

760 FIERO LANE

SAN LUIS OBISPO, CA

VICINITY MAP



SYMBOLS

- ① DIMENSIONAL GRID LINE
- ① DOOR MARK
REFER TO DOOR SCHEDULE
- Ⓐ WINDOW MARK
REFER TO WINDOW SCHEDULE
- Ⓐ WINDOW ABOVE
REFER TO WINDOW SCHEDULE
- ① REFERENCE NOTE
- ① A-1 DETAIL NUMBER
SHEET SHOWN ON
- Ⓐ SECTION
SHEET SHOWN ON

DIRECTORY

- ARCHITECT**
STEVEN D. FULTS, AIA & ASSOCIATES, LLP
 3592 SACRAMENTO DRIVE, SUITE 140
 SAN LUIS OBISPO, CA 93401
 (805) 541-5604
- CIVIL ENGINEER - SURVEY**
MBS LAND SURVEYS
 3563 SUELDPO ST, UNIT G
 SAN LUIS OBISPO, CA 93401
 (805) 544-9676
- CIVIL ENGINEER**
WALLACE GROUP
 612 CLARION COURT
 SAN LUIS OBISPO, CA 93401
 (805) 544-4011
- LANDSCAPE ARCHITECT**
STEVEN P. CAMINITI
 P.O. BOX 1247
 SAN LUIS OBISPO, CA 93406
 (805) 544-6429
- STRUCTURAL ENGINEER**
ARTISAN ENGINEERING
 1170 SUNSET DRIVE
 ARROYO GRANDE, CA 93420
 (805) 474-9600
- MECHANICAL ENGINEER**
BRUNNELL, MYRICK & ASSOCIATES
 100 CROSS STREET, SUITE 204
 SAN LUIS OBISPO, CA 93401
 (805) 544-4269
- ELECTRICAL ENGINEER**
THOMA ELECTRIC, INC.
 3582 EMPLEO STREET, SUITE C
 SAN LUIS OBISPO, CA 93401
 (805) 543-3850

GENERAL NOTES

- The General Contractor shall be responsible for verifying all existing conditions before commencing with any work.
- All work shall comply with all current codes, ordinances & regulations of applicable administrative authorities; 2013 CBC, CMC, CPC, CEC, CEC and CALGreen, County of San Luis Obispo, & the Americans with Disabilities Act (Title III).
- The Americans with Disabilities Act (ADA) is subject to various and possibly contradictory interpretations. These plans and any accompanying specifications represent designer's opinion regarding an interpretation of the ADA as it applies to the subject project. Any variance from these documents may create non-compliance to the Act.
- The 2013 Building Energy Efficiency Standards for residential and non-residential buildings have been reviewed, and the building described on these pages is in substantial conformance.
- The building described on the following pages is equipped with a fire sprinkler system. Shop drawings shall be submitted and approved by the county Building and Fire Departments prior to fabrication and installation of the system. System design shall meet all requirements of State Fire Marshal, NFPA, and (City/County) regulations. Sprinkler system shall depict dual-signal remote supervisory service capability. Provide the Fire Department with a key for knock box.
- No tenant improvement work for spaces shown unimproved shall be performed, unless a separate permit has been obtained.
- No hazardous materials will be stored and/or used within the building which exceed the quantities listed in CBC Tables 907.1 (1) & 907.1 (2).
- Storm water management shall be implemented during construction and adhere to measure per CALGreen 5.106.2

PROJECT SUMMARY

LEGAL: LOT 3, TRACT 712, AS SHOWN ON MAP FILED IN BOOK 10 AT PAGE 49, IN CITY OF SAN LUIS OBISPO, COUNTY OF SAN LUIS OBISPO, CA

ZONING: CS - BP

APN: 076-412-003

SITE: 2.98 ACRES, 103,831 SF

BUILDING:	FIRST FLOOR	9,306 SF
	OFFICE	23,304 SF
	MANUFACTURING	
	SECOND FLOOR	7,188 SF
	OFFICE	
	BUILDING TOTAL	39,798 SF

FOOTPRINT: 32,610 SF

PARKING: 164 SPACES PROVIDED = 1 SP / 242.6 SF
MOTORCYCLE - 2 SPACES

CONST TYPE: TYPE VB - SPRINKLERED

MAX HEIGHT: 33'-0"

OCCUPANCY: B, F2, 92

SHEET INDEX

- T - 1 TITLE SHEET
- CIVIL**
- CA - 1 SITE PLAN, SITE SECTION
 - C-1.0 PRELIMINARY GRADING PLAN
 - C-2.0 PRELIMINARY UTILITY PLAN
- ARCHITECTURAL**
- A - 1 FIRST FLOOR PLAN
 - A - 2 SECOND FLOOR PLAN
 - A - 3 EXTERIOR ELEVATIONS



Architecture, Planning & Graphics
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Project:

NEW BUILDING

760

760 FIERO LANE
 SAN LUIS OBISPO
 CA 93401

Client:

QUAGLINO PROPERTIES

815 FIERO LANE
 SAN LUIS OBISPO
 CA 93401
 (805) 543-0560

Sheet Contents:

TITLE SHEET

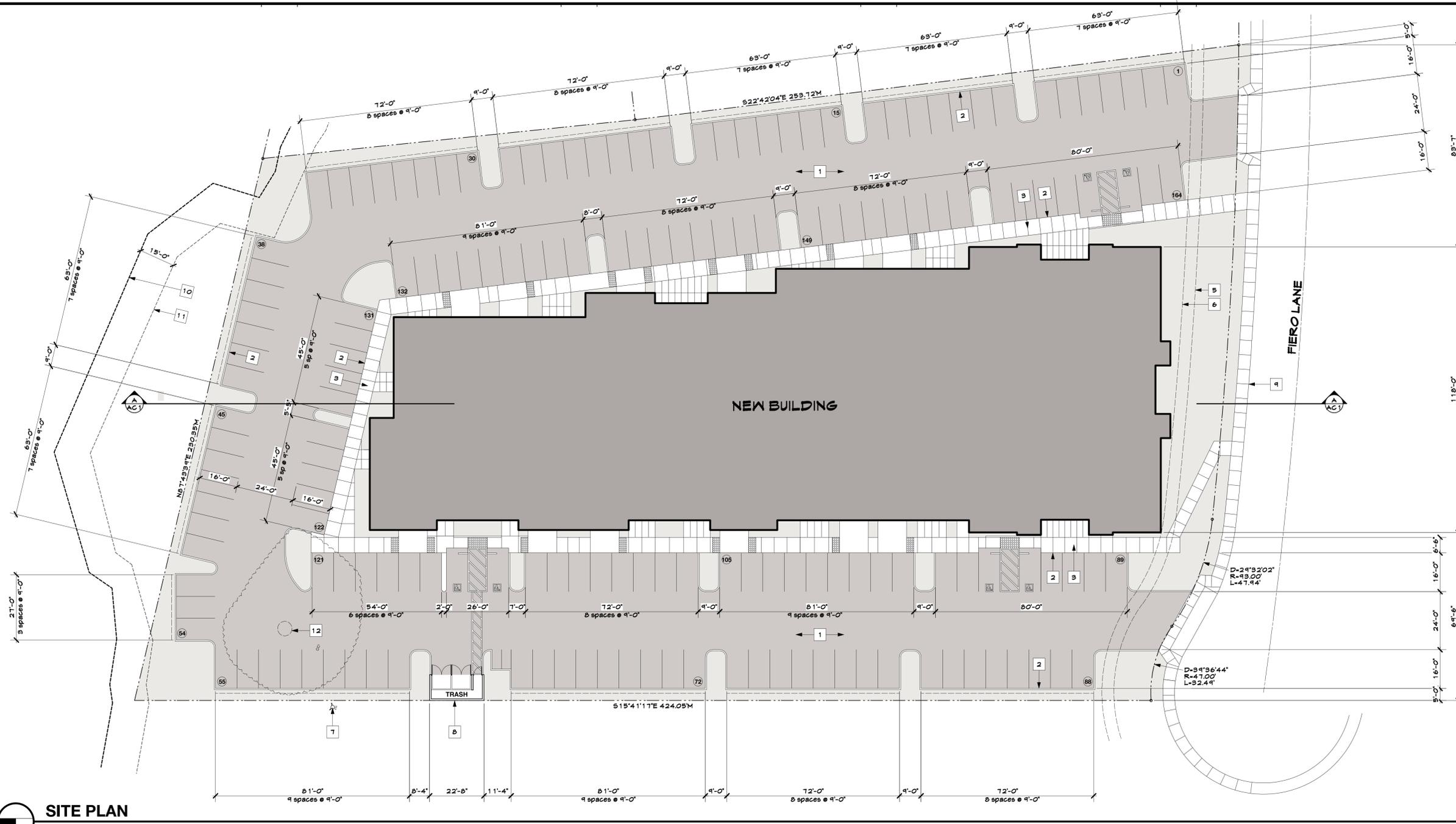


Date: 30 NOV 18
 Revised:

Job No: 1819

Sheet:

T-1

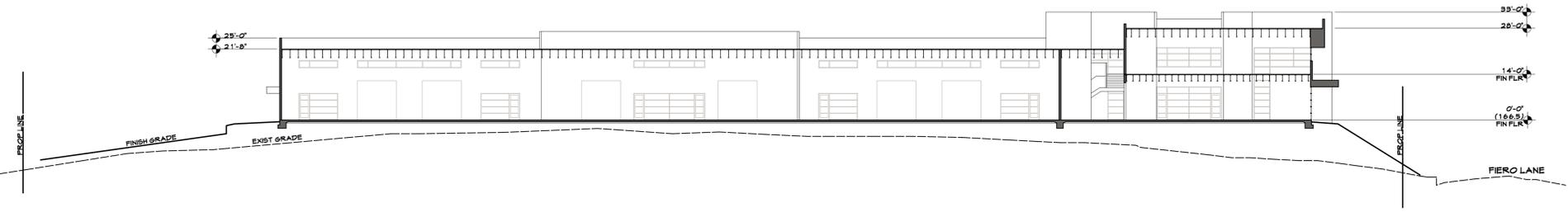


SITE PLAN REFERENCE NOTES.

1. A/C PAVING
2. 6" HIGH CONCRETE CURB - TYPICAL AT PARKING AREAS
3. CONCRETE WALKS
4. CONCRETE PAVING
5. 15' PUBLIC UTILITY EASEMENT
6. 20' BUILDING SETBACK
7. EXISTING FIRE HYDRANT
8. TRASH ENCLOSURE
9. EXISTING CURB, GUTTER & SIDEWALK
10. TOP OF BANK
11. TOP OF BANK SETBACK - 15'-0"
12. EXISTING EUCALYPTUS TREE TO BE REMOVED

SITE PLAN
1" = 20' - 0"

SITE SECTION
1" = 20' - 0"



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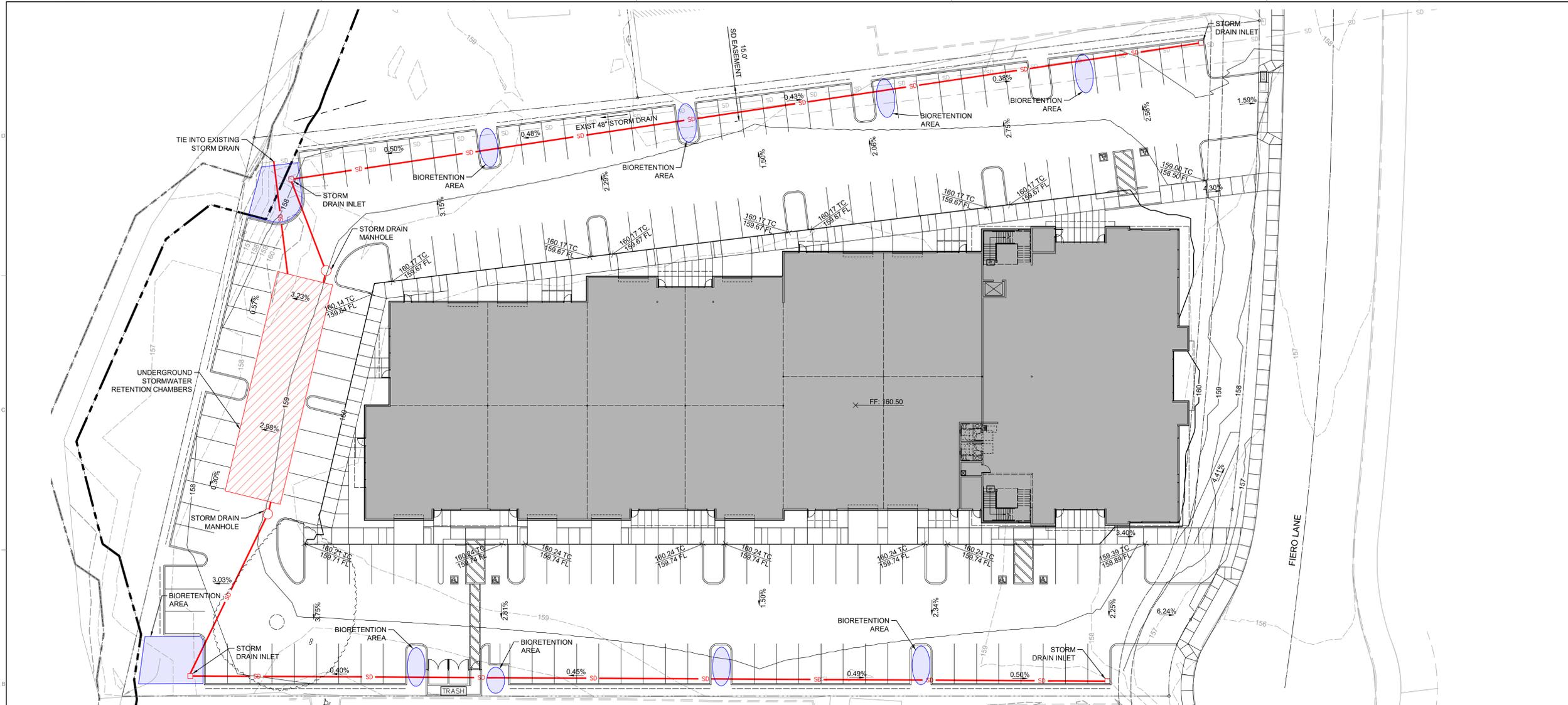
SITE PLAN



Date: 30 NOV 18
Revised:

Job No: 1819

Sheet: **AC-1**



LEGEND		EXISTING	PROPOSED	DESCRIPTION
		MAJOR CONTOUR (5 FT)		
		MINOR CONTOUR (1 FT)		
		SPOT ELEVATIONS		
		SEWER MANHOLE		
		SEWER CLEANOUT		
		SERVICE LATERAL (W=WATER, G=GAS, U=UTILITIES)		
		SERVICE METER (W=WATER)		
		DOUBLE SERVICE METER (W=WATER)		
		SEWER LATERAL		
		FIRE HYDRANT		
		STORM DRAIN MANHOLE		
		STORM DRAIN CATCH BASIN		
		GATE VALVE		
		CAP		
		SURVEY MONUMENT		
		BENCH MARK		
		SLOPE PERCENTAGE		
		ABANDON UTILITY		
		EDGE OF PAVEMENT		
		REDUCER / INCREASER		
		WATER LINE		
		SEWER FORCE MAIN		
		GRAVITY SEWER LINE		
		STORM DRAIN		
		UNDERGROUND GAS LINE		
		UNDERGROUND UTILITY LINE LOCATION		
		UNDERGROUND ELECTRICAL LINE		
		UNDERGROUND CABLE TELEVISION LINE		
		UNDERGROUND TELEPHONE LINE		
		RIGHT OF WAY		
		EASEMENT		
		CENTERLINE		
		BARBED WIRE FENCE		
		CHAIN LINK FENCE		
		RETAINING WALL		
		FLOWLINE		

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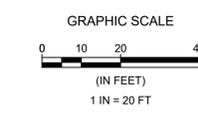
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REPLACE WITH PROFESSIONAL
 STAMP AND MARK
 FOR PLAN REVIEW ONLY
 NOT FOR CONSTRUCTION

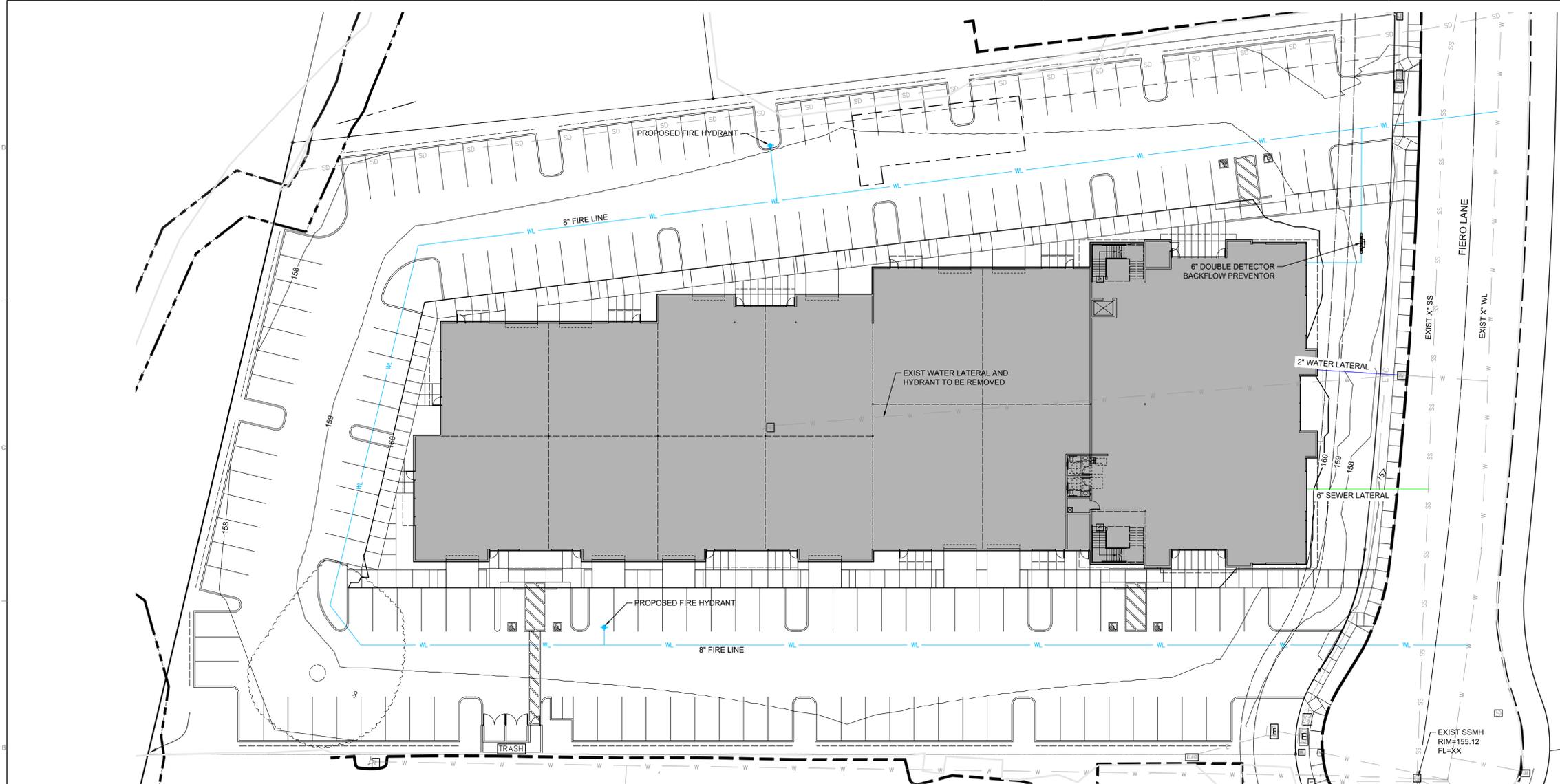
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MATT QUAGLINO
 LOT 3 TRACT 712
 PRELIMINARY GRADING PLAN

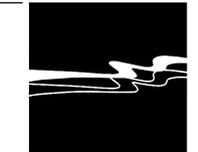
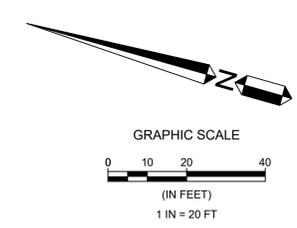


JOB # 1475-0001
 DESIGNERS: BDH
 DRAWN BY: CPK
 DATE: 11/30/2018
 DRAWING NO. C-1.0
 1 OF 2 SHEETS



LEGEND

EXISTING	PROPOSED	DESCRIPTION	EXISTING	PROPOSED	DESCRIPTION
		MAJOR CONTOUR (5 FT)			REDUCER / INCREASER
		MINOR CONTOUR (1 FT)			WATER LINE
		SPOT ELEVATIONS			SEWER FORCE MAIN
		SEWER MANHOLE			GRAVITY SEWER LINE
		SEWER CLEANOUT			STORM DRAIN
		SERVICE LATERAL (W=WATER, G=GAS, U=UTILITIES)			UNDERGROUND GAS LINE
		SERVICE METER (W=WATER)			UNDERGROUND UTILITY LINE LOCATION
		DOUBLE SERVICE METER (W=WATER)			UNDERGROUND ELECTRICAL LINE
		SEWER LATERAL			UNDERGROUND CABLE TELEVISION LINE
		FIRE HYDRANT			UNDERGROUND TELEPHONE LINE
		STORM DRAIN MANHOLE			RIGHT OF WAY
		STORM DRAIN CATCH BASIN			EASEMENT
		GATE VALVE			CENTERLINE
		CAP			BARBED WIRE FENCE
		SURVEY MONUMENT			CHAIN LINK FENCE
		BENCH MARK			RETAINING WALL
		SLOPE PERCENTAGE			FLOWLINE
		ABANDON UTILITY			
		EDGE OF PAVEMENT			



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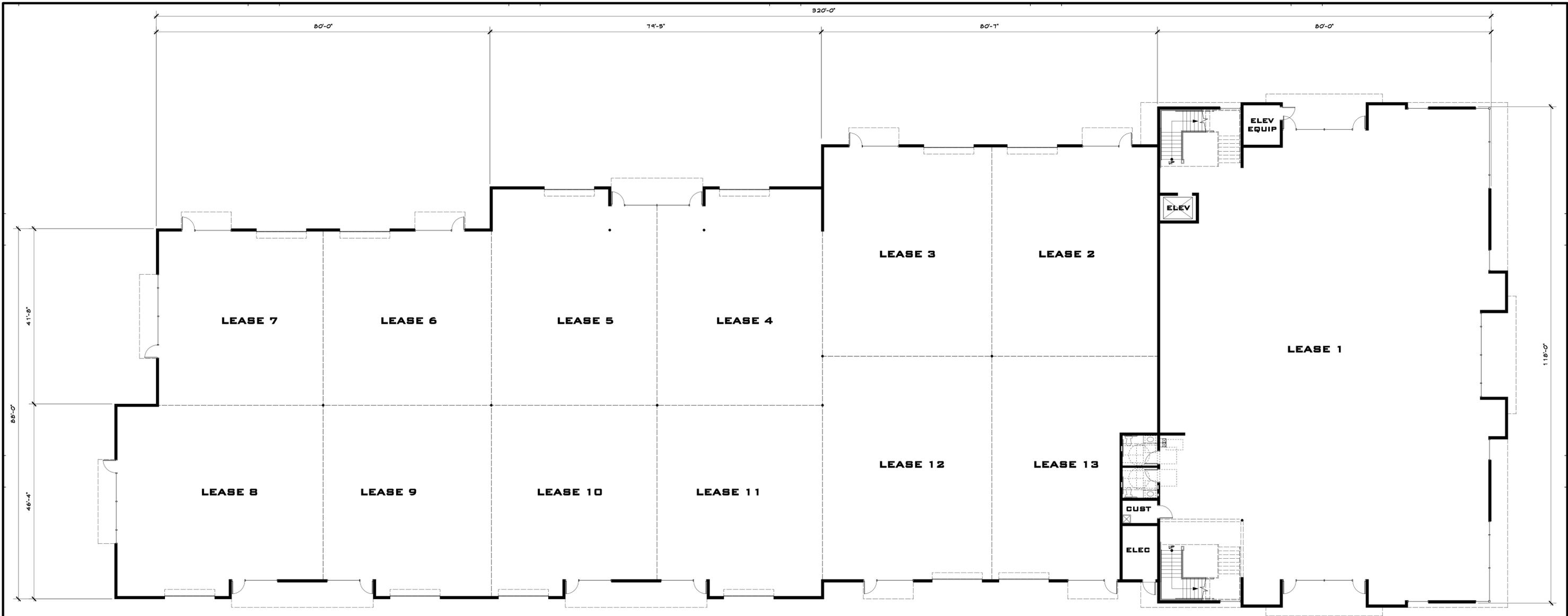


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MATT QUAGLIANO
LOT 3 TRACT 712
PRELIMINARY UTILITY PLAN

JOB # 1475-0001
DESIGNERS: BDH
DRAWN BY: CPK
DATE: 11/30/2018
DRAWING NO. **C-2.0**
2 OF 2 SHEETS



FIRST FLOOR PLAN
 1" = 10' - 0"

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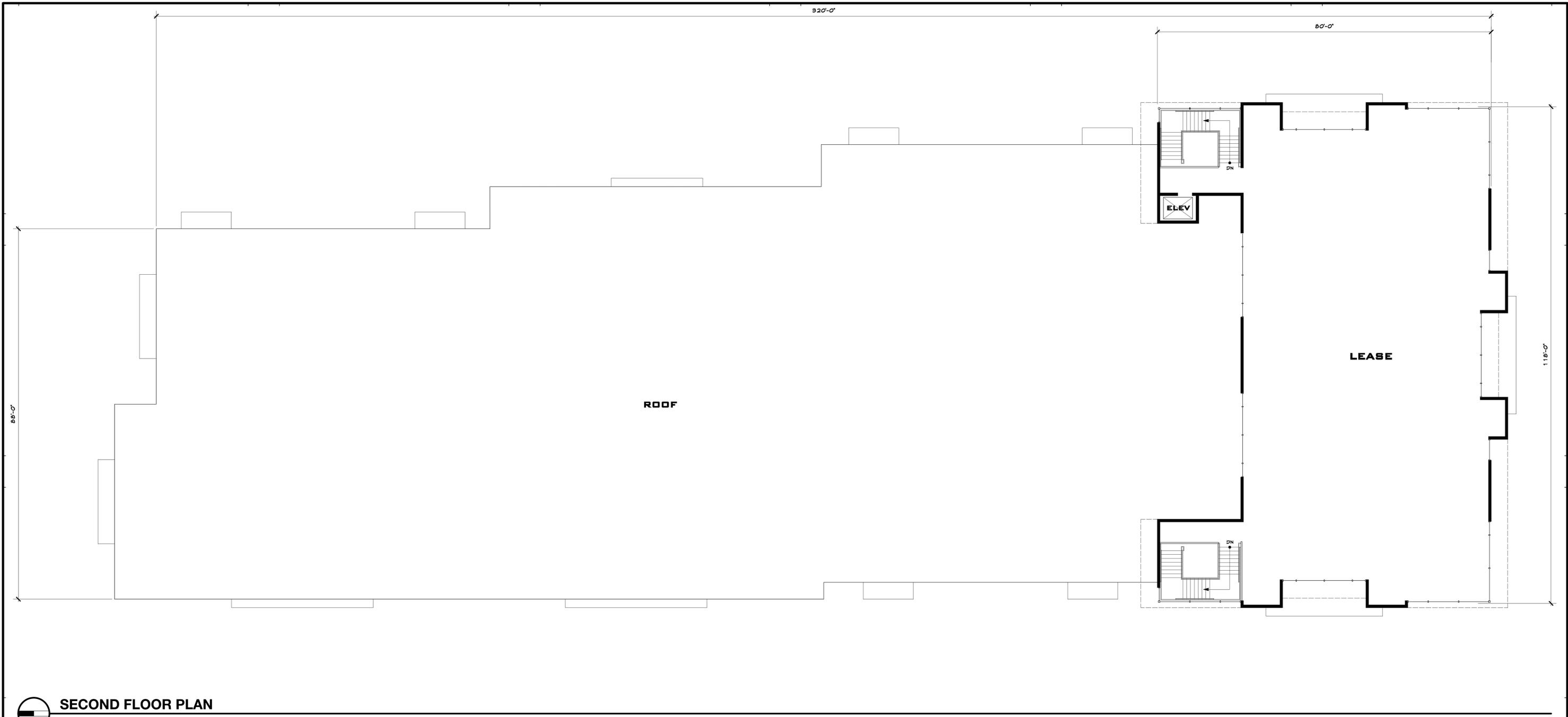
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 FIRST FLOOR PLAN



Date: 30 NOV 18
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 1819

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SECOND FLOOR PLAN
1" = 10' - 0"

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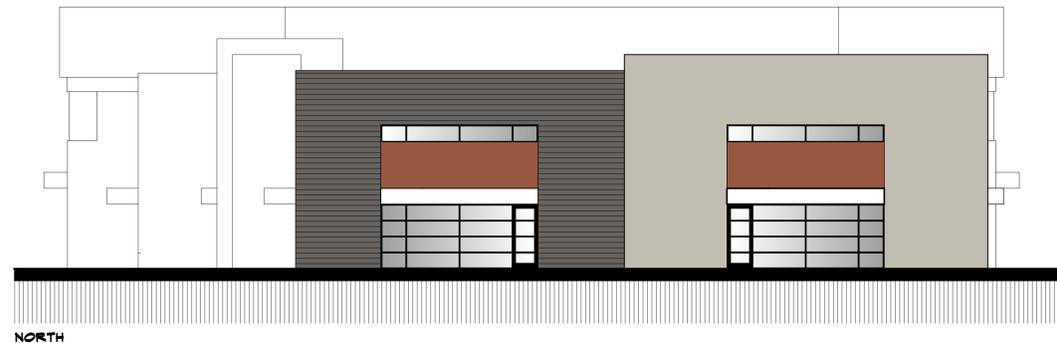
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SECOND FLOOR PLAN



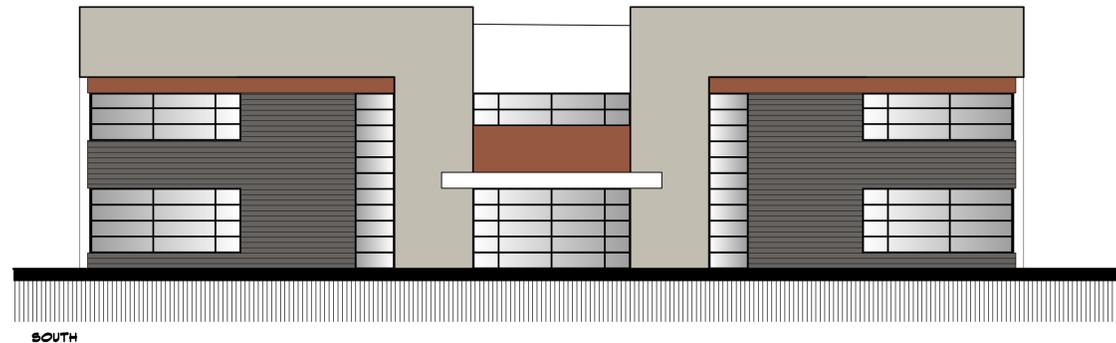
Date: **30 NOV 18**
Revised:

Job No: **1819**

Sheet:
A-2



NORTH



SOUTH



760 FIERO LANE

COLOR SCHEDULE

MATERIAL	COLOR	TYPE	MANUF
EXT PLASTER 1	CRYSTAL WHITE	INTEGRAL	LA HABRA
EXT PLASTER 2	ROYCROFT MYST GRAY	PAINT	SHERWIN WILLIAMS
EXT PLASTER 3	ROCKWOOD TERRA COTTA	PAINT	SHERWIN WILLIAMS
METAL SIDING	SLATE GREY	FACTORY	METAL SALES
STOREFRONT	BLACK	FACTORY	KAMNEER
ROLL UP DOORS	BLACK	PAINT	SHERWIN WILLIAMS