

# STUDIOS AT PARKWAY

## PHASE 2



1189 Parkway Drive, Santa Fe, NM 87507

OFFERING MEMORANDUM

# CONTENTS

## 01 Executive Summary

Investment Summary  
Financial Summary

## 02 Location

Location Summary

## 03 Property Features

Aerial Map

## 04 Photos

Site Plan  
Exterior Elevation  
Floor Plans

*Exclusively Marketed by:*

**Leslie Gallatin-Giorgetti**

Keller Williams Realty

Owner/Broker

(505) 670-7578

[giorette@giorette.com](mailto:giorgettirealty@gmail.com)



01

Executive Summary  
Investment Summary  
Financial Summary

## OFFERING SUMMARY

ADDRESS	1189 Parkway Drive, Santa Fe, NM 87507
BUILDING SF	1,587 SF
LAND ACRES	0.04
HEATED SF	1,677 SF
YEAR BUILT	2025

## FINANCIAL SUMMARY

PRICE PER UNIT	\$525,000
PRICE PSF	\$352.58

- The Studios at Parkway Phase 2, currently under construction, is Santa Fe's newest commercial, industrial, and flex-use condominium development in the thriving Siler/Rufina Warehouse, Art & Innovation District.

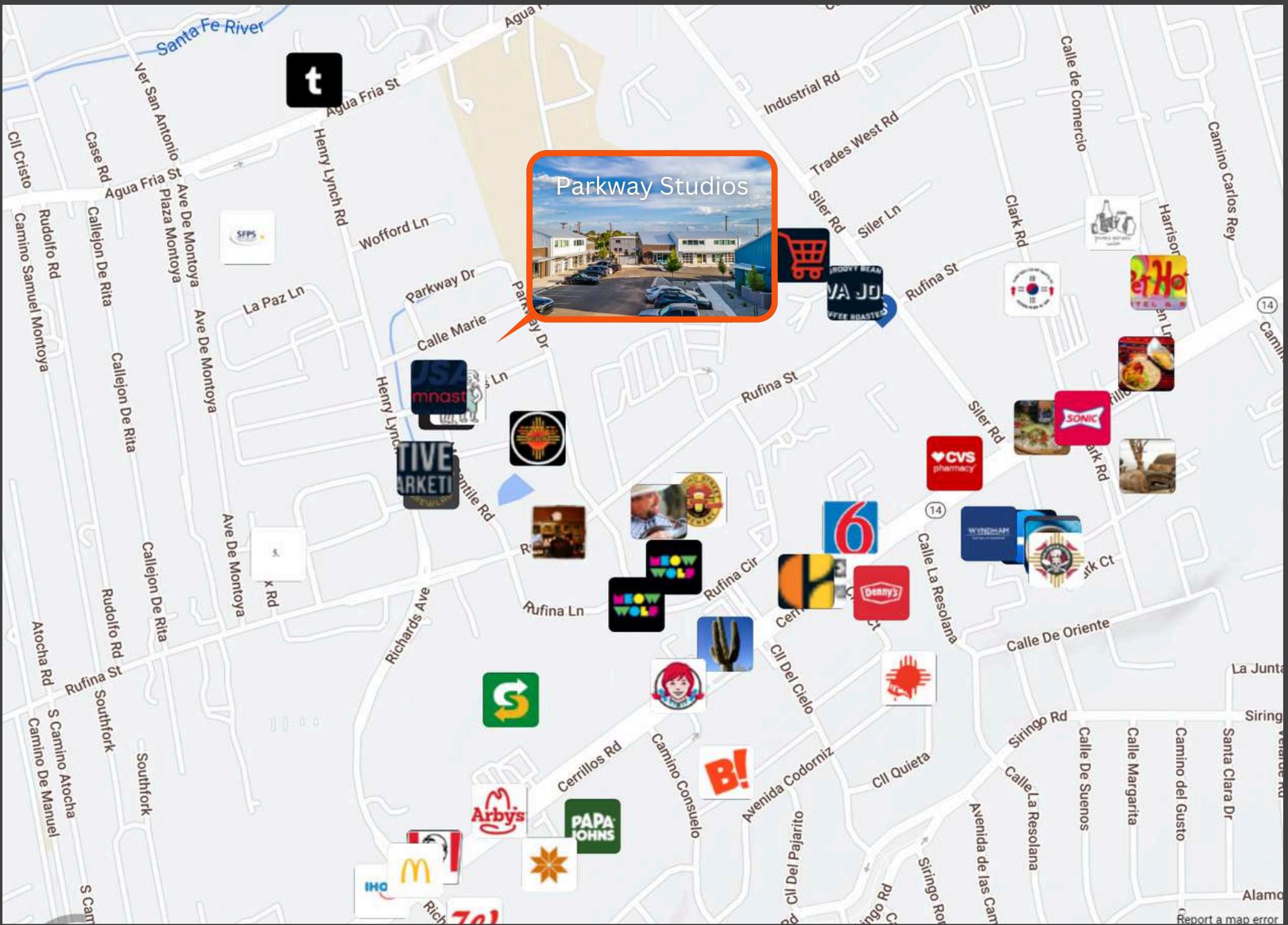
Designed with an industrial aesthetic, The Studios offer open, light-filled spaces with contemporary touches that create an inspiring environment for business. Each unit spans nearly 1,677 square feet, including 1,587 square feet of interior space ("walls in"), and features tall ceilings, large aluminum glass roll-up garage doors, expansive storefront windows, and finished concrete floors. Inside, you'll find LED lighting, handcrafted steel staircases with wood treads, and smooth drywall finishes. The ground floor encompasses 1,092 square feet, while the second story adds 584 square feet.

These units are designed with flexibility in mind, with an option for Live-Work as an accessory to commercial use. Each unit has separately metered utilities, kitchen-ready hookups, a designated area for a shower, and thoughtfully landscaped grounds tailored for shipping and receiving. Zoned I-1, these state-of-the-art condominiums are suitable for a range of uses, from offices, galleries, and artist studios to warehouses, wellness businesses, and light industry. Additionally, the roof is prepared for solar PV installation, and the property is located in a Federal Opportunity Zone.



02

Location  
Location Summary



Parkway Studios

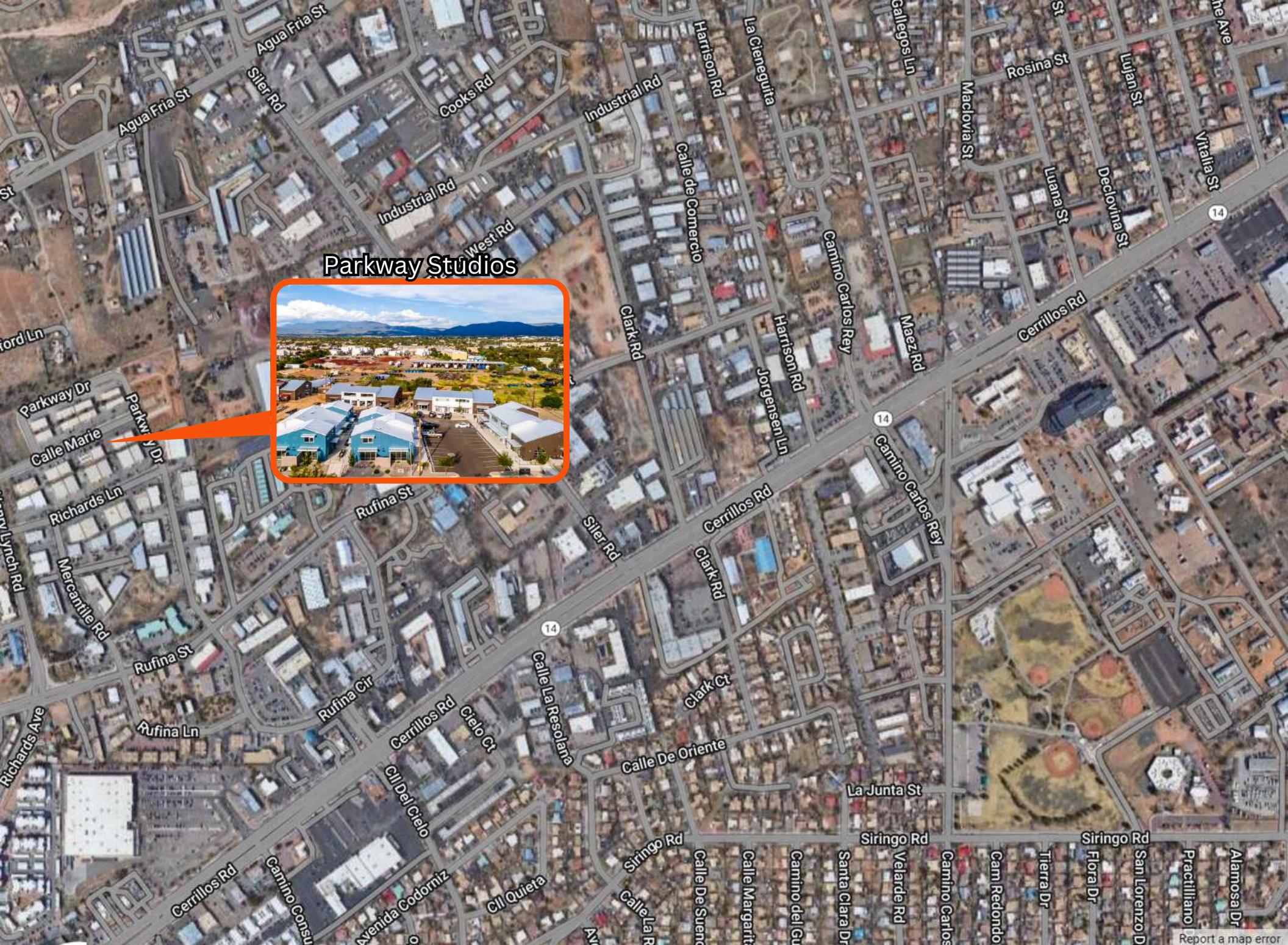


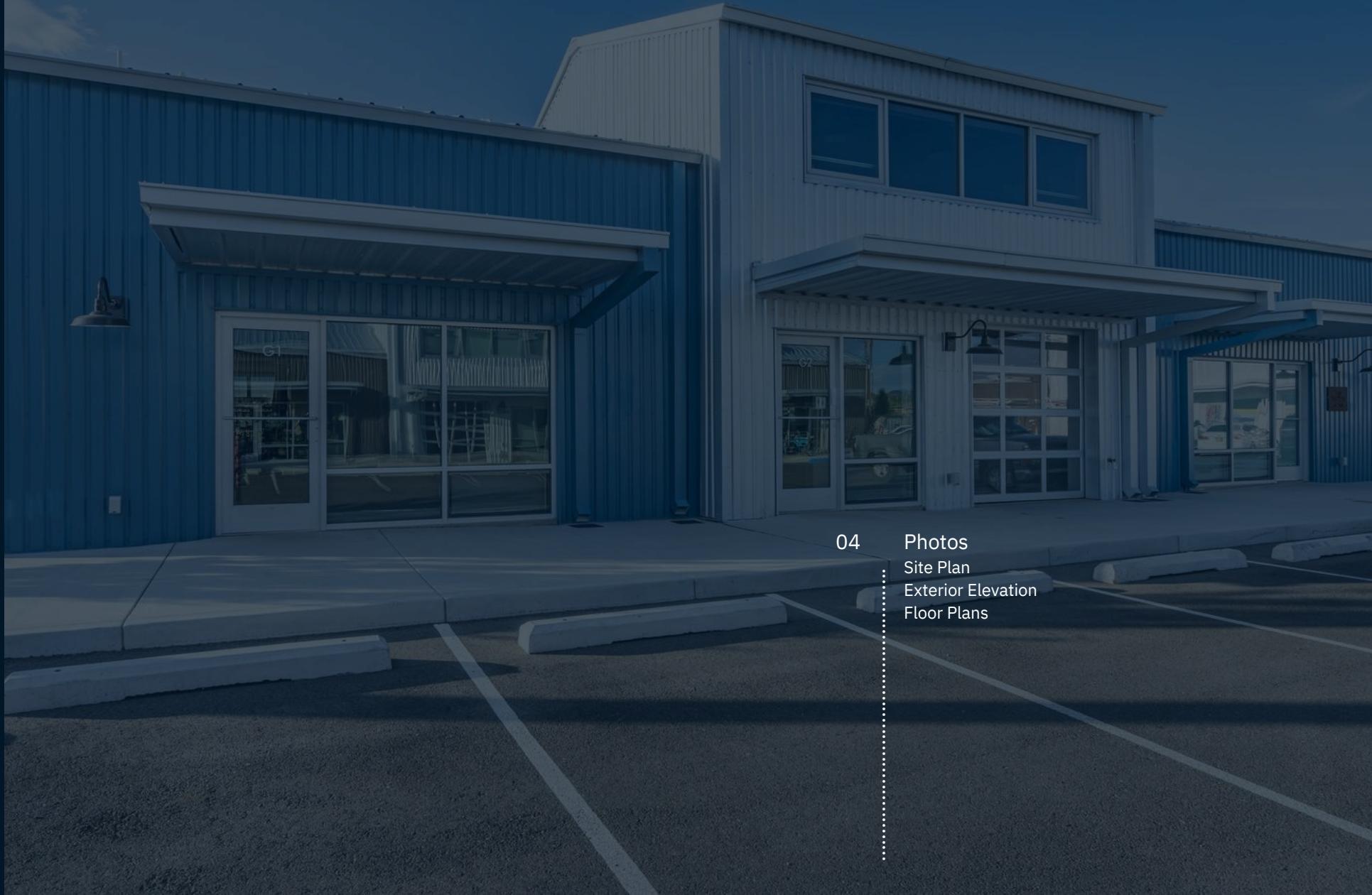


03 Property Features  
Aerial Map

## PROPERTY FEATURES

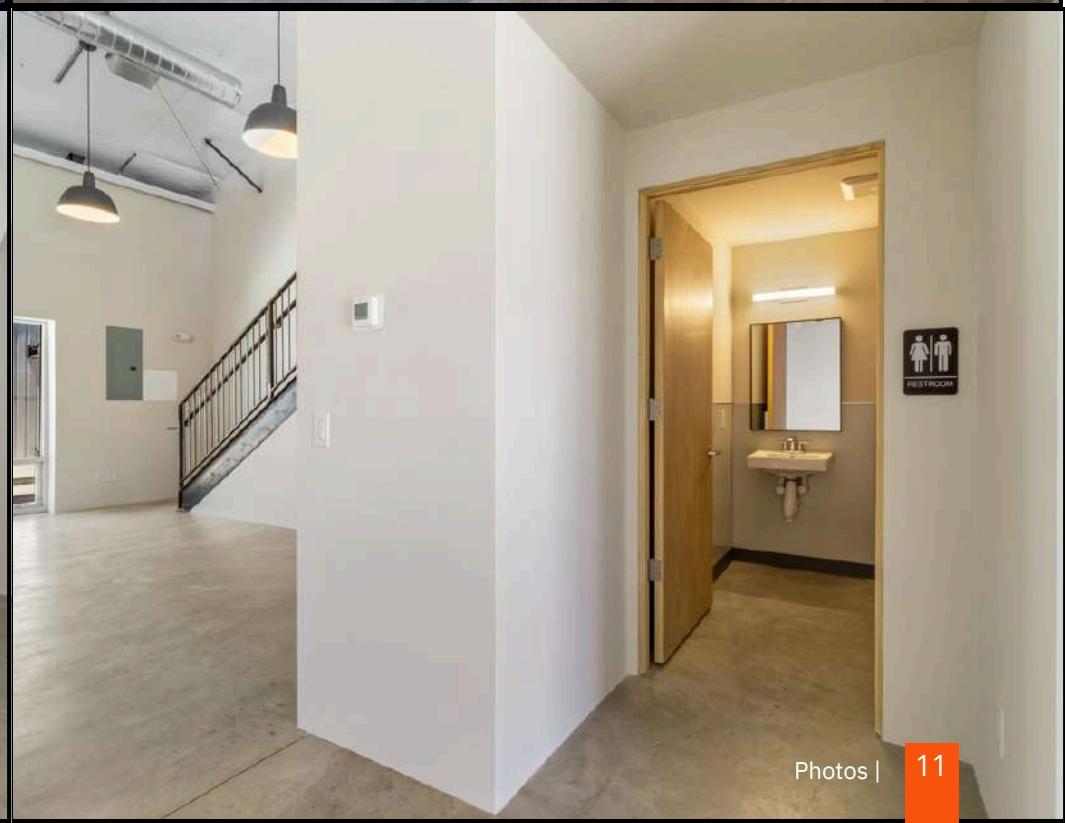
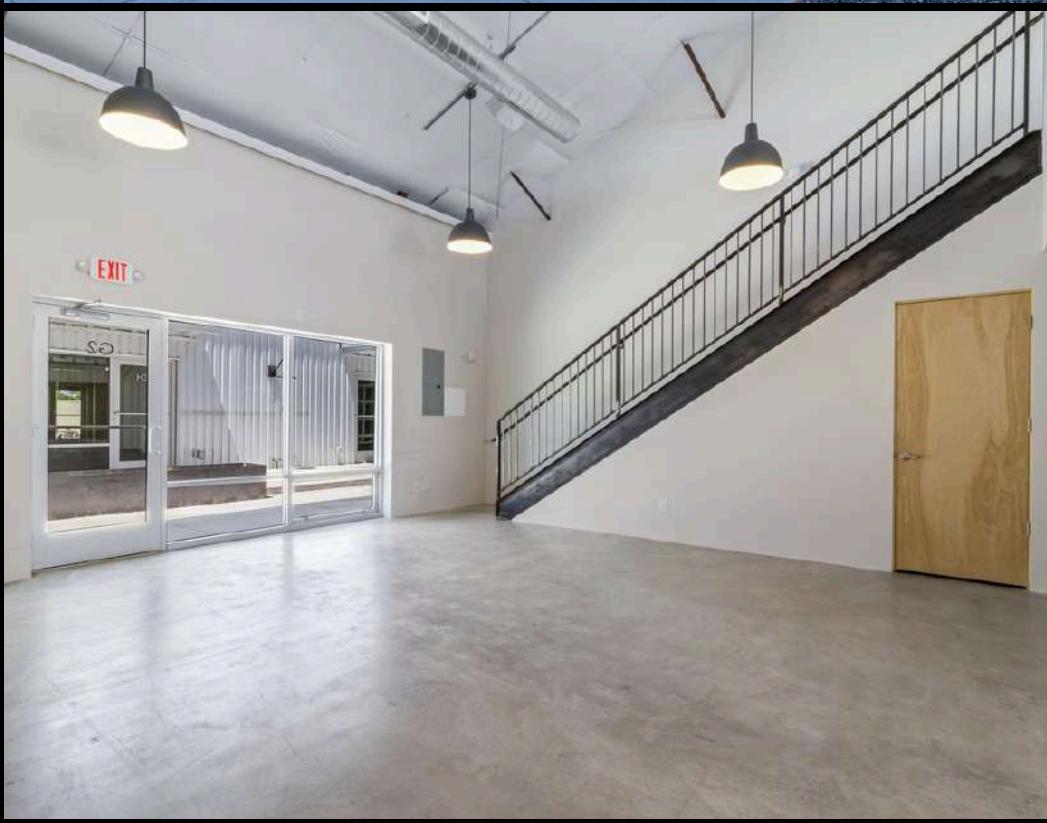
NUMBER OF UNITS	12
BUILDING SF	1,587
LAND SF	1,677
LAND ACRES	0.04
YEAR BUILT	2025-2026
ZONING TYPE	I-1





04

Photos  
Site Plan  
Exterior Elevation  
Floor Plans





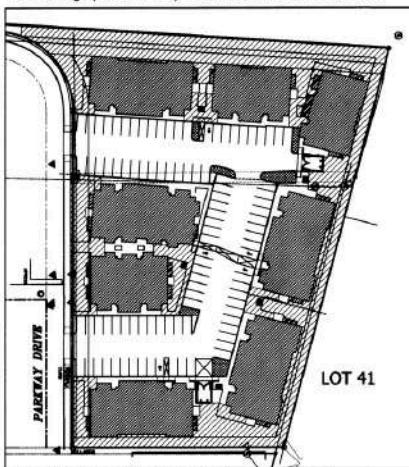




**Zoning: I-1 - Light Industrial**

Lot Area - 2.307 acres/ 100,510 sf

Lot Coverage (Phases 1 & 2) - 36% - 36,158 sf total roofed area



**OPEN SPACE KEY PLAN - 1" = 60'-0"**

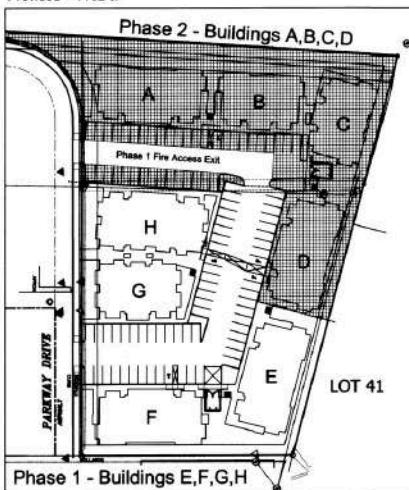
Open Space Required = 25,128 sf

Open Space Provided = 26,348 sf

**PARKING LOT ISLANDS**

Required = 990 sf

Provided = 1102 sf



**Phase 1 - Buildings E, F, G, H**

**PHASING KEY PLAN - 1" = 60'-0"**

ORIGINAL UTILITY EASEMENTS AND STORMWATER AGREEMENT SHALL STAY IN PLACE BASED ON EARLIER PLAT FILED IN COUNTY RECORDS ON THE 28TH DAY OF JUNE AD 2004, AT 13:32 OCLOCK PM AND WAS DULY RECORDED IN BOOK 562, PAGE 028-031 OF THE RECORDS OF SANTA FE COUNTY (#1355-001).

Property Owner(s) hereby agree:

James R. Damon

Owners Printed Name

James R. Damon 7/26/2021

Owners Signature

Notary Public

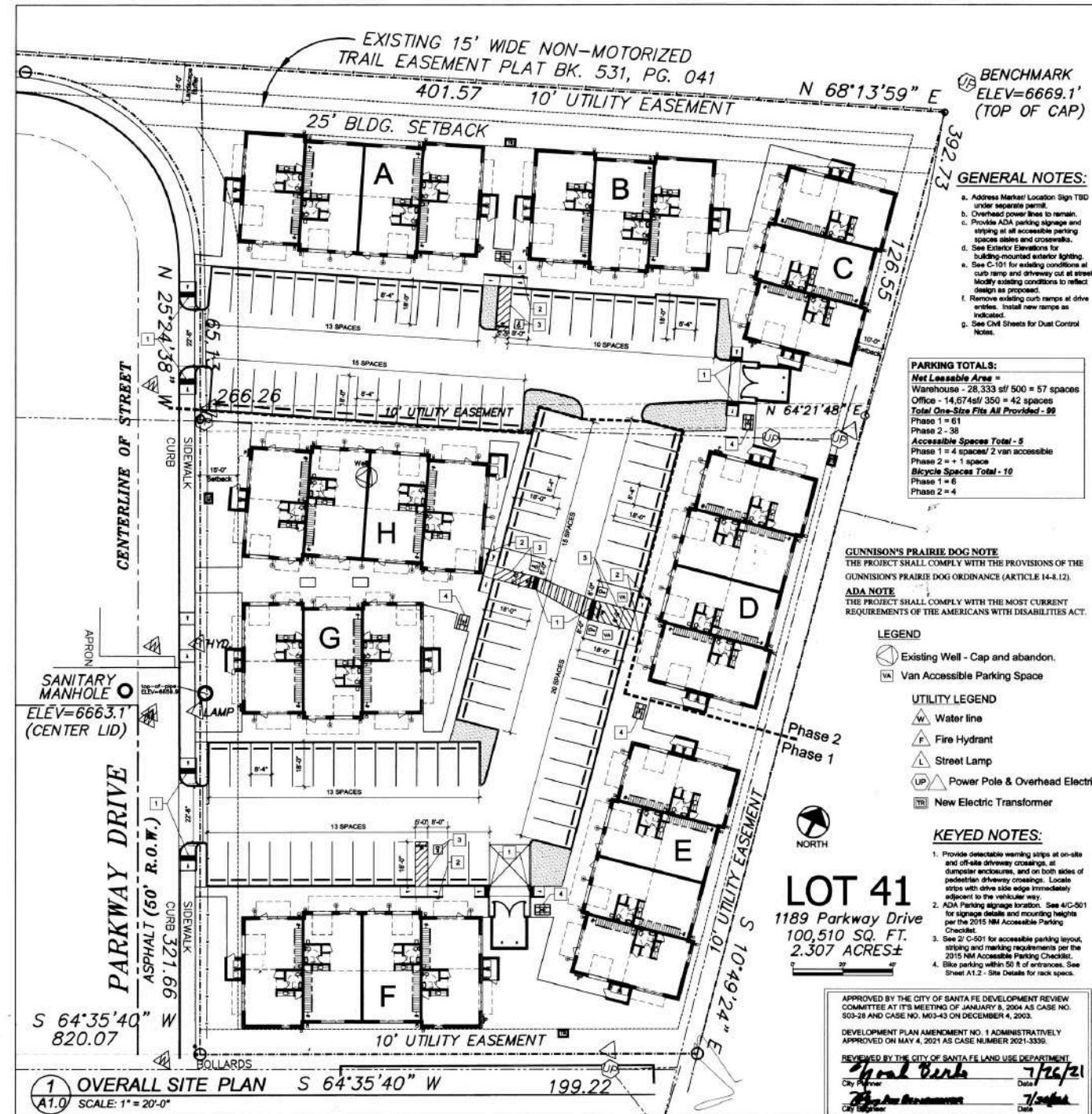
My Commission Expires 7-24-24

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 20 DAY OF JULY 2021 (OR EQUAL)

Notary Signature

Notary Public

My Commission Expires 7-24-24



**DEVELOPMENT PLAN AMENDMENT FINAL APPROVAL**



**REVISIONS:**  
 Final Comments  
 7/19/21

**PALO SANTO DESIGNS LLC**  
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 505-988-7230

March 22, 2021

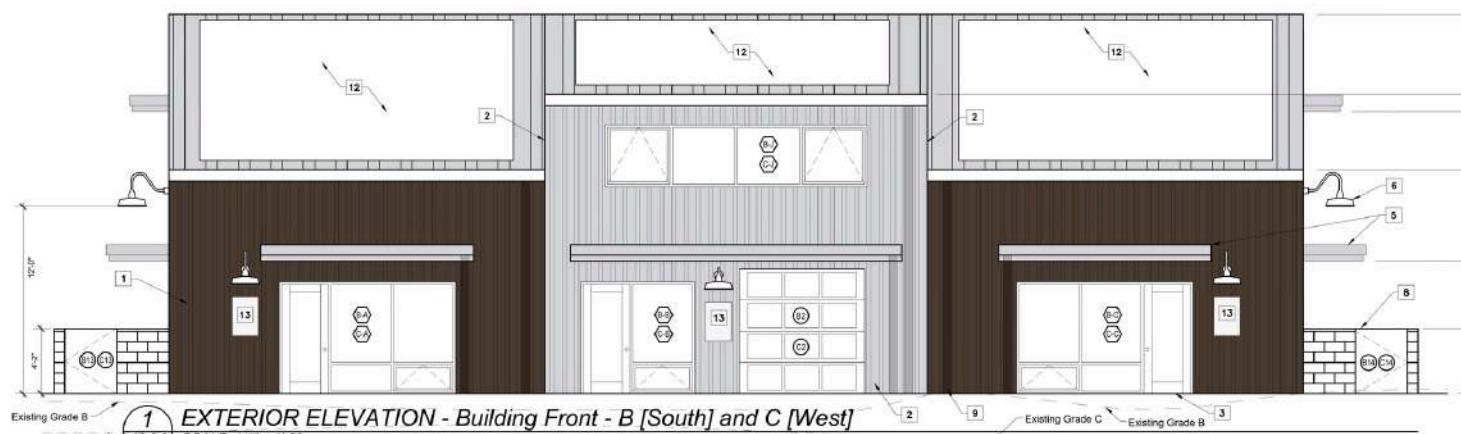
**ANOVA**

1189 Parkway Dr.  
 Santa Fe, NM 87507

**Overall Site Plan**

**A1.0**

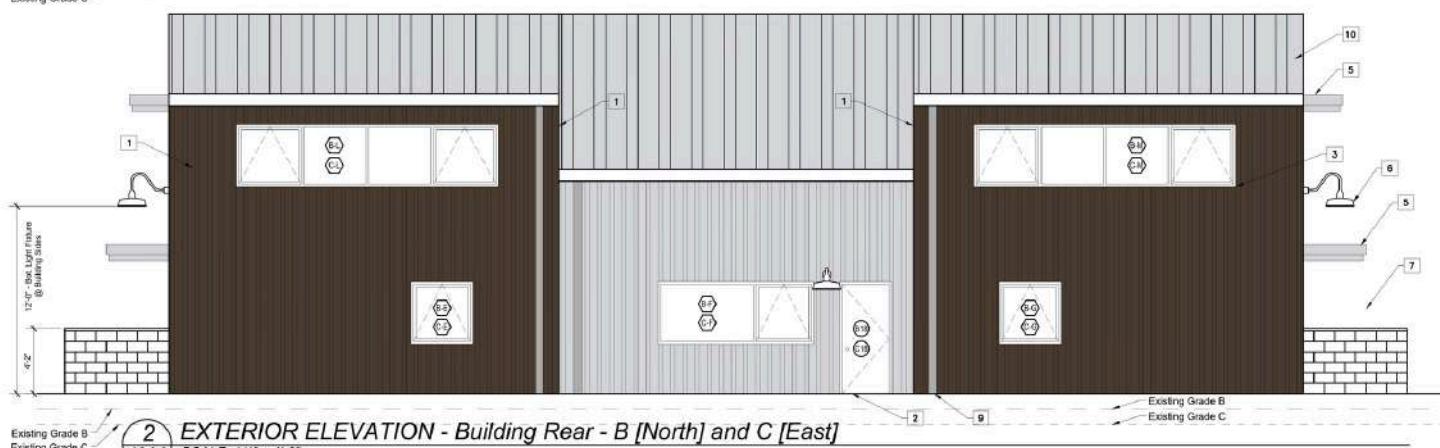




## PHASE 2 PERMIT SET

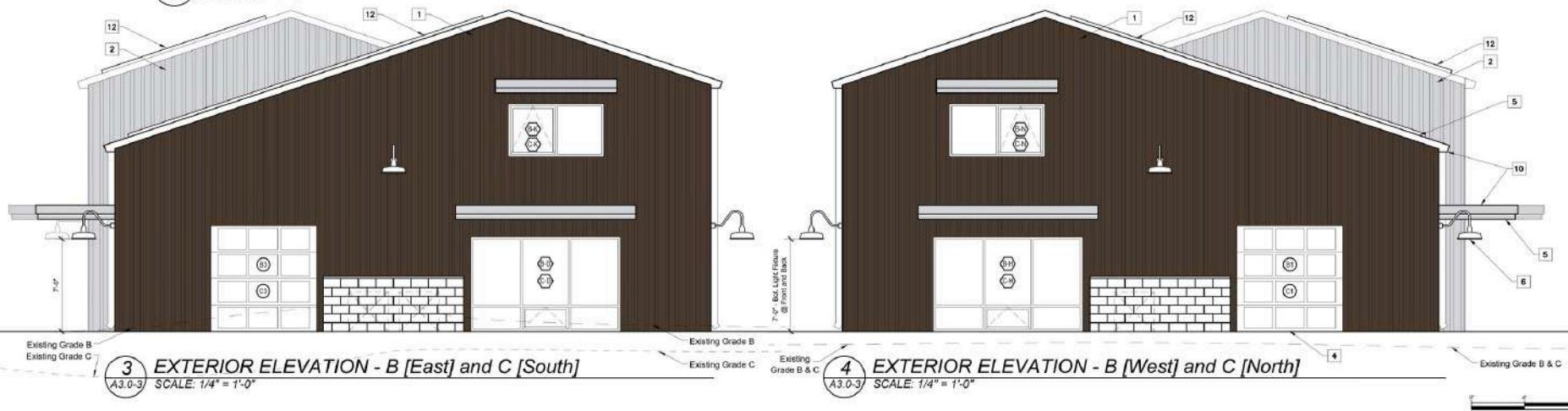


**REVISIONS:**



**KEYED NOTES:**

1. Exterior metal Roofs: "M" wall panels at outer units to be RGB color  
2. Exterior Metal Roof: wrap sides above roof as indicated
2. Exterior Metal Roof: "M" wall panels at center units to be RGB color  
Galvalume, doors and windows, frame to be clear  
3. Stowfront glazing, doors and windows as indicated
4. Overhead door with full glazing, frame to be anodized aluminum, typical
5. Metal fascia & trim on overhangs to be Galvalume to match roofing, typical
6. Metal fascia & trim on exterior to be in Barn style shade, color to be  
Architectural Branca. See Cut Sheet
7. HVAC screen walls to be split-face CMU, with steel 'Z' cop block color to be Utility Blue, "Domingo Blue", Lucas CMU Screen Walls centered  
between exterior walls and floor
8. HVAC enclosure gates to be natural steel.
9. Downspouts to match adjacent metal wall panels, typical
10. Metal roofing and gutters to be Galvalume "PBR" panel or matching, I  
11. Solar panel array on motor sensor, typical
12. Solar panel array
13. Unit signage by owner



## GENERAL NOTES

- a. "FRONT" Elevations face the Parking Lot on all Buildings, typical.
- b. Provide gutters and downspouts at all canopies with doors below and as indicated off the main roof.
- c. Dimensions on this sheet are approximate. Heights shown on Structural sheet govern. Notify Architect if major discrepancies are found.

March 6, 2024

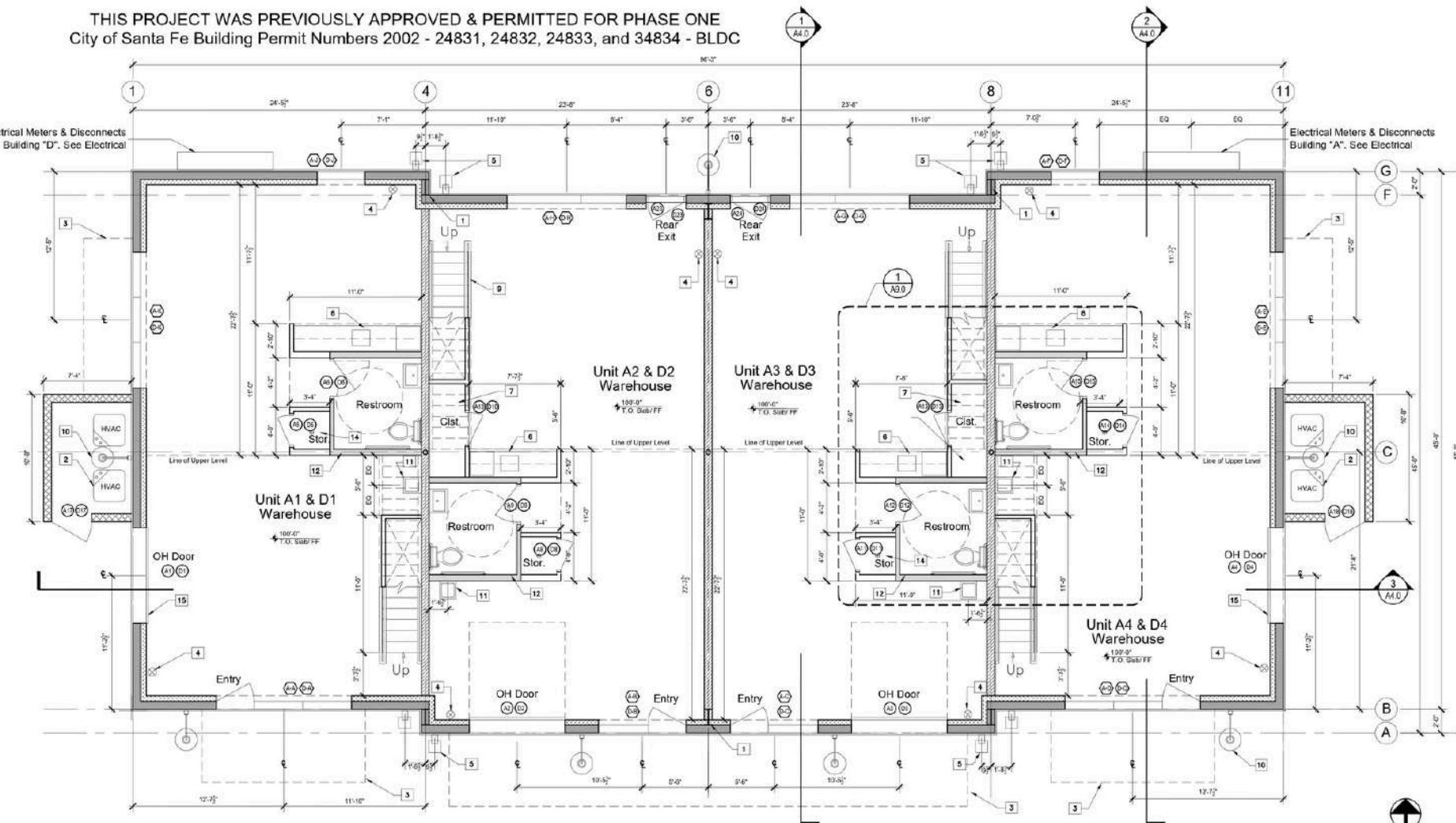
## ANOVA PHASE 2

1189 Parkway Dr.  
Santa Fe, NM 87507

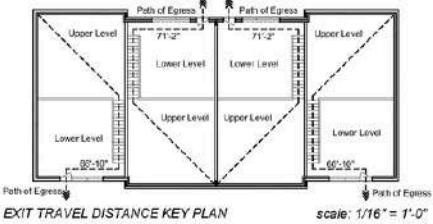
Ext. Elevs  
Buildings  
B & C

### A3.1

THIS PROJECT WAS PREVIOUSLY APPROVED & PERMITTED FOR PHASE ONE  
City of Santa Fe Building Permit Numbers 2002 - 24831, 24832, 24833, and 34834 - BLDC



**1 FLOOR PLAN BUILDINGS A and D - Lower Level/ Warehouse**  
A2.0-1 SCALE: 1/4" = 1'-0"



Finish Schedule - Buildings A & D

Room	Floor	Base	Walls*	Ceiling*	Height	Remarks	
Lower Level Warehouse	Ground	Standard Drywall noncomb flamer	None	Painted Drywall	Plastered Drywall Under Ceiling Grid (1/2" Gypsum Board)	8'6"	Values: See Sectors Expected Ceiling Uninsulated
Table Room	Ground	Standard Drywall noncomb flamer	None	Formed 1/2" Gypsum Board With Stucco	Formed Drywall	8'6"	See Sheet A10: Enclosed Recessed Area
Upper Level Office	Second	Unpainted Drywall	None	Painted Drywall	Plastered Drywall Under Ceiling Grid (1/2" Gypsum Board)	8'6"	Values: See Sectors Expected Ceiling Insulated
Mechanical Room	Ground	Structural Concrete Foundation	None	Reinforced Concrete Block With Mortar And Mesh	Exposed Reinforced Concrete One-Sided	8'6"	Values: See Sectors Expected Ceiling Uninsulated

#### GENERAL NOTES:

- a. Provide 1 hour rated wall between units to underside of roof. Seal all penetrations.
- b. Building insulation per the 2018 IECC. See building wall sections.
- c. Dimensions are to face of framing, outside of steel or structural grid lines, as indicated.
- d. Final location of perimeter light gauge framing shall cover structural bracing, and shall be coordinated with the Architect to the full extent to insulations.

#### STUDY AREA OF EACH BUILDING (A, B, C)

**FLOOR AREA OF EACH BUILDING (A & D):**  
Total Floor Area (inside walls) = 1483 x 4 Units = 5932 sf  
Total Roofed Area (including canopies) = 4952 sf

HEATED CONSTRUCTION AREA OF EACH BLDG. (A&D)

Lower Level (including exterior walls) = 4371 sf  
Upper Level (including exterior walls) = 2339 sf

Total Heated Construction Area = 6710 sf

## WALL TYPES

WIN-R-19 SAMS BATT ON	3/4" LIGHT GAUGE METAL STUD AND E-2 1/2" GPF GUT IR CONTINUOUS BLOWN FIBERGLASS INSULATION TO 1/2" GCF	1. Right angle frame aluminum trimmer. See Structural 2. Exterior condenser on concrete slab, typical 3. Fixed canopy overhead, see Residential and Roof Plan. 4. Wall mounted fire extinguisher, typical 5. Wall mounted fire alarm, all downspouts. Include minimum 3" x 30" plate and cable conduit details at grade. Enclose cable with 4" metal landscape edging. ND85 chains set in sidewalk do not need fire alarm. See Curb Cut below grade concrete details and A-21 Requirements 6. Kiteboarder dock, see Residential for specs, typical 7. One hour fire rated walkable under slab, provide 5/8" type K drywall both sides 8. Wall mounted location, 20 gal tank heater to be installed in upstairs mechanical areas. See Mechanical / Plumbing drawings for specs. 9. See A-6 10. Wall mounted light fixture, typical, see Building Elevations & A-2.2-1 11. Wall mounted light fixture, typical, see Building Elevations & A-2.2-1 12. Provide sound proof fiberglass batt insulation on all sides of restroom in wall cavity 13. Provide 1/2" type K drywall on both sides of walls of Mechanical Room 14. Provide floor drains in Storage Room, typical 15. Mount vertical track on H/D roof on all side walls for all end units.
FACED C/W CLD 2" CAP EVE C/WL	4" OR 6" LIGHT GAUGE METAL STUD W/ 5/8" GPF BOTH SIDES. SEE A-9 ENLARGED PLAN	GAUGE METAL STUD W/ 5/8" TYPE X ON EACH SIDE OF WALL. PROVIDE 1/2" GCF, SAFER IN SOUND PROOFING INSULATION. REQUIRE 1/2" GCF IN 6" C ONLY. INSTALL RESILIENT CHANNELS PER SPECIFIC MANUFACTURER'S RECOMMENDATIONS. PROVIDE FASTENERS MANUFACTURER'S SPECS AND DO NOT ALLOW DRYWALL TACKS TO EXTEND PAST RESILIENT CHANNELS AND INTO GAUGE METAL STUD
W-3	W-3 "Structural Details and Sections" for light gauge metal stud walls	

**PHASE 2  
PERMIT SET**



## REVISIONS: 1 June 4, 2021 ADA Compliant -Restrooms

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June 4, 2024

1189 Parkway Dr.  
Santa Fe, NM 87507

**Floor Plan  
Bldgs. A & D  
Lower Level**

## A2.0-1

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City of Santa Fe Building Permit Numbers 2002 - 24831, 24832, 24833, and 34834 - BLDC

PHASE 2  
PERMIT SET



REVISIONS:

**PALO SANTO DESIGNS LLC**  
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www.palosantodesigns.com  
505-986-7230

STATE OF NEW MEXICO  
SANDRA ODEM  
NO. 23351  
REGISTERED ARCHITECT

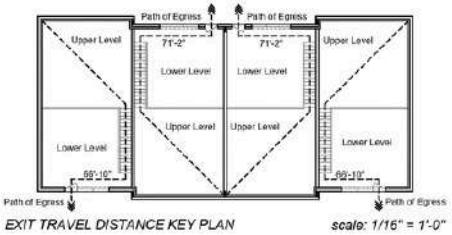
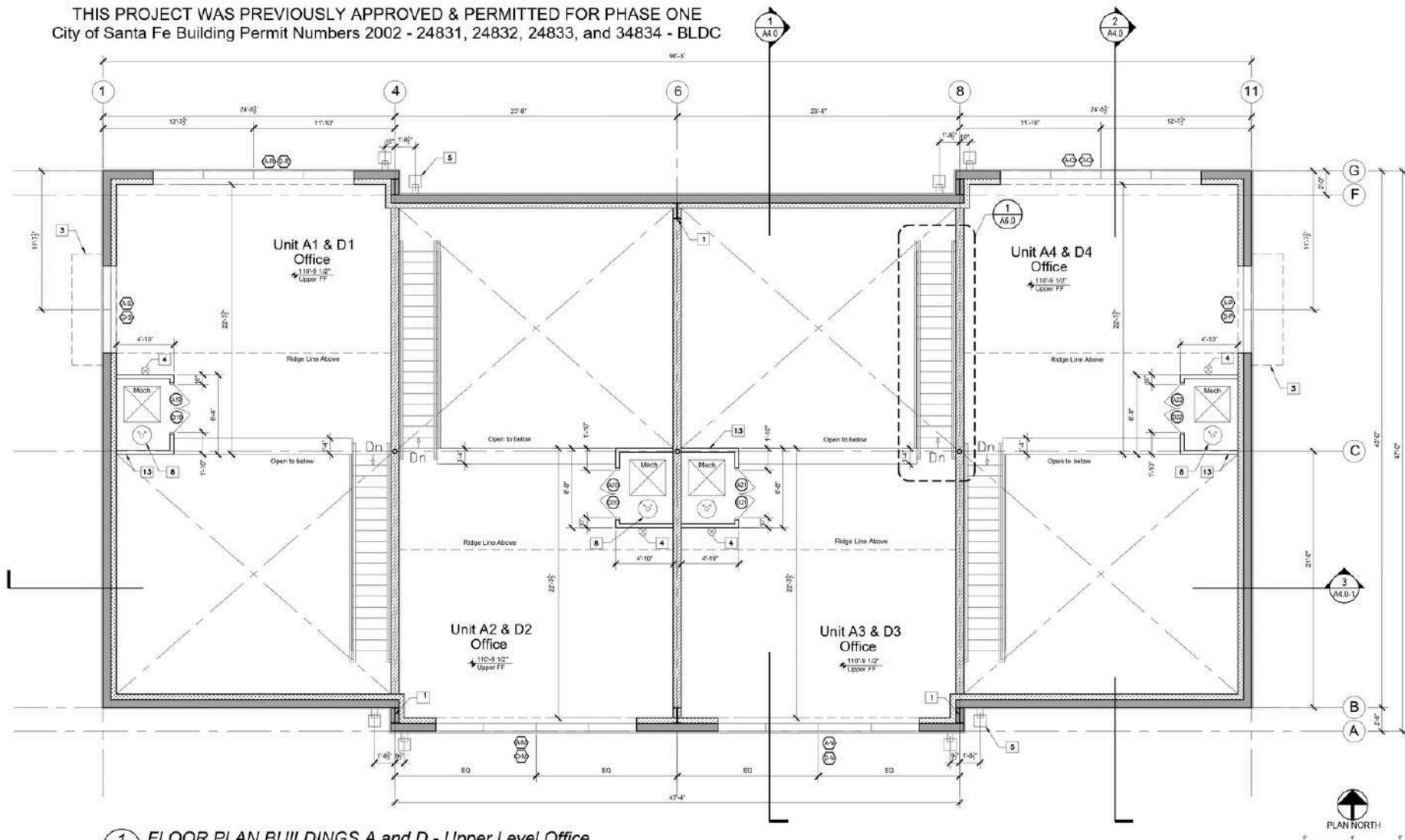
March 6, 2024

**ANOVA**  
PHASE 2

1189 Parkway Dr.  
Santa Fe, NM 87507

**Floor Plan  
Bldgs. A & D  
Upper Level**

**A2.0-2**



Finish Schedule - Buildings A & D						
Room	Floor	Base	Walls*	Ceiling*	Height	Remarks
Lower Level Warehouse	Lower Level	Concrete w/ Structural Steel	None	Plaster Gypsum Gypsum Gypsum	8' 0"	Permit required Open Link. Opened Structure to Remaining Vertical. See Section Exposed ceiling is required.
Toilet Room	Standard Gray Concrete Block	2" Vinyl Floor	Plaster Gypsum Gypsum	8' 0"	8' 0"	See Sheet A1.3. Plastered Vertical.
Upper Level Office	Upper Level	None	Plaster Gypsum Gypsum	8' 0"	8' 0"	Permit required. Opened Structure to Remaining Vertical. See Section Exposed ceiling is required.
Mechanical Room	Ground Floor Basement	Structural Steel	Drywall Type X Gypsum Gypsum	8' 0"	8' 0"	Exposed Vertical and Horizontal Studs. See Section. Exposed ceiling is required.

\* Provide min 5/8" gypsum drywall

**FLOOR AREA OF EACH BUILDING (A & D):**  
Total Floor Area (inside walls) = 1483 x 4 Units = 5932 sf  
Total Roofed Area (including copoles) = 4952 sf  
**HEATED CONSTRUCTION AREA OF EACH BLDG. (A&D):**  
Lower Level (including exterior walls) = 1074 sf  
Upper Level (including exterior walls) = 2338 sf  
Total Heated Construction Area = 3710 sf

See Sheet S-3 "Structural Details and Sections" for light gauge metal framing specs





REVISIONS:

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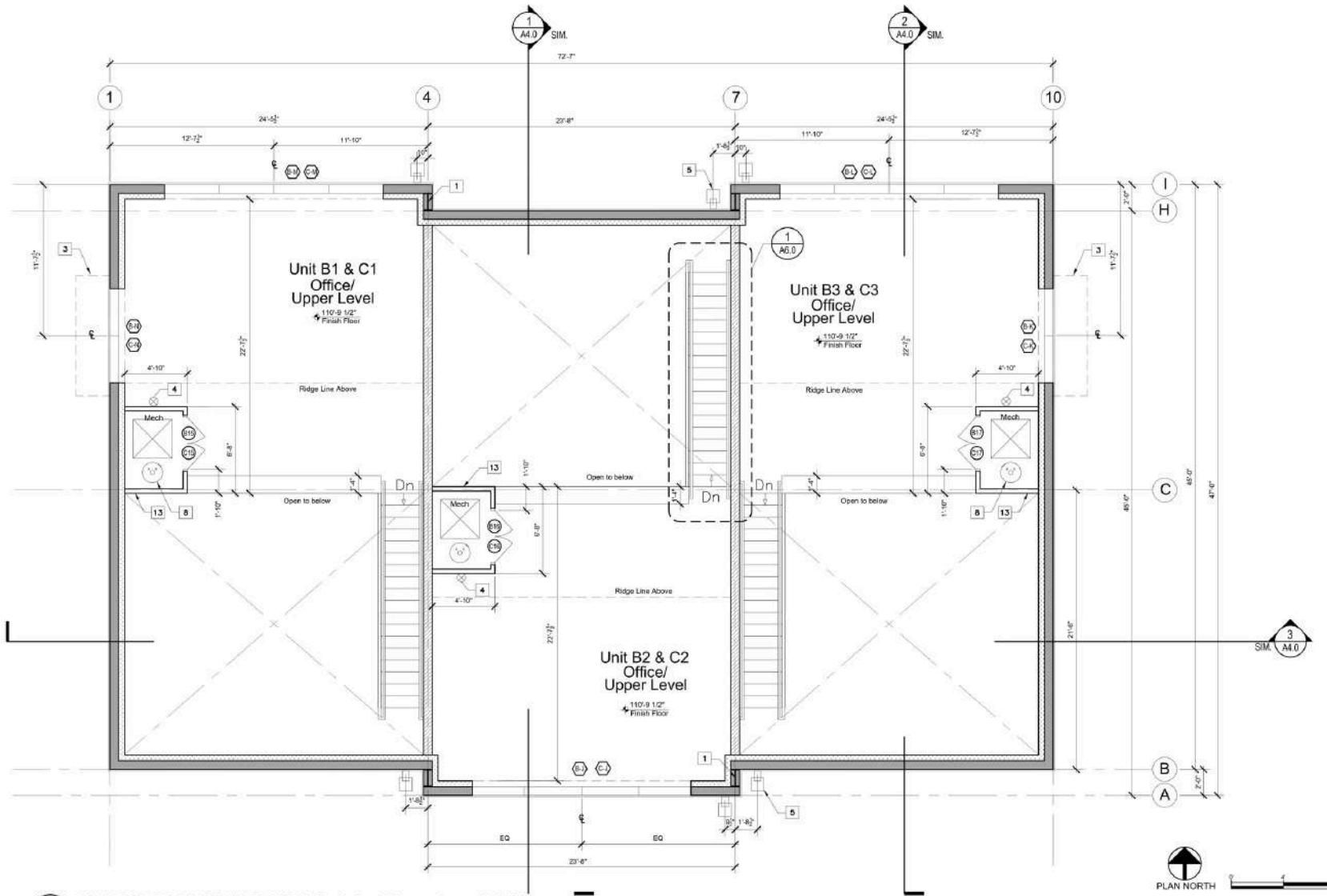
March 6, 2024

**ANOVA**  
PHASE 2

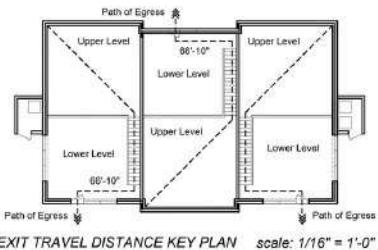
1189 Parkway Dr.  
Santa Fe, NM 87507

**Floor Plan  
Bldgs. B & C  
Upper Level**

**A2.0-4**



**1 FLOOR PLAN BUILDINGS B & C - Upper Level Office**  
A2.0-5  
SCALE: 1/4" = 1'-0"



Finish Schedule - Buildings B & C						
Room	Floor	Base	Walls*	Ceiling*	Height	Remarks
Lower Level Warehouse	Standard Clear Ceiling w/ Perimeter Downdraft	None	Plastered Gypsum TBD	Reinforced Gypsum Ceiling with soffit line	Upper, See Section	Insulated Ceiling is Required
Toilet Room	Standard Clear Ceiling w/ Perimeter Downdraft	None	Plastered Gypsum TBD	Plastered Downdraft	8'-4"	See Sheet A0.4. Emergency Shower Location
Upper Level Office	8'-0"	None	Plastered Gypsum TBD	Plastered Ceiling with soffit line	Varies, see Section	Insulated Ceiling is Required
Mechanical Room	Reinforced Gypsum TBD	None	Plastered Gypsum TBD	Plastered Ceiling with soffit line	Varies, see Section	Insulated Ceiling is Required

\* Provide min 5/8" gypsum drywall

scale: 1/16" = 1'-0"

**GENERAL NOTES:**

- Provide 1 hour rated wall between units to underside of roof. Seal at penetrations.
- Building insulation per the 2018 IECC. See building wall dimensions to face of framing, outside of steel or structural grid lines, as indicated.
- Final location of perimeter light gauge framing shall cover structural bracing, and shall be coordinated with the Architect in the field prior to installation.

**FLOOR AREA OF EACH BUILDING (B&C):**

Total Floor Area (inside walls) = 1483 x 3 Units = 4449 sf  
Total Heated Area (including canopies) = 3749 sf

**HEATED CONSTRUCTION AREA OF EACH BLDG (B&C):**

Lower Level (including exterior walls) = 3300 sf  
Upper Level (including exterior walls) = 1774 sf  
Total Heated Construction Area = 5074 sf

See Sheet S-3 "Structural Details and Sections" for light gauge metal framing specs

**WALL TYPES**

8" GIRT W/ MIN R-19 FIBERGLASS BATT INSULATION	3 1/2" LIGHT GAUGE METAL STUD AND Z SPACING OFF GIRT W/ CONTINUOUS BLOWN FIBERGLASS INSULATION TO FILL 5 1/2" CAVITY
8" SPLIT FACED CMU WITH SOLID 2" CAP BLOCK, SEE CIV. ENLARGED PLAN	4" OR 6" LIGHT GAUGE METAL STUD W/ 5/8" GYP BOTH SIDES, SEE A0.0 ENLARGED PLAN

8" LIGHT GAUGE METAL STUD W/ 5/8" TYPE X ON EACH SIDE. FIRE RATED 1 HOUR WITH ROCKWOOL SAFE "N SOUND" 6". SOUNDPROOFING INSULATION. RESILIENT CHANNELS 16" O.C. ONE SIDE ONLY. INSULATED RESILIENT CHANNELS PER SPECIFIC MANUFACTURER'S RECOMMENDATIONS. PROVIDED BY OWNER FASTENERS TO EXTEND PAST RESILIENT CHANNELS AND INTO STUDS.	1. Rigid steel frame structure, typical. See Structural. 2. Exterior condenser on concrete pad, typical. 3. Fixed or supply overhead, see Elevations and Roof Plans. 4. Water heater location, see Sheet A0.1. Roof Plans. 5. In-slab NDS catch basins at grade below all downspouts. Include minimum 3 ft x 3 ft pond liner and cobble around drains at grade. Enclose cobble with 4" metal landscape edging. NDS drains set in sidewalk do not need liner or cobble. See Civil for below grade conveyance and A2.1 Roof Plans. 6. Roof drain location. Provide hook-ups for sink, fridge and microwave. 7. One hour fire rated usable enclosure under Stair; provide 5/8" type X drywall both sides. 8. Water heater location. 20 gallon tank heater to be installed in upstairs mechanical closets. See Mechanical / Plumbing drawings for specs. 9. See Sheet A0.4. Emergency shower location.
1. Provide 5/8" type X drywall on both sides of walls of Mechanical Rooms	
2. Provide floor drain in Storage Room, typical	
3. Mount vertical track for OH door on wall above for all end units.	

**KEYED NOTES:**

- Rigid steel frame structure, typical. See Structural.
- Exterior condenser on concrete pad, typical.
- Fixed or supply overhead, see Elevations and Roof Plans.
- Water heater location, see Sheet A0.1. Roof Plans.
- In-slab NDS catch basins at grade below all downspouts. Include minimum 3 ft x 3 ft pond liner and cobble around drains at grade. Enclose cobble with 4" metal landscape edging. NDS drains set in sidewalk do not need liner or cobble. See Civil for below grade conveyance and A2.1 Roof Plans.
- Roof drain location. Provide hook-ups for sink, fridge and microwave.
- One hour fire rated usable enclosure under Stair; provide 5/8" type X drywall both sides.
- Water heater location. 20 gallon tank heater to be installed in upstairs mechanical closets. See Mechanical / Plumbing drawings for specs.
- See Sheet A0.4. Emergency shower location.
- Provide 5/8" type X drywall on both sides of walls of Mechanical Rooms
- Provide floor drain in Storage Room, typical
- Mount vertical track for OH door on wall above for all end units.



*Exclusively Marketed by:*  
Leslie Gallatin-Giorgetti  
Keller Williams Realty  
Owner/Broker  
(505) 670-7578  
giorgettirealty@gmail.com



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