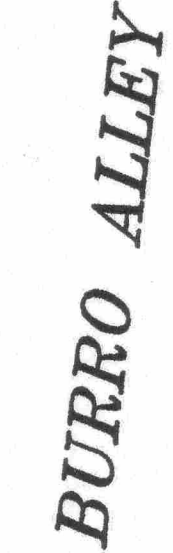


0' 4' 8' 16' 20' 24'



LEGEND

○	INDICATES CLEANOUT.
▲	INDICATES ELECTRIC METER.
△	INDICATES GAS METER.
⊗	INDICATES WATER METER.
⊠	
⊙	INDICATES WATER VALVE.
●	INDICATES POINT FOUND.
○	INDICATES CALCULATED POINT.



PLAT REFERENCES

EXTERIOR WALL LOCATIONS ARE BASED ON A PLAT OF SURVEY TITLED "BURRO ALLEY PLAZA, INC. REPLAT" BY RICHARD E. SMITH, N.M.L.S. No. 5837, AS PROJECT No. 2176 DATED 4/29/81 AND FILED IN THE OFFICE OF THE SANTA FE COUNTY CLERK ON MAY 21, 1981 AS RECEPTION No. 479,107.

REFERENCE ALSO THAT PLAT TITLED "PLAT OF SURVEY OF BURRO ALLEY PLAZA, REPLAT No. 3" BY RICHARD E. SMITH, N.M.L.S. No. 5837, AS PROJECT No. 2730 DATED 11/25/86 AND FILED IN THE OFFICE OF THE SANTA FE COUNTY CLERK ON DEC. 23, 1986 IN PLAT BOOK 170, PAGE 001 AS RECEPTION No. 610,618.

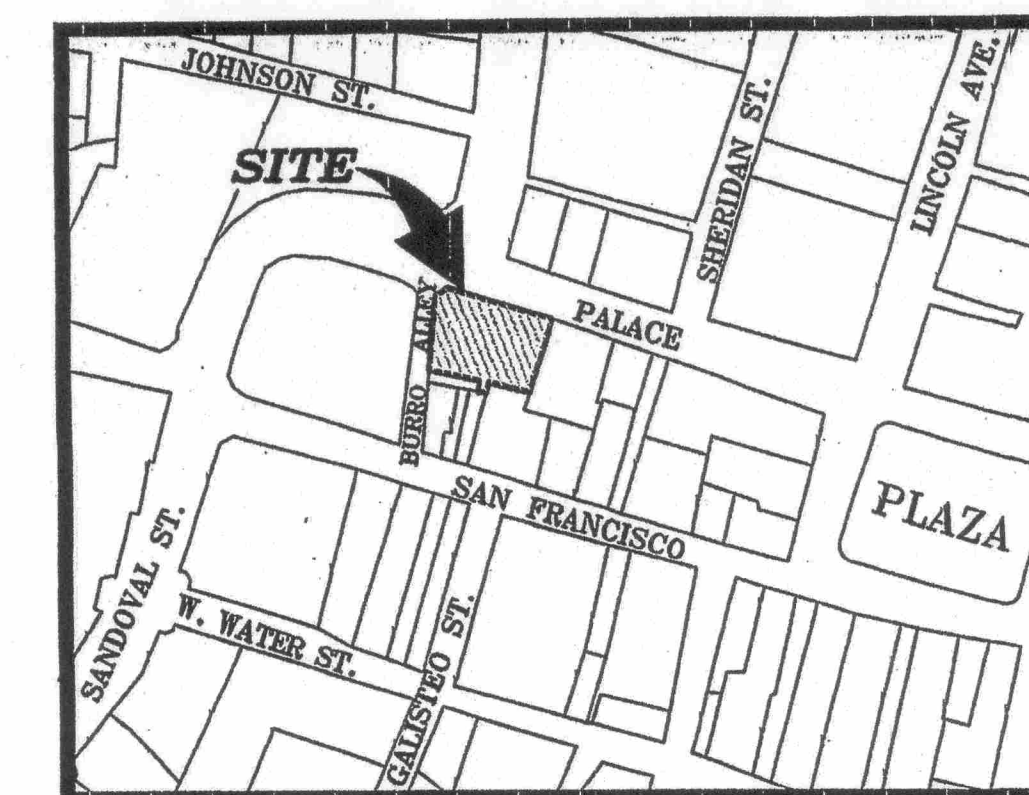
REFERENCE ALSO THAT PLAT TITLED "PLAT OF SURVEY OF BURRO ALLEY PLAZA, REPLAT No. 2" BY RICHARD E. SMITH, N.M.L.S. No. 5837, AS PROJECT 2721 DATED 10/10/86 AS DOCUMENT No. 610,473.

PUBLIC NOTICE

THIS SURVEY IS BASED ON THOSE RECORDED DOCUMENTS NOTED HEREON. CITY OF SANTA FE STAFF MUST APPROVE ALL DOCUMENTS SUBMITTED WITH AN APPLICATION FOR A BUILDING PERMIT AND MAY REQUIRE SUBMITTAL OF ADDITIONAL DOCUMENTATION TO PROVE LEGAL LOT OF RECORD.

NOTE

ELEVATIONS BASED ON SANTA FE CONTROL MONUMENT NO. 1059.
ESTABLISHED ELEVATION 7'004.23'



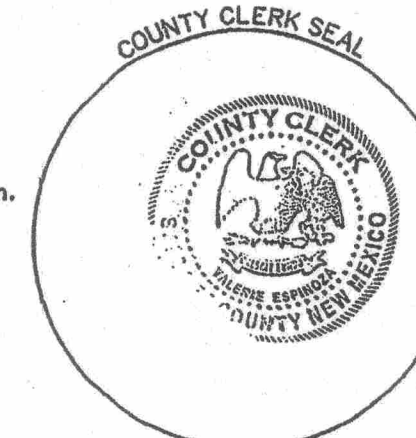
VICINITY MAP NOT TO SCALE

#1510306

COUNTY OF SANTA FE
STATE OF NEW MEXICO
I hereby certify that this instrument was filed for record on the 20th day of Dec. 2007 at 1:06 p.m. and was duly recorded in book 612, page 12-15 of the records of Santa Fe County.

Witness my hand and Seal of Office
Valerie Espinoza
County Clerk, Santa Fe County, N.M.

Ken Vayle Deputy



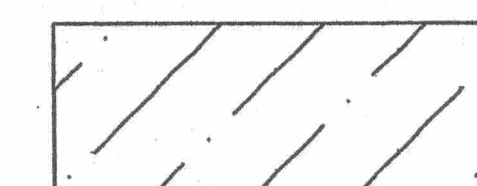
LEGEND

- INDICATES CLEANOUT.
- △ INDICATES ELECTRIC METER.
- ▲ INDICATES GAS METER.
- ⊙ INDICATES WATER METER.
- ⊠ INDICATES UTILITY BOX (SIZE VARIES).
- ⊙ INDICATES WATER VALVE.
- INDICATES POINT FOUND.
- INDICATES CALCULATED POINT.

CE DENOTES COMMON ELEMENT
LCE DENOTES LIMITED COMMON ELEMENT

LCE UNIT A

LCE UNIT B



SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT THIS PLAT IS A TRUE REPRESENTATION OF A SURVEY COMPLETED UNDER MY PERSONAL DIRECTION AND SUPERVISION, ON SEPTEMBER 20, 2006. TO THE BEST OF MY KNOWLEDGE, THE SURVEY AND PLAT ARE CORRECT, TRUE, MEET THE MINIMUM STANDARDS FOR LAND SURVEYS IN NEW MEXICO AND CONTAINS ALL THE INFORMATION REQUIRED BY SECTION 47-7B-9 N.M.S.A.

Joseph M. Koelfgen 12/21/07
JOSEPH M. KOELFGEN, N.M.P.S. No. 13610, DATE



SCALE 1" = 8'

SHEET 1 OF 4

INDEXING INFORMATION FOR COUNTY CLERK	
TYPE OF SURVEY:	CONDOMINIUM SURVEY
OWNER:	BURRO ALLEY PLAZA, INC.
SECTION:	SEC. 24, T-17-N, R-9-E, N.M.P.M.
SUBDIVISION NAME:	
OTHER:	SANTA FE GRANT

Sunrise
Surveyors INC.
1210 Luisa Street, Suite 3, Santa Fe, New Mexico 87505
(505)983-5234 FAX (505)983-5391

CONDOMINIUM SURVEY PREPARED FOR
BOKUM BURRO ALLEY, LLC
and **PALACE LLC**
IN PROJECTED SECTION 24,
T.17N., R.9E., N.M.P.M., WARD No. 4
CITY OF SANTA FE, NEW MEXICO

SCALE	DATE	DRAWN BY	CHECKED BY	PROJECT NO.
1" = 8'	SEPT 2007	J.M.K.	J.M.K.	5037

BURRO ALLEY

PALACE AVENUE

UNIT A
1ST FLOOR

FLOOR ELEV. = 6990.25'
CEILING ELEV. = 6999.25'
FLOOR AREA = 4060.8 SQ. FT. ±

N/A
UNIT B
1ST FLOOR

FLOOR ELEV. = 6988.6'
CEILING ELEV. = 6998.6'
FLOOR AREA = 4837 SQ. FT. ±

UNIT A
1ST FLOOR

FLOOR ELEV. = 6988.2'
CEILING ELEV. = 6998.2'
FLOOR AREA = 904.1' SQ. FT. ±
RESERVED DEVELOPMENT RIGHT AREA - B
(ABOVE 1ST FLOOR)

UNIT A
1ST FLOOR

FLOOR ELEV. = 6986.25'
CEILING ELEV. = 6995.25'
FLOOR AREA = 1706.6 SQ. FT. ±
RESERVED DEVELOPMENT RIGHT AREA - A
(ABOVE 1ST FLOOR)

PATIO
L.C.E. UNIT B

TRACT 2-B
0.0265 Ac.±

TRACT 4
0.0992 Ac.±

BURRO ALLEY

PALACE AVENUE

UNIT A
SECOND FLOOR-WEST
FLOOR ELEV. = 7000.8'
CEILING ELEV. = 7009.8'
WEST FLOOR AREA = 4056 SQ. FT. ±

UNIT A
SECOND FLOOR-EAST
FLOOR ELEV. = 7000.8'
CEILING ELEV. = 7009.8'
EAST FLOOR AREA = 4140 SQ. FT. ±

RESERVED DEVELOPMENT RIGHTS AREA-C
(ABOVE 2ND FLOOR)

UNIT A
SECOND FLOOR TOTAL AREA
8197 SQ. FT. ±

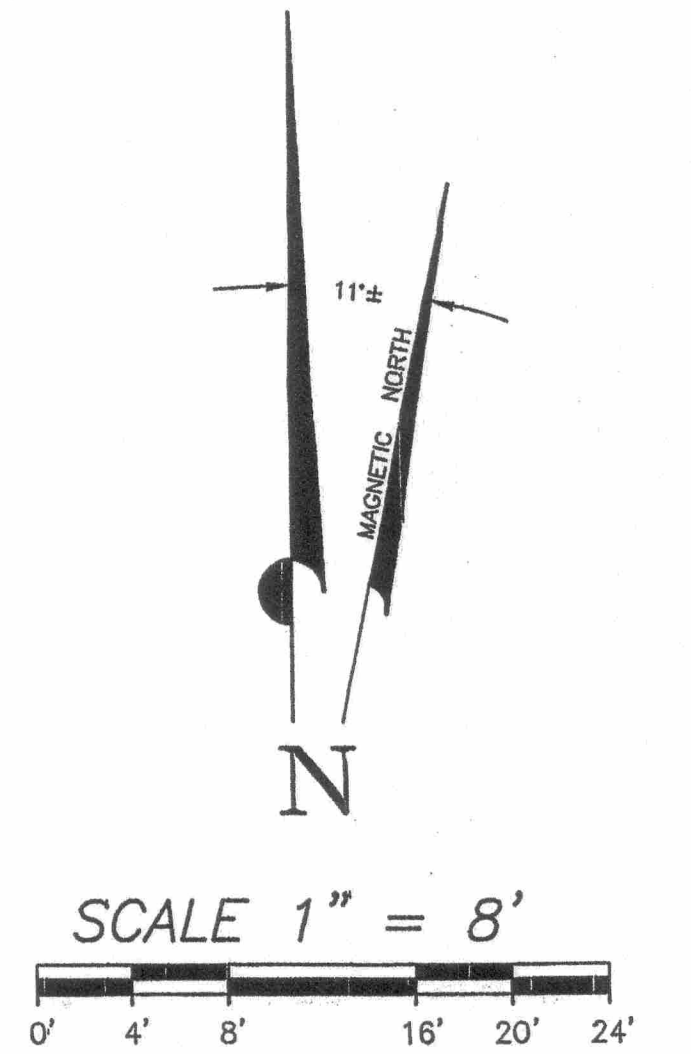
RESERVED DEVELOPMENT RIGHTS AREA - B
AREA = 904 Sq. Ft. ±

RESERVED DEVELOPMENT RIGHTS AREA - A
AREA = 1707 Sq. Ft. ±

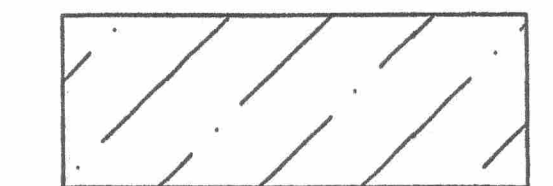
RESERVED DEVELOPMENT RIGHTS AREA - D
(ABOVE 1ST FLOOR)
AREA = 818 Sq. Ft. ±

TRACT 2-B
0.0265 Ac. ±

TRACT 4
0.0992 Ac. ±



LCE UNIT B



LEGEND

- INDICATES CLEANOUT.
- ▲ INDICATES ELECTRIC METER.
- △ INDICATES GAS METER.
- ⊙ INDICATES WATER METER.
- ⊠ INDICATES UTILITY BOX (SIZE VARIES).
- ⊙ INDICATES WATER VALVE.
- INDICATES POINT FOUND.
- INDICATES CALCULATED POINT.

SHEET 2 OF 4

INDEXING INFORMATION FOR COUNTY CLERK	
TYPE OF SURVEY	CONDOMINIUM SURVEY
OWNER	BURRO ALLEY PLAZA, INC.
SECTION	SEC. 24, T-17-N, R-9-E, N.M.P.M.
SUBDIVISION NAME	
OTHER	SANTA FE GRANT

Sunrise
Surveyors INC.

1210 Luisa Street, Suite 3, Santa Fe, New Mexico 87505
(505)983-5234 FAX (505)983-5391

CONDO SURVEY PREPARED FOR				
BOKUM BURRO ALLEY, LLC and PALACE, LLC				
IN PROJECTED SECTION 24, T.17N., R.9E., N.M.P.M., WARD No. 4 CITY OF SANTA FE, NEW MEXICO				
SCALE	DATE	DRAWN BY	CHECKED BY	PROJECT NO.
1" = 8'	SEPT., 2007	JK	J.M.K.	5037

BURRO ALLEY

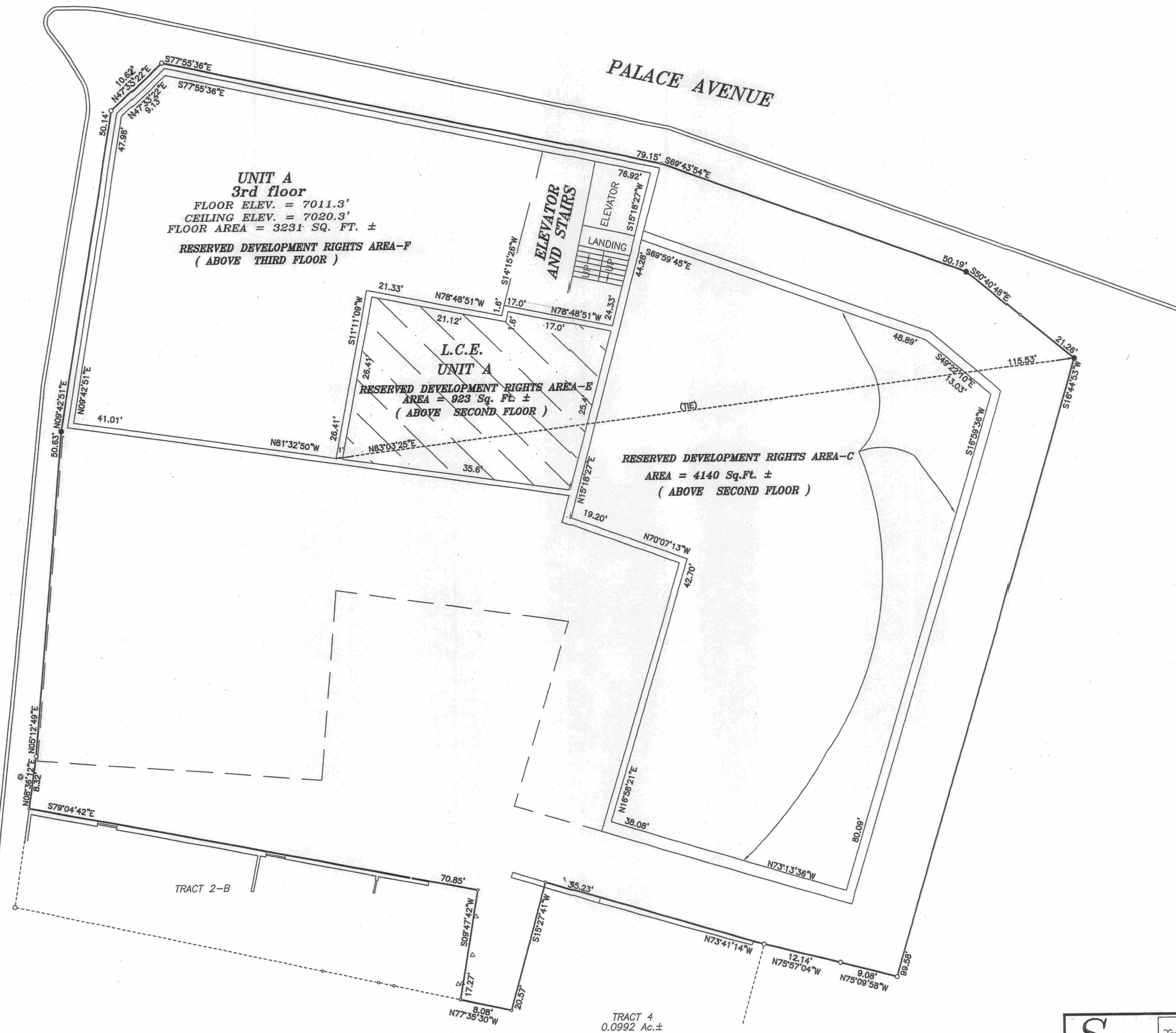
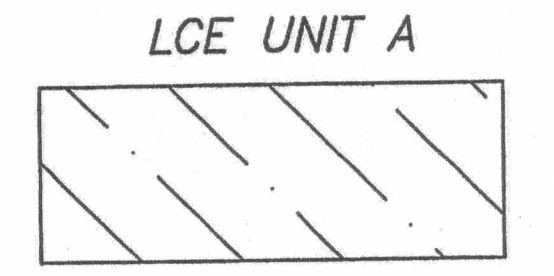
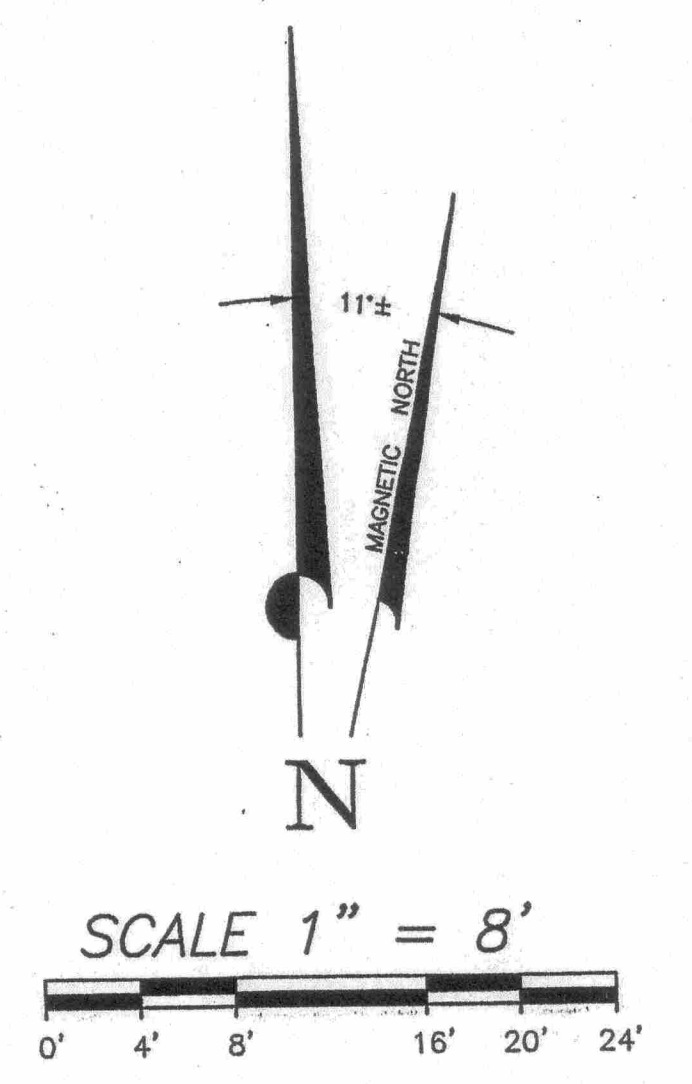
PALACE AVENUE

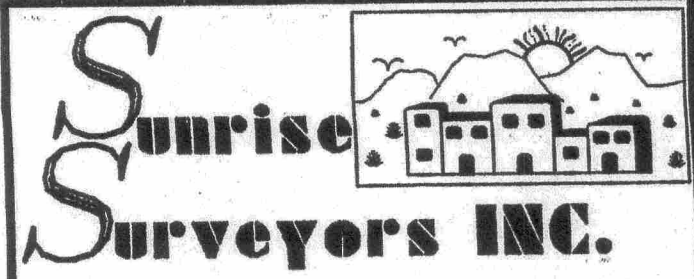
UNIT A
3rd floor
FLOOR ELEV. = 7011.3'
CEILING ELEV. = 7020.3'
FLOOR AREA = 3231 SQ. FT. ±
RESERVED DEVELOPMENT RIGHTS AREA-F
(ABOVE THIRD FLOOR)

L.C.E.
UNIT A
RESERVED DEVELOPMENT RIGHTS AREA-E
AREA = 923 Sq. Ft. ±
(ABOVE SECOND FLOOR)

ELEVATOR AND STAIRS

RESERVED DEVELOPMENT RIGHTS AREA-C
AREA = 4140 Sq.Ft. ±
(ABOVE SECOND FLOOR)



 Sunrise Surveyors INC. 1210 Luisa Street, Suite 3, Santa Fe, New Mexico 87505 (505)983-5234 FAX (505)983-5391		CONDOMINIUM SURVEY PREPARED FOR			
		BOKUM BURRO ALLEY LLC. and PALACE LLC IN PROJECTED SECTION 24, T.17N., R.9E., N.M.P.M., WARD No. 4 CITY OF SANTA FE, NEW MEXICO			
SCALE 1" = 8'	DATE SEPT 2007	DRAWN BY J.M.K.	CHECKED BY J.M.K.	PROJECT NO. 5037	