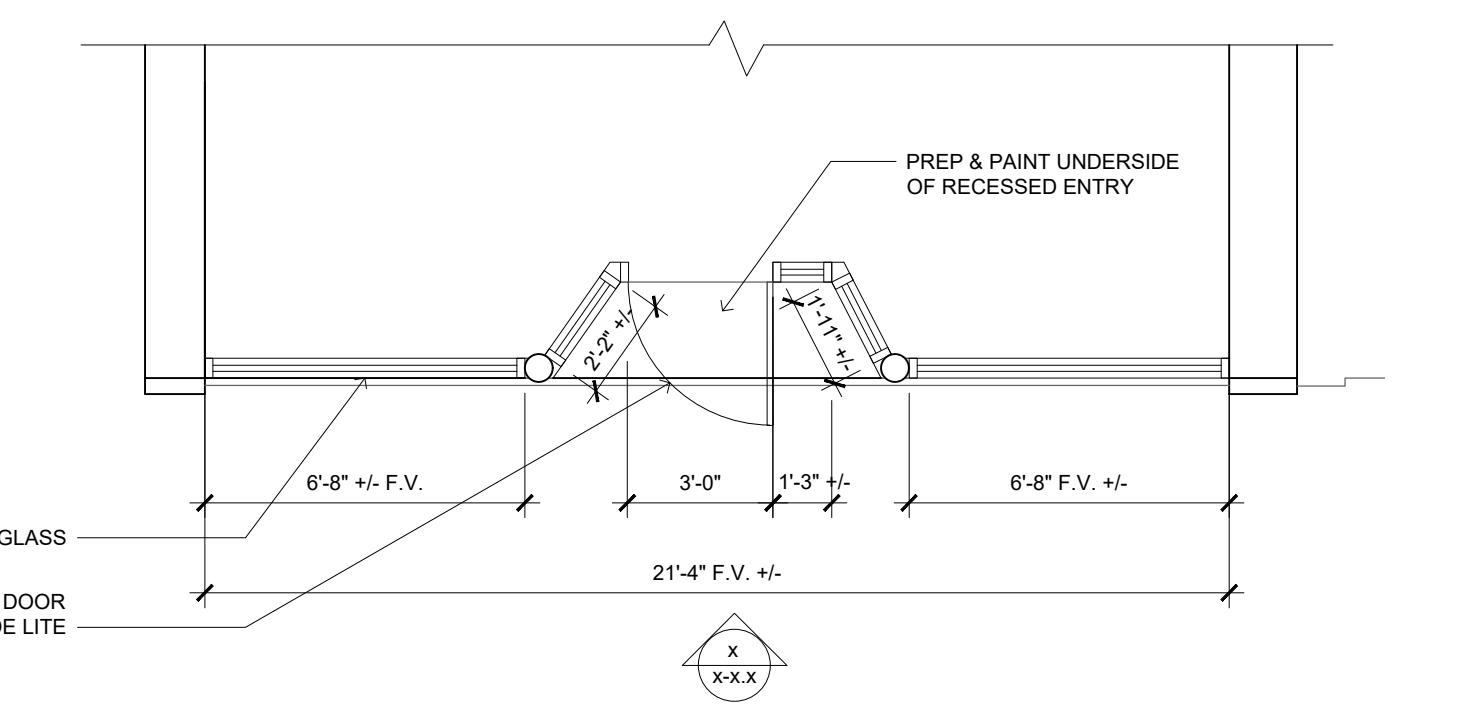
NOTE: PATCH AND REPAIR EXISTING, AFFECTED
INTERIOR SURFACES & COMPONENTS AS
NECESSARY TO PROVIDE A CONTINUOUS FINISH
BETWEEN EXISTING AND NEW WORK.



① DEMOLITION PLAN

$\frac{1}{2} = 1 - 0'$

SCALE IN FEET



② PROPOSED PLAN

$\frac{1}{2} = 1 - 0'$

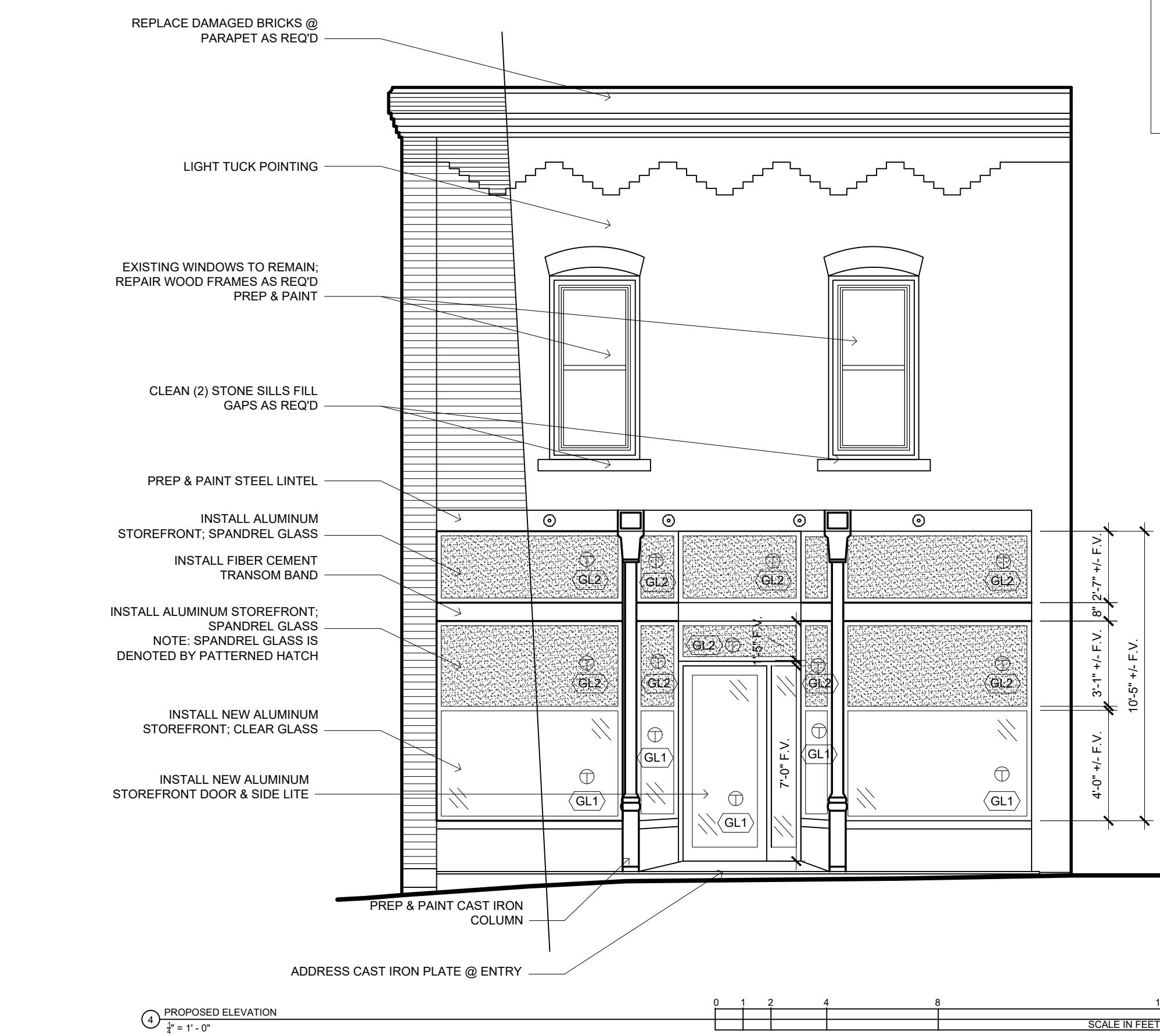
SCALE IN FEET



③ DEMOLITION ELEVATION

$\frac{1}{2} = 1 - 0'$

SCALE IN FEET



④ PROPOSED ELEVATION

$\frac{1}{2} = 1 - 0'$

SCALE IN FEET

GLASS TYPE LEGEND
GL1 1" CLEAR INSULATED GLASS
GL2 1" CLEAR INSULATED SPANDREL GLASS
T DENOTES TEMPERED GLASS

REVISION 1 DATE

DATE:

© COPYRIGHT 2025 THE FRANKS DESIGN GROUP, P.C.

SLUM & BLIGHT INVENTORY:

EXTERIOR WALLS: FAIR
STOREFRONTS: POOR
ENTRYWAYS: FAIR
UPPER STORY WINDOWS: FAIR
FRONT FOUNDATION: FAIR
PORCH, STAIRS, DECK RAMP: FAIR
AWNINGS/SIGNAGE: FAIR
ROOF: NOT OBSERVED

PROPOSED SCOPE OF WORK:

- MASONRY REPAIR/RESTORATION: TUCK POINT EXPOSED BRICK WITH APPROPRIATE RESTORATION MORTAR AS DETERMINED BY MORTAR ANALYSIS. COLOR, TEXTURE, AND CHEMICAL COMPOSITION TO BE INFORMED BY ANALYSIS AND ARCHITECT APPROVED
- STOREFRONTS: REPLACE STOREFRONT WINDOW & DOORS WITH NEW INSULATED GLASS ALUMINUM STOREFRONT SYSTEM
- TRANSOM: INSTALL NEW ALUMINUM FRAMED CLEAR INSULATING GLASS AT TRANSOM AREA.
- UPPER STORY WINDOWS: EXISTING WINDOWS TO REMAIN; CAULK AND SEAL EDGES AS REQUIRED
- FRONT FOUNDATION: CAULK AT FOUNDATION AS REQUIRED.
- KICK PANEL: REMOVE EXISTING INFILL; INSTALL NEW PANELIZED FIBER CEMENT KICKPANEL
- PAINT: PREP AND PAINT EXISTING PAINTED EXTERIOR ELEMENTS WITH PANELIZED MULTI-COLOR SCHEME; PREP & PAINT UNDERSIDE OF SOFFIT, TRANSOM BAND WHERE FORMER AWNING COVER REMAINS.
- WOOD DOOR: INSTALL NEW WOOD ENTRY DOOR TO SECOND STORY WITH SIDE LITES.
- TILES: EXISTING TILES AT RECESSED ENTRY TO REMAIN; GROUT AND SEAL TILES AS REQUIRED.

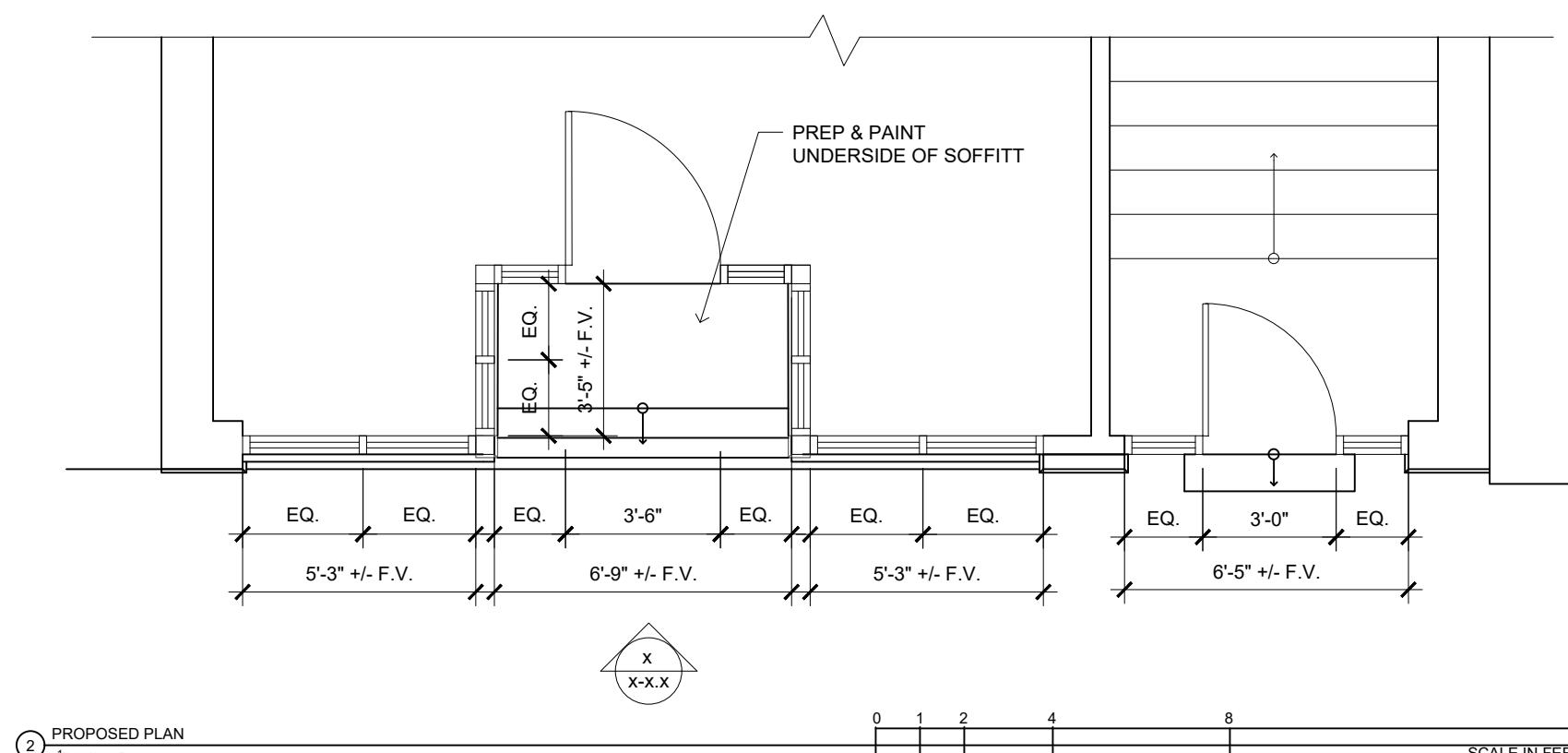
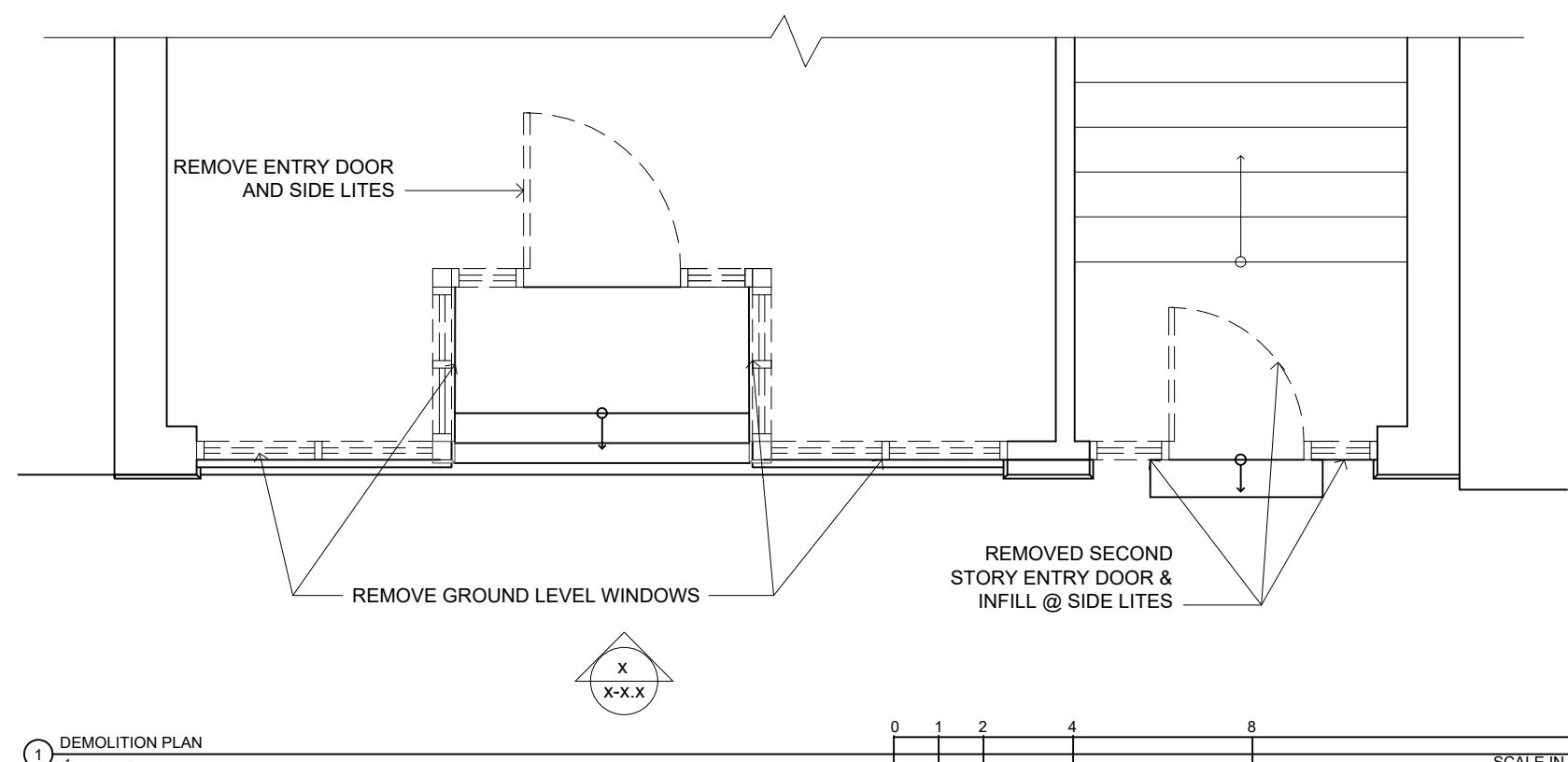
HISTORIC DESIGNATION:

THIS PROPERTY IS PRESUMED TO BE A POTENTIALLY CONTRIBUTING RESOURCE TO A POTENTIAL HISTORIC DISTRICT.



EXISTING PHOTO

NOTE: PATCH AND REPAIR EXISTING, AFFECTED
INTERIOR SURFACES & COMPONENTS AS
NECESSARY TO PROVIDE A CONTINUOUS FINISH
BETWEEN EXISTING AND NEW WORK.



GLASS TYPE LEGEND
GL1 1" CLEAR INSULATED GLASS
GL2 1" CLEAR INSULATED SPANDREL GLASS
T DENOTES TEMPERED GLASS



**EXIRA
FAÇADE
REHABILITATION**

EXIRA, IOWA

The Franks Design Group, PC

410 First Street
Glenwood, Iowa 51534
712.527.3996

ARCHITECT

THE FRANKS DESIGN GROUP, P.C.
410 FIRST STREET:
GLENWOOD, IOWA 51534
TEL: 712.527.3996

REVISION 1 DATE

DATE:

© COPYRIGHT 2025 THE FRANKS DESIGN GROUP, P.C.



EXIRA FAÇADE REHABILITATION

EXIRA, IOWA

SLUM & BLIGHT INVENTORY:

EXTERIOR WALLS: FAIR
STOREFRONTS: FAIR
ENTRYWAYS: FAIR
WINDOWS: NONE
FRONT FOUNDATION: FAIR
PORCH, STAIRS, DECK RAMP: N/A
AWNINGS/SIGNAGE: NONE
ROOF: POOR

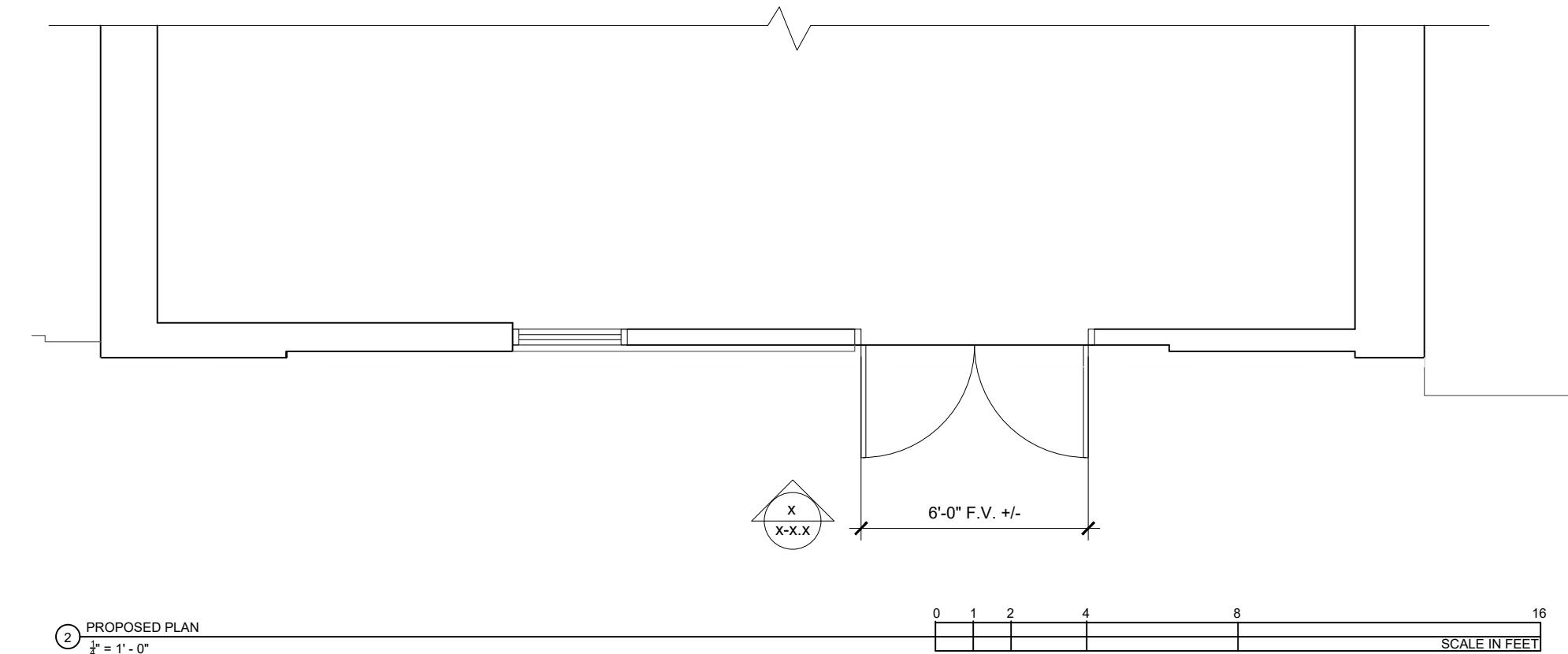
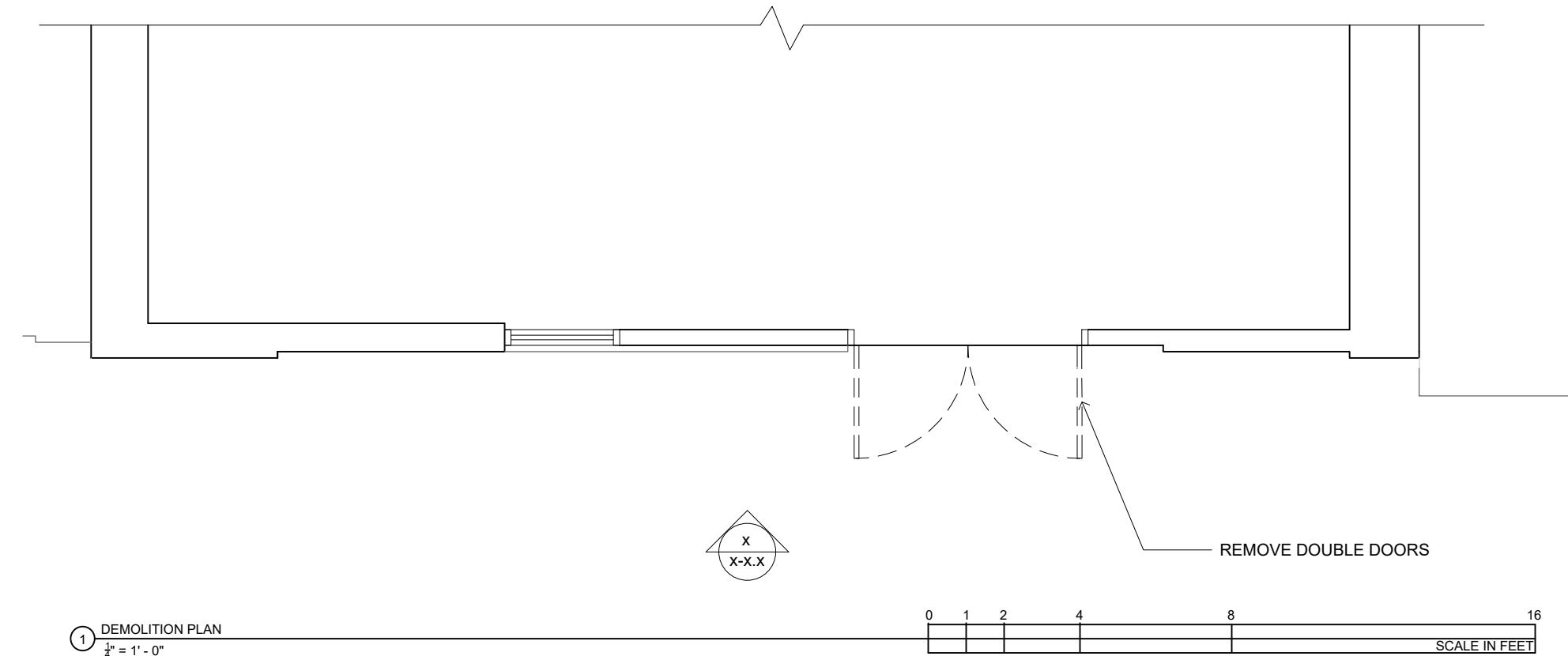
PROPOSED SCOPE OF WORK:

- MASONRY REPAIR/RESTORATION: MODERATE TUCK POINT EXPOSED BRICK WITH APPROPRIATE RESTORATION MORTAR AS DETERMINED BY MORTAR ANALYSIS. COLOR, TEXTURE, AND CHEMICAL COMPOSITION TO BE INFORMED BY ANALYSIS AND ARCHITECT APPROVED
- STOREFRONTS: REPLACE STOREFRONT WINDOW & DOUBLE DOORS WITH NEW INSULATED GLASS STOREFRONT SYSTEM
- FRONT FOUNDATION: CAULK AT FOUNDATION AS REQUIRED.
- TRANSOM AREA: CAULK AND SEAL EXISTING METAL SIDING; INSTALL NEW FABRIC AWNING
- PAINT: PREP AND PAINT EXISTING CORNICE OR EXTERIOR MATERIAL WITH PANELIZED MULTI-COLOR SCHEME INCLUDING UPPERSSTORY WINDOWS .
- ROOFING: INSTALL NEW ROOF

HISTORIC DESIGNATION:

THIS PROPERTY IS PRESUMED TO BE A POTENTIALLY CONTRIBUTING RESOURCE TO A POTENTIAL HISTORIC DISTRICT.

NOTE: PATCH AND REPAIR EXISTING, Affected
INTERIOR SURFACES & COMPONENTS AS
NECESSARY TO PROVIDE A CONTINUOUS FINISH
BETWEEN EXISTING AND NEW WORK.



The Franks Design Group, PC

410 First Street
Glenwood, Iowa 51534
712.527.3996

ARCHITECT

THE FRANKS DESIGN GROUP, P.C.
410 FIRST STREET;
GLENWOOD, IOWA 51534
TEL: 712-527-3996

REVISION 1 DATE

DATE:

© COPYRIGHT 2025 THE FRANKS DESIGN GROUP, P.C.

SLUM & BLIGHT INVENTORY:	
EXTERIOR WALLS:	POOR
STOREFRONTS:	FAIR
ENTRYWAYS:	POOR
WINDOWS:	FAIR
FRONT FOUNDATION:	NOT VISIBLE
PORCH, STAIRS, DECK, RAMP:	NONE
AWNINGS/SIGNAGE:	FAIR
ROOF:	NOT OBSERVED

PROPOSED SCOPE OF WORK:

- MASONRY REPAIR/RESTORATION: TUCK POINT EXPOSED BRICK WITH APPROPRIATE RESTORATION MORTAR AS DETERMINED BY MORTAR ANALYSIS. COLOR, TEXTURE, AND CHEMICAL COMPOSITION TO BE INFORMED BY ANALYSIS AND ARCHITECT APPROVED
- STOREFRONTS: REPLACE STOREFRONT WINDOW & DOORS WITH NEW INSULATED GLASS STOREFRONT SYSTEM
- UPPER STORY WINDOWS: REPLACE UPPER-STORY WINDOWS WITH NEW WOOD DOUBLE HUNG WINDOWS
- STONE: FILL GAPS AND CLEAN STONE AS REQUIRED
- PAINT: PREP AND PAINT EXISTING CONCRETE WINDOW SILL AND/OR ANY OTHER PAINTED EXTERIOR ELEMENTS

HISTORIC DESIGNATION:
THIS PROPERTY IS PRESUMED TO BE A POTENTIALLY CONTRIBUTING RESOURCE TO A POTENTIAL HISTORIC DISTRICT.

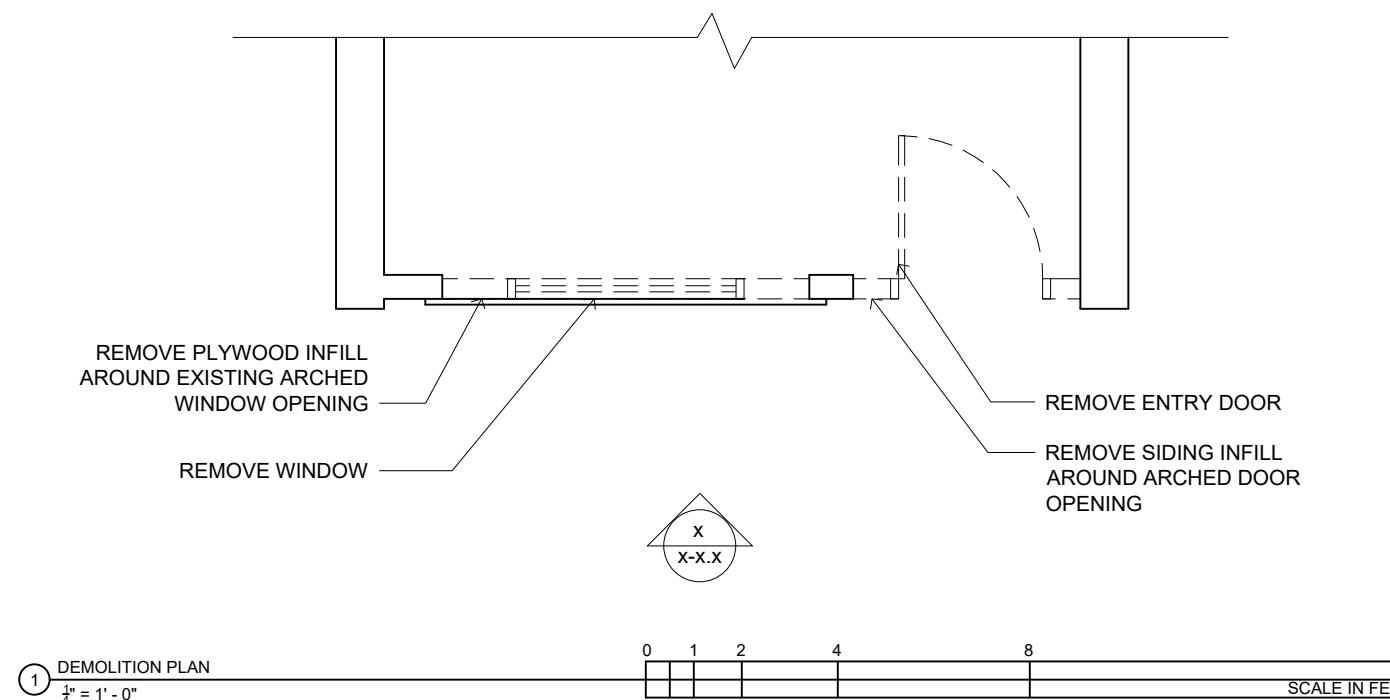


EXISTING PHOTO



EXIRA FAÇADE REHABILITATION

EXIRA, IOWA

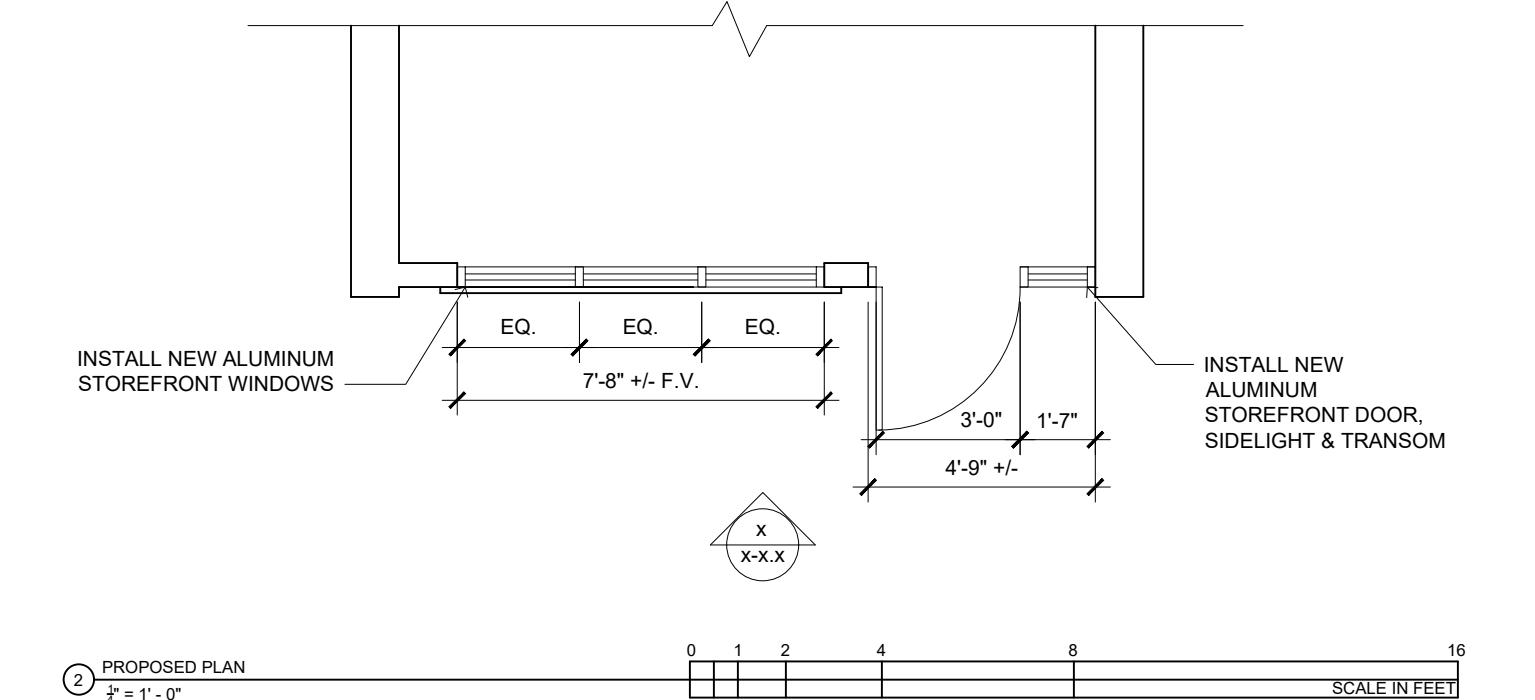


①

DEMOLITION PLAN

$\frac{1}{2} = 1'-0"$

SCALE IN FEET



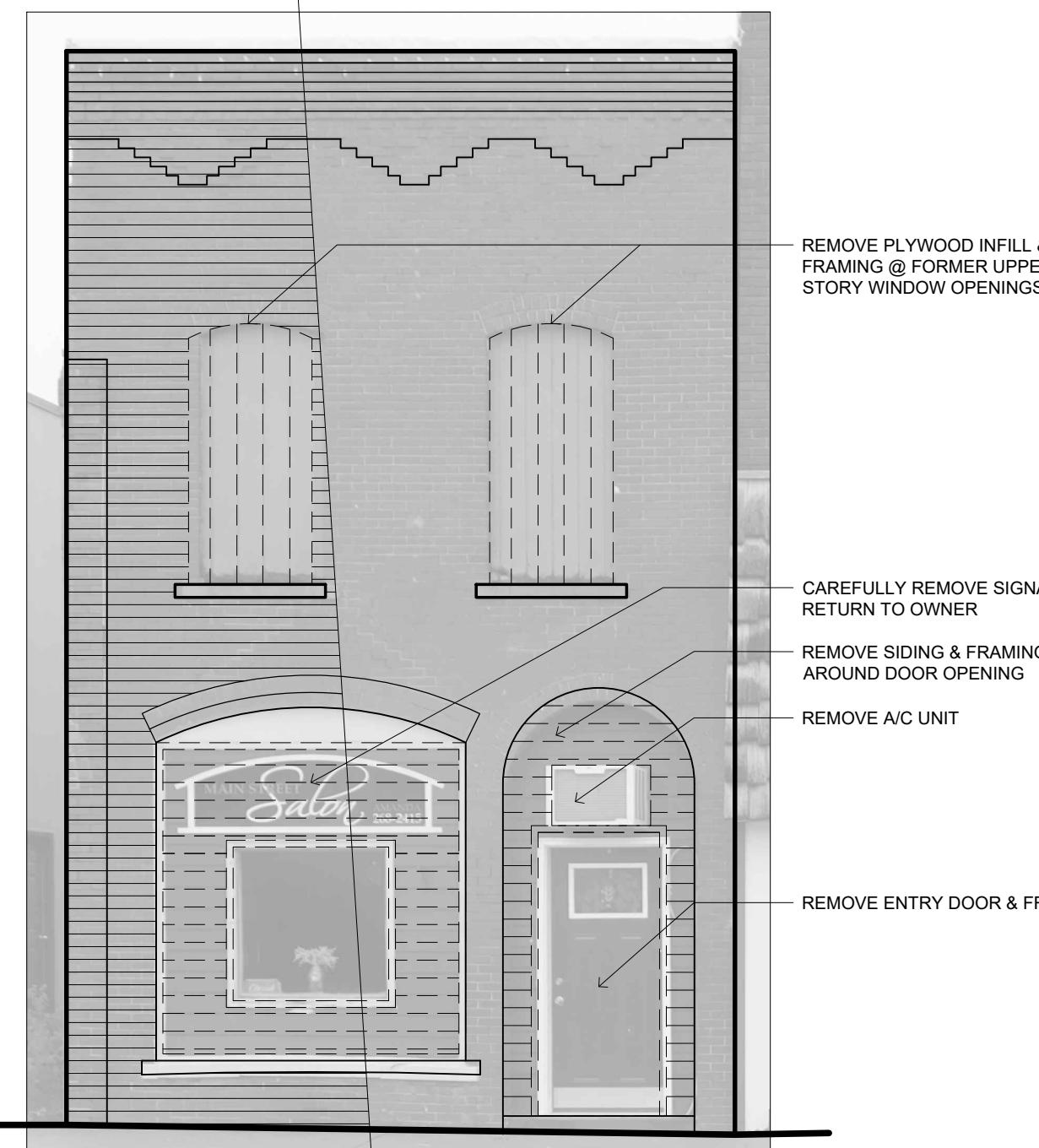
②

PROPOSED PLAN

$\frac{1}{2} = 1'-0"$

SCALE IN FEET

NOTE: PATCH AND REPAIR EXISTING, Affected
INTERIOR SURFACES & COMPONENTS AS
NECESSARY TO PROVIDE A CONTINUOUS FINISH
BETWEEN EXISTING AND NEW WORK.

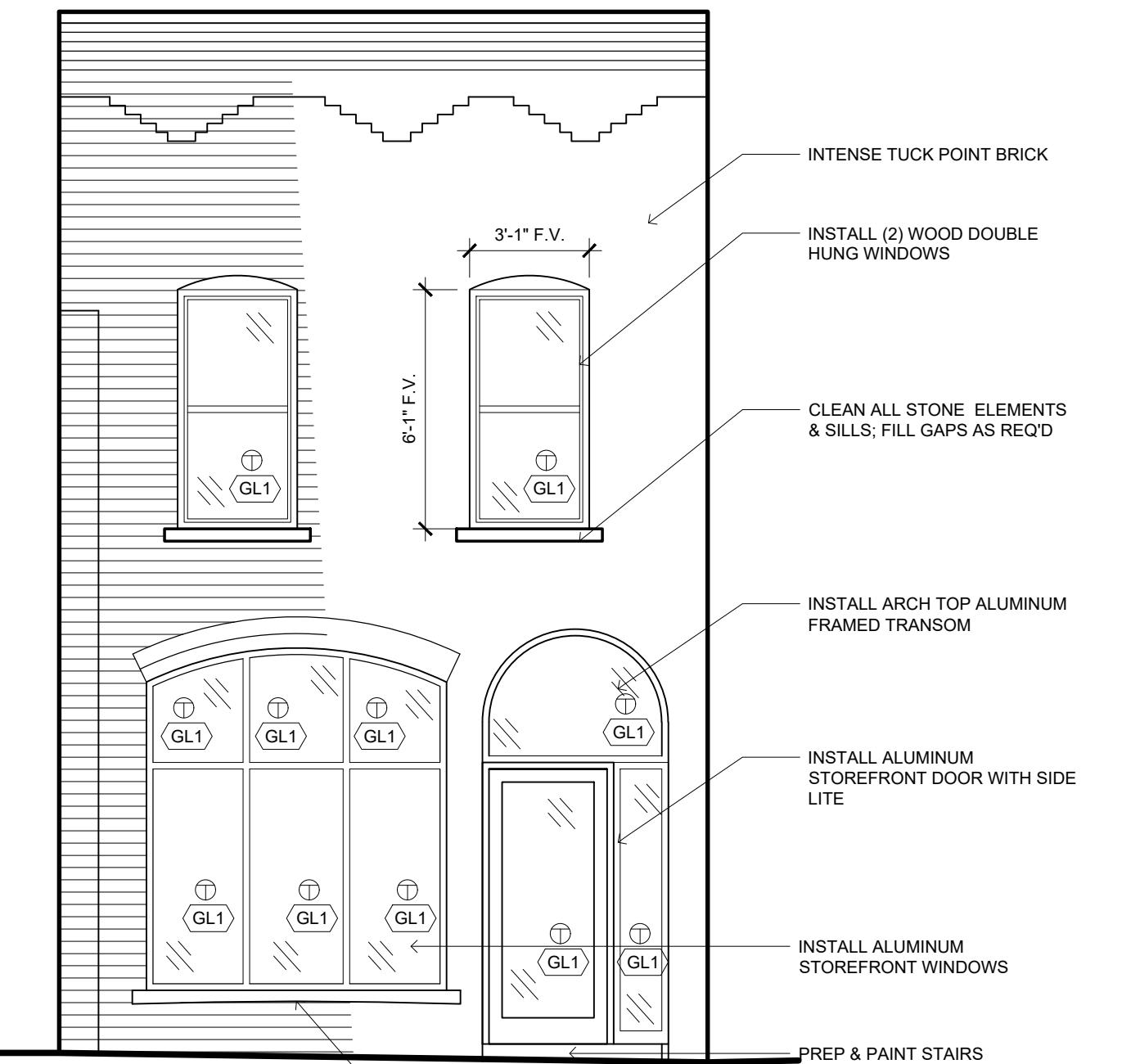


③

DEMO ELEVATION

$\frac{1}{2} = 1'-0"$

SCALE IN FEET

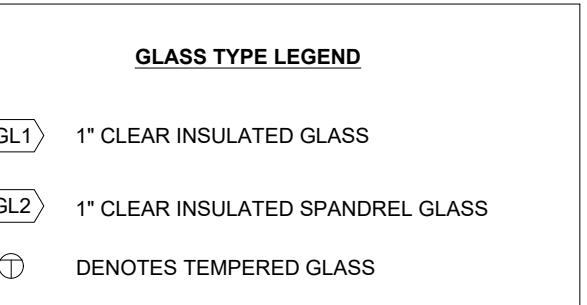


④

PROPOSED ELEVATION

$\frac{1}{2} = 1'-0"$

SCALE IN FEET



GLASS TYPE LEGEND

GL1 1" CLEAR INSULATED GLASS

GL2 1" CLEAR INSULATED SPANDREL GLASS

① DENOTES TEMPERED GLASS

The Franks Design Group, PC

410 First Street
Glenwood, Iowa 51534
712-527-3996

ARCHITECT

THE FRANKS DESIGN GROUP, P.C.
410 FIRST STREET:
GLENWOOD, IOWA 51534
TEL: 712-527-3996

REVISION
1
DATE

DATE: 08 OCTOBER 2025

© COPYRIGHT 2025 THE FRANKS DESIGN GROUP, P.C.

#1A - 105 W. WASHINGTON STREET



EXIRA FAÇADE REHABILITATION

EXIRA, IOWA

SLUM & BLIGHT INVENTORY:

EXTERIOR WALLS: FAIR
STOREFRONTS: POOR
ENTRYWAYS: POOR
WINDOWS: POOR
FRONT FOUNDATION: NOT VISIBLE
PORCH, STAIRS, DECK RAMP: N/A
AWNINGS/SIGNAGE: NONE
ROOF: NOT OBSERVED

PROPOSED SCOPE OF WORK:

- MASONRY REPAIR/RESTORATION: TUCK POINT EXPOSED BRICK WITH APPROPRIATE RESTORATION MORTAR AS DETERMINED BY MORTAR ANALYSIS, COLOR, TEXTURE, AND CHEMICAL COMPOSITION TO BE INFORMED BY ANALYSIS AND ARCHITECT APPROVED
- UPPER STORY WINDOWS: REPLACE UPPER-STORY WINDOWS WITH NEW WOOD DOUBLE HUNG WINDOWS; INSTALL NEW CAST STONE SILL UNDER UPPER STORY WINDOW
- EFIS: INSTALL NEW EFIS WHERE EXISTING EFIS WAS PREVIOUSLY INSTALLED
- PAINT: PREP AND PAINT EXISTING NEW/EXISTING EFIS OR EXTERIOR MATERIAL WITH PANELIZED MULTI-COLOR SCHEME INCLUDING UPPERSORY WINDOWS .

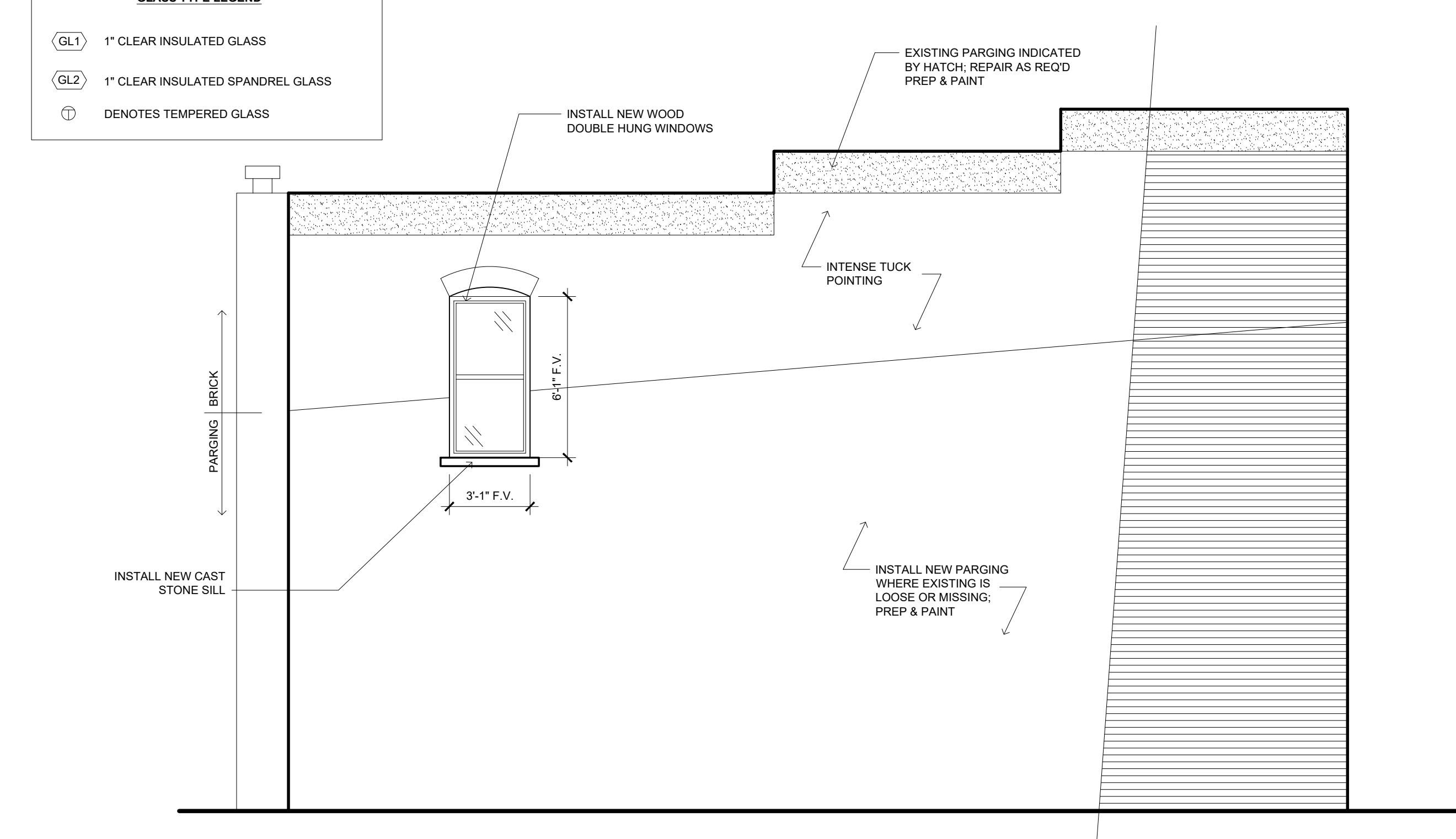
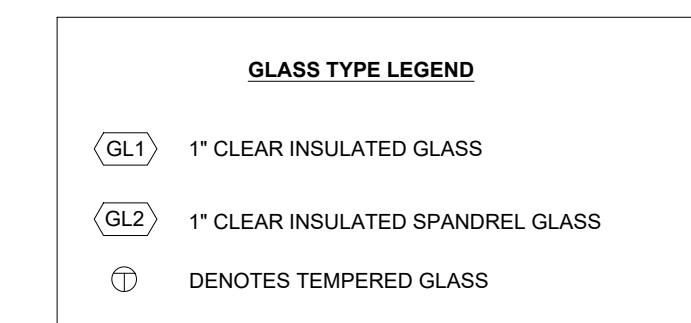
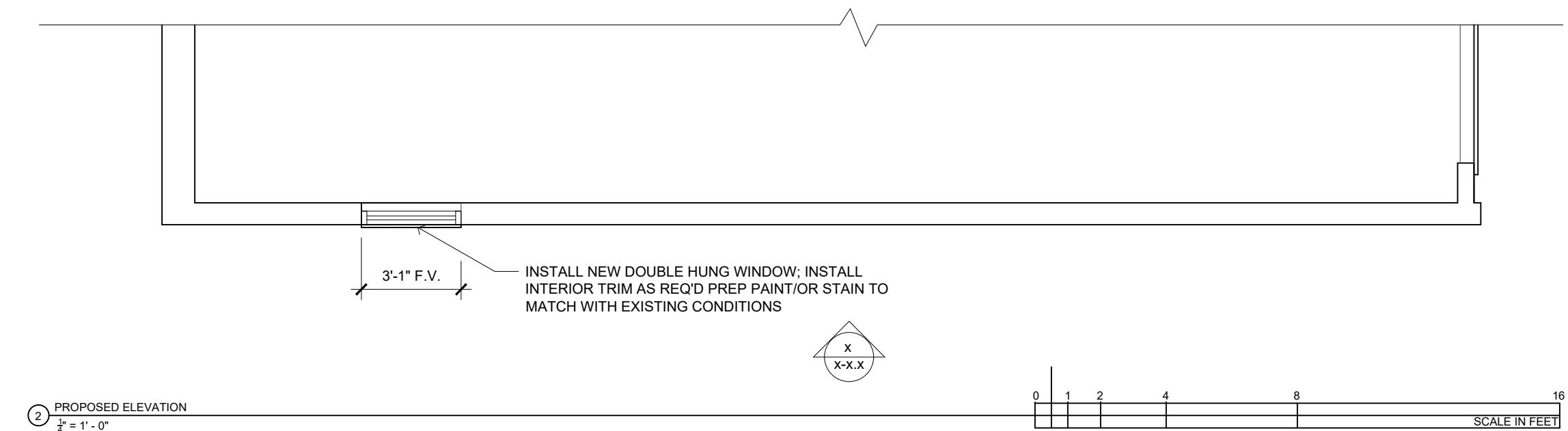
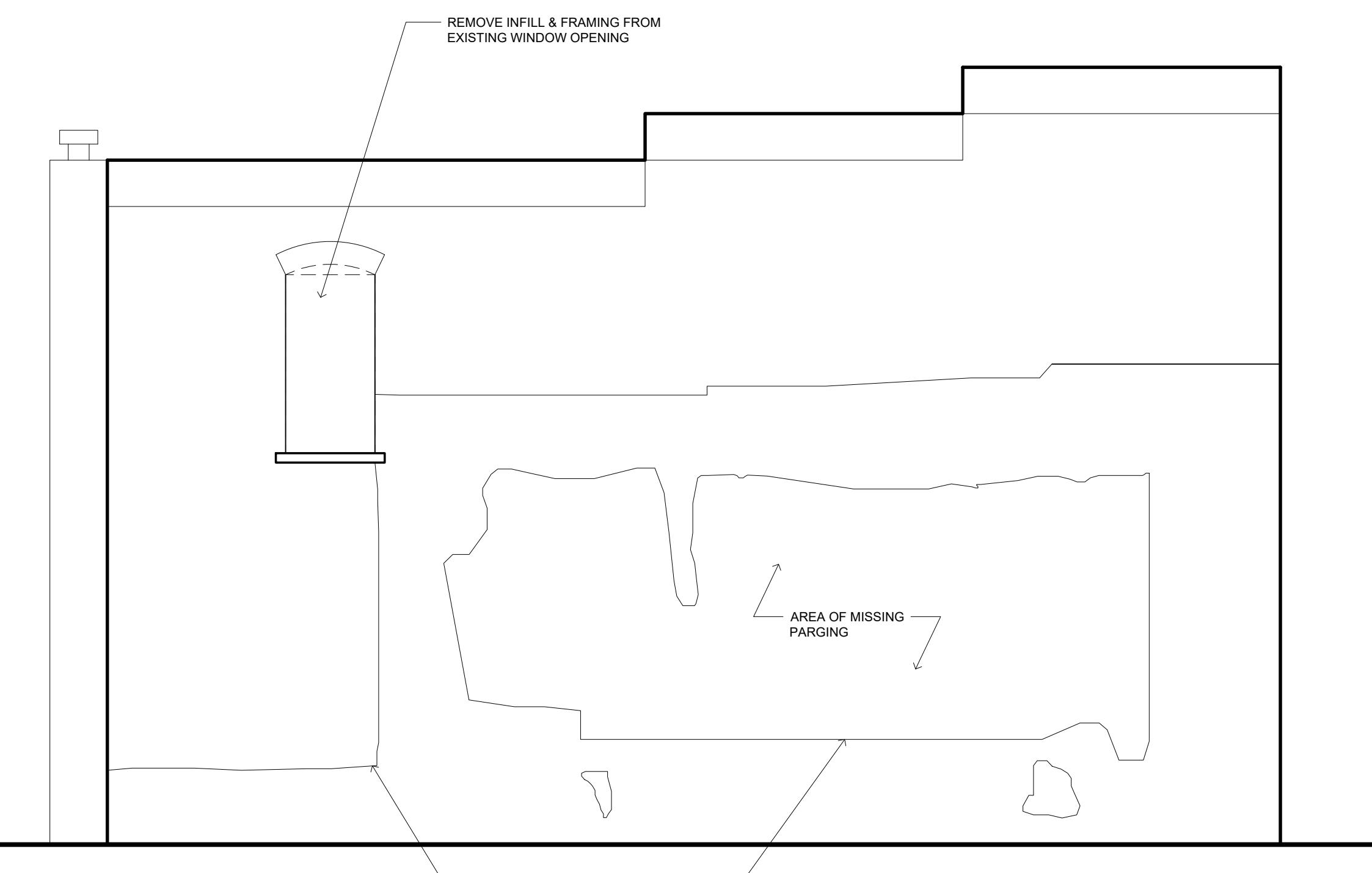
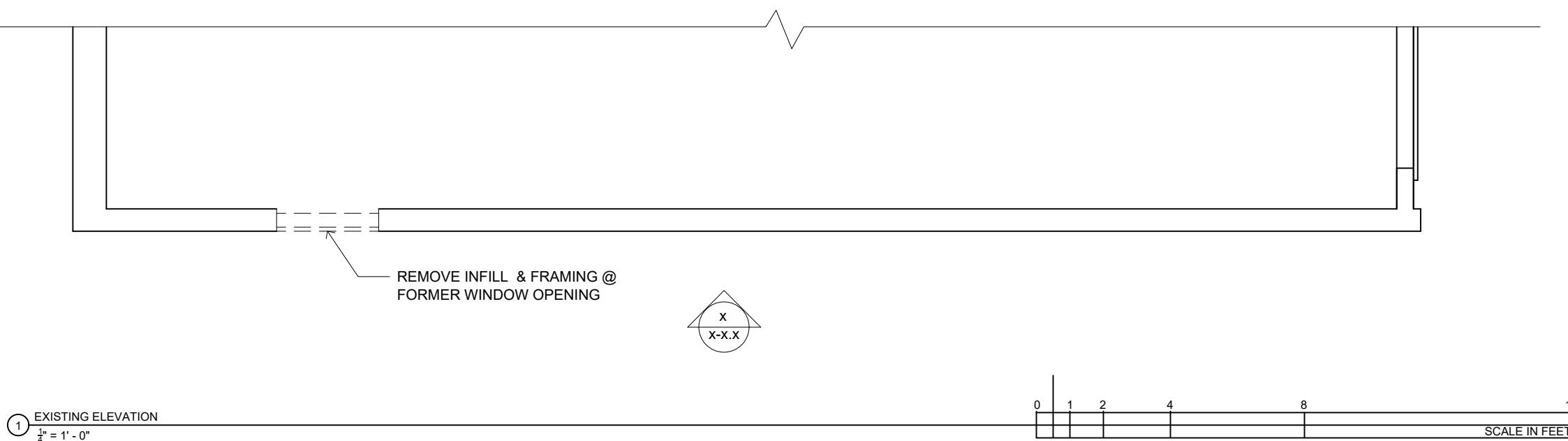
HISTORIC DESIGNATION:

THIS PROPERTY IS PRESUMED TO BE A POTENTIALLY CONTRIBUTING RESOURCE TO A POTENTIAL HISTORIC DISTRICT.



EXISTING PHOTO

NOTE: PATCH AND REPAIR EXISTING, AFFECTED
INTERIOR SURFACES & COMPONENTS AS
NECESSARY TO PROVIDE A CONTINUOUS FINISH
BETWEEN EXISTING AND NEW WORK.



The Franks Design Group, PC

410 First Street
Glenwood, Iowa 51534
712.527.3996

ARCHITECT

THE FRANKS DESIGN GROUP, P.C.
410 FIRST STREET;
GLENWOOD, IOWA 51534
TEL: 712-527-3996

REVISION DATE
1

DATE: 08 OCTOBER 2025

© COPYRIGHT 2025 THE FRANKS DESIGN GROUP, P.C.

#1B - 105 W. WASHINGTON STREET

SLUM & BLIGHT INVENTORY:

EXTERIOR WALLS: FAIR
STOREFRONTS: POOR
ENTRYWAYS: POOR
WINDOWS: POOR
FRONT FOUNDATION: FAIR
PORCH, STAIRS, DECK, RAMP: FAIR
AWNINGS/SIGNAGE: NONE
ROOF: POOR

PROPOSED SCOPE OF WORK:

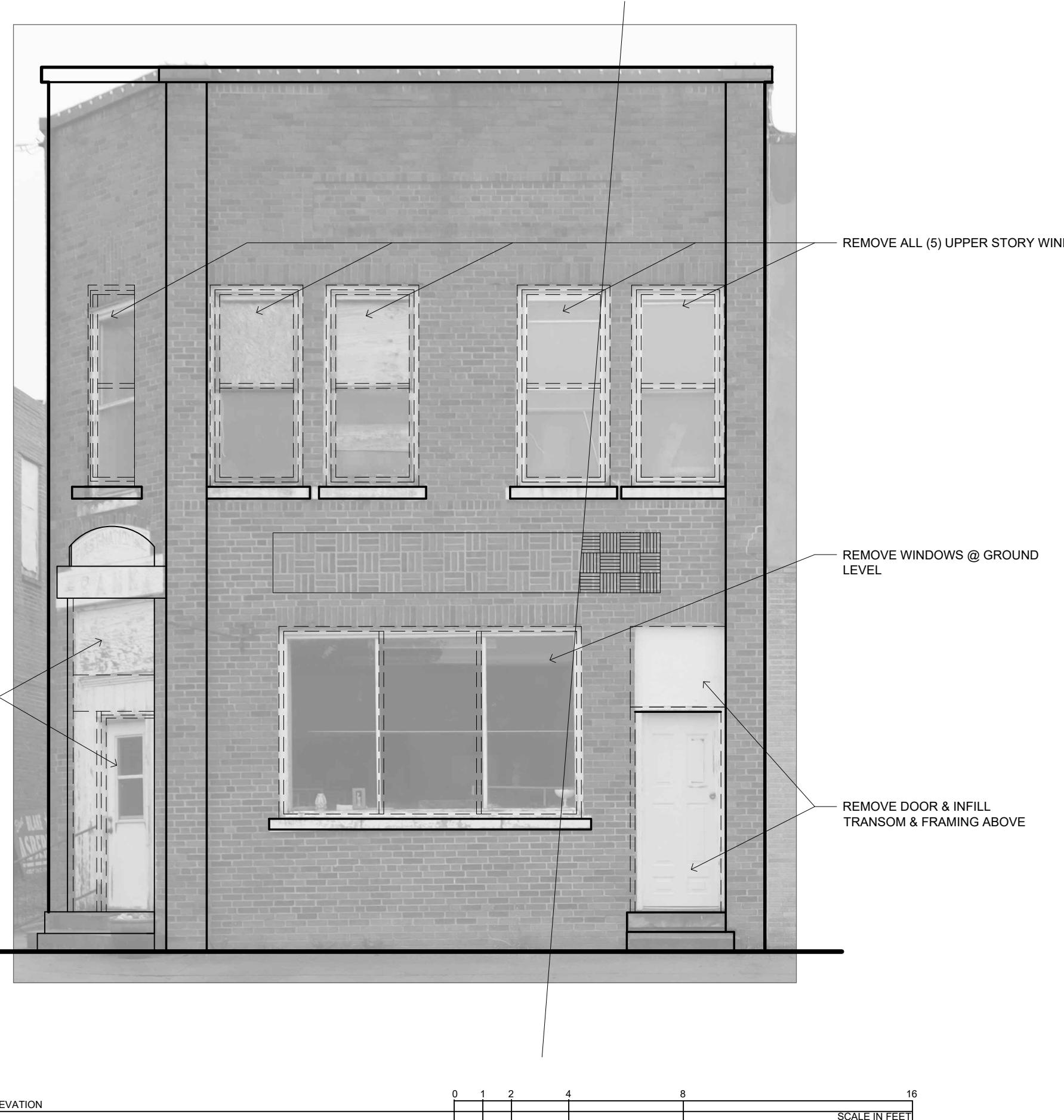
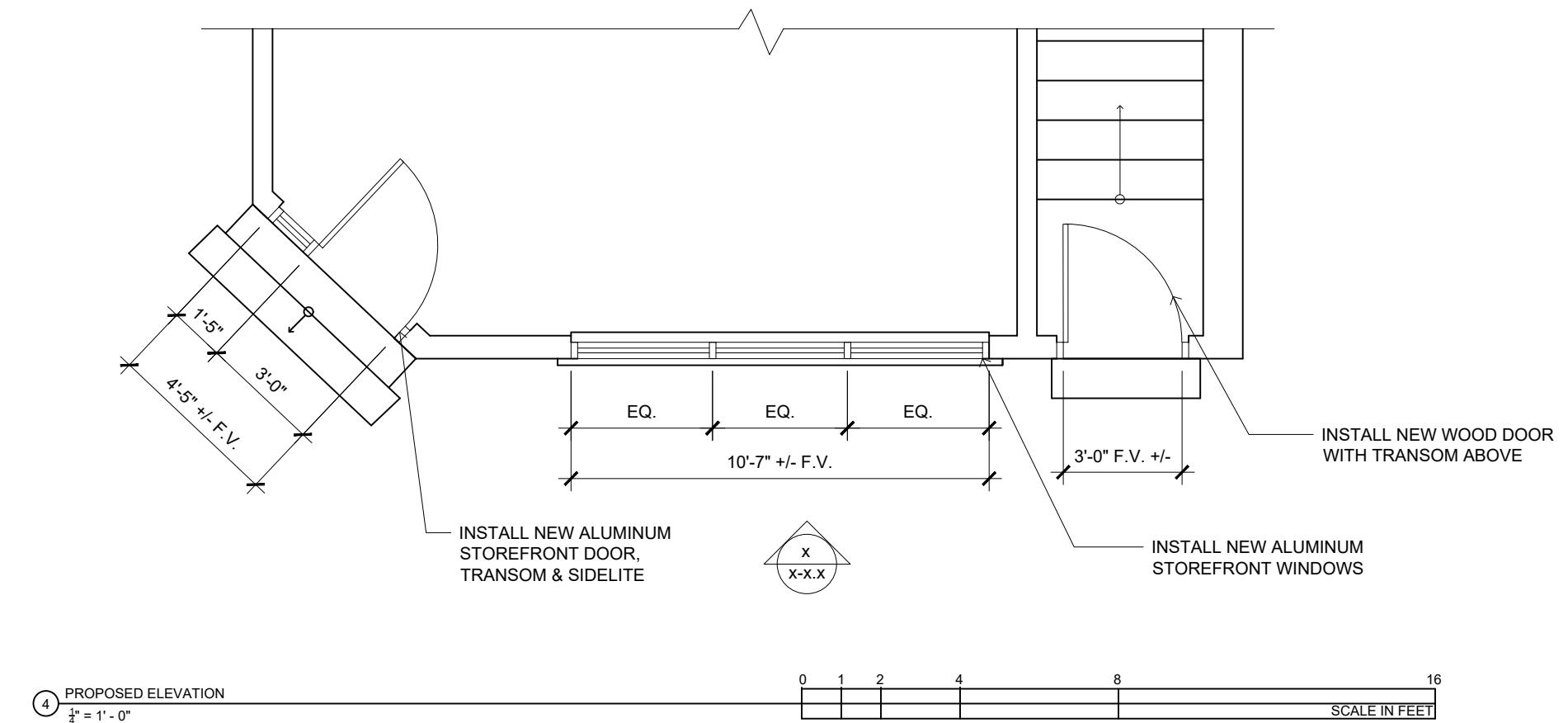
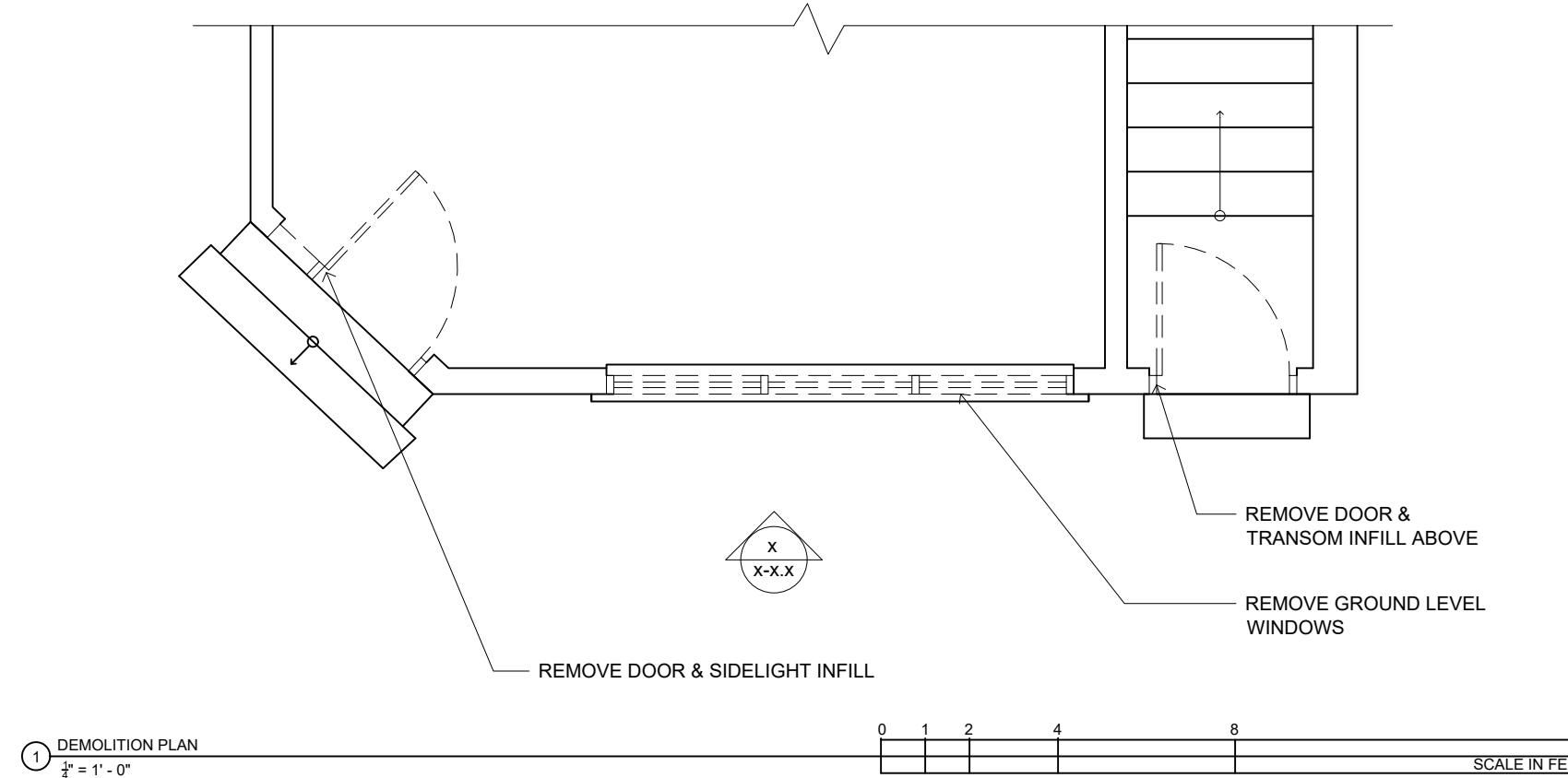
- MASONRY REPAIR/RESTORATION: TUCK POINT EXPOSED BRICK WITH APPROPRIATE RESTORATION MORTAR AS DETERMINED BY MORTAR ANALYSIS. COLOR, TEXTURE, AND CHEMICAL COMPOSITION TO BE INFORMED BY ANALYSIS AND ARCHITECT APPROVED
- STOREFRONTS: REPLACE STOREFRONT WINDOW & DOORS WITH NEW INSULATED GLASS STOREFRONT SYSTEM
- UPPER STORY WINDOWS: REPLACE UPPER-STORY WINDOWS WITH NEW WOOD DOUBLE HUNG.
- FRONT FOUNDATION: CAULK AT FOUNDATION AS REQUIRED.
- PAINT: PREP AND PAINT EXISTING CORNICE OR EXTERIOR MATERIAL WITH PANELIZED MULTI-COLOR SCHEME INCLUDING UPPERSTORY WINDOWS .

HISTORIC DESIGNATION:
THIS PROPERTY IS PRESUMED TO BE A POTENTIALLY CONTRIBUTING RESOURCE TO A POTENTIAL HISTORIC DISTRICT.



EXIRA FAÇADE REHABILITATION

EXIRA, IOWA



The Franks Design Group, PC

410 First Street
Glenwood, Iowa 51534
712-527-3996

ARCHITECT
THE FRANKS DESIGN GROUP, P.C.
410 FIRST STREET:
GLENWOOD, IOWA 51534
TEL: 712-527-3996

REVISION
1

DATE

DATE: 08 OCTOBER 2025

© COPYRIGHT 2025 THE FRANKS DESIGN GROUP, P.C.

#2A - 109 W. WASHINGTON STREET

SLUM & BLIGHT INVENTORY:

EXTERIOR WALLS: POOR
STOREFRONTS: POOR
ENTRYWAYS: POOR
WINDOWS: POOR
FRONT FOUNDATION: FAIR
PORCH, STAIRS, DECK, RAMP: NONE
AWNINGS/SIGNAGE: NONE
ROOF: POOR

PROPOSED SCOPE OF WORK:

ROOF: REMOVE WOOD DECKING AT PRIMARY SURFACE & TO MASONRY PARAPETS & OTHER VERTICAL SURFACES- NEW ROOF TO BE FULLY ADHERED TPO MEMBRANE SYSTEM OVER POLY ISO INSULATION.

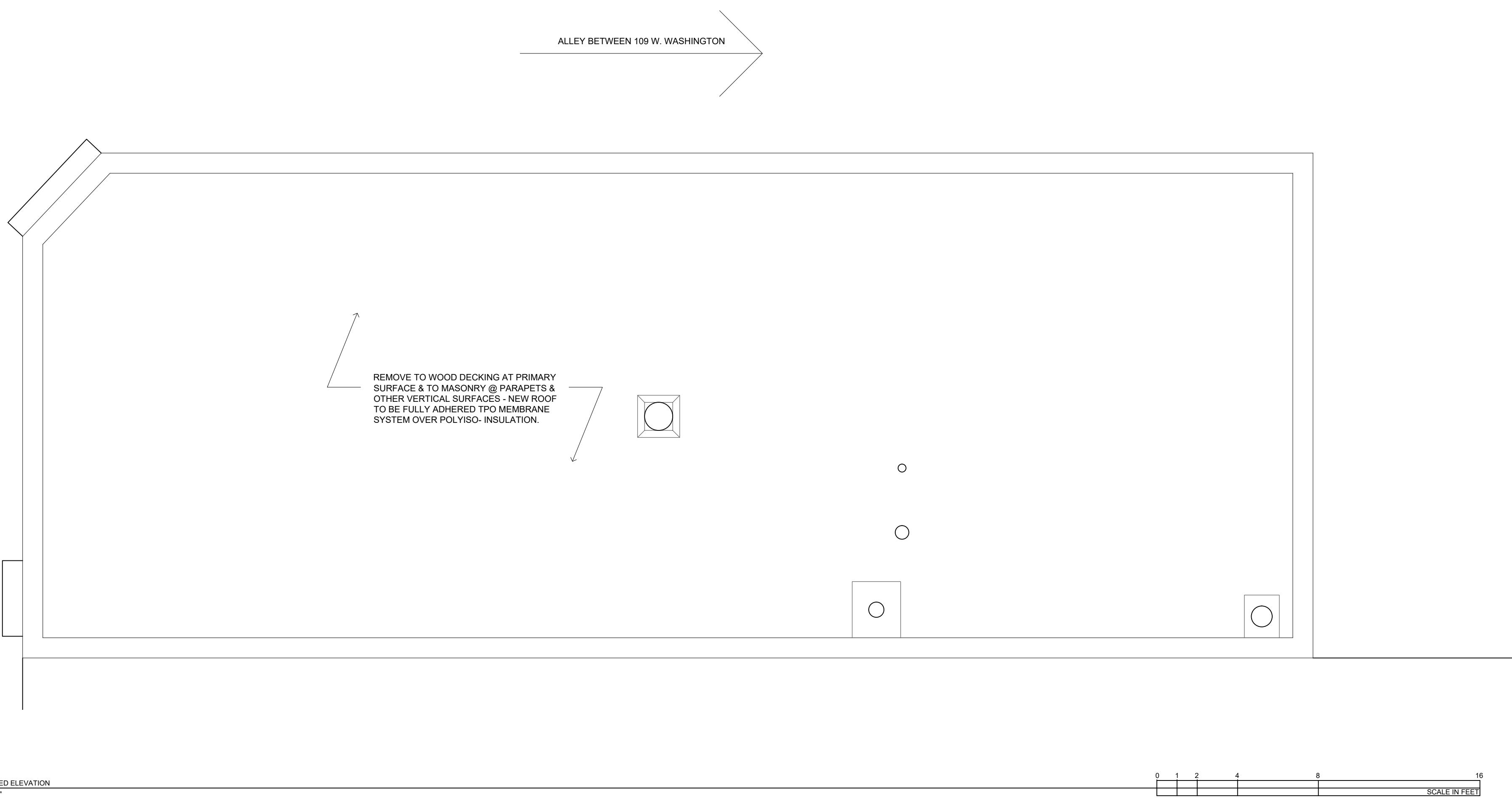
HISTORIC DESIGNATION:

THIS PROPERTY IS PRESUMED TO BE A POTENTIALLY CONTRIBUTING RESOURCE TO A POTENTIAL HISTORIC DISTRICT.

**EXIRA
FAÇADE
REHABILITATION**

EXIRA, IOWA

The Franks Design Group, PC

410 First Street
Glenwood, Iowa 51534
712.527.3996**ARCHITECT**THE FRANKS DESIGN GROUP, P.C.
410 FIRST STREET;
GLENWOOD, IOWA 51534
TEL: 712.527.3996REVISION DATE
1

DATE:

© COPYRIGHT 2025 THE FRANKS DESIGN GROUP, P.C.



EXIRA FAÇADE REHABILITATION

EXIRA, IOWA

SLUM & BLIGHT INVENTORY:

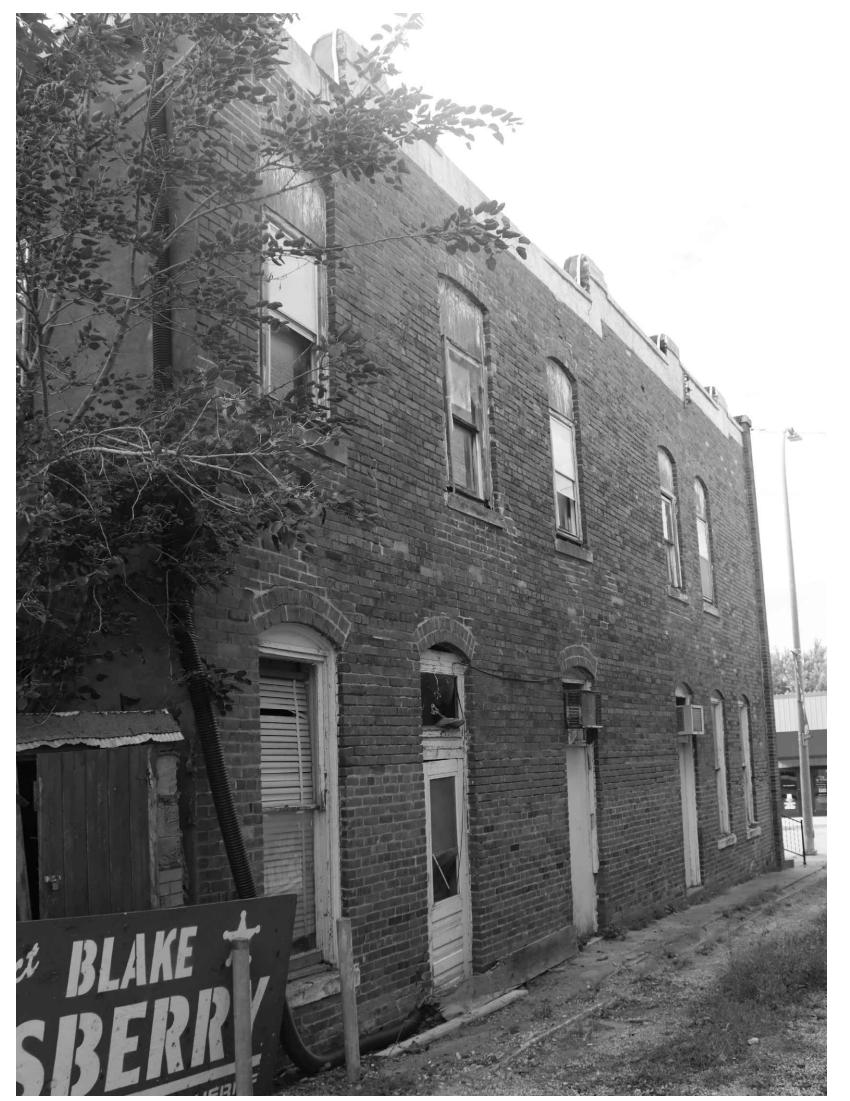
EXTERIOR WALLS: POOR
STOREFRONTS: POOR
ENTRYWAYS: POOR
WINDOWS: POOR
FRONT FOUNDATION: FAIR
PORCH, STAIRS, DECK, RAMP: NONE
AWNINGS/SIGNAGE: NONE
ROOF: POOR

PROPOSED SCOPE OF WORK:

- MASONRY REPAIR/RESTORATION: TUCK POINT EXPOSED BRICK WITH APPROPRIATE RESTORATION MORTAR AS DETERMINED BY MORTAR ANALYSIS. COLOR, TEXTURE, AND CHEMICAL COMPOSITION TO BE INFORMED BY ANALYSIS AND ARCHITECT APPROVED
- STOREFRONTS: REPLACE STOREFRONT DOORS WITH NEW INSULATED GLASS STOREFRONT SYSTEM
- UPPER STORY WINDOWS: REPLACE UPPER-STORY WINDOWS WITH NEW
- STRUCTURAL REPAIRS: STRUCTURALLY STABILIZE THE BUILDING AS REQUIRED.
- PAINT: PREP AND PAINT EXISTING CORNICE OR EXTERIOR MATERIAL WITH PANELIZED MULTI-COLOR SCHEME INCLUDING UPPERSTORY WINDOWS .

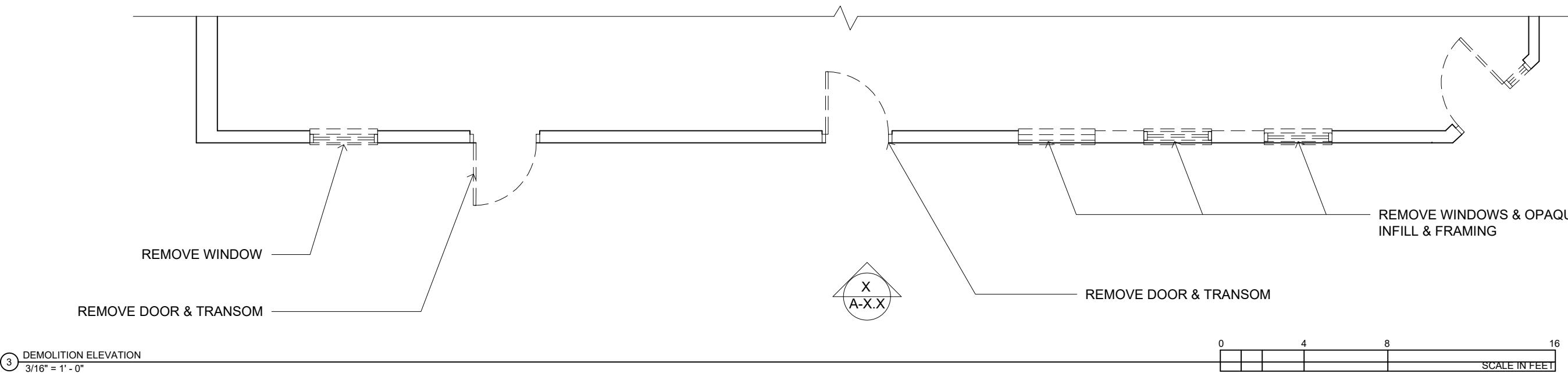
HISTORIC DESIGNATION:

THIS PROPERTY IS PRESUMED TO BE A POTENTIALLY CONTRIBUTING RESOURCE TO A POTENTIAL HISTORIC DISTRICT.

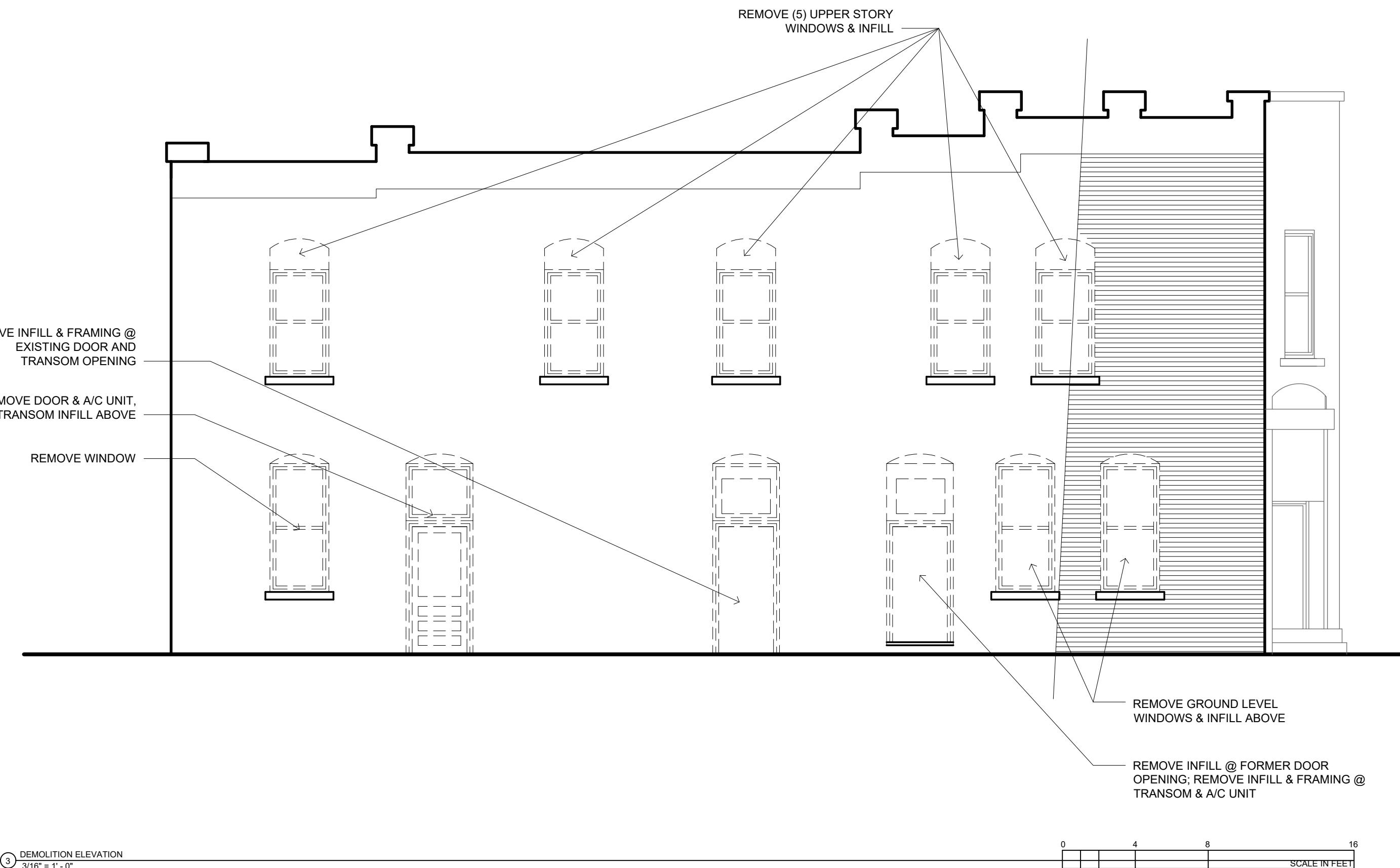


EXISTING PHOTO

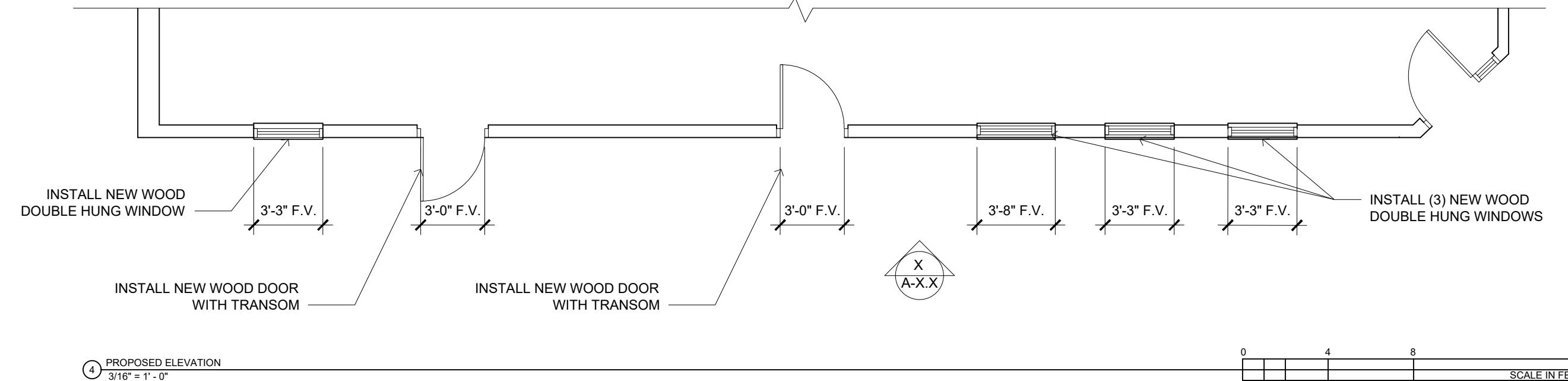
NOTE: PATCH AND REPAIR EXISTING, AFFECTED
INTERIOR SURFACES & COMPONENTS AS
NECESSARY TO PROVIDE A CONTINUOUS FINISH
BETWEEN EXISTING AND NEW WORK.



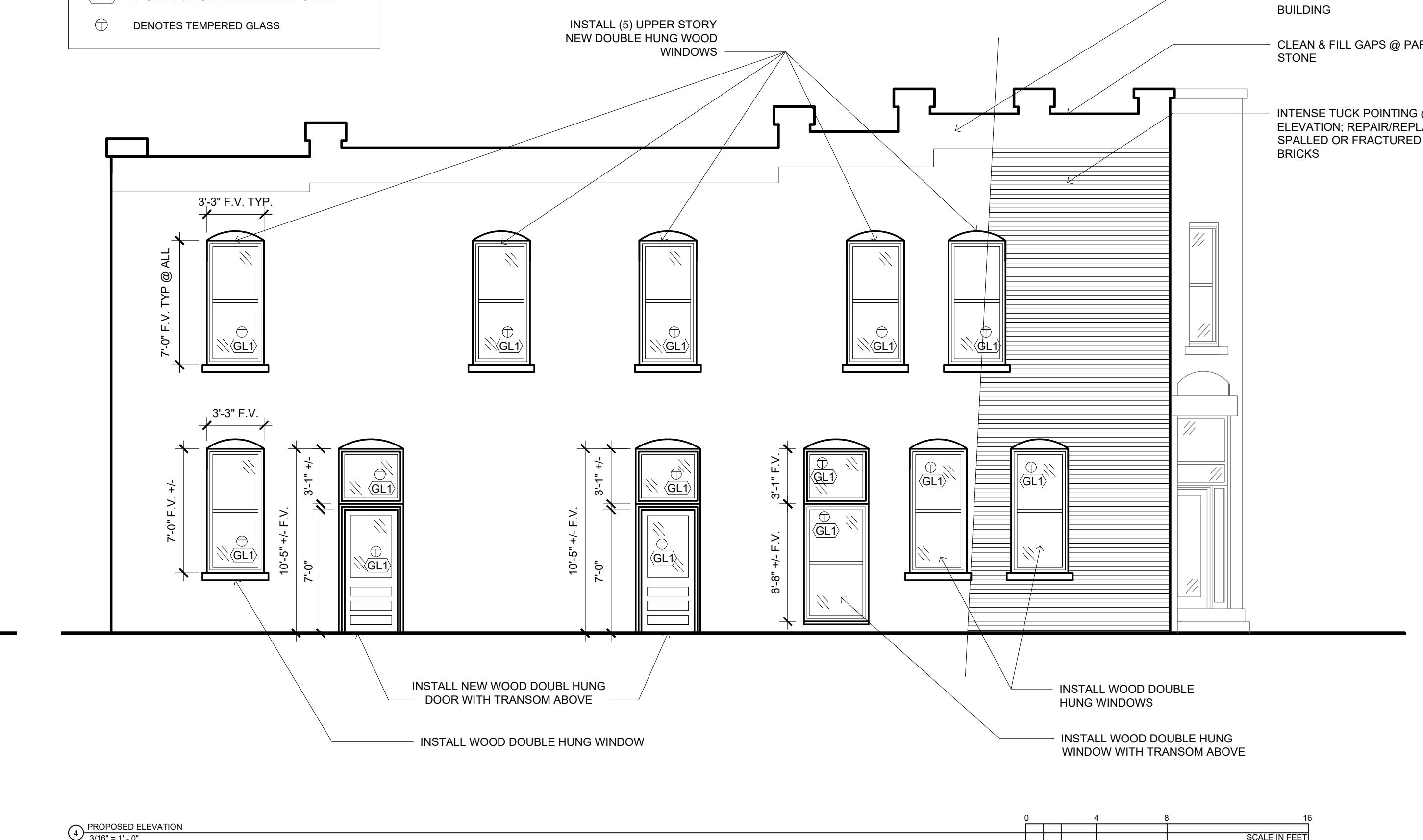
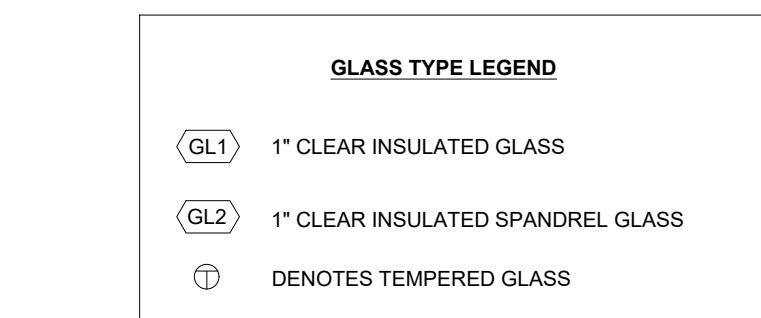
DEMOLITION ELEVATION



DEMOLITION ELEVATION



PROPOSED ELEVATION
3'-16" = 1'-0"



PROPOSED ELEVATION
3'-16" = 1'-0"

The Franks Design Group, PC

410 First Street
Glenwood, Iowa 51534
712-527-3996

ARCHITECT

THE FRANKS DESIGN GROUP, P.C.
410 FIRST STREET;
GLENWOOD, IOWA 51534
TEL: 712-527-3996

REVISION DATE

1

DATE:

© COPYRIGHT 2025 THE FRANKS DESIGN GROUP, P.C.

SLUM & BLIGHT INVENTORY:

EXTERIOR WALLS: NOT EVALUATED YET
 STOREFRONTS: NOT EVALUATED YET
 ENTRYWAYS: NOT EVALUATED YET
 WINDOWS: NOT EVALUATED YET
 FRONT FOUNDATION: NOT EVALUATED YET
 PORCH, STAIRS, DECK, RAMP: NOT EVALUATED YET
 AWNINGS/SIGNAGE: NOT EVALUATED YET
 ROOF: NOT EVALUATED YET

PROPOSED SCOPE OF WORK:

- MASONRY REPAIR/RESTORATION: LIGHT TUCK POINT EXPOSED BRICK WITH APPROPRIATE RESTORATION MORTAR AS DETERMINED BY MORTAR ANALYSIS. COLOR, TEXTURE, AND CHEMICAL COMPOSITION TO BE INFORMED BY ANALYSIS AND ARCHITECT APPROVED CLEAN BRICK
- STOREFRONTS: REPLACE STOREFRONT WINDOW & DOORS WITH NEW INSULATED GLASS STOREFRONT SYSTEM
- UPPER STORY WINDOWS: REPLACE UPPER-STORY WINDOWS WITH NEW
- FRONT FOUNDATION: CAULK AT FOUNDATION AS REQUIRED.
- ROOF: INSTALL NEW ROOFING
- PAINT: PREP AND PAINT EXISTING CORNICE OR EXTERIOR MATERIAL WITH PANELIZED MULTI-COLOR SCHEME INCLUDING UPPERSTORY WINDOWS .

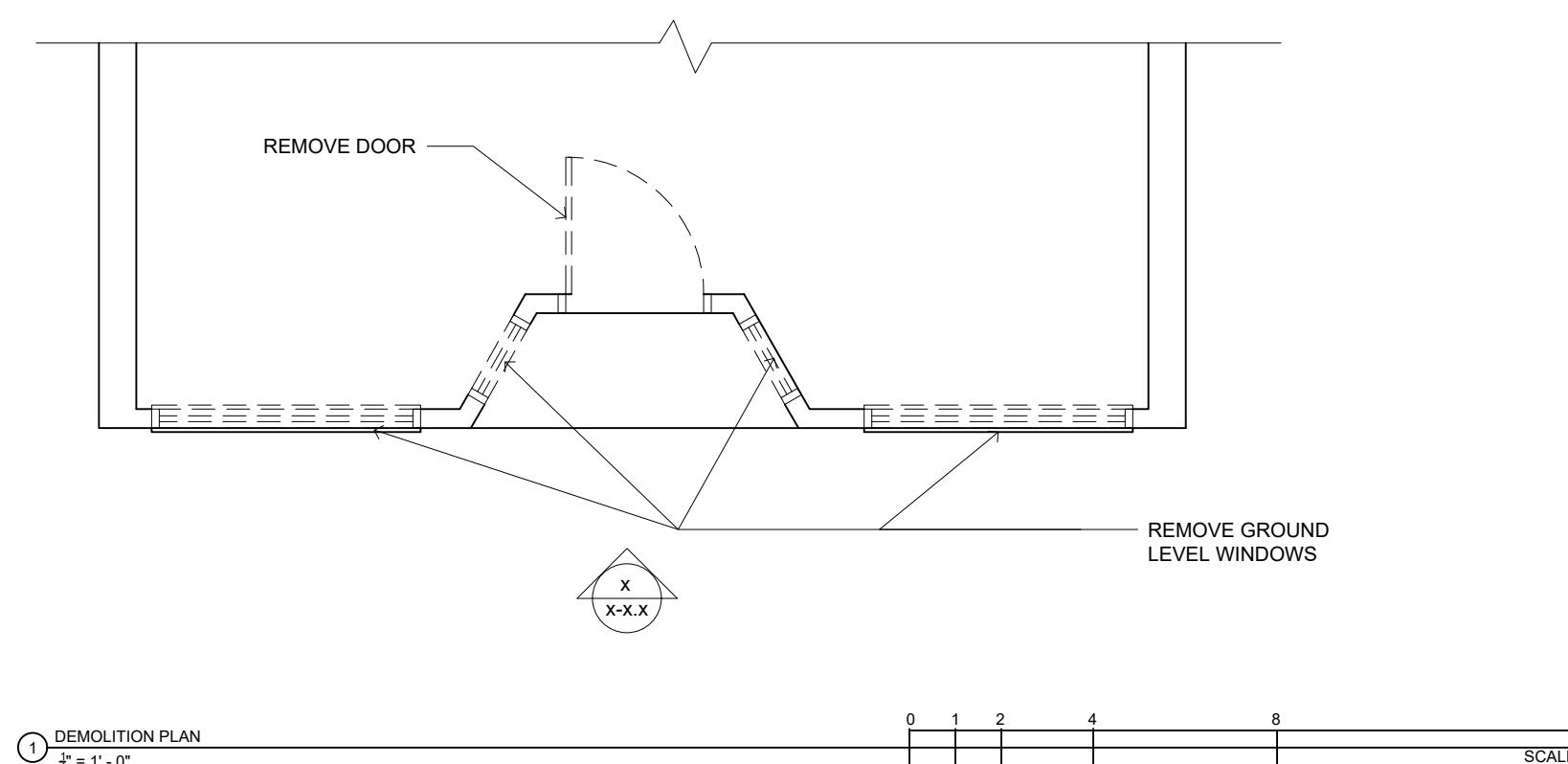
HISTORIC DESIGNATION:

THIS PROPERTY IS PRESUMED TO BE A POTENTIALLY CONTRIBUTING RESOURCE TO A POTENTIAL HISTORIC DISTRICT.

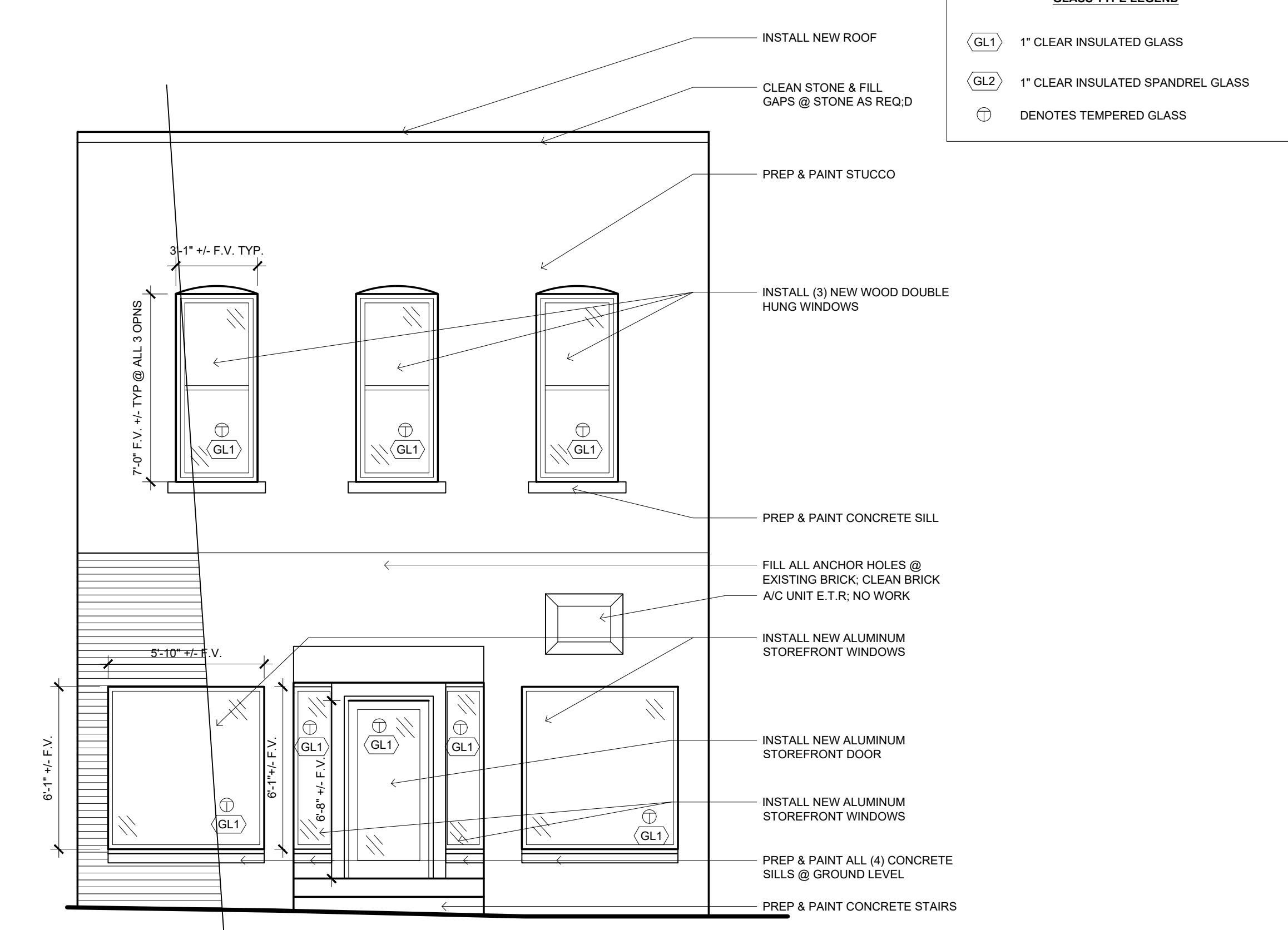
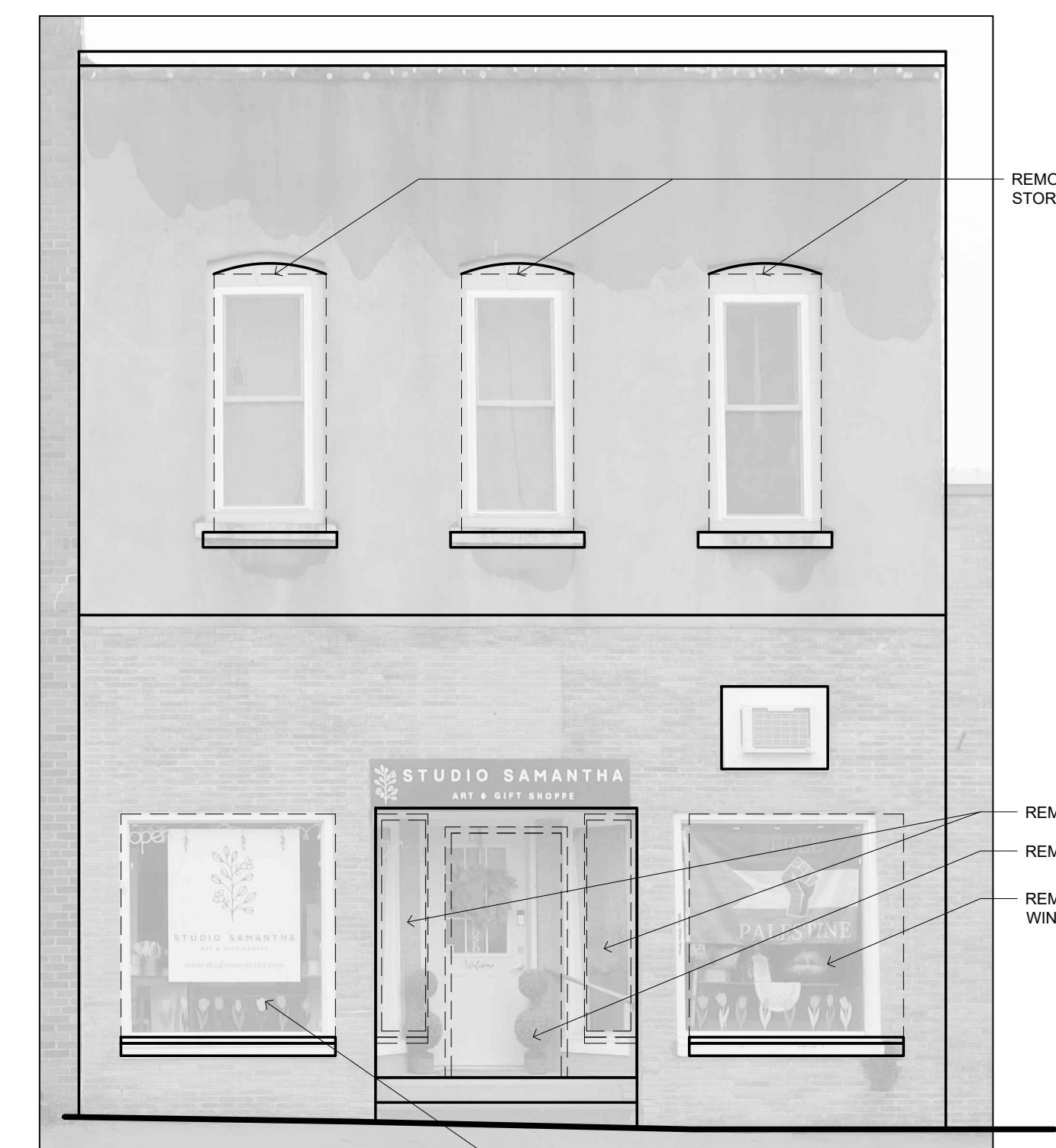
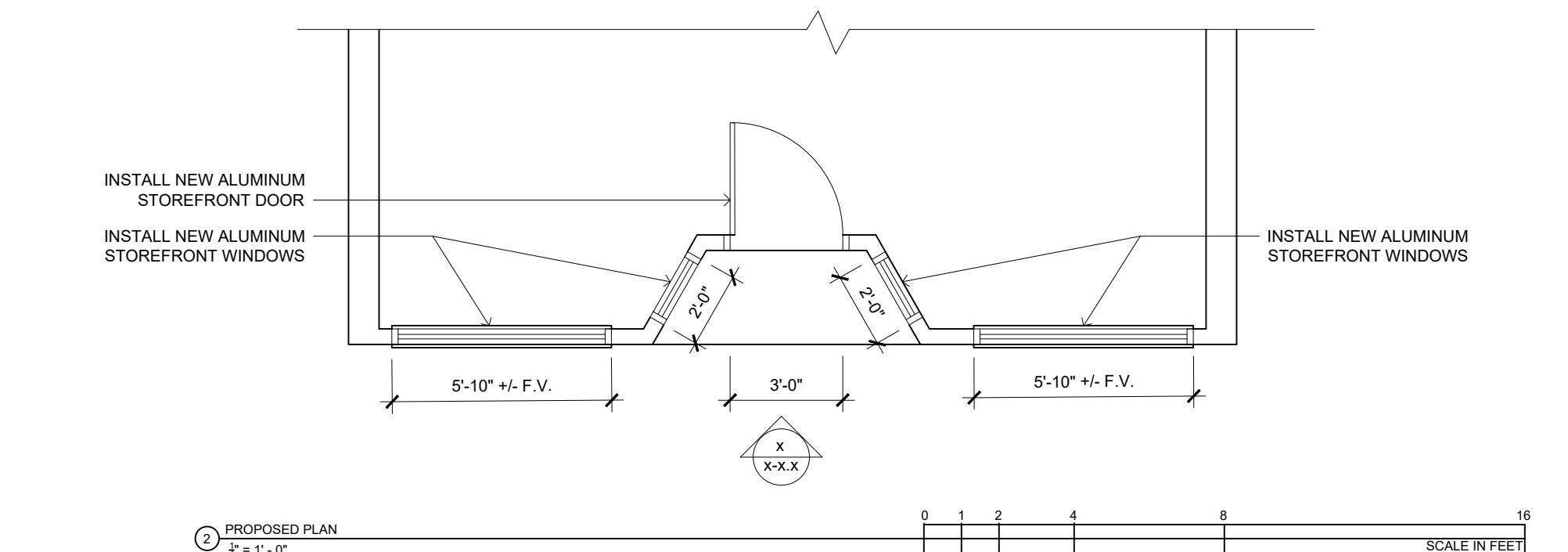


EXIRA FAÇADE REHABILITATION

EXIRA, IOWA



NOTE: PATCH AND REPAIR EXISTING, Affected
INTERIOR SURFACES & COMPONENTS AS
NECESSARY TO PROVIDE A CONTINUOUS FINISH
BETWEEN EXISTING AND NEW WORK.



The Franks Design Group, PC
410 First Street
Glenwood, Iowa 51534
712.527.3996

ARCHITECT
THE FRANKS DESIGN GROUP, P.C.
410 FIRST STREET
GLENWOOD, IOWA 51534
TEL: 712-527-3996



EXIRA FAÇADE REHABILITATION

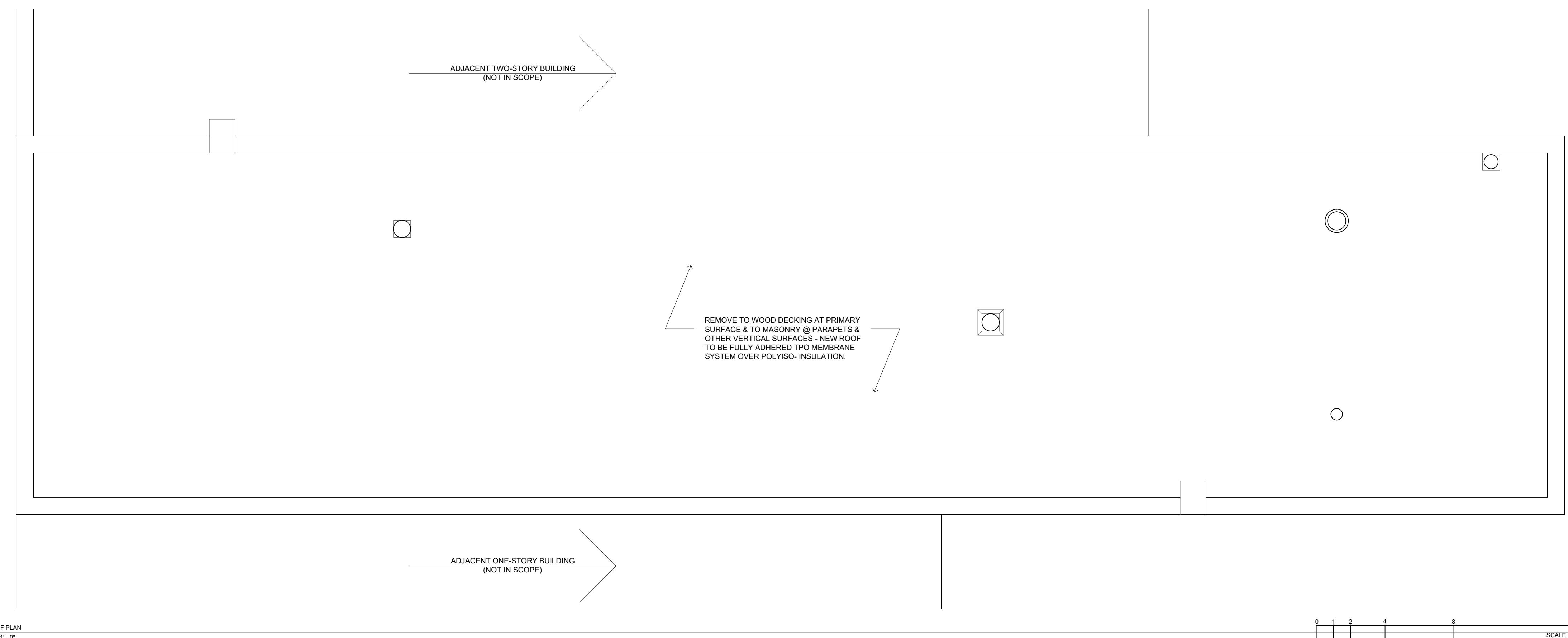
EXIRA, IOWA

The Franks Design Group, PC

410 First Street
Glenwood, Iowa 51534
712.527.3996

ARCHITECT

THE FRANKS DESIGN GROUP, P.C.
410 FIRST STREET
GLENWOOD, IOWA 51534
TEL: 712.527.3996



REVISION DATE
1

DATE:
© COPYRIGHT 2025 THE FRANKS DESIGN GROUP, P.C.

SLUM & BLIGHT INVENTORY:

EXTERIOR WALLS: NOT EVALUATED YET
STOREFRONTS: NOT EVALUATED YET
ENTRYWAYS: NOT EVALUATED YET
WINDOWS: NOT EVALUATED YET
FRONT FOUNDATION: NOT EVALUATED YET
PORCH, STAIRS, DECK, RAMP: NOT EVALUATED YET
AWNINGS/SIGNAGE: NOT EVALUATED YET
ROOF: NOT EVALUATED YET

PROPOSED SCOPE OF WORK:

- ROOF: REMOVE WOOD DECKING AT PRIMARY SURFACE & TO MASONRY PARAPETS & OTHER VERTICAL SURFACES- NEW ROOF TO BE FULLY ADHERED TPO MEMBRANE SYSTEM OVER POLY ISO INSULATION.

HISTORIC DESIGNATION:

THIS PROPERTY IS PRESUMED TO BE A POTENTIALLY CONTRIBUTING RESOURCE TO A POTENTIAL HISTORIC DISTRICT.



EXIRA FAÇADE REHABILITATION

EXIRA, IOWA

SLUM & BLIGHT INVENTORY:

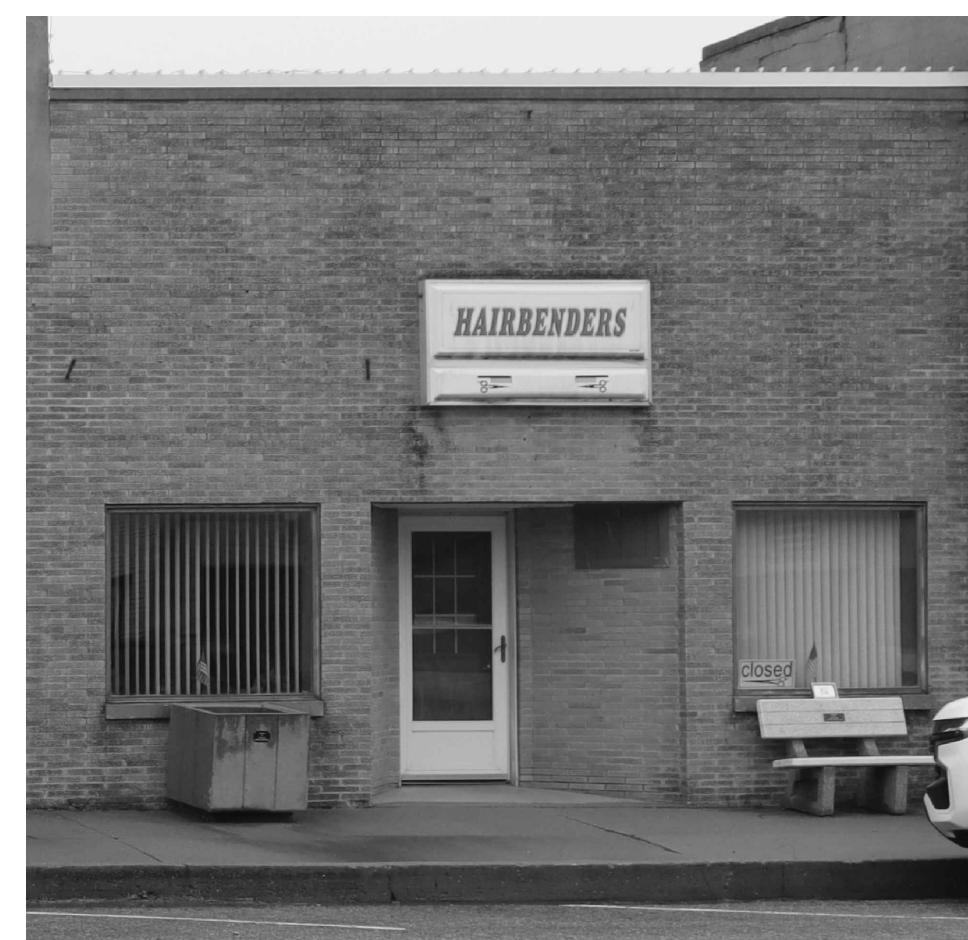
EXTERIOR WALLS: FAIR
STOREFRONTS: FAIR
ENTRYWAYS: FAIR
UPPER STORY WINDOWS: NONE
FRONT FOUNDATION: NOT VISIBLE
PORCH, STAIRS, DECK RAMP: NONE
AWNINGS/SIGNAGE: FAIR
ROOF: POOR

PROPOSED SCOPE OF WORK:

- MASONRY REPAIR/RESTORATION: LIGHT TUCK POINT EXPOSED BRICK WITH APPROPRIATE RESTORATION MORTAR AS DETERMINED BY MORTAR ANALYSIS. COLOR, TEXTURE, AND CHEMICAL COMPOSITION TO BE INFORMED BY ANALYSIS AND ARCHITECT APPROVED
- STOREFRONTS: REPLACE STOREFRONT WINDOW & DOORS WITH NEW INSULATED GLASS STOREFRONT SYSTEM
- PAINT: PREP AND PAINT EXISTING CONCRETE WINDOW SILLS, AND OPAQUE INFILL AS REQUIRED
- SIGNAGE: EXISTING SIGNAGE TO REMAIN; CLEAN AS REQUIRED

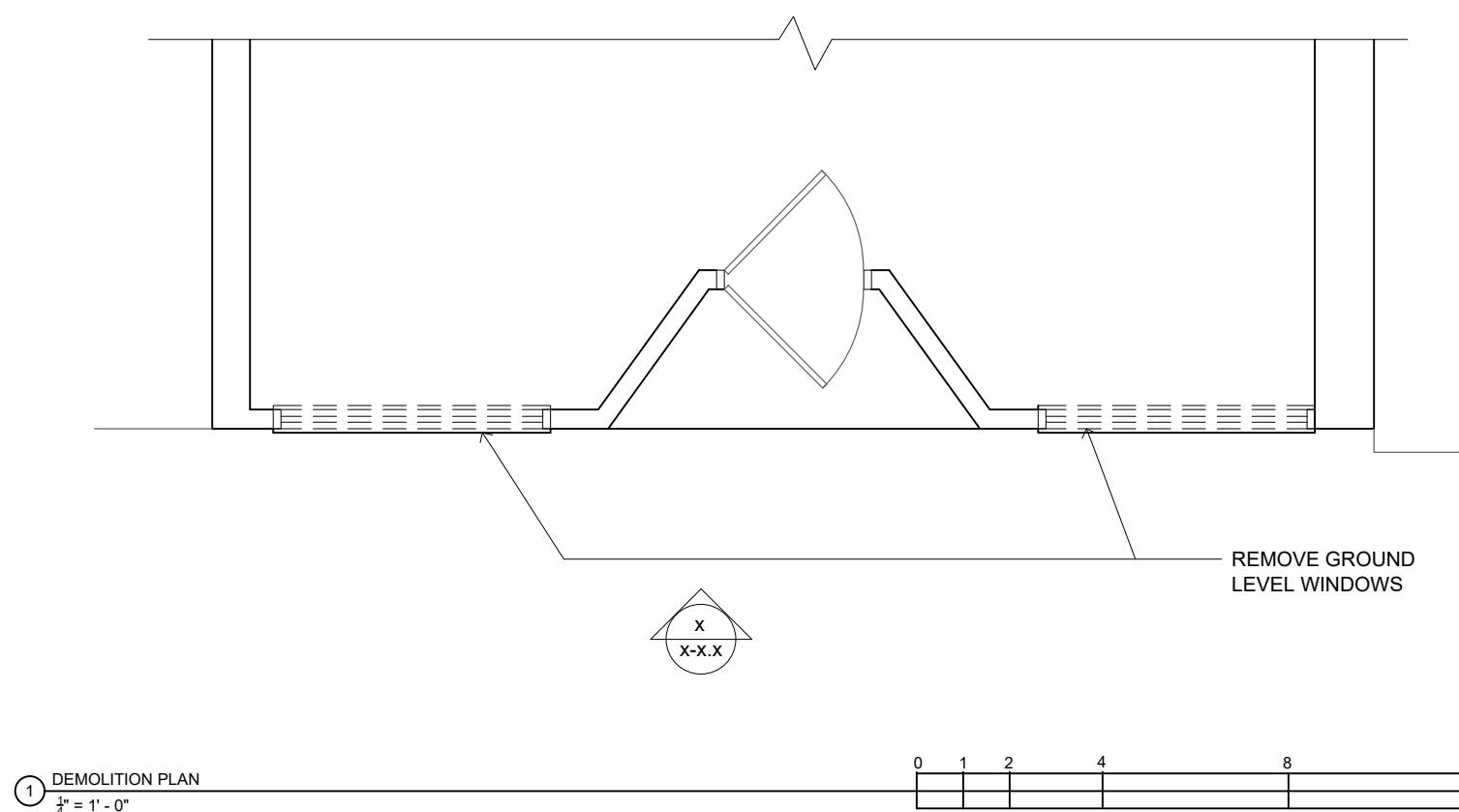
HISTORIC DESIGNATION:

THIS PROPERTY IS PRESUMED TO BE A POTENTIALLY CONTRIBUTING RESOURCE TO A POTENTIAL HISTORIC DISTRICT.



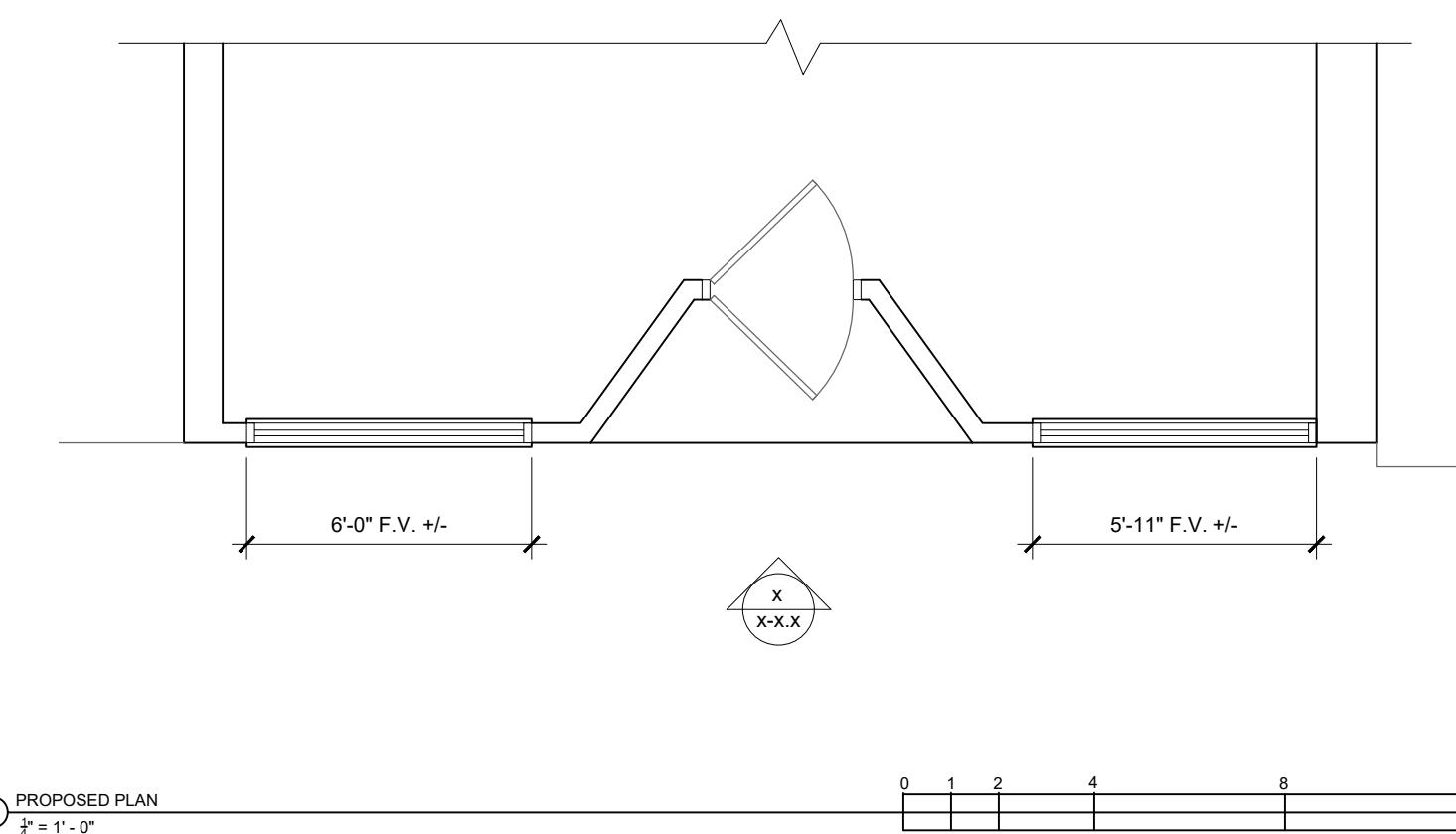
EXISTING PHOTO

NOTE: PATCH AND REPAIR EXISTING, AFFECTIONED
INTERIOR SURFACES & COMPONENTS AS
NECESSARY TO PROVIDE A CONTINUOUS FINISH
BETWEEN EXISTING AND NEW WORK.



REMOVE GROUND
LEVEL WINDOWS

① DEMOLITION PLAN
 $\frac{1}{2} = 1'-0"$

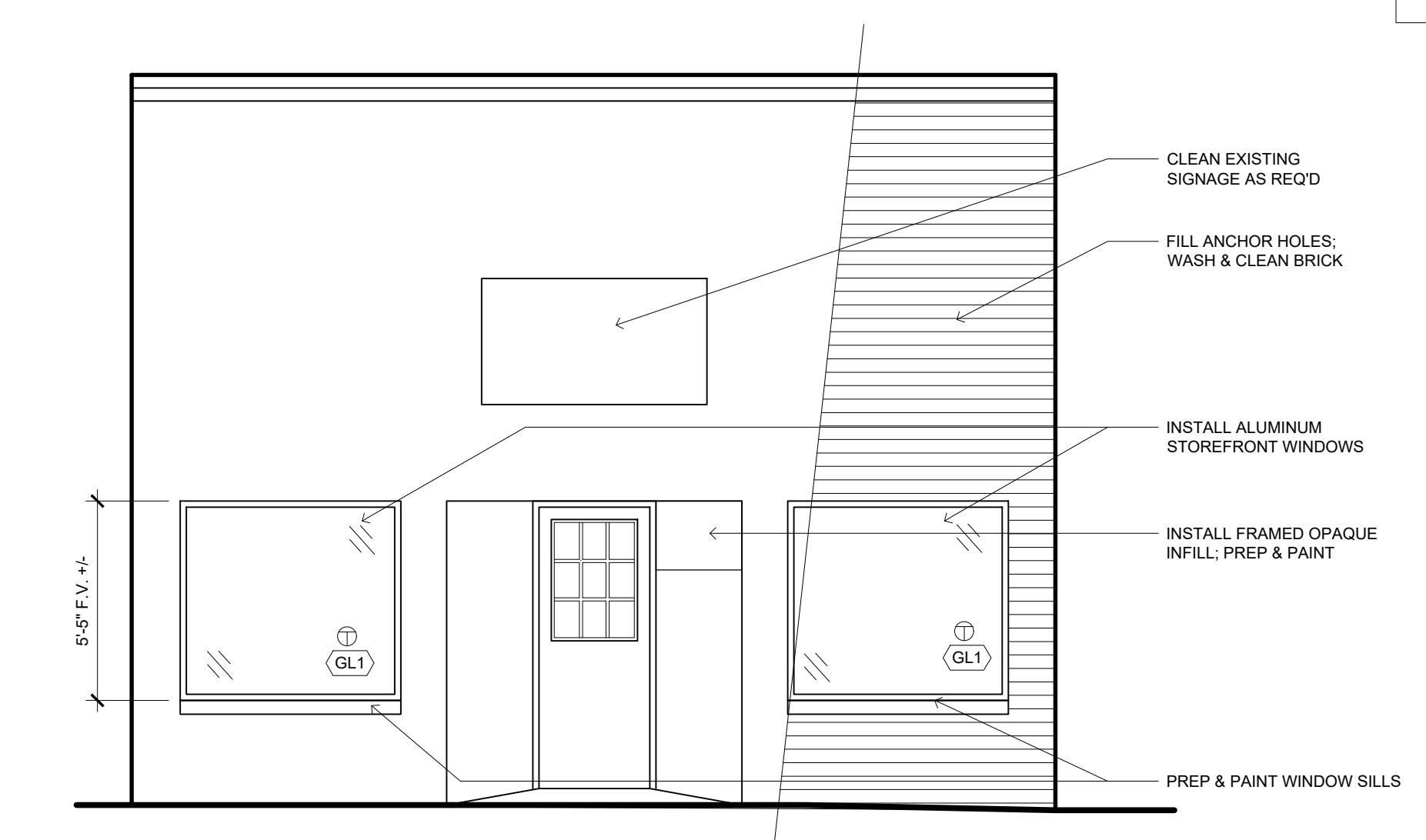


② PROPOSED PLAN
 $\frac{1}{2} = 1'-0"$



REMOVE WINDOWS

③ DEMOLITION ELEVATION
 $\frac{1}{2} = 1'-0"$



④ PROPOSED ELEVATION
 $\frac{1}{2} = 1'-0"$

GLASS TYPE LEGEND
 GL1 1" CLEAR INSULATED GLASS
 GL2 1" CLEAR INSULATED SPANDREL GLASS
 T DENOTES TEMPERED GLASS

REVISION 1 DATE

DATE:

© COPYRIGHT 2025 THE FRANKS DESIGN GROUP, P.C.

The Franks Design Group, PC
410 First Street
Glenwood, Iowa 51534
712.527.3996

ARCHITECT
THE FRANKS DESIGN GROUP, P.C.
410 FIRST STREET:
GLENWOOD, IOWA 51534
TEL: 712-527-3996



EXIRA FAÇADE REHABILITATION

EXIRA, IOWA

The Franks Design Group, PC

410 First Street
Glenwood, Iowa 51534
712.527.3996

ARCHITECT

THE FRANKS DESIGN GROUP, P.C.
410 FIRST STREET:
GLENWOOD, IOWA 51534
TEL: 712-527-3996

SLUM & BLIGHT INVENTORY:

EXTERIOR WALLS: FAIR
STOREFRONTS: FAIR/POOR
ENTRYWAYS: POOR
WINDOWS: N/A
FRONT FOUNDATION: NOT VISIBLE
PORCH, STAIRS, DECK RAMP: N/A
AWNINGS/SIGNAGE: FAIR
OTHER: OVERHEAD DOORS - POOR

PROPOSED SCOPE OF WORK:

- MASONRY REPAIR/RESTORATION: TUCK POINT EXPOSED BLOCK WITH APPROPRIATE MORTAR AS DETERMINED BY MORTAR ANALYSIS, COLOR, TEXTURE, AND CHEMICAL COMPOSITION TO BE INFORMED BY ANALYSIS AND ARCHITECT APPROVED
- STOREFRONTS: REPLACE STOREFRONT WINDOWS @ GROUND LEVEL WITH NEW INSULATED GLASS ALUMINUM FRAMED STOREFRONT SYSTEM, INCLUDING NEW OVERHEAD DOORS AS INDICATED BY DRAWING ELEVATION.
- OVERHEAD DOORS: INSTALL NEW OVERHEAD DOORS
- PAINT: PREP AND PAINT EXISTING BLOCKING OR EXTERIOR MATERIAL.
- MASONRY INFILLS: INSTALL NEW FACE BRICK @ EXISTING MASONRY OPENINGS

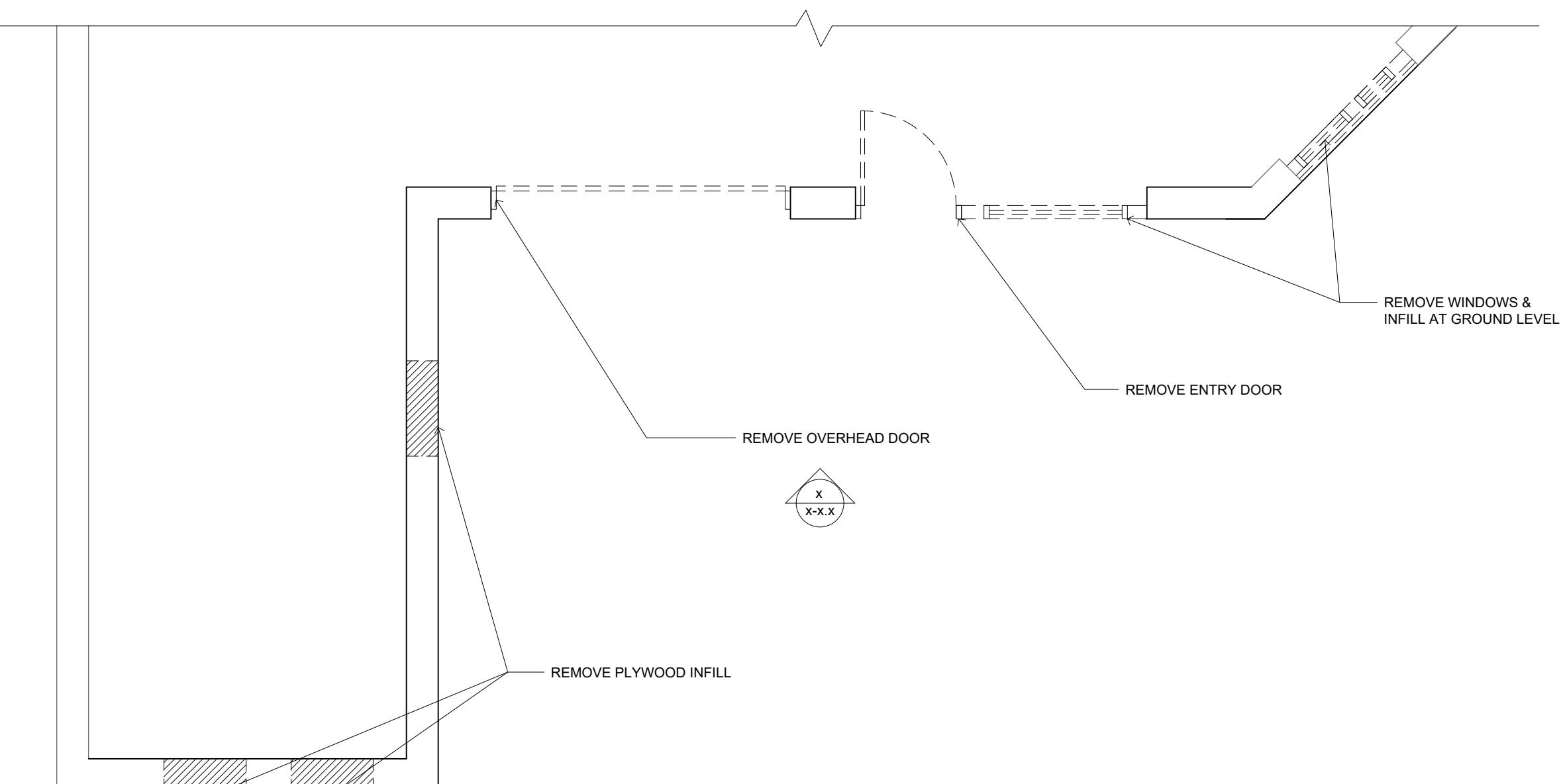
HISTORIC DESIGNATION:

THIS PROPERTY IS PRESUMED TO BE A POTENTIALLY CONTRIBUTING RESOURCE TO A POTENTIAL HISTORIC DISTRICT.

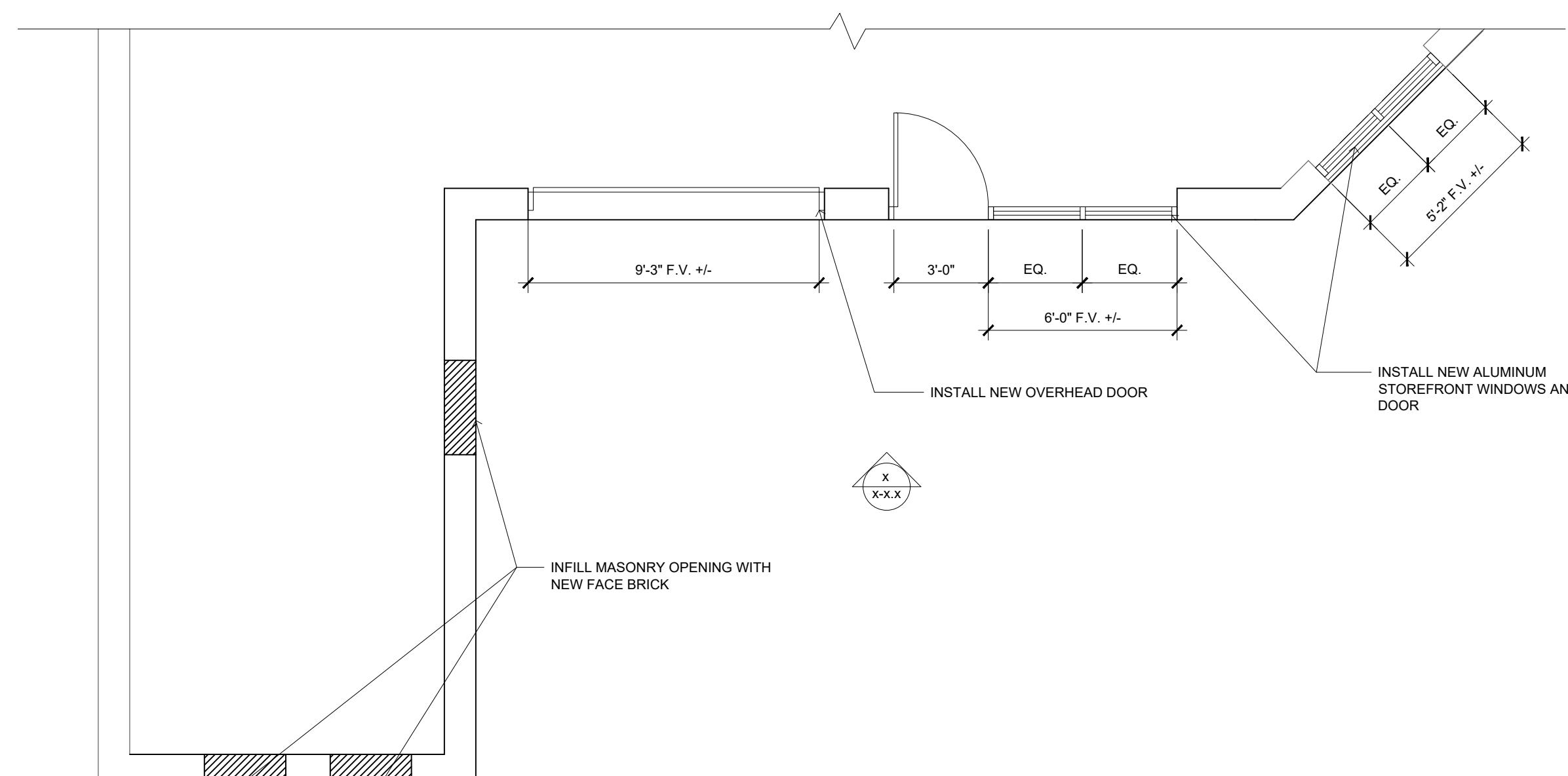


EXISTING PHOTO

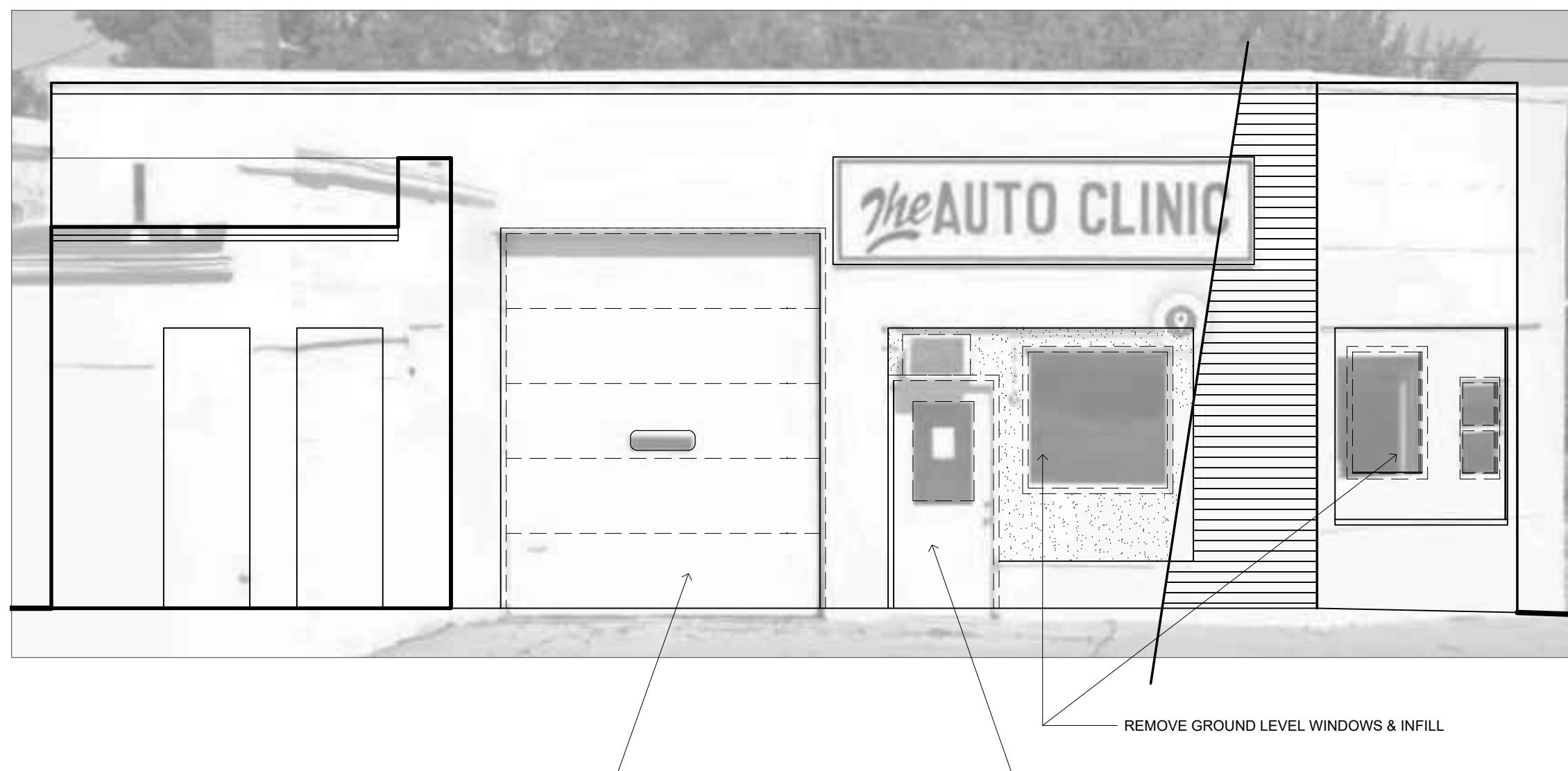
NOTE: PATCH AND REPAIR EXISTING, AFFECTED
INTERIOR SURFACES & COMPONENTS AS
NECESSARY TO PROVIDE A CONTINUOUS FINISH
BETWEEN EXISTING AND NEW WORK.



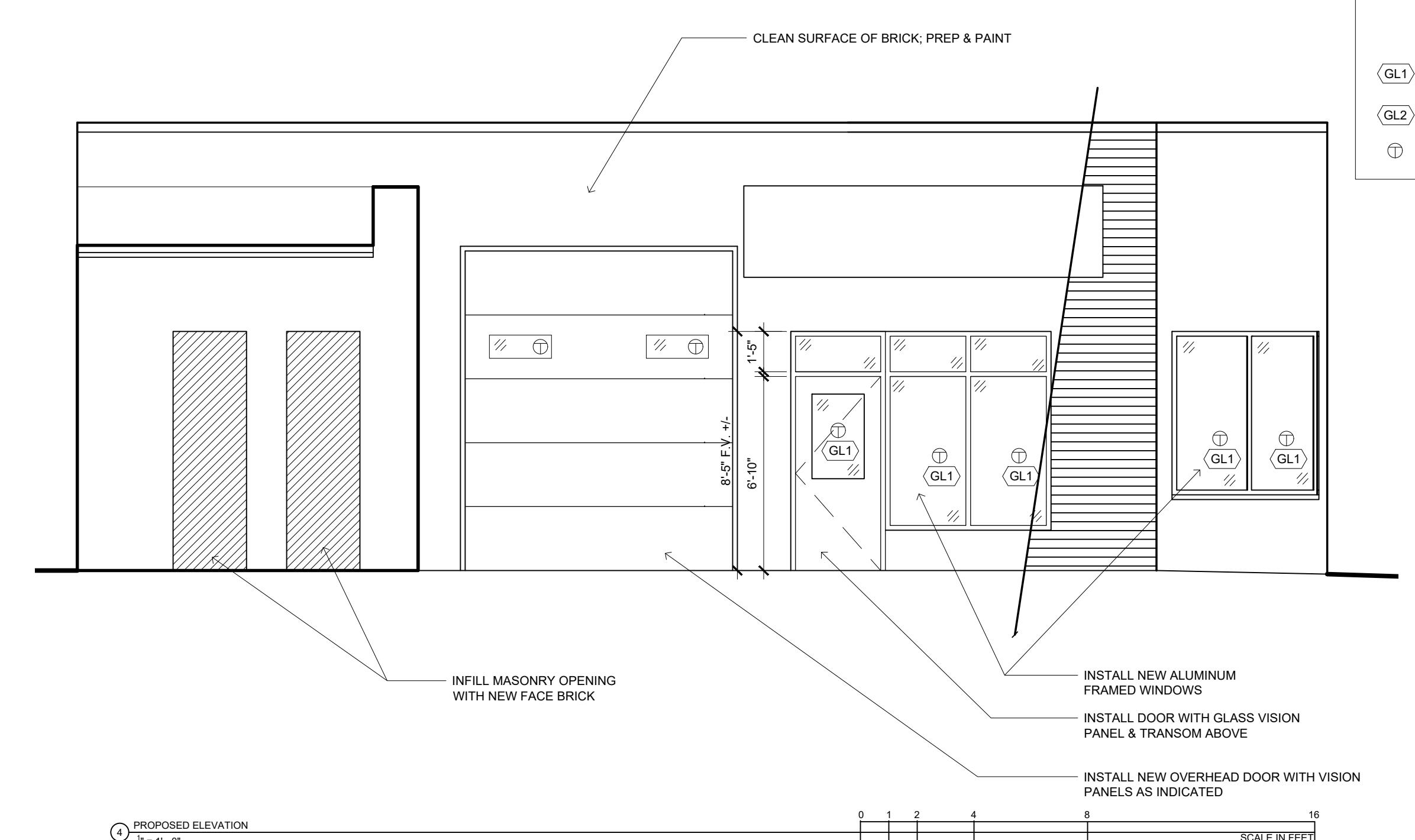
① DEMOLITION PLAN
1' = 1'-0"



② PROPOSED PLAN
1' = 1'-0"



③ DEMOLITION ELEVATION
1' = 1'-0"



④ PROPOSED ELEVATION
1' = 1'-0"

GLASS TYPE LEGEND
GL1 1" CLEAR INSULATED GLASS
GL2 1" CLEAR INSULATED SPANDREL GLASS
T DENOTES TEMPERED GLASS

REVISION 1 DATE

DATE:

© COPYRIGHT 2025 THE FRANKS DESIGN GROUP, P.C.



EXIRA FAÇADE REHABILITATION

EXIRA, IOWA

SLUM & BLIGHT INVENTORY:

EXTERIOR WALLS: FAIR
STOREFRONTS: FAIR/POOR
ENTRYWAYS: POOR
UPPER WINDOWS: N/A
FRONT FOUNDATION: N/A
PRCH, STAIRS, DECK RAMP: FAIR
AWNINGS/SIGNAGE: N/A
OTHER: OVERHEAD DOORS - POOR

PROPOSED SCOPE OF WORK:

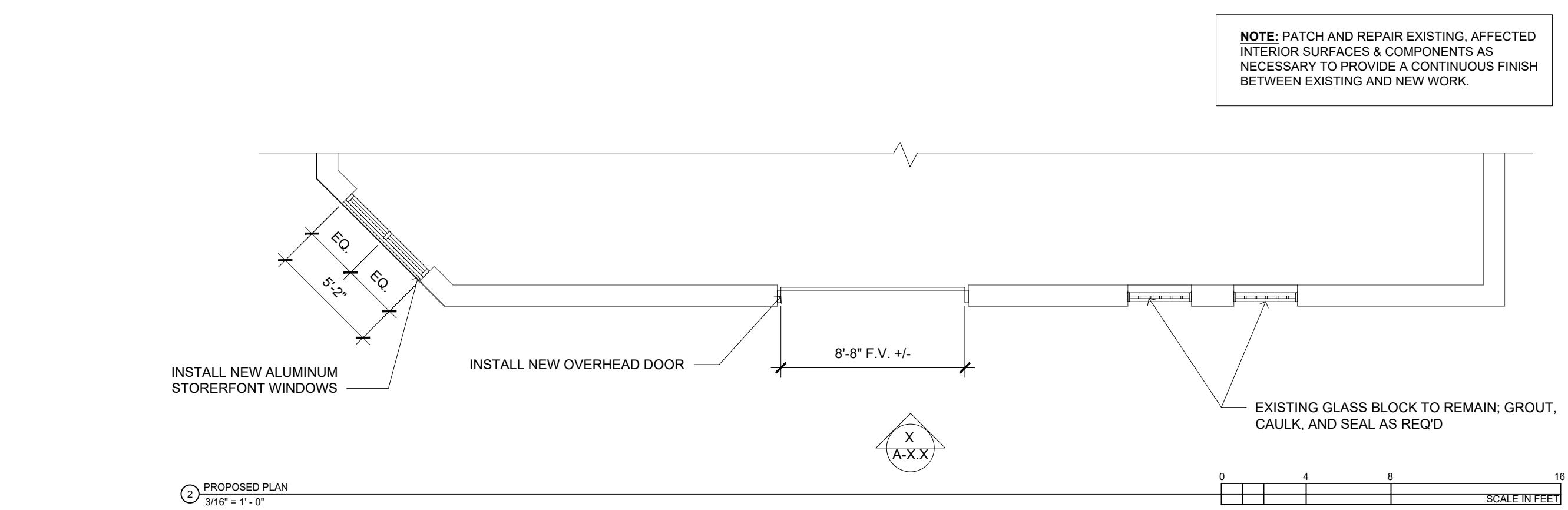
- MASONRY REPAIR/RESTORATION: TUCK POINT EXPOSED BLOCK WITH APPROPRIATE MORTAR AS DETERMINED BY MORTAR ANALYSIS. COLOR, TEXTURE, AND CHEMICAL COMPOSITION TO BE INFORMED BY ANALYSIS AND ARCHITECT APPROVED
- STOREFRONTS: REPLACE STOREFRONT WINDOWS @ GROUND LEVEL WITH NEW INSULATED GLASS ALUMINUM FRAMED STOREFRONT SYSTEM. INCLUDING NEW OVERHEAD DOORS AS INDICATED BY DRAWING ELEVATION.
- OVERHEAD DOORS: INSTALL NEW OVERHEAD DOORS
- PAINT: PREP AND PAINT EXISTING BLOCKING OR EXTERIOR MATERIAL.
- MASONRY INFILLS: INSTALL NEW FACE BRICK @ EXISTING MASONRY OPENINGS.
- FOUNDATION: REPAIR GAPS AS CONCRETE STEM WALL NEAR FOUNDATION

HISTORIC DESIGNATION:

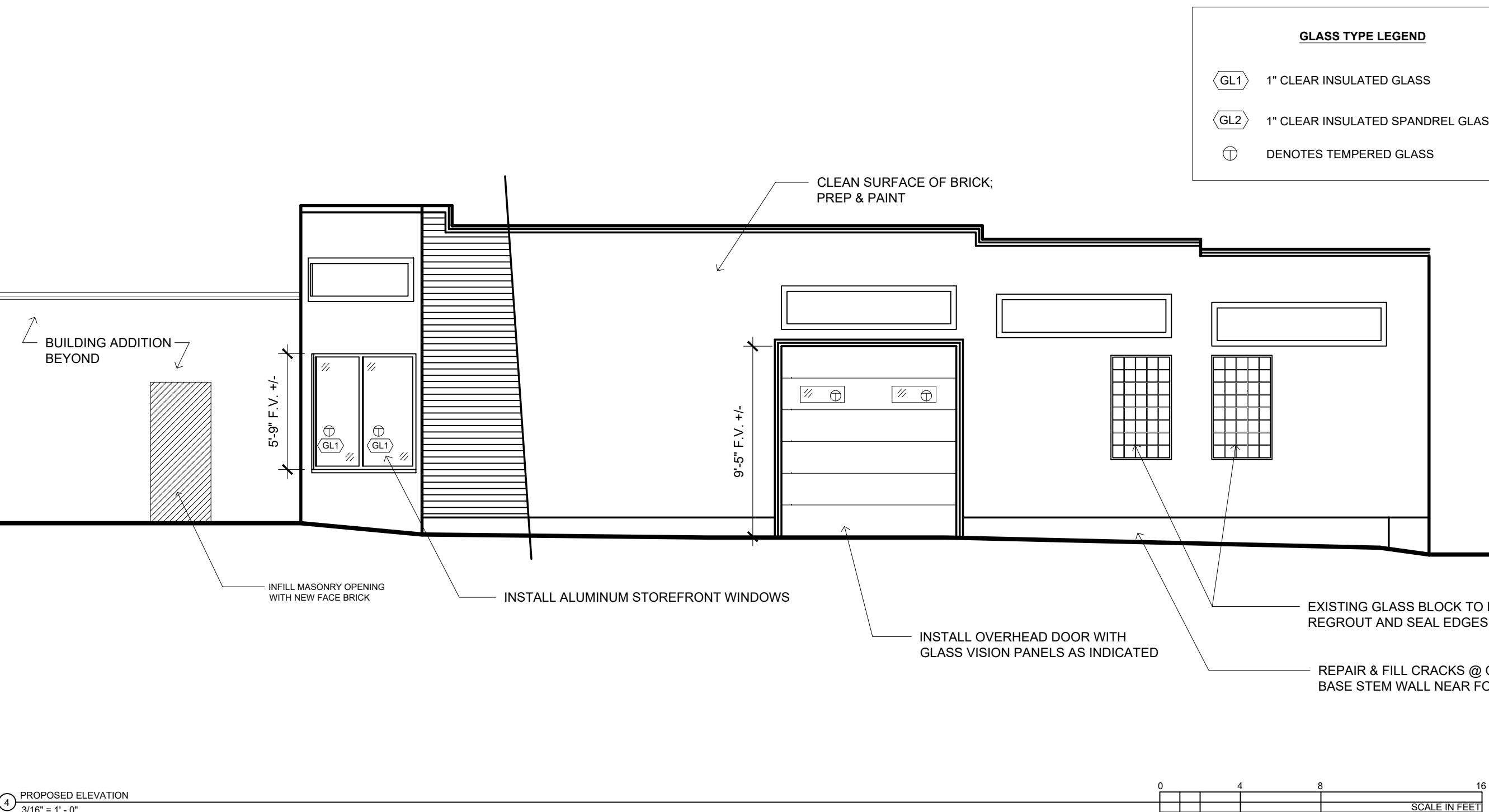
THIS PROPERTY IS PRESUMED TO BE A POTENTIALLY CONTRIBUTING RESOURCE TO A POTENTIAL HISTORIC DISTRICT.



EXISTING PHOTO

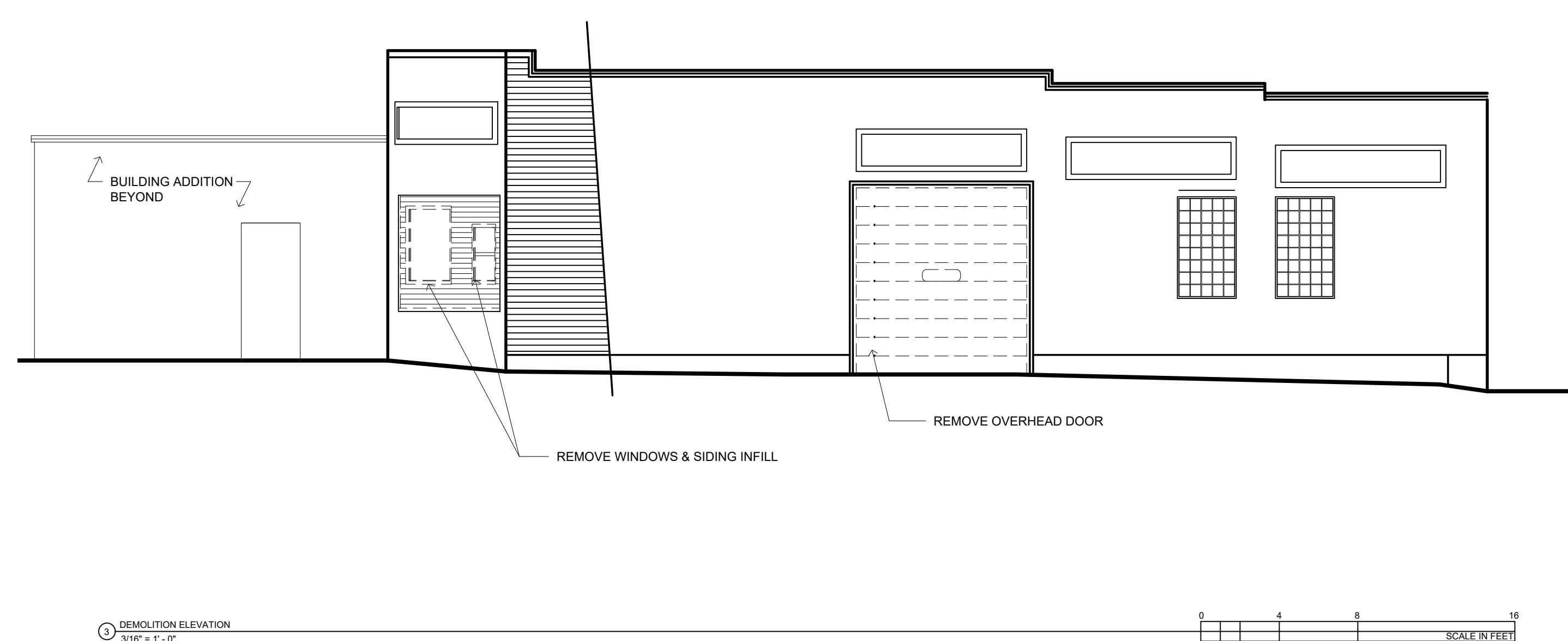


NOTE: PATCH AND REPAIR EXISTING, Affected
INTERIOR SURFACES & COMPONENTS AS
NECESSARY TO PROVIDE A CONTINUOUS FINISH
BETWEEN EXISTING AND NEW WORK.



GLASS TYPE LEGEND
GL1 1" CLEAR INSULATED GLASS
GL2 1" CLEAR INSULATED SPANDEL GLASS
T DENOTES TEMPERED GLASS

DEMOLITION ELEVATION 3 3/16" = 1'-0" PROPOSED ELEVATION 3 3/16" = 1'-0"



DEMOLITION ELEVATION 3 3/16" = 1'-0" PROPOSED ELEVATION 3 3/16" = 1'-0"

The Franks Design Group, PC

410 First Street
Glenwood, Iowa 51534
712-527-3996

ARCHITECT

THE FRANKS DESIGN GROUP, P.C.
410 FIRST STREET:
GLENWOOD, IOWA 51534
TEL: 712-527-3996

REVISION 1 DATE

DATE:
© COPYRIGHT 2025 THE FRANKS DESIGN GROUP, P.C.