

# STUDIOS AT PARKWAY

## PHASE 2

1189 Parkway Drive, Santa Fe, NM 87507

OFFERING MEMORANDUM



# CONTENTS

- 01 Executive Summary
  - Investment Summary
  - Financial Summary
- 02 Location
  - Location Summary
- 03 Property Description
  - Property Features
  - Aerial Map
- 04 Photos
  - Floor Plans

*Exclusively Marketed by:*

**Leslie Gallatin-Giorgetti**

Keller Williams Realty

Owner/Broker

(505) 670-7578

[giorgettirealty@gmail.com](mailto:giorgettirealty@gmail.com)

01 Executive Summary  
Investment Summary  
Financial Summary

---

## OFFERING SUMMARY

---

ADDRESS	1189 Parkway Drive, Santa Fe, NM 87507
BUILDING SF	1,587 SF
LAND ACRES	0.04
HEATED SF	1,677 SF
YEAR BUILT	2025

---

---

## FINANCIAL SUMMARY

---

PRICE PER UNIT	\$525,000
PRICE PSF	\$352.58

---

- The Studios at Parkway Phase 2, currently under construction, is Santa Fe's newest commercial, industrial, and flex-use condominium development in the thriving Siler/Rufina Warehouse, Art & Innovation District.

Designed with an industrial aesthetic, The Studios offer open, light-filled spaces with contemporary touches that create an inspiring environment for business. Each unit spans nearly 1,677 square feet, including 1,587 square feet of interior space ("walls in"), and features tall ceilings, large aluminum glass roll-up garage doors, expansive storefront windows, and finished concrete floors. Inside, you'll find LED lighting, handcrafted steel staircases with wood treads, and smooth drywall finishes. The ground floor encompasses 1,092 square feet, while the second story adds 584 square feet.

These units are designed with flexibility in mind, with an option for Live-Work as an accessory to commercial use. Each unit has separately metered utilities, kitchen-ready hookups, a designated area for a shower, and thoughtfully landscaped grounds tailored for shipping and receiving. Zoned I-1, these state-of-the-art condominiums are suitable for a range of uses, from offices, galleries, and artist studios to warehouses, wellness businesses, and light industry. Additionally, the roof is prepared for solar PV installation, and the property is located in a Federal Opportunity Zone.



02

Location

Location Summary









03

Property Features  
Aerial Map



---

## PROPERTY FEATURES

---

NUMBER OF UNITS	12
BUILDING SF	1,587
LAND SF	1,677
LAND ACRES	0.04
YEAR BUILT	2025-2026
ZONING TYPE	I-1

---





Parkway Studios



Report a map error



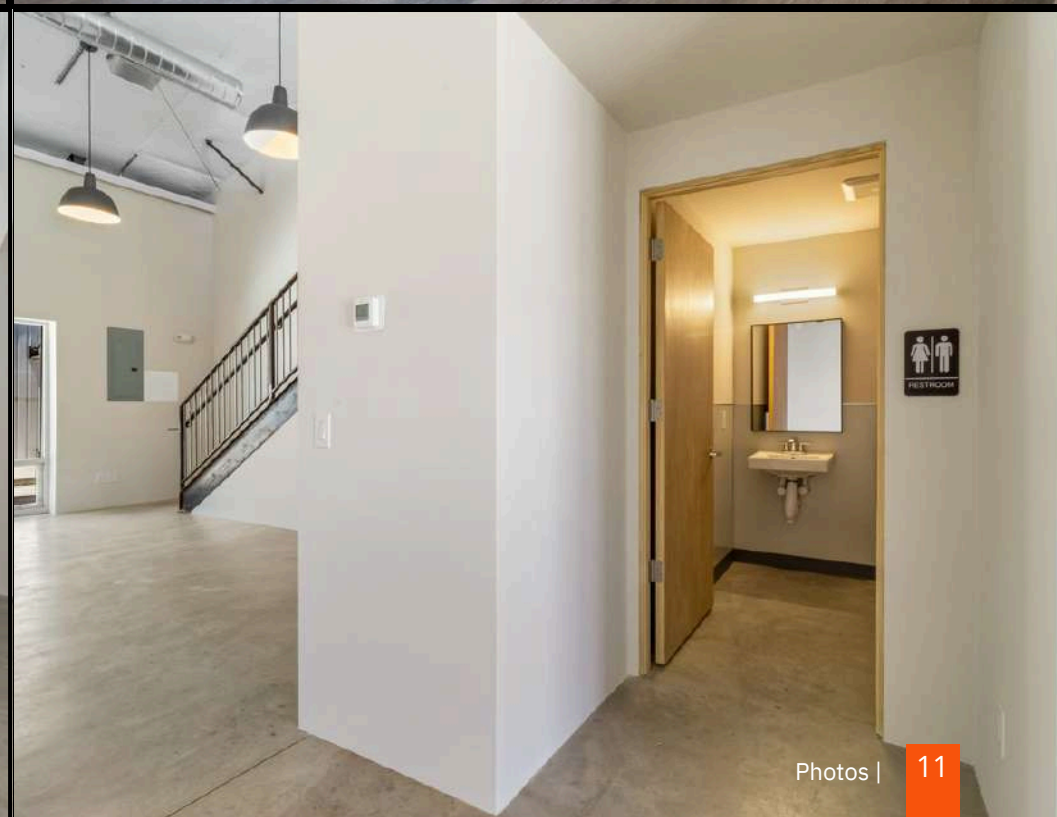
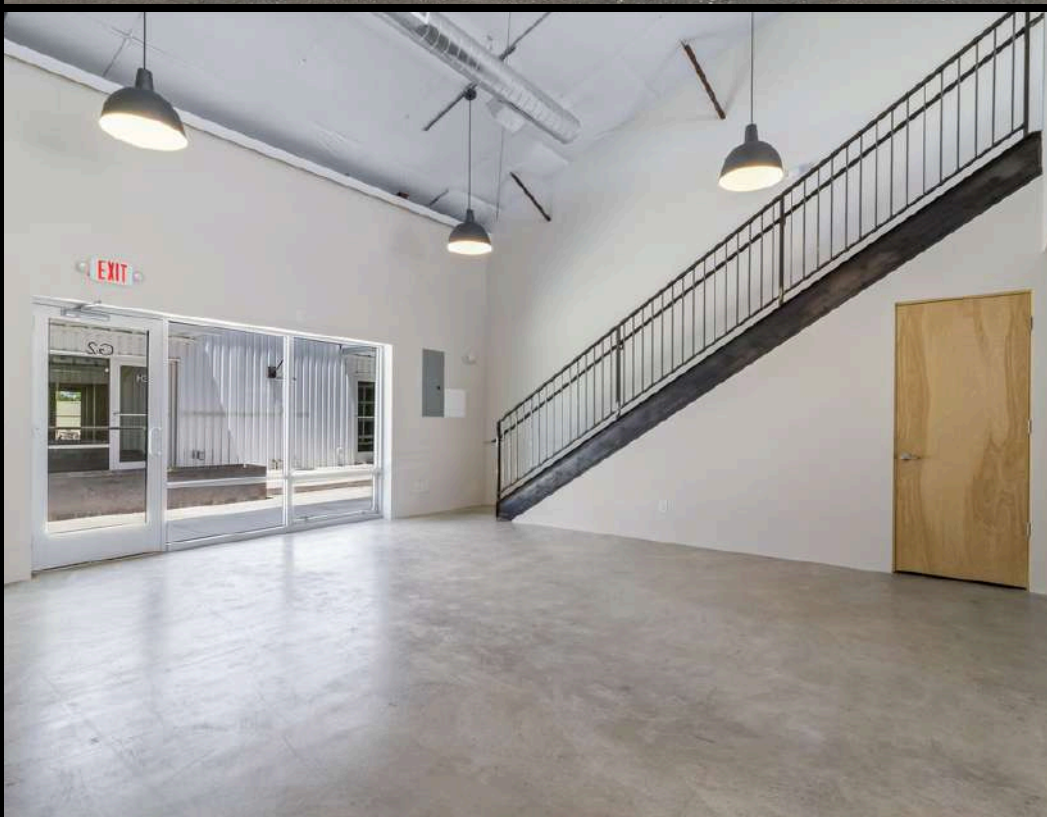


04

Photos  
Floor Plans









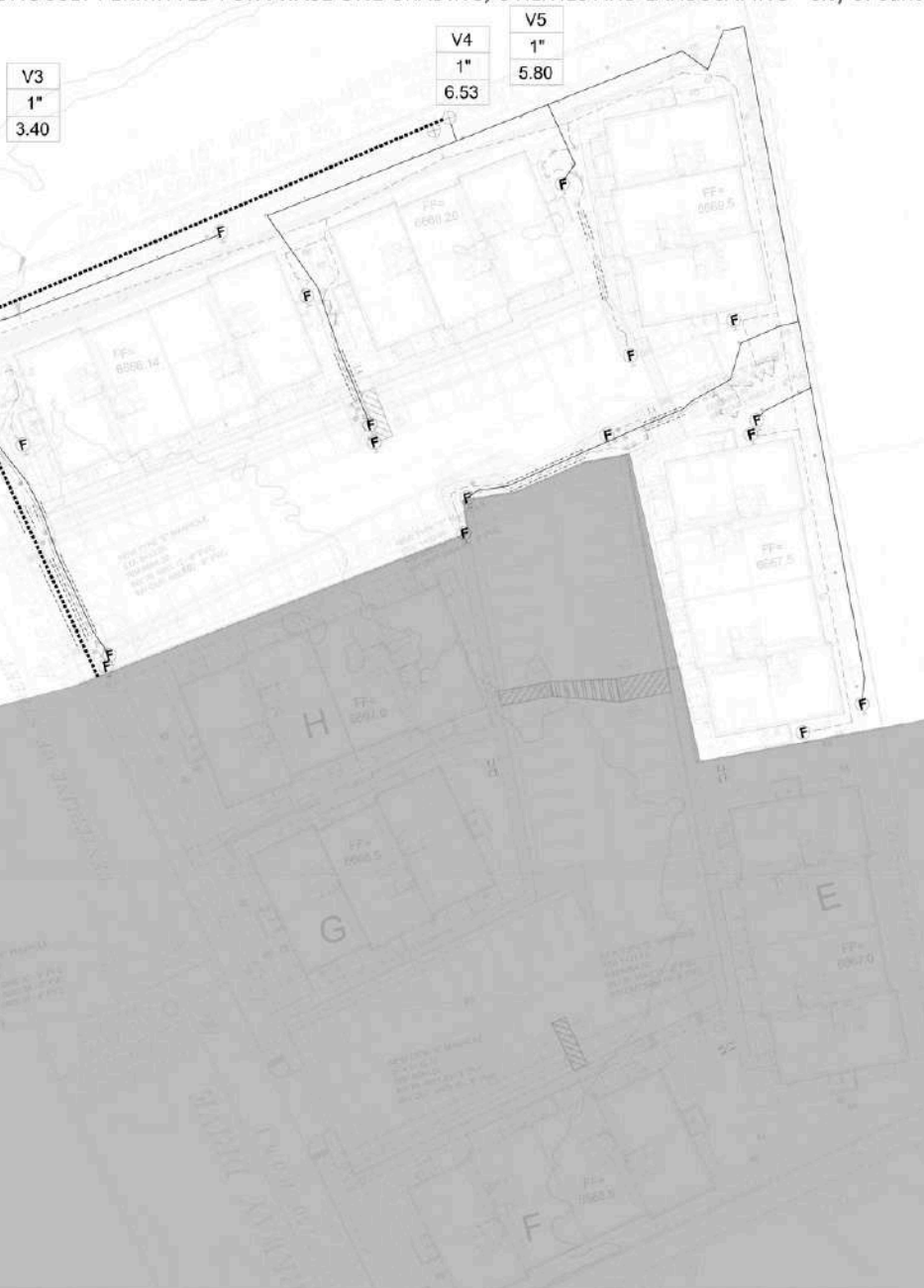








THIS SHEET WAS PREVIOUSLY PERMITTED FOR PHASE ONE GRADING, UTILITIES AND LANDSCAPING - City of Santa Fe Permit Nos. 2021 - 17577 - 17578 - LSUG.



## WATER BUDGET PHASE 2

YEAR 1 AND 2  
DIP IRRIGATION TO TREES AND SHRUBS  
4 MONTHS AT 1 RUN TIME PER MONTH  
4 MONTHS AT 1 RUN TIME PER WEEK  
4 MONTHS AT 4 RUN TIMES PER WEEK  
APPROX. 90 RUN CYCLES PER YEAR  
46 TREES/276 GALLONS PER RUN CYCLE  
98 SHRUBS/106 GALLONS PER RUN CYCLE  
472 GALLONS PER RUN CYCLE X 90 RUN TIMES/42,480 GPM/11 ACRES FT.

YEAR 3 AND BEYOND  
DIP IRRIGATION TO TREES AND SHRUBS  
4 MONTHS AT 1 RUN TIME PER MONTH  
4 MONTHS AT 1 RUN TIME PER WEEK  
4 MONTHS AT 3 RUN TIMES PER WEEK  
APPROX. 77 RUN CYCLES PER YEAR  
46 TREES/276 GALLONS PER RUN CYCLE  
98 SHRUBS/106 GALLONS PER RUN CYCLE  
472 GALLONS PER RUN CYCLE X 77 RUN TIMES/36,344 GPM/11 ACRES FT.

NOTE: THIS WATER BUDGET IS APPROXIMATE AND IS TO BE USED AS A GUIDELINE AND ADJUSTED ACCORDING TO CONDITIONS.

## IRRIGATION NOTES:

1. IRRIGATION SYSTEM STANDARDS OUTLINED IN SECTION 14-5-4(D) OF THE SFCDC WATER HARVESTING AND IRRIGATION STANDARDS AND THE CITY OF SANTA FE LANDSCAPE IRRIGATION DESIGN STANDARDS SHALL BE STRICTLY ADHERED TO.
2. ALL NEW PLANTINGS TO BE WATERED BY AUTO DRIP IRRIGATION SYSTEM.
3. WATER MANAGEMENT AND THE MAINTENANCE OF THE IRRIGATION SYSTEM IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
4. THE IRRIGATION SYSTEM SHALL BE CONNECTED TO CITY WATER. THE POINT OF CONNECTION SHALL CONSIST OF A WATER METER, BACKFLOW PREVENTER, AND MASTER VALVE.
5. USE SIX 2 GPH EMITTERS PER EACH TREE AND TWO 2 GPH EMITTERS PER EACH SHRUB/GROUND COVER. USE SIX 2 GPH DRIP EMITTERS PER TREES IN POTS.
6. IRRIGATION ZONES SHALL BE DESIGNED FOR TREES AND SHRUBS/GROUND COVERS.
7. THE BACKFLOW SIZE AND LOCATION IS ASSUMED ONLY, BASED ON THE LATEST AVAILABLE UTILITY PLAN. GENERAL CONTRACTOR TO PROVIDE THIS IRRIGATION WATER SHUT OFF AND ELECTRICITY FOR THE HOTBOX.
8. IRRIGATION EQUIPMENT IS SHOWN ON A LARGER SCALE FOR CLARITY. THE PIPE ROUTING ON THE PLAN IS SCHEMATIC AND MAY REQUIRE FIELD ADJUSTMENTS TO AVOID INSTALLING PIPE WITHIN THE ROOT ZONE OF PLANTS OR IN CONFLICT WITH UTILITY EASEMENTS.
9. ALL SLEEVES ARE ASSUMED TO BE PLACED PRIOR HARDSCAPE WITHOUT THE NEED OF BORING.
10. BACKFILL FOR TRENCHES SHALL BE CLEANED OF ALL ROCK AND DEBRIS.
11. MAINLINE SHOWN SCHEMATICALLY AS PLACED IN THE ROAD OR OUTSIDE OF THE LANDSCAPED AREAS FOR CLARITY ONLY. ALL MAINLINE TO BE PLACED IN THE LANDSCAPE BEDS.
12. TREES AND SHRUBS ARE SET ON SEPARATE VALVES.
13. ANY IRRIGATION SHOWN IN PHASE 2 IS NOT PART OF THIS CONTRACT. IRRIGATION FOR PHASE 2 TO BE COMPLETED AT A LATER DATE.

## Phase 2 Valve Schedule

Valve 3	3.40 gpm
Valve 4	6.53 gpm
Valve 5	5.80 gpm
Highest Flow	6.53 gpm

NOTE: EACH VALVE TO BE RUN SEPARATELY  
NOTE: TREES AND SHRUBS ARE ON SEPARATE VALVES

## IRRIGATION LEGEND

Symbol	Item / Description	Manufacturer / Model	Size
C	Controller (Location TBD)	Rainbird ESP-BLX60	8 Station
Ball Gate Valve	Ball Gate Valve - assumed point of connection	Spears Ball Valve	1"
BP	Reduced Pressure Backflow Preventer/Backflow Assembly in Valve Box	Feeco 525V Rainbird PEB NCS 12"	1"
MV	Automatic Drip Valve with pressure regulating filter in valve box	Rainbird PEB Rainbird PRF-100-RBY NCS 12"	1"
Poly Drip Line w / Flush Cap	6 emitters per tree 2 emitters per shrub 4-6" depth bury	AgriTm TAE	1/2" 2 GPH
PVC Masterline	30' depth bury	Sch. 40	2"
New PVC Sleeve		Class 200	3/8" notched mm

V1	Valve Sequence
1"	Valve Size
20	Valve Type

**YELLOWSTONE**  
www.yellowstonelandscape.com  
P.O. Box 10597  
Albuquerque, NM 87114  
505.898.9815  
design@yellowstonelandscape.com



Date: 03.19.2021

Revisions:  
▲ 07.29.2021  
▲ 09.07.2022  
▲ 10.27.2022  
▲ 10.11.2023

Drawn by: PL  
Reviewed by: CM

**ANOVA**  
Phase 2  
1189 Parkway Dr.  
Santa Fe, NM



Scale: 1" = 20'

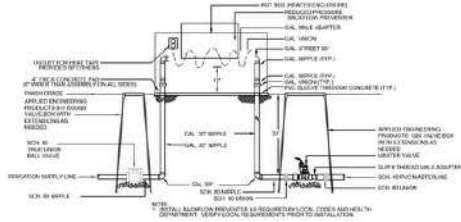


Sheet Title:  
**Irrigation Plan**

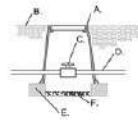
Sheet Number:

**LI-01**

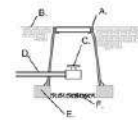




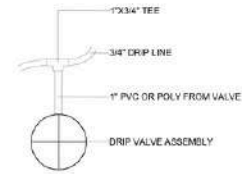
1 RP BACKFLOW/MASTER VALVE DETAIL N.T.S.



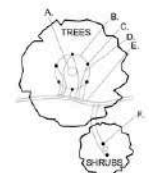
2 MAINLINE ISOLATION VALVE DETAIL N.T.S.



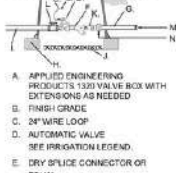
3 MANUAL DRAIN VALVE DETAIL N.T.S.



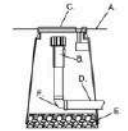
4 DRIP VALVE DETAIL N.T.S.



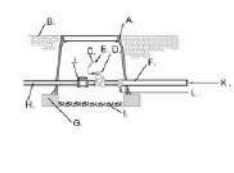
5 EMITTER PLACEMENT DETAIL N.T.S.



6 DRIP VALVE WITH FILTER & PRESSURE REGULATOR N.T.S.



7 END FLUSH CAP N.T.S.



8 AUTOMATIC VALVE N.T.S.



9 WALL MOUNTED AUTOMATIC CONTROLLER N.T.S.

**YELLOWSTONE**  
LANDSCAPE ARCHITECTS  
www.yellowstonelandscape.com  
P.O. Box 10597  
Albuquerque, NM 87184  
505.898.9015  
design@yellowstonelandscape.com



Date: 03.19.2021  
Revisions:  
▲ 07.29.2021  
▲ 09.07.2022  
▲ 10.27.2022  
▲ 10.11.2023  
Drawn by: PL  
Reviewed by: CM

**ANOVA**  
Phase 2  
1189 Parkway Dr.  
Santa Fe, NM

Sheet Title:  
**Irrigation  
Details**

Sheet Number:

**LI-02**

THIS SHEET WAS PREVIOUSLY PERMITTED FOR PHASE ONE GRADING, UTILITIES AND LANDSCAPING - City of Santa Fe Permit Nos. 2021 - 17577 - 17578 - LSUG.



## LANDSCAPE NOTES

PLANTING BEDS TO BE MULCHED AT A 2"-3" DEPTH OVER FILTER FABRIC  
ALL MULCH TO BE 2" BELOW ADJACENT SIDEWALK OR CURB  
PLANTINGS TO BE WATERED WITH AN AUTOMATIC  
Drip Irrigation System  
BACKFLOW PREVENTER IS PROPOSED SEE DETAIL  
EXISTING NATIVE LANDSCAPE AREAS NOT DISTURBED TO BE  
PROTECTED WITH TEMPORARY FENCING DURING CONSTRUCTION  
PLANTS LOCATED IN BOTTOM THIRD OF POND AREAS ARE ADAPTABLE  
TO PERIODS OF SUBMERSION

STREET TREES PROVIDED AT 1 PER 25 TO 30 LF OF STREET FRONTAGE  
AND TO BE 2" CALIPER TREES  
STREET TREES TO BE LOCATED/ADJUSTED TO BE A MINIMUM OF  
15 FEET FROM STREET LIGHT STANDARDS AND FIRE HYDRANTS PER  
ZONING SECTION 14-4-4 (N) (3) (4) (5)  
STREET TREES WILL BE INSTALLED 90 AS TO NOT BLOCK  
SIGNAGE ON STREETS

ALL PROJECT STREET TREES SHALL BE IRRIGATED AND MAINTAINED  
BY THE DEVELOPER

NO OBJECTS, WALLS, FENCES, PARKED VEHICLES AND/OR  
VEGETATION SHALL BE PLACED WITHIN SIGHT TRIANGLES  
BETWEEN A HEIGHT OF 3' AND 6'

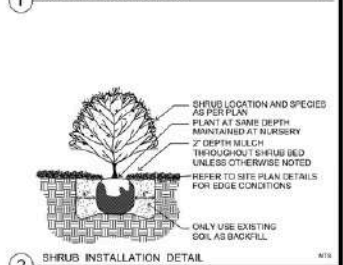
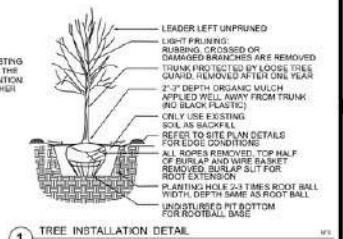
THIS LANDSCAPE PLAN COMPLIES WITH CITY OF SANTA FE ORDINANCE  
18-4-4 LANDSCAPE AND SITE DESIGN

THIS LANDSCAPE PLAN WILL INCORPORATE ANY PASSIVE WATER HARVESTING  
TECHNIQUES FOR LANDSCAPE IRRIGATION PURPOSES AS PROPOSED BY THE  
GRADING & DRAINAGE PLAN. WHEREVER POSSIBLE, DETENTION & RETENTION  
POND WILL BE TREATED AS AN INTEGRATED LANDSCAPE FEATURE RATHER  
THAN A SINGLE PURPOSE FLOOD CONTROL POND

## WATER BUDGET PHASE 2

YEAR 1 AND 2  
DWP IRRIGATION TO TREES AND SHRUBS  
4 MONTHS AT 1 RUN TIME PER MONTH  
4 MONTHS AT 1 RUN TIME PER MONTH  
4 MONTHS AT 1 RUN TIME PER MONTH  
APPROX. 90 RUN CYCLES PER YEAR  
46 TREES/270 GALLONS PER RUN CYCLE  
18 SHRUBS/195 GALLONS PER RUN CYCLE  
472 GALLONS PER RUN CYCLE X 96 RUN TIMES= 45,408 GPM/1.13 ACRE FT

YEAR 3 AND BEYOND  
DWP IRRIGATION TO TREES AND SHRUBS  
4 MONTHS AT 1 RUN TIME PER MONTH  
4 MONTHS AT 1 RUN TIME PER MONTH  
4 MONTHS AT 1 RUN TIME PER MONTH  
APPROX. 71 RUN CYCLES PER YEAR  
46 TREES/270 GALLONS PER RUN CYCLE  
18 SHRUBS/195 GALLONS PER RUN CYCLE  
472 GALLONS PER RUN CYCLE X 77 RUN TIMES= 36,344 GPM/1.11 ACRE FT



## LANDSCAPE DATA PHASE 2

PROPOSED OPEN SPACE 16,927 SF

REQUIRED TREES/OPEN SPACE

ONE TREE PER 500 SF OF REQUIRED OPEN SPACE

(16,927 SF / 500 SF = 33.85 TREES)

MINIMUM 25% EVERGREEN

PROPOSED TREES

REQUIRED SHRUBS/OPEN SPACE

TWO SHRUBS PER 500 SF OF REQUIRED OPEN SPACE

(16,927 SF / 500 SF = 33.85 TREES)

MINIMUM 20% EVERGREEN

PROPOSED SHRUBS

PONDING AREA

REQUIRED TREES/PONDING AREA (521 50 FT)

ONE TREE PER 500 SF OF PONDING AREA

(21 521 50 FT = 21 TREES)

PROPOSED TREES

REQUIRED SHRUBS/PONDING AREA

THREE SHRUBS PER 500 SF OF PONDING AREA

(21 521 50 FT = 21 TREES)

PROPOSED SHRUBS

STREET TREE REQUIREMENTS

ONE TREE MINIMUM 1 PER 25 TO 30 LF

(146 LINEAR FEET/25 = 5.84 TREES)

REQUIRED/PROPOSED TREES

PARKING LOT TREES

ONE TREE PER 50 SF OF PARKING SPACE

(5 X 10-3000-5)

REQUIRED/PROPOSED TREES

TOTAL REQUIRED SHRUBS GAL

TOTAL PROVIDED SHRUBS GAL

(INCLUDING EVERGREEN AND DECIDUOUS)

TOTAL REQUIRED TREES 5' CAL OR 6' HT

TOTAL PROVIDED TREES 5' CAL OR 6' HT

(INCLUDING EVERGREEN AND DECIDUOUS)

## PLANT SCHEDULE PHASE 2

SYMBOL	TREE	SYMBOL	SHRUB	SYMBOL	WATER
100 001 1	ALICE MAHONEY SELECTION	100 001 1	ALICE MAHONEY SELECTION	100 001 1	WATER
100 001 2	ALICE MAHONEY SELECTION	100 001 2	ALICE MAHONEY SELECTION	100 001 2	WATER
100 001 3	ALICE MAHONEY SELECTION	100 001 3	ALICE MAHONEY SELECTION	100 001 3	WATER
100 001 4	ALICE MAHONEY SELECTION	100 001 4	ALICE MAHONEY SELECTION	100 001 4	WATER
100 001 5	ALICE MAHONEY SELECTION	100 001 5	ALICE MAHONEY SELECTION	100 001 5	WATER
100 001 6	ALICE MAHONEY SELECTION	100 001 6	ALICE MAHONEY SELECTION	100 001 6	WATER
100 001 7	ALICE MAHONEY SELECTION	100 001 7	ALICE MAHONEY SELECTION	100 001 7	WATER
100 001 8	ALICE MAHONEY SELECTION	100 001 8	ALICE MAHONEY SELECTION	100 001 8	WATER
100 001 9	ALICE MAHONEY SELECTION	100 001 9	ALICE MAHONEY SELECTION	100 001 9	WATER
100 001 10	ALICE MAHONEY SELECTION	100 001 10	ALICE MAHONEY SELECTION	100 001 10	WATER
100 001 11	ALICE MAHONEY SELECTION	100 001 11	ALICE MAHONEY SELECTION	100 001 11	WATER
100 001 12	ALICE MAHONEY SELECTION	100 001 12	ALICE MAHONEY SELECTION	100 001 12	WATER
100 001 13	ALICE MAHONEY SELECTION	100 001 13	ALICE MAHONEY SELECTION	100 001 13	WATER
100 001 14	ALICE MAHONEY SELECTION	100 001 14	ALICE MAHONEY SELECTION	100 001 14	WATER
100 001 15	ALICE MAHONEY SELECTION	100 001 15	ALICE MAHONEY SELECTION	100 001 15	WATER
100 001 16	ALICE MAHONEY SELECTION	100 001 16	ALICE MAHONEY SELECTION	100 001 16	WATER
100 001 17	ALICE MAHONEY SELECTION	100 001 17	ALICE MAHONEY SELECTION	100 001 17	WATER
100 001 18	ALICE MAHONEY SELECTION	100 001 18	ALICE MAHONEY SELECTION	100 001 18	WATER
100 001 19	ALICE MAHONEY SELECTION	100 001 19	ALICE MAHONEY SELECTION	100 001 19	WATER
100 001 20	ALICE MAHONEY SELECTION	100 001 20	ALICE MAHONEY SELECTION	100 001 20	WATER
100 001 21	ALICE MAHONEY SELECTION	100 001 21	ALICE MAHONEY SELECTION	100 001 21	WATER
100 001 22	ALICE MAHONEY SELECTION	100 001 22	ALICE MAHONEY SELECTION	100 001 22	WATER
100 001 23	ALICE MAHONEY SELECTION	100 001 23	ALICE MAHONEY SELECTION	100 001 23	WATER
100 001 24	ALICE MAHONEY SELECTION	100 001 24	ALICE MAHONEY SELECTION	100 001 24	WATER
100 001 25	ALICE MAHONEY SELECTION	100 001 25	ALICE MAHONEY SELECTION	100 001 25	WATER
100 001 26	ALICE MAHONEY SELECTION	100 001 26	ALICE MAHONEY SELECTION	100 001 26	WATER
100 001 27	ALICE MAHONEY SELECTION	100 001 27	ALICE MAHONEY SELECTION	100 001 27	WATER
100 001 28	ALICE MAHONEY SELECTION	100 001 28	ALICE MAHONEY SELECTION	100 001 28	WATER
100 001 29	ALICE MAHONEY SELECTION	100 001 29	ALICE MAHONEY SELECTION	100 001 29	WATER
100 001 30	ALICE MAHONEY SELECTION	100 001 30	ALICE MAHONEY SELECTION	100 001 30	WATER

## MATERIAL SCHEDULE PHASE 2

SYMBOL DESCRIPTION

100 001 1 1\"/>

100 001 2 1\"/>

100 001 3 1\"/>

100 001 4 1\"/>

100 001 5 1\"/>

100 001 6 1\"/>

100 001 7 1\"/>

100 001 8 1\"/>

100 001 9 1\"/>

100 001 10 1\"/>

100 001 11 1\"/>

100 001 12 1\"/>

100 001 13 1\"/>

100 001 14 1\"/>

100 001 15 1\"/>

100 001 16 1\"/>

100 001 17 1\"/>

100 001 18 1\"/>

100 001 19 1\"/>

100 001 20 1\"/>

**YELLOWSTONE**  
LANDSCAPE ARCHITECTS  
P.O. Box 10597  
Albuquerque, NM 87184  
505.868.8015  
design@yellowstonelandscape.com

Date: 03.19.2021  
Revisions:  
▲ 09.07.2022  
▲ 10.27.2022  
▲ 10.11.2023  
Drawn by: PL  
Reviewed by: CM

**ANOVA**  
Phase 2  
1189 Parkway Dr.  
Santa Fe, NM

**NORTH**  
Scale: 1" = 20'  
10 0 20 40

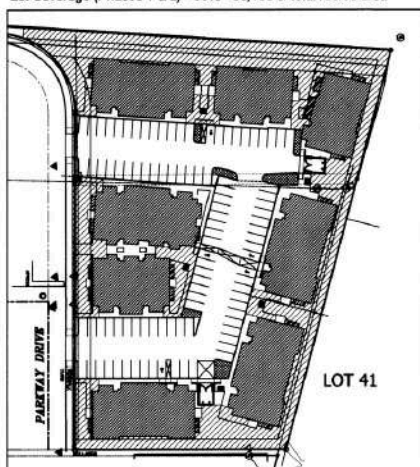
Sheet Title:  
**Landscape Plan**

Sheet Number:

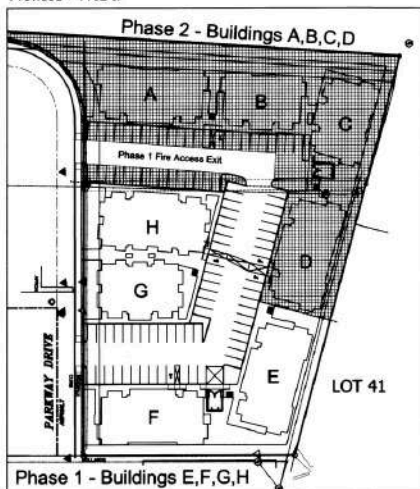
**LP-01**



Lot Area - 2.307 acres/ 100,510 sf  
Lot Coverage (Phases 1 & 2) - 36% - 36,158 sf total roofed area



Open Space Required = 25,128 sf  
Open Space Provided = 26,348 sf  
**PARKING LOT ISLANDS**  
Required = 990 sf  
Provided = 1102 sf

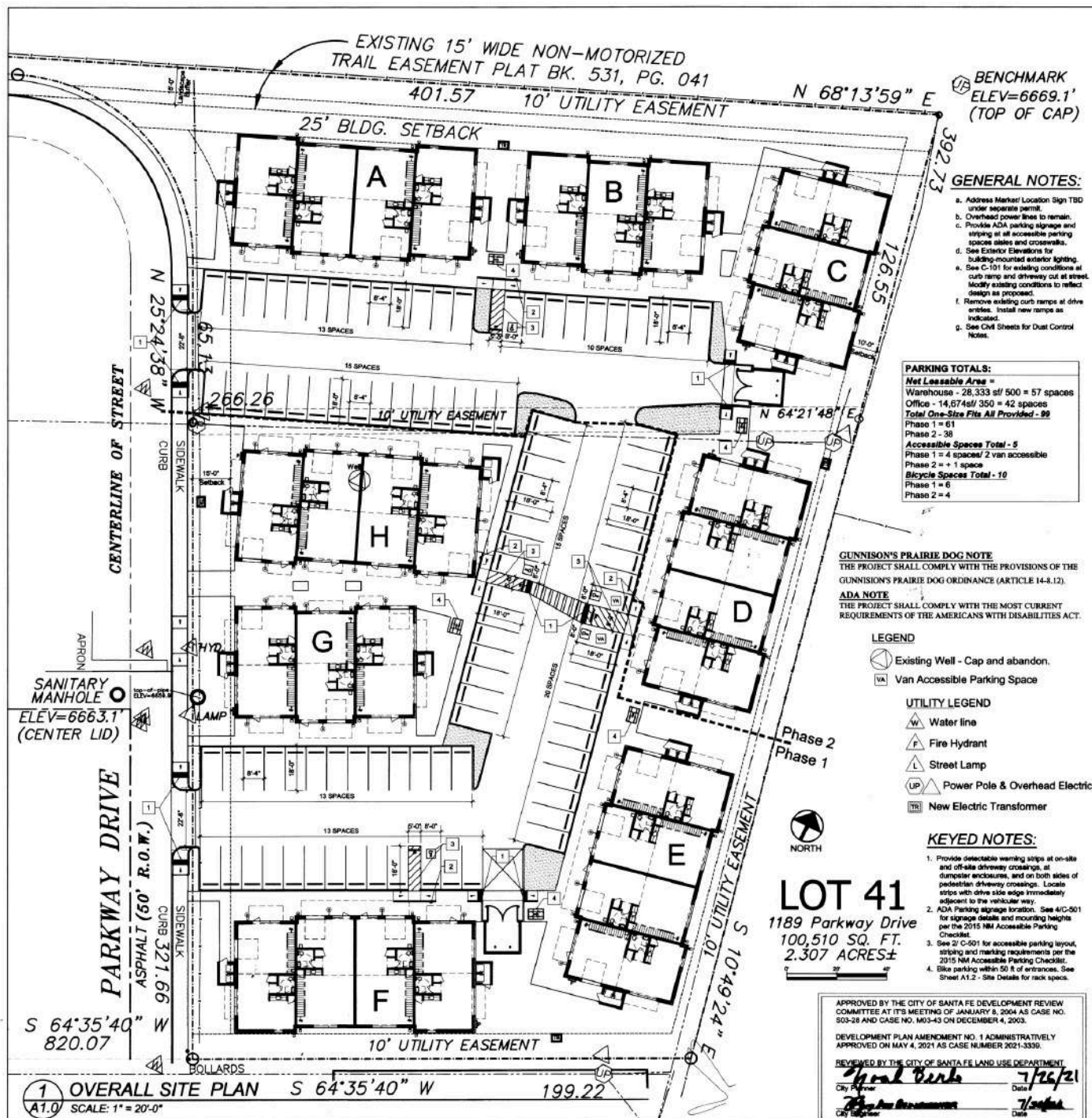


PHASING KEY PLAN - 1" = 60'-0"

ORIGINAL UTILITY EASEMENTS AND STORMWATER AGREEMENT SHALL STAY IN PLACE BASED ON EARLIER PLAT FILED IN COUNTY RECORDS ON THE 28TH DAY OF JUNE AD 2004, AT 13:32 O'CLOCK PM AND WAS DULY RECORDED IN BOOK 562 PAGE 028-031 OF THE RECORDS OF SANTA FE COUNTY (#1335-001).

Property Owner(s) hereby agree:  
James R. DANRON  
 Owners Printed Name  
James R. Danron 7/30/2021  
 Owner's Signature Date

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS  
14th DAY OF July 2021 (OR EQUAL)  
*Stacy Lytle*  
NOTARY PUBLIC  
MY COMMISSION EXPIRES 7-24-24



**DEVELOPMENT  
PLAN  
AMENDMENT  
FINAL APPROVAL**



**REVISIONS:**  
Final Comments  
7/19/21

**PALO SANTO DESIGNS LLC**  
Committed to Building a Sustainable World

www.palosantodesigns.com  
505-988-7230

March 22, 2021

## ANOVA

**1189 Parkway Dr.  
Santa Fe, NM 87507**

## Overall Site Plan

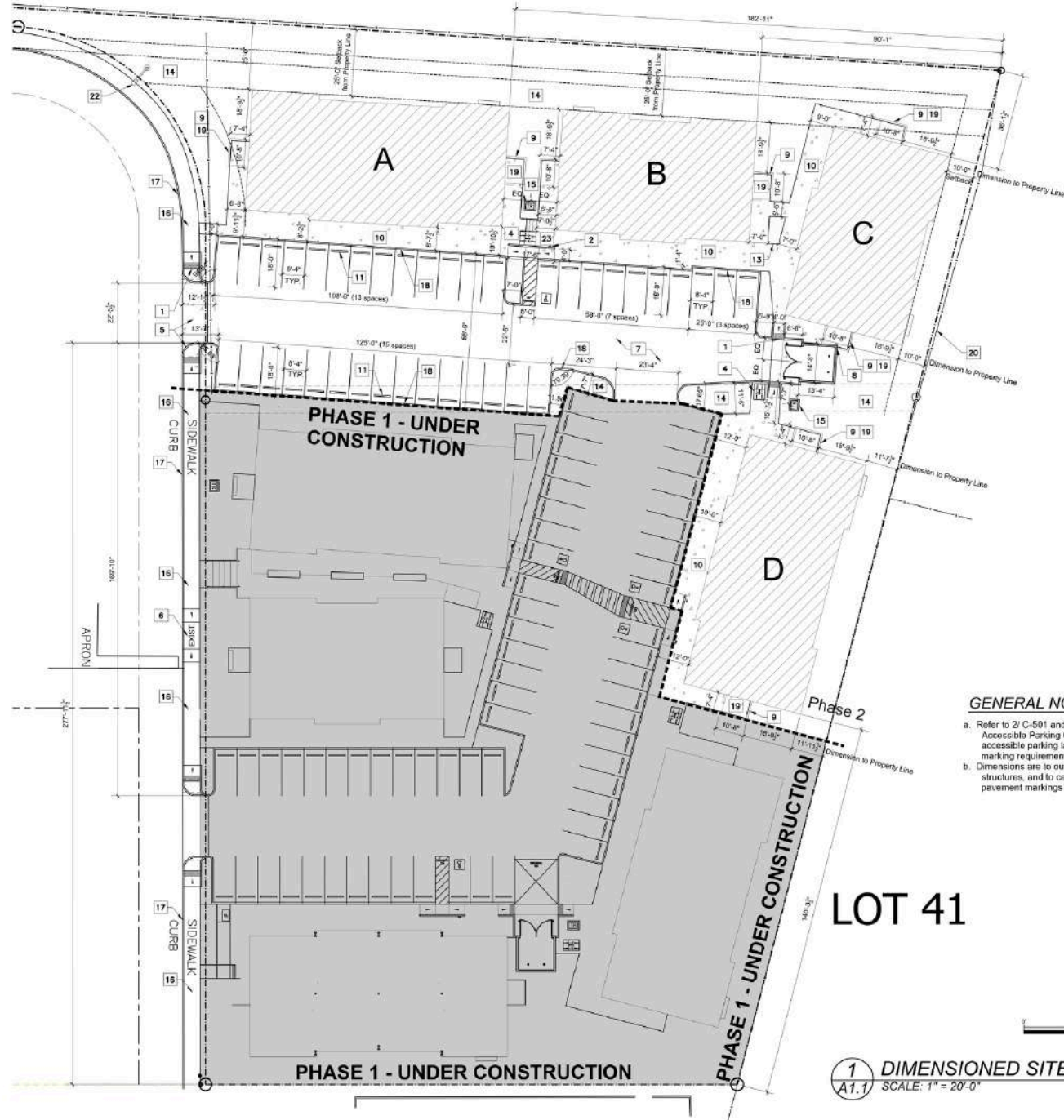
## A1.0



THIS SHEET WAS PREVIOUSLY PERMITTED FOR PHASE ONE GRADING, UTILITIES & LANDSCAPE. City of Santa Fe Permit #17577 & #17578.  
THIS PROJECT WAS PREVIOUSLY APPROVED & PERMITTED FOR PHASE ONE - City of Santa Fe Building Permit Numbers 2002 - 24831, 24832, 24833, and 34834 - BLDC

#### KEYED NOTES:

1. Provide detectable warning strips at on-site and off-site driveway crossings, at dumpster enclosures, and on both sides of pedestrian driveway crossings. Locate strips with drive side edge immediately adjacent to the vehicular way.
2. ADA Parking signage location. See 4/C-501 for signage details and mounting heights per the 2015 NM Accessible Parking Checklist.
3. Not used.
4. Bike parking within 50 ft of entrances. See Sheet A1.2 - Site Details for rack specs.
5. New concrete curb ramp per NM DOT specs and drive entry apron, remove existing sidewalk and curb ramp as needed and patch.
6. Existing curb ramp to remain.
7. New asphalt parking lot and drive aisle.
8. South HVAC wall of Bldg. C stops at intersection with Trash Enclosure. Site Trash Enclosure prior to construction of HVAC screen wall.
9. New HVAC screen wall to be split face CMU with solid 2" split face cap block.
10. New concrete sidewalk meets building face as indicated, typical.
11. Standard concrete parking wheel stop, typical.
12. Concrete pad and apron at dumpster enclosure location. Slope to drain through gate opening.
13. Tree well/planter bed, no concrete.
14. Landscape Area, see Landscape Sheets.
15. Electrical transformer on concrete pad, typical.
16. Existing concrete sidewalk to remain, UNO.
17. Existing concrete curb to remain, UNO.
18. New concrete curb continuous around parking lot. Provide curb ramps where curb is broken, as indicated.
19. Concrete pad sidewalk inside HVAC enclosure, typical. Slope to drain through gate opening.
20. Existing perimeter fence on property line to remain.
21. Dumpster Enclosure, see Site Details.
22. New street light - coordinate with PNM & City of Santa Fe.
23. Steps with handrail, see Sheet A1.2.



#### GENERAL NOTES:

- Refer to 2/ C-501 and the 2015 NM Accessible Parking Checklist for accessible parking layout, striping and marking requirements.
- Dimensions are to outside of walls for structures, and to centerline of pavement markings for parking lot.

#### PHASE 2 PERMIT SET



#### REVISIONS:

**PALO SANTO DESIGNS LLC**  
Committed to Building a Sustainable World  
www.palosantodesigns.com  
505-988-7230

March 6, 2024

#### ANOVA PHASE 2

1189 Parkway Dr.  
Santa Fe, NM 87507

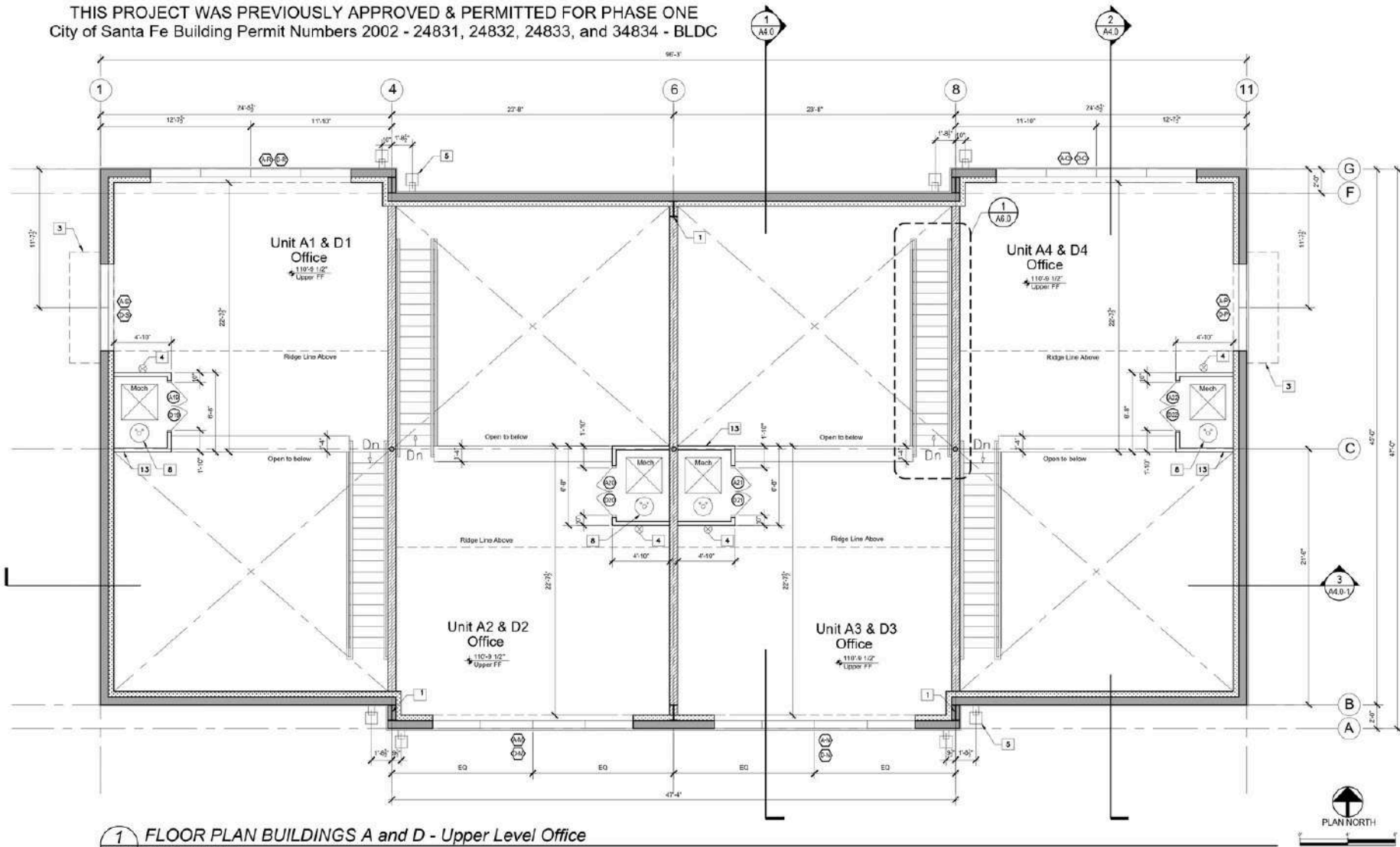
Dimensioned  
Site Plan

A1.1

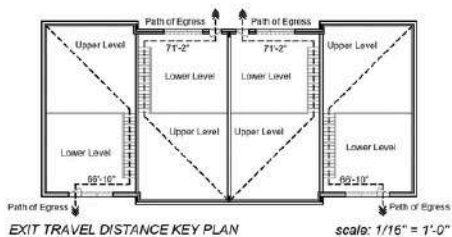




THIS PROJECT WAS PREVIOUSLY APPROVED & PERMITTED FOR PHASE ONE  
City of Santa Fe Building Permit Numbers 2002 - 24831, 24832, 24833, and 34834 - BLDC



1 FLOOR PLAN BUILDINGS A and D - Upper Level Office  
A2.0-2 SCALE: 1/4" = 1'-0"



Room	Floor	Base	Walls	Ceiling	Height	Remarks
Lower Level Warehouse	Concrete Slab	None	Painted Concrete	Painted Concrete	See Section	Exposed Ceiling is Unpainted
Toilet Room	Standard Gyp. Board	Standard Gyp. Board	Painted Concrete	Painted Concrete	8'-0"	See Sheet A2.0-1, Unpainted
Upper Level Office	Standard Gyp. Board	Standard Gyp. Board	Painted Concrete	Painted Concrete	See Section	Exposed Ceiling is Unpainted
Mechanical Room	Standard Gyp. Board	Standard Gyp. Board	Painted Concrete	Painted Concrete	See Section	Exposed Ceiling is Unpainted

\* Provide min 5/8" gypsum drywall

#### GENERAL NOTES:

- Provide 1 hour rated wall between units to underside of roof. Seal all penetrations.
- Building insulation per the 2018 IECC. See building wall section.
- Dimensions are to face of framing, outside of steel or structural grid lines, as indicated.
- Final location of perimeter light gauge framing shall cover structural framing, and shall be coordinated with the Architect in the field prior to insulation.

FLOOR AREA OF EACH BUILDING (A & D):  
Total Floor Area (inside walls) = 1483 x 4 Units = 5932 sf  
Total Roofed Area (including coprope) = 4952 sf

HEATED CONSTRUCTION AREA OF EACH BLDG. (A&D)  
Lower Level (including exterior walls) = 4371 sf  
Upper Level (including exterior walls) = 2339 sf  
Total Heated Construction Area = 6710 sf

#### WALL TYPES

- 8" Z GRT W/ MIN R-19 FIBERGLASS BATT INSULATION
- 8" SPLIT FACED CMU WITH SOLID 2" CAP BLOCK, SEE CIVIL
- 8" LIGHT GAUGE METAL STUD W/ 5/8" TYPE X ON EACH SIDE, FIRE RATED 1 HOUR WITH "ROCKWOOL SAFE N SOUND" 0" SOUNDPROOFING INSULATION, RESILIENT CHANNELS 16" O.C. ONE SIDE ONLY. INSTALL RESILIENT CHANNELS PER SPECIFIC MANUFACTURERS RECOMMENDATIONS. PROVIDE FASTENERS PER MANUFACTURERS SPECS AND DO NOT ALLOW DRYWALL FASTENERS TO EXTEND PAST RESILIENT CHANNELS AND INTO STUDS.
- 3-1/2" LIGHT GAUGE METAL STUD AND 2" SPACING OFF GRT W/ CONTINUOUS BLOWN FIBERGLASS INSULATION TO FILL 3-1/2" CAVITY
- 4" OR 6" LIGHT GAUGE METAL STUD W/ 5/8" GYP BOTH SIDES. SEE A2.0 ENLARGED PLAN

#### KEYED NOTES:

- Rigid steel frame structure, typical. See Structural.
- Exterior condenser coil concrete pad, typical.
- Fixed canopy overhead, see Elevations and Roof Plan.
- Wall mounted fire extinguisher, typical.
- Initial NDS catch basins at grade below all downspouts. Include minimum 36" x 36" pond liner and cobble around drains at grade. Enclose cobble with 4" metal landscape edging. NDS drains set in sidewalk do not need liner and cobble. See Civil for below grade conveyance and A2.1 Roofplans.
- Kitchenette by tenant. Provide hook-ups for sink, fridge and microwave.
- One hour fire rated usable enclosure under stair, provide 5/8" type X drywall both sides.
- Water heater location. 20 gallon tank heater to be installed in upstairs mechanical closets. See Mechanical / Plumbing drawings for specs.
- Stair, see A2.0.
- Wall mounted light fixture, typical, see Building Elevations & A2.2-1.
- Utility sink, typical.
- Provide sound proofing fiberglass batt insulation on all sides of restrooms in wall cavity.
- Provide 3/8" type X drywall on both sides of walls at Mechanical Rooms.
- Provide floor drain in Storage Rooms, typical.
- Mount vertical track for OH door on wall above for all end units.

#### PHASE 2 PERMIT SET



#### REVISIONS:

**PALO SANTO DESIGNS LLC**  
Committed to Building a Sustainable World  
www.palosantodesigns.com  
505-986-7230

March 6, 2024

#### ANOVA PHASE 2

1189 Parkway Dr.  
Santa Fe, NM 87507

Floor Plan  
Bldgs. A & D  
Upper Level

A2.0-2



# PHASE 2 PERMIT SET



## REVISIONS:

**PALO SANTO DESIGNS LLC**  
Committed to Building a Sustainable World

www.palosantodesigns.com  
505-988-7230

March 6, 2024

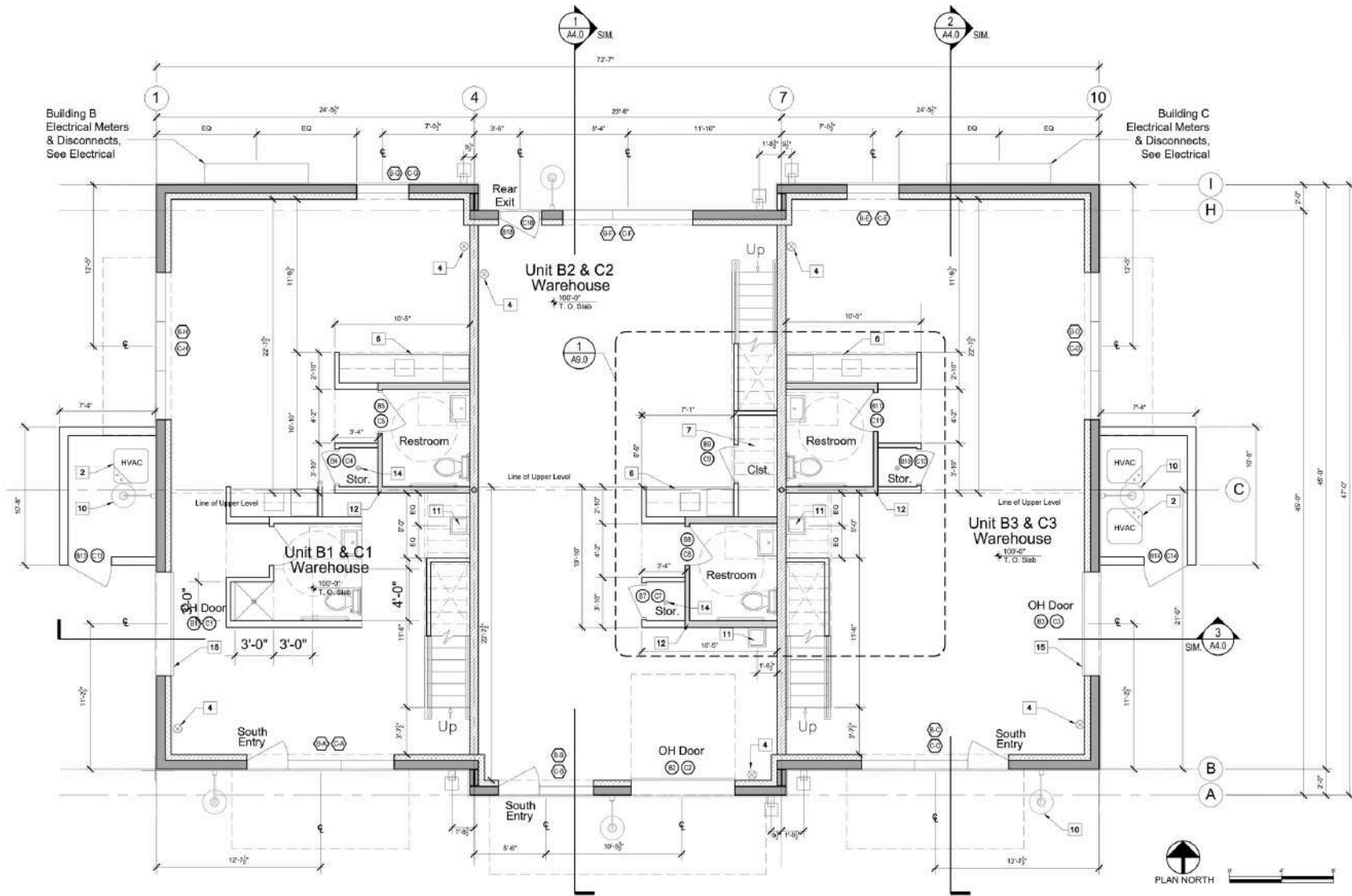
## ANOVA PHASE 2

1189 Parkway Dr.  
Santa Fe, NM 87507

Floor Plan  
Bldgs. B & C  
Lower Level

A2.0-3

THIS PROJECT WAS PREVIOUSLY APPROVED & PERMITTED FOR PHASE ONE  
City of Santa Fe Building Permit Numbers 2002 - 24831, 24832, 24833, and 34834 - BLDG



**1 FLOOR PLAN BUILDINGS B & C - Lower Level Warehouse**  
A2.0-3 SCALE: 1/4" = 1'-0"

TOP OF SLAB/ FF OF 100'-0" = 6668.26 [Bldg B] and 6669.5 [Bldg C] - SEE C-101

### GENERAL NOTES:

- Provide 1 hour rated wall between units to underside of roof. Seal all penetrations.
- Building insulation per the 2018 IECC. See building wall sections.
- Dimensions are to face of framing, outside of steel or structural grid lines, as indicated.
- Final location of perimeter light gauge framing shall cover structural bracing, and shall be coordinated with the Architect in the field prior to installation.

**FLOOR AREA OF EACH BUILDING (B&C):**  
Total Floor Area (inside walls) - 1483 x 3 Units = 4449 sf  
Total Roofed Area (including canopies) = 3749 sf

**HEATED CONSTRUCTION AREA OF EACH BLDG (B&C):**  
Lower Level (including exterior walls) = 3300 sf  
Upper Level (including exterior walls) = 1774 sf  
Total Heated Construction Area = 5074 sf

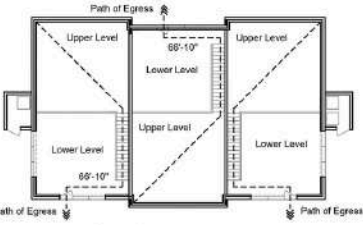
### WALL TYPES

- 8" Z GIRT W/ MIN R-19 FIBERGLASS BATT INSULATION
- 8" SPLIT FACED CMU WITH SOLID 2" GAP BLOCK, SEE CIVIL
- 8" LIGHT GAUGE METAL STUD W/ 5/8" TYPE X ON EACH SIDE, FIRE RATED 1 HOUR WITH "ROCKWOOL SAFE 'N' SOUND" 6" SOUNDPROOFING INSULATION, RESILIENT CHANNELS 16" O.C. ONE SIDE ONLY. INSTALL RESILIENT CHANNELS PER SPECIFIC MANUFACTURER'S RECOMMENDATIONS. PROVIDE FASTENERS PER MANUFACTURER'S SPECS AND DO NOT ALLOW DRYWALL FASTENERS TO EXTEND PAST RESILIENT CHANNELS AND INTO STUDS.

See Sheet S-3 "Structural Details and Sections" for light gauge metal framing specs

### KEYED NOTES:

- Rigid steel frame structure, typical. See Structural.
- Exterior condenser on concrete pad, typical.
- Fixed canopy overhead, see Elevations and Roof Plan.
- Wall mounted fire extinguisher, typical.
- Install NDS catch basins at grade below all downspouts. Include minimum 3ft x 3ft pond liner and cobble around drains at grade. Enclose cobble with 4" metal landscape edging. NDS drains set in edgework do not need liner and cobble. See Civil for below grade conveyance and A2.1 Roofplans.
- Kitchenette by tenant. Provide hook-ups for sink, fridge and microwave.
- One hour fire rated outside enclosure under Slab, provide 5/8" type X drywall both sides.
- Water heater location. 20 gallon tank heater to be installed in upstairs mechanical closets. See Mechanical / Plumbing drawings for specs.
- Slab, see A6.0
- Wall mounted light fixture, typical, see Building Elevations & A2.2-1
- Utility sink, typical.
- Provide sound proofing fiberglass batt insulation on all sides of restroom in wall cavity.
- Provide 5/8" type X drywall on both sides of walls at Mechanical Rooms
- Provide floor drain in Storage Rooms, typical.
- Mount vertical track for OH door on wall above for all end units.



EXIT TRAVEL DISTANCE KEY PLAN scale: 1/16" = 1'-0"

Room	Floor	Base	Walls*	Ceiling*	Height	Remarks
Lower Level Warehouse	Resilient Strip Carcinoid at Existing Grade	None	Painted Drywall	Painted Drywall/Concrete Slab Under Existing (Shall be Reinforced)	Varies, See Details	Exposed Ceiling to be Insulated
Toilet Room	Resilient Strip Carcinoid at Existing Grade	4" Vinyl Cove Base, Color TBD	Painted Drywall w/ 5/8" gypsum drywall with Schedule 40 Steel	Painted Drywall	8'-0"	See Sheet M-2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000

\* Provide min 5/8" gypsum drywall

# PHASE 2 PERMIT SET



REVISIONS:

**PALO SANTO DESIGNS LLC**  
Committed to Building a Sustainable World

www.palosantodesigns.com  
505-988-7230

March 6, 2024

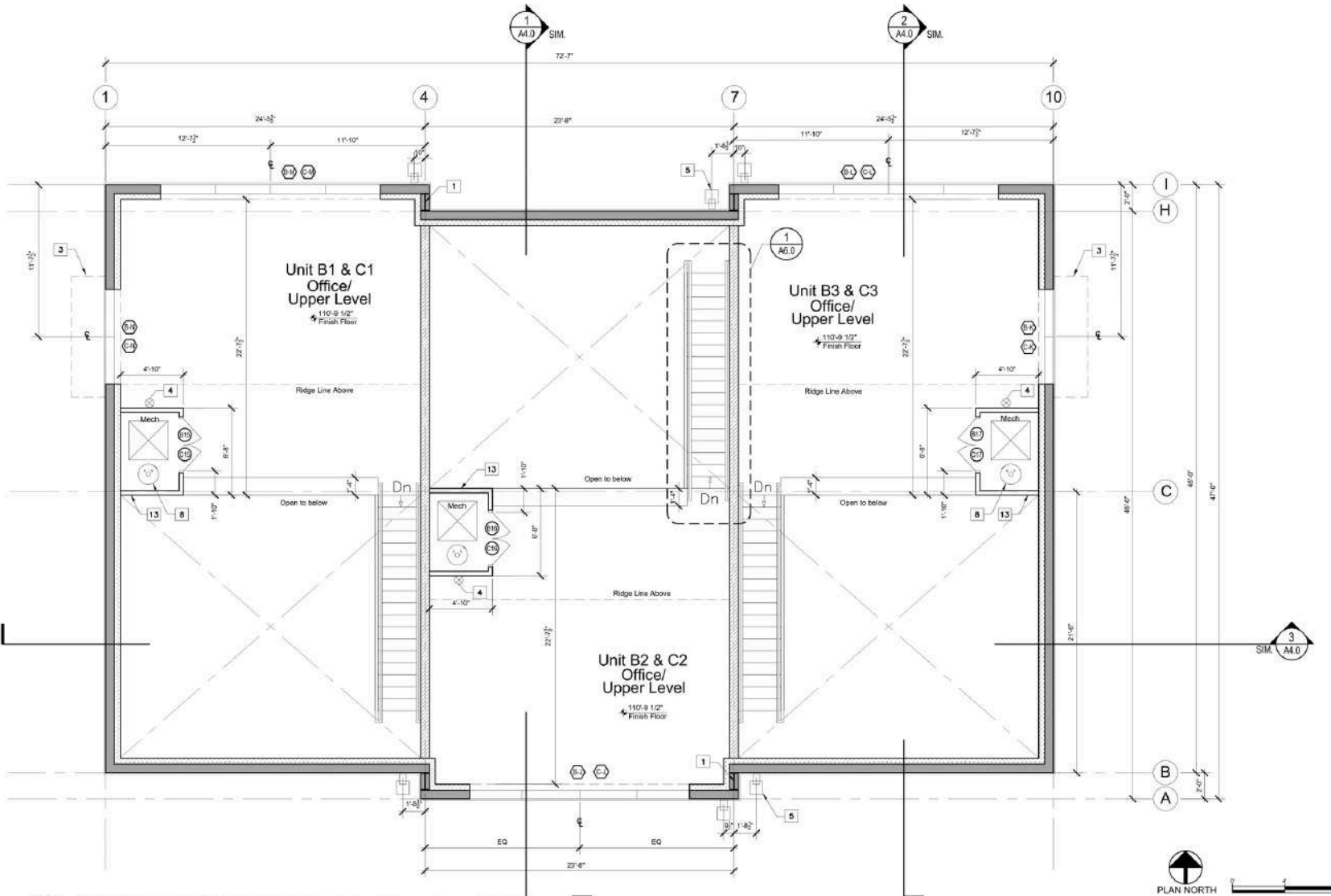
**ANOVA**  
PHASE 2

1189 Parkway Dr.  
Santa Fe, NM 87507

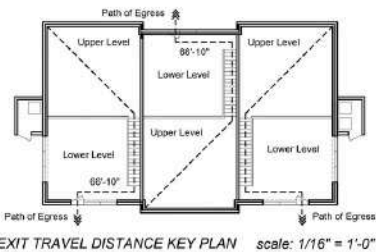
**Floor Plan  
Bldgs. B & C  
Upper Level**

**A2.0-4**

THIS PROJECT WAS PREVIOUSLY APPROVED & PERMITTED FOR PHASE ONE  
City of Santa Fe Building Permit Numbers 2002 - 24831, 24832, 24833, and 34834 - BLDG



**1 FLOOR PLAN BUILDINGS B & C - Upper Level Office**  
A2.0-5 SCALE: 1/4" = 1'-0"



scale: 1/16" = 1'-0"

Room	Floor	Base	Walls*	Ceiling*	Height	Remarks
Lower Level Warehouse		Rendered Gyp Concrete w/ concrete floor	None	Acoustic Ceiling with Upper Level Mechanical Structure for Recessing	Varies, See Sections	Exterior Ceiling is Unpainted
Toilet Room		Standard Gyp Concrete w/ concrete floor	4" Solid Gyp Base Coat T&B	Acoustic Ceiling with 1" Recessed Light Fixtures	8'-0"	See Sheet A2.0, Exterior Mechanical Room
Upper Level Office		Vinyl Plank	None	Acoustic Ceiling with 1" Recessed Light Fixtures	Varies, See Sections	Exterior Ceiling is Unpainted
Mechanical Room		Structural Concrete Floor	None	Acoustic Ceiling with 1" Recessed Light Fixtures	Varies, See Sections	Exterior Ceiling is Unpainted

\* Provide min 5/8" gypsum drywall

## GENERAL NOTES:

- Provide 1 hour rated wall between units to underside of roof. Seal all penetrations.
- Building insulation per the 2019 IECC. See building wall sections.
- Dimensions are to face of framing, outside of steel or structural grid lines, as indicated.
- Final location of perimeter light gauge framing shall cover structural bracing, and shall be coordinated with the Architect in the field prior to installation.

**FLOOR AREA OF EACH BUILDING (B&C):**  
Total Floor Area (inside walls) - 1483 x 3 Units = 4449 sf  
Total Roofed Area (including canopies) = 3749 sf

**HEATED CONSTRUCTION AREA OF EACH BLDG (B&C):**  
Lower Level (including exterior walls) = 3300 sf  
Upper Level (including exterior walls) = 1774 sf  
Total Heated Construction Area = 5074 sf

## WALL TYPES

- 8" 2 GIRT W/ MIN R-19 FIBERGLASS BATT INSULATION
- 8" SPLIT FACED CMU WITH SOLID 2" CAP BLOCK, SEE CIVIL
- 8" LIGHT GAUGE METAL STUD W/ 5/8" TYPE X ON EACH SIDE, FIRE RATED 1 HOUR WITH "ROCKWOOL SAFE 'N SOUND" 6" SOUNDPROOFING INSULATION, RESILIENT CHANNELS 16" O.C. ONE SIDE ONLY. INSTALL RESILIENT CHANNELS PER SPECIFIC MANUFACTURER'S RECOMMENDATIONS. PROVIDE FASTENERS PER MANUFACTURER'S SPECS AND DO NOT ALLOW DRYWALL FASTENERS TO EXTEND PAST RESILIENT CHANNELS AND INTO STUDS.

See Sheet S-3 "Structural Details and Sections" for light gauge metal framing specs

## KEYED NOTES:

- Rigid steel frame structure, typical. See Structural.
- Exterior condenser on concrete pad, typical.
- Fixed canopy overhead, see Elevations and Roof Plan.
- Wall mounted fire extinguisher, typical.
- Install NDS catch basins at grade below all downspouts. Include minimum 3ft x 3ft pond liner and cobble around drains at grade. Enclose cobble with 4" metal landscape edging. NDS drains set in sidewalk do not need liner and cobble. See Civil for below grade conveyance and A2.1 Roofplans.
- Kitchenette by tenant. Provide hook-ups for sink, fridge and microwave.
- One hour fire rated usable enclosure under Stair; provide 5/8" type X drywall both sides.
- Water heater location. 20 gallon tank heater to be installed in upstairs mechanical closets. See Mechanical / Plumbing drawings for specs.
- Stair, see A2.0
- Wall mounted light fixture, typical, see Building Elevations & A2.2-1
- Utility sink, typical.
- Provide sound proofing fiberglass batt insulation on all sides of restroom in wall cavity.
- Provide 5/8" type X drywall on both sides of walls at Mechanical Rooms
- Provide floor drain in Storage Rooms, typical.
- Mount vertical track for OH door on wall above for all end units.



PHASE 2  
PERMIT SET



REVISIONS:

**PALO SANTO DESIGNS LLC**  
Committed to Building a Sustainable World

www.palosantodesigns.com  
505-998-7230

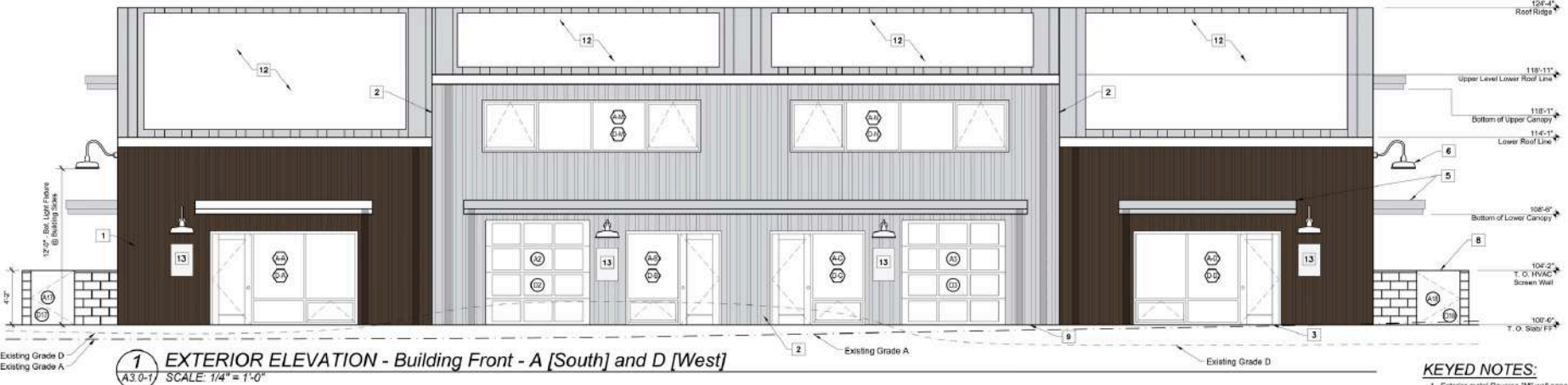
March 6, 2024

**ANOVA**  
PHASE 2

1189 Parkway Dr.  
Santa Fe, NM 87507

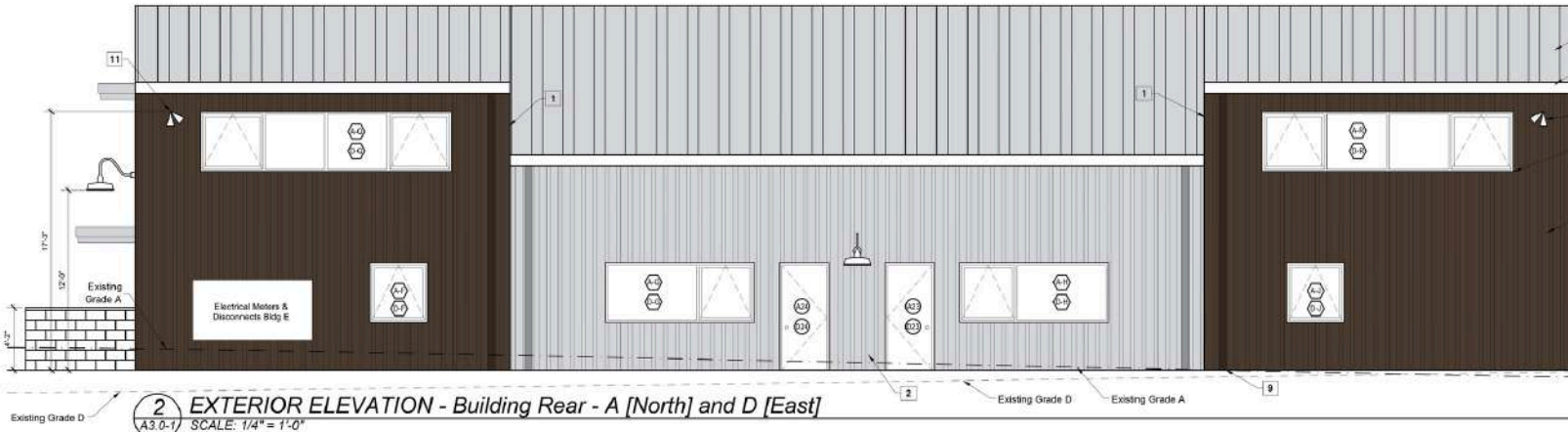
Ext. Elevs  
Buildings  
A & D

**A3.0**



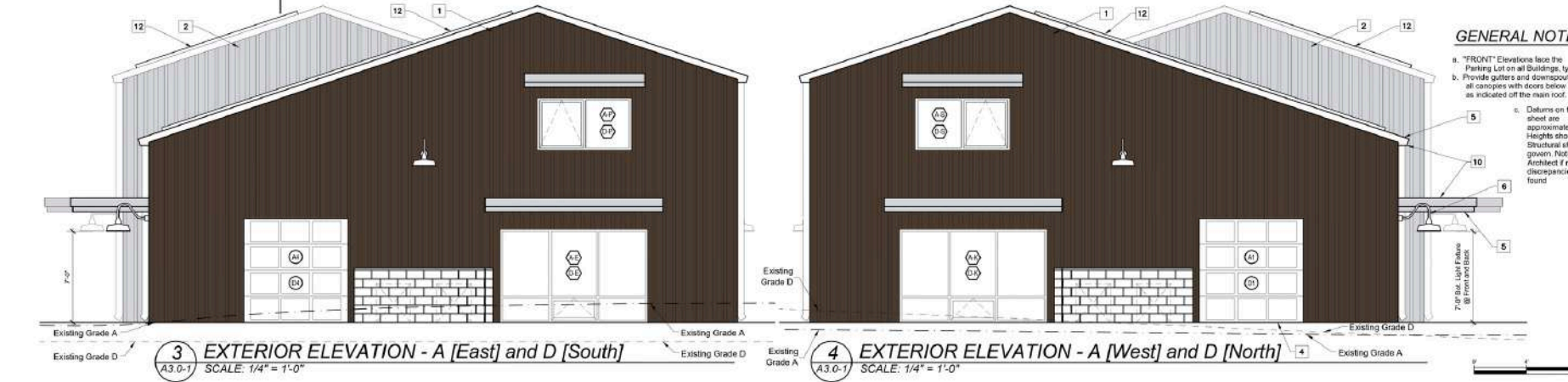
**KEYED NOTES:**

1. Exterior metal Reverse "M" wall panels at outer units to be RGB color Burnished Steel; wrap sides above roof as indicated.
2. Exterior metal Reverse "M" wall panels at center units to be RGB color Galvalume; wrap sides above roof as indicated.
3. Storefront glazing, doors & operable windows, frame to be anodized aluminum, typical.
4. Overhead doors with full glazing, frame to be anodized aluminum, typical.
5. Metal fascia & trim on overhangs to be Galvalume to match roofing, typical.
6. Building-mounted exterior lighting to be Barn style shade, color to be Architectural Bronze. See Cut Sheet.
7. HVAC screen walls to be split-face CMU with solid 2" cap block, color to be Utility Block. Screen CMU Screen Walls combined between windows. Vents in field.
8. HVAC enclosure gates to be natural elast.
9. Downspouts to match adjacent metal wall panels, typical.
10. Metal roofing and gutters to be Galvalume "Rings" panel or matching.
11. Security lighting on motion sensor, typical.
12. Solar panel array.
13. Unit signage by Owner.



**GENERAL NOTES:**

- "FRONT" Elevations face the Parking Lot on all Buildings, typical.
- Provide gutters and downspouts at all canopies with doors below and as indicated off the main roof.
- Datums on this sheet are approximate. Heights shown on Structural shall govern. Notify Architect if major discrepancies are found.



**4 EXTERIOR ELEVATION - A [West] and D [North]**  
SCALE: 1/4" = 1'-0"

PHASE 2  
PERMIT SET



REVISIONS:

**PALO SANTO DESIGNS LLC**  
Committed to Building a Sustainable World

www.palosantodesigns.com  
505-988-7230

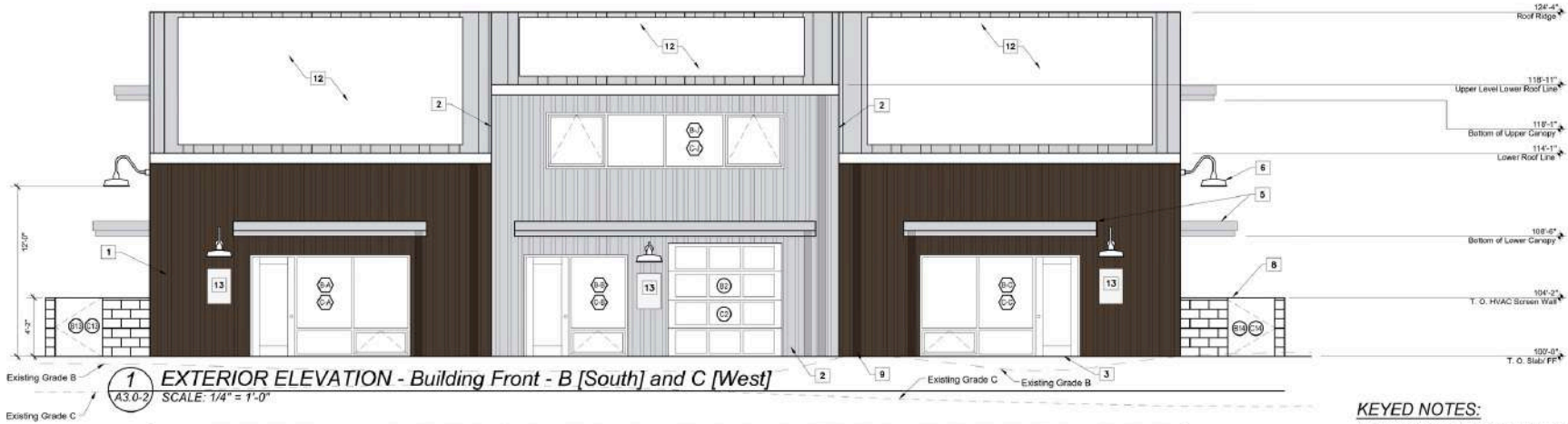
March 6, 2024

**ANOVA**  
PHASE 2

1189 Parkway Dr.  
Santa Fe, NM 87507

Ext. Elevs  
Buildings  
B & C

**A3.1**

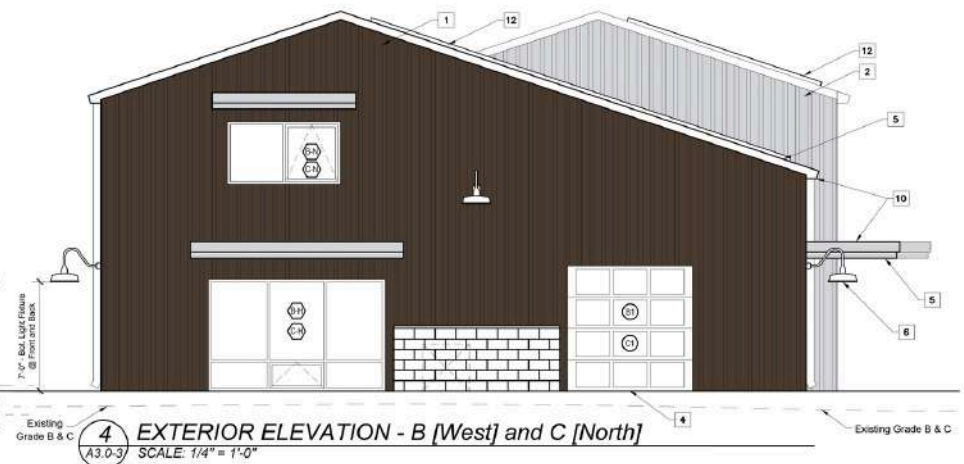
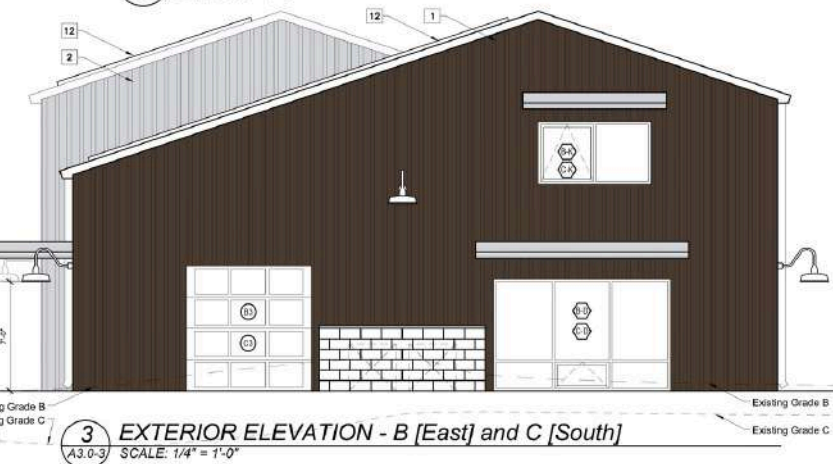
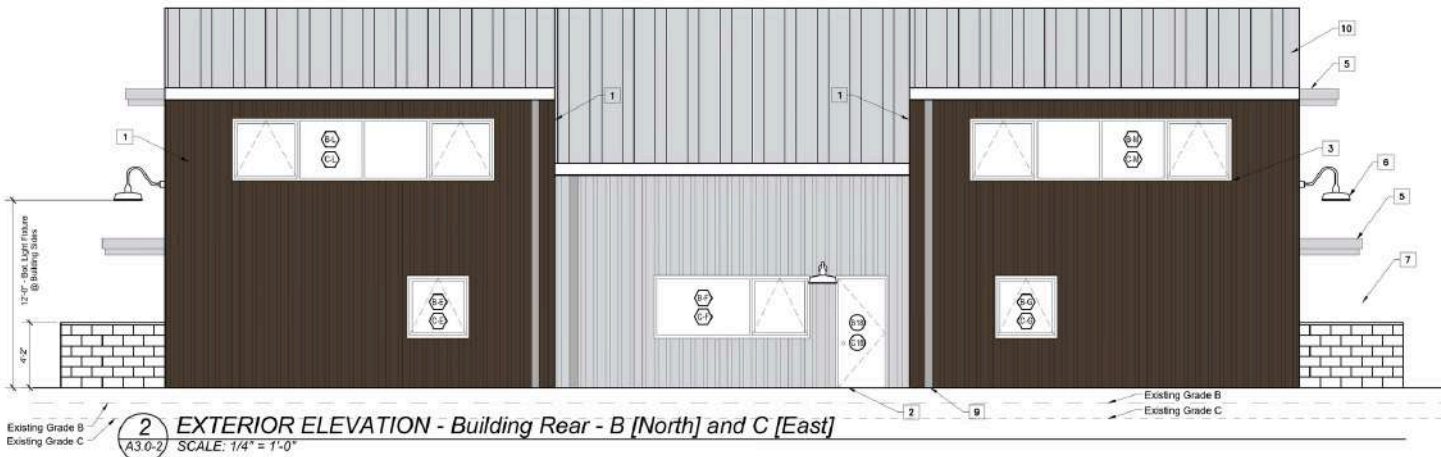


**KEYED NOTES:**

1. Exterior metal Reverse "M" wall panels at outer units to be RGB color.
2. Exterior metal Reverse "M" wall panels at center units to be RGB color.
3. Stovefront glazing, doors & operable windows, frame to be clear anodized aluminum, typical.
4. Overhead doors with full glazing, frame to be anodized aluminum, typical.
5. Metal fascia & trim on overhangs to be Galvalume to match roofing, typical.
6. Building-mounted exterior lighting to be Barn style shade, color to be Architectural Bronze. See Cut Sheet.
7. HVAC screen walls to be split-face CMU, with solid 2" cap block color to be Utility Block "Donno 810". Locate CMU Screen Walls centered between windows. Verify in field.
8. HVAC enclosure gates to be natural steel.
9. Downspouts to match adjacent metal wall panels, typical.
10. Metal roofing and gutters to be Galvalume "PBR" panel or matching.
11. Security lighting on motion sensor, typical.
12. Solar panel array.
13. Unit signage by owner.

**GENERAL NOTES:**

- a. "FRONT" Elevations face the Parking Lot on all Buildings, typical.
- b. Provide gutters and downspouts at all canopies with doors below and as indicated off the main roof.
- c. Datums on this sheet are approximate. Heights shown on Structural shall govern. Notify Architect if major discrepancies are found.







*Exclusively Marketed by:*  
**Leslie Gallatin-Giorgetti**  
Keller Williams Realty  
Owner/Broker  
(505) 670-7578  
[giorgettirealty@gmail.com](mailto:giorgettirealty@gmail.com)



**PALO  
SANTO  
DESIGNS**

