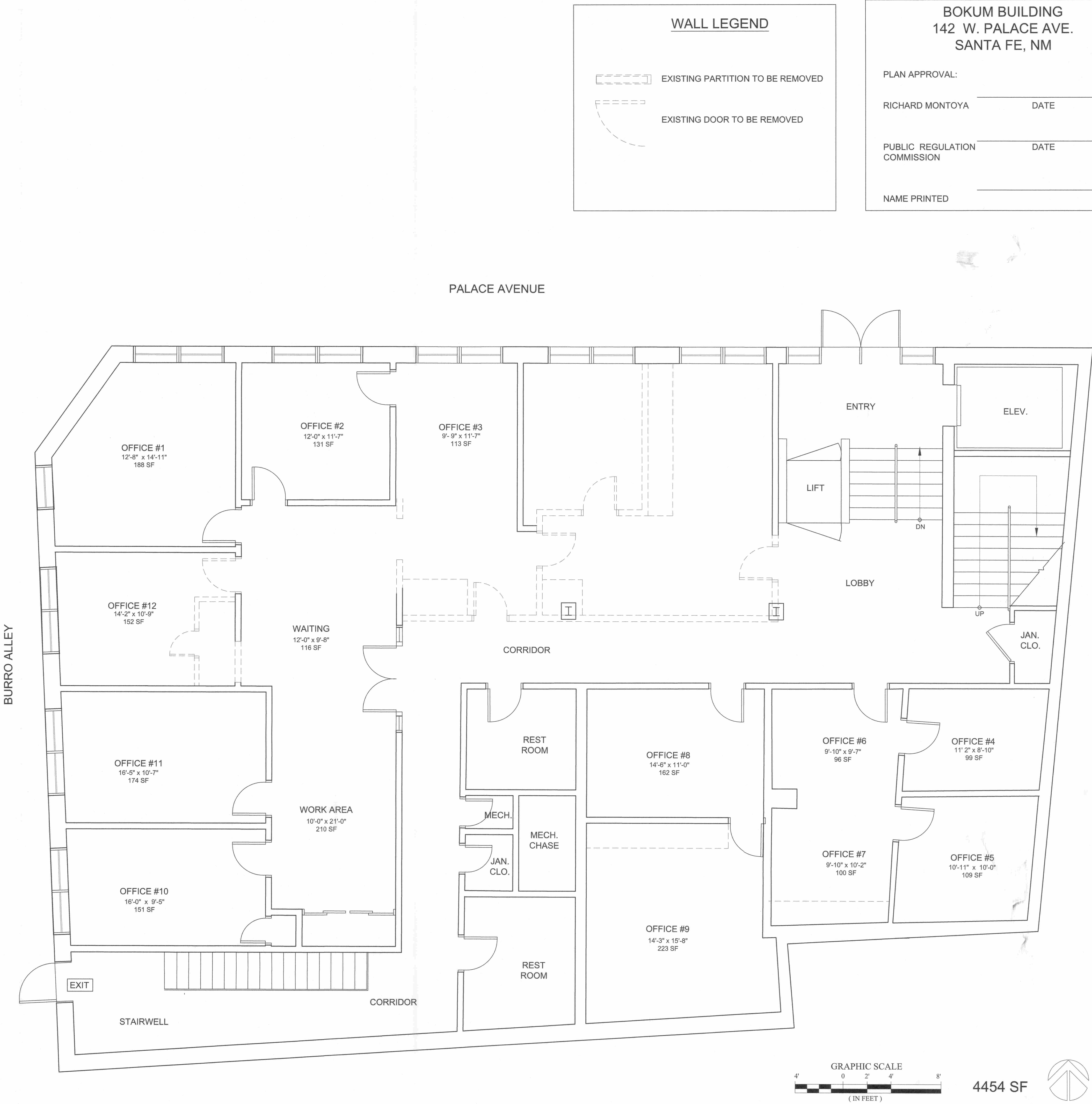


GENERAL NOTES:

1. CONSTRUCTION STANDARDS: All construction and materials shall be as specified and as required by the current adopted editions of the IBC, IPC, IMC, NFPA, NEC, and all Local and State amendments to the above at the time of permit issue. All articles, materials and equipment shall be installed, applied, connected as directed by the manufacturer's specifications and instructions except where otherwise noted.
2. COORDINATION: All work to be provided by Owner, (N.I.C., Not in Contract) shall be coordinated by Contractor in order to assure proper interface with the work in the Contract. Notify Owner of any conflicts which exist or delays in work which may result.
3. DEMOLITION: Demolition work shall be executed in an orderly and careful manner with due consideration of Owner's property. Contractor shall exercise care to protect any new construction or existing construction adjacent to the demolition work. Contractor shall be responsible for the protection of uncovered utilities. All work to be demolished shall be removed from the property except salvage materials directed by the Owner.
- CAUTION: Electrical contractor shall be responsible for insuring that each and every abandoned wire is permanently and effectively 'electrically dead'. At no point (along it's length) shall the abandoned wire remain physically connected to a device or other electrical equipment or to any remaining active circuit.
4. DIMENSIONS:
- a. Do not scale off drawings; where inadequate dimensional control information provided in drawings contact Architect.
- b. All dimensions in remodel work are to the face of existing finish.
- c. All dimensions in new work are to face of concrete/sheathing or face of studs unless otherwise noted.
5. GUARANTEE: The Contractor shall unconditionally guarantee all work performed and materials and equipment furnished under the Contract against defects in materials and workmanship for a period of one year from the date of final acceptance of the completed work by the Owner. Extended guarantees on specific items as noted in plans and specifications. See AIA 201 Article 3 Contractor.
6. INSURANCE: The Contractor and each Subcontractor shall provide Certificates of Insurance prior to commencing work. Coverage limits and types shall be verified with Owner. See AIA A201 Article 3 Contractor.
7. ORGANIZATION OF WORK: Contractor shall perform and organize work sequence so as to minimize wherever possible any disruption and inconvenience to existing facilities. A construction schedule shall be provided to the Owner and Architect.
8. PERMITS: Permits and inspections required shall be obtained and paid for by Contractor and billed at direct cost to Owner. See AIA A201 Article 3 Contractor.
9. SAFETY: The Contractor shall be solely responsible for the safety of all persons on the site and shall comply with all local, State and Federal safety standards. See AIA A201 Article 10. Including but not limited to the following. All scaffolds, hoists, stays, ladders, support, or other mechanical contrivance erected or constructed for use in the work and all temporary shoring, forming, bracing, etc. shall be constructed in accordance with all applicable Federal, State, and local laws, regulations, and ordinances. The design, safety and legal compliances shall be the exclusive responsibility of the contractor who, when necessary to ensure such safety and compliance, shall retain and pay for the services of a registered Structural Engineer to provide the design and details necessary for such construction or contrivance at no additional cost to the owner.
10. SECURITY: The Contractor shall be responsible for coordination of any temporary security measures required. Security methods shall be approved by the Owner.
11. SHORING: It shall be the Contractor's sole responsibility to design and provide adequate shoring, bracing, etc., during demolition and construction.
12. SIMILAR CONDITIONS: Conditions which are not detailed shall be similar in nature to other project details. Details noted typical shall apply to similar conditions.
13. SITE CONDITIONS: Construction access shall be through areas of the site designated as a construction unloading and storage area. Protection of existing construction and clean-up requirements apply to these areas. Remove all materials on site, leaving site clean, neat and ready for subsequent work. The job site shall be maintained in a clean, orderly condition free of debris and litter, and shall not be unreasonably encumbered with any materials or equipment. Each Subcontractor immediately upon completion of each phase of his work shall remove all trash and debris as a result of his operation. Verify location of trash containers and parking areas to be used with Owner and local regulatory agencies having jurisdiction.
14. STORAGE: All material stored on the site shall be properly stacked and protected per manufacturer instructions to prevent damage and deterioration until use. Failure to protect materials may be cause for rejection of work.
15. STRUCTURAL INTEGRITY: There shall be no alteration of any existing or new structural component of the building without prior written approval of the Architect. If such work takes place, the Contractor shall make good any structural defect or corollary damage incurred to the satisfaction of Owner.
16. SURFACE ACCEPTANCE: Surfaces previously installed or prepared by another trade shall be inspected carefully before applying subsequent materials or finishes. If an unsatisfactory condition to receive finish exists, notify the General Contractor in writing, immediately, otherwise assume full responsibility for resulting appearance and condition of finished surface.
17. SUPPORTS: Provide all necessary blocking, backing and framing for light fixtures, electrical devices and all other items requiring support.
18. UTILITIES: Notify Owner 48 hours prior to commencing any work that may require temporary disconnect of any utility service.
19. VERIFICATION: The Contractor shall verify all dimensions and site conditions before commencing work. Should an error or discrepancy appear in the Documents, notify the Owner at once for instruction on how to proceed. If the Contractor proceeds with the work affected without instructions from the Owner, the Contractor shall make good any resulting damage or defect to the satisfaction of the Owner.
20. WORKMANSHIP: The Contractor shall do all cutting, fitting or patching of his work that may be required to make its several parts fit together properly and shall not endanger any other work by cutting, excavating or otherwise altering the total work or any part of it. Contractor shall exercise care to protect any existing construction scheduled to remain or new construction so that integrity and finish is not impaired. All patching, repairing and replacing of materials and surfaces, cut or damaged in execution of work, shall be done with applicable materials so that surfaces replaced will, upon completion, match surrounding similar surfaces.



EXISTING/DEMOLITION FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

Renovation
for
BOKUM BUILDING
142 W. PALACE AVE.
SANTA FE, N.M.

PROJECT NO.: BOKUMPRC
ISSUE DATE: 04/19/2021

REVISIONS:
NO: DATE: DETAIL:

EXISTING
DEMOLITION
FIRST
FLOOR PLAN

SHEET NO:

A-1

WALL LEGEND

NEW PARTITION: 3/8" METAL STUDS w/ 3/8" GYP. BD. EA. SIDE

NEW DOOR

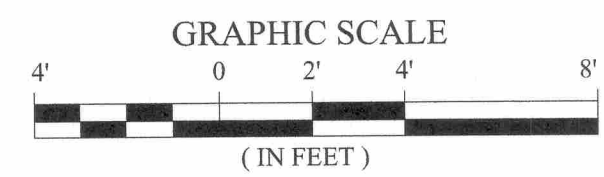
BOKUM BUILDING
142 W. PALACE AVE.
SANTA FE, NM

PLAN APPROVAL:

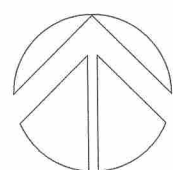
RICHARD MONTOYA _____ DATE _____

PUBLIC REGULATION COMMISSION _____ DATE _____

NAME PRINTED _____



4454 SF



EXISTING FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

Renovation
for
BOKUM BUILDING
142 W. PALACE AVE.
SANTA FE, N.M.

PROJECT NO.: BOKUMPRC
ISSUE DATE: 04/19/2021

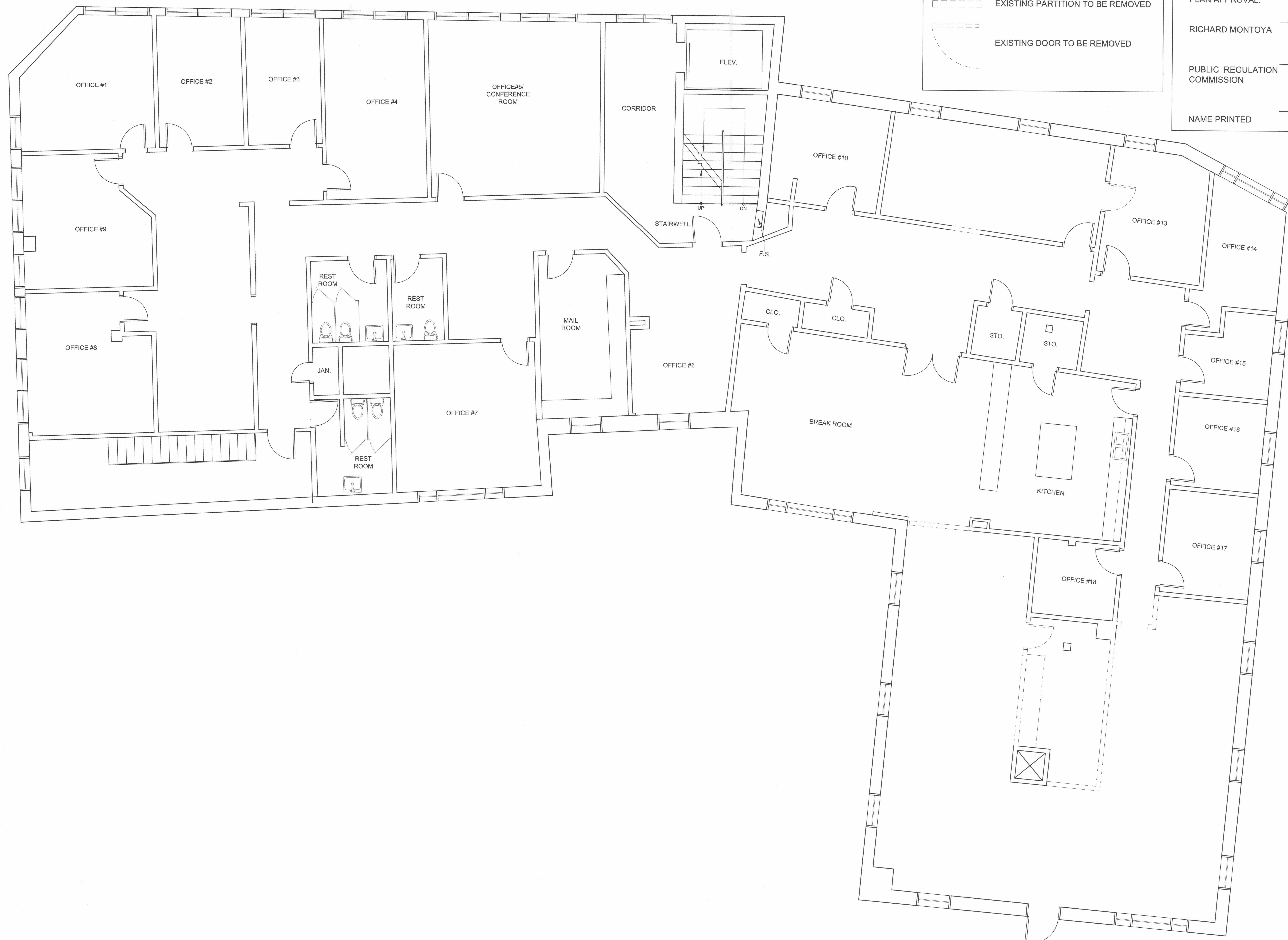
REVISIONS:
NO: DATE: DETAIL:

SHEET TITLE:

EXISTING
FIRST
FLOOR PLAN

SHEET NO:

A-1.1



WALL LEGEND

EXISTING PARTITION TO BE REMOVED

EXISTING DOOR TO BE REMOVED

BOKUM BUILDING
142 W. PALACE AVE.
SANTA FE, NM

PLAN APPROVAL:

RICHARD MONTOYA DATE

PUBLIC REGULATION
COMMISSION

DATE

NAME PRINTED

**Renovation
for
BOKUM BUILDING**
142 W. PALACE AVE.
SANTA FE, N.M.

PROJECT NO.: BOKUMPRC
ISSUE DATE: 04/19/2021

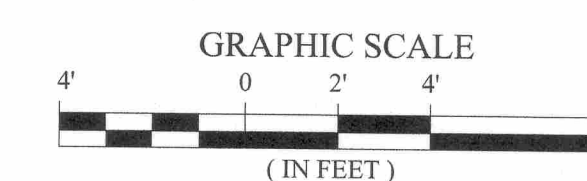
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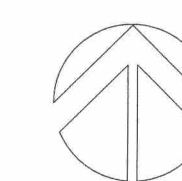
**EXISTING/DEMOLITION
SECOND
FLOOR PLAN**

SHEET NO:

A-2



8892 SF



EXISTING/DEMOLITION SECOND FLOOR PLAN

SCALE: $\frac{3}{16}'' = 1'-0''$



WALL LEGEND



BOKUM BUILDING
142 W. PALACE AVE.
SANTA FE, NM

PLAN APPROVAL:

RICHARD MONTOYA _____ DATE _____

PUBLIC REGULATION
COMMISSION _____ DATE _____

NAME PRINTED _____

Renovation
for
BOKUM BUILDING
142 W. PALACE AVE.
SANTA FE, N.M.

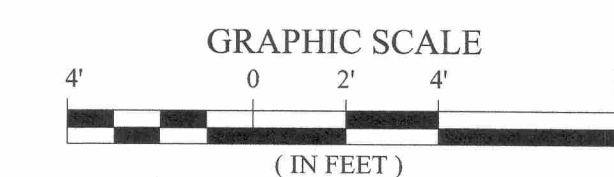
PROJECT NO.: BOKUMPRC
ISSUE DATE: 04/19/2021

REVISIONS:
NO: DATE: DETAIL:

SHEET TITLE:

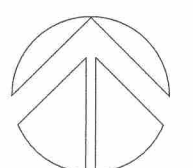
EXISTING
SECOND
FLOOR PLAN

SHEET NO:



SCALE: 3/16" = 1'-0"

8892 SF



EXISTING SECOND FLOOR PLAN

WALL LEGEND

- EXISTING PARTITION TO BE REMOVED
- EXISTING DOOR TO BE REMOVED

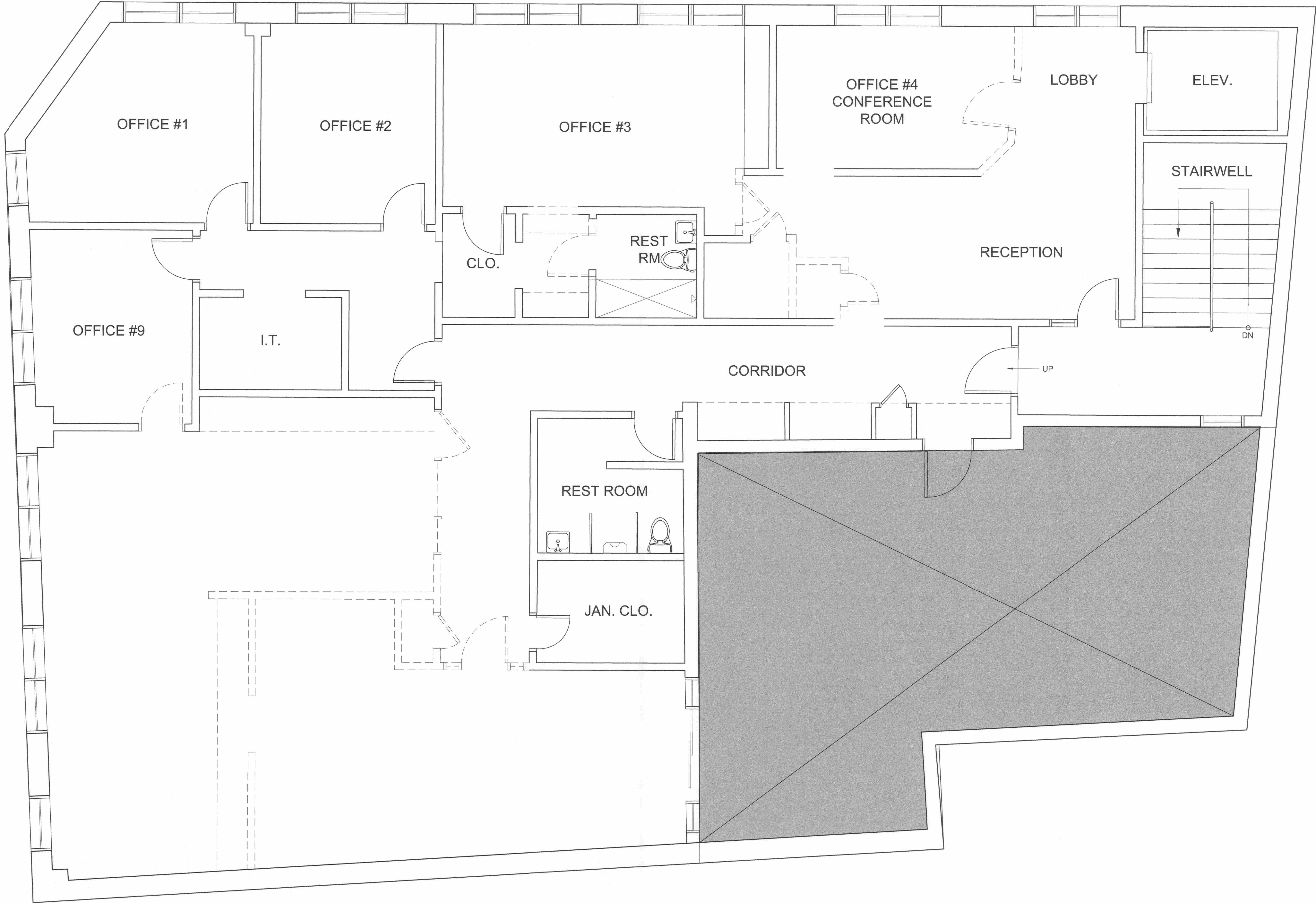
BOKUM BUILDING
142 W. PALACE AVE.
SANTA FE, NM

PLAN APPROVAL:

RICHARD MONTOYA _____ DATE _____

PUBLIC REGULATION COMMISSION _____ DATE _____

NAME PRINTED _____



Renovation
for
BOKUM BUILDING
142 W. PALACE AVE.
SANTA FE, N.M.

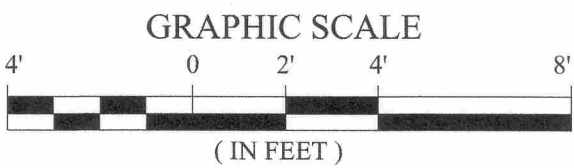
PROJECT NO.: BOKUMPRC
ISSUE DATE: 04/19/2021

REVISIONS:
NO: DATE: DETAIL:

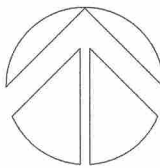
SHEET TITLE:

EXISTING/DEMO
THIRD
FLOOR PLAN

SHEET NO:



4453 SF



WALL LEGEND

NEW PARTITION: 3 5/8" METAL STUDS w/ 5/8" GYP. BD. EA. SIDE

NEW DOOR

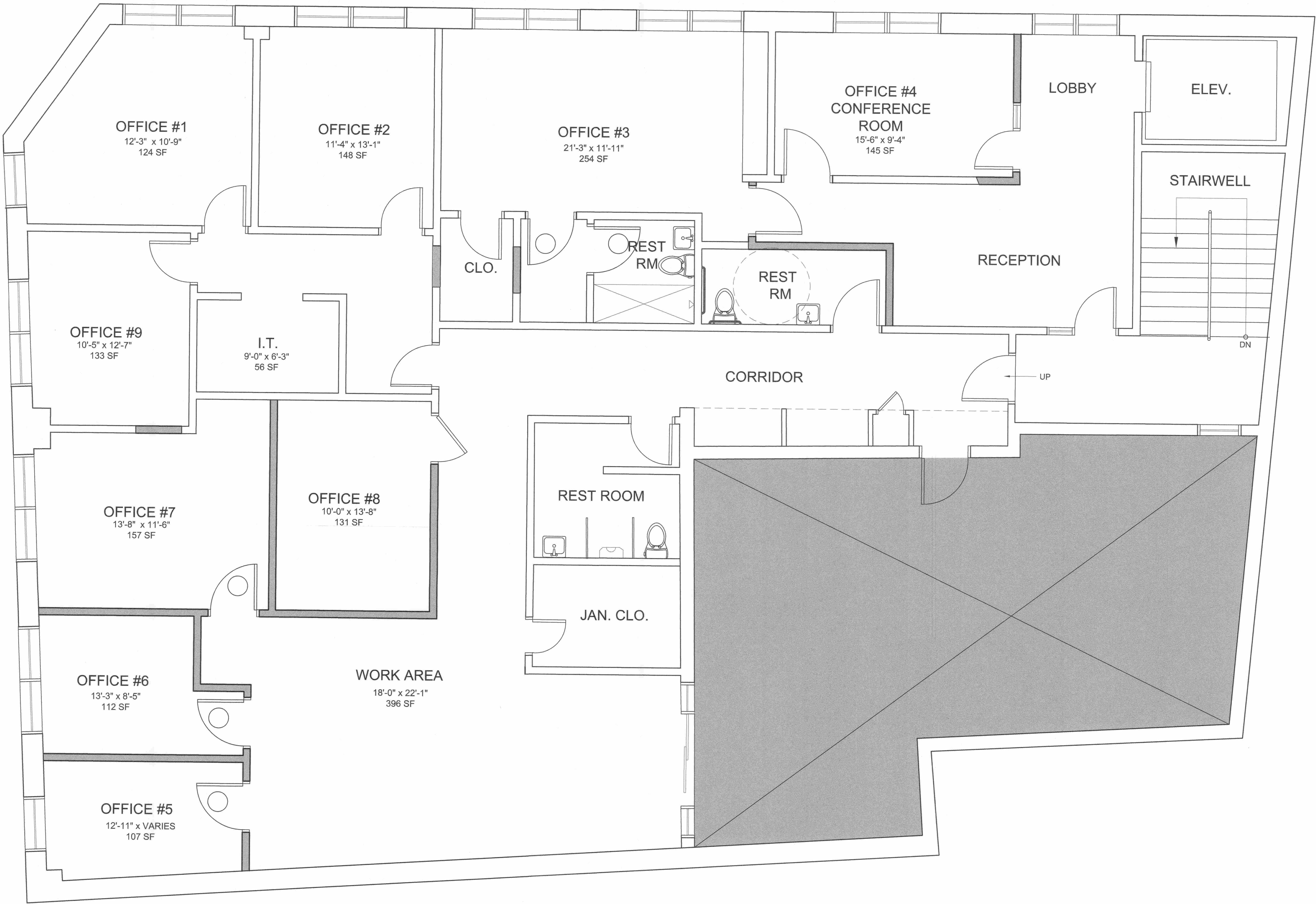
BOKUM BUILDING
142 W. PALACE AVE.
SANTA FE, NM

PLAN APPROVAL:

RICHARD MONTOYA _____ DATE _____

PUBLIC REGULATION COMMISSION _____ DATE _____

NAME PRINTED _____



REVISIONS:

REVISIONS:

Renovation
for
BOKUM BUILDING
142 W. PALACE AVE.
SANTA FE, N.M.

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REVISIONS:

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REVISIONS:

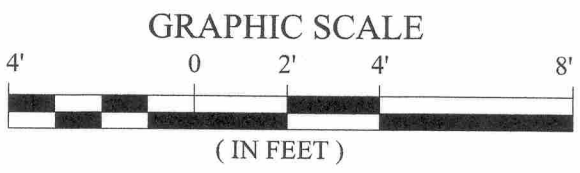
SHEET TITLE:

EXISTING
THIRD
FLOOR PLAN

REVISIONS:

SHEET NO:

A-3.1



4453 SF

