

FOR LEASE

# VALLE DEL SOL

1621-1625 Rio Bravo Blvd SW  
Albuquerque, NM 87105



RIO BRAVO BLVD

ISLETA BLVD



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# PROPERTY DETAILS



Address:  
**1621-1625 Rio Bravo Blvd SW  
Albuquerque, NM 87105**



Lease Availability:

**Suite 18 ± 2,140 SF**  
**Suite 22A ± 5,737 SF**  
**Suite 23 ± 3,084 SF**  
**Suite 28 ± 975 SF**  
**Suite 36A ± 5,000 SF**



Lease Rate:  
**See Broker**



Lot Size:  
**10.98 Acres**

# PROPERTY BENEFITS

- **Major river crossing** - Rio Bravo Blvd. is 1 of 7 crossings linking the east side to the west side
- Located at the **signalized intersection of Rio Bravo & Isleta**, both are major north/south thoroughfares in the city
- **Grocery anchored shopping center**, the closet national grocery store is 6.1 miles away
- **Closest predominant shopping center is over 2 miles away** - Las Estancias, an 80-acre shopping destination, with top-performing Walmart Supercenter with over 40,000 weekly shoppers
- Down the street from Avanzando with CNM multi-generational facility
- **Upcoming residential developments** in the area to include 450 single-family homes and 240 multi-family units



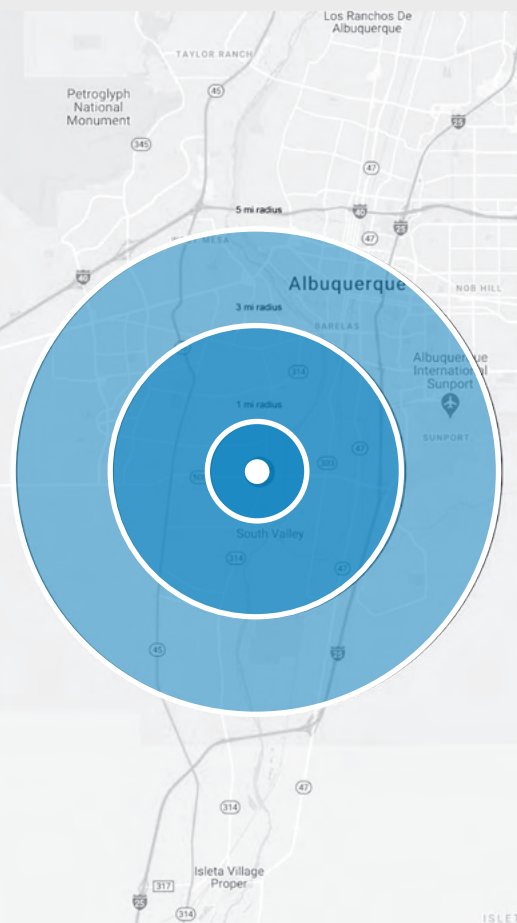








Suite 1	Domino's Pizza	3,202
Suite 6	First Financial Credit Union	2,975
Suite 8	World Finance Corporation	1,127
Suite 9	Wingstop	1,210
Suite 10	Miami Nails	1,100
Suite 11	Albertsons	42,630
Suite 12	Young America Insurance	1,400
Suite 14	Electric Avenue	2,164
<b>Suite 18</b>	<b>Available (In-Line)</b>	<b>2,140</b>
Suite 22	Family Dollar	9,935
<b>Suite 22A</b>	<b>Available (In-Line)</b>	<b>5,737</b>
<b>Suite 23</b>	<b>Available (In-Line)</b>	<b>3,084</b>
Suite 24	Golden Cuts	1,366
Suite 25	H&R Block	1,400
Suite 26	In and Out MVD	1,400
Suite 27	NM Gas Company	1,825
<b>Suite 28</b>	<b>Available (In-Line)</b>	<b>975</b>
Suite 29	Leased	1,400
Suite 30	Metro PCS	1,400
Suite 32	Subway	1,100
Suite 33	Celebrate Dental & Braces	5,920
<b>Suite 36A</b>	<b>Available (In-Line)</b>	<b>5,000</b>
Suite 36	Oak Street Health	8,500
Pad	Walgreens	



## POPULATION

	1 MILE	3 MILE	5 MILE
2020 Estimated Population	6,793	53,568	160,735
2025 Projected Population	7,173	55,010	163,617
2020 Est. Median Age	38.7	35.2	34.0

## HOUSEHOLDS

2020 Estimated Households	2,340	17,705	58,545
2025 Projected Households	2,532	18,681	61,184
2020 Median Home Value	\$150,952	\$150,104	\$157,536
2025 Median Rent	\$690	\$701	\$720

## BUSINESS & EMPLOYEES

2020 Est. Average Household Income	\$63,992	\$61,359	\$58,571
2020 Est. Total Businesses	186	1,133	5,794
2020 Est. Total Employees	1,374	11,285	75,787
2020 White Collar Workers	44.0%	47.0%	53.6%
2020 Blue Collar Workers	56.0%	53.0%	46.4%

## INCOME

2020 Est. Total Household Expenditure	\$120.68 M	\$887.55 M	\$2.84 B
2020 Est. Apparel	\$4.19 M	\$30.94 M	\$99.12 M
2020 Est. Entertainment	\$6.68 M	\$48.97 M	\$156.21 M
2020 Est. Food, Beverage, Tobacco	\$18.9 M	\$139.2 M	\$445.21 M
2020 Est. Furnishings, Equipment	\$4.15 M	\$30.42 M	\$97.05 M
2020 Est. Personal Care	\$1.62 M	\$11.86 M	\$37.97 M
2020 Est. Transportation	\$22.15 M	\$163.1 M	\$518.78 M