

509 / 515 EAST EUCLID STREET, DETROIT, MICHIGAN 48202



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[illegible]

OVERALL DESCRIPTION:
NEW CONSTRUCTION 2-3 STORY BUILDING ON EXISTING 0.25 ACRE SITE.
RESIDENTIAL TOWNHOUSE DEVELOPMENT INCLUDING (5) ONE-BEDROOM
AND (3) TWO-BEDROOM SINGLE-FAMILY DWELLING UNITS. ALL UNITS
INCLUDE AN ATTACHED ONE-VEHICLE GARAGE WITH ADDITIONAL GUEST
SPACES IN THE PARKING LOT ALONG THE REAR PUBLIC ALLEY. A
COMMON OUTDOOR RECREATION AREA IS LOCATED AT THE STREET
FRONT CORNER OF THE PROPERTY.

SCOPE & APPLICATION:
THE PROVISIONS OF THE 2015 MICHIGAN RESIDENTIAL CODE SHALL APPLY
TO TOWNHOUSES NOT MORE THAN 3 STORIES ABOVE GRADE PLANE IN
HEIGHT WITH A SEPARATE MEANS OF EGRESS.

DEFINITION:
SINGLE-FAMILY DWELLING UNITS CONSTRUCTED IN A GROUP OF THREE OR MORE ATTACHED UNITS IN WHICH EACH UNIT EXTENDS FROM FOUNDATION TO ROOF AND WITH A YARD OR PUBLIC WAY ON NOT LESS THAN TWO SIDES

BUILDING PLANNING:
EACH TOWNHOUSE SHALL BE CONSIDERED A SEPARATE BUILDING AND SHALL BE SEPARATED BY A 2-HOUR FIRE-RESISTANCE-RATED WALL ASSEMBLY.

- THE FIRE-RESISTANCE-RATED WALL ASSEMBLY SEPARATING TOWNHOUSES SHALL BE CONTINUOUS FROM THE FOUNDATION TO THE UNDERSIDE OF THE ROOF SHEATHING, DECK OR SLAB. THE FIRE-RESISTANCE RATINGS SHALL EXTEND THE FULL LENGTH OF THE WALL ASSEMBLY.
- PARAPETS AS AN EXTENSION OF EXTERIOR WALLS OR COMMON WALLS ARE NOT REQUIRED.
 - ROOF COVERING COMPLIES WITH A MINIMUM CLASS C RATING AND THE ROOF DECKING OR SHEATHING IS OF NONCOMBUSTIBLE MATERIALS OR APPROVED FIRE-RETARDANT TREATED WOOD FOR A DISTANCE OF 4'-0" ON EACH SIDE OF THE WALL OR WALLS, OR ONE LAYER OF 5/8" TYPE X GYPSUM BOARD IS INSTALLED DIRECTLY BENEATH THE ROOF DECKING OR SHEATHING, SUPPORTED BY NOT LESS THAN 2X LEDGERS ATTACHED TO THE SIDES OF THE ROOF FRAMING MEMBERS, FOR A DISTANCE OF NOT LESS THAN 4'-0" ON EACH SIDE OF THE WALL OR WALLS AND ANY OPENINGS OR PENETRATIONS IN THE ROOF ARE NOT WITHIN 4'-0" OF THE COMMON WALLS.
 - ROOF SURFACES ADJACENT TO THE WALL OR WALLS ARE AT DIFFERENT ELEVATIONS AND THE HIGHER ROOF IS MORE THAN 2'-6" ABOVE THE LOWER ROOF. THE COMMON WALL CONSTRUCTION FROM THE LOWER ROOF TO THE UNDERSIDE OF THE HIGHER ROOF DECK SHALL HAVE NOT LESS THAN A 1-HOUR FIRE-RESISTANCE RATING.
- EACH INDIVIDUAL TOWNHOUSE SHALL BE STRUCTURALLY INDEPENDENT, WITH THE FOLLOWING EXCEPTIONS.
 - FOUNDATIONS SUPPORTING EXTERIOR WALLS OR COMMON WALLS
 - STRUCTURAL ROOF AND WALL SHEATHING FROM EACH UNIT FASTENED TO THE COMMON WALL FRAMING
 - NONSTRUCTURAL WALL AND ROOF COVERINGS.
 - FLASHING AT TERMINATION OF ROOF COVERING OVER COMMON WALL
 - COMMON WALLS SEPARATING TOWNHOUSES.



Location Map

BENCHMARKS
(GPS DERIVED - NAVD88)

BM #300
PK NAIL IN THE SOUTHEAST FACE OF A
UTILITY POLE NEAR THE NORTHEAST
CORNER OF THE SUBJECT PROPERTY.
ELEV. - 630.20'

BM #302
ARROW OF HYDRANT NEAR THE
SOUTHWEST CORNER OF THE SUBJECT
PROPERTY.
ELEV. - 631.08'

LEGAL DESCRIPTION
(Per Detroit Parcel Search)

PARCEL 03002191
N--E EUCLID 107&106 LOWES L8 P26 PLATS, W C R 3/97 59 X 120

PARCEL 03002192
N--E EUCLID 105 LOWES L8 P26 PLATS, W C R 3/97 30 X 120

REFERENCE DRAWINGS

WATER MAIN DWSD MAP (EMAIL DATED 10/14/2019)

STORM SEWER DWSD MAP (EMAIL DATED 10/14/2019)

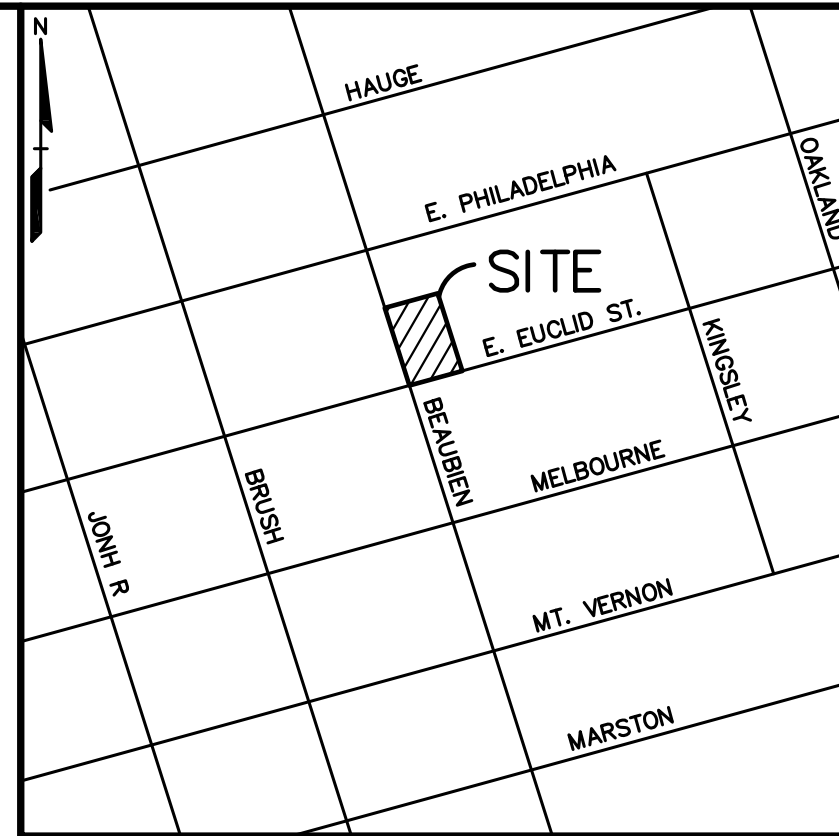
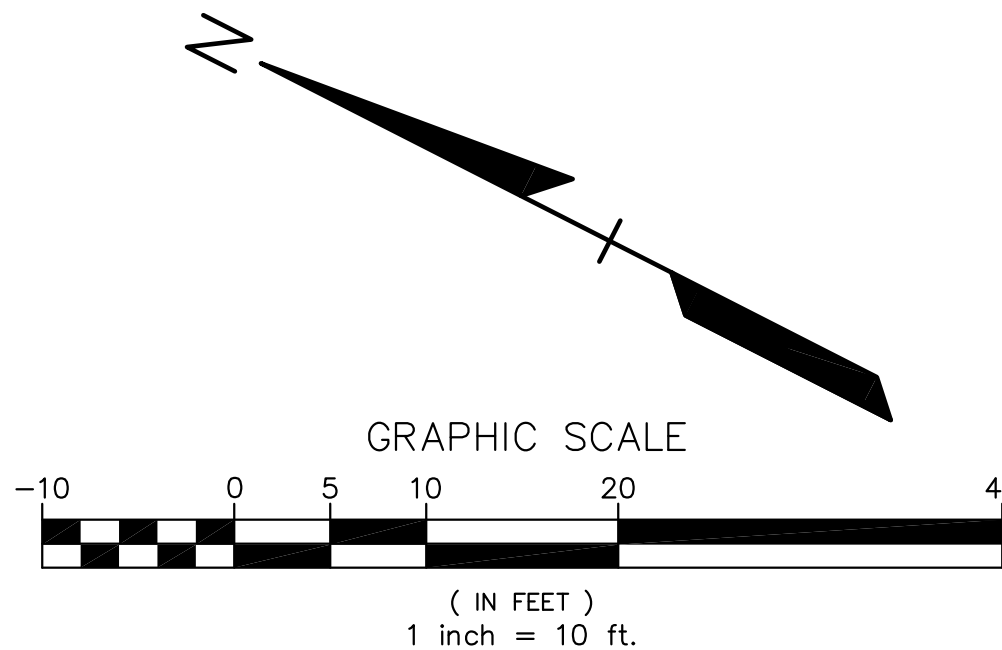
ELECTRIC DTE ELECTRIC FACILITY MAP #340-322 (MAP TAKEN FROM PEA JOB NO. 2018-373)

CABLE UTILITY RESOURCE GROUP PLD MAP 320 & 318 (EMAIL DATED 10/11/2019)

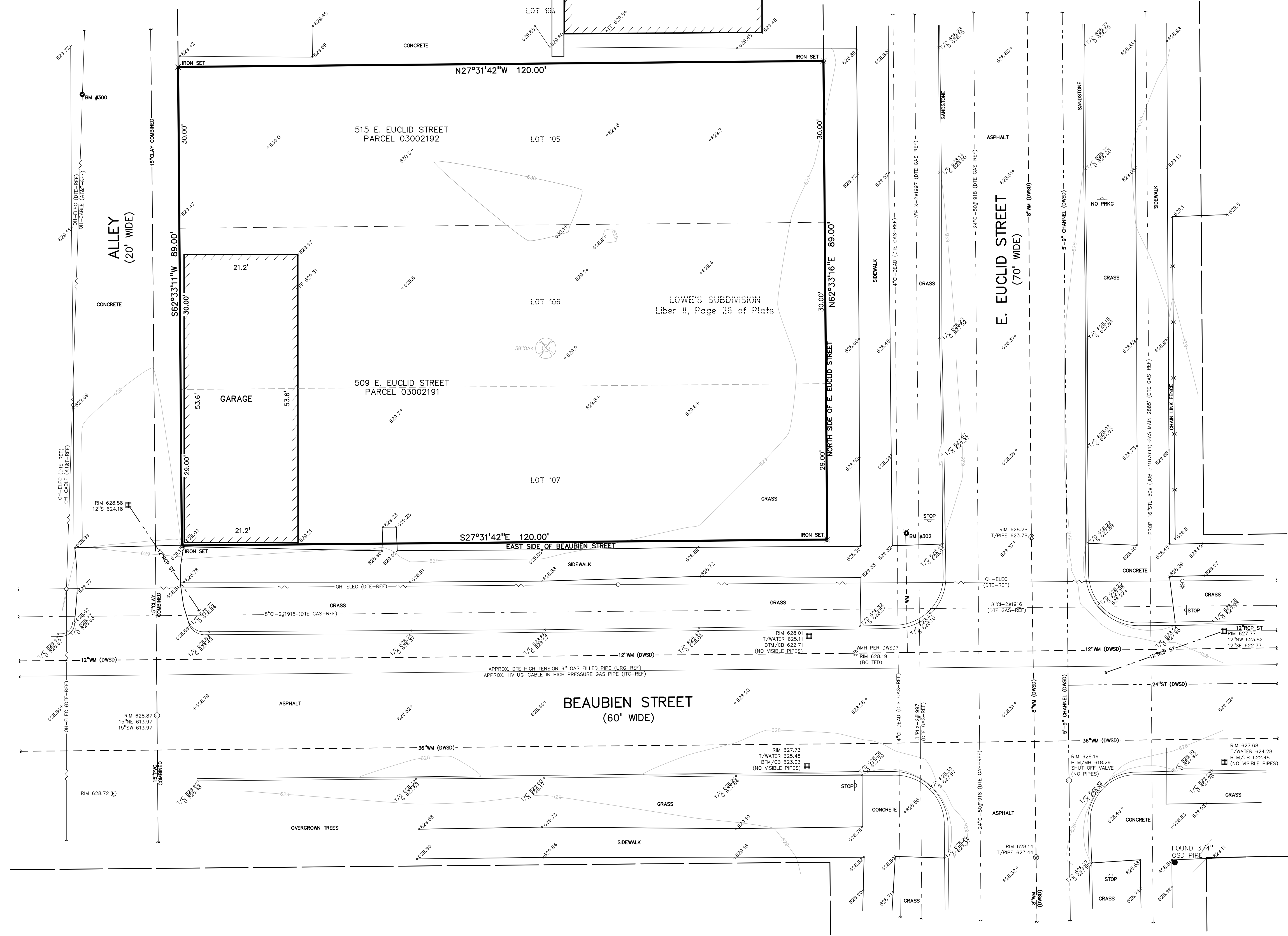
GAS ITC HOLDINGS MAP, DATED 10/16/2019

AT&T MAP A1, DATED 10/11/2019

HAVE NOT RECEIVED AS OF 10/15/2019



REVISIONS		DATE
NO.	BY	DESCRIPTION



LEGEND

EXISTING

- OH-ELEC (DTE-REF)
- OH-CABLE (AT&T-REF)
- UG-CATV
- UG-PHONE
- UG-ELEC (DTE-REF)
- GAS MAIN, VALVE & GAS LINE MARKER
- WATERMAIN, HYD. GATE VALVE, TAPPING SLEEVE & VALVE
- SANITARY SEWER, CLEANOUT & MANHOLE
- STORM SEWER, CLEANOUT & MANHOLE
- COMBINED SEWER & MANHOLE
- SQUARE, ROUND & BEEHIVE CATCH BASIN, YARD DRAIN
- POST INDICATOR VALVE
- WATER VALVE BOX/HYDRANT VALVE BOX, SERVICE SHUTOFF
- VALVE BOX, TRANSFORMER, IRRIGATION CONTROL VALVE
- UNIDENTIFIED STRUCTURE
- SPOT ELEVATION
- CONTOUR LINE
- FENCE
- GUARD RAIL
- STREET LIGHT
- SIGN
- CONC.
- ASPH.
- GRAVEL

BRASS PLUG SET

- MONUMENT SET
- RECORDED
- MEASURED
- CALCULATED

SEC. CORNER FOUND

- RECORDED
- MEASURED
- CALCULATED

CAUTION!!

THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS GIVEN FOR THE ACCURACY OF THE INFORMATION. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

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CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR SHALL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SET CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THAT THE REQUIREMENT SHALL BE MADE TO APPLY CONTRACTORS, AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND CONSTRUCTION CONTRACTOR FURTHER AGREES TO NOTIFY THE INSURANCE AND HOLD DESIGN PROFESSIONAL, UNLESS FROM AFRY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE DESIGN PROFESSIONAL.

3 FULL WORKING DAYS BEFORE YOU DIG CALL 811

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McCOY DEVELOPMENT
535 GRISWOLD STREET, SUITE 420
DETROIT, MICHIGAN 48226

TOPOGRAPHIC SURVEY
509-515 E. EUCLID STREET

CITY OF DETROIT, WAYNE COUNTY, MICHIGAN

DES.	DN.	LKP	SUR.	TDS	P.M.

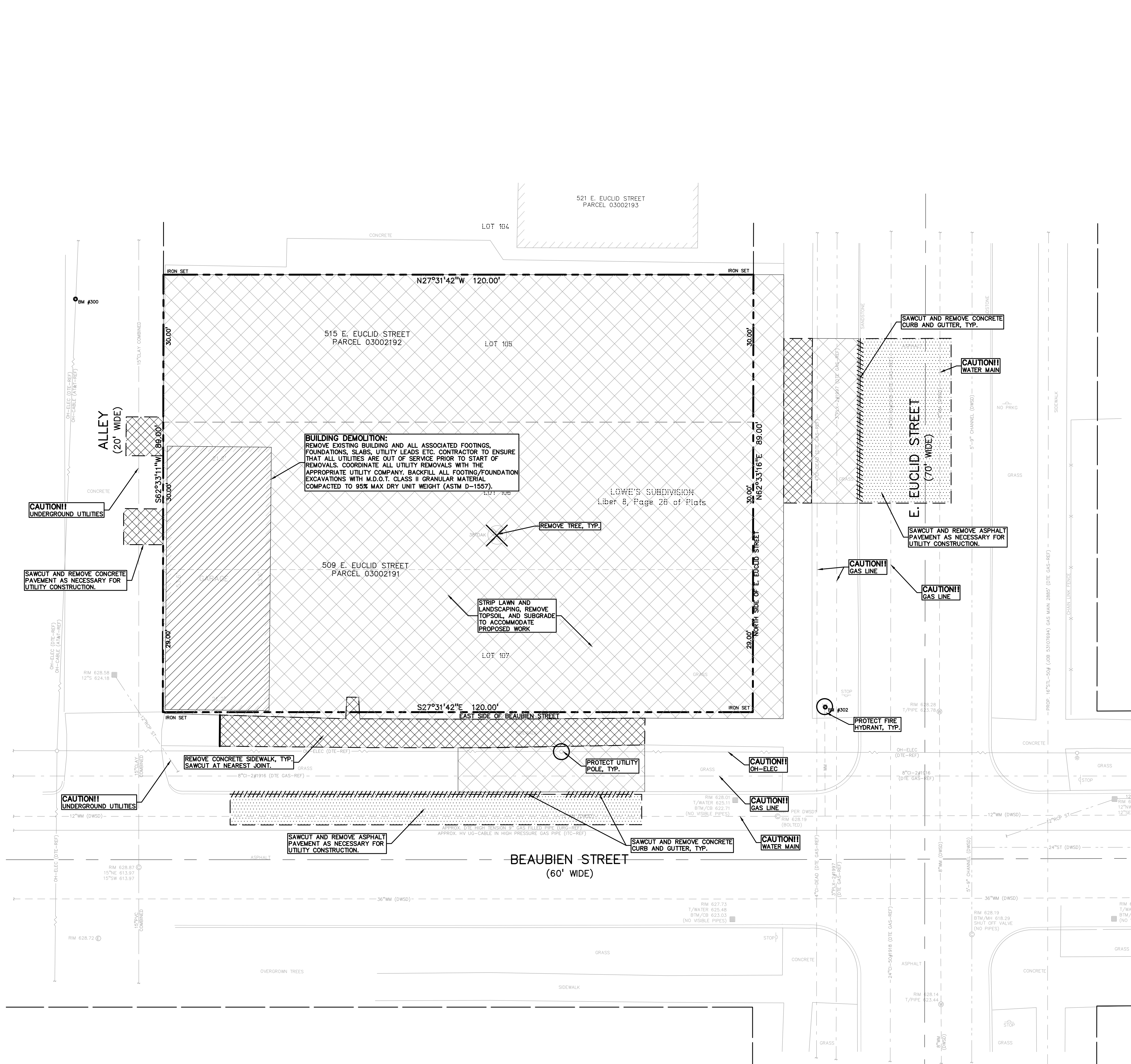
ORIGINAL ISSUE DATE:
OCTOBER 15, 2019

PEA JOB NO. 2019-410

SCALE: 1" = 10'

DRAWING NUMBER:
1

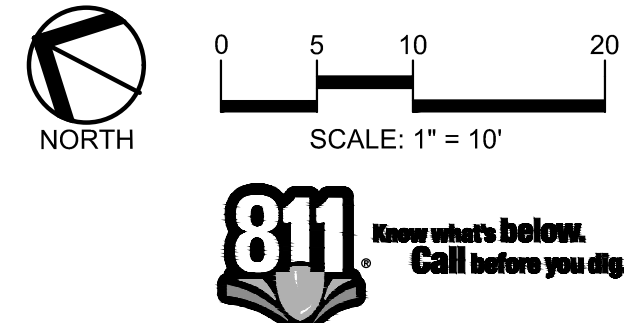
FLOODPLAIN NOTE:
THE SUBJECT PARCEL LIES WITHIN AREA DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN (ZONE 'X') PER FEMA FLOOD INSURANCE RATE MAP NUMBER 2616C0125E, DATED 2/12/2012, A NON-PRINTABLE PANEL

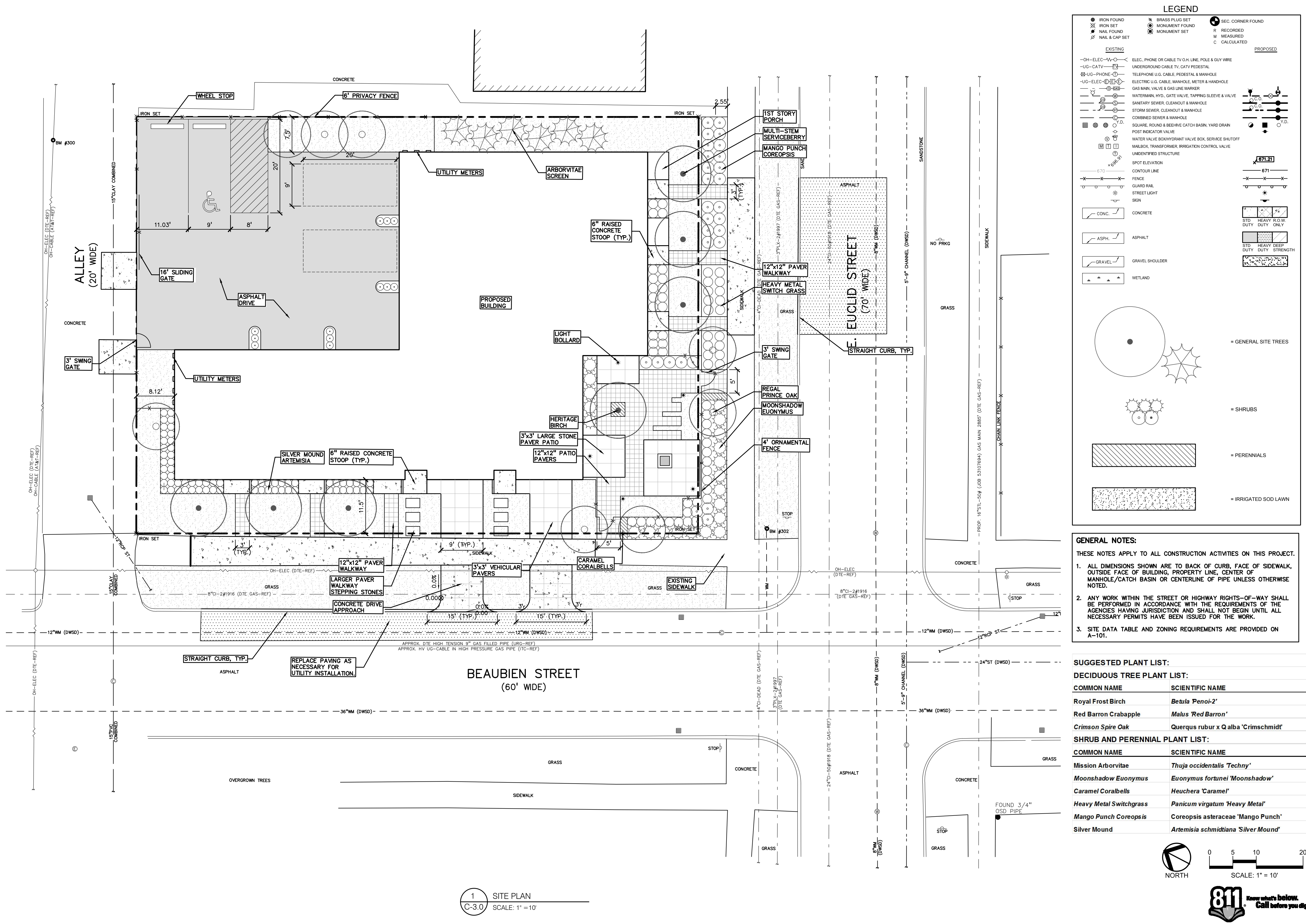
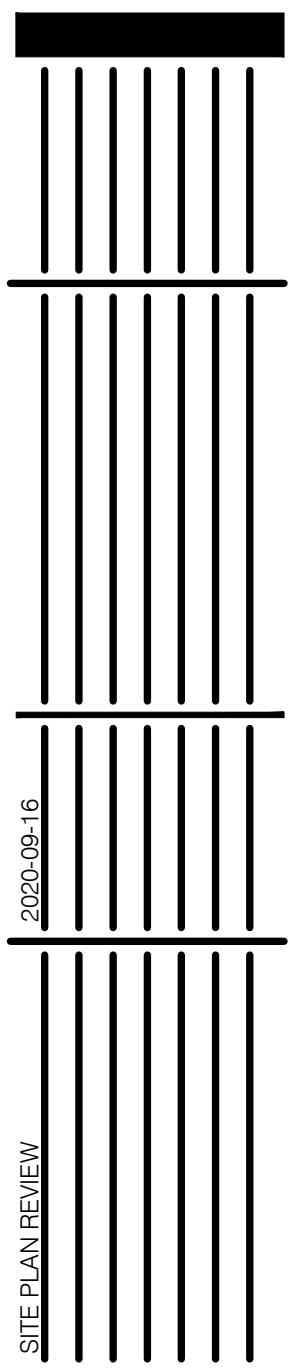
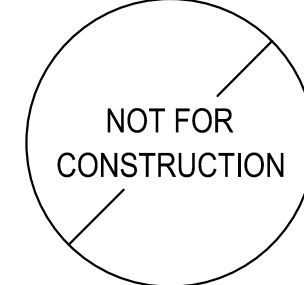


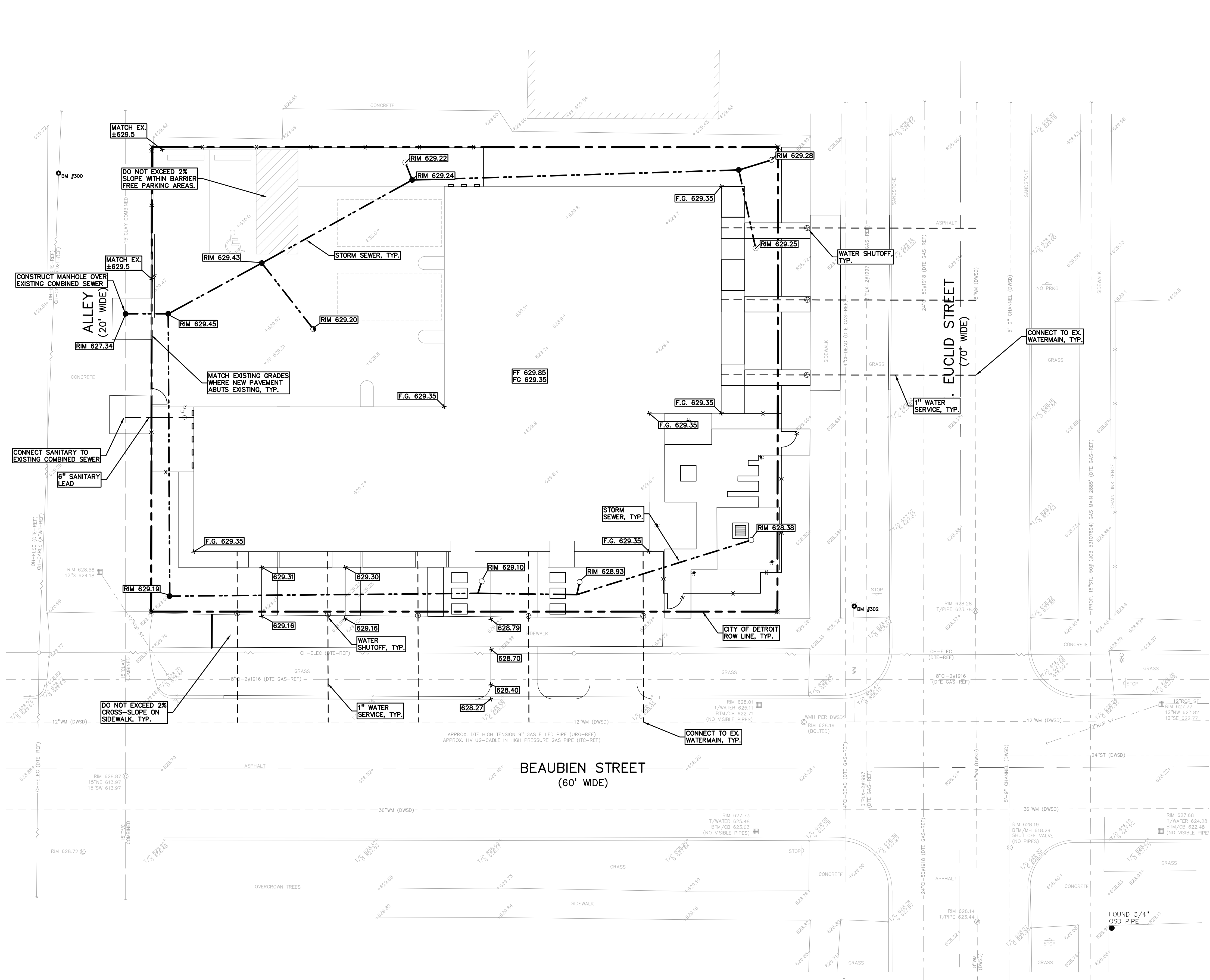
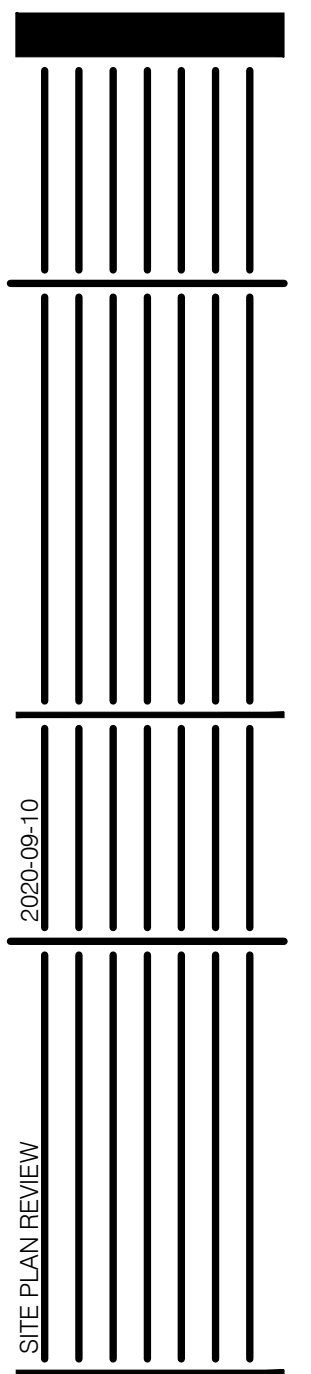
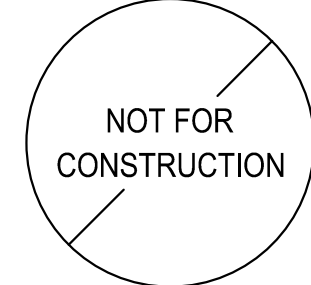
LEGEND		
● IRON FOUND	⊗ BRASS PLUG SET	⊙ SEC. CORNER FOUND
⊗ IRON SET	⊗ MONUMENT FOUND	R RECORDED
⊗ NAIL FOUND	⊗ MONUMENT SET	M MEASURED
⊗ NAIL & CAP SET		C CALCULATED
EXISTING		
—OH-ELEC—W—O—	ELEC. PHONE OR CABLE TV OH LINE, POLE & GUY WIRE	
—UG-CATV—	UNDERGROUND CABLE TV, GUY, PEDESTAL	
—UG-PHONE—	TELEPHONE U.G. CABLE, PEDESTAL & MANHOLE	
—UG-ELEC—	ELECTRIC U.G. CABLE, MANHOLE, METER & HANDHOLE	
—GAS—	GAS MAIN, VALVE & GAS LINE MARKER	
—WATER—	WATERMAIN, HYD. GATE VALVE, TAPPING SLEEVE & VALVE	
—SEWER—	SANITARY SEWER, CLEANOUT & MANHOLE	
—STORM—	STORM SEWER, CLEANOUT & MANHOLE	
—COMB—	COMBINED SEWER & MANHOLE	
—DRAIN—	SQUARE, ROUND & BEEHIVE CATCH BASIN, YARD DRAIN	
—POST—	POST INDICATOR VALVE	
—SHUT—	WATER VALVE BOX/HYDRANT VALVE BOX, SERVICE SHUTOFF	
—IRRI—	VALVE BOX, TRANSFORMER, IRRIGATION CONTROL, VALVE	
—UNID—	UNIDENTIFIED STRUCTURE	
—SPOT—	SPOT ELEVATION	
—CONC—	CONTOUR LINE	
—FENCE—	FENCE	
—GUARD—	GUARD RAIL	
—STREET—	STREET LIGHT	
—SIGN—	SIGN	
—CONC—	CONCRETE	
—ASPH—	ASPHALT	
—GRAVEL—	GRAVEL SHOULDER	
—WET—	WETLAND	

- GENERAL DEMOLITION NOTES:**
- THESE NOTES APPLY TO ALL CONSTRUCTION ACTIVITIES ON THIS PROJECT:
- ALL MATERIAL TO BE REMOVED, WHETHER SPECIFICALLY NOTED IN THE PLANS OR NOT, SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR AND DISPOSED OF OFF-SITE IN A LEGAL MANNER. NO ON-SITE BURY OR BURN PITS SHALL BE ALLOWED.
 - ALL DEMOLITION WORK SHALL CONFORM TO ALL LOCAL CODES AND ORDINANCES.
 - STAGING/PHASING OF DEMOLITION AND CONSTRUCTION IS TO BE COORDINATED WITH THE OWNER AND THE CONTRACTOR PRIOR TO CONSTRUCTION.
 - SPECIFIC DEMOLITION ITEMS HAVE BEEN INDICATED ON THE PLANS AS A GUIDE TO THE GENERAL SCOPE OF THE WORK. IT IS THE INTENT THAT THESE ITEMS SHALL BE COMPLETELY REMOVED BY THE CONTRACTOR ABOVE AND BELOW GROUND, UNLESS SPECIFICALLY NOTED OTHERWISE, AND THAT DEMOLITION WILL INCLUDE BUT WILL NOT NECESSARILY BE LIMITED TO THESE ITEMS. CONTRACTOR SHALL VISIT SITE TO VERIFY EXISTING CONDITIONS AND EXTENTS OF THE DEMOLITION THAT WILL BE REQUIRED PRIOR TO SUBMITTING A BID.
 - REMOVE ALL STRUCTURES DESIGNATED FOR REMOVAL ACCORDING TO THE DEMOLITION PLAN. THIS INCLUDES FOUNDATIONS, FOOTINGS, FOUNDATION WALLS, FLOOR SLABS, UNDERGROUND UTILITIES, CONCRETE, ASPHALT, TREES, ETC.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEAN UP, NOISE, DUST CONTROL, STREET SWEEPING AND HOURS OF OPERATION IN ACCORDANCE WITH THE LOCAL CODES.
 - THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BARRICADES, SIGNAGE, MARKINGS, LIGHTS AND OTHER TRAFFIC CONTROL DEVICES TO PROTECT THE WORK ZONE AND SAFELY MAINTAIN TRAFFIC PER AGENCY REQUIREMENTS AND IN ACCORDANCE WITH THE LATEST EDITION OF THE STATE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
 - THE CONTRACTOR SHALL CONTACT THE APPROPRIATE UTILITY COMPANIES TO CONFIRM THAT UTILITY LEADS HAVE BEEN TAKEN OUT OF SERVICE PRIOR TO DEMOLITION.
 - ALL BUILDING GAS LEADS, METERS AND ASSOCIATED EQUIPMENT SHALL BE REMOVED AS SHOWN ON THE PLANS. COORDINATE ALL ASSOCIATED WORK WITH THE APPROPRIATE UTILITY COMPANY.
 - REMOVE ALL OVERHEAD AND UNDERGROUND ELECTRICAL LINES WITHIN THE AREA OF CONSTRUCTION AS SHOWN ON THE PLANS. COORDINATE SHUTDOWNS AND REMOVALS WITH ELECTRICAL SERVICE PROVIDER OR THE APPROPRIATE UTILITY COMPANY. (NOTE: PHONE AND CABLE T.V. SERVICES MAY ALSO BE LOCATED ON OVERHEAD LINES.)
 - THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL AND REPLACEMENT OF SIGNS AND SUPPORTS WITHIN THE WORK AREA, AS NECESSARY TO FACILITATE CONSTRUCTION. SIGNS SHALL BE PROTECTED OR STOCKPILED FOR REUSE, AS SPECIFIED IN THE PLANS OR AS REQUIRED BY THE AGENCY OF JURISDICTION. THE CONTRACTOR SHALL REPLACE ANY DAMAGED SIGNS AND SUPPORTS AT NO ADDITIONAL COST TO THE OWNER.
 - THE CONTRACTOR SHALL NOTIFY THE APPROPRIATE 811/ONE CALL UTILITY LOCATING CENTER, THE CITY ENGINEER AND/OR THE AUTHORITY HAVING JURISDICTION 3 BUSINESS DAYS PRIOR TO THE BEGINNING OF CONSTRUCTION.

DEMOLITION LEGEND:	
ITEM TO BE PROTECTED	⊙
ITEM TO BE REMOVED	⊗
CURB/FENCE REMOVAL	////
CONCRETE PAVEMENT AND SIDEWALK REMOVAL	XXXX
AREA OR ITEMS TO BE REMOVED	XXXX
UTILITY REMOVAL	XXXX
ASPHALT REMOVAL	XXXX
TREE REMOVAL	XXXX
SAWCUT LINE	---







LEGEND

EXISTING	PROPOSED
● IRON FOUND	● SEC. CORNER FOUND
⊗ IRON SET	⊗ RECORDED
⊗ NAIL FOUND	⊗ MEASURED
⊗ NAIL & CAP SET	⊗ CALCULATED
— OH—ELEC—W—O—	ELEC. PHONE OR CABLE TV O.H. LINE, POLE & GUY WIRE
— UG—CATV—	UNDERGROUND CABLE TV, CATV PEDESTAL
— UG—PHONE—	TELEPHONE U.G. CABLE, PEDESTAL & MANHOLE
— UG—ELEC—	ELECTRIC U.G. CABLE, MANHOLE, METER & HANDHOLE
— GAS—	GAS MAIN, VALVE & GAS LINE WARRER
— WATER—	WATERMAIN, HYD. GATE VALVE, TAPPING SLEEVE & VALVE
— SANITARY—	SANITARY SEWER, CLEANOUT & MANHOLE
— STORM—	STORM SEWER, CLEANOUT & MANHOLE
— COMBINED—	COMBINED SEWER & MANHOLE
— SQUARE, ROUND & BREEVE CATCH BASIN, YARD DRAIN	
— POST INDICATOR VALVE	
— WATER VALVE BOX/HYDRANT VALVE BOX, SERVICE SHUTOFF	
— MAILBOX, TRANSFORMER, IRRIGATION CONTROL VALVE	
— UNIDENTIFIED STRUCTURE	
— SPOT ELEVATION	
— CONTOUR LINE	
— FENCE	
— GUARD RAIL	
— STREET LIGHT	
— SIGN	
— CONC.	CONCRETE
— ASPHL.	ASPHALT
— GRAVEL	GRAVEL SHOULDER

GENERAL UTILITY NOTES:

- ALL UTILITY LINES, STRUCTURES AND TRENCHES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARDS AND REQUIREMENTS OF THE DWSO AND CITY OF DETROIT.
- ALL WATER MAIN AND FITTINGS (3" DIAMETER AND LARGER) SHALL BE DUCTILE IRON, CLASS 56.
- WATER MAIN SERVICE LEADS SHALL BE TYPE "K" ANNEALED SEAMLESS COPPER WITH FLARED FITTINGS, UNLESS OTHERWISE NOTED.
- ALL WATER MAIN SHALL BE PROVIDED WITH A MINIMUM OF 5' OF COVER.
- ALL SANITARY SEWER LEADS SHALL BE POLYVINYL CHLORIDE (PVC) SDR 23.5 PIPE AND FITTINGS. ALL JOINTS TO BE ELASTOMERIC GASKET JOINTS PER ASTM D3212 UNLESS OTHERWISE NOTED.
- SANITARY LEADS SHALL BE PROVIDED WITH CLEANOUTS EVERY 100 FEET AND AT EVERY BEND AS SHOWN. ALL CLEANOUTS TO BE PROVIDED WITH E.J.I.W. #1565 BOX OR EQUAL.
- ALL STORM SEWER 10" DIAMETER OR SMALLER SHALL BE PVC SCH 40 WITH GLOUED JOINTS UNLESS OTHERWISE NOTED.
- ALL STORM SEWER 12" DIAMETER OR LARGER SHALL BE REINFORCED CONCRETE PIPE (RCP C-76) CLASS IV WITH MODIFIED TONGUE AND GROOVE JOINT WITH RUBBER GASKETS UNLESS SPECIFIED OTHERWISE (ASTM C-443).

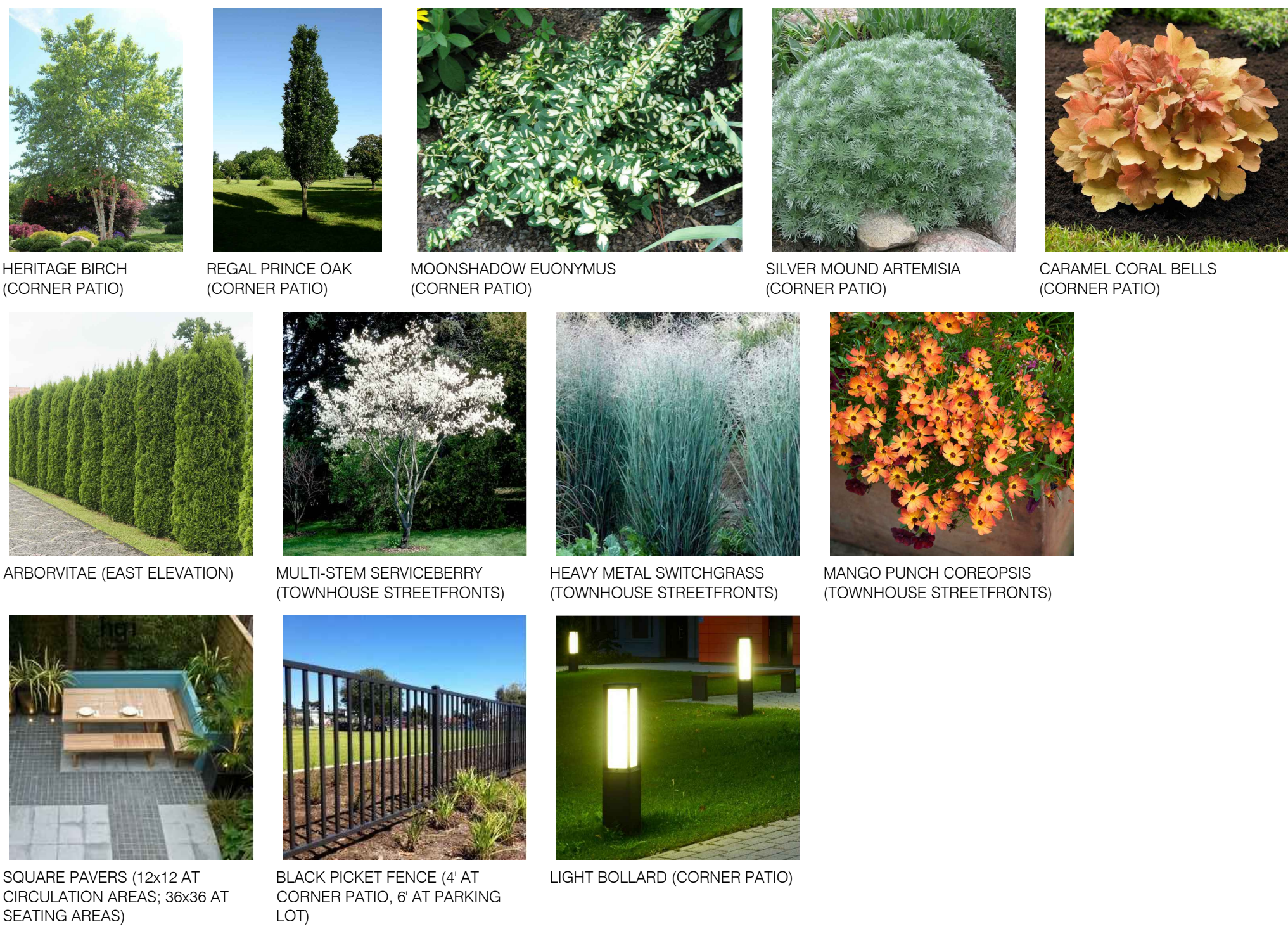
SYMBOLS: GRADING

PROPOSED SPOT GRADE ELEVATION

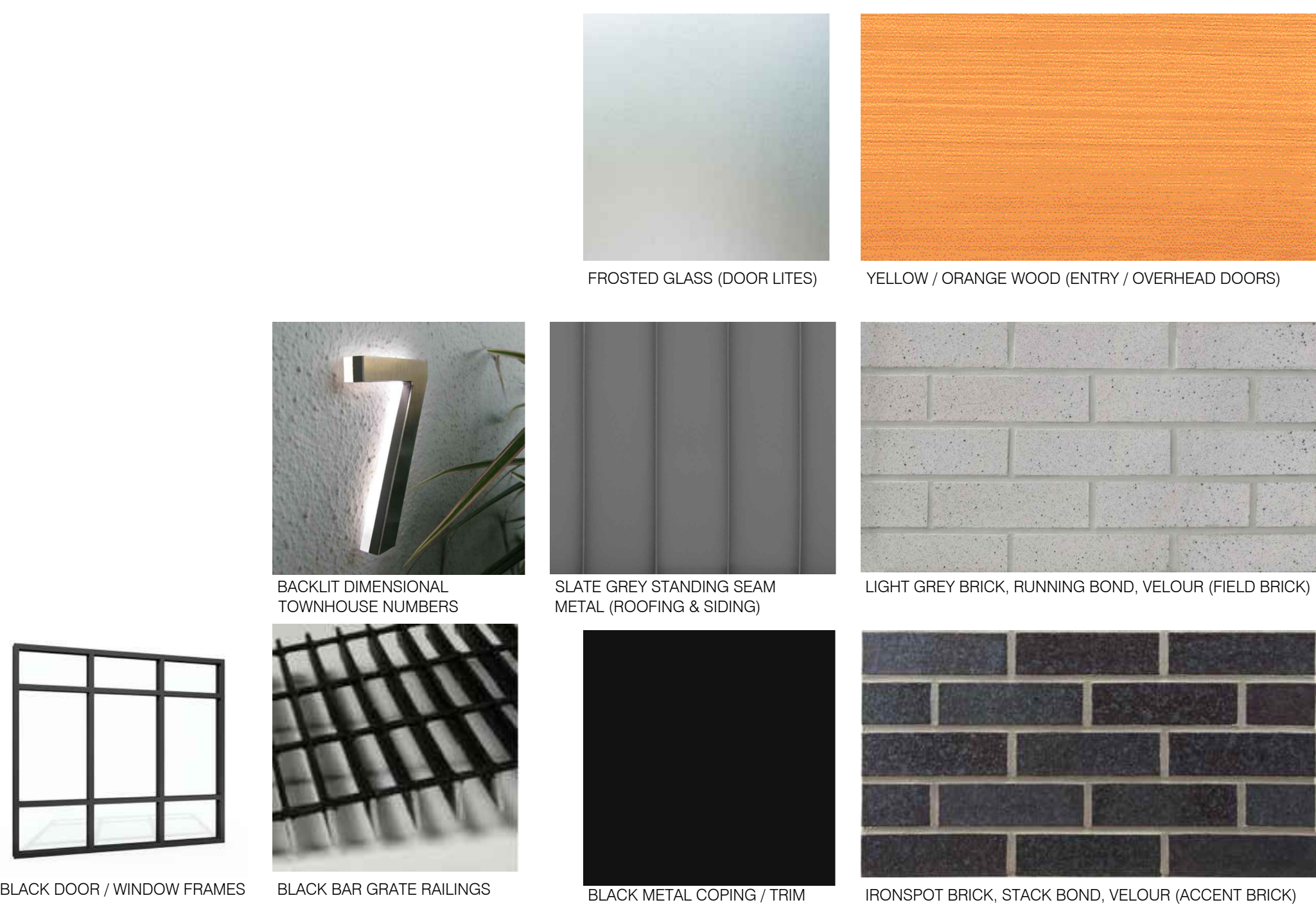
ABBREVIATIONS USED:

FINISH GRADE = F.G.
FINISH FLOOR ELEVATION = F.F.

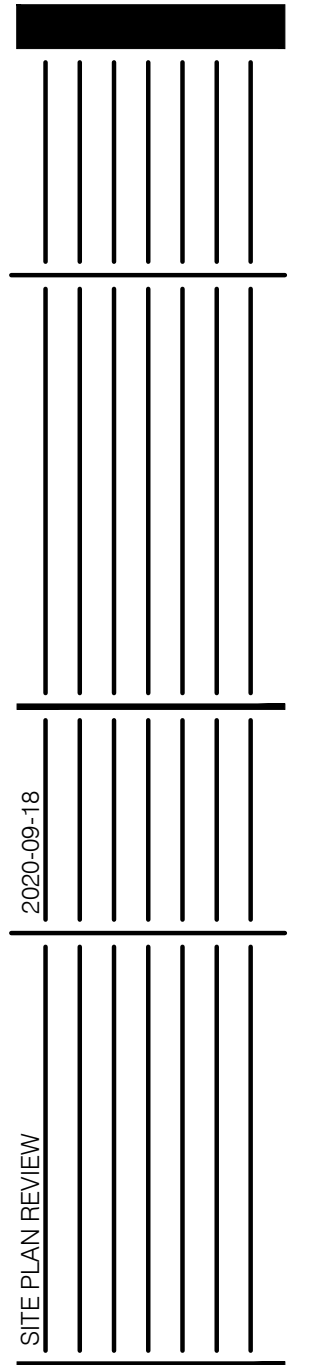
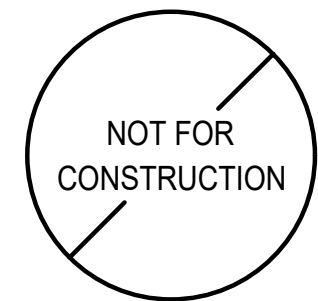
Landscaping Materials

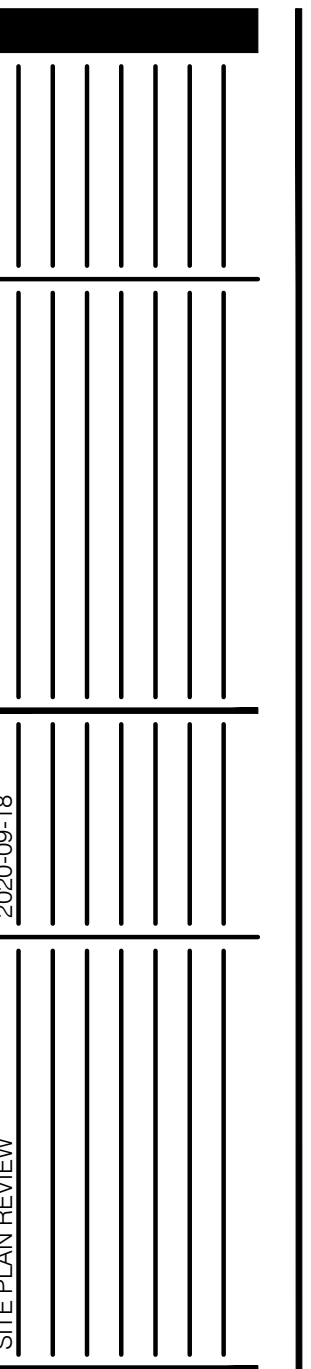
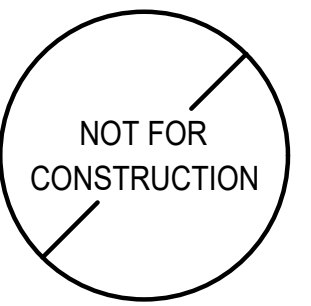


Facade Materials



Exterior Rendering - Intersection Aerial View





Exterior Rendering - Public Alley Perspective



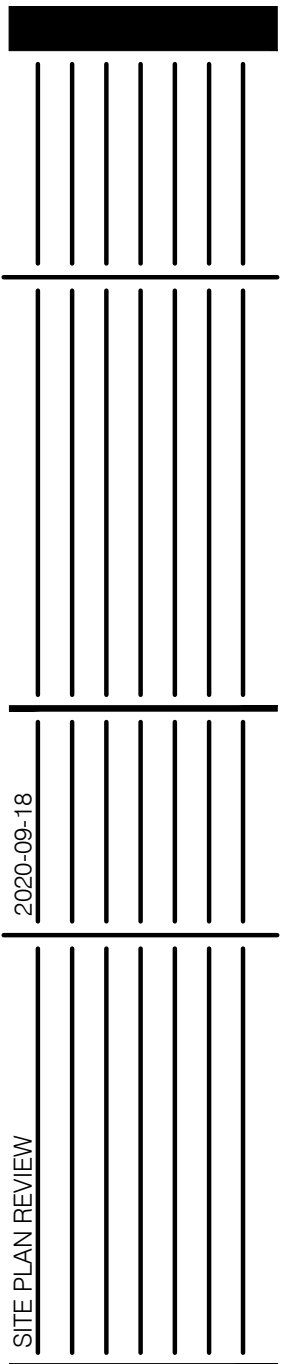
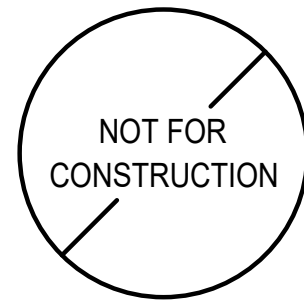
Exterior Rendering - Beaubien Street Elevation



Exterior Rendering - Recreational Space Perspective



Exterior Rendering - Euclid Street Perspective



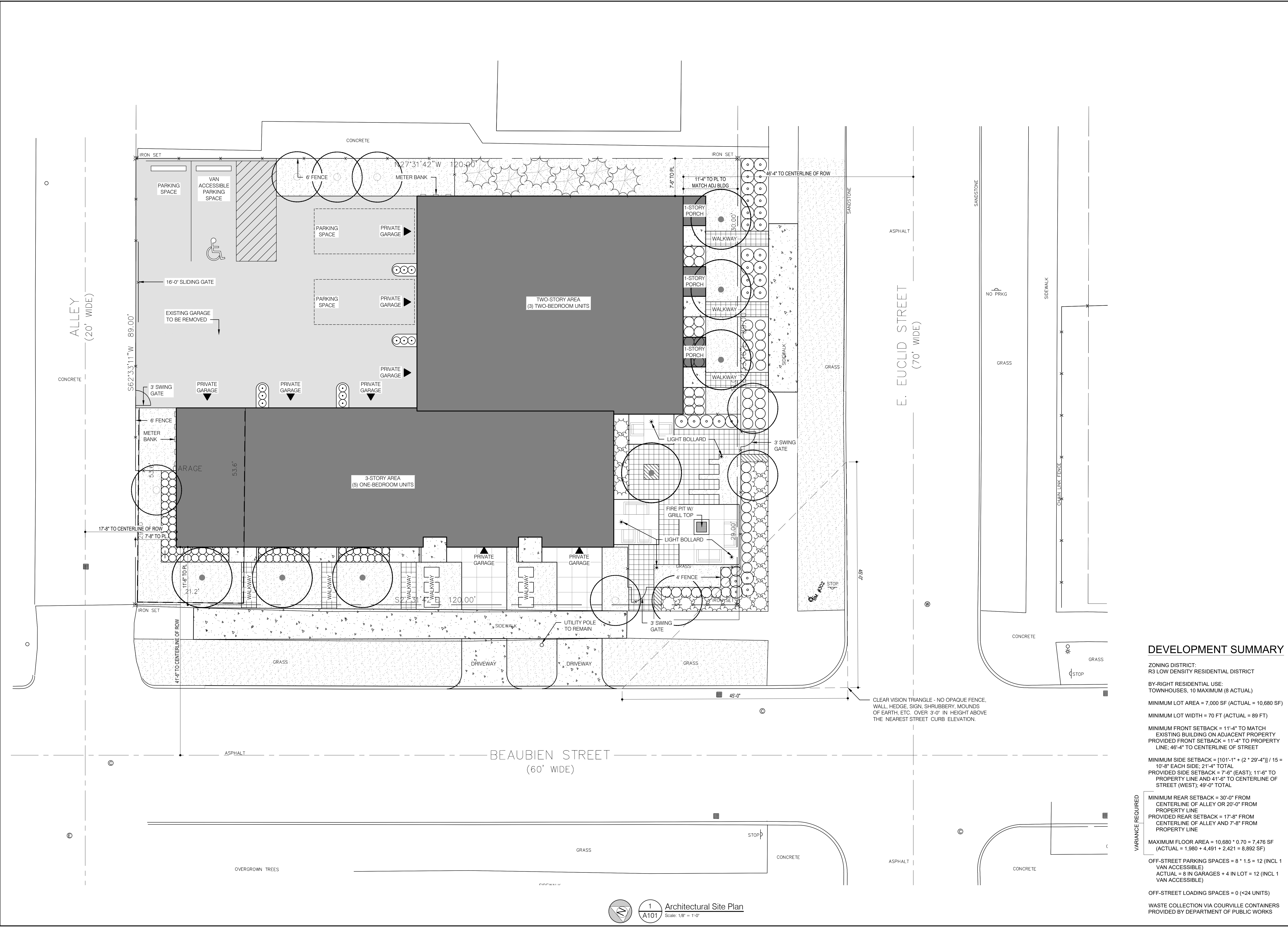
Euclid Corners
Residential Townhouses
509 / 515 E. Euclid St.
Detroit, Michigan 48202

TR
principal in charge
NM
project manager
NM
project architect
EL
drawn
2019.10.17
date



19037
job number

A101
sheet number



DEVELOPMENT SUMMARY

ZONING DISTRICT:
R3 LOW DENSITY RESIDENTIAL DISTRICT

BY-RIGHT RESIDENTIAL USE:
TOWNHOUSES, 10 MAXIMUM (8 ACTUAL)

MINIMUM LOT AREA = 7,000 SF (ACTUAL = 10,680 SF)

MINIMUM LOT WIDTH = 70 FT (ACTUAL = 89 FT)

MINIMUM FRONT SETBACK = 11'-4" TO MATCH
EXISTING BUILDING ON ADJACENT PROPERTY.
PROVIDED FRONT SETBACK = 11'-4" TO PROPERTY
LINE; 46'-4" TO CENTERLINE OF STREET

MINIMUM SIDE SETBACK = $[101'-1" + (2' \times 29'-4")] / 15 =$
10'-8" EACH SIDE; 21'-4" TOTAL
PROVIDED SIDE SETBACK = 7'-6" (EAST); 11'-6" TO
PROPERTY LINE AND 41'-6" TO CENTERLINE OF
STREET (WEST); 49'-0" TOTAL

MINIMUM REAR SETBACK = 30'-0" FROM
CENTERLINE OF ALLEY OR 20'-0" FROM
PROPERTY LINE
PROVIDED REAR SETBACK = 17'-8" FROM
CENTERLINE OF ALLEY AND 7'-8" FROM
PROPERTY LINE

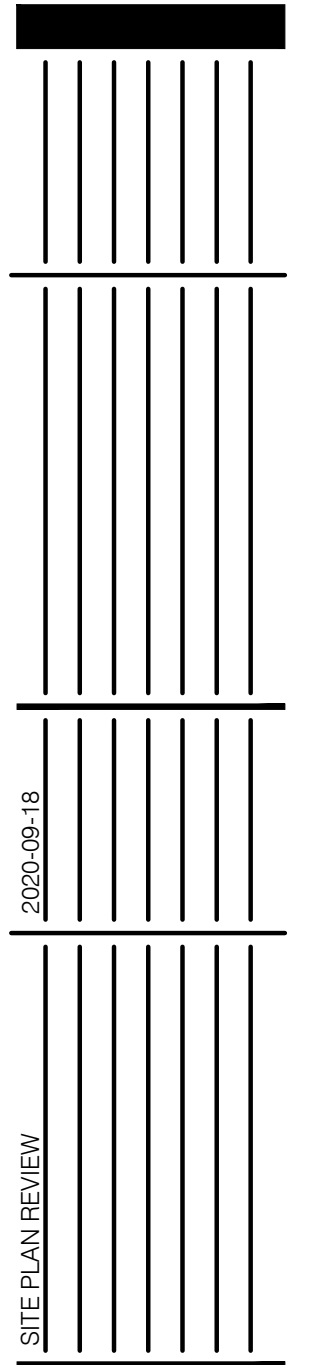
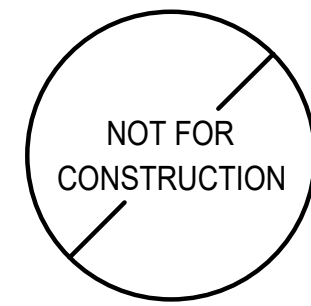
MAXIMUM FLOOR AREA = $10,680 \times 0.70 = 7,476$ SF
(ACTUAL = $1,980 + 4,491 + 2,421 = 8,892$ SF)

OFF-STREET PARKING SPACES = $8 \times 1.5 = 12$ (INCL 1
VAN ACCESSIBLE)
ACTUAL = 8 IN GARAGES + 4 IN LOT = 12 (INCL 1
VAN ACCESSIBLE)

OFF-STREET LOADING SPACES = 0 (<24 UNITS)

WASTE COLLECTION VIA COURVILLE CONTAINERS
PROVIDED BY DEPARTMENT OF PUBLIC WORKS

VARIANCE REQUIRED

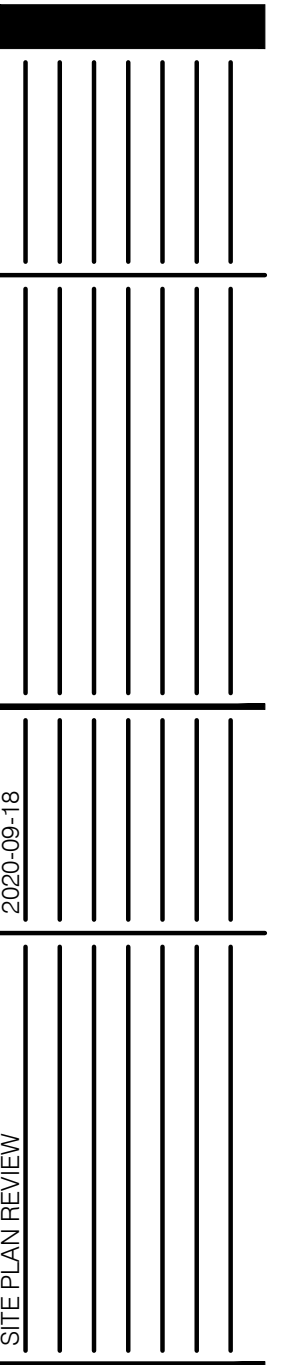
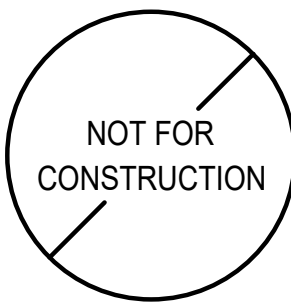


Euclid Corners
Residential Townhouses
509 / 515 E. Euclid St.
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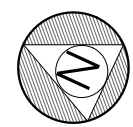


1 First Floor Plan
Scale: 1/4" = 1'-0"

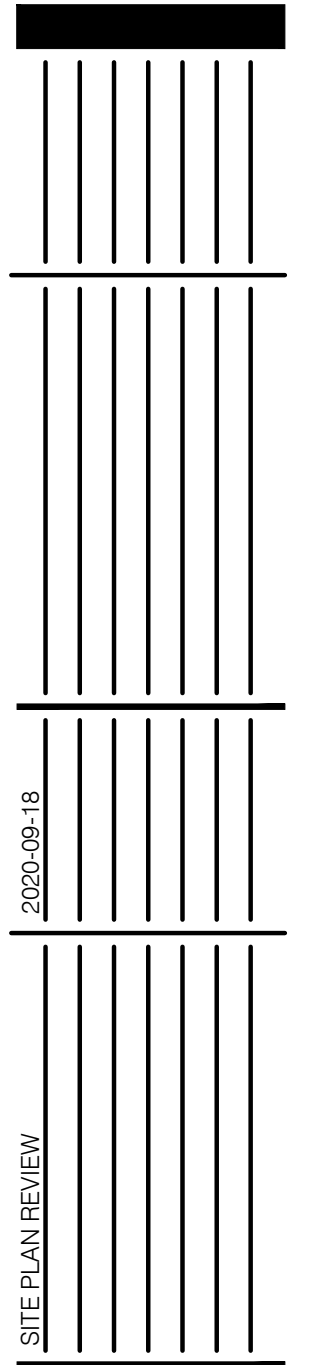
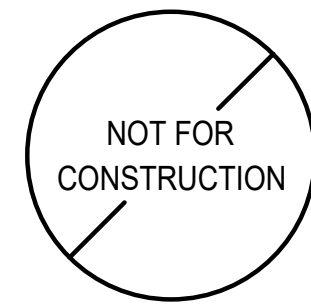


Euclid Corners
Residential Townhouses
509 / 515 E. Euclid St.
Detroit, Michigan 48202

TR
principal in charge
NM
project manager
NM
project architect
EL
drawn
2019.10.17
date



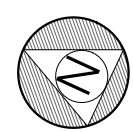
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A202
Second Floor Plan
Scale: 1/4" = 1'-0"



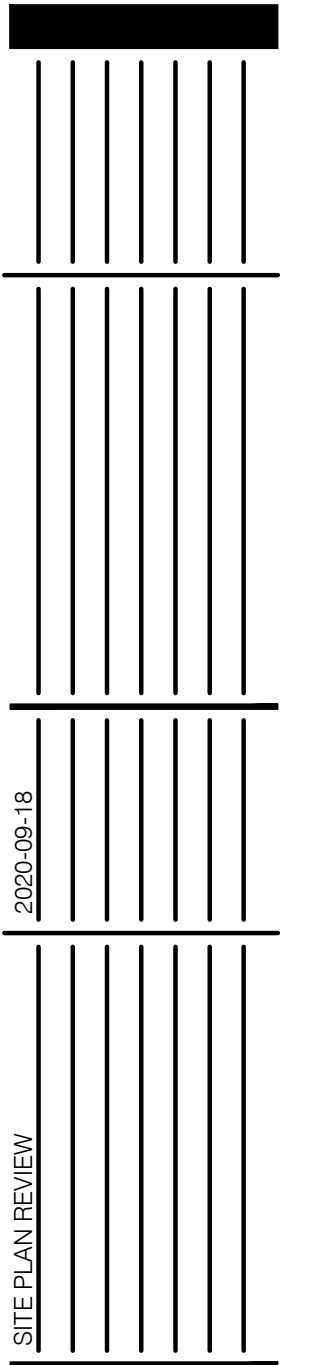
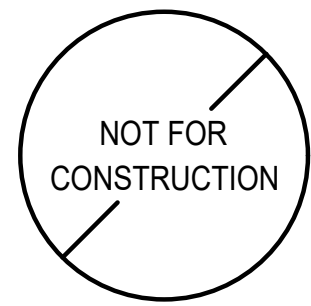
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NM
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NM
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EL
drawn
2019.10.17
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19037
job number
A203
sheet number



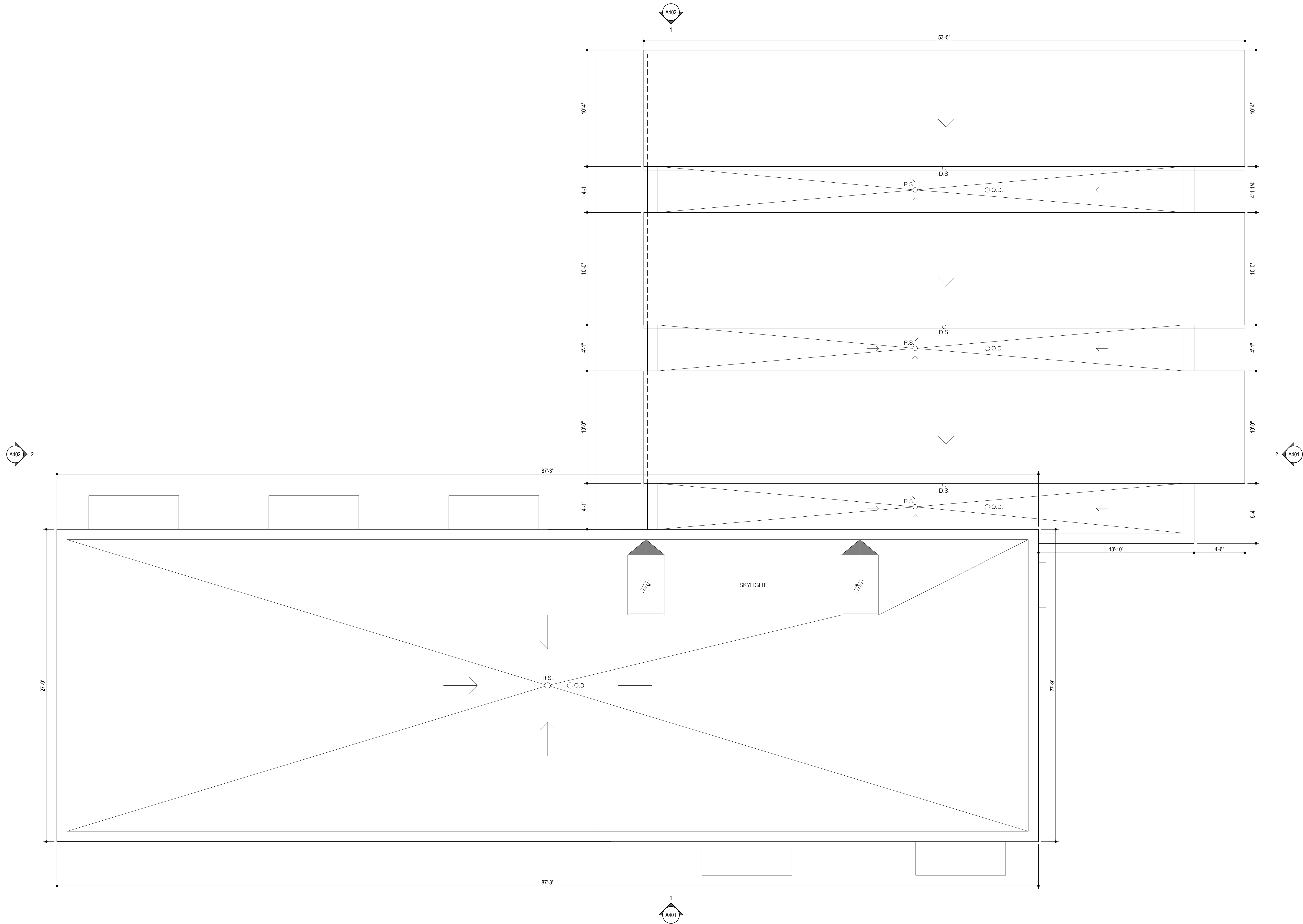
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A203 Third Floor Plan
Scale: 1/4" = 1'-0"

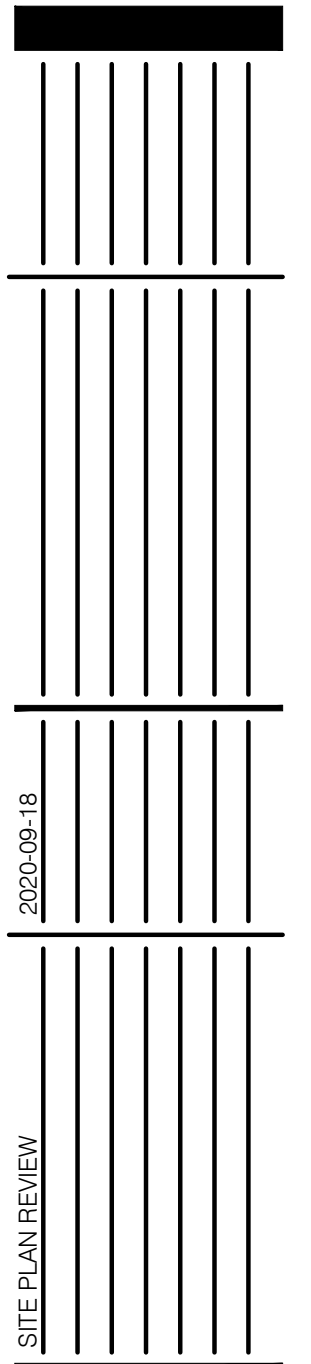
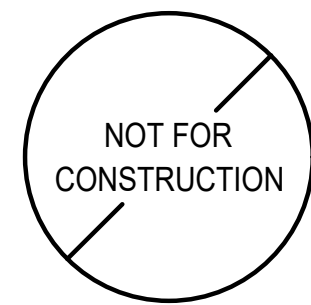


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NM
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NM
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19037
job number
A204
sheet number

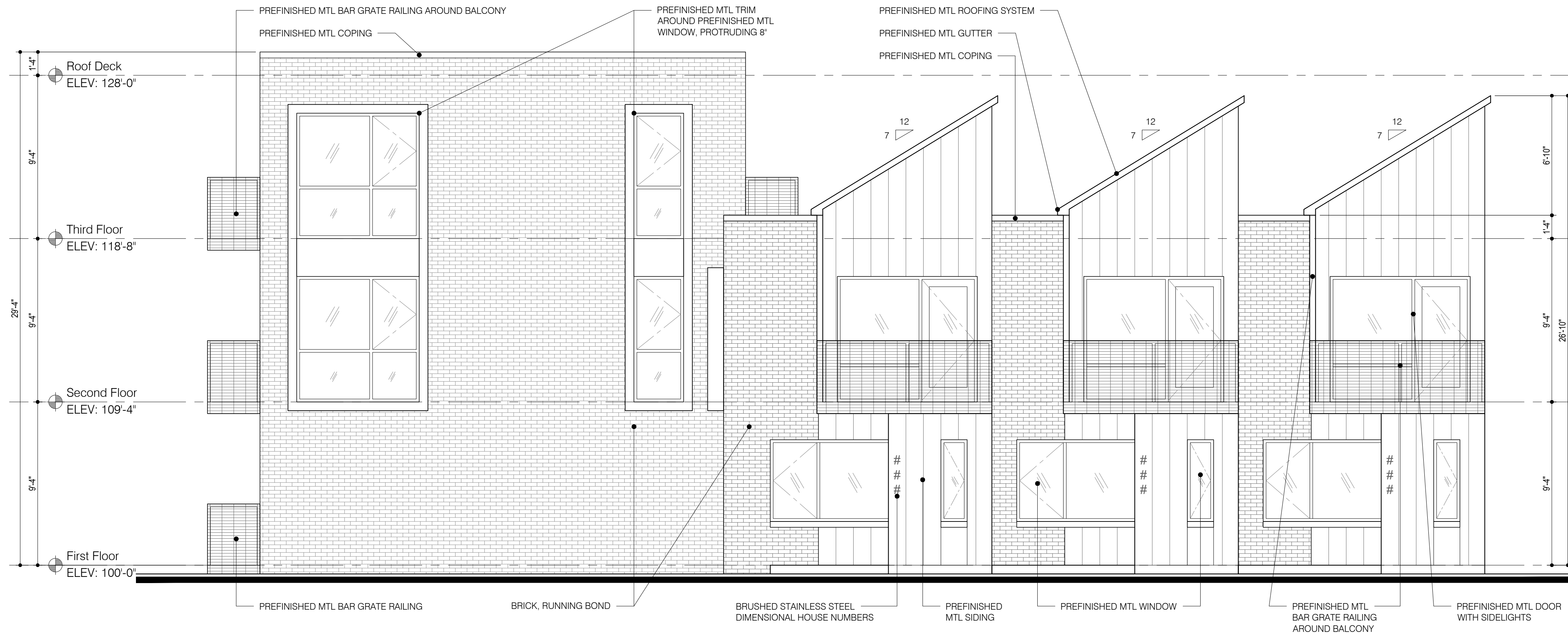




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job number
A401
sheet number



2 South Elevation - Euclid St.
A401 Scale: 1/4" = 1'-0"



1 West Elevation - Beaubien St.
A401 Scale: 1/4" = 1'-0"

TR
principal in charge

NM
project manager

NM
project architect

EL
drawn

2019.10.17
date

