

STUDIOS AT PARKWAY

PHASE 2



1189 Parkway Drive, Santa Fe, NM 87507

OFFERING MEMORANDUM

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Exclusively Marketed by:

Leslie Gallatin-Giorgetti

Keller Williams Realty

Owner/Broker

(505) 670-7578

giorgettiREALTY@gmail.com

01

Executive Summary
Investment Summary
Financial Summary



OFFERING SUMMARY

ADDRESS	1189 Parkway Drive, Santa Fe, NM 87507
BUILDING SF	1,587 SF
LAND ACRES	0.04
HEATED SF	1,677 SF
YEAR BUILT	2025

FINANCIAL SUMMARY

PRICE PER UNIT	\$525,000
PRICE PSF	\$352.58

- The Studios at Parkway Phase 2, currently under construction, is Santa Fe's newest commercial, industrial, and flex-use condominium development in the thriving Siler/Rufina Warehouse, Art & Innovation District.

Designed with an industrial aesthetic, The Studios offer open, light-filled spaces with contemporary touches that create an inspiring environment for business. Each unit spans nearly 1,677 square feet, including 1,587 square feet of interior space ("walls in"), and features tall ceilings, large aluminum glass roll-up garage doors, expansive storefront windows, and finished concrete floors. Inside, you'll find LED lighting, handcrafted steel staircases with wood treads, and smooth drywall finishes. The ground floor encompasses 1,092 square feet, while the second story adds 584 square feet.

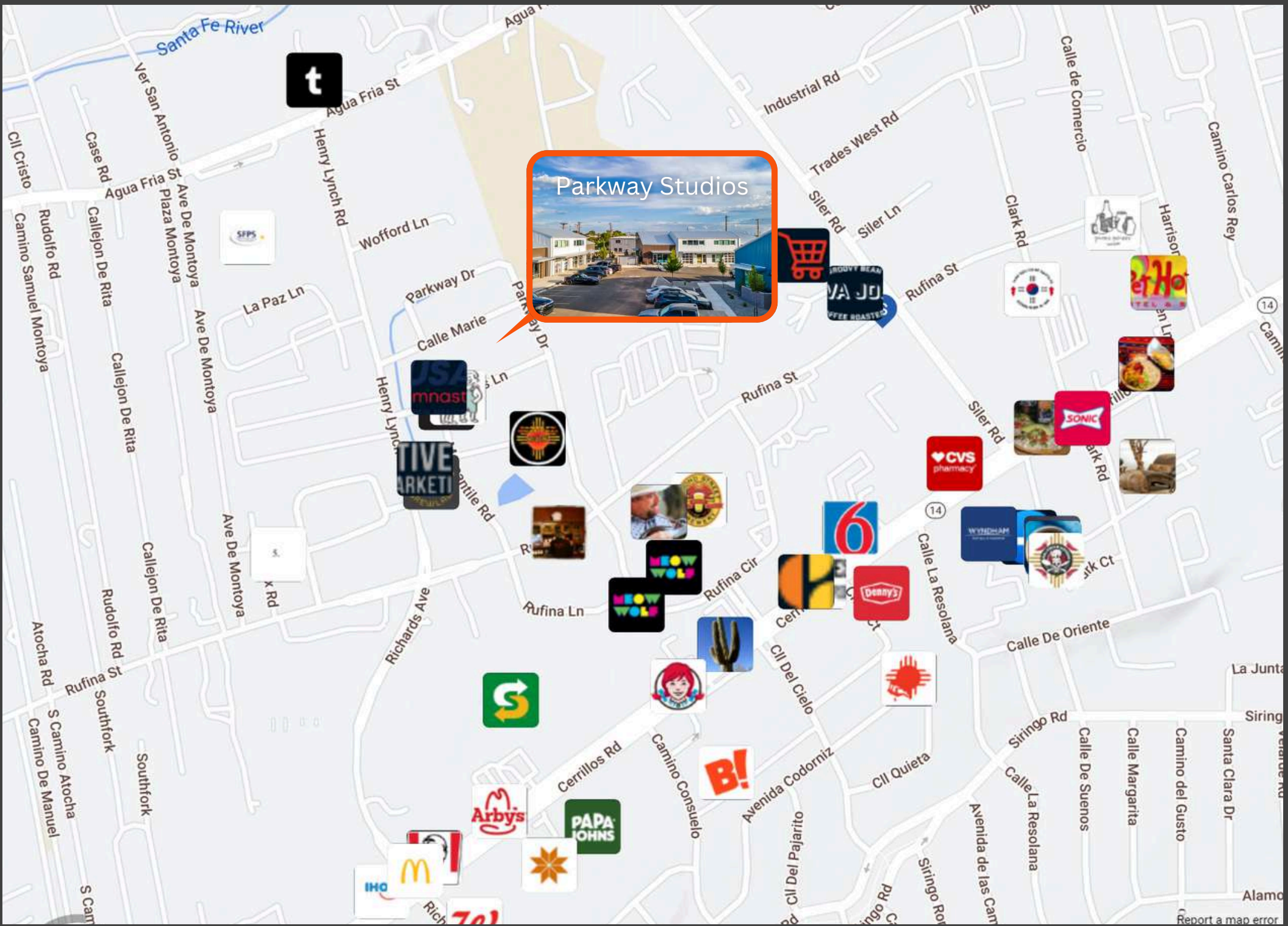
These units are designed with flexibility in mind, with an option for Live-Work as an accessory to commercial use. Each unit has separately metered utilities, kitchen-ready hookups, a designated area for a shower, and thoughtfully landscaped grounds tailored for shipping and receiving. Zoned I-1, these state-of-the-art condominiums are suitable for a range of uses, from offices, galleries, and artist studios to warehouses, wellness businesses, and light industry. Additionally, the roof is prepared for solar PV installation, and the property is located in a Federal Opportunity Zone.

02

Location

Location Summary







03 Property Features
Aerial Map

PROPERTY FEATURES

NUMBER OF UNITS	12
BUILDING SF	1,587
LAND SF	1,677
LAND ACRES	0.04
YEAR BUILT	2025-2026
ZONING TYPE	I-1



Parkway Studios



Report a map error

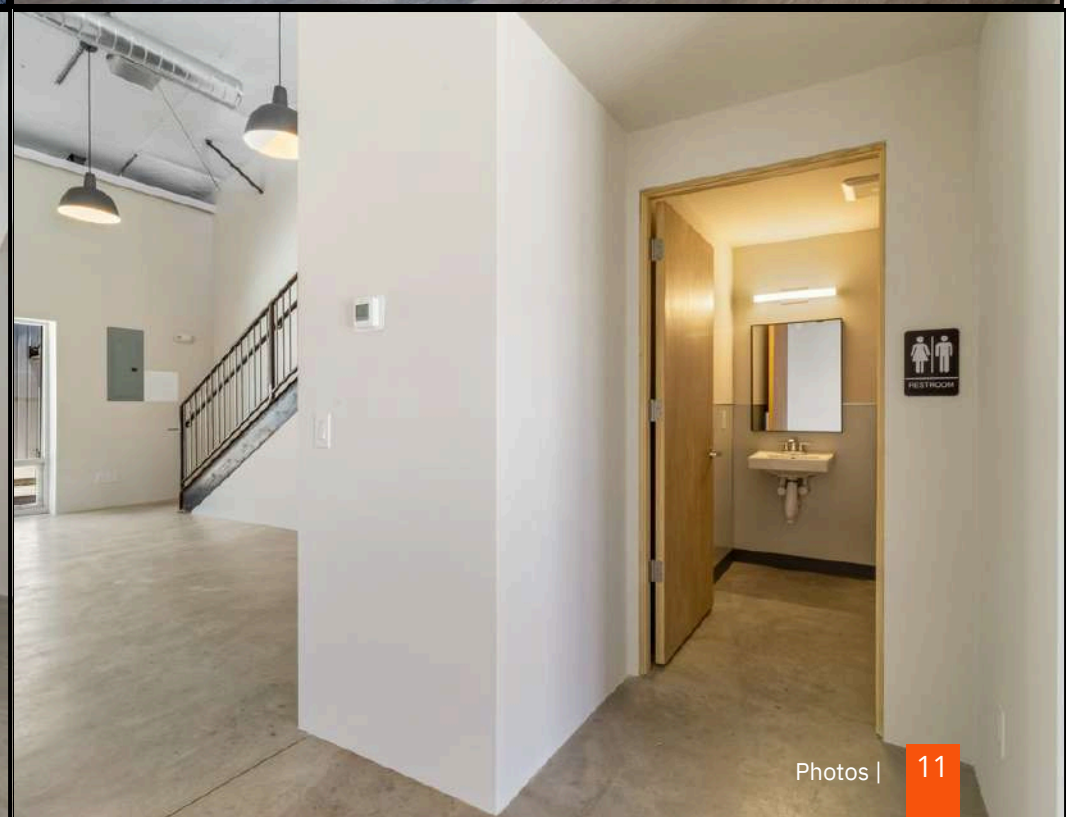
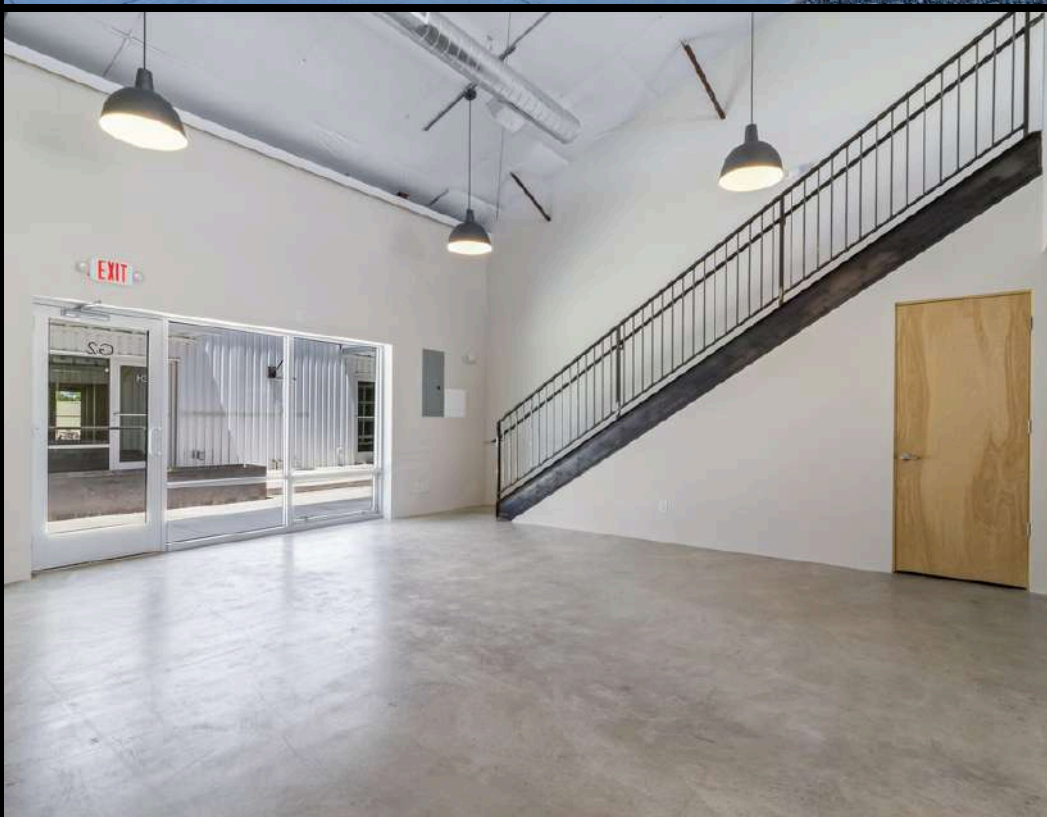
04

Photos

Site Plan

Exterior Elevation

Floor Plans

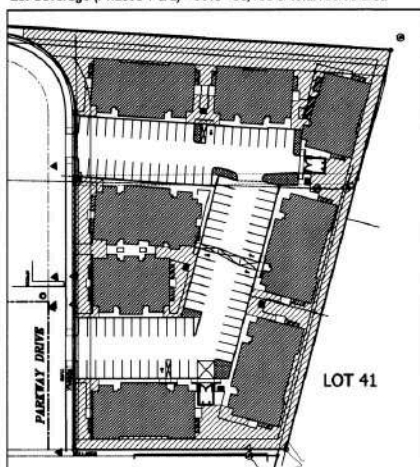




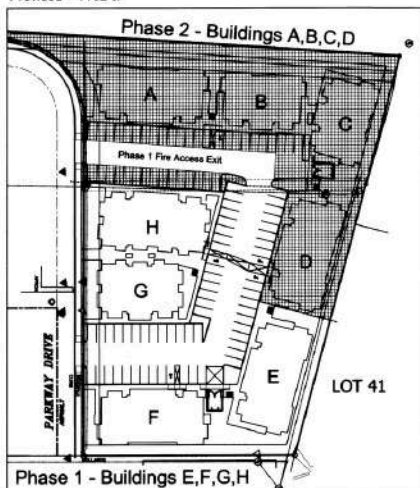




Lot Area - 2.307 acres/ 100,510 sf
Lot Coverage (Phases 1 & 2) - 36% - 36,158 sf total roofed area



Open Space Required = 25,128 sf
Open Space Provided = 26,348 sf
PARKING LOT ISLANDS
Required = 990 sf
Provided = 1102 sf

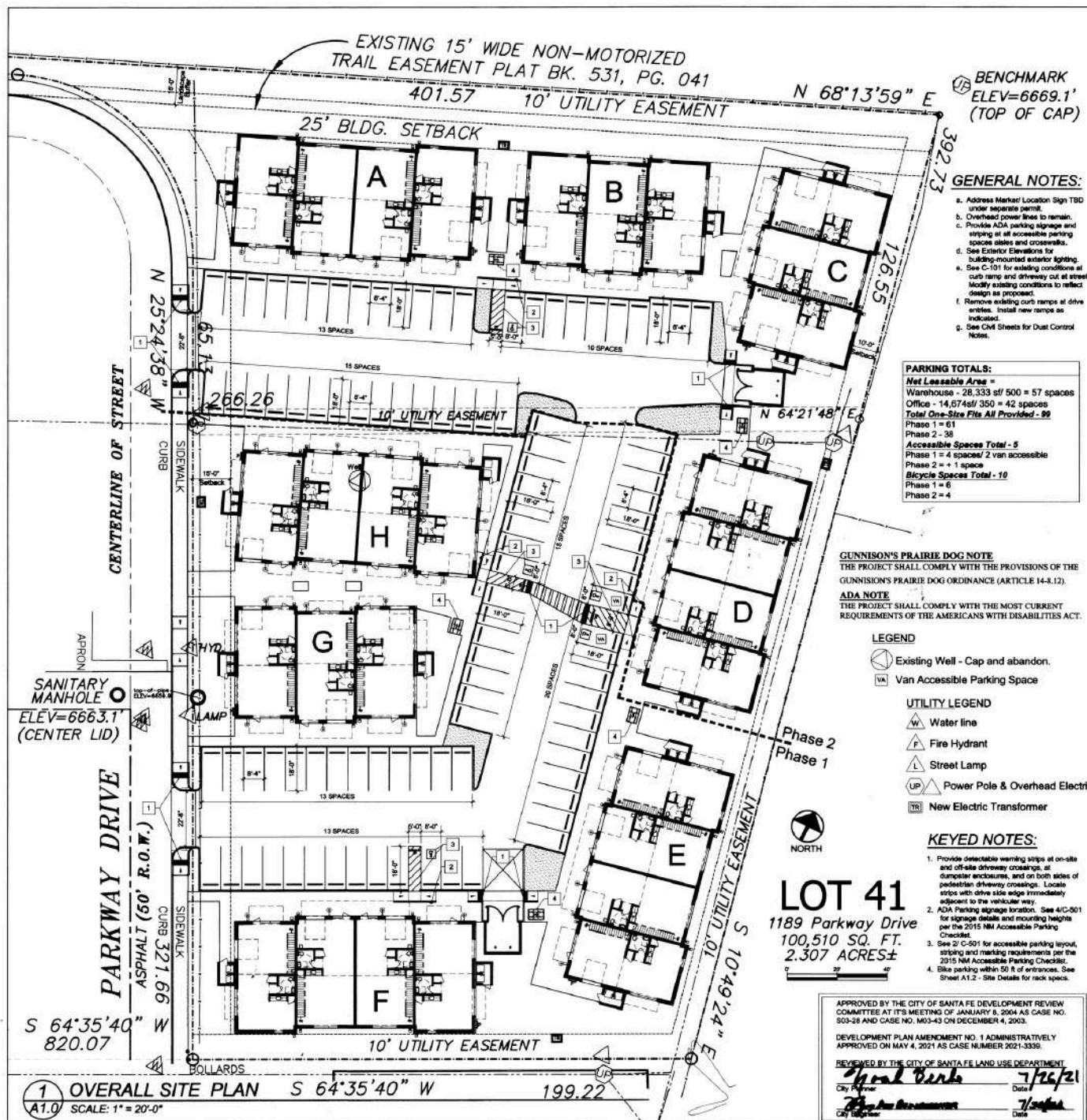


PHASING KEY PLAN - 1" = 60'-0"

ORIGINAL UTILITY EASEMENTS AND STORMWATER AGREEMENT SHALL STAY IN PLACE BASED ON EARLIER PLAT FILED IN COUNTY RECORDS ON THE 28TH DAY OF JUNE AD 2004, AT 13:32 O'CLOCK PM AND WAS DULY RECORDED IN BOOK 562 PAGE 028-031 OF THE RECORDS OF SANTA FE COUNTY (#1335-001).

Property Owner(s) hereby agree:
James R. DANRON
 Owners Printed Name
James R. Danron 7/30/2021
 Owner's Signature Date

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS
14th DAY OF July, 2021 (OR EQUAL)
Stacy Lytle
NOTARY PUBLIC
MY COMMISSION EXPIRES 7-24-24



**DEVELOPMENT
PLAN
AMENDMENT
FINAL APPROVAL**



REVISIONS:
Final Comments
7/19/21

PALO SANTO DESIGNS LLC
Committed to Building a Sustainable World

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505-988-7230

March 22, 2021

ANOVA

**1189 Parkway Dr.
Santa Fe, NM 87507**

Overall Site Plan

A1.0

PHASE 2
PERMIT SET



REVISIONS:

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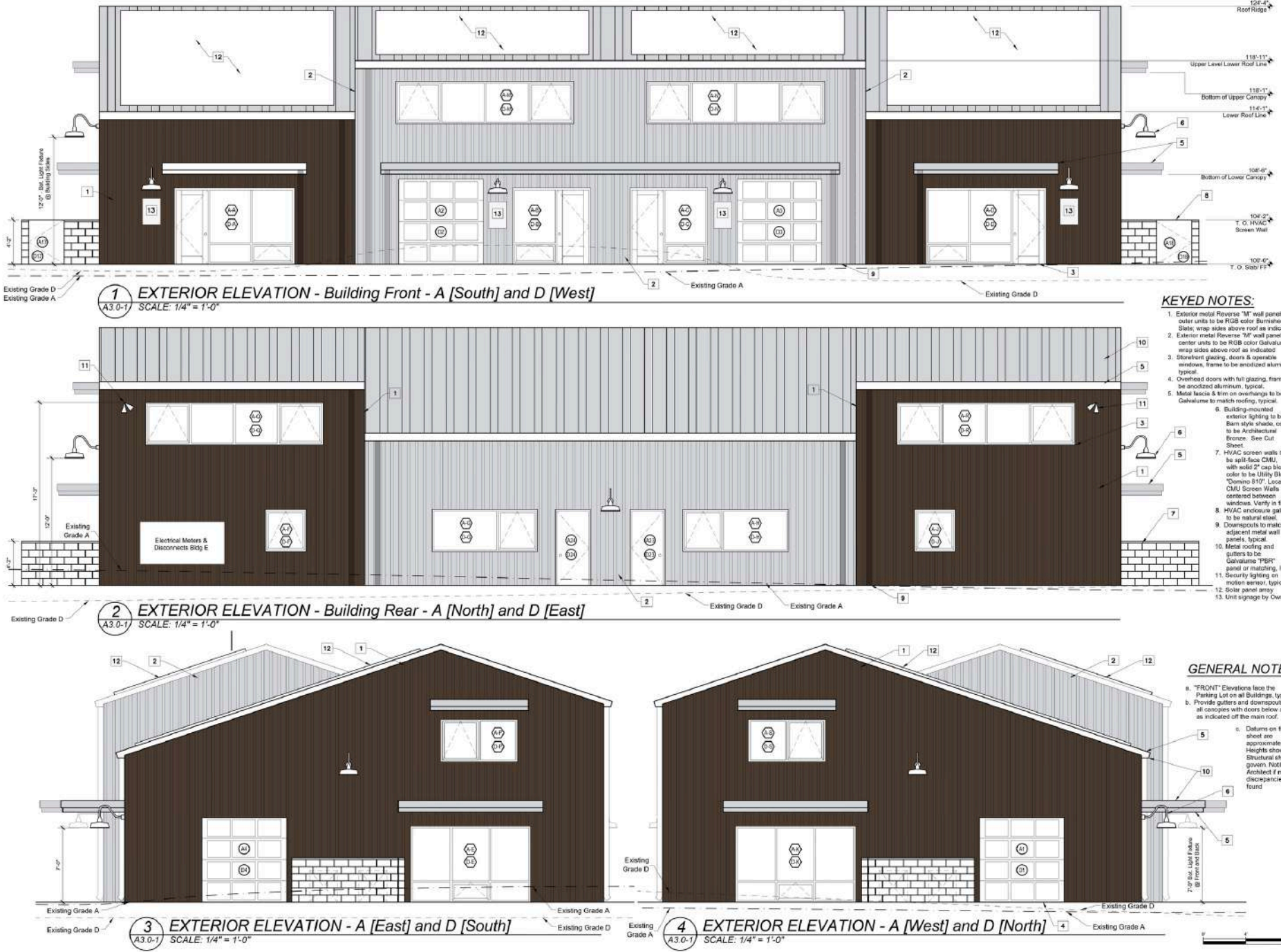
March 6, 2024

**ANOVA
PHASE 2**

1189 Parkway Dr.
Santa Fe, NM 87507

Ext. Elevs
Buildings
A & D

A3.0



PHASE 2
PERMIT SET



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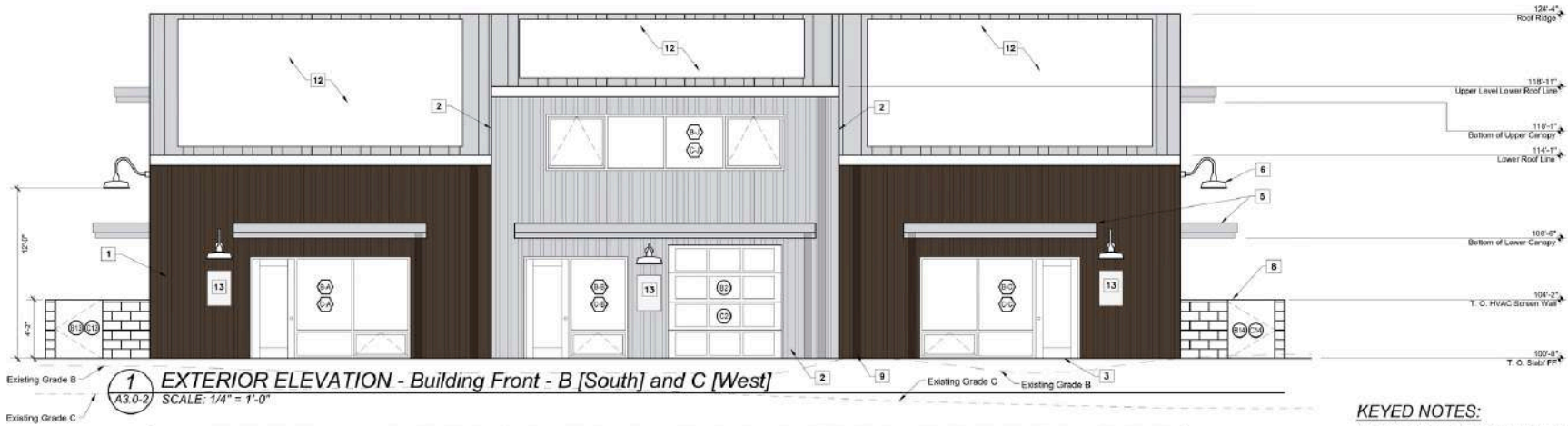
March 6, 2024

ANOVA
PHASE 2

1189 Parkway Dr.
Santa Fe, NM 87507

Ext. Elevs
Buildings
B & C

A3.1

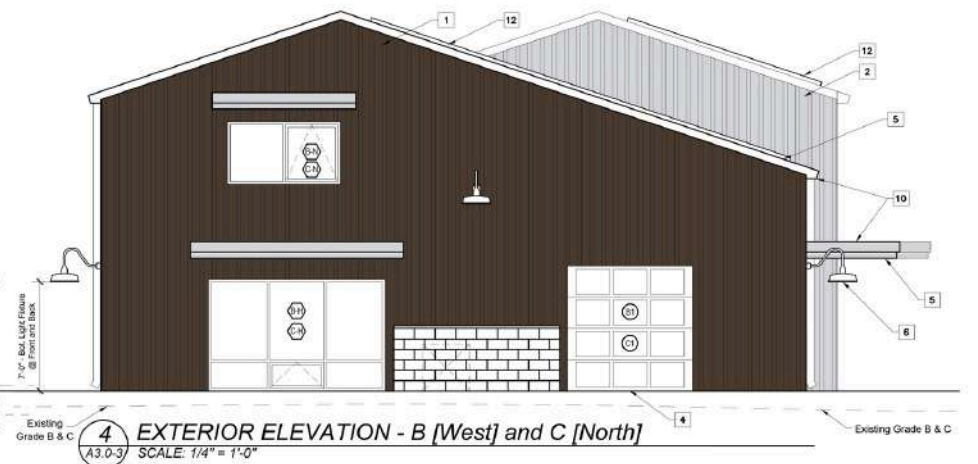
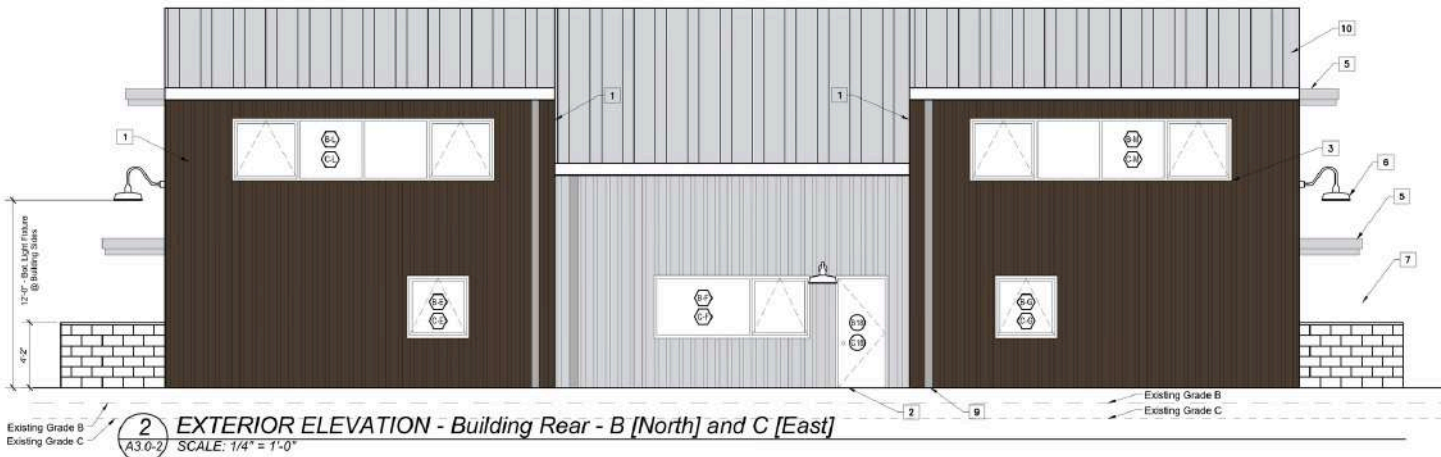


KEYED NOTES:

1. Exterior metal Reverse "M" wall panels at outer units to be RGB color.
2. Exterior metal Reverse "M" wall panels at center units to be RGB color.
3. Stovefront glazing, doors & operable windows, frame to be clear anodized aluminum, typical.
4. Overhead doors with full glazing, frame to be anodized aluminum, typical.
5. Metal fascia & trim on overhangs to be Galvalume to match roofing, typical.
6. Building-mounted exterior lighting to be Barn style shade, color to be Architectural Bronze. See Cut Sheet.
7. HVAC screen walls to be split-face CMU, with solid 2" cap block color to be Utility Block "Donno 810". Locate CMU Screen Walls centered between windows. Verify in field.
8. HVAC enclosure gates to be natural steel.
9. Downspouts to match adjacent metal wall panels, typical.
10. Metal roofing and gutters to be Galvalume "PBR" panel or matching.
11. Security lighting on motion sensor, typical.
12. Solar panel array.
13. Unit signage by owner.

GENERAL NOTES:

- a. "FRONT" Elevations face the Parking Lot on all Buildings, typical.
- b. Provide gutters and downspouts at all canopies with doors below and as indicated off the main roof.
- c. Datums on this sheet are approximate. Heights shown on Structural shall govern. Notify Architect if major discrepancies are found.



THIS PROJECT WAS PREVIOUSLY APPROVED & PERMITTED FOR PHASE ONE
City of Santa Fe Building Permit Numbers 2002 - 24831, 24832, 24833, and 34834 - BLDG

PHASE 2 PERMIT SET



REVISIONS:
1 June 4, 2024
ADA Compliance
-Restrooms

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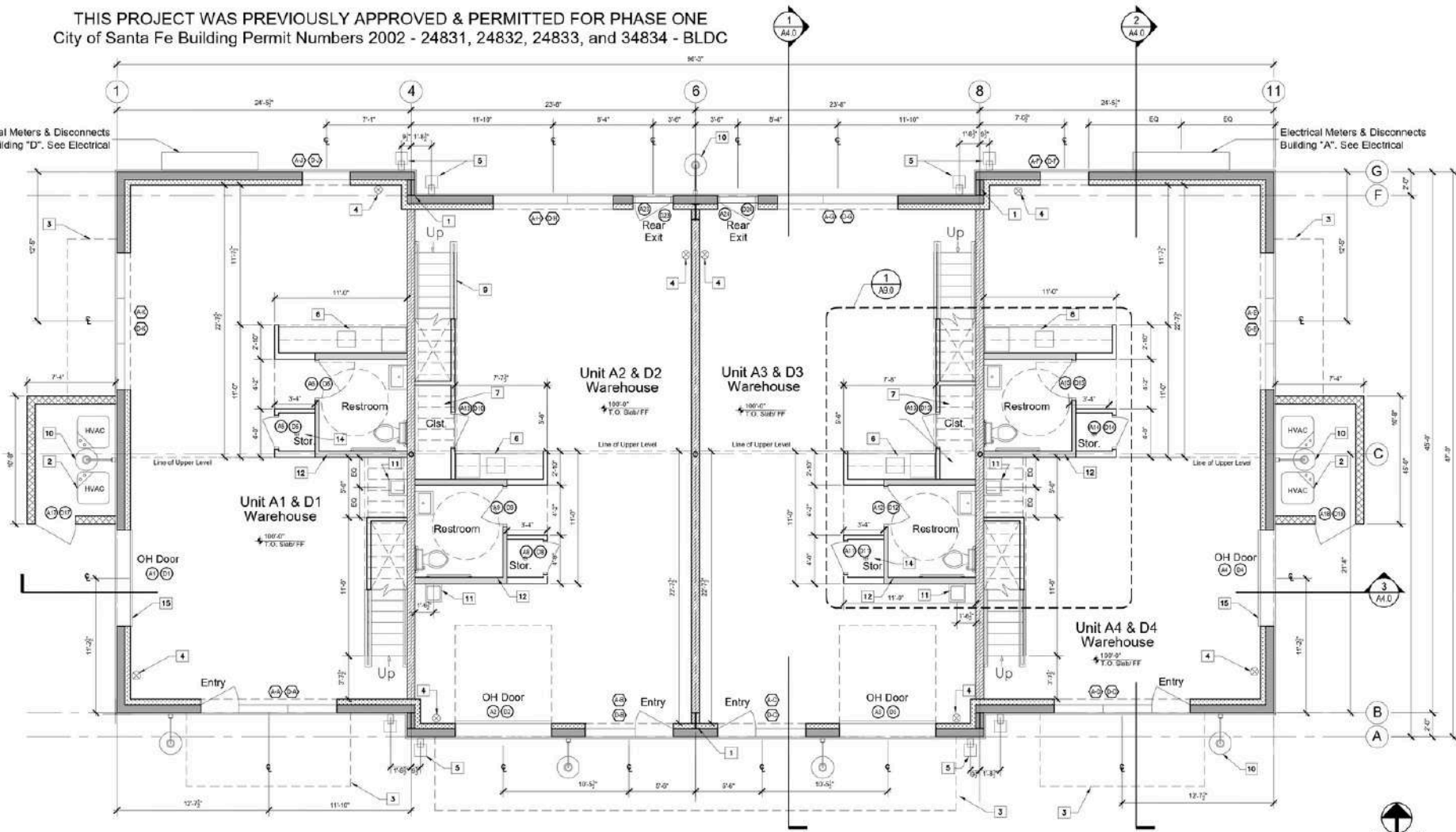
June 4, 2024

**ANOVA
PHASE 2**

1189 Parkway Dr.
Santa Fe, NM 87507

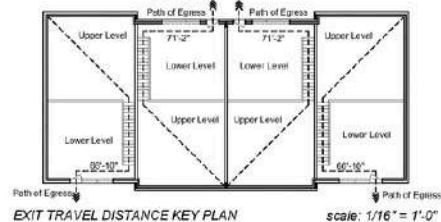
**Floor Plan
Bldgs. A & D
Lower Level**

A2.0-1



1 FLOOR PLAN BUILDINGS A and D - Lower Level/ Warehouse
SCALE: 1/4" = 1'-0"

TOP OF SLAB/FF OF 100'-0" = 6666.14 [Bldg. A] and 6667.5 [Bldg. D] - SEE C-101



Room	Floor	Base	Walls	Ceiling	Height	Remarks
Lower Level Warehouse	Warehouse	None	Painted Drywall	Exposed Structural Ceiling - Open for future insulation for acoustics	Varies, see Section	Exposed Ceiling to be painted
Toter Room	Warehouse	Standard Dry Concrete or Corrosive Steel	Painted Drywall	Painted Drywall	8'-0"	See Sheet A1.0, Electrical Restroom Plans
Upper Level Office	Office	Painted Drywall	Painted Drywall	Painted Drywall	Varies, see Section	Exposed Ceiling to be painted
Mechanical Room	Mechanical	None	Painted Drywall	Painted Drywall	Varies, see Section	Exposed Ceiling to be painted

* Provide min 5/8" gypsum drywall

GENERAL NOTES:

- Provide 1 hour rated wall between units to underside of roof. Seal all penetrations.
- Building insulation per the 2018 IECC. See building wall sections.
- Dimensions are to face of framing, outside of steel or structural steel, as indicated.
- Final location of perimeter light gauge framing shall cover structural framing, and shall be coordinated with the Architect in the field prior to installation.

FLOOR AREA OF EACH BUILDING (A & D):
Total Floor Area (inside walls) = 1483 x 4 Units = 5932 sq ft
Total Roofed Area (including canopies) = 4952 sq ft
HEATED CONSTRUCTION AREA OF EACH BLDG. (A&D):
Lower Level (including exterior walls) = 4371 sq ft
Upper Level (including exterior walls) = 2338 sq ft
Total Heated Construction Area = 6710 sq ft

WALL TYPES

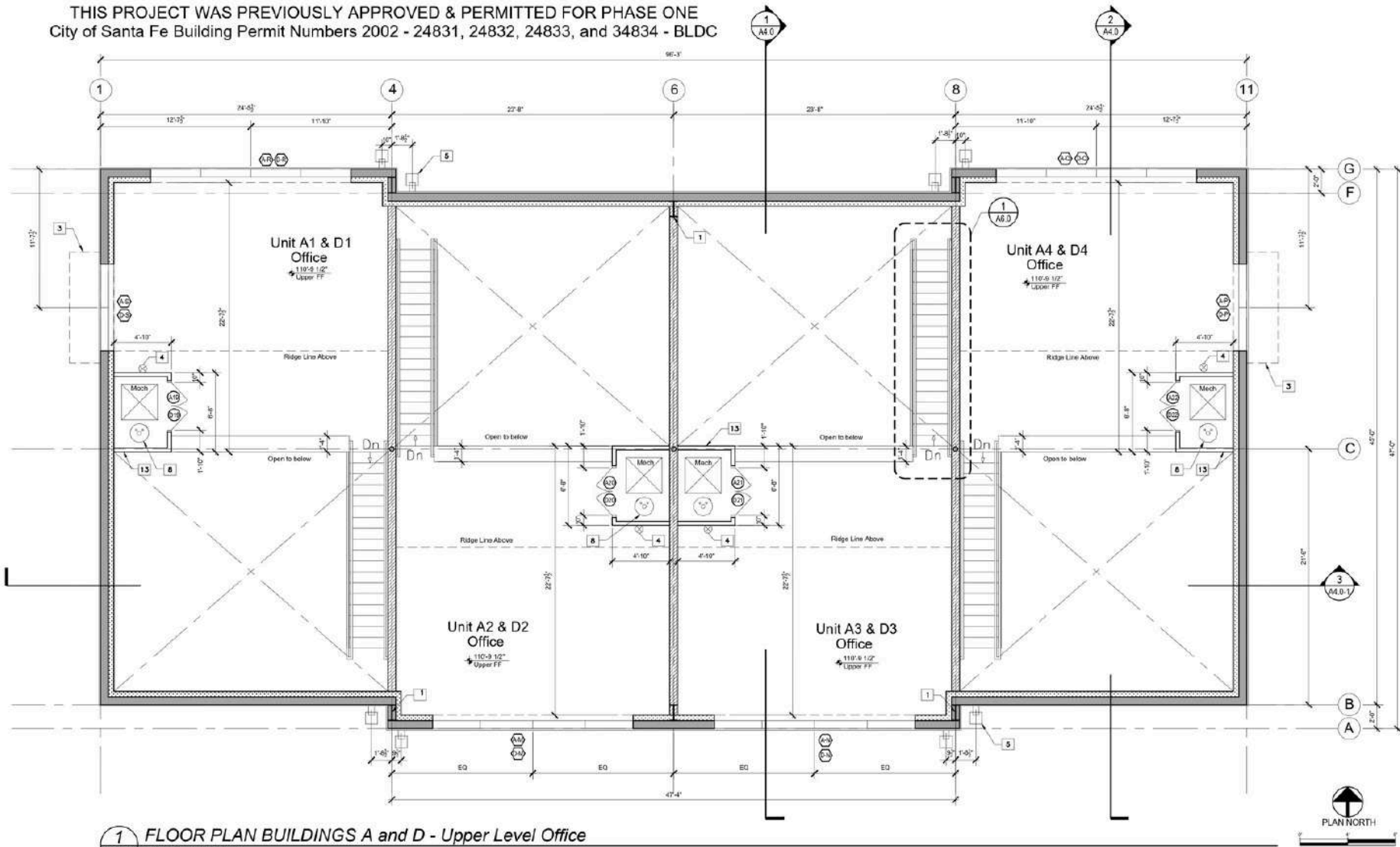
- 8" x 12" LIGHT GAUGE METAL STUD W/ 5/8" TYPE X ON EACH SIDE FIRE RATED 1 HOUR WITH "ROCKWOOL SAFE N SOUND" 6" SOUNDPROOFING INSULATION. RESILIENT CHANNELS 16" O.C. ONE SIDE ONLY. INSTALL RESILIENT CHANNELS PER SPECIFIC MANUFACTURER'S RECOMMENDATIONS. PROVIDE FASTENERS PER MANUFACTURER'S SPECS AND DO NOT ALLOW DRYWALL FASTENERS TO EXTEND PAST THE RESILIENT CHANNELS AND INTO STUDS.
- 8" x 12" LIGHT GAUGE METAL STUD W/ 5/8" TYPE X ON EACH SIDE FIRE RATED 1 HOUR WITH "ROCKWOOL SAFE N SOUND" 6" SOUNDPROOFING INSULATION. RESILIENT CHANNELS 16" O.C. ONE SIDE ONLY. INSTALL RESILIENT CHANNELS PER SPECIFIC MANUFACTURER'S RECOMMENDATIONS. PROVIDE FASTENERS PER MANUFACTURER'S SPECS AND DO NOT ALLOW DRYWALL FASTENERS TO EXTEND PAST THE RESILIENT CHANNELS AND INTO STUDS.

See Sheet S-3 "Structural Details and Sections" for light gauge metal framing specs

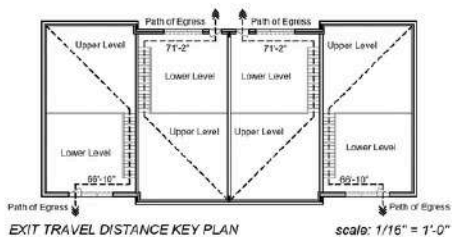
KEYED NOTES:

- Field steel frame structures typical. See Structural
- Exterior concrete on concrete pad, typical
- Fixed canopy overhead. See Elevations and Roof Plan.
- Wall mounted fire extinguisher, typical
- Install NDS catch basins at grade below all downspouts. Include minimum 36 x 36 inch lines and catch basins at grade. Enclose catch basins with 4" metal landscape edging. NDS chains set in sidewalk do not extend lower and outside. See Call for below grade, conveyance and A2.1 Roofplans
- Kitchenette by tenant. Provide hook up for sink, fridge and microwave
- Over fire fire rated sealable enclosure under floor; provide 5/8" type X drywall on both sides.
- Water heater location: 20 gallon tank heater to be installed in upstairs mechanical closets. See Mechanical / Plumbing drawings for specs.
- See, see A2.0
- Wall mounted light fixture, typical, see Building Elevations & A2.2-1
- Utility sink, typical
- Provide sound proofing fiberglass batt insulation on all sides of restroom in wall cavity
- Provide 5/8" type X drywall on both sides of walls at Mechanical Rooms
- Provide floor drain in Storage Rooms, typical
- Mount vertical track for OH door on wall above for all end units.

THIS PROJECT WAS PREVIOUSLY APPROVED & PERMITTED FOR PHASE ONE
City of Santa Fe Building Permit Numbers 2002 - 24831, 24832, 24833, and 34834 - BLDC



1 FLOOR PLAN BUILDINGS A and D - Upper Level Office
A2.0-2 SCALE: 1/4" = 1'-0"



Room	Floor	Base	Walls	Ceiling	Height	Remarks
Lower Level Warehouse	Concrete Slab	None	Painted Concrete	Painted Concrete	See Section	Exposed Ceiling is Unpainted
Toilet Room	Standard Gypsum Drywall	2" Vinyl Floor	Painted (Green & Blue)	Painted/Unpainted	8' 0"	See Sheet A2.0-1, Unpainted
Upper Level Office	Gyp/Plaster	None	Painted (White)	Exposed Structural and Mechanical (See Notes)	Unpainted	Exposed Ceiling is Unpainted
Mechanical Room	Structural Concrete Slab	None	Unpainted Concrete	Exposed Structural and Mechanical (See Notes)	Unpainted	Exposed Ceiling is Unpainted

* Provide min 5/8" gypsum drywall

GENERAL NOTES:

- Provide 1 hour rated wall between units to underside of roof. Seal all penetrations.
- Building insulation per the 2018 IECC. See building wall sections.
- Dimensions are to face of framing, outside of steel or structural grid lines, as indicated.
- Final location of perimeter light gauge framing shall cover structural framing, and shall be coordinated with the Architect in the field prior to insulation.

FLOOR AREA OF EACH BUILDING (A&D):
Total Floor Area (inside walls) = 1483 x 4 Units = 5932 sf
Total Roofed Area (including coprope) = 4952 sf

HEATED CONSTRUCTION AREA OF EACH BLDG. (A&D)
Lower Level (including exterior walls) = 4371 sf
Upper Level (including exterior walls) = 2339 sf
Total Heated Construction Area = 6710 sf

WALL TYPES

- 8" Z GRT W/ MIN R-19 FIBERGLASS BATT INSULATION
- 8" SPLIT FACED CMU WITH SOLID 2" CAP BLOCK, SEE CIVIL
- 8" LIGHT GAUGE METAL STUD W/ 5/8" TYPE X ON EACH SIDE, FIRE RATED 1 HOUR WITH "ROCKWOOL SAFE N SOUND" 0" SOUNDPROOFING INSULATION, RESILIENT CHANNELS 16" O.C. ONE SIDE ONLY. INSTALL RESILIENT CHANNELS PER SPECIFIC MANUFACTURERS RECOMMENDATIONS. PROVIDE FASTENERS PER MANUFACTURERS SPECS AND DO NOT ALLOW DRYWALL FASTENERS TO EXTEND PAST RESILIENT CHANNELS AND INTO STUDS.
- 3-1/2" LIGHT GAUGE METAL STUD AND 2" SPACING OFF GRT W/ CONTINUOUS BLOWN FIBERGLASS INSULATION TO FILL 3-1/2" CAVITY
- 4" OR 6" LIGHT GAUGE METAL STUD W/ 5/8" GYP BOTH SIDES. SEE A2.0 ENLARGED PLAN

KEYED NOTES:

- Rigid steel frame structure, typical. See Structural.
- Exterior condenser coil concrete pad, typical.
- Fixed canopy overhead, see Elevations and Roof Plan.
- Wall mounted fire extinguisher, typical.
- Initial NDS catch basins at grade below all downspouts. Include minimum 36" x 36" pond liner and cobble around drains at grade. Enclose cobble with 4" metal landscape edging. NDS drains set in sidewalk do not need liner and cobble. See Civil for below grade conveyance and A2.1 Roofplans.
- Kitchenette by tenant. Provide hook-ups for sink, fridge and microwave.
- One hour fire rated usable enclosure under stair, provide 5/8" type X drywall both sides.
- Water heater location: 20 gallon tank heater to be installed in upstairs mechanical closets. See Mechanical / Plumbing drawings for specs.
- Stair, see A2.0.
- Wall mounted light fixture, typical, see Building Elevations & A2.2-1.
- Utility sink, typical.
- Provide sound proofing fiberglass batt insulation on all sides of restrooms in wall cavity.
- Provide 3/8" type X drywall on both sides of walls at Mechanical Rooms.
- Provide floor drain in Storage Rooms, typical.
- Mount vertical track for OH door on wall above for all end units.

PHASE 2 PERMIT SET



REVISIONS:

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March 6, 2024

ANOVA PHASE 2

1189 Parkway Dr.
Santa Fe, NM 87507

Floor Plan
Bldgs. A & D
Upper Level

A2.0-2

PHASE 2 PERMIT SET



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March 6, 2024

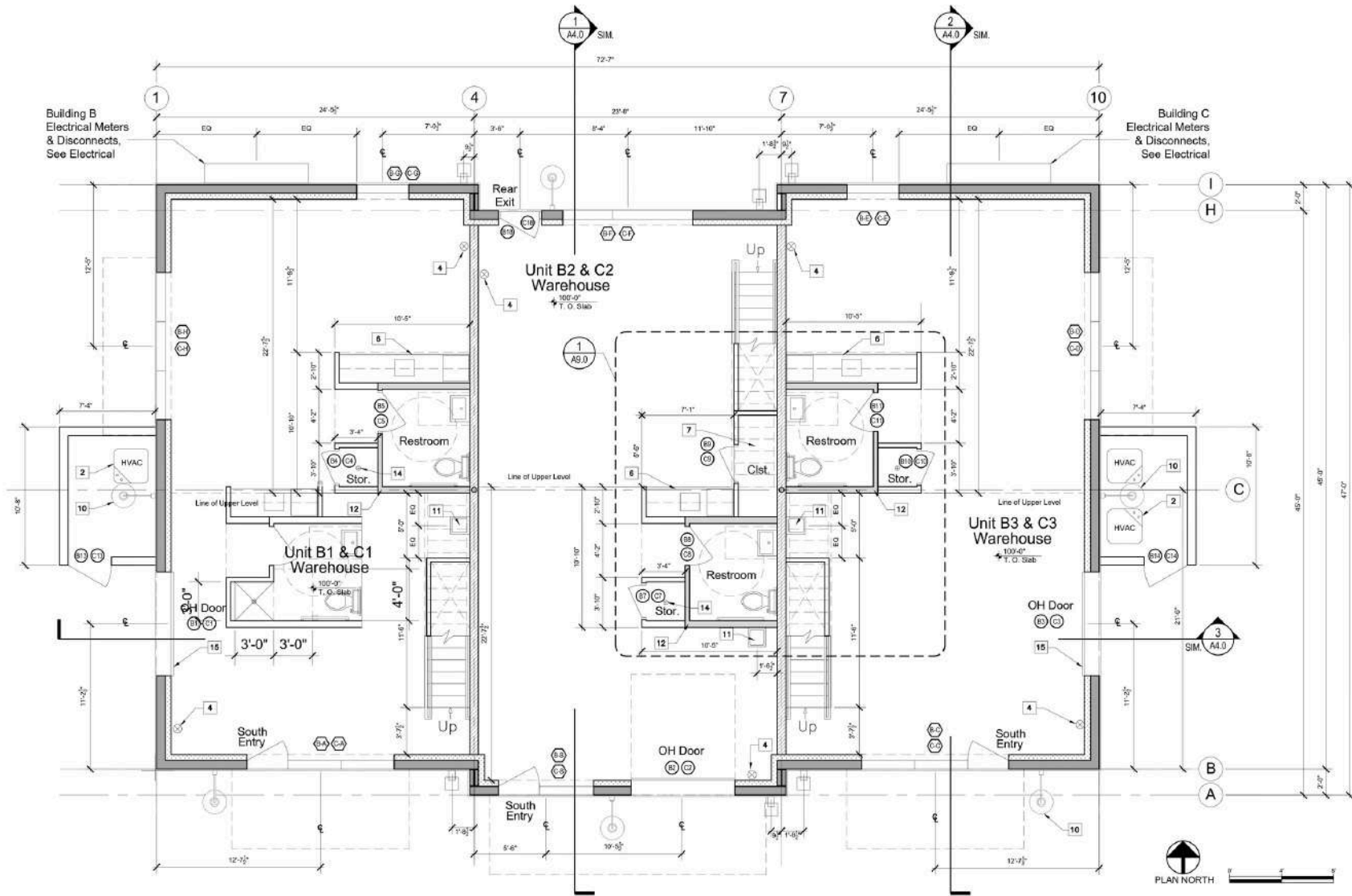
ANOVA PHASE 2

1189 Parkway Dr.
Santa Fe, NM 87507

Floor Plan
Bldgs. B & C
Lower Level

A2.0-3

THIS PROJECT WAS PREVIOUSLY APPROVED & PERMITTED FOR PHASE ONE
City of Santa Fe Building Permit Numbers 2002 - 24831, 24832, 24833, and 34834 - BLDG



1 FLOOR PLAN BUILDINGS B & C - Lower Level Warehouse
A2.0-3 SCALE: 1/4" = 1'-0"

TOP OF SLAB/ FF OF 100'-0" = 6668.26 [Bldg B] and 6669.5 [Bldg C] - SEE C-101

GENERAL NOTES:

- Provide 1 hour rated wall between units to underside of roof. Seal all penetrations.
- Building insulation per the 2018 IECC. See building wall sections.
- Dimensions are to face of framing, outside of steel or structural grid lines, as indicated.
- Final location of perimeter light gauge framing shall cover structural bracing, and shall be coordinated with the Architect in the field prior to installation.

FLOOR AREA OF EACH BUILDING (B&C):
Total Floor Area (inside walls) - 1483 x 3 Units = 4449 sf
Total Roofed Area (including canopies) = 3749 sf
HEATED CONSTRUCTION AREA OF EACH BLDG (B&C):
Lower Level (including exterior walls) = 3300 sf
Upper Level (including exterior walls) = 1774 sf
Total Heated Construction Area = 5074 sf

WALL TYPES

- 8" Z GIRT W/ MIN R-19 FIBERGLASS BATT INSULATION
- 3-1/2" LIGHT GAUGE METAL STUD AND 2" SPACING OFF GIRT W/ CONTINUOUS BLOWN FIBERGLASS INSULATION TO FILL 5-1/2" CAVITY
- 8" SPLIT FACED CMU WITH SOLID 2" GAP BLOCK, SEE CIVIL
- 4" OR 6" LIGHT GAUGE METAL STUD W/ 5/8" GYP BOTH SIDES. SEE A9.0 ENLARGED PLAN
- 8" LIGHT GAUGE METAL STUD W/ 5/8" TYPE X ON EACH SIDE. FIRE RATED 1 HOUR WITH "ROCKWOOL SAFE 'N' SOUND" 6" SOUNDPROOFING INSULATION. RESILIENT CHANNELS 16" O.C. ONE SIDE ONLY. INSTALL RESILIENT CHANNELS PER SPECIFIC MANUFACTURER'S RECOMMENDATIONS. PROVIDE FASTENERS PER MANUFACTURER'S SPECS AND DO NOT ALLOW DRYWALL FASTENERS TO EXTEND PAST RESILIENT CHANNELS AND INTO STUDS.

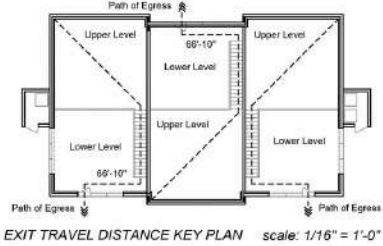
See Sheet S-3 "Structural Details and Sections" for light gauge metal framing specs

KEYED NOTES:

- Rigid steel frame structure, typical. See Structural.
- Exterior condenser on concrete pad, typical.
- Fixed canopy overhead, see Elevations and Roof Plan.
- Wall mounted fire extinguisher, typical.
- Install NDS catch basins at grade below all downspouts. Include minimum 3ft x 3ft pond liner and cobble around drains at grade. Enclose cobble with 4" metal landscape edging. NDS drains set in edgework do not need liner and cobble. See Civil for below grade conveyance and A2.1 Roofplans.
- Kitchenette by tenant. Provide hook-ups for sink, fridge and microwave.
- One hour fire rated outside enclosure under Slab, provide 5/8" type X drywall both sides.
- Water heater location. 20 gallon tank heater to be installed in upstairs mechanical closets. See Mechanical / Plumbing drawings for specs.
- Slab, see A6.0
- Wall mounted light fixture, typical, see Building Elevations & A2.2-1
- Utility sink, typical.
- Provide sound proofing fiberglass batt insulation on all sides of restroom in wall cavity.
- Provide 5/8" type X drywall on both sides of walls at Mechanical Rooms
- Provide floor drain in Storage Rooms, typical.
- Mount vertical track for OH door on wall above for all end units.

Room	Floor	Base	Walls*	Ceiling*	Height	Remarks
Lower Level Warehouse	Finished Dry Concrete w/ Existing Doors	None	Painted Drywall	Painted Drywall w/ 5/8" GYP (See Note 1)	Varies, See Sections	Exposed Ceiling to be painted
Toilet Room	Finished Dry Concrete w/ Existing Doors	4" New Concrete (See Note 1)	Painted Drywall w/ 5/8" GYP (See Note 1)	Painted Drywall	6'-0"	See Sheet M-2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 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992, 993, 994, 995, 996, 997, 998, 999, 1000

* Provide min 5/8" gypsum drywall



PHASE 2 PERMIT SET



REVISIONS:

PALO SANTO DESIGNS LLC
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505-988-7230

March 6, 2024

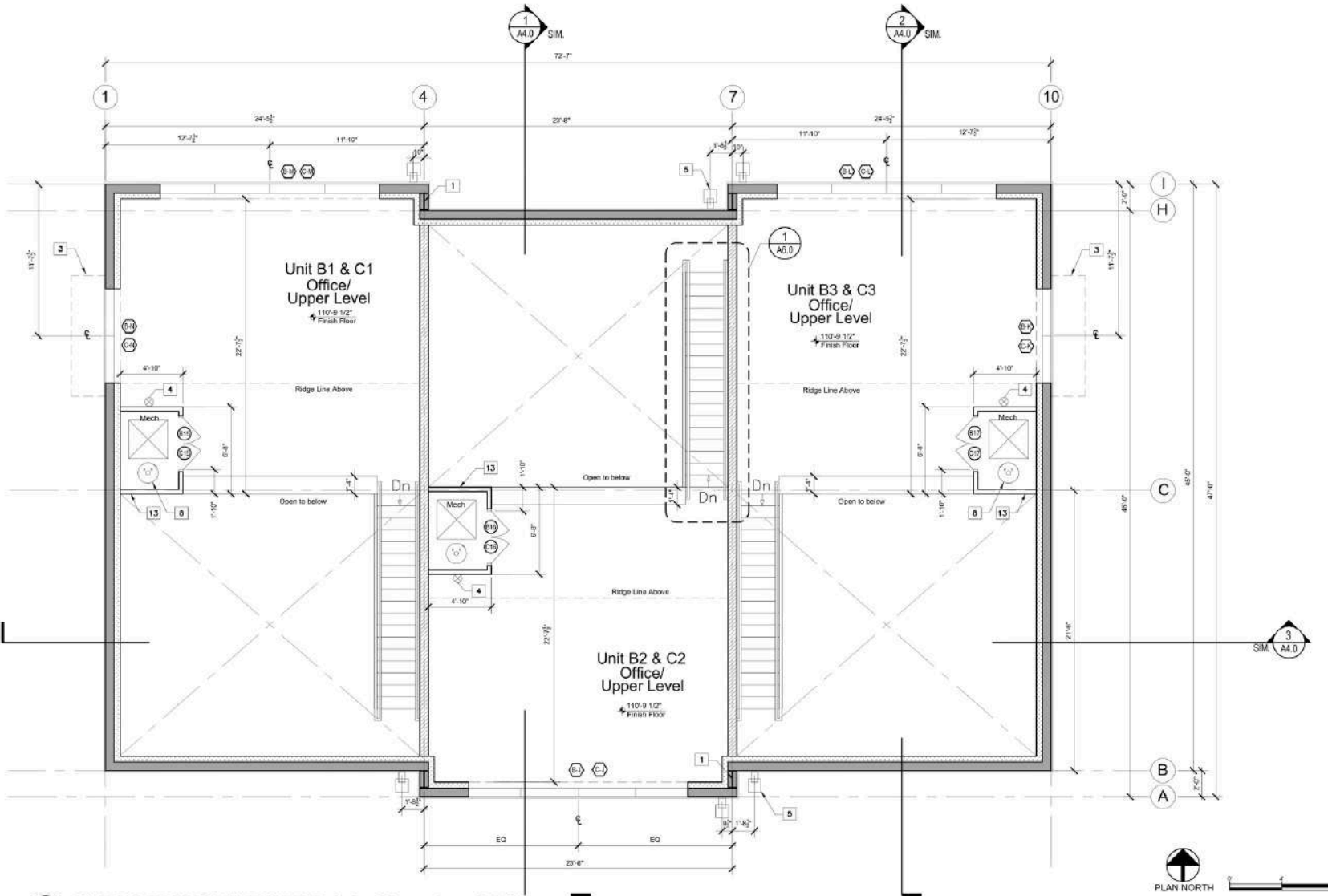
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PHASE 2

1189 Parkway Dr.
Santa Fe, NM 87507

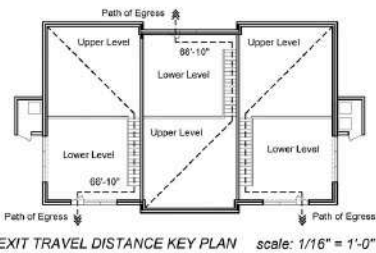
**Floor Plan
Bldgs. B & C
Upper Level**

A2.0-4

THIS PROJECT WAS PREVIOUSLY APPROVED & PERMITTED FOR PHASE ONE
City of Santa Fe Building Permit Numbers 2002 - 24831, 24832, 24833, and 34834 - BLDG



1 FLOOR PLAN BUILDINGS B & C - Upper Level Office
A2.0-5 SCALE: 1/4" = 1'-0"



scale: 1/16" = 1'-0"

Finish Schedule - Buildings B & C						
Room	Floor	Base	Walls*	Ceiling*	Height	Remarks
Lower Level Warehouse		Medium Gray Concrete w/ epoxy floor	None	Acoustic Ceiling with Upper Level Exhaust Ductwork for Recessing	Varies, See Sections	Exhaust Ceiling is Unpermitted
Toilet Room		Standard Gray Concrete w/ epoxy floor	4" Solid Core Ply. (See A2.2-1)	Acoustic Ceiling with 1" Recessed Light	8'-0"	See Sheet A2.5, Enlarged Mechanical Plans
Upper Level Office		Vinyl Plank	None	Acoustic Ceiling with 1" Recessed Light	Varies, see Sections	Exhaust Ceiling is Unpermitted
Mechanical Room		Standard Concrete Floor	None	Acoustic Ceiling with 1" Recessed Light	Varies, see Sections	Exhaust Ceiling is Unpermitted

* Provide min 5/8" gypsum drywall

GENERAL NOTES:

- Provide 1 hour rated wall between units to underside of roof. Seal all penetrations.
- Building insulation per the 2019 IECC. See building wall sections.
- Dimensions are to face of framing, outside of steel or structural grid lines, as indicated.
- Final location of perimeter light gauge framing shall cover structural bracing, and shall be coordinated with the Architect in the field prior to installation.

FLOOR AREA OF EACH BUILDING (B&C):
Total Floor Area (inside walls) - 1483 x 3 Units = 4449 sf
Total Roofed Area (including canopies) = 3749 sf

HEATED CONSTRUCTION AREA OF EACH BLDG (B&C):
Lower Level (including exterior walls) = 3300 sf
Upper Level (including exterior walls) = 1774 sf
Total Heated Construction Area = 5074 sf

WALL TYPES

- 8" 2 GIRT W/ MIN R-19 FIBERGLASS BATT INSULATION
- 8" SPLIT FACED CMU WITH SOLID 2" CAP BLOCK, SEE CIVIL
- 8" LIGHT GAUGE METAL STUD W/ 5/8" TYPE X ON EACH SIDE, FIRE RATED 1 HOUR WITH "ROCKWOOL SAFE 'N' SOUND" 6" SOUNDPROOFING INSULATION, RESILIENT CHANNELS 16" O.C. ONE SIDE ONLY. INSTALL RESILIENT CHANNELS PER SPECIFIC MANUFACTURER'S RECOMMENDATIONS. PROVIDE FASTENERS PER MANUFACTURER'S SPECS AND DO NOT ALLOW DRYWALL FASTENERS TO EXTEND PAST RESILIENT CHANNELS AND INTO STUDS.
- 3-1/2" LIGHT GAUGE METAL STUD AND 2" SPACING OFF GIRT W/ CONTINUOUS BLOWN FIBERGLASS INSULATION TO FILL 5-1/2" CAVITY
- 4" OR 6" LIGHT GAUGE METAL STUD W/ 5/8" GYP BOTH SIDES. SEE A2.0 ENLARGED PLAN

KEYED NOTES:

- Rigid steel frame structure, typical. See Structural.
- Exterior condenser on concrete pad, typical.
- Fixed canopy overhead, see Elevations and Roof Plan.
- Wall mounted fire extinguisher, typical.
- Install NDS catch basins at grade below all downspouts. Include minimum 3ft x 3ft pond liner and cobble around drains at grade. Enclose cobble with 4" metal landscape edging. NDS drains set in sidewalk do not need liner and cobble. See Civil for below grade conveyance and A2.1 Roofplans.
- Kitchenette by tenant. Provide hook-ups for sink, fridge and microwave.
- One hour fire rated usable enclosure under Stair; provide 5/8" type X drywall both sides.
- Water heater location. 20 gallon tank heater to be installed in upstairs mechanical closets. See Mechanical / Plumbing drawings for specs.
- Stair, see A2.0
- Wall mounted light fixture, typical, see Building Elevations & A2.2-1
- Utility sink, typical.
- Provide sound proofing fiberglass batt insulation on all sides of restroom in wall cavity.
- Provide 5/8" type X drywall on both sides of walls at Mechanical Rooms
- Provide floor drain in Storage Rooms, typical.
- Mount vertical track for OH door on wall above for all end units.



Exclusively Marketed by:

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