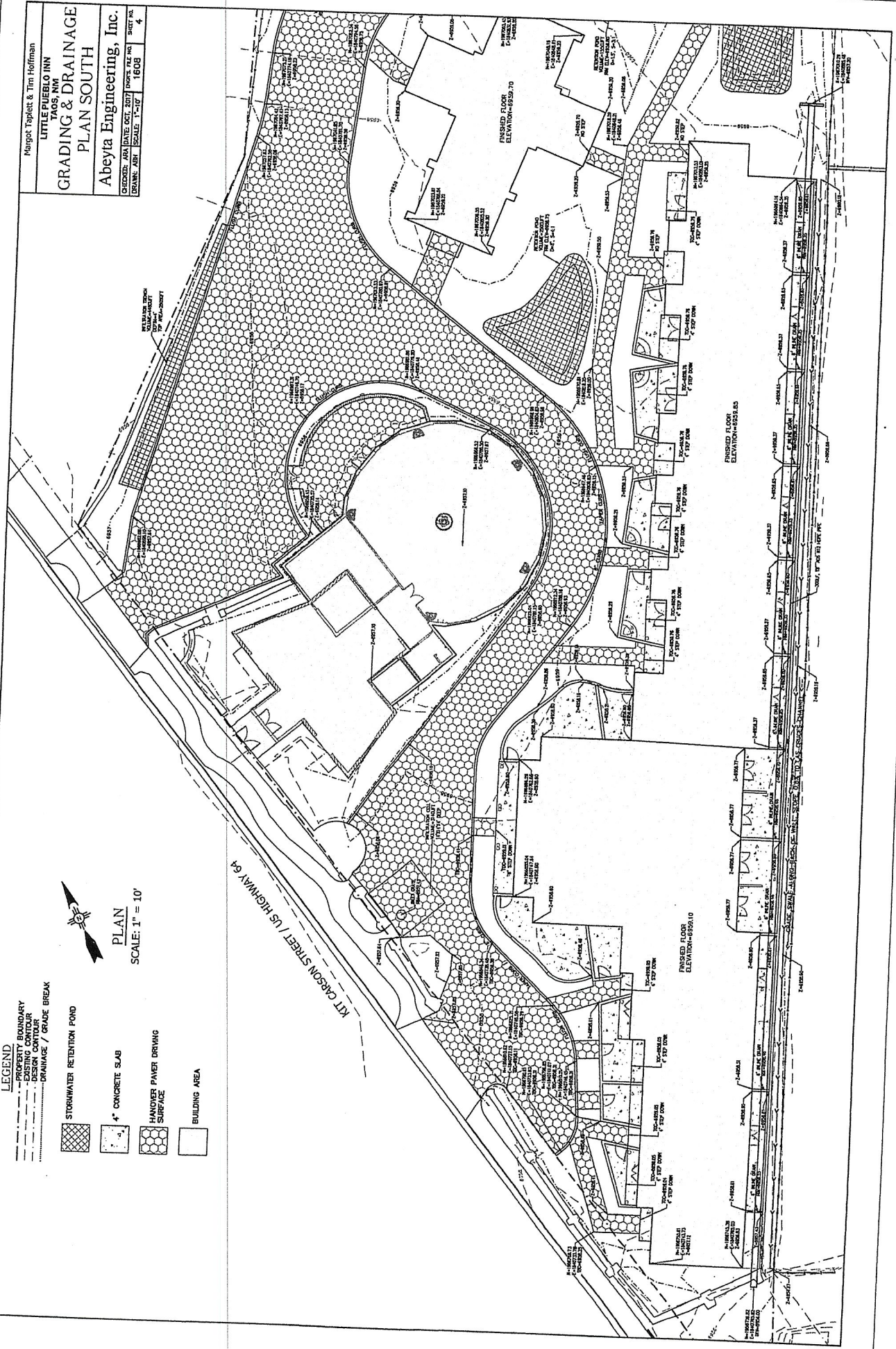


- LEGEND**
- PROPERTY BOUNDARY
 - EXISTING CONTOUR
 - DESIGN CONTOUR
 - DRAINAGE / GRADE BREAK
 - STORMWATER RETENTION POND
 - 4" CONCRETE SLAB
 - HANDOVER PAPER DRAINING SURFACE
 - BUILDING AREA



PLAN
SCALE: 1" = 10'

Margot Taplett & Tim Hoffman
LITTLE PUEBLO INN
PUEBLO, CO
GRADING & DRAINAGE
PLAN SOUTH
Abeyta Engineering, Inc.
CHECKED: AEA DATE: OCT. 2017 DRAWN: TAE NO. 1608
DRAWN: ASH SCALE: 1"=10' SHEET: 4





PLAN
SCALE: 1" = 10'

LEGEND

- PROPERTY BOUNDARY
- EXISTING CONTOUR
- PROPOSED CONTOUR
- DRAINAGE / GRADE BREAK
- STORMWATER RETENTION POND
- 4" CONCRETE SLAB
- HANDOVER PAVEMENT SURFACE
- BUILDING AREA

Margot Taplett & Tim Hoffman

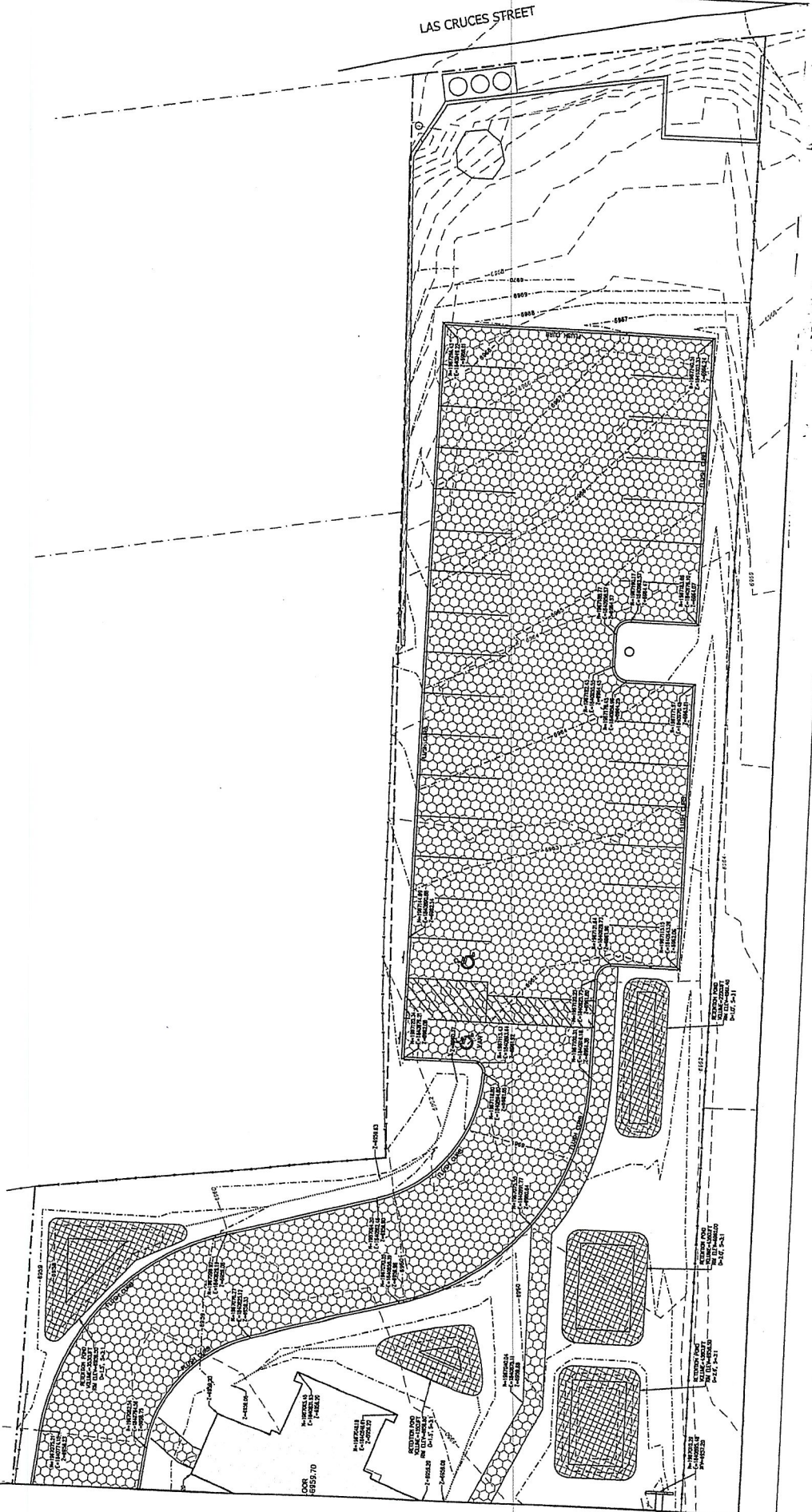
LITTLE PUEBLO INN
TAOS, NM

GRADING & DRAINAGE
PLAN NORTH

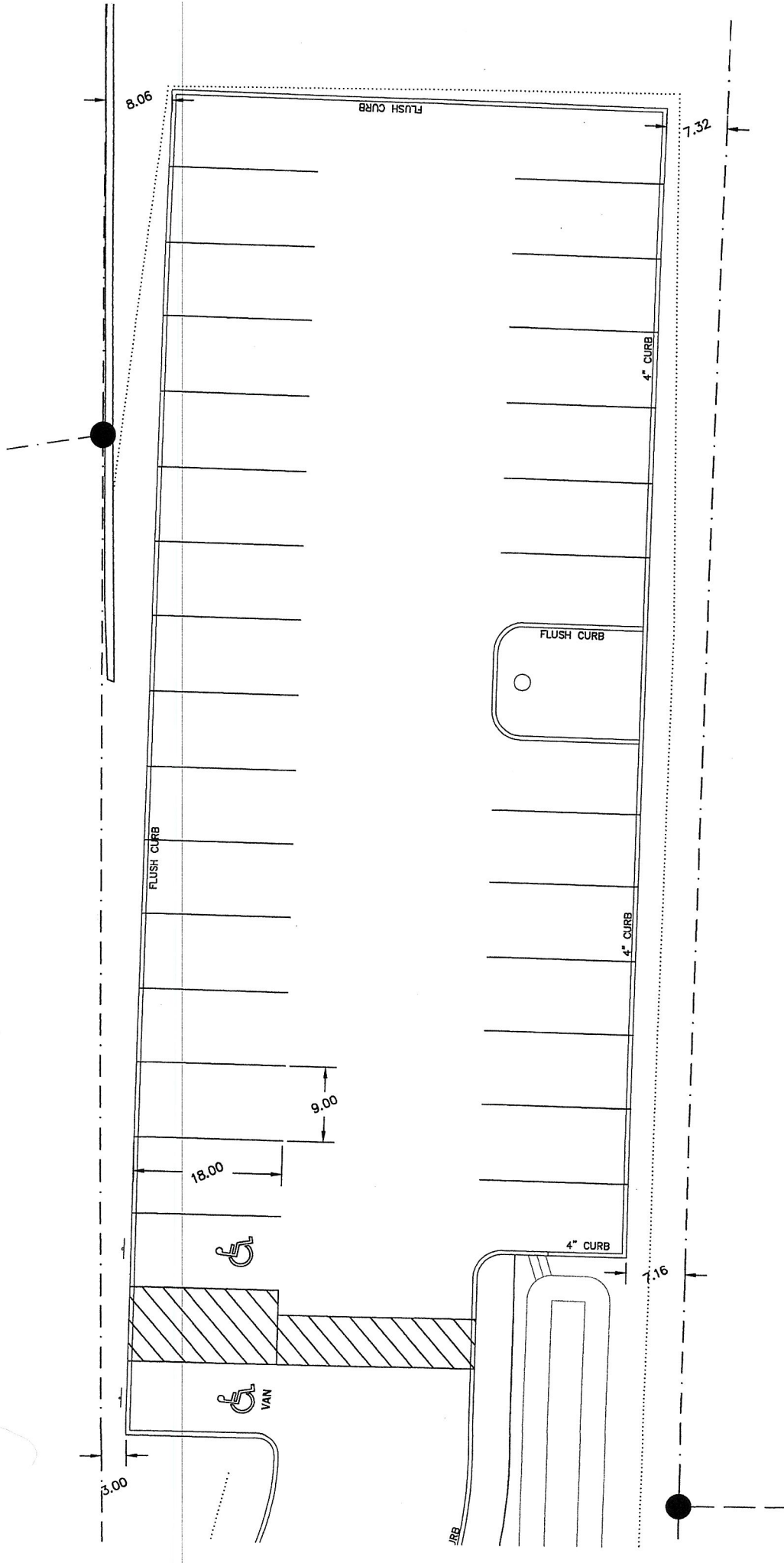
Abeyta Engineering, Inc.

CHECKED: ABY/TAH OCT. 2017 DRAWN: T.H. SHEET NO. 5
SCALE: 1"=10' 1600

LAS CRUCES STREET



31 Total Parking Spaces



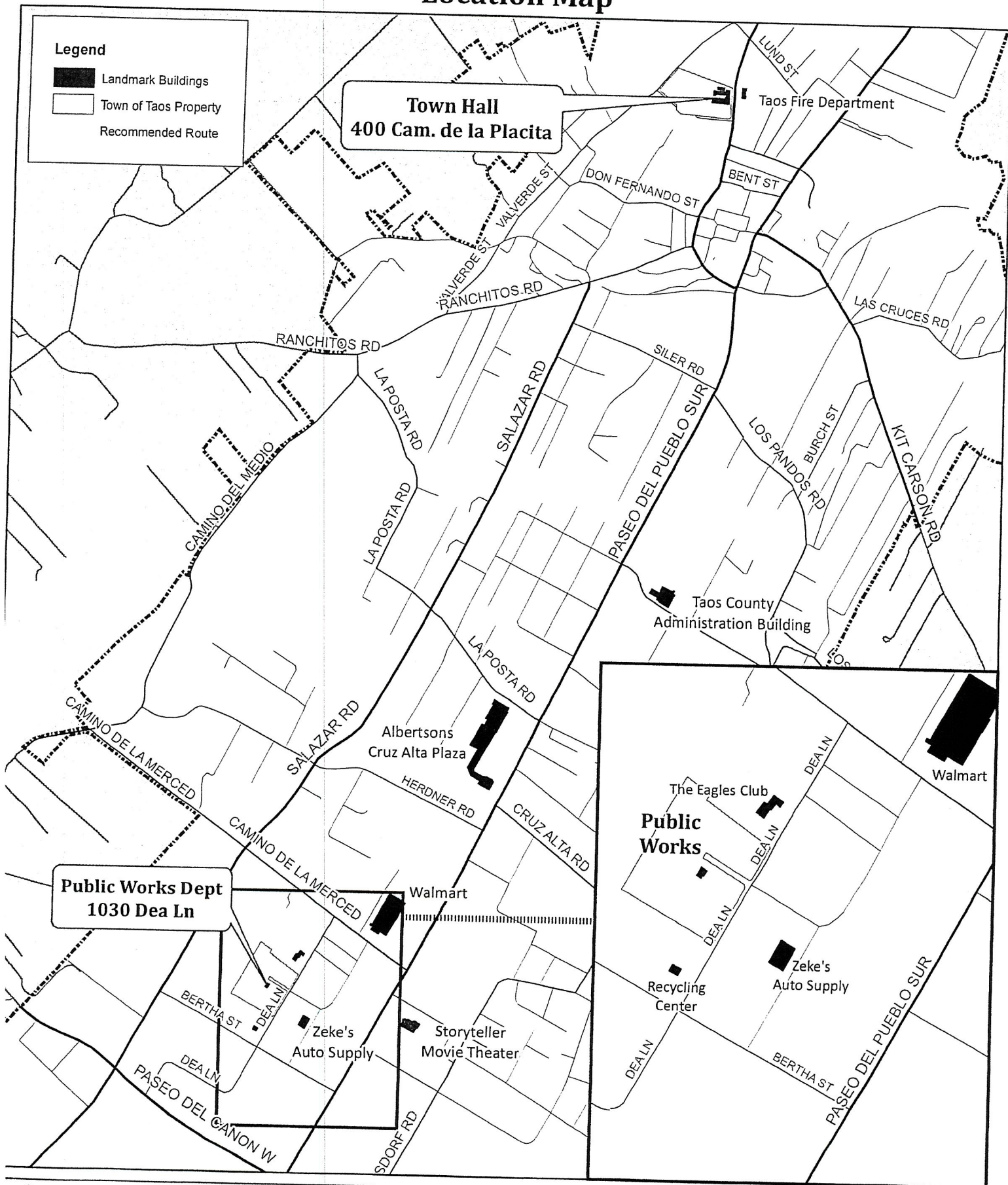
For addressing enquiries call
Tim Corner at (575) 737-2640

Town of Taos Public Works Location Map

Legend

- Landmark Buildings
- Town of Taos Property
- Recommended Route

Town Hall
400 Cam. de la Placita



Public Works Dept
1030 Dea Ln

Albertsons
Cruz Alta Plaza

Walmart

Zeke's
Auto Supply

Storyteller
Movie Theater

**Public
Works**

The Eagles Club

Recycling
Center

Zeke's
Auto Supply

Walmart



Author: Tim Corner, GIS Analyst, Town of Taos
Date: 1/29/2018
Document: Public Works and Town Hall

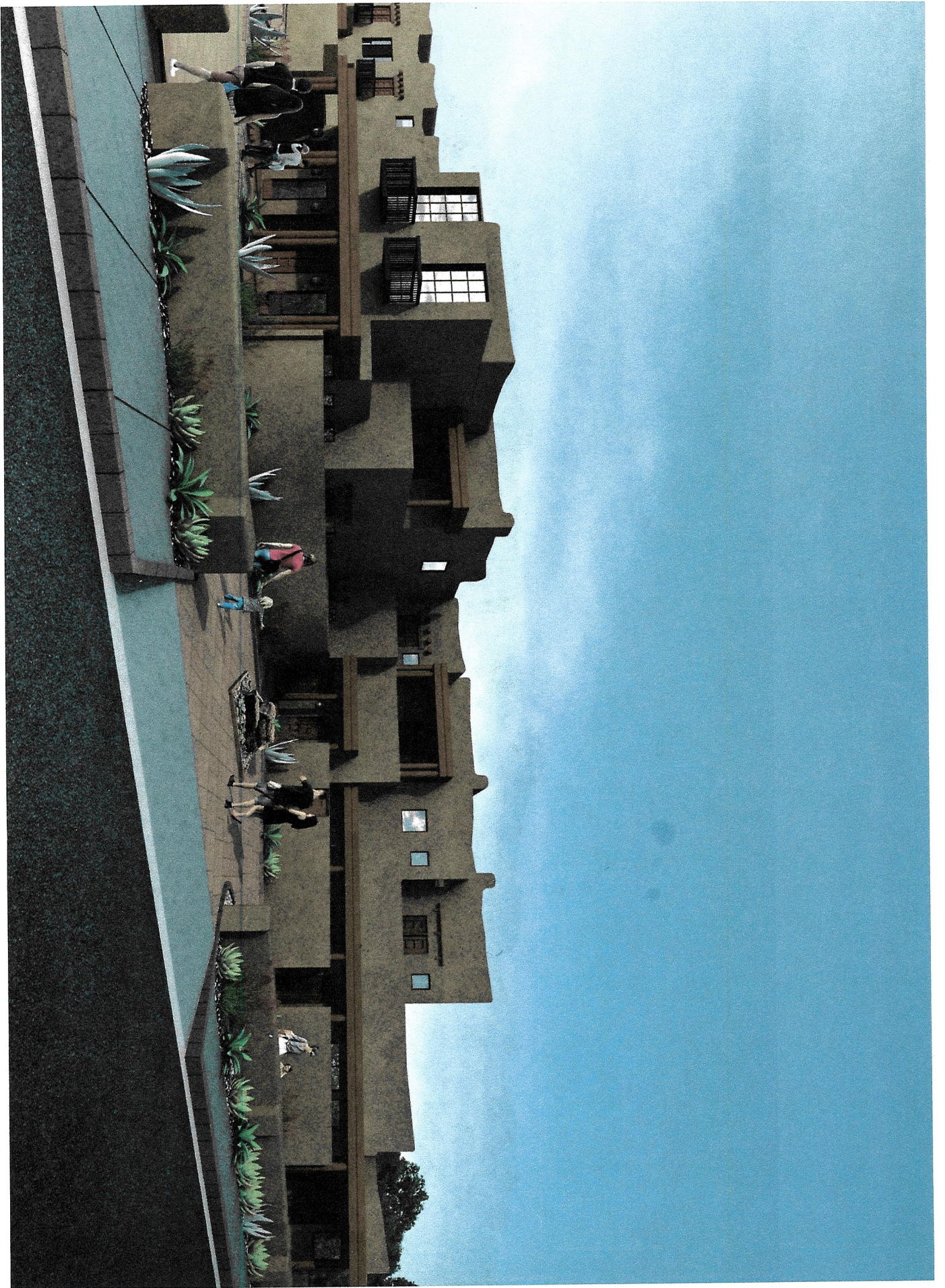
0 0.125 0.25 0.5 Miles



Narrative for 16.20.080.4

1. The plans for "LPI" or Little Pueblo Inn, will be built on the same general footprint of the Adobe Wall Motel, previously located on this site.
2. There are several benefits to the conditional use will have for the town. First and foremost, the Adobe wall motel was outdated, under duress and had a tree a top the building. The Adobe wall was rampant with homeless, rodents, and vermin, several of the rooms had discoloration appearing to be mold and the walls were known to have asbestos. By leveling and properly disposing of the old Adobe Wall this has left a new vacant lot, also a, eye sore on the lot and the town. Once LPI is built there will be a renewed vibrance to the area a building that is helping the beautification of Taos. There will be a restaurant serving East Indian, New Mexican, and Southern cuisines. There will be brand new rooms with the appearance to be 500 years old assisting Taos and its reputation with the locals and tourists.

LPI will have adequate staffing and overflow parking as to not bring any additional safety, welfare, or public health concerns to the area. LPI is using the LEED program as a guideline for energy efficiency by using solar and wind power as well as reusing a portion of our water to be environmentally friendly. There will not b any more stress on Town infrastructure than the former Adobe wall Motel.



GENERAL NOTES

1. ALL CONTRACTORS SHALL VISIT THE SITE AND BECOME COMPLETELY FAMILIAR WITH CONDITIONS AFFECTING THE WORK. NO CONTRACTUAL ADJUSTMENT SHALL BE MADE DUE TO LACK OF KNOWLEDGE OF SITE CONDITIONS.

2. ALL WORK SHALL COMPLY WITH FEDERAL, STATE AND LOCAL CODES AND ORDINANCES, INCLUDING ADA, AND SHALL BE DONE TO THE HIGHEST STANDARDS OF CRAFTSMANSHIP BY JOURNEYMEN OF THE RESPECTIVE TRADES.

3. THE CONTRACTOR SHALL RECOGNIZE THAT THE ARCHITECT & OWNER SHALL HAVE THE RIGHT OF APPROVAL OF ALL MATERIALS AND EQUIPMENT INSTALLED ON THE PROJECT. ANY WORK, MATERIALS OR EQUIPMENT DISAPPROVED BY THE ARCHITECT OR THE OWNER SHALL BE REMOVED AND REPLACED AT THE CONTRACTOR'S EXPENSE.

4. ANY SUBSTITUTIONS FOR SPECIFIED ITEMS MUST BE APPROVED BY ARCHITECT OR OWNER PRIOR TO ORDERING. FAILURE TO DO SO SHALL BE CONSIDERED A BREACH OF CONTRACT. TO ORDER SPECIFIED MATERIALS IN A TIMELY MANNER WILL NOT CONSTITUTE SUBSTITUTIONS.

5. PRIOR TO EACH REQUEST FOR PAYMENT, THE CONTRACTOR SHALL NOTIFY THE OWNER WITH RELEASE OF LIES FROM EACH AND EVERY SUBCONTRACTOR AND SUPPLIER OF MATERIAL AND EQUIPMENT USED AND INSTALLED ON THE PROJECT, AS WELL AS A RELEASE OF LIABILITY TO OWNERS ON THE PROJECT.

6. WITHIN 10 DAYS AFTER EXECUTION OF THE CONTRACT, CONTRACTOR SHALL SUBMIT TO OWNER A PLANNED PROGRESS SCHEDULE, SHOWING SUBDIVISION OF CONTRACT INTO ITEMS OF CONSTRUCTION WITH QUANTITIES AND PRICES. PROGRESS PAYMENTS WILL BE RECOMMENDED ON THE BASIS OF THE VALUE OF WORK COMPLETED. NO PAYMENT WILL BE MADE TO CONTRACTOR UNTIL SCHEDULE HAS BEEN SUBMITTED.

7. CONTRACTOR SHALL SUBMIT, WITH APPROVAL OF PROPERTY MANAGER, LOCATION OF ANY SITE, EXISTING, STOPPING, AND WORK AREA. CONTRACTOR SHALL TAKE ALL REASONABLE AND FEASIBLE CARE TO MAINTAIN THAT AREAS ON THE SITE OUTSIDE SUCH DESIGNATED AREAS REMAIN UNDISTURBED AND ACCESSIBLE.

8. CONTRACTOR SHALL MAINTAIN A REASONABLE CLEAN SITE, EXCESS AND EXCESS MATERIALS SHALL BE REMOVED FROM THE SITE ON A REGULAR BASIS.

9. CONTRACTOR SHALL TURN OVER WORK TO OWNER IN A SUFFICIENTLY COMPLETION, CLEANING INCLUDING REMOVAL OF ADHESIVE RESIDUE, SURFACES, WARE, FRAGMENTS, DIRT, PAINT SPOTS, DUST, LUST, DISCOLORATION AND ANY OTHER FOREIGN MATTER.

10. CONTRACTOR SHALL WARRANT ALL WORK, MATERIALS, AND EQUIPMENT USED AND INSTALLED ON THE PROJECT FOR A PERIOD OF ONE YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION. CONTRACTOR SHALL PROTECT TO REMAIN CORRECT OF ALL GUARANTEES, WARRANTIES, INSTRUCTIONS, CLEARING INFORMATION AND MATERIALS OF THE PROJECTS TO BE COMPLETED. CONTRACTOR SHALL SUBMIT, WITH APPROVAL OF PROPERTY MANAGER, LOCATION OF ANY SITE, EXISTING, STOPPING, AND WORK AREA. CONTRACTOR SHALL TAKE ALL REASONABLE AND FEASIBLE CARE TO MAINTAIN THAT AREAS ON THE SITE OUTSIDE SUCH DESIGNATED AREAS REMAIN UNDISTURBED AND ACCESSIBLE.

11. DRAWINGS AND SPECIFICATIONS:

A. CONTRACTOR IS RESPONSIBLE FOR THOROUGHLY REVIEWING DRAWINGS AND FOR CONTACTING THE ARCHITECT TO CLARIFY ANY DISCREPANCIES FOUND THEREIN.

B. TERMS SUCH AS "AS SHOWN", "AS INDICATED", OR "AS NOTED" MEAN THERE ARE ADDITIONAL REQUIREMENTS SPECIFIED ELSEWHERE IN THE CONTRACT DOCUMENTS.

C. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, INCLUDING ELECTRICAL, MECHANICAL, AND PLUMBING PERMITS, PRIOR TO BEGINNING WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, INCLUDING ELECTRICAL, MECHANICAL, AND PLUMBING PERMITS, PRIOR TO BEGINNING WORK.

12. CONTRACTOR SHALL SUBMIT, WITH APPROVAL OF PROPERTY MANAGER, LOCATION OF ANY SITE, EXISTING, STOPPING, AND WORK AREA. CONTRACTOR SHALL TAKE ALL REASONABLE AND FEASIBLE CARE TO MAINTAIN THAT AREAS ON THE SITE OUTSIDE SUCH DESIGNATED AREAS REMAIN UNDISTURBED AND ACCESSIBLE.

13. CONTRACTOR SHALL PROTECT ALL WORK AS REQUIRED TO AVOID DAMAGE, HARMING OR STAINING BY INSTALLERS OF SUBSEQUENT WORK IN SAME AREA. ANY SUCH DAMAGE TO MATERIALS MUST BE REPLACED OR REPAIRED AT CONTRACTOR'S EXPENSE.

14. CONCRETE PLACEMENT SHALL BE A MINIMUM OF 3,000 PSI AND STEEL REINFORCING 10" O.C. EA. WAY, OVER 4" FOR VARIOUS BARRELS.

15. CONCRETE CURING SHALL BE IN SUCH A MANNER AS TO PROTECT EXISTING REINFORCING. ANY REINFORCING CUT SHALL BE REPLACED & RETURNED TO ORIGINAL UNIFORMITY OF CONCRETE. SLAB REPLACEMENT SHALL BE COMPLETED WITHIN A MAX OF 48 HOURS OF CURING SLAB.

16. ALL CONSTRUCTION SHALL COMPLY WITH AMERICAN WITH DISABILITIES ACT (ADA) LEGISLATION AND ALL APPLICABLE CODES & GOVERNMENTAL REGULATIONS.

17. ALL CONSTRUCTION SHALL BE WITHIN THE DESIGNATED AREA & SHALL BE CAUSED TO EXIST INTO SANITARY SEWER IN COMPLIANCE WITH CODES.

DELAYED SUBMITTAL	
1. SPRINKLER SYSTEM DESIGN DRAWINGS	
2. FIRE ALARM	
SCOPE OF WORK	
TO PROVIDE DESIGN SET & PREPARE FOR CONSTRUCTION OF ALL WORK & UTILITIES	
SITE DATA SUMMARY	
BUILDING SQUARE FOOTAGE	
HEATED AREA	3610 SQ. FT.
NON HEATED AREA (TERRACE)	480 SQ. FT.
TOTAL AREA	4098 SQ. FT.
PLUMBING FIXTURE COUNT REQUIREMENT	
TOTAL OCCUPANCY = 192	
MALE OCCUPANCY = 96	
FEMALE OCCUPANCY = 96	



OCCUPANCY TYPES ASSEMBLY GROUP A			
OCCUPANCY LOAD CALCULATION			
USE	SQUARE FOOTAGE	OCCUPANT LOAD FACTOR	OCCUPANCY AMOUNT
DINING ROOM	1800	15	120
BAR	150	200	1
KITCHEN	300	200	2
GALLERY	1118	30	37
DATE	480	15	32
TOTAL (INTERIOR + PATIO)	3610+480=4090		192

SHEET INDEX	
014	015
016	017
018	019
020	021
022	023
024	025
026	027
028	029
030	031
032	033
034	035
036	037
038	039
040	041
042	043
044	045
046	047
048	049
050	051
052	053
054	055
056	057
058	059
060	061
062	063
064	065
066	067
068	069
070	071
072	073
074	075
076	077
078	079
080	081
082	083
084	085
086	087
088	089
090	091
092	093
094	095
096	097
098	099
100	101
102	103
104	105
106	107
108	109
110	111
112	113
114	115
116	117
118	119
120	121
122	123
124	125
126	127
128	129
130	131
132	133
134	135
136	137
138	139
140	141
142	143
144	145
146	147
148	149
150	151
152	153
154	155
156	157
158	159
160	161
162	163
164	165
166	167
168	169
170	171
172	173
174	175
176	177
178	179
180	181
182	183
184	185
186	187
188	189
190	191
192	193
194	195
196	197
198	199
200	201
202	203
204	205
206	207
208	209
210	211
212	213
214	215
216	217
218	219
220	221
222	223
224	225
226	227
228	229
230	231
232	233
234	235
236	237
238	239
240	241
242	243
244	245
246	247
248	249
250	251
252	253
254	255
256	257
258	259
260	261
262	263
264	265
266	267
268	269
270	271
272	273
274	275
276	277
278	279
280	281
282	283
284	285
286	287
288	289
290	291
292	293
294	295
296	297
298	299
300	301
302	303
304	305
306	307
308	309
310	311
312	313
314	315
316	317
318	319
320	321
322	323
324	325
326	327
328	329
330	331
332	333
334	335
336	337
338	339
340	341
342	343
344	345
346	347
348	349
350	351
352	353
354	355
356	357
358	359
360	361
362	363
364	365
366	367
368	369
370	371
372	373
374	375
376	377
378	379
380	381
382	383
384	385
386	387
388	389
390	391
392	393
394	395
396	397
398	399
400	401
402	403
404	405
406	407
408	409
410	411
412	413
414	415
416	417
418	419
420	421
422	423
424	425
426	427
428	429
430	431
432	433
434	435
436	437
438	439
440	441
442	443
444	445
446	447
448	449
450	451
452	453
454	455
456	457
458	459
460	461
462	463
464	465
466	467
468	469
470	471
472	473
474	475
476	477
478	479
480	481
482	483
484	485
486	487
488	489
490	491
492	493
494	495
496	497
498	499
500	501
502	503
504	505
506	507
508	509
510	511
512	513
514	515
516	517
518	519
520	521
522	523
524	525
526	527
528	529
530	531
532	533
534	535
536	537
538	539
540	541
542	543
544	545
546	547
548	549
550	551
552	553
554	555
556	557
558	559
560	561
562	563
564	565
566	567
568	569
570	571
572	573
574	575
576	577
578	579
580	581
582	583
584	585
586	587
588	589
590	591
592	593
594	595
596	597
598	599
600	601
602	603
604	605
606	607
608	609
610	611
612	613
614	615
616	617
618	619
620	621
622	623
624	625
626	627
628	629
630	631
632	633
634	635
636	637
638	639
640	641
642	643
644	645
646	647
648	649
650	651
652	653
654	655
656	657
658	659
660	661
662	663
664	665
666	667
668	669
670	671
672	673
674	675
676	677
678	679
680	681
682	683
684	685
686	687
688	689
690	691
692	693
694	695
696	697
698	699
700	701
702	703
704	705
706	707
708	709
710	711
712	713
714	715
716	717
718	719
720	721
722	723
724	725
726	727
728	729
730	731
732	733
734	735
736	737
738	739
740	741
742	743
744	745
746	747
748	749
750	751
752	753
754	755
756	757
758	759
760	761
762	763
764	765
766	767
768	769
770	771
772	773
774	775
776	777
778	779
780	781
782	783
784	785
786	787
788	789
790	791
792	793
794	795
796	797
798	799
800	801
802	803
804	805
806	807
808	809
810	811
812	813
814	815
816	817
818	819
820	821
822	823
824	825
826	827
828	829
830	831
832	833
834	835
836	837
838	839
840	841
842	843
844	845
846	847
848	849
850	851
852	853
854	855
856	857
858	859
860	861
862	863
864	865
866	867
868	869
870	871
872	873
874	875
876	877
878	879
880	881
882	883
884	885
886	887
888	889
890	891
892	893
894	895
896	897
898	899
900	901
902	903
904	905
906	907
908	909
910	911
912	913
914	915
916	917
918	919
920	921
922	923
924	925
926	927
928	929
930	931
932	933
934	935
936	937
938	939
940	941
942	943
944	945
946	947
948	949
950	951
952	953
954	955
956	957
958	959
960	961
962	963
964	965
966	967
968	969
970	971
972	973
974	975
976	977
978	979
980	981
982	983
984	985
986	987
988	989
990	991
992	993
994	995
996	997
998	999
1000	1001

DIMENSION GROUP

227 KIT CARSEN ROAD
TAOS, NEW MEXICO 87571

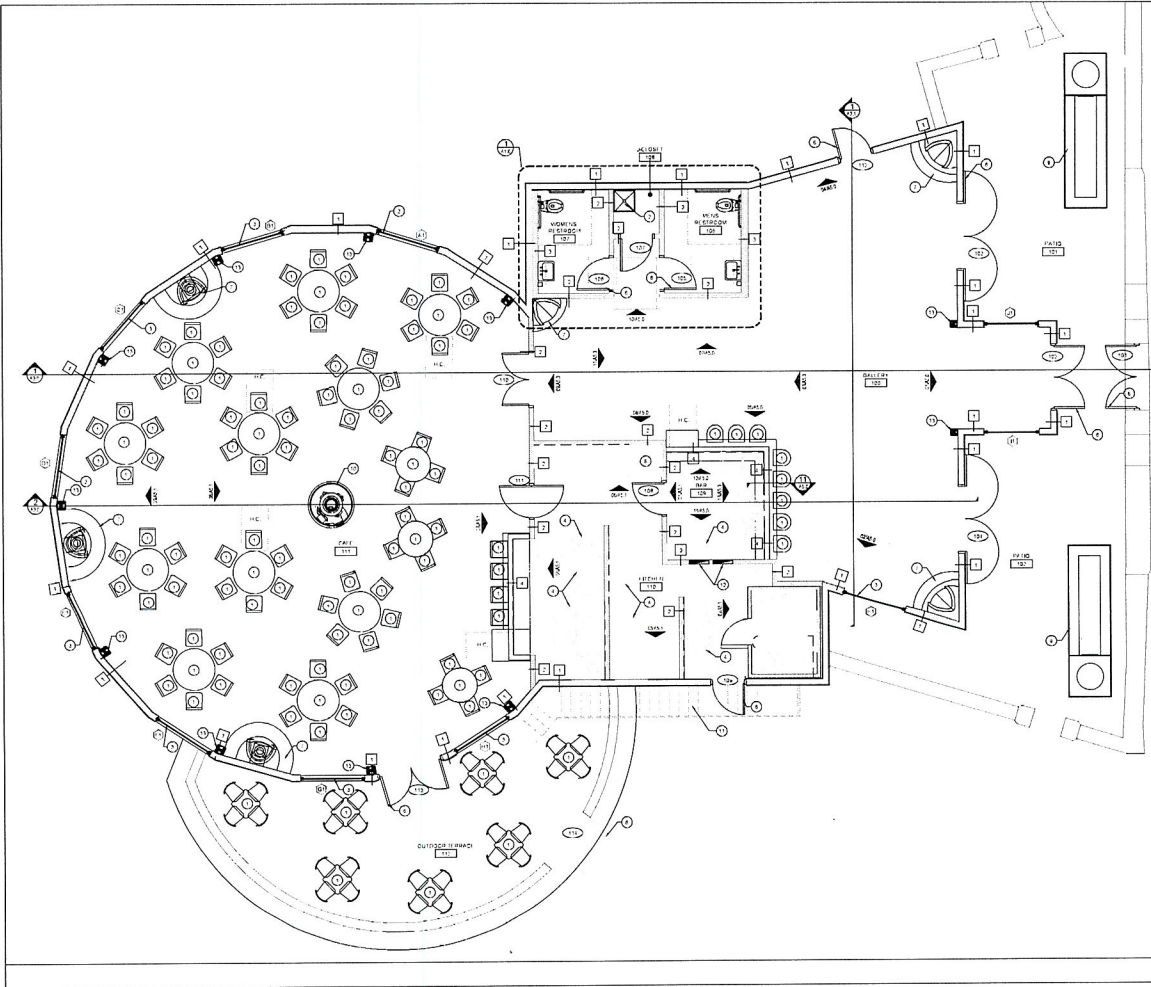
LITTLE PUEBLO INN

TAOS, NEW MEXICO

227 KIT CARSEN ROAD
TAOS, NEW MEXICO 87571

REVISIONS

NO.	DATE	DESCRIPTION
1		</



GENERAL NOTES	
1.	ALL DIMENSIONS SHALL TAKE PLACE TO CENTERLINE UNLESS NOTED OTHERWISE.
2.	ALL DIMENSIONS SHALL BE TO CENTERLINE UNLESS NOTED OTHERWISE.
3.	ALL DIMENSIONS SHALL BE TO CENTERLINE UNLESS NOTED OTHERWISE.
4.	ALL DIMENSIONS SHALL BE TO CENTERLINE UNLESS NOTED OTHERWISE.
5.	ALL DIMENSIONS SHALL BE TO CENTERLINE UNLESS NOTED OTHERWISE.
6.	ALL DIMENSIONS SHALL BE TO CENTERLINE UNLESS NOTED OTHERWISE.
7.	ALL DIMENSIONS SHALL BE TO CENTERLINE UNLESS NOTED OTHERWISE.
8.	ALL DIMENSIONS SHALL BE TO CENTERLINE UNLESS NOTED OTHERWISE.
9.	ALL DIMENSIONS SHALL BE TO CENTERLINE UNLESS NOTED OTHERWISE.
10.	ALL DIMENSIONS SHALL BE TO CENTERLINE UNLESS NOTED OTHERWISE.
KEY NOTES	
1.	FURNITURE AND FIXTURES SHALL BE INSTALLED BY THE OWNER.
2.	FURNITURE AND FIXTURES SHALL BE INSTALLED BY THE OWNER.
3.	FURNITURE AND FIXTURES SHALL BE INSTALLED BY THE OWNER.
4.	FURNITURE AND FIXTURES SHALL BE INSTALLED BY THE OWNER.
5.	FURNITURE AND FIXTURES SHALL BE INSTALLED BY THE OWNER.
6.	FURNITURE AND FIXTURES SHALL BE INSTALLED BY THE OWNER.
7.	FURNITURE AND FIXTURES SHALL BE INSTALLED BY THE OWNER.
8.	FURNITURE AND FIXTURES SHALL BE INSTALLED BY THE OWNER.
9.	FURNITURE AND FIXTURES SHALL BE INSTALLED BY THE OWNER.
10.	FURNITURE AND FIXTURES SHALL BE INSTALLED BY THE OWNER.
WALL TYPE SCHEDULE	
1.	WALL TYPE 1: 1/2" GYPSUM BOARD ON 2" X 4" STUDS, 5/8" MIN. Gypsum Board.
2.	WALL TYPE 2: 1/2" GYPSUM BOARD ON 2" X 4" STUDS, 5/8" MIN. Gypsum Board.
3.	WALL TYPE 3: 1/2" GYPSUM BOARD ON 2" X 4" STUDS, 5/8" MIN. Gypsum Board.
4.	WALL TYPE 4: 1/2" GYPSUM BOARD ON 2" X 4" STUDS, 5/8" MIN. Gypsum Board.
5.	WALL TYPE 5: 1/2" GYPSUM BOARD ON 2" X 4" STUDS, 5/8" MIN. Gypsum Board.
6.	WALL TYPE 6: 1/2" GYPSUM BOARD ON 2" X 4" STUDS, 5/8" MIN. Gypsum Board.
7.	WALL TYPE 7: 1/2" GYPSUM BOARD ON 2" X 4" STUDS, 5/8" MIN. Gypsum Board.
8.	WALL TYPE 8: 1/2" GYPSUM BOARD ON 2" X 4" STUDS, 5/8" MIN. Gypsum Board.
9.	WALL TYPE 9: 1/2" GYPSUM BOARD ON 2" X 4" STUDS, 5/8" MIN. Gypsum Board.
10.	WALL TYPE 10: 1/2" GYPSUM BOARD ON 2" X 4" STUDS, 5/8" MIN. Gypsum Board.
FLOOR LEGEND	
1.	FLOOR TYPE 1: 1/2" GYPSUM BOARD ON 2" X 4" STUDS, 5/8" MIN. Gypsum Board.
2.	FLOOR TYPE 2: 1/2" GYPSUM BOARD ON 2" X 4" STUDS, 5/8" MIN. Gypsum Board.
3.	FLOOR TYPE 3: 1/2" GYPSUM BOARD ON 2" X 4" STUDS, 5/8" MIN. Gypsum Board.
4.	FLOOR TYPE 4: 1/2" GYPSUM BOARD ON 2" X 4" STUDS, 5/8" MIN. Gypsum Board.
5.	FLOOR TYPE 5: 1/2" GYPSUM BOARD ON 2" X 4" STUDS, 5/8" MIN. Gypsum Board.
6.	FLOOR TYPE 6: 1/2" GYPSUM BOARD ON 2" X 4" STUDS, 5/8" MIN. Gypsum Board.
7.	FLOOR TYPE 7: 1/2" GYPSUM BOARD ON 2" X 4" STUDS, 5/8" MIN. Gypsum Board.
8.	FLOOR TYPE 8: 1/2" GYPSUM BOARD ON 2" X 4" STUDS, 5/8" MIN. Gypsum Board.
9.	FLOOR TYPE 9: 1/2" GYPSUM BOARD ON 2" X 4" STUDS, 5/8" MIN. Gypsum Board.
10.	FLOOR TYPE 10: 1/2" GYPSUM BOARD ON 2" X 4" STUDS, 5/8" MIN. Gypsum Board.

DIMENSION GROUP

1101 E. 1st St. Suite 100, Santa Ana, CA 92701

NOTE FLOOR PLAN

1

PROJECT INFORMATION

PROJECT: LITTLE PUEBLO INN

LOCATION: TAOS, NEW MEXICO

DATE: 01.15.17

DESIGNER

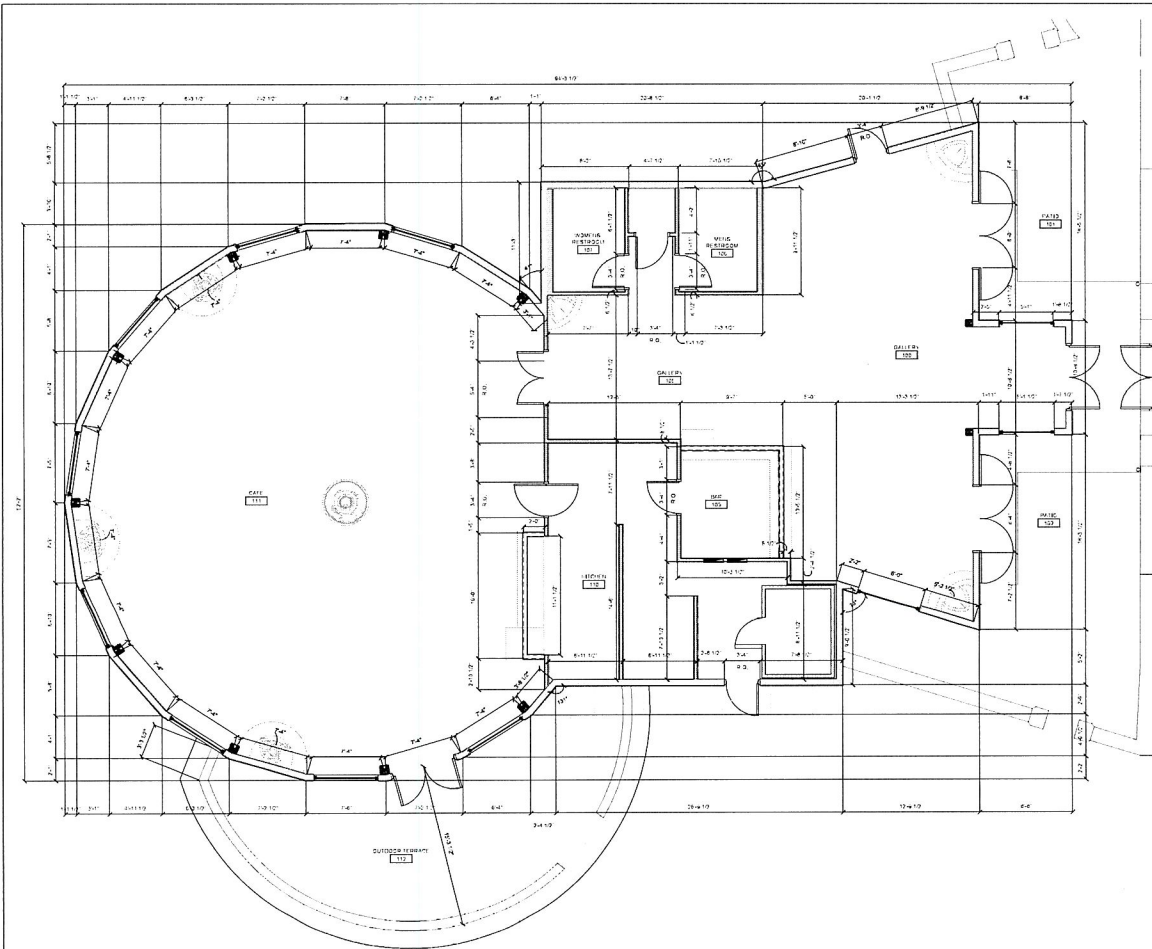
DESIGNER: [Signature]

CHECKED BY: [Signature]

DATE: 01.15.17

FLOOR PLAN

A1.0



- GENERAL NOTES**
1. ALL DIMENSIONS SHALL BE IN FEET AND INCHES UNLESS OTHERWISE NOTED.
 2. ALL DIMENSIONS SHALL BE TO THE CENTERLINE OF THE WALL UNLESS OTHERWISE NOTED.
 3. ALL DIMENSIONS SHALL BE TO THE FACE OF THE WALL UNLESS OTHERWISE NOTED.
 4. ALL DIMENSIONS SHALL BE TO THE CENTERLINE OF THE WALL UNLESS OTHERWISE NOTED.
 5. ALL DIMENSIONS SHALL BE TO THE FACE OF THE WALL UNLESS OTHERWISE NOTED.
 6. ALL DIMENSIONS SHALL BE TO THE CENTERLINE OF THE WALL UNLESS OTHERWISE NOTED.
 7. ALL DIMENSIONS SHALL BE TO THE FACE OF THE WALL UNLESS OTHERWISE NOTED.
 8. ALL DIMENSIONS SHALL BE TO THE CENTERLINE OF THE WALL UNLESS OTHERWISE NOTED.
 9. ALL DIMENSIONS SHALL BE TO THE FACE OF THE WALL UNLESS OTHERWISE NOTED.
 10. ALL DIMENSIONS SHALL BE TO THE CENTERLINE OF THE WALL UNLESS OTHERWISE NOTED.



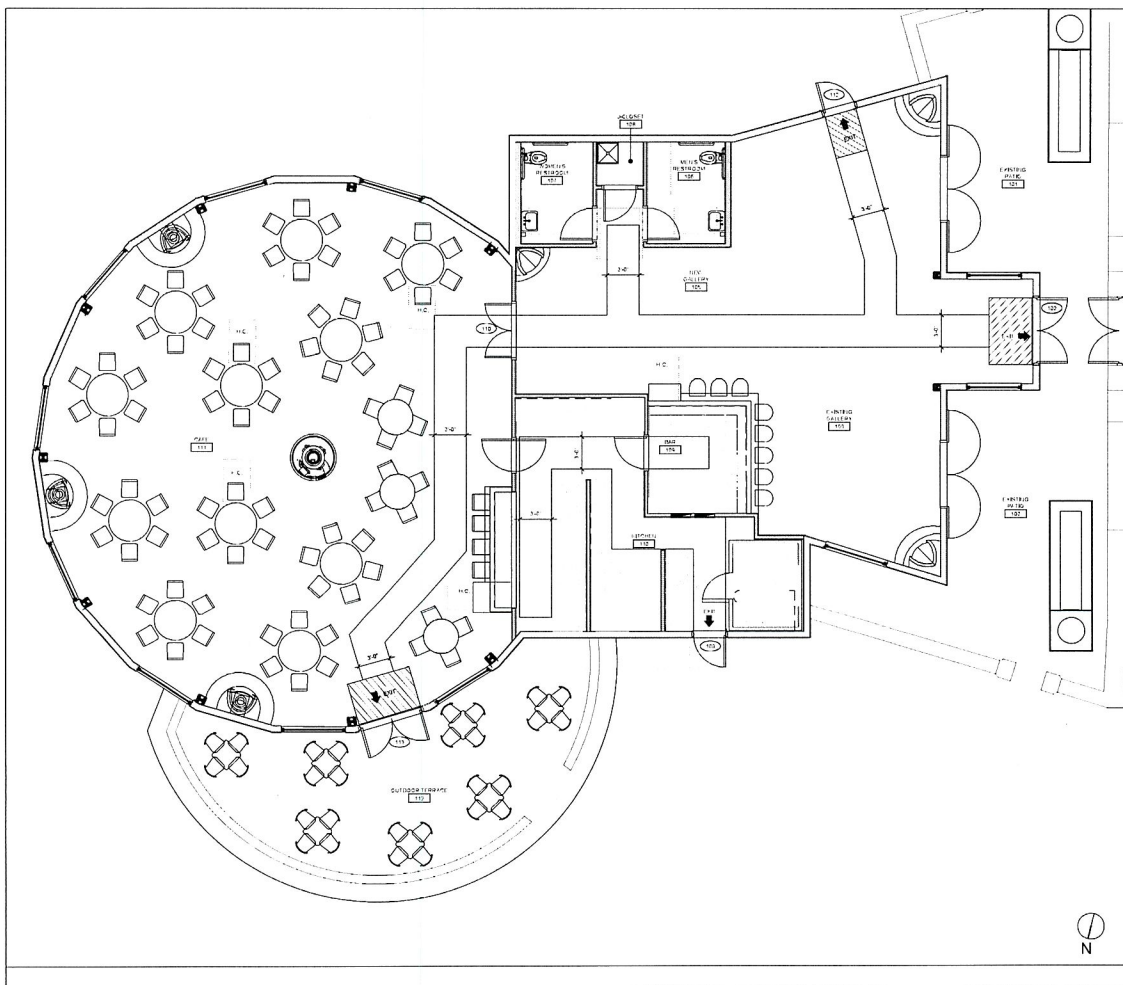
DIMENSION GROUP

LITTLE PUEBLO INN
TAOS, NEW MEXICO
 11700 CORDILLERA 1 TAOS, NEW MEXICO 87571

DATE: 01/11/11
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 PROJECT: [Name]
 SHEET: 1 OF 1

FLOOR PLAN

A1.1



GENERAL NOTES

- | GENERAL NOTES | |
|---------------|---|
| 1. | ALL CONSTRUCTION SHALL FOLLOW THE STANDARD CONSTRUCTION PRACTICES. |
| 2. | ALL CONSTRUCTION SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME TO AVOID DISRUPTION TO THE TRAFFIC AND UTILITIES. |
| 3. | REFER TO THE CONTRACT DOCUMENTS FOR THE SPECIFICATIONS AND REQUIREMENTS. |
| 4. | ALL MATERIALS AND METHODS SHALL BE APPROVED BY THE ENGINEER BEFORE CONSTRUCTION. |
| 5. | ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION. |
| 6. | REFER TO THE CONTRACT DOCUMENTS FOR THE SPECIFICATIONS AND REQUIREMENTS. |
| 7. | REFER TO THE CONTRACT DOCUMENTS FOR THE SPECIFICATIONS AND REQUIREMENTS. |

BUILDING DATA

INTERIOR AREA	3,810	SQ. FT.
PATIO	480	SQ. FT.
TOTAL	4,090	SQ. FT.

SEATING COUNT

INTERIOR SEATING:		
6 TOP TABLE x	11	= 66
4 TOP TABLE x	3	= 12
BAR SEATING		= 14
TOTAL DINING:		=
PATIO SEATING:		
4 TOP TABLE x	7	= 28
TOTAL DINING AND PATIO:		= 120

C. SEATING REQUIRED

8 1/2" x 11" x 5" SPACES REQ'D	
EGRESS LAYOUT NOTES	
1	1. EACH EXIT SIGN SHALL BE PROVIDED AT THE FOLLOWING LOCATIONS:
A)	A) EACH GRADE LEVEL EXIT PRIOR DOOR SHALL BE IDENTIFIED BY A TACTILE EXIT WITH THE WORD "EXIT"
B)	B) EACH EXIT, EXIT ACCESS DOOR FROM AN INTERIOR ROOM OR AREA TO A CORRIDOR OR HALLWAY THAT IS REQUIRED TO HAVE A VISUAL EXIT SIGN, SHALL BE IDENTIFIED BY A

PANTRY LOAD CALCULATION

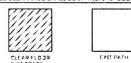
USE	SQUARE FOOT AGE	OCCUPANT LOAD FACTOR	OCCUPANCY AMOUNT
DINING ROOM	1805	15	120
BAR	150	200	1
KITCHEN	336	200	2
GALLERY	1118	30	37
PATIO	488	15	32
TOTAL INTERIOR + PATIO		(150+32)=	182

REGRESS CALCULATION

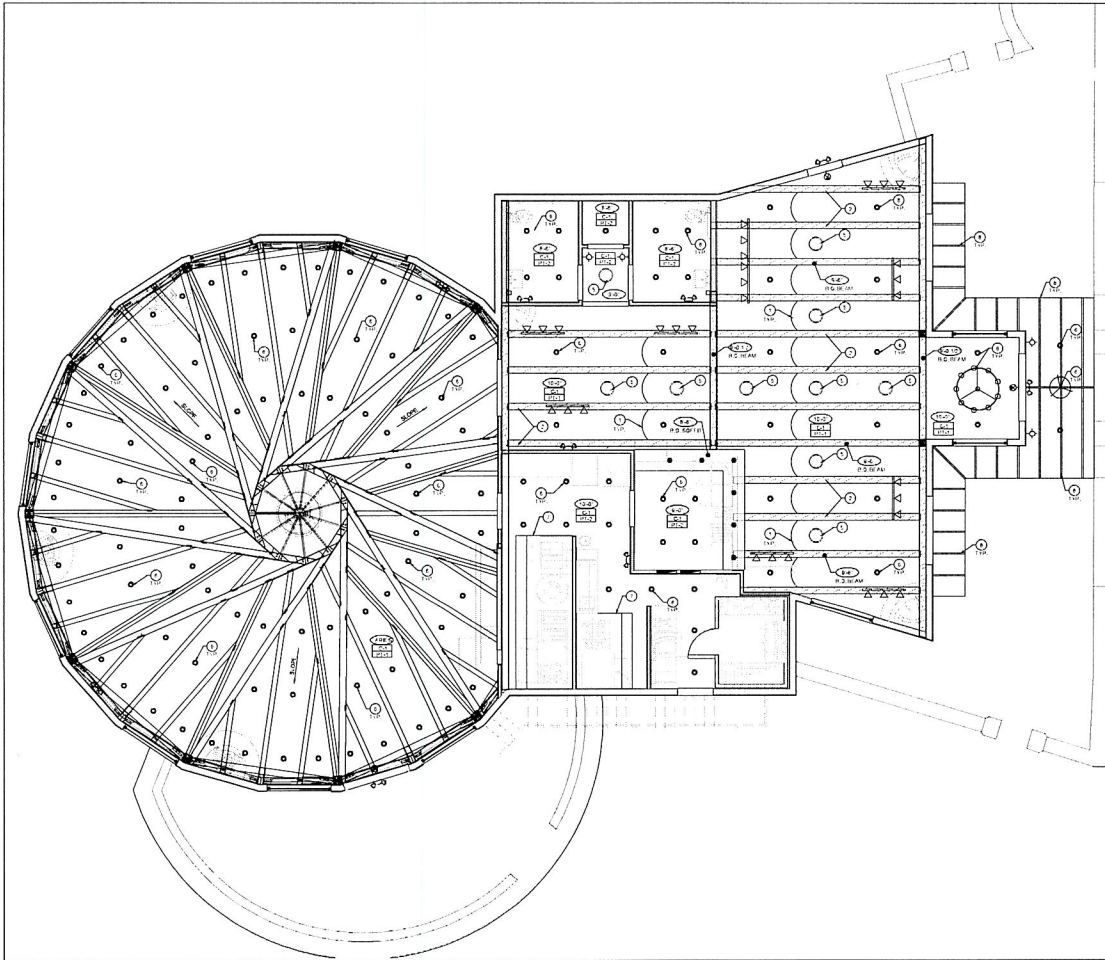
EGRESS CALCULATION		
REQUIRED (162x.2)	32	94.
PROVIDED	120	94.

FURNISHING NOTES

- | FURNISHING NOTES | |
|------------------|--|
| 1. | HEIGHT OF TABLES AND COUNTERS SHALL BE 28" MINIMUM-34" MAXIMUM |
| 2. | MANEUVERING CLEARANCE SHALL BE 30"x48" |
| 3. | KNEE CLEARANCE SHALL BE 27" HIGH, 18" DEEP AND 30" W |



EGRESS PLAN	1
-------------	---



KEYED NOTES	
1	FIXTURE KEYING
2	RECEIPTABLE RECEPTACLE KEY
3	RECEIPTABLE RECEPTACLE KEYING
4	RECEIPTABLE RECEPTACLE KEYING
5	RECEIPTABLE RECEPTACLE KEYING
6	RECEIPTABLE RECEPTACLE KEYING
7	RECEIPTABLE RECEPTACLE KEYING
8	RECEIPTABLE RECEPTACLE KEYING
9	RECEIPTABLE RECEPTACLE KEYING
10	RECEIPTABLE RECEPTACLE KEYING
11	RECEIPTABLE RECEPTACLE KEYING
12	RECEIPTABLE RECEPTACLE KEYING
13	RECEIPTABLE RECEPTACLE KEYING
14	RECEIPTABLE RECEPTACLE KEYING
15	RECEIPTABLE RECEPTACLE KEYING
16	RECEIPTABLE RECEPTACLE KEYING
17	RECEIPTABLE RECEPTACLE KEYING
18	RECEIPTABLE RECEPTACLE KEYING
19	RECEIPTABLE RECEPTACLE KEYING
20	RECEIPTABLE RECEPTACLE KEYING
21	RECEIPTABLE RECEPTACLE KEYING
22	RECEIPTABLE RECEPTACLE KEYING
23	RECEIPTABLE RECEPTACLE KEYING
24	RECEIPTABLE RECEPTACLE KEYING
25	RECEIPTABLE RECEPTACLE KEYING
26	RECEIPTABLE RECEPTACLE KEYING
27	RECEIPTABLE RECEPTACLE KEYING
28	RECEIPTABLE RECEPTACLE KEYING
29	RECEIPTABLE RECEPTACLE KEYING
30	RECEIPTABLE RECEPTACLE KEYING
31	RECEIPTABLE RECEPTACLE KEYING
32	RECEIPTABLE RECEPTACLE KEYING
33	RECEIPTABLE RECEPTACLE KEYING
34	RECEIPTABLE RECEPTACLE KEYING
35	RECEIPTABLE RECEPTACLE KEYING
36	RECEIPTABLE RECEPTACLE KEYING
37	RECEIPTABLE RECEPTACLE KEYING
38	RECEIPTABLE RECEPTACLE KEYING
39	RECEIPTABLE RECEPTACLE KEYING
40	RECEIPTABLE RECEPTACLE KEYING
41	RECEIPTABLE RECEPTACLE KEYING
42	RECEIPTABLE RECEPTACLE KEYING
43	RECEIPTABLE RECEPTACLE KEYING
44	RECEIPTABLE RECEPTACLE KEYING
45	RECEIPTABLE RECEPTACLE KEYING
46	RECEIPTABLE RECEPTACLE KEYING
47	RECEIPTABLE RECEPTACLE KEYING
48	RECEIPTABLE RECEPTACLE KEYING
49	RECEIPTABLE RECEPTACLE KEYING
50	RECEIPTABLE RECEPTACLE KEYING
51	RECEIPTABLE RECEPTACLE KEYING
52	RECEIPTABLE RECEPTACLE KEYING
53	RECEIPTABLE RECEPTACLE KEYING
54	RECEIPTABLE RECEPTACLE KEYING
55	RECEIPTABLE RECEPTACLE KEYING
56	RECEIPTABLE RECEPTACLE KEYING
57	RECEIPTABLE RECEPTACLE KEYING
58	RECEIPTABLE RECEPTACLE KEYING
59	RECEIPTABLE RECEPTACLE KEYING
60	RECEIPTABLE RECEPTACLE KEYING
61	RECEIPTABLE RECEPTACLE KEYING
62	RECEIPTABLE RECEPTACLE KEYING
63	RECEIPTABLE RECEPTACLE KEYING
64	RECEIPTABLE RECEPTACLE KEYING
65	RECEIPTABLE RECEPTACLE KEYING
66	RECEIPTABLE RECEPTACLE KEYING
67	RECEIPTABLE RECEPTACLE KEYING
68	RECEIPTABLE RECEPTACLE KEYING
69	RECEIPTABLE RECEPTACLE KEYING
70	RECEIPTABLE RECEPTACLE KEYING
71	RECEIPTABLE RECEPTACLE KEYING
72	RECEIPTABLE RECEPTACLE KEYING
73	RECEIPTABLE RECEPTACLE KEYING
74	RECEIPTABLE RECEPTACLE KEYING
75	RECEIPTABLE RECEPTACLE KEYING
76	RECEIPTABLE RECEPTACLE KEYING
77	RECEIPTABLE RECEPTACLE KEYING
78	RECEIPTABLE RECEPTACLE KEYING
79	RECEIPTABLE RECEPTACLE KEYING
80	RECEIPTABLE RECEPTACLE KEYING
81	RECEIPTABLE RECEPTACLE KEYING
82	RECEIPTABLE RECEPTACLE KEYING
83	RECEIPTABLE RECEPTACLE KEYING
84	RECEIPTABLE RECEPTACLE KEYING
85	RECEIPTABLE RECEPTACLE KEYING
86	RECEIPTABLE RECEPTACLE KEYING
87	RECEIPTABLE RECEPTACLE KEYING
88	RECEIPTABLE RECEPTACLE KEYING
89	RECEIPTABLE RECEPTACLE KEYING
90	RECEIPTABLE RECEPTACLE KEYING
91	RECEIPTABLE RECEPTACLE KEYING
92	RECEIPTABLE RECEPTACLE KEYING
93	RECEIPTABLE RECEPTACLE KEYING
94	RECEIPTABLE RECEPTACLE KEYING
95	RECEIPTABLE RECEPTACLE KEYING
96	RECEIPTABLE RECEPTACLE KEYING
97	RECEIPTABLE RECEPTACLE KEYING
98	RECEIPTABLE RECEPTACLE KEYING
99	RECEIPTABLE RECEPTACLE KEYING
100	RECEIPTABLE RECEPTACLE KEYING

LIGHT FIXTURE LEGEND	
NOTE: REFER TO ELECTRICAL DRAWINGS FOR ALL FIXTURE TYPES	
	PENDANT FIXTURE
	TRACK LIGHT FIXTURE
	DOWN LIGHT FIXTURE
	EMERGENCY FIXTURE
	SUPPLY DIFFUSER
	RETURN GRILL
	EXHAUST GRILL

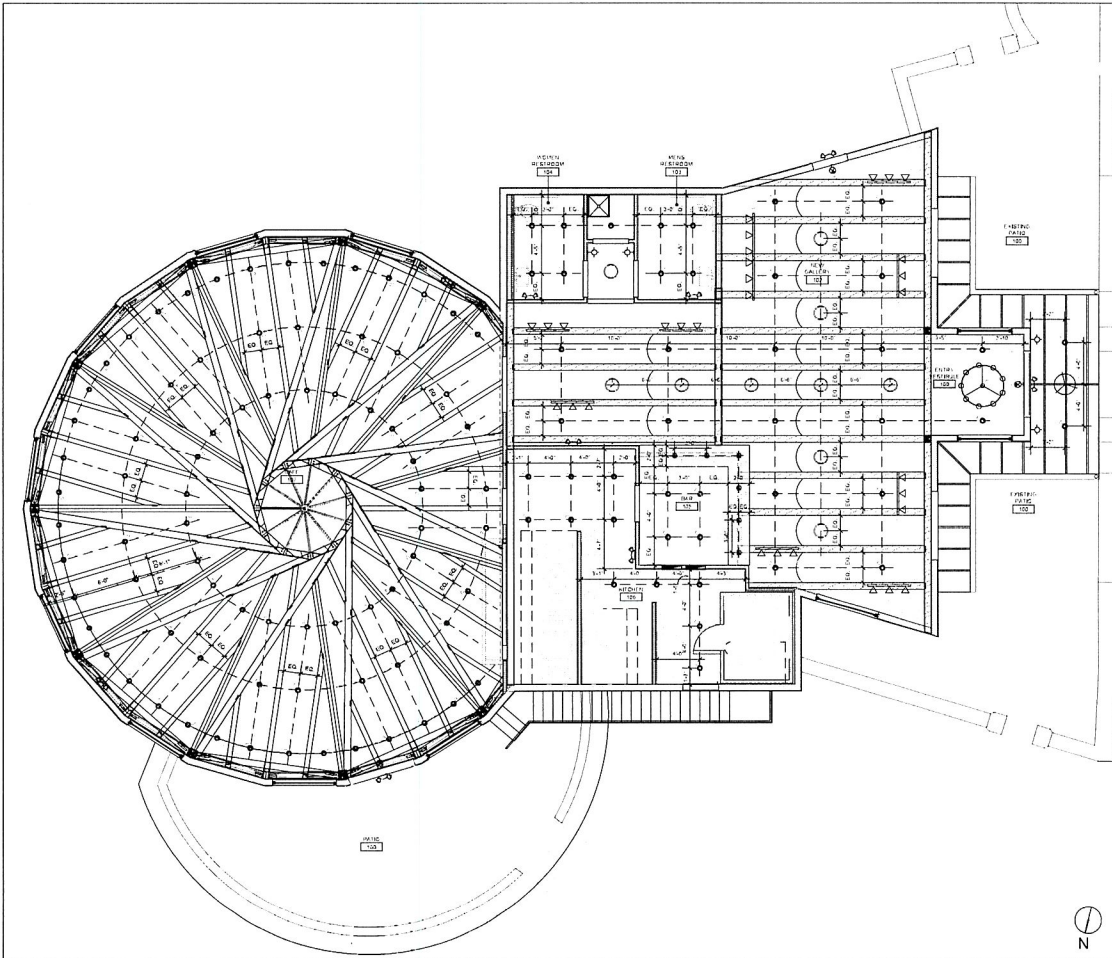
NOTED RCP
PLAN
1

410018

LITTLE PUERTO INN
TAOS, NEW MEXICO
27701 CARRIZO BLVD | MAIN, NEW MEXICO, 87501

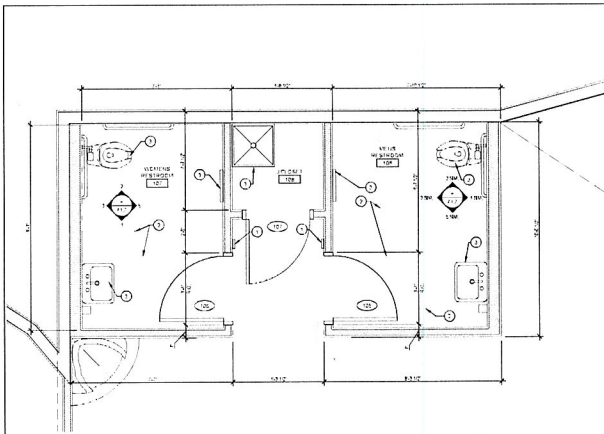
410018

A1.5



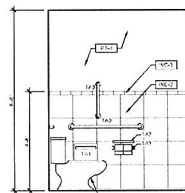
LIGHT FIXTURE LEGEND	
NOTE: REFER TO ELECTRICAL DRAWINGS FOR ALL FIXTURE TYPES	
	ENTRY PENDANT FIXTURE
	EXTERIOR PENDANT FIXTURE
	TRACK LIGHT FIXTURE
	SCONCE
	EXIT SIGN
	DOWN LIGHT FIXTURE
	EMERGENCY FIXTURE
	SUPPLY DIFFUSER
	RETURN GRILL
	EXHAUST GRILL

DIMENSIONED REFLECTED CEILING PLAN 1

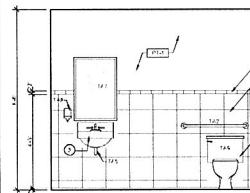


NOTE: ALL DIMENSIONS ARE FROM FINISH FACE

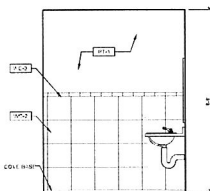
ENLARGED RESTROOM PLAN 1



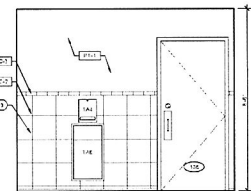
RESTROOM ELEVATION 2



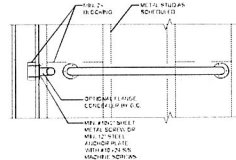
RESTROOM ELEVATION 3



RESTROOM ELEVATION 4



RESTROOM ELEVATION 5



TYP. BLOCKING DETAIL 6



TYP. SIGNAGE DETAIL 7

SIGNAGE NOTES

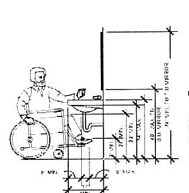
1. SIGNAGE SHALL BE IN ACCORDANCE WITH THE 2010 INTERNATIONAL SYMBOL OF ACCESSIBILITY (ISA) AND THE 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN.
2. SIGNAGE SHALL BE IN ACCORDANCE WITH THE 2010 INTERNATIONAL SYMBOL OF ACCESSIBILITY (ISA) AND THE 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN.
3. SIGNAGE SHALL BE IN ACCORDANCE WITH THE 2010 INTERNATIONAL SYMBOL OF ACCESSIBILITY (ISA) AND THE 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN.
4. SIGNAGE SHALL BE IN ACCORDANCE WITH THE 2010 INTERNATIONAL SYMBOL OF ACCESSIBILITY (ISA) AND THE 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN.
5. SIGNAGE SHALL BE IN ACCORDANCE WITH THE 2010 INTERNATIONAL SYMBOL OF ACCESSIBILITY (ISA) AND THE 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN.
6. SIGNAGE SHALL BE IN ACCORDANCE WITH THE 2010 INTERNATIONAL SYMBOL OF ACCESSIBILITY (ISA) AND THE 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN.
7. SIGNAGE SHALL BE IN ACCORDANCE WITH THE 2010 INTERNATIONAL SYMBOL OF ACCESSIBILITY (ISA) AND THE 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN.
8. SIGNAGE SHALL BE IN ACCORDANCE WITH THE 2010 INTERNATIONAL SYMBOL OF ACCESSIBILITY (ISA) AND THE 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN.
9. SIGNAGE SHALL BE IN ACCORDANCE WITH THE 2010 INTERNATIONAL SYMBOL OF ACCESSIBILITY (ISA) AND THE 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN.
10. SIGNAGE SHALL BE IN ACCORDANCE WITH THE 2010 INTERNATIONAL SYMBOL OF ACCESSIBILITY (ISA) AND THE 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN.



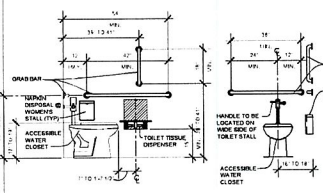
INTERNATIONAL SYMBOL OF ACCESSIBILITY



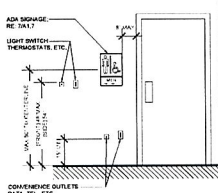
ADA SIGN DETAILS



LAVATORY CLEARANCES



ACCESSIBLE WATER CLOSETS



ADA SIGNAGE RE. SINK

GENERAL NOTES

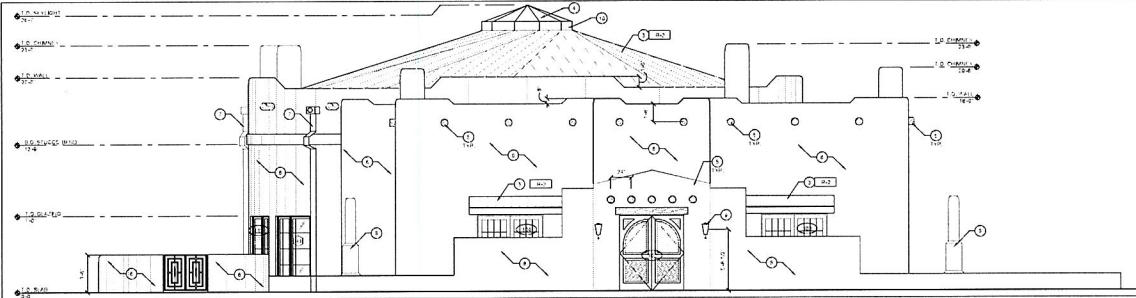
1. PROVIDE IN CONJUNCTION WITH ALL REQUIRED EQUIPMENT.
2. REFER TO PLUMBING SCHEDULES FOR SINKS, TUBS, AND TOILETS.
3. REFER TO PLUMBING SCHEDULES FOR SINKS, TUBS, AND TOILETS.
4. REFER TO PLUMBING SCHEDULES FOR SINKS, TUBS, AND TOILETS.
5. REFER TO PLUMBING SCHEDULES FOR SINKS, TUBS, AND TOILETS.
6. REFER TO PLUMBING SCHEDULES FOR SINKS, TUBS, AND TOILETS.
7. REFER TO PLUMBING SCHEDULES FOR SINKS, TUBS, AND TOILETS.
8. REFER TO PLUMBING SCHEDULES FOR SINKS, TUBS, AND TOILETS.
9. REFER TO PLUMBING SCHEDULES FOR SINKS, TUBS, AND TOILETS.
10. REFER TO PLUMBING SCHEDULES FOR SINKS, TUBS, AND TOILETS.

KEYED NOTES

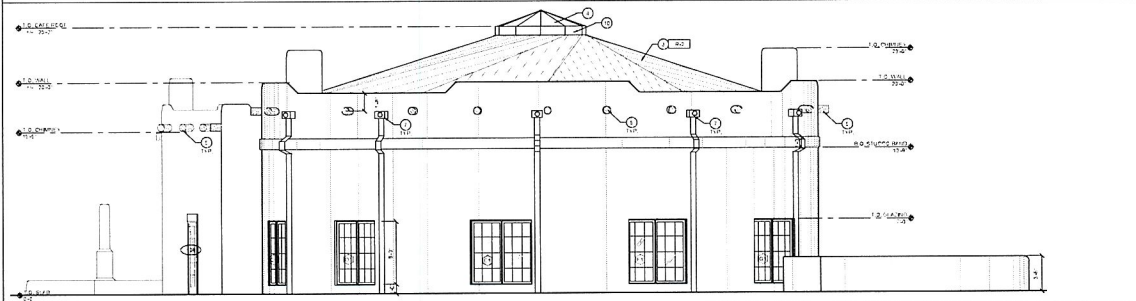
1. INTERFERING NOTES OF KEYED NOTES SHALL NOT BE USED.
2. INTERFERING NOTES OF KEYED NOTES SHALL NOT BE USED.
3. INTERFERING NOTES OF KEYED NOTES SHALL NOT BE USED.
4. INTERFERING NOTES OF KEYED NOTES SHALL NOT BE USED.
5. INTERFERING NOTES OF KEYED NOTES SHALL NOT BE USED.
6. INTERFERING NOTES OF KEYED NOTES SHALL NOT BE USED.
7. INTERFERING NOTES OF KEYED NOTES SHALL NOT BE USED.
8. INTERFERING NOTES OF KEYED NOTES SHALL NOT BE USED.
9. INTERFERING NOTES OF KEYED NOTES SHALL NOT BE USED.
10. INTERFERING NOTES OF KEYED NOTES SHALL NOT BE USED.

TOILET ACCESSORY SCHEDULE

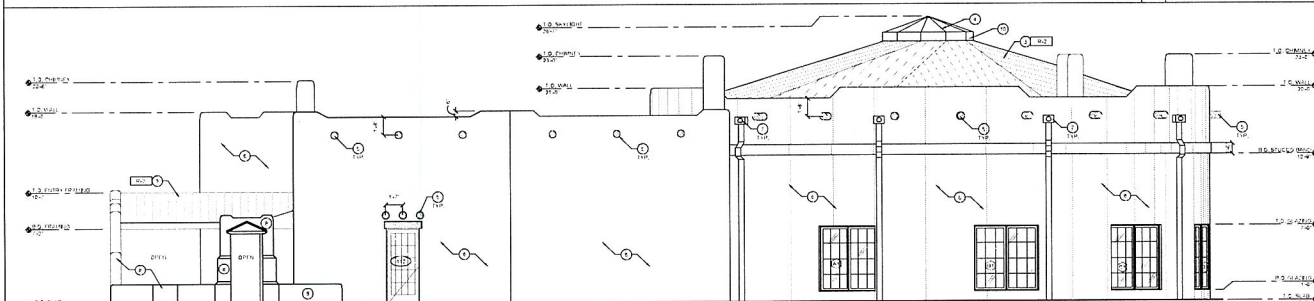
ITEM	DESCRIPTION
TAT1	TOILET SEAT COVER, HORNICK, MODEL B-221
TAT2	TOILET SEAT, HORNICK, MODEL B-220
TAT3	TOILET PAPER, HORNICK, MODEL B-220
TAT4	TOILET TOWEL, HORNICK, MODEL B-220
TAT5	TOILET TOWEL, HORNICK, MODEL B-220
TAT6	TOILET TOWEL, HORNICK, MODEL B-220
TAT7	TOILET TOWEL, HORNICK, MODEL B-220
TAT8	TOILET TOWEL, HORNICK, MODEL B-220
TAT9	TOILET TOWEL, HORNICK, MODEL B-220
TAT10	TOILET TOWEL, HORNICK, MODEL B-220



ELEVATION 1



ELEVATION 2

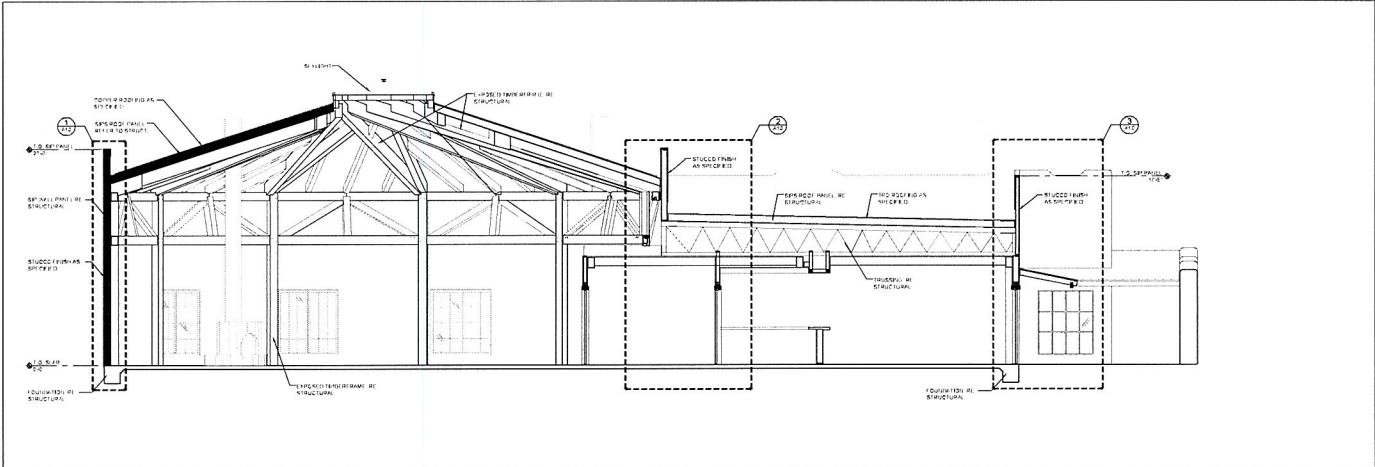


ELEVATION 3

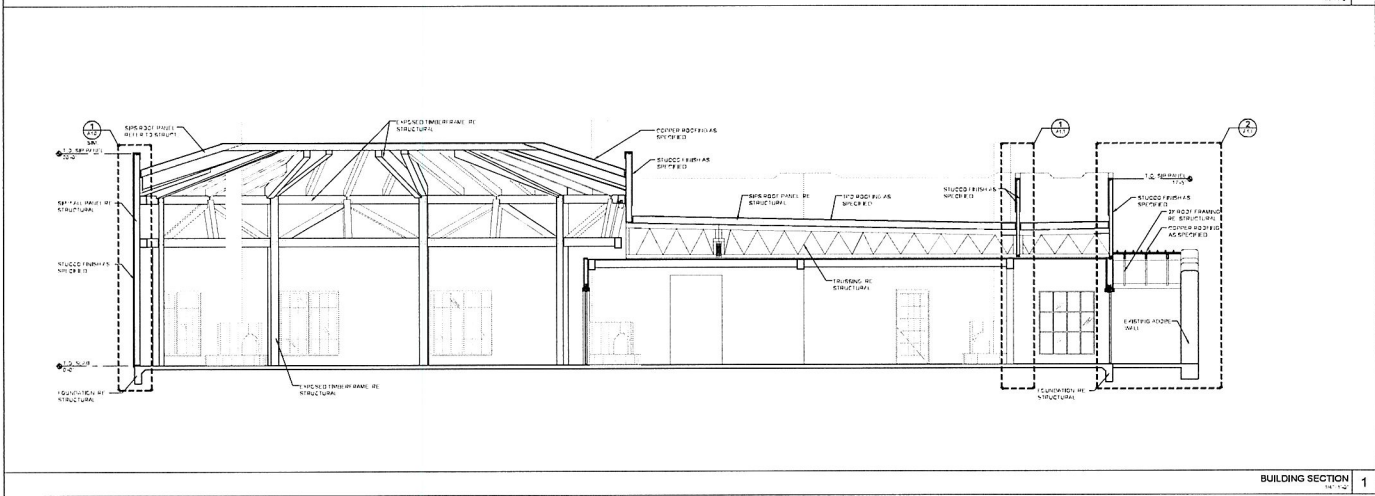
KEYED NOTES

1. 100% RE. 100% RHEOLITE
2. 100% RE. 100% RHEOLITE
3. 100% RE. 100% RHEOLITE
4. 100% RE. 100% RHEOLITE
5. 100% RE. 100% RHEOLITE
6. 100% RE. 100% RHEOLITE
7. 100% RE. 100% RHEOLITE
8. 100% RE. 100% RHEOLITE
9. 100% RE. 100% RHEOLITE
10. 100% RE. 100% RHEOLITE
11. 100% RE. 100% RHEOLITE
12. 100% RE. 100% RHEOLITE
13. 100% RE. 100% RHEOLITE
14. 100% RE. 100% RHEOLITE
15. 100% RE. 100% RHEOLITE
16. 100% RE. 100% RHEOLITE
17. 100% RE. 100% RHEOLITE
18. 100% RE. 100% RHEOLITE
19. 100% RE. 100% RHEOLITE
20. 100% RE. 100% RHEOLITE
21. 100% RE. 100% RHEOLITE
22. 100% RE. 100% RHEOLITE
23. 100% RE. 100% RHEOLITE
24. 100% RE. 100% RHEOLITE
25. 100% RE. 100% RHEOLITE
26. 100% RE. 100% RHEOLITE
27. 100% RE. 100% RHEOLITE
28. 100% RE. 100% RHEOLITE
29. 100% RE. 100% RHEOLITE
30. 100% RE. 100% RHEOLITE
31. 100% RE. 100% RHEOLITE
32. 100% RE. 100% RHEOLITE
33. 100% RE. 100% RHEOLITE
34. 100% RE. 100% RHEOLITE
35. 100% RE. 100% RHEOLITE
36. 100% RE. 100% RHEOLITE
37. 100% RE. 100% RHEOLITE
38. 100% RE. 100% RHEOLITE
39. 100% RE. 100% RHEOLITE
40. 100% RE. 100% RHEOLITE
41. 100% RE. 100% RHEOLITE
42. 100% RE. 100% RHEOLITE
43. 100% RE. 100% RHEOLITE
44. 100% RE. 100% RHEOLITE
45. 100% RE. 100% RHEOLITE
46. 100% RE. 100% RHEOLITE
47. 100% RE. 100% RHEOLITE
48. 100% RE. 100% RHEOLITE
49. 100% RE. 100% RHEOLITE
50. 100% RE. 100% RHEOLITE
51. 100% RE. 100% RHEOLITE
52. 100% RE. 100% RHEOLITE
53. 100% RE. 100% RHEOLITE
54. 100% RE. 100% RHEOLITE
55. 100% RE. 100% RHEOLITE
56. 100% RE. 100% RHEOLITE
57. 100% RE. 100% RHEOLITE
58. 100% RE. 100% RHEOLITE
59. 100% RE. 100% RHEOLITE
60. 100% RE. 100% RHEOLITE
61. 100% RE. 100% RHEOLITE
62. 100% RE. 100% RHEOLITE
63. 100% RE. 100% RHEOLITE
64. 100% RE. 100% RHEOLITE
65. 100% RE. 100% RHEOLITE
66. 100% RE. 100% RHEOLITE
67. 100% RE. 100% RHEOLITE
68. 100% RE. 100% RHEOLITE
69. 100% RE. 100% RHEOLITE
70. 100% RE. 100% RHEOLITE
71. 100% RE. 100% RHEOLITE
72. 100% RE. 100% RHEOLITE
73. 100% RE. 100% RHEOLITE
74. 100% RE. 100% RHEOLITE
75. 100% RE. 100% RHEOLITE
76. 100% RE. 100% RHEOLITE
77. 100% RE. 100% RHEOLITE
78. 100% RE. 100% RHEOLITE
79. 100% RE. 100% RHEOLITE
80. 100% RE. 100% RHEOLITE
81. 100% RE. 100% RHEOLITE
82. 100% RE. 100% RHEOLITE
83. 100% RE. 100% RHEOLITE
84. 100% RE. 100% RHEOLITE
85. 100% RE. 100% RHEOLITE
86. 100% RE. 100% RHEOLITE
87. 100% RE. 100% RHEOLITE
88. 100% RE. 100% RHEOLITE
89. 100% RE. 100% RHEOLITE
90. 100% RE. 100% RHEOLITE
91. 100% RE. 100% RHEOLITE
92. 100% RE. 100% RHEOLITE
93. 100% RE. 100% RHEOLITE
94. 100% RE. 100% RHEOLITE
95. 100% RE. 100% RHEOLITE
96. 100% RE. 100% RHEOLITE
97. 100% RE. 100% RHEOLITE
98. 100% RE. 100% RHEOLITE
99. 100% RE. 100% RHEOLITE
100. 100% RE. 100% RHEOLITE





BUILDING SECTION 2



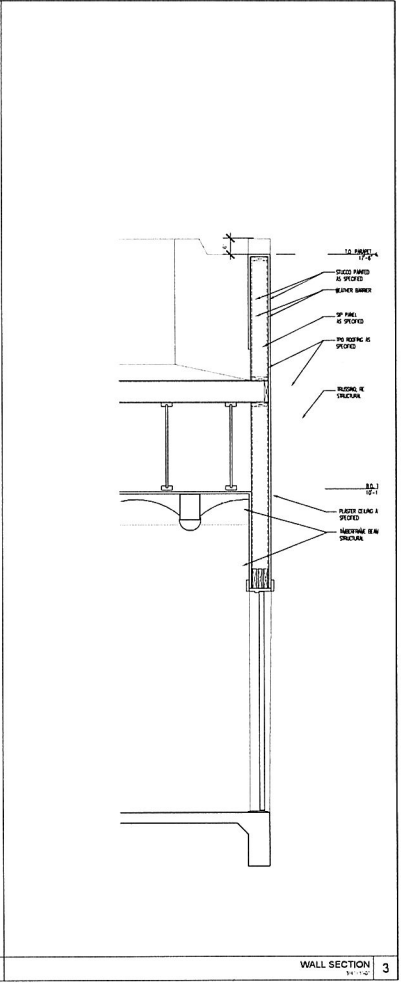
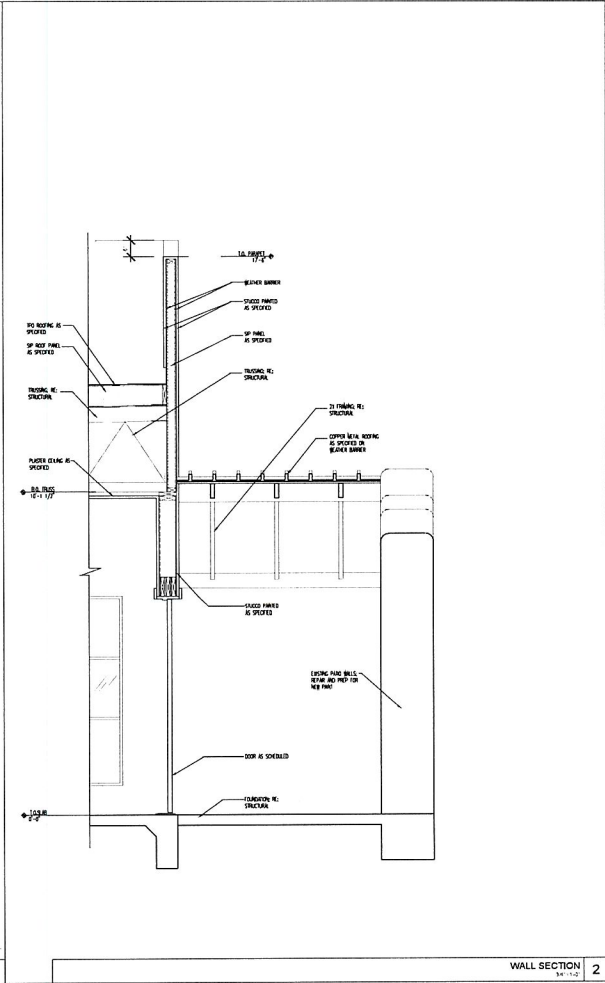
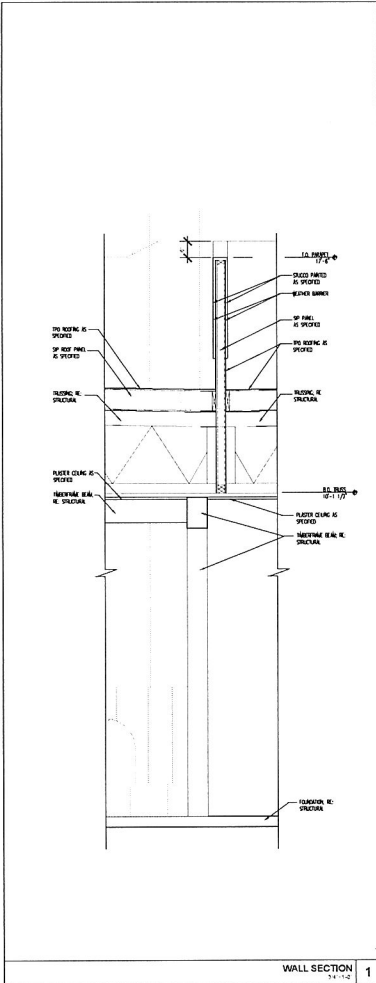
BUILDING SECTION 1

NO.	DESCRIPTION
1	
2	
3	
4	
5	
6	
7	
8	
9	
10	

DATE	11/11/11
PROJECT NUMBER	16-001
DATE	11/11/11

BLDG SECTIONS

A3.0





DIMENSION GROUP

LITTLE PUERTO INN
TAOS, NEW MEXICO
3340 CARMON AVENUE, TAOS, NEW MEXICO 87551

REV. 02/2018

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	02/15/18
2	FOR CONSTRUCTION	02/15/18
3	FOR CONSTRUCTION	02/15/18
4	FOR CONSTRUCTION	02/15/18
5	FOR CONSTRUCTION	02/15/18
6	FOR CONSTRUCTION	02/15/18
7	FOR CONSTRUCTION	02/15/18
8	FOR CONSTRUCTION	02/15/18
9	FOR CONSTRUCTION	02/15/18
10	FOR CONSTRUCTION	02/15/18

DATE: 02/15/18

BLDG SECTIONS

A4.1

MEDIA FRAME DETAILS 1	EXTERIOR HEAD JAM, SILL DETAIL 2	MEDIA FRAME DETAILS 3	WALL RAIL CONNECTION @ BALCONY 4
NOT USED 5	NOT USED 6		
		NOT USED 11	NOT USED 11
INTERIOR HEAD, JAM, SILL DETAIL 9	EXTERIOR HEAD JAM, SILL DETAIL 10	NOT USED 11	NOT USED 11

WINDOW TYPES	1
--------------	---

DOOR HARDWARE	5
---------------	---

DOOR SCHEDULE	2
---------------	---

