

**For  
Lease**



# Retail Shops with End-Cap Drive-Thru

IN RIO RANCHO'S FASTEST GROWING TRADE AREA



**NEW DEVELOPMENT!**

SWQ Unser Blvd. & Wellspring Ave. SE | Rio Rancho, NM 87124

**NA SunVista** ] **Got Space™**

Opening the Door to Commercial Real Estate Excellence

**Up to ±8,165 SF Available**

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## HIGHLIGHTS

**AVAILABLE** Up to ±8,165 SF

**LEASE RATE** See Advisors

**ZONING** SU, City of Rio Rancho

### HIGHLIGHTS

- Join the highest sales volume retailers in the metro area
- Located adjacent to the fastest-growing residential communities in the metro area
- Benefit from a high-income demographic
- Highly-visible to 42,100 cars per day
- Site is positioned at the signalized intersection of Unser Blvd. and Westside Ave.
- Capture the proven synergy of the Unser Pavilion retail development
- Rare, new construction project in underserved trade area
- Capture business from high-employment generators such as Presbyterian, Intel, Rio Public Schools and more
- Join ground-breaking projects in the area including Furniture Row, Market Street, US Eagle and more
- Multiple access points from Wellspring Ave.
- Excellent parking with over 62 spaces (7.6:1000 parking ratio) plus shared parking throughout Unser Pavilion
- Building mounted signage (North and South facing) and monument signage available



### SITE

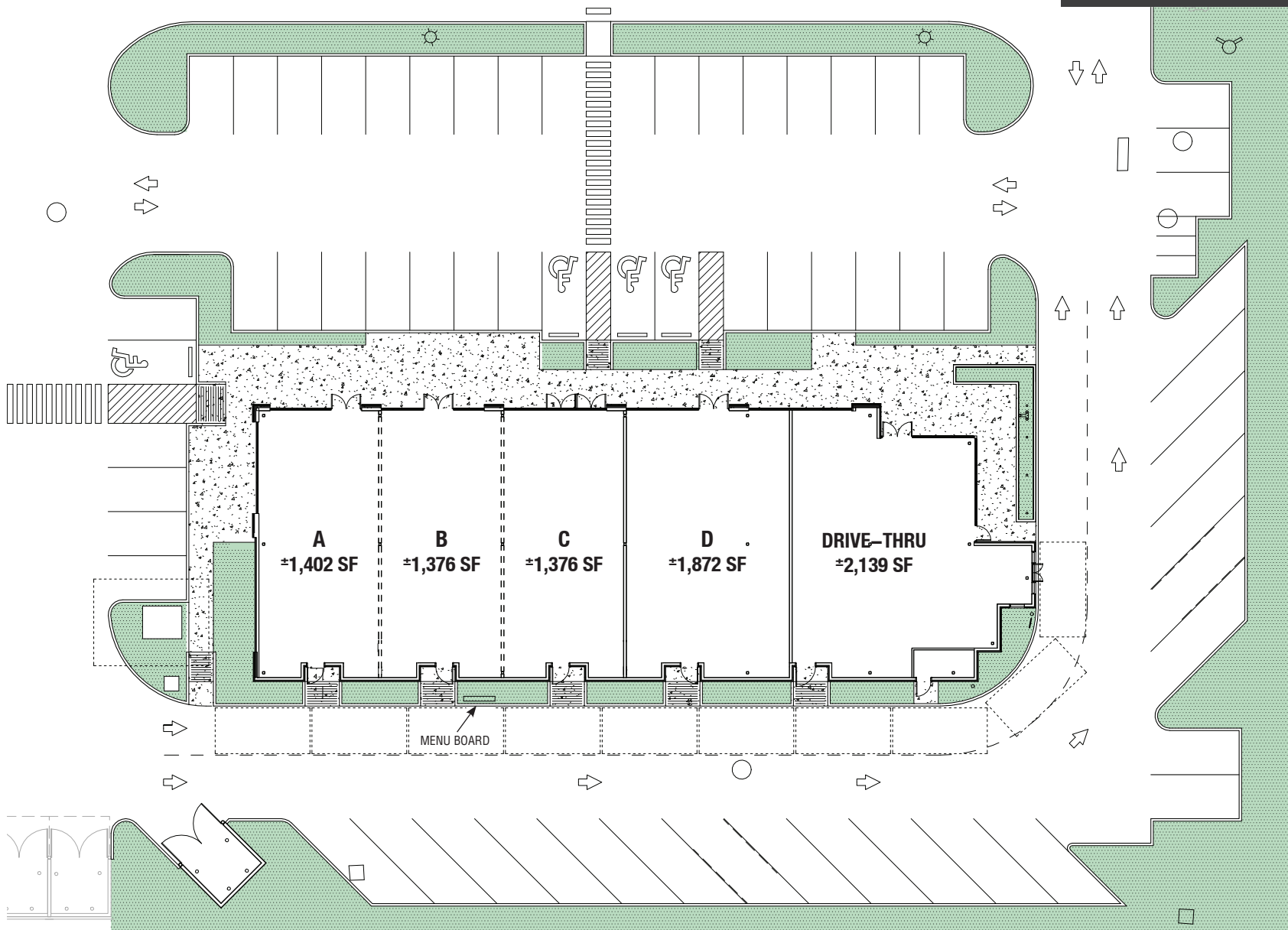
Up to ±8,165 SF  
on ±1.156 Ac.

*Conceptual site plan,  
subject to change.*

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**SITE PLAN**



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*Northwest Elevation*



*Southwest Elevation*



*Southeast Elevation*



*Northeast Elevation*



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*View from Unser Blvd.*



*View from Unser Blvd.*

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## TRADE AREA



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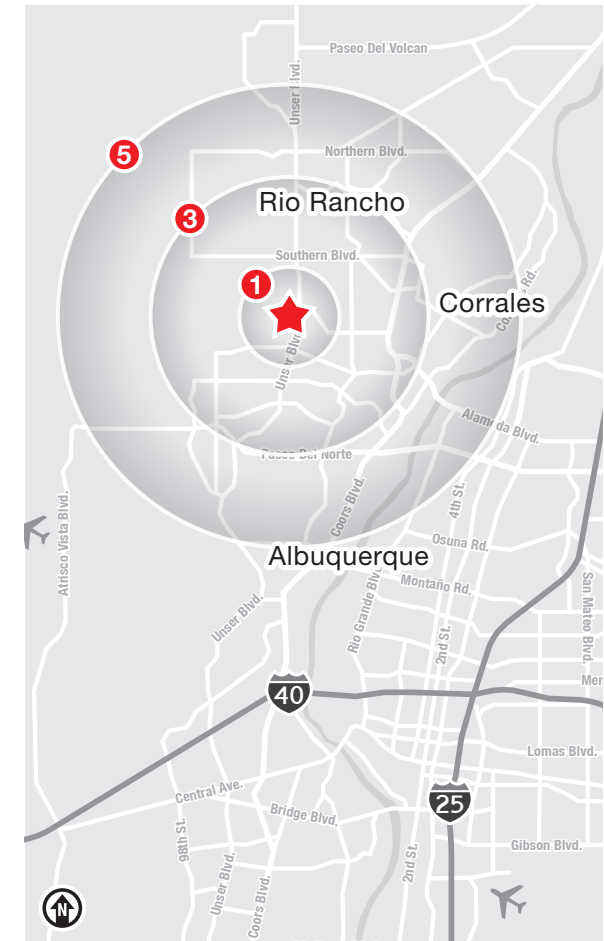
## 1, 3 & 5 MILE

	1 Mile	3 Mile	5 Mile			
<b>Summary</b>	<b>2025</b>	<b>2025</b>	<b>2025</b>			
Population	14,947	91,427	168,742			
Households	5,318	36,337	65,688			
Families	3,714	24,100	44,513			
Average Household Size	2.79	2.50	2.55			
Owner Occupied Housing Units	4,227	26,421	49,834			
Renter Occupied Housing Units	1,091	9,916	15,854			
Median Age	36.9	39.5	40.0			
<b>Trends: 2025-2030 Annual Rate</b>	<b>State</b>	<b>State</b>	<b>State</b>			
Population	0.32%	0.32%	0.32%			
Households	0.45%	0.45%	0.45%			
Families	0.26%	0.26%	0.26%			
Owner HHs	0.59%	0.59%	0.59%			
Median Household Income	2.54%	2.54%	2.54%			
	<b>2025</b>	<b>2025</b>	<b>2025</b>			
<b>Households by Income</b>	Number	Percent	Number	Percent	Number	Percent
<\$15,000	136	2.6%	2,017	5.6%	3,256	5.0%
\$15,000 - \$24,999	195	3.7%	1,860	5.1%	3,086	4.7%
\$25,000 - \$34,999	117	2.2%	1,818	5.0%	3,277	5.0%
\$35,000 - \$49,999	413	7.8%	3,573	9.8%	6,342	9.7%
\$50,000 - \$74,999	959	18.0%	7,114	19.6%	12,193	18.6%
\$75,000 - \$99,999	694	13.1%	5,017	13.8%	9,121	13.9%
\$100,000 - \$149,999	996	18.7%	6,624	18.2%	12,290	18.7%
\$150,000 - \$199,999	883	16.6%	4,805	13.2%	8,642	13.2%
\$200,000+	925	17.4%	3,509	9.7%	7,479	11.4%
Median Household Income	\$104,978		\$82,320		\$86,092	
Average Household Income	\$137,058		\$106,788		\$112,682	
Per Capita Income	\$49,500		\$42,111		\$43,859	

## DEMOGRAPHICS

Demo Snapshot	1 mile	3 mile	5 mile
Total Population	14,947	91,427	168,742
Average HH Income	\$137,058	\$106,788	\$112,682
Daytime Employment	2,350	26,886	42,489

2025 Forecasted by Esri





# Rio Rancho

# TRADE AREA ANALYSIS

## RIO RANCHO | THE CITY OF VISION

The City of Rio Rancho is part of the Albuquerque Metropolitan Statistical Area. At less than 45 years old, Rio Rancho is considered the fastest-growing city in New Mexico. The City is strategically located in the northwest quadrant of the MSA and comprises more than 100 square miles of land. The City is just 45 minutes from Santa Fe, the cultural center of the Southwest. Rio Rancho's adjacency to Albuquerque allows it to draw from the largest labor pool in New Mexico — approximately 400,000 workers. The metro area offers a capable and quality workforce to prospective employers.



**Fastest**  
Growing City in  
New Mexico



### RIO RANCHO BY THE NUMBERS (ESRI 2025 Demographics)



**114,160**

City Population



**42,536**

Households



**\$110,047**

Avg. Household Income



**\$69,330**

Md. Disposable Income



**2,339**

Total Businesses



**26,418**

Total Employees

## Rio Rancho is a High-Growth, Underserved Trade Area



**Intel Corporation** is investing **\$3.5 billion** to upgrade and expand its Rio Rancho operations.



- More than **1,000 new homes** in development
- High-income neighborhoods and schools
- Limited land in Albuquerque



**Presbyterian Rust Medical Center** is planning to expand to 1.2 million SF. It's currently 63% complete and 25 years ahead of schedule.



**A commitment to quality of life** with new parks such as A Park Above, Black Arroyo Wildlife Park and Gateway Park



### STRENGTHS

- ↑ Rio Rancho is a business-friendly city
- ↑ Low crime rates
- ↑ Excellent public education system
- ↑ Diverse housing options
- ↑ Growing list of quality-of-life amenities

### CHALLENGES

- ↓ Rio Rancho experiences significant retail leakage of approx. **\$400 million** into the City of Albuquerque.

### OPPORTUNITIES

- ➔ Investors can bridge the gap of needs and retail services in Rio Rancho