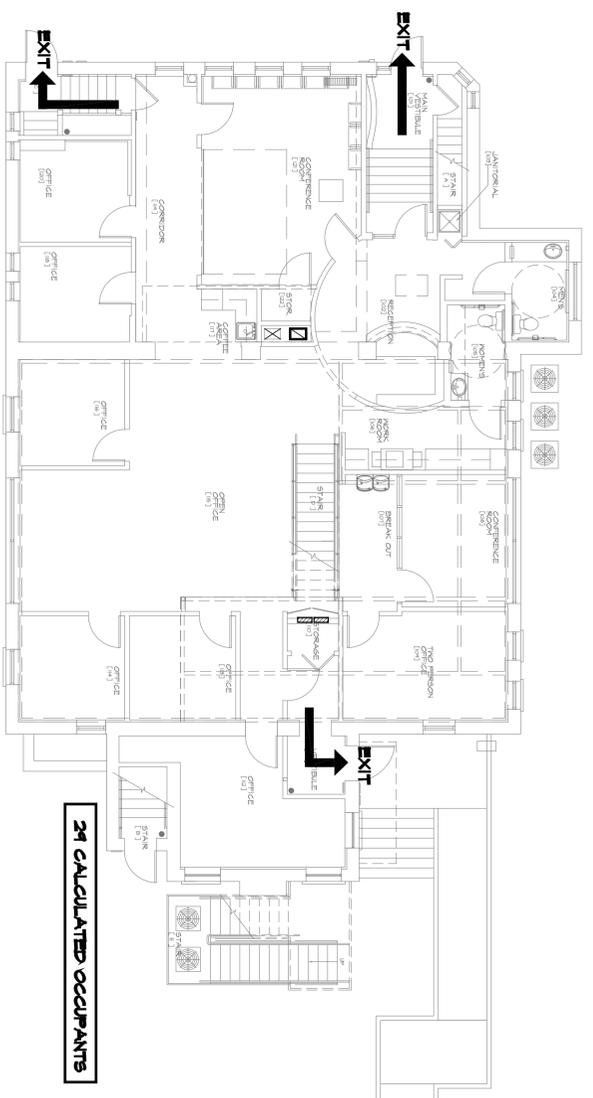
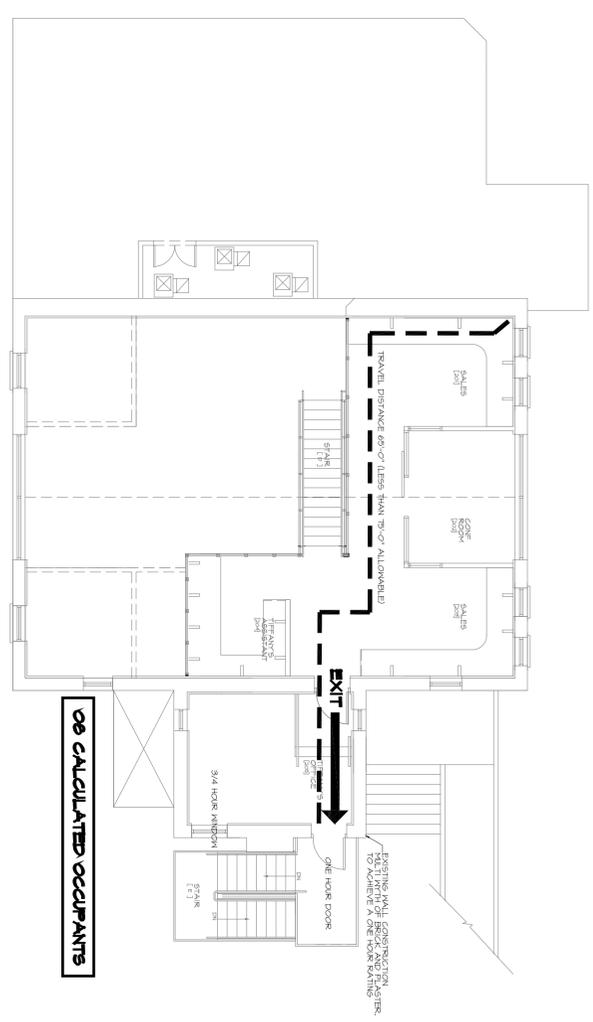


LOWER LEVEL PLAN
1/8" = 1'-0"



FIRST FLOOR PLAN
1/8" = 1'-0"

CODE DATA:
<p>TECHNICAL INEFFECTIVITY FOR OCCUPIED LOWER LEVEL ACCESSIBILITY.</p> <p>1. ALTERATIONS TO THE EXISTING STRUCTURE TO ADD AN ELEVATOR IS TECHNICAL INEFFECTIVITY PER 2012 MICHIGAN REHABILITATION CODE FOR EXISTING BUILDINGS PAGE 14.</p> <p>2. REASONS FOR JUSTIFICATION: FOUNDATION SYSTEMS TO INSTALL THE ELEVATOR PIT.</p> <p>B. - REMOVAL OF THE EXISTING FLOOR SYSTEM SHALL BE LIMITED TO THE SYSTEM INTEGRITY OF THE BUILDING DIAPHRAGM.</p> <p>C. - INSTALLATION FOR NEW COLUMNS, GIRDERS, FOUNDATION PADS TO OCCUR AT THE TOP OF THE STAIRS.</p> <p>STORIES WITHOUT OPENINGS SECTION 403.2.1.11 OF THE 2012 MICHIGAN BUILDING CODE</p> <p>1. PER 2012 MICHIGAN REHABILITATION CODE FOR EXISTING BUILDINGS SECTION 804.2.2 (2) EXCEPTION THE OCCUPANT LOAD SHALL BE LESS THAN 50 AND THE WORK AREA SHALL BE LESS THAN 50% OF THE TOTAL WORK AREA AND THE BUILDING DOES NOT HAVE SUFFICIENT MANUAL WATER SUPPLY FOR THE DESIGN OF A FIRE SPRINKLER SYSTEM.</p> <p>2. THE DESIGN OF A NEW FIRE TAMP, WORK AREAS SHALL BE PROTECTED BY AN AUTOMATIC SMOKE DETECTION SYSTEM.</p> <p>3. THE LOWER LEVEL HAS 3 POINTS OF EGRESS THAT CAN BE USED AS POINTS FOR FIRE FIGHTER ACCESS POINTS TO THE ENTRANCE THAT HAS THE ENTRY BOX SHALL BE LOCATED AT EACH POINT OF ENTRY WITH THE APPROPRIATE DIRECTIONS, AND EXISTING FIRE SERVICE IS CALL THE SUPPRESSION.</p>
<p>SECOND FLOOR SINGLE-EXIT MICHIGAN REHABILITATION CODE FOR EXISTING BUILDINGS 809.3.1.1 (2).</p> <p>1. SECOND FLOOR WITH LESS THAN 30 PEOPLE AND LESS THAN 75 TRAVEL DISTANCE TO THE STAIR AND ADJACENT TO THE STAIR AND DOOR LEADING TO THE STAIR MUST BE ONE HOUR RATED.</p> <p>2. ONE HOUR RATED ON THE STAIR WALL MUST BE 3/4 HOUR RATED PER 2012 MICHIGAN BUILDING CODE TABLE 716.6</p>



SECOND FLOOR PLAN
1/8" = 1'-0"

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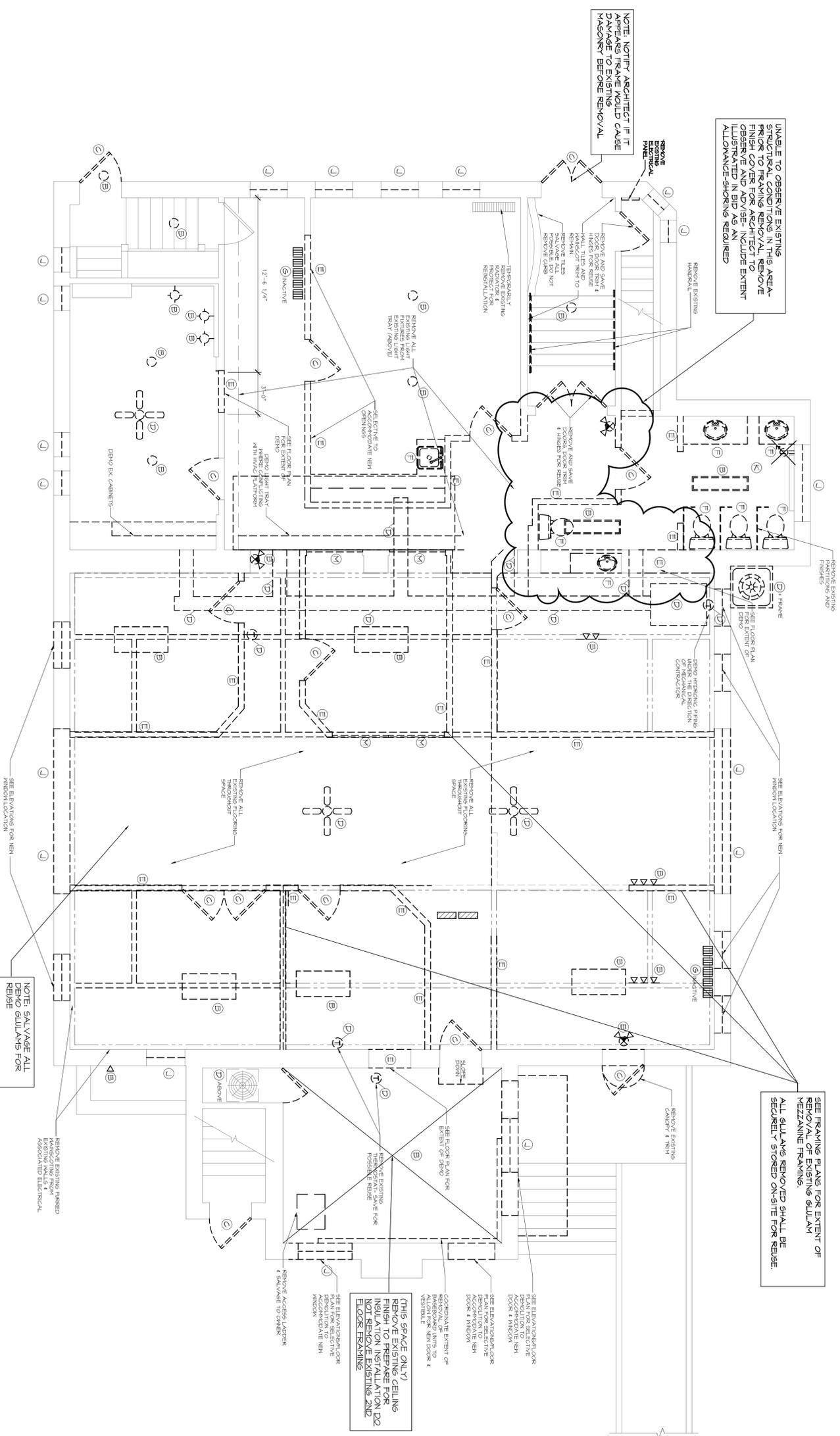
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FIRST FLOOR DEMO PLAN
1/4" = 1'-0"

UNABLE TO OBSERVE EXISTING AREA - PRIOR TO FRAMING REMOVAL REMOVE OBSERVE AND ADVISE - INCLUDE EXTENT ILLUSTRATED IN BID AS AN ALLOWANCE-SHOULDING REQUIRED

NOTE NOTIFY ARCHITECT IF IT APPEARS FRAME WOULD CAUSE DAMAGE TO EXISTING WALLS - BEFORE REMOVAL

SEE FRAMING PLANS FOR EXTENT OF REMOVAL OF EXISTING GULLAY MEZZANINE FRAMING. ALL GULLAYS REMOVED SHALL BE SECURELY STORED ON-SITE FOR REUSE.

(THIS SPACE ONLY) REMOVE EXISTING CEILING FINISH TO PREPARE FOR INSULATION INSTALLATION DO NOT REMOVE EXISTING AND FLOOR FINISHES

NOTE: SALVAGE ALL DEMO GULLAYS FOR REUSE

REFERENCE NOTES	
(A)	REMOVE FACE BEAMS
(B)	REMOVE EXISTING LIGHT FIXTURES AND ASSOCIATED SWITCHING
(C)	DEMO DOOR & FRAME
(D)	DEMO HYAC
(E)	DEMO EXISTING MALL
(F)	DEMO PLUMBING
(G)	REMOVE EXISTING RADIATOR, SALVAGE TO OWNER
(H)	REMOVE EXISTING ELECTRICAL PANEL
(I)	DEMO EXISTING SHELVING
(J)	DEMO EXISTING WINDOW & FRAME SECURE OPENING, WHERE APPLICABLE, SECURELY STORE BRICKLAYER BARS FOR FUTURE REFINISHING AND REINSTALLATION.
(K)	REMOVE EXISTING EXHAUST FAN
(L)	REMOVE EXISTING WINDOW INFILL PANEL, & SECURE OPENING
(M)	SALVAGE EXISTING DOOR PANELS FOR REUSE

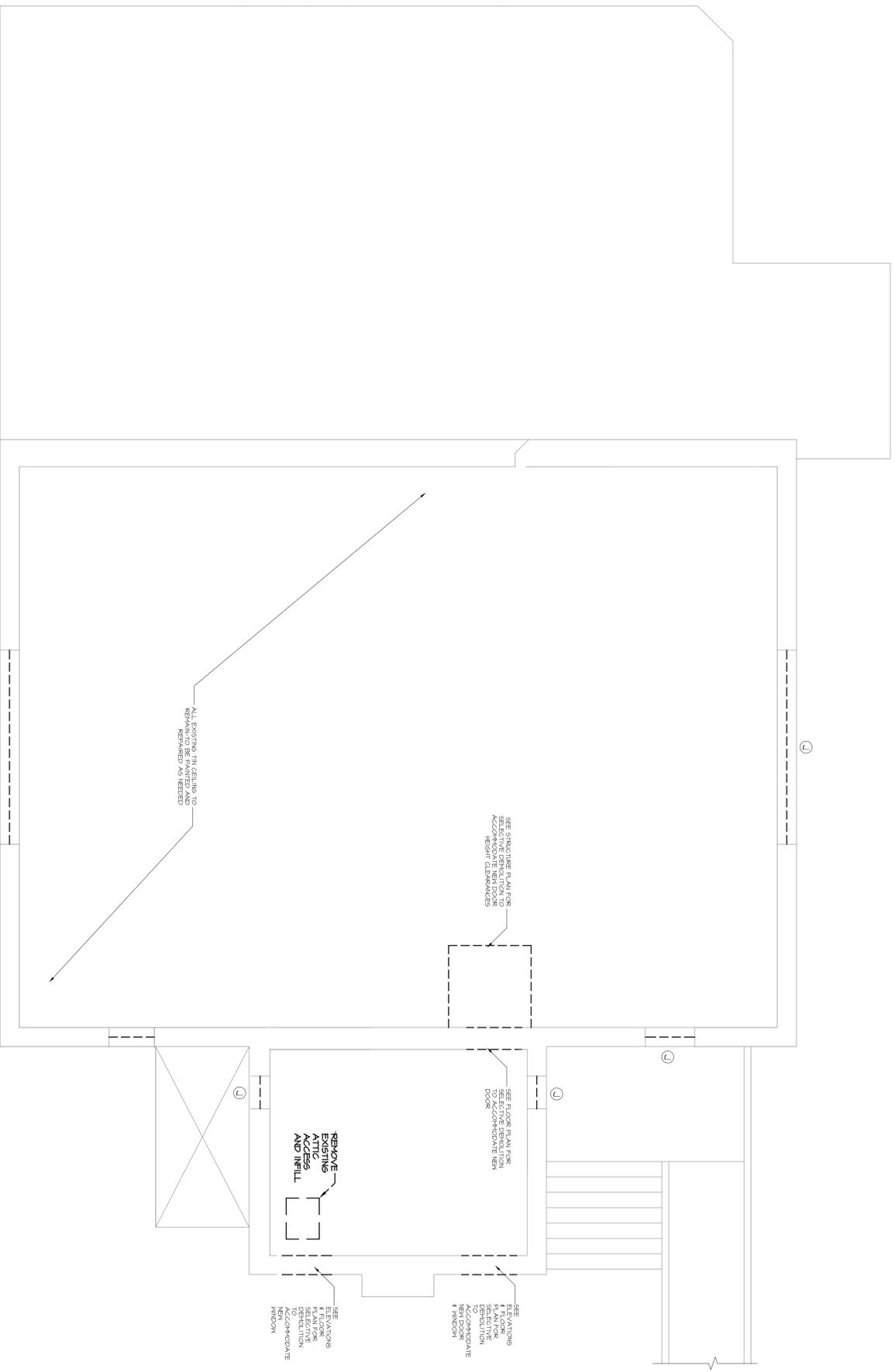
ASBESTOS
PRIOR TO BIDDING OR DEMOLITION, ALL BIDDERS AND SUBCONTRACTORS SHALL OBTAIN A COPY OF THE ENVIRONMENTAL TEST REPORT AND PRICE / FOLLOW PROCEDURES AS NOTED THEREIN. ALL ABATEMENT TO BE ITEMIZED, GIVE DESCRIPTION IN SCOPE.

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WALL LEGEND	
	EXISTING
	TO BE DEMOLISHED

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SECOND FLOOR DEMO PLAN
1/4" = 1'-0"

REFERENCE NOTES

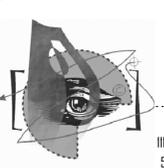
- Ⓐ REMOVE FACE BEAMS
- Ⓑ REMOVE EXISTING LIGHT FIXTURES AND ASSOCIATED SWITCHING
- Ⓒ DEMO DOOR & FRAME
- Ⓓ DEMO HYAC
- Ⓔ DEMO EXISTING MALL
- Ⓕ DEMO PLUMBING
- Ⓖ REMOVE EXISTING RADIATOR, SALVAGE TO OWNER
- Ⓗ REMOVE EXISTING ELECTRICAL PANEL
- Ⓘ DEMO EXISTING SHELVING
- Ⓝ DEMO EXISTING WINDOW & FRAME SECURE OPENING, WHERE APPLICABLE, SECURELY STORE BURGLARY BARS FOR FUTURE REFINISHING AND REINSTALLATION.
- Ⓚ REMOVE EXISTING EXHAUST FAN
- Ⓛ REMOVE EXISTING WINDOW INFILL PANEL, & SECURE OPENING
- Ⓜ SALVAGE EXISTING DOOR PANELS FOR REUSE

ASBESTOS

PRIOR TO BIDDING OR DEMOLITION, ALL SUBPERS, AND SUBCONTRACTORS SHALL OBTAIN A COPY OF THE ENVIRONMENTAL TEST REPORT AND PRICE / FOLLOW PROCEDURES AS NOTED THEREIN. ALL ABATEMENT TO BE ITEMIZED. GIVE DESCRIPTION IN SCOPE.

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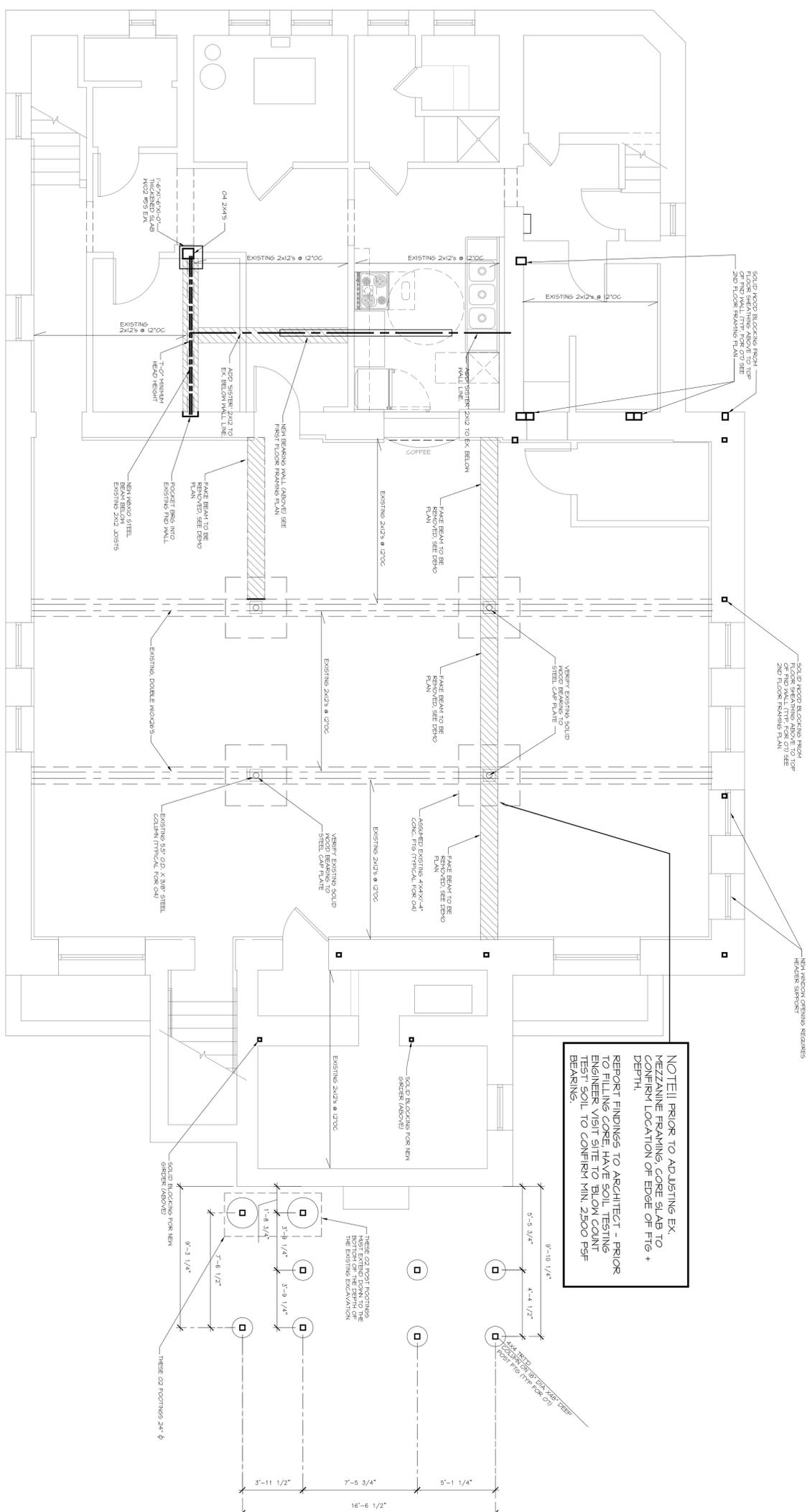
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WALL LEGEND

---	EXISTING
---	TO BE DEMOLISHED

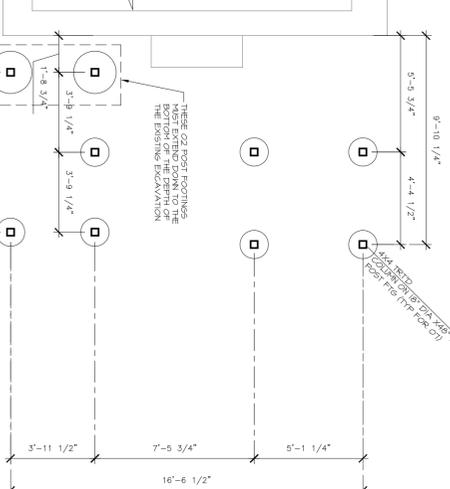
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FIRST FLOOR FRAMING PLAN

1/4" = 1'-0"

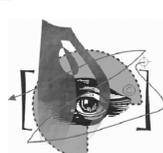
NOTE!! PRIOR TO ADJUSTING EX. MEZZANINE FRAMING, CORE SLAB TO CONFIRM LOCATION OF EDGE OF FTG + DEPTH.
 REPORT FINDINGS TO ARCHITECT - PRIOR TO FINISH CORE. HAVE SOIL TESTING ESTIMATE VIBR. STRENGTH OF EXISTING TEST SOIL TO CONFIRM MIN. 2500 PSF BEARING.



FRAMING PLAN NOTES

1. LOADS
 ROOF LL = 30 PSF GROUND
 SNOX LOAD IV UNBALANCED
 ROOF DL = 20 PSF
 WIND = 115 MPH 3 SECOND 6UST
 /84 MPH SUSTAINED
 FLOOR LL = 50 PSF
 FLOOR DL = 15 PSF
2. WOOD CONSTRUCTION SHALL BE PER AMERICAN INSTITUTE OF TIMBER CONSTRUCTION (AITC) STANDARDS AND SPECIFICATIONS, AND NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION PRODUCTS AS PUBLISHED BY NATIONAL FOREST PRODUCTS ASSOCIATION.
3. ALL LUMBER FRAMING MEMBERS ARE TO HAVE THE FOLLOWING MINIMUM BASE DESIGN VALUES IN ACCORDANCE WITH THE LATEST ISSUE OF THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION (NDS) AS PUBLISHED BY THE NATIONAL FOREST PRODUCTS ASSOCIATION (NFPA).
4. DIMENSIONAL LUMBER SHALL BE:
 1.0.5" - TOP OF STEEL
 1.0.5" - BOTTOM OF STEEL
 4.0" - ANCHOR BOLTS
 4.0" - ANCHOR LATE
 O.C. - ON CENTER
5. ALL LUMBER FRAMING MEMBERS ARE TO HAVE THE FOLLOWING MINIMUM BASE DESIGN VALUES IN ACCORDANCE WITH THE LATEST ISSUE OF THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION (NDS) AS PUBLISHED BY THE NATIONAL FOREST PRODUCTS ASSOCIATION (NFPA).
6. DIMENSIONAL LUMBER SHALL BE:
 1.0.5" - TOP OF STEEL
 1.0.5" - BOTTOM OF STEEL
 4.0" - ANCHOR BOLTS
 4.0" - ANCHOR LATE
 O.C. - ON CENTER
7. ALL LUMBER FRAMING MEMBERS ARE TO HAVE THE FOLLOWING MINIMUM BASE DESIGN VALUES IN ACCORDANCE WITH THE LATEST ISSUE OF THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION (NDS) AS PUBLISHED BY THE NATIONAL FOREST PRODUCTS ASSOCIATION (NFPA).
8. DIMENSIONAL LUMBER SHALL BE:
 1.0.5" - TOP OF STEEL
 1.0.5" - BOTTOM OF STEEL
 4.0" - ANCHOR BOLTS
 4.0" - ANCHOR LATE
 O.C. - ON CENTER
9. MICROSLAM (L.V.) HEADERS SHALL BE:
 T₂ = 285 P.S.I.
 F_c = 285 P.S.I.
 F_{c,comp} = 750 P.S.I.
 E = 1.9
10. PARALLEL (P.S.) BEAMS SHALL BE:
 T₂ = 5260 P.S.I.
 F_c = 207 P.S.I. MIN.
 F_{c,comp} = 425 P.S.I.
 F_{c,post} = 125 P.S.I.
 E = 1.9
11. PARALLEL (P.S.) BEAMS SHALL BE:
 T₂ = 5260 P.S.I.
 F_c = 207 P.S.I. MIN.
 F_{c,comp} = 1365 P.S.I.
 E = 2.0
12. GLUED LAMINATED BEAMS SHALL BE:
 T₂ = 2400 P.S.I.
 F_c = 207 P.S.I.
 E = 1.9
13. HEADERS CONSISTING OF MULTI LAMINATIONS (1E, (B), (3/4"x8 1/4" L.V.), (3) 2X10'S) SHALL HAVE ALL LAMINATIONS FULLY CONNECTED TO PROVIDE UNIFORM TRANSFER OF LOADS TO ALL MEMBERS.
14. PROVIDE DOUBLE STUD AT EACH END OF WOOD HEADERS, TYPICAL, UNLESS NOTED OTHERWISE.
15. UNLESS SHOWN ON PLANS, LOOSE LINTERS OVER OPENINGS SHALL BE 1.5" x 8" L.V. SPANS UP TO 4'-0" 1.4" x 8" (1/2"x1/4" L.V.) SPANS UP TO 6'-0" 1.5" x 8" (1/2"x5/16" L.V.) SPANS UP TO 8'-0"
16. ROOF SHEATHING SHALL BE APA RATED ROOF STANDARDS CONFORMING TO PS 2 OR APA PRE-108 STANDARDS WITH 32/16 GRAIN RATING. THICKNESS AS DESCRIBED ON DRAWINGS.

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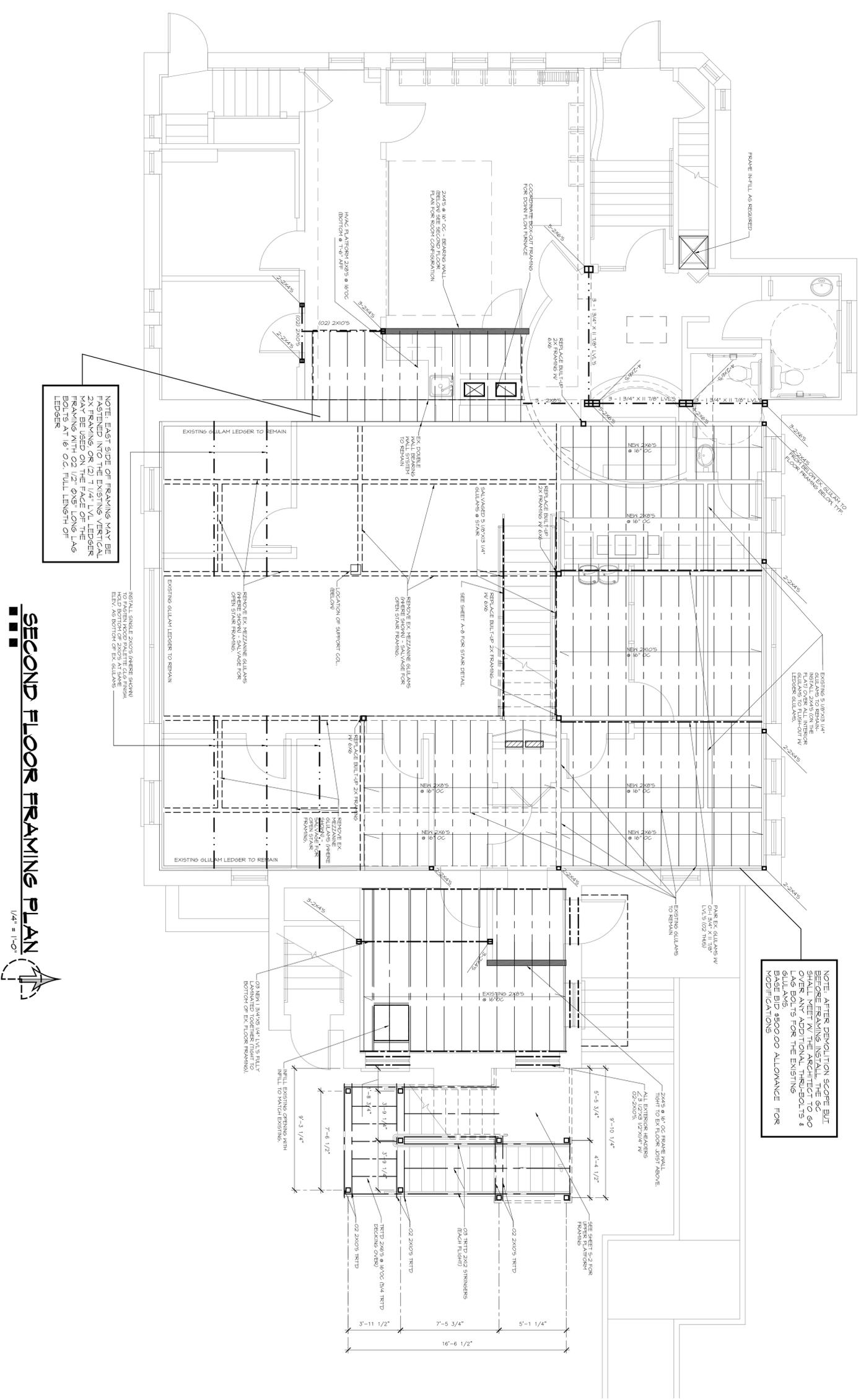
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S-0



NOTE: EAST SIDE OF FRAMING MAY BE FUTURE STAIR WALKWAY. 2X FRAMING OR (2) 1 1/2\"/>

NOTE: AFTER DEMOLITION SCOPE BUT BEFORE FRAMING INSTALL, THE GC SHALL MEET WITH THE ARCHITECT TO GO OVER THE EXISTING GILGAMS & LAG BOLTS FOR THE EXISTING MODIFICATIONS

SECOND FLOOR FRAMING PLAN
 1/4" = 1'-0"

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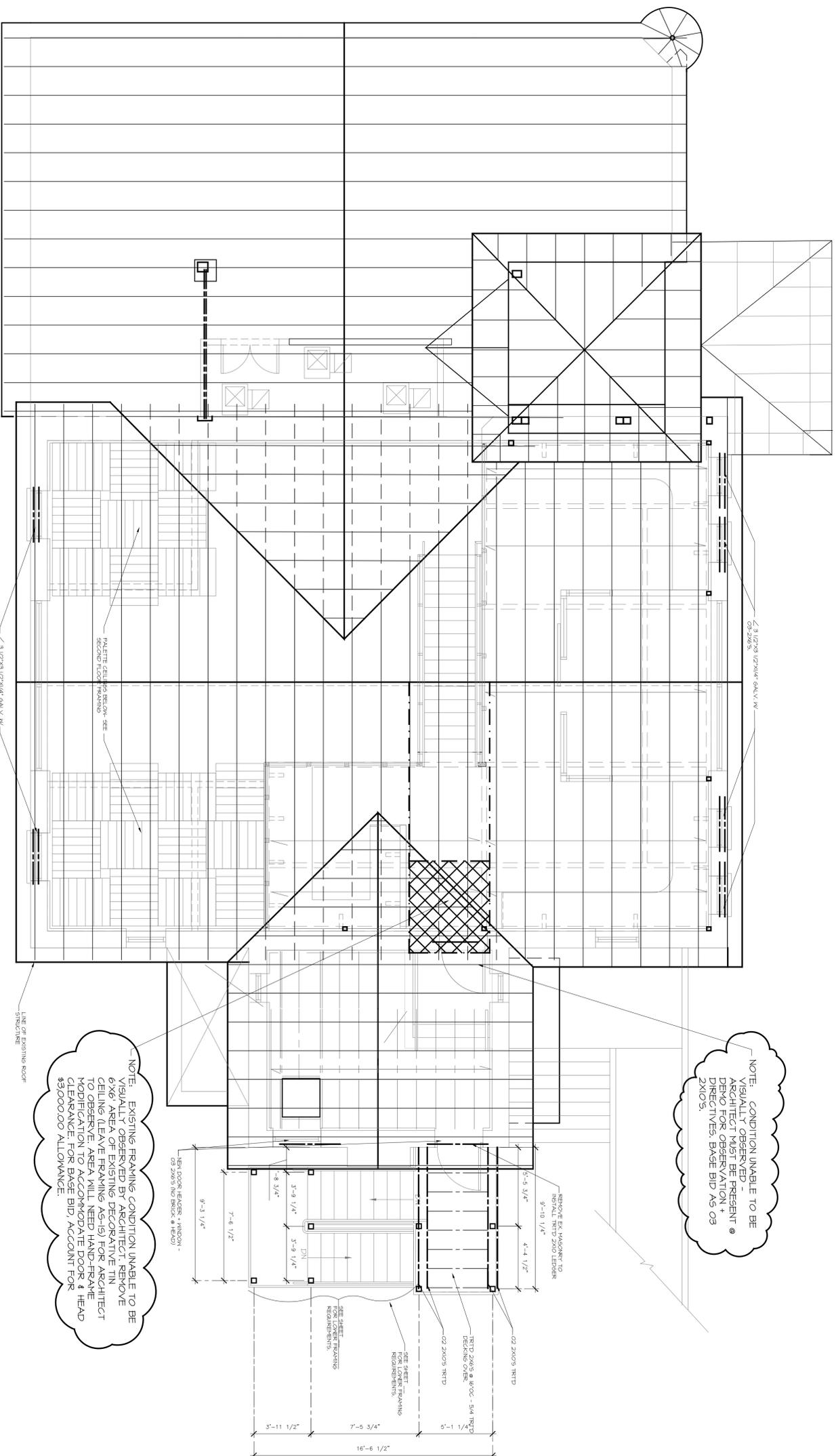
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NOTE: CONDITION UNABLE TO BE VISUALLY OBSERVED - ARCHITECT MUST BE PRESENT @ DEMO FOR OBSERVATION + OS DIRECTIVES. BASE BID AS OS X10'S.

NOTE: EXISTING FRAMING CONDITION UNABLE TO BE VISUALLY OBSERVED BY ARCHITECT. REMOVE 6'x6' AREA OF EXISTING DECORATIVE TIN CEILING (LEAVE FRAMING AS-IS) FOR ARCHITECT TO OBSERVE. AREA WILL NEED HAND-FRAME MODIFICATION TO ACCOMMODATE DOOR & HEAD CLEARANCE. FOR BASE BID, ACCOUNT FOR \$3,000.00 ALLOWANCE.

ROOF FRAMING PLAN
1/4" = 1'-0"

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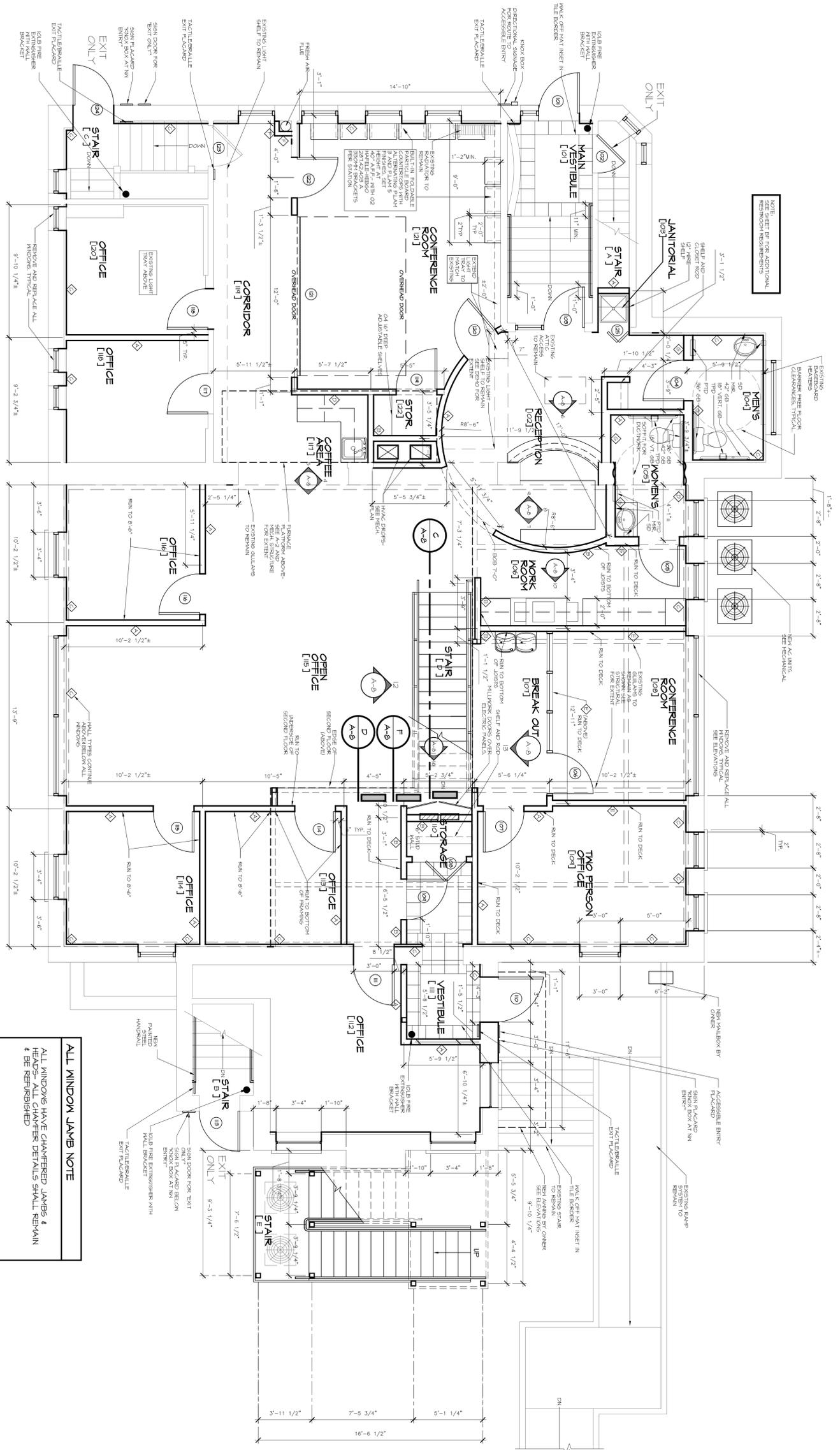
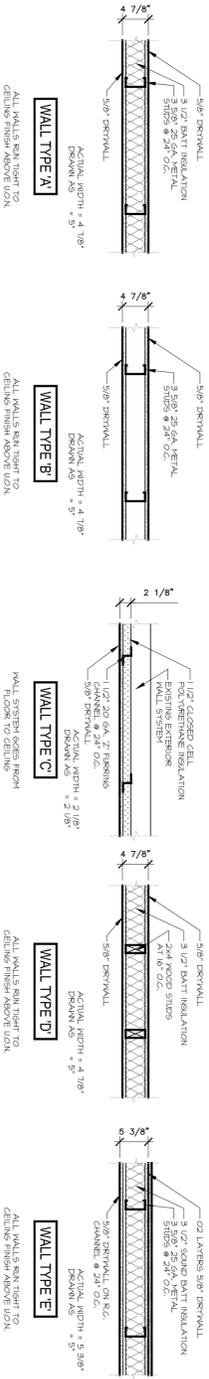
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TOILET ACCESSORIES LEGEND	
TPD - TOILET PAPER DISPENSER	
PTD - PAPER TOWEL DISPENSER/WASTE CONTAINER	
MIR - MIRROR	
SD - SOAP DISPENSER	
GB - GRAB BAR	
SND - SANITARY MARKIN DISPOSAL	



ALL WINDOW JAMB NOTE
ALL WINDOWS HAVE CHAMFERED JAMBS & HEADS- ALL CHAMFER DETAILS SHALL REMAIN & BE REFINISHED

FIRST FLOOR PLAN

1/4" = 1'-0"

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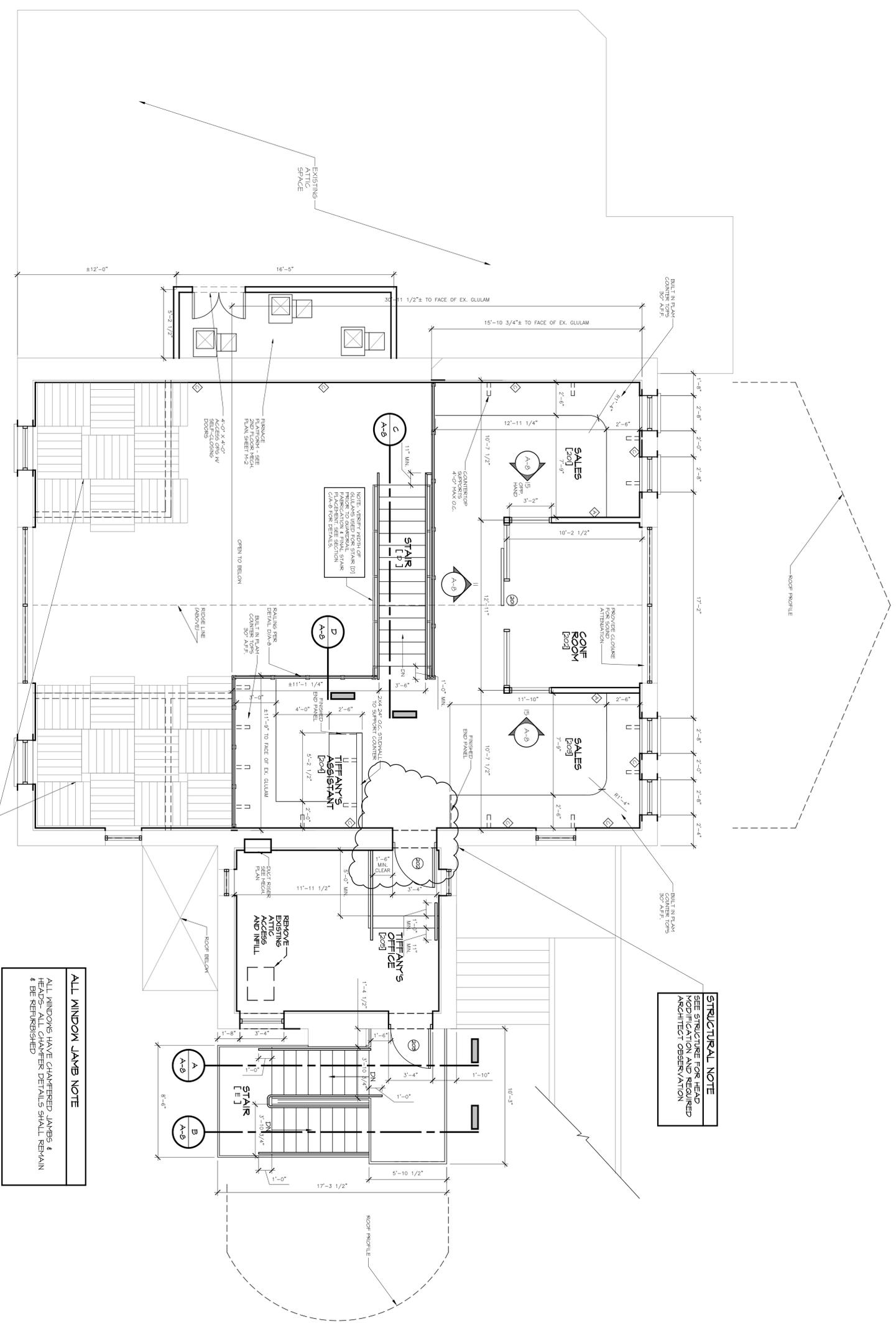
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RAILING NOTE	WHERE RAILINGS ARE SPECIFIED REFERENCE SHEET BF FOR PROPER EXTENSIONS ACCORDING TO CODE REQUIREMENTS
FURNING NOTE	WHERE FURNING OF WALL (WALL TYPE C) OCCURS AT EXISTING GULAN STOP FURNING BELOW FURNING ABOVE GULAN.
WALL LEGEND	EXISTING NEW CONSTRUCTION



SECOND FLOOR PLAN
 1/4" = 1'-0"

WALL LEGEND	
	EXISTING
	NEW CONSTRUCTION

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NEW WINDOW NOTE

- REPLACE ALL EXISTING WINDOWS WITH WINDOWS AS SHOWN ON EXTERIOR ELEVATIONS
- PROVIDE NEW WINDOWS WHERE CALLED FOR ON EXTERIOR ELEVATIONS

WINDOW NOTES

BASE BID AS DRAWN AND NOTED IN CONSTRUCTION DOCUMENTS.

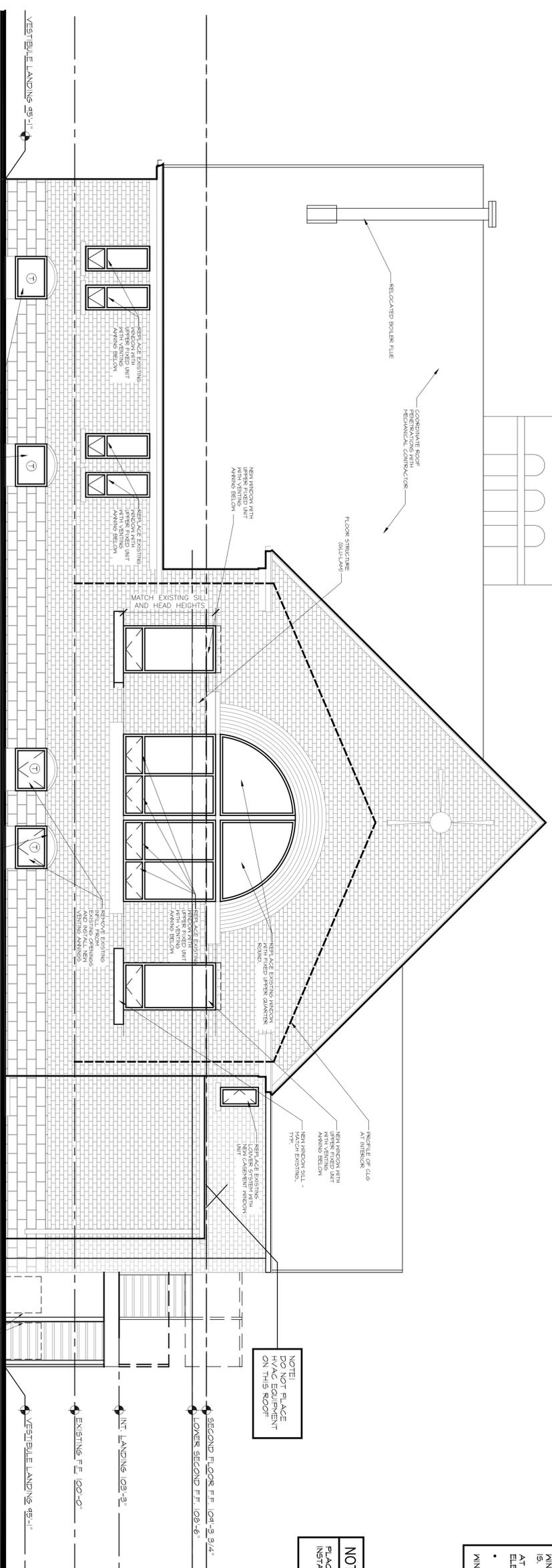
- DEDUCT ALT #1
- DO NOT DEDUCT WINDOWS LABELED J
- DEDUCT ALT #2
- DO NOT ADD (4) NEW WINDOWS ON NORTH ELEVATION
- DEDUCT ALT #3
- LEAVE LOWER LEVEL WINDOWS ON WEST ELEVATION AS IS OTHER THAN REPLACING THE PLYWOOD IN THE (2) WINDOWS WHERE MECHANICAL EQUIPMENT HAS BEEN REMOVED. THE NEW WINDOW FRAMEWORK SHALL BE ON GRADE AND BE PAINTED.
- LEAVE LOWER LEVEL WINDOWS ON NORTH ELEVATION AS IS.
- LEAVE HORIZONTAL WINDOW AT SHORT TOWER ON NORTH ELEVATION AS IS
- DEDUCT ALT #4
- DO NOT ADD (2) NEW WINDOWS ON SOUTH ELEVATION

NOTE:

BLACKED SIGNAGE BY OWNER INSTALLED BY G.C.

NOTE!

DO NOT PLACE HVAC EQUIPMENT ON THIS ROOF



SOUTH ELEVATION
1/4" = 1'-0"

NOTE:

FLASH AND SEAL AT NEW WINDOW AND DOOR OPENINGS

NOTE!!!

EXISTING EXTERIOR WALL ASSEMBLY: BRICK VENEER AND STONE ON AIR SPACE ON 5/8" SHEATHING BOARDS ON 2X6'S AT 16" O.C. WITH GEMENT PLASTER ON LATH AT INTERIOR (DRYWALL SEE FLOOR PLANS). INSULATION BEING ADDED -

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NEW WINDOW NOTE

- REPLACE ALL EXISTING WINDOWS WITH WINDOWS AS SHOWN ON EXTERIOR ELEVATIONS
- PROVIDE NEW WINDOWS WHERE CALLED FOR ON EXTERIOR ELEVATIONS

WINDOW NOTES

BASE BID AS DRAWN AND NOTED IN CONSTRUCTION DOCUMENTS.

- DEDUCT ALT #1
- DO NOT DEDUCT WINDOWS LABELED J
- DO NOT ADD (4) NEW WINDOWS ON NORTH ELEVATION
- DEDUCT ALT #2
- DO NOT ADD (2) NEW WINDOWS ON NORTH ELEVATION
- DEDUCT ALT #3
- LEAVE LOWER LEVEL WINDOWS ON WEST ELEVATION AS IS OTHER THAN REPLACING THE PLYWOOD IN THE (2) WINDOWS WHERE MECHANICAL EQUIPMENT HAS BEEN REMOVED. THE NEW GRADE AND BE PAINTED & CALKED.
- LEAVE LOWER LEVEL WINDOWS ON NORTH ELEVATION AS IS. LEAVE HORIZONTAL WINDOW AT SHORT TOWER ON NORTH ELEVATION AS IS
- DEDUCT ALT #4
- DO NOT ADD (2) NEW WINDOWS ON SOUTH ELEVATION

NOTE:

PLACED SIGNAGE BY OWNER INSTALLED BY O.C.

NOTE:

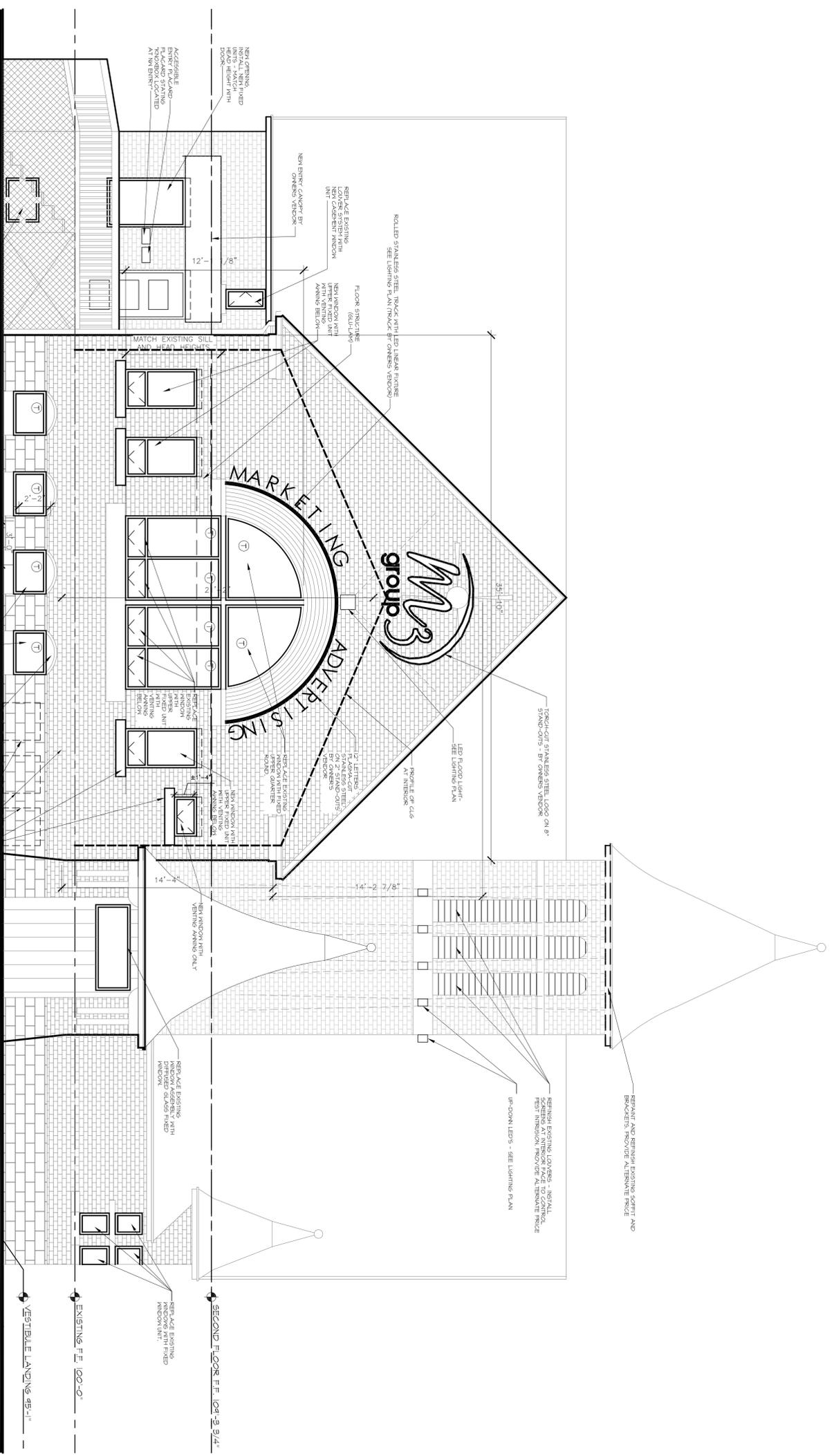
CONTRACTOR TO PROVIDE SEPARATE PRICE TO TUCK POINT EXISTING ELEVATIONS

NOTE:iii

NO SIGNAGE SHALL BE ORDERED, FABRICATED OR INSTALLED WITHOUT FIRST OBTAINING A SIGNAGE PERMIT FROM THE CITY OF LANSING. A BUILDING PERMIT IS NOT A SIGNAGE APPROVAL. SIGNAGE BY OWNER FORMER HOOD-UPS BY O.C.

NOTE:iii

EXISTING EXTERIOR WALL ASSEMBLY BRICK VENEER AND STONE ON AIR SPACE ON 5TH FLOOR. EXISTING EXTERIOR WALL WITH CEMENT PLASTER ON LATH AT INTERIOR. DRYWALL AND CLOSED CELL INSULATION BEING ADDED - SEE FLOOR PLANS.



NORTH ELEVATION
1/4" = 1'-0"

NOTE:

FLASH AND SEAL AT NEW WINDOW AND DOOR OPENINGS

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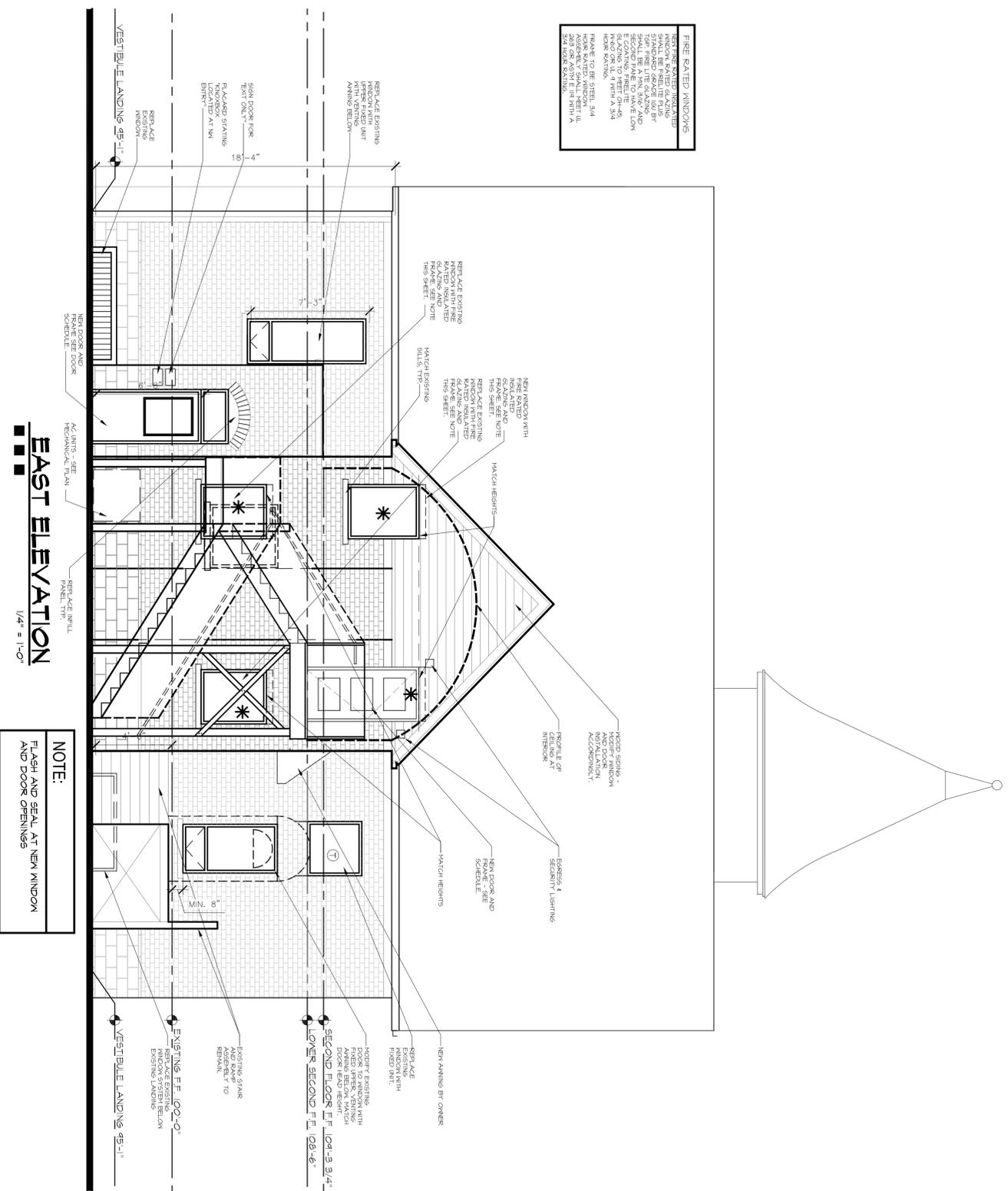
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A-4

FIRE RATED WINDOWS

* DEVOTES FIRE RATED WINDOW/DOOR NEW FIRE RATED INSULATED WINDOW RATED GLAZING SHALL BE FIRELITE PLUS STANDARD GRADE (GL BY TGP) FIRE LITE GLAZING SHALL BE A MIN. 3/16" AND SHALL BE A MIN. 3/16" AND FIRELITE GLAZING TO MEET QH-45, M-60 OR UL 9 WITH A 3/4 HOUR RATING. FRAME TO BE STEEL. 3/4 HOUR RATED WINDOW ASSEMBLY SHALL MEET UL 289 OR ASTM E 119 WITH A 3/4 HOUR RATING.

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NEW FIRE RATED INSULATED WINDOW SHALL BE FIRELITE PLUS STANDARD GRADE (GL BY TGP) FIRE LITE GLAZING SHALL BE A MIN. 3/16" AND SHALL BE A MIN. 3/16" AND FIRELITE GLAZING TO MEET QH-45, M-60 OR UL 9 WITH A 3/4 HOUR RATING. FRAME TO BE STEEL. 3/4 HOUR RATED WINDOW ASSEMBLY SHALL MEET UL 289 OR ASTM E 119 WITH A 3/4 HOUR RATING.



EAST ELEVATION
1/4" = 1'-0"

NOTE:
FLASH AND SEAL AT NEW WINDOW AND DOOR OPENINGS

- FAÇADE NOTES**
1. PROVIDE SEALANT AT EXTERIOR AT THE INTERSECTIONS OF ALL DISSIMILAR MATERIALS ADJACENT MATERIAL.
 2. FIELD VERIFY ALL OPENINGS FOR ALUMINUM STOREFRONT FRAMING PRIOR TO ORDERING OF MATERIALS OR FABRICATION.
 3. PROVIDE ISOLATION COATING BETWEEN ALL DISSIMILAR METALS (I.E.--ALUM TO STEEL).
 4. FABRIC CANOPIES AND SIGNAGE SHALL BE DESIGNED AND PERMITTED BY OWNER'S SIGNAGE SUBCONTRACTOR. ALL ELECTRICAL BY G.C.
 5. SHOULDICE BILLOUSE SILLS/BANDING, LOCAL REPRESENTATIVE DARLING BROTHERS
- PHONE: 517-484-5101
FAX: 517-484-4861
6. ALL EXPOSED STEEL PLATES, ANGLES AND OTHER STRUCTURAL SHAPES SHALL BE PRIMERED AND PAINTED IN THE FIELD.
 7. ALL WORK IN CONTACT WITH CONCRETE OR MASONRY SHALL BE TREATED.

- WINDOW NOTES**
- BASE BID AS DRAWN AND NOTED IN CONSTRUCTION DOCUMENTS.
- DEDUCT ALT #1
 - DO NOT DEMO WINDOWS LABELED 'U'
 - DEDUCT ALT #2
 - DO NOT ADD (4) NEW WINDOWS ON NORTH ELEVATION
 - DEDUCT ALT #3
 - LEAVE LOWER LEVEL WINDOWS ON WEST ELEVATION AS IS OTHER THAN REPLACING THE PLYWOOD IN THE (2) WINDOWS WHERE THE HANDS EIGHT (8) WINDOW FRAME SHALL BE EXTERIOR GRADE AND BE PAINTED & CALKED.
 - LEAVE LOWER LEVEL WINDOWS ON NORTH ELEVATION AS IS.
 - LEAVE HORIZONTAL WINDOW AT SHORT TOWER ON NORTH ELEVATION AS IS
 - DEDUCT ALT #4
 - DO NOT ADD (2) NEW WINDOWS ON SOUTH ELEVATION

NOTE!!!
EXISTING EXTERIOR WALL ASSEMBLY BRICK VENEER TO REMAIN ON A REVENUE ON BRICK SHEATHING BOARDS ON 2X6'S AT 16" O.C. WITH GYPSUM PLASTER ON LATH AT INTERIOR. CEILING AND CLOSED CELL INSULATION BEING ADDED - SEE FLOOR PLANS.

NOTE:
PLACARD SIGNAGE BY OWNER INSTALLED BY G.C.

09/29/16	CLIENT REVIEW
11/07/16	BIDDING AND PERMITS

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Project Type: **OFFICE RENOVATION**

Client: **M3 GROUP**

221 W. SAGINAW ST.
LANSING, MI 48933

Client: **M3 GROUP**

614 SEMOUR AVE.
LANSING, MI 48933

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Project Number: **16.059**

Street: **A-6**

LOWER LEVEL DOOR SCHEDULE

NO.	WIDTH	HEIGHT	THK.	DOOR			REMARKS		
				TYPE	FIN.	FR.			
001	2'-6"	6'-9"	-3/4"	A	S4V	I	PF	208	-
002	3'-0"	7'-0"	-3/4"	A	S4V	I	PF	208	-
003	3'-0"	EX	-3/4"	A	S4V	EX	PT	208	-
004	3'-0"	6'-11"	-3/4"	A	S4V	I	PF	208	-
005	EX	EX	-3/4"	A	S4V	EX	PT	208	-
006	EX	EX	-3/4"	A	S4V	EX	PT	208	-
007	EX	EX	-3/4"	A	S4V	EX	PT	208	-
008	2'-9"	6'-6 1/2"	-3/4"	A	S4V	I	PF	218	-
009	2'-5 1/2"	6'-10"	-3/4"	A	S4V	I	PF	218	-
010	3'-0"	7'-0"	-3/4"	A	S4V	I	PF	208	-
011	3'-0"	6'-9"	-3/4"	M	S4V	I	PF	178	-

FIRST FLOOR DOOR SCHEDULE

NO.	WIDTH	HEIGHT	THK.	DOOR			REMARKS		
				TYPE	FIN.	FR.			
101	4'-4"	6'-1 1/2"	-3/4"	F	ANOD*	2	ANOD*	ID	-
102	2'-0"	7'-0"	-3/4"	A	S4V	I	PF	5B*	-
103	5'-0"	6'-11"	-3/4"	E	S4V	5	ANOD*	#7	-
104	3'-0"	7'-0"	-3/4"	A	S4V	I	PF	7B	-
105	3'-0"	7'-0"	-3/4"	A	S4V	I	PF	7B	-
106	3'-0"	7'-0"	-3/4"	A	ANOD*	3	ANOD*	#7	-
107	3'-0"	7'-0"	-3/4"	G	S4V	I	PF	2B	-
108	4'-0"	7'-0"	-3/4"	H	S4V	I	PF	2B	-
109	3'-0"	7'-0"	-3/4"	G	S4V	I	PF	2B	-
110	3'-0"	7'-0"	-3/4"	K	ANOD*	I	ANOD*	ID	-
111	3'-0"	7'-0"	-3/4"	A	S4V	I	PF	2B	-
112	2'-8"	-	-	K	ANOD*	I	ANOD*	#8	-
114	3'-0"	7'-0"	-3/4"	G	S4V	I	PF	2B	-
115	3'-0"	7'-0"	-3/4"	G	S4V	I	PF	2B	-
116	3'-0"	7'-0"	-3/4"	G	S4V	I	PF	2B	-
117	3'-0"	6'-9"	-3/4"	G	S4V	I	PF	2B	-
118	3'-0"	7'-0"	-3/4"	G	S4V	I	PF	2B	-
119	3'-0"	7'-0"	-3/4"	A	S4V	I	PF	7B	-
120	3'-0"	7'-0"	-3/4"	G	S4V	I	PF	2B	-
121	12'-0"	8'-0"	-3/4"	B	ANOD*	I	-	-	-
122	3'-0"	EX	-3/4"	A	S4V	EX	PT	5B	-
123	EX	EX	-3/4"	A	S4V	EX	PT	5B	-
124	3'-0"	7'-0"	-3/4"	J	BLK	4	BLK	#8	-
125	2'-0"	7'-0"	-3/4"	K	S4V	I	*	*	-

SECOND FLOOR DOOR SCHEDULE

NO.	WIDTH	HEIGHT	THK.	DOOR			REMARKS		
				TYPE	FIN.	FR.			
201	4'-0"	7'-0"	-3/4"	D	S4V	-	-	-	
202	3'-0"	7'-0"	-3/4"	G	S4V	I	PF	2B	-
203	3'-0"	7'-0"	-3/4"	L	BLK	6	PF	ID	-

NOTES

- FIELD VERIFY OPES PRIOR TO ORDERING OR FABRICATING MATERIALS
- ① = TEMPERED
- EACH PANE OF TEMPERED GLAZING SHALL BE LABELED TO SPECIFY THE LABELER, THE SAFETY GLAZING STANDARD, THE TYPE AND THE THICKNESS. THE LABEL SHALL BE ACID-ETCHED SAND BLASTED CERAMIC FIRED OR EMBOSSED OR SHALL BE OF A TYPE THAT ONCE APPLIED CANNOT BE REMOVED WITHOUT BEING DESTROYED
- ALL HARDWARE KEYS SHALL HAVE A DULL CHROME FINISH
- ALL HARDWARE KEYS SHALL BE COORDINATED WITH THE OWNER
- ALL HARDWARE NOTED ARE STANDARD SETS AS PROVIDED BY BUILDERS' HARDWARE 517-932-419 PHONE, 517-932-6421 FAX
- PASSAGE HARDWARE- COORDINATE WITH ALUMINUM DOOR MANUFACTURER AND OWNER
- DOORS 113, AND 124 SHALL BE EXITS ONLY, COORDINATE HARDWARE WITH ALUMINUM DOOR MANUFACTURER AND OWNER

HARDWARE SCHEDULE

NO.	DESCRIPTION	REMARKS
1 ea	Hardware Set #1D	Primary Building Entrance - Aluminum door/frame
1 ea	Hardware Set #1E	Each door to have:
3 ea	Stanley hinges FB8179-4-1/2x4-1/2 US28D	Norton door closer
1 ea	Adams/Rite lever latch	Schlage cylinder 20-001 or 20-022 US28D
1 ea	Norton door closer 1601 AL	Manufacturer's standard threshold and weathersels
1 ea	Hardware Set #1B	Hardware Set #1B
1 ea	Hardware Set #1A	Primary Building Entrance WDXMF
1 ea	Hardware Set #1C	Each door to have:
3 ea	Stanley hinges FB8179-4-1/2x4-1/2 US28D	Stanley hinges FB8179-4-1/2x4-1/2 US28D
1 ea	Norton door closer 1601 AL x 5B	Schlage passage latch AL105 Sat 626 x 10-025
1 ea	Pemko threshold 2005AV - 36"	Schlage passage latch AL105 Sat 626 x 10-025
1 ea	Hardware Set #4B	Hardware Set #4B
1 ea	Hardware Set #4A	Interior Side Doors WDXMF
1 ea	Hardware Set #4C	Each door to have:
3 ea	Stanley hinges FB8179-4-1/2x4-1/2 US28D	Stanley hinges FB8179-4-1/2x4-1/2 US28D
1 ea	Norton door closer 1601 AL x 5B	Schlage passage latch AL105 Sat 626 x 10-025
1 ea	Pemko threshold 2005AV - 36"	Schlage passage latch AL105 Sat 626 x 10-025
1 ea	Hardware Set #5B	Hardware Set #5B
1 ea	Hardware Set #5A	Private Office with lockset WDXMF
1 ea	Hardware Set #5C	Each door to have:
3 ea	Stanley hinges FB8179-4-1/2x4-1/2 US28D	Stanley hinges FB8179-4-1/2x4-1/2 US28D
1 ea	Norton door closer 1601 AL x 5B	Schlage lever lockset AL539D SAT 626 x 10-025
1 ea	Hardware Set #7A	Hardware Set #7A
1 ea	Hardware Set #7B	Storage/Utility Room WDXMF
1 ea	Hardware Set #7C	Each door to have:
3 ea	Stanley hinges FB8179-4-1/2x4-1/2 US28D	Stanley hinges FB8179-4-1/2x4-1/2 US28D
1 ea	Norton door closer 1601 AL x 5B	Schlage lever lockset AL539D SAT 626 x 10-025
1 ea	Hardware Set #20A	Hardware Set #20A
1 ea	Hardware Set #20B	Private Toilet Room WDXMF
1 ea	Hardware Set #20C	Each door to have:
3 ea	Stanley hinges FB8179-4-1/2x4-1/2 US28D	Stanley hinges FB8179-4-1/2x4-1/2 US28D
1 ea	Norton door closer 1601 AL x 5B	Schlage lever privacy lock AL405 SAT 626 x 10-026
1 ea	Hardware Set #21A	Hardware Set #21A
1 ea	Hardware Set #21B	Private Toilet Room WDXMF
1 ea	Hardware Set #21C	Each door to have:
3 ea	Stanley hinges FB8179-4-1/2x4-1/2 US28D	Stanley hinges FB8179-4-1/2x4-1/2 US28D
1 ea	Norton door closer 1601 AL x 5B	Schlage lever privacy lock AL405 SAT 626 x 10-026
1 ea	Hardware Set #22A	Hardware Set #22A
1 ea	Hardware Set #22B	Private Toilet Room WDXMF
1 ea	Hardware Set #22C	Each door to have:
3 ea	Stanley hinges FB8179-4-1/2x4-1/2 US28D	Stanley hinges FB8179-4-1/2x4-1/2 US28D
1 ea	Norton door closer 1601 AL x 5B	Schlage lever privacy lock AL405 SAT 626 x 10-026
1 ea	Hardware Set #23A	Hardware Set #23A
1 ea	Hardware Set #23B	Private Toilet Room WDXMF
1 ea	Hardware Set #23C	Each door to have:
3 ea	Stanley hinges FB8179-4-1/2x4-1/2 US28D	Stanley hinges FB8179-4-1/2x4-1/2 US28D
1 ea	Norton door closer 1601 AL x 5B	Schlage lever privacy lock AL405 SAT 626 x 10-026
1 ea	Hardware Set #24A	Hardware Set #24A
1 ea	Hardware Set #24B	Private Toilet Room WDXMF
1 ea	Hardware Set #24C	Each door to have:
3 ea	Stanley hinges FB8179-4-1/2x4-1/2 US28D	Stanley hinges FB8179-4-1/2x4-1/2 US28D
1 ea	Norton door closer 1601 AL x 5B	Schlage lever privacy lock AL405 SAT 626 x 10-026
1 ea	Hardware Set #25A	Hardware Set #25A
1 ea	Hardware Set #25B	Private Toilet Room WDXMF
1 ea	Hardware Set #25C	Each door to have:
3 ea	Stanley hinges FB8179-4-1/2x4-1/2 US28D	Stanley hinges FB8179-4-1/2x4-1/2 US28D
1 ea	Norton door closer 1601 AL x 5B	Schlage lever privacy lock AL405 SAT 626 x 10-026
1 ea	Hardware Set #26A	Hardware Set #26A
1 ea	Hardware Set #26B	Private Toilet Room WDXMF
1 ea	Hardware Set #26C	Each door to have:
3 ea	Stanley hinges FB8179-4-1/2x4-1/2 US28D	Stanley hinges FB8179-4-1/2x4-1/2 US28D
1 ea	Norton door closer 1601 AL x 5B	Schlage lever privacy lock AL405 SAT 626 x 10-026
1 ea	Hardware Set #27A	Hardware Set #27A
1 ea	Hardware Set #27B	Private Toilet Room WDXMF
1 ea	Hardware Set #27C	Each door to have:
3 ea	Stanley hinges FB8179-4-1/2x4-1/2 US28D	Stanley hinges FB8179-4-1/2x4-1/2 US28D
1 ea	Norton door closer 1601 AL x 5B	Schlage lever privacy lock AL405 SAT 626 x 10-026
1 ea	Hardware Set #28A	Hardware Set #28A
1 ea	Hardware Set #28B	Private Toilet Room WDXMF
1 ea	Hardware Set #28C	Each door to have:
3 ea	Stanley hinges FB8179-4-1/2x4-1/2 US28D	Stanley hinges FB8179-4-1/2x4-1/2 US28D
1 ea	Norton door closer 1601 AL x 5B	Schlage lever privacy lock AL405 SAT 626 x 10-026
1 ea	Hardware Set #29A	Hardware Set #29A
1 ea	Hardware Set #29B	Private Toilet Room WDXMF
1 ea	Hardware Set #29C	Each door to have:
3 ea	Stanley hinges FB8179-4-1/2x4-1/2 US28D	Stanley hinges FB8179-4-1/2x4-1/2 US28D
1 ea	Norton door closer 1601 AL x 5B	Schlage lever privacy lock AL405 SAT 626 x 10-026
1 ea	Hardware Set #30A	Hardware Set #30A
1 ea	Hardware Set #30B	Private Toilet Room WDXMF
1 ea	Hardware Set #30C	Each door to have:
3 ea	Stanley hinges FB8179-4-1/2x4-1/2 US28D	Stanley hinges FB8179-4-1/2x4-1/2 US28D
1 ea	Norton door closer 1601 AL x 5B	Schlage lever privacy lock AL405 SAT 626 x 10-026
1 ea	Hardware Set #31A	Hardware Set #31A
1 ea	Hardware Set #31B	Private Toilet Room WDXMF
1 ea	Hardware Set #31C	Each door to have:
3 ea	Stanley hinges FB8179-4-1/2x4-1/2 US28D	Stanley hinges FB8179-4-1/2x4-1/2 US28D
1 ea	Norton door closer 1601 AL x 5B	Schlage lever privacy lock AL405 SAT 626 x 10-026
1 ea	Hardware Set #32A	Hardware Set #32A
1 ea	Hardware Set #32B	Private Toilet Room WDXMF
1 ea	Hardware Set #32C	Each door to have:
3 ea	Stanley hinges FB8179-4-1/2x4-1/2 US28D	Stanley hinges FB8179-4-1/2x4-1/2 US28D
1 ea	Norton door closer 1601 AL x 5B	Schlage lever privacy lock AL405 SAT 626 x 10-026
1 ea	Hardware Set #33A	Hardware Set #33A
1 ea	Hardware Set #33B	Private Toilet Room WDXMF
1 ea	Hardware Set #33C	Each door to have:
3 ea	Stanley hinges FB8179-4-1/2x4-1/2 US28D	Stanley hinges FB8179-4-1/2x4-1/2 US28D
1 ea	Norton door closer 1601 AL x 5B	Schlage lever privacy lock AL405 SAT 626 x 10-026
1 ea	Hardware Set #34A	Hardware Set #34A
1 ea	Hardware Set #34B	Private Toilet Room WDXMF
1 ea	Hardware Set #34C	Each door to have:
3 ea	Stanley hinges FB8179-4-1/2x4-1/2 US28D	Stanley hinges FB8179-4-1/2x4-1/2 US28D
1 ea	Norton door closer 1601 AL x 5B	Schlage lever privacy lock AL405 SAT 626 x 10-026
1 ea	Hardware Set #35A	Hardware Set #35A
1 ea	Hardware Set #35B	Private Toilet Room WDXMF
1 ea	Hardware Set #35C	Each door to have:
3 ea	Stanley hinges FB8179-4-1/2x4-1/2 US28D	Stanley hinges FB8179-4-1/2x4-1/2 US28D
1 ea	Norton door closer 1601 AL x 5B	Schlage lever privacy lock AL405 SAT 626 x 10-026
1 ea	Hardware Set #36A	Hardware Set #36A
1 ea	Hardware Set #36B	Private Toilet Room WDXMF
1 ea	Hardware Set #36C	Each door to have:
3 ea	Stanley hinges FB8179-4-1/2x4-1/2 US28D	Stanley hinges FB8179-4-1/2x4-1/2 US28D
1 ea	Norton door closer 1601 AL x 5B	Schlage lever privacy lock AL405 SAT 626 x 10-026
1 ea	Hardware Set #37A	Hardware Set #37A
1 ea	Hardware Set #37B	Private Toilet Room WDXMF
1 ea	Hardware Set #37C	Each door to have:
3 ea	Stanley hinges FB8179-4-1/2x4-1/2 US28D	Stanley hinges FB8179-4-1/2x4-1/2 US28D
1 ea	Norton door closer 1601 AL x 5B	Schlage lever privacy lock AL405 SAT 626 x 10-026
1 ea	Hardware Set #38A	Hardware Set #38A
1 ea	Hardware Set #38B	Private Toilet Room WDXMF
1 ea	Hardware Set #38C	Each door to have:
3 ea	Stanley hinges FB8179-4-1/2x4-1/2 US28D	Stanley hinges FB8179-4-1/2x4-1/2 US28D
1 ea	Norton door closer 1601 AL x 5B	Schlage lever privacy lock AL405 SAT 626 x 10-026
1 ea	Hardware Set #39A	Hardware Set #39A
1 ea	Hardware Set #39B	Private Toilet Room WDXMF
1 ea	Hardware Set #39C	Each door to have:
3 ea	Stanley hinges FB8179-4-1/2x4-1/2 US28D	Stanley hinges FB8179-4-1/2x4-1/2 US28D
1 ea	Norton door closer 1601 AL x 5B	Schlage lever privacy lock AL405 SAT 626 x 10-026
1 ea	Hardware Set #40A	Hardware Set #40A
1 ea	Hardware Set #40B	Private Toilet Room WDXMF
1 ea	Hardware Set #40C	Each door to have:
3 ea	Stanley hinges FB8179-4-1/2x4-1/2 US28D	Stanley hinges FB8179-4-1/2x4-1/2 US28D
1 ea	Norton door closer 1601 AL x 5B	Schlage lever privacy lock AL405 SAT 626 x 10-026
1 ea	Hardware Set #41A	Hardware Set #41A
1 ea	Hardware Set #41B	Private Toilet Room WDXMF
1 ea	Hardware Set #41C	Each door to have:
3 ea	Stanley hinges FB8179-4-1/2x4-1/2 US28D	Stanley hinges FB8179-4-1/2x4-1/2 US28D
1 ea	Norton door closer 1601 AL x 5B	Schlage lever privacy lock AL405 SAT 626 x 10-026
1 ea	Hardware Set #42A	Hardware Set #42A
1 ea	Hardware Set #42B	Private Toilet Room WDXMF
1 ea	Hardware Set #42C	Each door to have:
3 ea	Stanley hinges FB8179-4-1/2x4-1/2 US28D	Stanley hinges FB8179-4-1/2x4-1/2 US28D
1 ea	Norton door closer 1601 AL x 5B	Schlage lever privacy lock AL405 SAT 626 x 10-026
1 ea	Hardware Set #43A	Hardware Set #43A
1 ea	Hardware Set #43B	Private Toilet Room WDXMF
1 ea	Hardware Set #43C	Each door to have:
3 ea	Stanley hinges FB8179-4-1/2x4-1/2 US28D	Stanley hinges FB8179-4-1/2x4-1/2 US28D
1 ea	Norton door closer 1601 AL x 5B	Schlage lever privacy lock AL405 SAT 626 x 10-026
1 ea	Hardware Set #44A	Hardware Set #44A
1 ea	Hardware Set #44B	Private Toilet Room WDXMF
1 ea	Hardware Set #44C	Each door to have:
3 ea	Stanley hinges FB8179-4-1/2x4-1/2 US28D	Stanley hinges FB8179-4-1/2x4-1/2 US28D
1 ea	Norton door closer 1601 AL x 5B	Schlage lever privacy lock AL405 SAT 626 x 10-026
1 ea	Hardware Set #45A	Hardware Set #45A
1 ea	Hardware Set #45B	Private Toilet Room WDXMF
1 ea	Hardware Set #45C	Each door to have:
3 ea	Stanley hinges FB8179-4-1/2x4-1/2 US28D	Stanley hinges FB8179-4-1/2x4-1/2 US28D
1 ea	Norton door closer 1601 AL x 5B	Schlage lever privacy lock AL405 SAT 626 x 10-026
1 ea	Hardware Set #46A	Hardware Set #46A
1 ea	Hardware Set #46B	Private Toilet Room WDXMF
1 ea	Hardware Set #46C	Each door to have:</

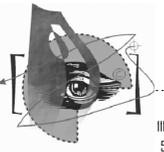
LOWER LEVEL FINISH SCHEDULE										LEGEND	
NO.	ROOM	FLOOR	BASE	WALL		CEILING		HEIGHT	REMARKS	ABBR	DESCRIPTION
				MAT.	FIN.	MAT.	FIN.				
001	MENS	CT	VCB*	DN	PT	EX	PT	EX	*6" VCB	CPT	CARPET
002	EXISTING MECH.	EX	EX	EX	EX	EX	EX	EX	X	CT	CERAMIC TILE
003	CIRCULATION	VCT	VB	DN	PT	EX	PT	EX	X	DN	DRYWALL
004	EXISTING SAUNA	EX	EX	EX	EX	EX	EX	EX	X	EXP	EXPOSED
005	KITCHEN	VCT	VCB	DN	PT	EX	PT	EX	X	FRP	FIBER-REIN. PLASTIC
006	STORAGE	EX	EX	EX	EX	EX	EX	EX	X	LVT	LUXURY VINYL TILE
007	PASSAGE	VCT	VCB	DN	PT	EX	PT	EX	X	PT	PAINT FINISHED
008	WOMEN'S	CT	VCB	DN	PT	EX	PT	EX	*6" VCB	FLY	PLYWOOD
009	SOUND ROOM	CFT	VB	DN	PT	DM	PT	EX	X	VB	VINYL BASE
010	OPEN OFFICE	CFT	VB	DN	PT	DM	PT	EX	X	VCB	VINYL COVE BASE
011	NOT USED	-	-	-	-	-	-	-	X	VCT	VINYL COMPOSITE TILE
012	MECH. RM	EX	EX	EX	EX	EX	EX	EX	X	ND	WOOD
013	UTILITY	EX	EX	EX	EX	EX	EX	EX	X	ND	WALK-OFF MAT
014	PHOTOGRAPHY	VCT	VCB	DN	PT	EX	PT	EX	X		

FIRST FLOOR FINISH SCHEDULE										LEGEND	
NO.	ROOM	FLOOR	BASE	WALL		CEILING		HEIGHT	REMARKS	ABBR	DESCRIPTION
				MAT.	FIN.	MAT.	FIN.				
101	MAIN VESTIBULE	CLD/FR/BA	EX/SP*	EX	PT	EX	PT	EX	*TILE WORK TO BE REPAIRED IF EXPOSED AT FINISH. SEE RCP	CPT	CARPET
102	RECEPTION	LVT	VB	DN	PT	VARIES	PT	*	*EXPOSED AT FINISH. SEE RCP	CT	CERAMIC TILE
103	JANITORIAL	VCT	VB	DN/FR**	PT/PF	DM	PT	T-6**	**SEE RCP FOR WOOD MATCH AND SIK	DN	DRYWALL
104	MENS	VCT	VB*	DN	PT	DM	PT	EX	*6" VB	EX	EXPOSED
105	WOMEN'S	VCT	VB**	DN	PT	DM	PT	EX	**SEE RCP	FRP	FIBER-REIN. PLASTIC
106	WORK ROOM	LVT	VB	DN	PT	DM	PT	*	*SEE RCP	PT	PAINT FINISHED
107	BREAK OUT	CFT	VB	DN	PT	EXP	-	*	*EXPOSED FINISHING AT CEILING. SEE RCP	FLY	PLYWOOD
108	CONFERENCE ROOM	CFT	VB	DN	PT	EXP	-	*	*EXPOSED FINISHING AT CEILING. SEE RCP	RUB	RUBBER
109	TWO PERSON OFFICE	CFT	VB	DN	PT	EXP	-	*	*EXPOSED FINISHING AT CEILING. SEE RCP	VCB	VINYL COVE BASE
110	STORAGE	VCT	VB	DN	PT	EXP	-	*	*EXPOSED FINISHING AT CEILING. SEE RCP	VCT	VINYL COMPOSITE TILE
111	VESTIBULE	W/OCT*	VB	DN	PT	DM	PT	T-6**	**SEE RCP	ND	WALK-OFF MAT
112	OFFICE	CFT	VB	DN	PT	DM	PT	CR1*	*GRATE DETAILS. SEE RCP		
113	OFFICE	CFT	VB	DN	PT	DM	PT	CR1*	*GRATE DETAILS. SEE RCP		
114	OFFICE	CFT	VB	DN	PT	DM	PT	CR1*	*GRATE DETAILS. SEE RCP		
115	OPEN OFFICE	LVT	VB	DN	PT	DM	PT	CR1*	*GRATE DETAILS. SEE RCP		
116	OFFICE	CFT	VB	DN	PT	DM	PT	CR1*	*GRATE DETAILS. SEE RCP		
117	COFFEE AREA	LVT	VB	DN	PT	EXP	-	*	*EXPOSED FINISHING AT CEILING. SEE RCP		
118	OFFICE	CFT	VB	DN	PT	DM	PT	EX	*SEE RCP		
119	CORRIDOR	LVT	VB	DN	PT	DM	PT	EX	*SEE RCP		
120	OFFICE	CFT	VB	DN	PT	DM	PT	EX	*SEE RCP		
121	CONFERENCE ROOM	CFT/LVT	VB	DN	PT	DM	PT	EX	*SEE RCP		
122	STOR.	LVT	VB	DN	PT	EXP	-	*	*EXPOSED FINISHING AT CEILING. SEE RCP		

SECOND FLOOR FINISH SCHEDULE										LEGEND	
NO.	ROOM	FLOOR	BASE	WALL		CEILING		HEIGHT	REMARKS	ABBR	DESCRIPTION
				MAT.	FIN.	MAT.	FIN.				
201	SALES	CFT	VB	DN	PT	EX	PT	EX	EXISTING TIN ABOVE-PAINTED AND REPAIRED	CPT	CARPET
202	CONF. ROOM	CFT	VB	DN	PT	EX	PT	EX	EXISTING TIN ABOVE-PAINTED AND REPAIRED	CT	CERAMIC TILE
203	SALES	CFT	VB	DN	PT	EX	PT	EX	EXISTING TIN ABOVE-PAINTED AND REPAIRED	DN	DRYWALL
204	TIFFANY'S ASSISTANT	CFT	VB	DN	PT	EX	PT	EX	EXISTING TIN ABOVE-PAINTED AND REPAIRED	EXP	EXPOSED
205	TIFFANY'S OFFICE	CFT	VB	DN	PT	EX	PT	*	*SEE RCP	FRP	FIBER-REIN. PLASTIC
A	STAIR 'A'	EX	EX	EX	EX	EX	EX	EX		PT	PAINT FINISHED
B	STAIR 'B'	EX	EX	EX	EX	EX	EX	EX		FLY	PLYWOOD
C	STAIR 'C'	RUB	VB	DN/EX	PT	EX	PT	EX		RUB	RUBBER
										VCB	VINYL COVE BASE
										VCT	VINYL COMPOSITE TILE
										ND	WOOD
										ND	WALK-OFF MAT

NOTES
 1. ALL FINISHES NOTED ARE GENERIC - FINAL SELECTIONS SHALL BE AS SELECTED BY OWNER.
 2. SANITARY BASES IN TOILET ROOMS AND BATHROOMS SHALL BE 6" TALL MINIMUM.
 3. ALL FLOOR FINISHES SHALL BE SLIP RESISTANT AND SECURELY ATTACHED IN ACCORDANCE WITH 2012 NBC 1009.4. THE STATIC COEFFICIENT OF FRICTION (MFT) FOR ALL FLOOR SURFACES SHALL BE 0.6 MINIMUM.
 4. DRYWALL IN TOILET ROOMS AND BATHROOMS SHALL BE MOISTURE-RESISTANT (GREEN TYPE) IN AREAS EXPOSED TO MOISTURE INCLUDING WALLS OF EXISTING TOILETS.
 5. WALL SURFACES IN TOILET ROOMS AND BATHROOMS SHALL BE NONABSORBENT IN ACCORDANCE W/ 2012 NBC 1210.2.

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M3 GROUP

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 LANSING, MI 48933

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614 SEMOUR AVE.
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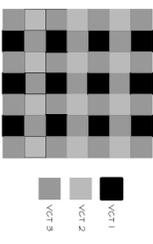
Project Type: **OFFICE RENOVATION**

Project Number: **16.059**

Street: **A-9**

FINISH MATERIAL LEGEND					
ABBRV.	MATERIAL	MANUFACTURER	MODEL / TYPE SERIES	COLOR	COMMENTS
CPT 1	CARPET TILE	PATCART	COLOR POP 0981	DOO WOP POP COTTO	SEE PLAN SECTION 446-260-0434 Email:janet@compco.com
CPT 2	WALK OFF CARPET TILE	PHILADELPHIA COMMERCIAL	RAAFITE 54746	GRAPITE 05000	INSTALL 3'x3'x3/16" COLLECTION 446-714-4000 Email:patrick@compco.com
CPT 3	KINETEX TILE	JLI FLOORING GROUP	KINETEX ANALOG 1231	CONNECT 1548	SEE PLAN SECTION 446-260-0434 Email:janet@compco.com
CT1	PORCELAIN TILE	ATLAS CONCORDE	TEVA 30X60	ANTHACITE	SEE PLAN SECTION 446-260-0434 Email:janet@compco.com
CT2	PORCELAIN TILE	MEDICA CO	ALHAMBRA 3X4	SANTOANI	SEE PLAN SECTION 446-260-0434 Email:janet@compco.com
PLAM 1	PLASTIC LAMINATE	MILSOUART	STANDARD LAMINATE	BRAZILWOOD 7446-38	SEE PLAN SECTION 446-260-0434 Email:janet@compco.com
PLAM 2	PLASTIC LAMINATE	MILSOUART	VIRTUAL DESIGN LIBRARY	OXIDIZED SILVER Y0349-60	SEE PLAN SECTION 446-260-0434 Email:janet@compco.com
PLAM 3	PLASTIC LAMINATE	MILSOUART	VIRTUAL DESIGN LIBRARY	BUTTERED SOLASH Y0347-60	SEE PLAN SECTION 446-260-0434 Email:janet@compco.com
PLAM 4	PLASTIC LAMINATE	MILSOUART	STANDARD LAMINATE	PINBALL 4497-38	SEE PLAN SECTION 446-260-0434 Email:janet@compco.com
PLAM 5	PLASTIC LAMINATE	MILSOUART	VIRTUAL DESIGN LIBRARY	INK 502P Y0357-60	SEE PLAN SECTION 446-260-0434 Email:janet@compco.com
PLAM 6	PLASTIC LAMINATE	FORNICA	STANDARD LAMINATE	6617-58 TABLO D07SCREEN	SEE PLAN SECTION 446-260-0434 Email:janet@compco.com
PLAM 7	PLASTIC LAMINATE	TRAFALIA	L20	5X0XB0UND EN1616	SEE PLAN SECTION 446-260-0434 Email:janet@compco.com
PT 1	WALL PAINT	BENJAMIN MOORE	HIGH QUALITY LATEX PAINT	OC-228 MOONLIGHT WHITE	SEE PAINT CHART THIS SHEET
PT 2	WALL PAINT	BENJAMIN MOORE	HIGH QUALITY LATEX PAINT	2057-50 NAPLES BLUE	SEE PAINT CHART THIS SHEET
PT 3	WALL PAINT	SHERWIN WILLIAMS	HIGH QUALITY LATEX PAINT	5W6704 HER GREEN	SEE PAINT CHART THIS SHEET
PT 4	WALL PAINT	PPG	HIGH QUALITY LATEX PAINT	TPP5200-1 MANGENANT	SEE PAINT CHART THIS SHEET
PT 5	CEILING PAINT	SHERWIN WILLIAMS	HIGH QUALITY LATEX PAINT	5W7871 HIGH REFLECTIVE WHITE	SEE PAINT CHART THIS SHEET
PT 6	PAINT	BENJAMIN MOORE	HIGH QUALITY LATEX PAINT	755 SANTA CLARA	SEE PAINT CHART THIS SHEET
PT 7	PAINT	BENJAMIN MOORE	HIGH QUALITY LATEX PAINT	752 HOM BLUE LAV 12	SEE PAINT CHART THIS SHEET
PT 8	WALL PAINT	BENJAMIN MOORE	HIGH QUALITY LATEX PAINT	1B49 ROCKY COAST	SEE PAINT CHART THIS SHEET
PT 9	WALL PAINT	JOHNSONITE - TARKETT	RAISED ROUND	1B1 02/ANNA	SEE PAINT CHART THIS SHEET
PT 10	WALL PAINT	JOHNSONITE	STANDARD EXCELON	5145 CHARCOAL	INSTALL 3' COLOR RALD BUFFALO CHECK PATTERN
PT 11	VINYL COMPOSITE TILE	ARWYSTRONG	STANDARD EXCELON	51661 SOFT MAWY GRAY	INSTALL 3' COLOR RALD BUFFALO CHECK PATTERN
PT 12	VINYL COMPOSITE TILE	ARWYSTRONG	STANDARD EXCELON	51506 COLORADO STONE	INSTALL 3' COLOR RALD BUFFALO CHECK PATTERN
PT 13	VINYL COMPOSITE TILE	ARWYSTRONG	CLASSIC CORE	PS RED ALPINE FACE	SEE PLAN SECTION 446-260-0434 Email:janet@compco.com
PRE-PLY	CLEAR DRY BRASS FINISH	MDG WALL	FLUE	CLEAR	SEE PLAN SECTION 446-260-0434 Email:janet@compco.com
LVT	LUXURY VINYL PLANK	MANNINGTON COMMERCIAL	SPACIA 1 25" X48"	E-BER OAK-55BVCB12	SEE PLAN SECTION 446-260-0434 Email:janet@compco.com
QAZRTZ	QAZRTZ COUNTERTOP	COLORQAZRTZ-DISTRIBUTED BY STONE DESIGN	COB123 * SERIES 55 *	ICELAND	SEE PLAN SECTION 446-260-0434 Email:janet@compco.com
MTL	CORRUGATED METAL	KOROSEAL ARTE	40 DECK CORRUGATED	SILVER	SEE PLAN SECTION 446-260-0434 Email:janet@compco.com
WC	WALLCOVERING	KOROSEAL ARTE	AMORA	67166	SEE PLAN SECTION 446-260-0434 Email:janet@compco.com

**TYPICAL VCT
PLAID PATTERN**



1/4" = 1'-0"

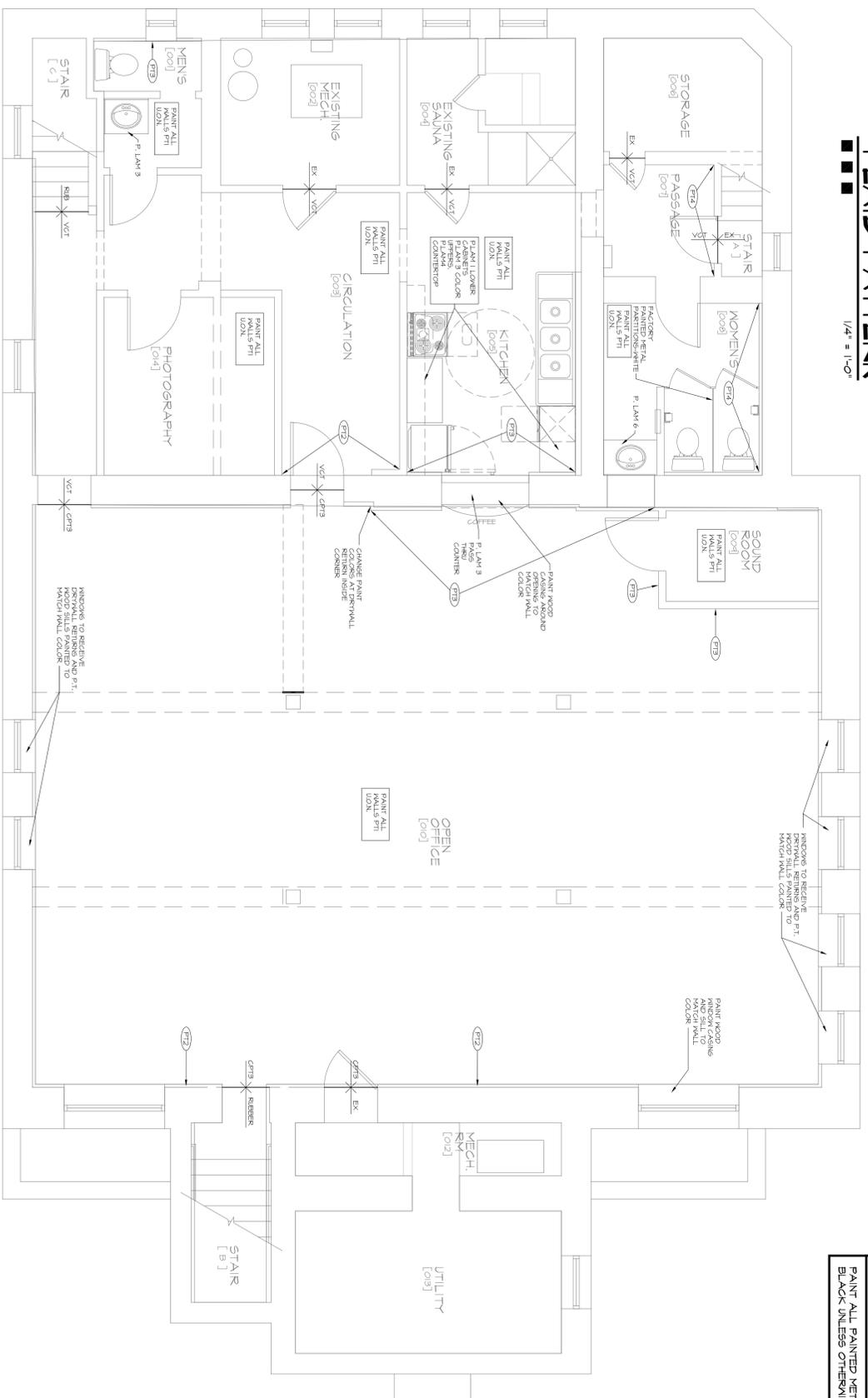
PAINTED METAL HANDRAILS

PAINT ALL PAINTED METAL HANDRAILS BLACK UNLESS OTHERWISE NOTED.

PAINT CHART	
NEW WALLS-	1 COAT PRIMER 2 COATS LATEX EGGSHELL ON WALLS
EX. WALLS-	2 COATS LATEX EGGSHELL ON WALLS
WOOD TRIM	1 COAT PRIMER 2 COATS LATEX SEMI-GLOSS
CEILING-	1-2 COATS AS NECESSARY FOR UNIFORM COVERAGE LATEX FLAT
* COVERD CEILING-	CONTINUE EGGSHELL WALL COLOR ONTO CEILING
INTERIOR METAL-	1 COAT BONDING PRIMER 2 COATS SEMI GLOSS
INT. RM. WALLS-	1 COAT PRIMER 2 COATS EGGSHELL ENAMEL PAINT

PAINT NOTES:

1. ALL PAINTS TO BE HIGH QUALITY LATEX UON.
2. ALL PAINTS TO BE LOW OR NO VOC EGGSHELL SHEEN
3. IF USING BENJAMIN MOORE PAINTS WALLS SHALL BE EGGSHELL SHEEN
4. ALL CEILING RECEIVING NEW PAINT- SHALL BE PT 5



LOWER LEVEL FINISH PLAN

1/4" = 1'-0"

11/04/16

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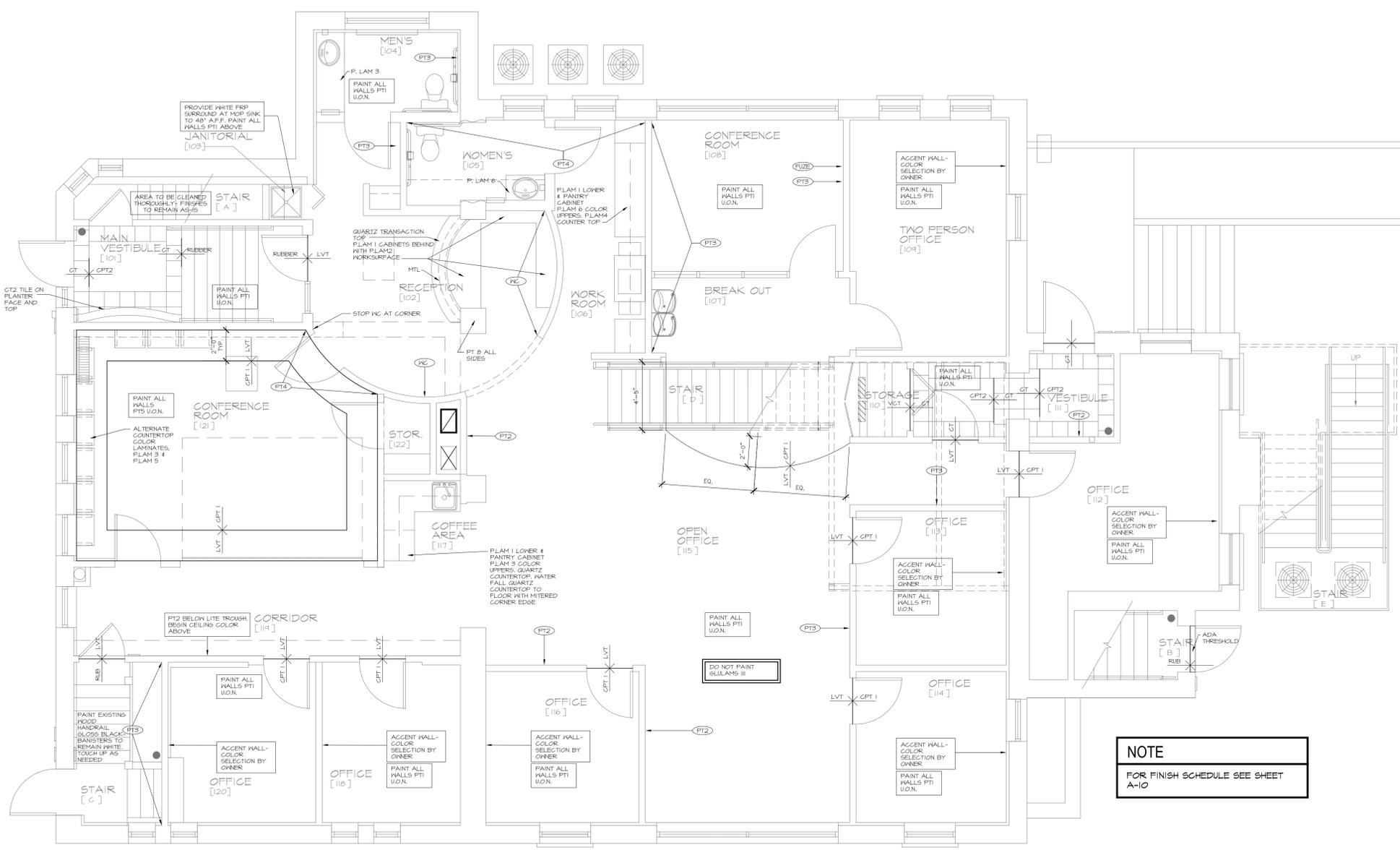
Client: M3 GROUP

221 W. SAGINAW ST. LANSING, MI 48933

614 SEMOUR AVE. LANSING, MI 48933

Project Number: 16.059

Street: A-10



PAINT CHART	
NEW WALLS-	1 COAT PRIMER 2 COATS LATEX EGGSHELL ON WALLS
EX. WALLS-	2 COATS LATEX EGGSHELL ON WALLS
WOOD TRIM-	1 COAT PRIMER 2 COATS LATEX SEMI-GLOSS
CEILING-	1-2 COATS AS NECESSARY FOR UNIFORM COVERAGE, LATEX FLAT
*COVERED CEILING-	CONTINUE EGGSHELL COLOR ONTO CEILING
INTERIOR METAL-	1 COAT BONDING PRIMER 2 COATS SEMI GLOSS
TLT RM. WALLS-	1 COAT PRIMER 2 COATS EGGSHELL ENAMEL PAINT
PAINT NOTES:	
1.	ALL PAINTS TO BE HIGH QUALITY LATEX, U.O.N.
2.	ALL PAINTS TO BE LOW OR NO VOC
3.	IF USING BENJAMIN MOORE PAINTS WALLS SHALL BE EGGSHELL SHEEN
4.	ALL CEILING'S RECEIVING NEW PAINT- SHALL BE PT 5

NOTE
FOR FINISH SCHEDULE SEE SHEET A-10

FIRST FLOOR FINISH PLAN
1/4" = 1'-0"

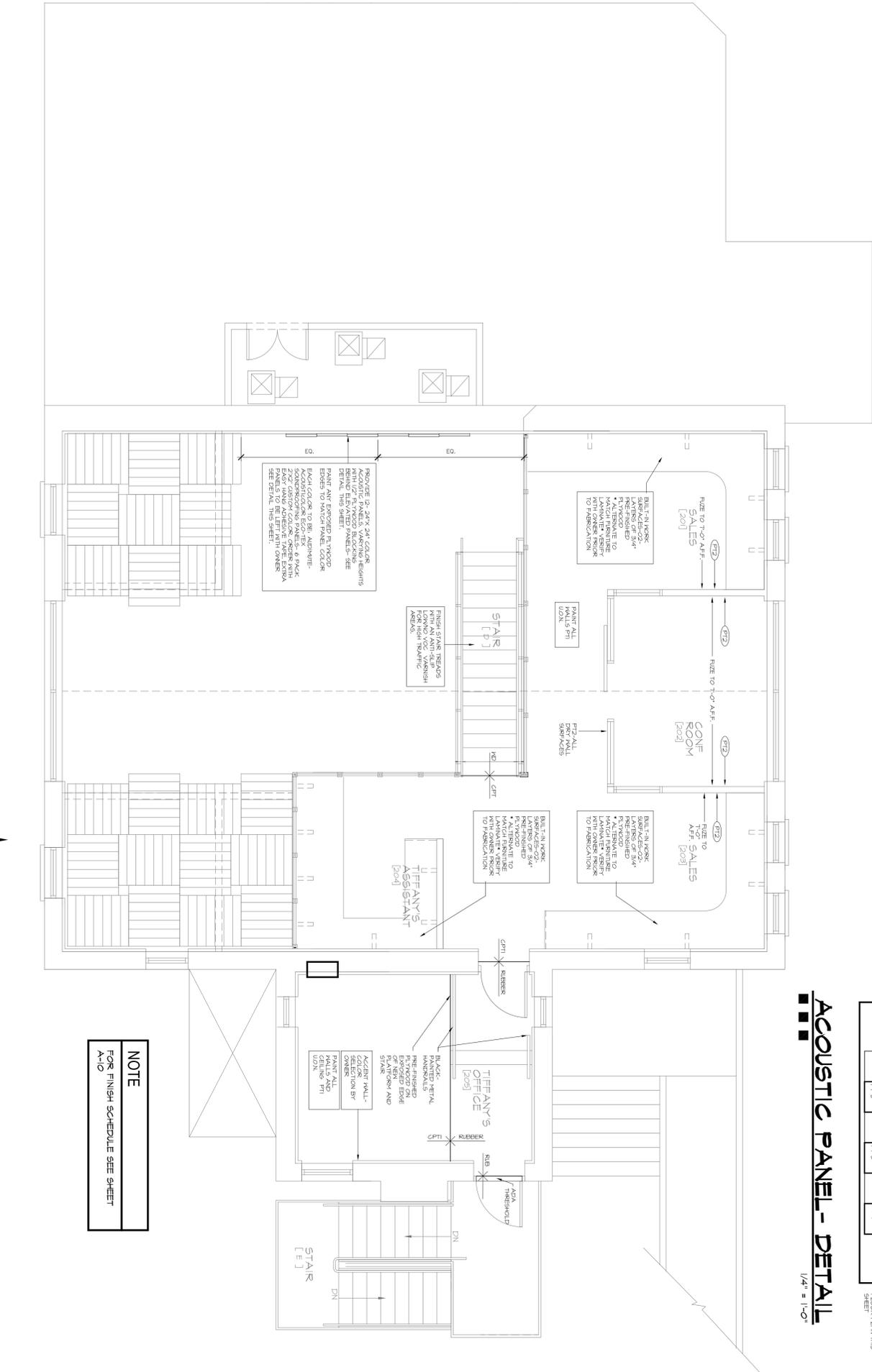
Project Type
OFFICE RENOVATION

Project
M3 GROUP
221 W. SAGINAW ST.
LANSING, MI 48933

Client
M3 GROUP
614 SEYMOUR AVE.
LANSING, MI 48933

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PAINT CHART	
NEW WALLS-	1 COAT PRIMER 2 COATS LATEX EGGSHELL ON WALLS
EX. WALLS-	2 COATS LATEX EGGSHELL ON WALLS
WOOD TRIM	1 COAT PRIMER 2 COATS LATEX SEMI-GLOSS
CEILINGSS-	1-2 COATS AS NECESSARY FOR UNIFORM COVERAGE LATEX FLAT CONTINUE EGGSHELL COLOR ONTO CEILING
COVERED CEILINGSS-	1 COAT BONDING PRIMER 2 COATS SEMI GLOSS
INTERIOR METAL-	1 COAT PRIMER 2 COATS EGGSHELL ENAMEL PAINT
INT. RM. WALLS-	1 COAT PRIMER 2 COATS EGGSHELL ENAMEL PAINT



PANEL - 1 PT-3D	PANEL - 1 PT-0	PANEL - 1 PT-0	PANEL - 1 PT-0	PANEL - 1 PT-1	PANEL - 1 PT-0
PANEL - 1 PT-3	PANEL - 1 PT-0	PANEL - 1 PT-0	PANEL - 1 PT-1	PANEL - 1 PT-0	PANEL - 1 PT-0

GENERAL ACOUSTIC
FLOOR WALL
FLOOR WALL
OFFICE AREA
FLOOR PLAN THIS
SHEET

ACOUSTIC PANEL - DETAIL
1/4" = 1'-0"

SECOND FLOOR FINISH PLAN
1/4" = 1'-0"

NOTE
FOR FINISH SCHEDULE SEE SHEET
A/C

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Project Type
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Client
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221 W. SAGINAW ST.
LANSING, MI 48933

Project Number
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614 SEMOUR AVE.
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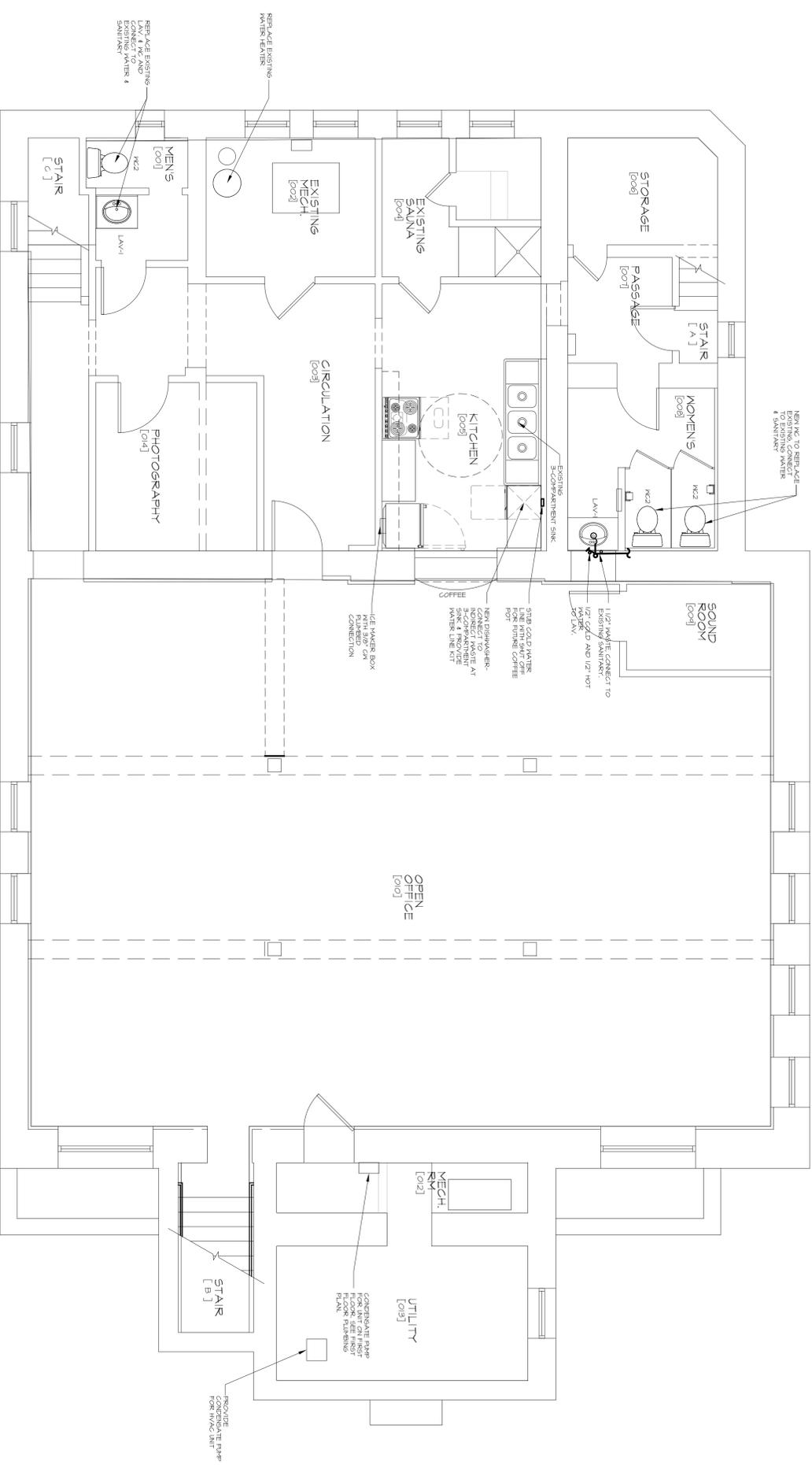
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Sheet
A-12

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TAG	FIXTURE	MANUFACTURER	MODEL NO.	COLOR	FITTINGS & ACCESSORIES	NOTES
LAV-1	LAVATORY COUNTER MTD. ELONGATED BOWL	BLACKY	ASANA B&B SINGLE BOWL TOP MOUNT	STAINLESS	SEE PLUMBING FIXTURE SCHEDULE CHANGES	PROVIDE RIGHT OF LEFT HAND TRIP LEVER AS REQUIRED BY ADA
WC-1	W.C. COMPARTMENT ELONGATED BOWL	AMERICAN STANDARD	CHARGER 4 SIGHT HEIGHT ELONGATED 200224M	WHITE	CERAMIC FLATBED TRIP LEVER TOILET SEAT WITHOUT COVER	PROVIDE RIGHT OF LEFT HAND TRIP LEVER AS REQUIRED BY ADA
WC-2	W.C.2 ELONGATED BOWL	AMERICAN STANDARD	CAPT. ELONGATE 240224C	WHITE	CERAMIC FLATBED TRIP LEVER TOILET SEAT WITHOUT COVER	PROVIDE RIGHT OF LEFT HAND TRIP LEVER AS REQUIRED BY ADA
ENC-1	ELECTRIC WATER COOLER FILTER	BLACKY	ED202124C	STAINLESS	SEE PLUMBING FIXTURE SCHEDULE CHANGES	PROVIDE 1/2" DIA. ACCESSORY BRANCH OPTION FOR ADA COMPLIANCE WITHOUT NEW WALLS
SINK-1	SINK SINKLE BOWL	BLACKY	LITERSTONE LK020224	STAINLESS	SEE PLUMBING FIXTURE SCHEDULE CHANGES	PROVIDE 1/2" DIA. ACCESSORY BRANCH OPTION FOR ADA COMPLIANCE WITHOUT NEW WALLS
MI	ICE MAKER BOX	DAVEY	384038	WHITE	SEE PLUMBING FIXTURE SCHEDULE CHANGES	PROVIDE 1/2" DIA. ACCESSORY BRANCH OPTION FOR ADA COMPLIANCE WITHOUT NEW WALLS
MS	W.C. SINK	FRAY	MSB-2424	WHITE	SERVICE FACET BRANCH FOR 1/2" DIA. ACCESSORY BRANCH OPTION FOR ADA COMPLIANCE WITHOUT NEW WALLS	PROVIDE 1/2" DIA. ACCESSORY BRANCH OPTION FOR ADA COMPLIANCE WITHOUT NEW WALLS
DM-1	W.C. SINK	DE	60P202024	WHITE	SERVICE FACET BRANCH FOR 1/2" DIA. ACCESSORY BRANCH OPTION FOR ADA COMPLIANCE WITHOUT NEW WALLS	PROVIDE 1/2" DIA. ACCESSORY BRANCH OPTION FOR ADA COMPLIANCE WITHOUT NEW WALLS
TR	TRIP LEVER TOILET SEAT	SMER SEAL	922024V			

NOTE: CONTRACTORS TO PROVIDE RIGHT HAND OR LEFT HAND FLUSH VALVE OR TRIP LEVER AS REQUIRED BY BARREER FREE CODE.



PLUMBING NOTES

PROVIDE 1/2" CM TO WATER CLOSETS, 1/2" CM & 1/4" TO LAVATORIES 1/2" WATER LINE SHALL ONLY SUPPLY ONE FIXTURE.

ALL HOSE BIBBS SHALL BE OFF THE FREEZEBLES TREE WITH INTERIOR SHUT-OFF AND VACUUM BREAKERS.

SHUT-OFF VALVES SHALL BE INSTALLED AT EACH FIXTURE.

PROVIDE WATER HANGER PROTECTION AS REQUIRED.

THE WATER SUPPLY BRANCH SHALL HAVE A VALVE NEAR EACH DOMESTIC WATER HEATER.

ALL WATER PIPING SHALL BE INSULATED.

RAP ALL WATER PIPES & SANITARY TRAPS BELOW SINKS & LAVS PER SHEET DF.

ALL WATER LINES IN EXTERIOR WALLS SHALL BE INSULATED.

ALL WATER HELD ON THE YANKIN' SIDE OF THE INSULATION.

ALL WATER PIPING SHALL BE RUN ABOVE MIXING VALVES SHALL BE INSTALLED AT ALL LAVS SINKS & SHOWERS TO LIMIT THE WATER TEMP TO 110° F.

HOT WATER RETURN PIPES SHALL BE INSTALLED ON A TIMER.

THE WATER HEATER SHALL HAVE A MINIMUM ENERGY FACTOR OF 0.69 (E) AND MEET DOE-I-C-FR PART 430 TESTING REQUIREMENTS.

THE P.C. SHALL PROVIDE INSULATED HEAT TRAP ON OUTLET OF WATER HEATER.

ALL WATER PIPING SHALL BE INSULATED COPPER. PEK MAY NOT BE SUBSTITUTED.

PLUMBING LEGEND

--- (dashed line)	SANITARY LINE
--- (solid line)	COLD WATER (CW)
--- (solid line)	HOT WATER (HW)
--- (solid line)	FLOOR DRAIN
MC	WATER CLOSET
LAV	LAVATORY
SS	SERVICE SINK
ENC	ELECTRIC WATER COOLER
--- (solid line)	FREEZELESS WALL HYDRANT
--- (solid line)	FIXTURE TRAP
--- (solid line)	DOMESTIC WATER HEATER

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Project Type: OFFICE RENOVATION

Client: M3 GROUP

221 W. SAGINAW ST. LANSING, MI 48933

Project: 614 SEMOUR AVE. LANSING, MI 48933

Project Number: 16.059

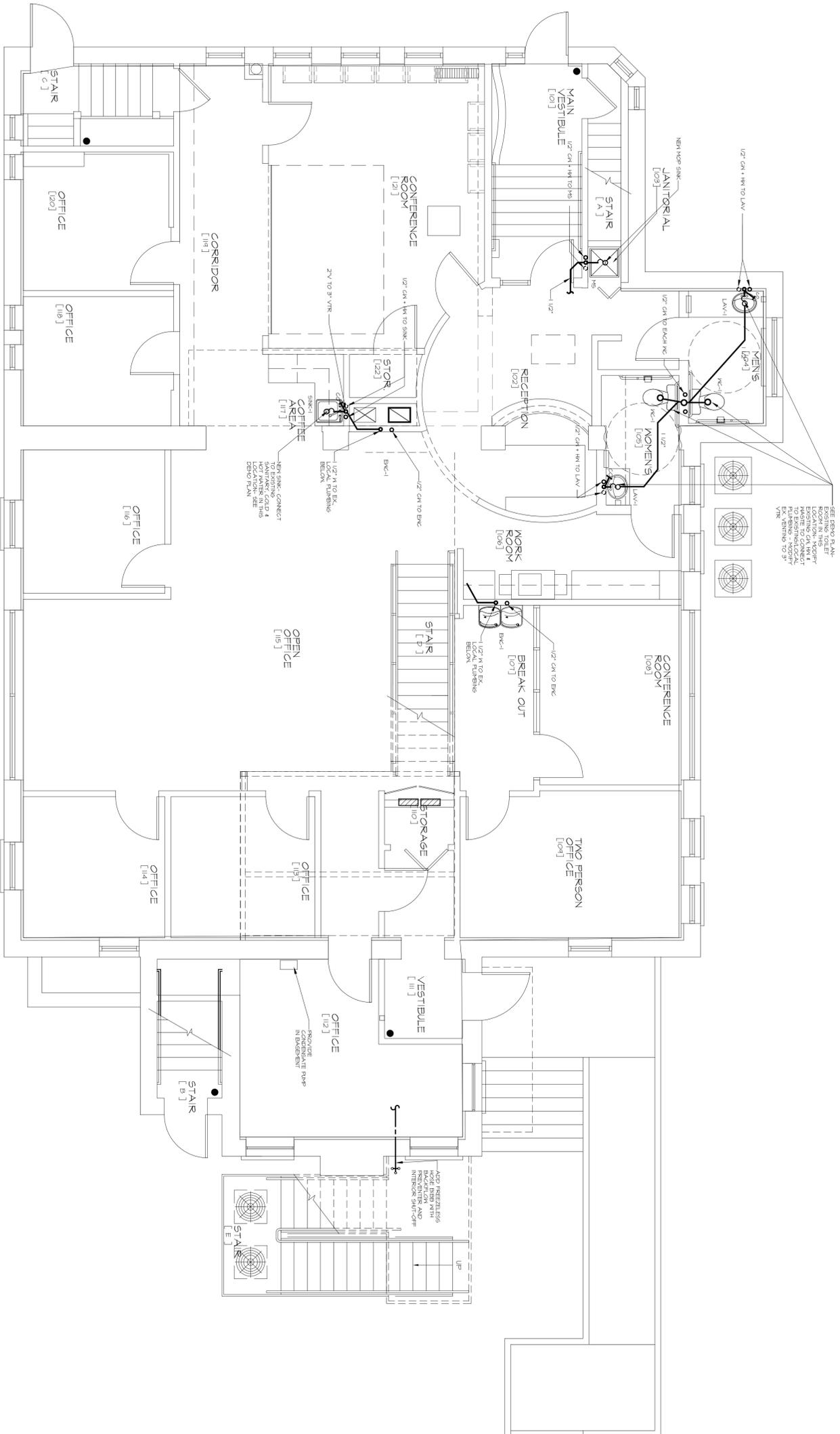
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LOWER LEVEL PLUMBING PLAN

1/4" = 1'-0"





FIRST FLOOR PLUMBING PLAN

1/4" = 1'-0"



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 Project Number
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 Street
P-1

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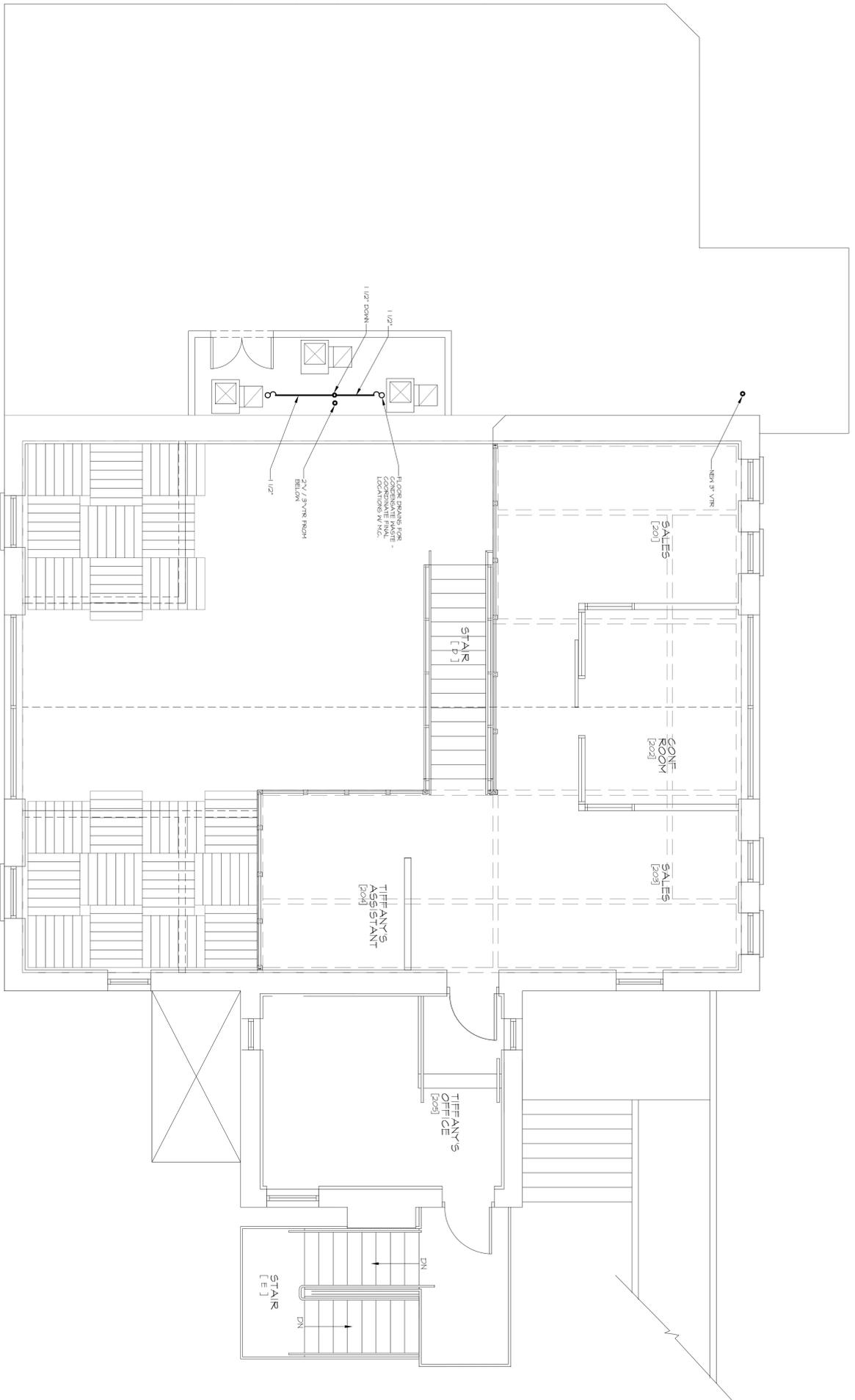
Project
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SECOND FLOOR PLUMBING PLAN
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EQUIPMENT SCHEDULE

HP-1 - HEAT PUMP AIR HANDLER 2 TON (NOMINAL 600 CFM) WALL UNIT 3 TON (NOMINAL 800 CFM) WALL UNIT W/ RETURN IN FACE OF CABINET AND BACK - UP ELEC. RESISTANT HEAT.	HV-1 - HIGH VELOCITY SYSTEM 1 1/2 TONS (NOMINAL 600 CFM) W/ HOT WATER HEATING COIL 120V
AC-HP-1 - HEAT PUMP AC UNIT 2 TON	AC-HV-1 1 1/2 TON 240V
F-1 - FURNACE (ZONED) - UPFLOW 5 TON (NOMINAL 2400 CFM) 6 TON (BLOWER) UPFLOW 90% EFF. AND HOTWATER HEAT 120V	CEP-1 - CLG EXHAUST FAN BROAN MODEL LB80 LO PROFILE 80 CFM
AC-1 CONDENSER 5 TON 240 V	DEF-2 - CLG EXHAUST FAN W/ LIGHT KIT 80 CFM
F-2 - FURNACE (UNZONED) - UPFLOW 4 TON (NOMINAL 1800 CFM) UPFLOW 90% EFF. AND HOTWATER HEAT 120V	CEP-3 - CLG EXHAUST FAN BROAN OPTIBO VENTILATION FAN 80 CFM
AC-2 CONDENSER 240 V	M - CEILING FAN HAMPDEN BAY INDUSTRIAL 60" FAN - BRUSHED STEEL MODEL #52664 SEE LIGHTING SCHEDULE SHEET E-9 FOR ADDITIONAL NOTES
F-3 - FURNACE (UNZONED) - DOWNFLOW 4 TON (NOMINAL 1600 CFM) DOWNFLOW 90% EFF. AND HOTWATER HEAT 120V	AC-0 CONDENSER 240 V

ENERGY CODE COMPLIANCE NOTES

THE PROPOSED SYSTEM IS A SINGLE ZONE CONSISTING OF A FURNACE WITH COOLING COIL AND REMOTE CONDENSING UNIT. A PREASURE DEPENDENT RESIDENTIAL ZONING SYSTEM IS BEING USED BUT ONLY THE ZONE OF GREATER DEMAND CONTROLS THE HEATING AND COOLING SYSTEM. THE SYSTEM IS EXEMPT FROM THE ECONOMIZER RULE PER TABLE D-11. LANSING IS NOT APPLICABLE.

THE MC SHALL PROVIDE A RECORD DRAWING TO THE ARCHITECT TO INCLUDE:

- MC EQUIPMENT
- MODIFICATIONS MADE DURING INSTALLATION OF DUCT LAYOUT
- SCHEDULE OF HVAC EQUIPMENT, INCLUDING MANUFACTURER, MODEL, CAPACITY, AND ENERGY EFFICIENCY.
- LOCATION OF TEMPERATURE CONTROLS DEVICES WITH SETPOINTS.

OPERATING MANUALS AND MAINTENANCE MANUALS ARE TO BE TURNED OVER TO THE OWNER WITHIN 30 DAYS OF ACCEPTANCE.

THE HVAC SYSTEM IS TO BE TESTED, ADJUSTED AND BALANCED TO OSHA LISTED ON THE DESIGN DRAWINGS (WITHIN OSA). THE TESTING AGENCY SHALL BE INDEPENDENT OF THE MECHANICAL CONTRACTOR'S OFFICE - THE MECHANICAL CONTRACTOR MAY NOT PERFORM THE FINAL BALANCE TEST. ANY ADJUSTMENTS REQUIRED MUST BE MADE BY THE M.C. 3 COPIES OF THE REPORT ARE TO BE TURNED OVER TO THE ARCHITECT FOR DISTRIBUTION TO THE OWNER.

ALL DUCTWORK DESIGN STATIC PRESSURE 1" W.C..

ALL TRANSVERSE JOINTS IN DUCTWORK TO BE SEALED TO MEET SHAKOVA SEALING LEVEL "C".

FURNACE SHALL HAVE A MINIMUM AFUE OF 90%.

OUTDOOR AIR INTAKE TO HAVE AN AUTOMATIC DAMPER. THE DAMPER SHALL CLOSE WHEN THE SYSTEM IS IN UNOCCUPIED MODE.

THE COMBINED EER OF THE EVAPORATOR COIL AND THE CONDENSING UNIT SHALL BE A MIN. OF 11.2.

THE THERMOSTAT SHALL BE A 7-DAY PROGRAMMABLE WITH FUNCTION FOR OCCUPIED / UNOCCUPIED MODES.

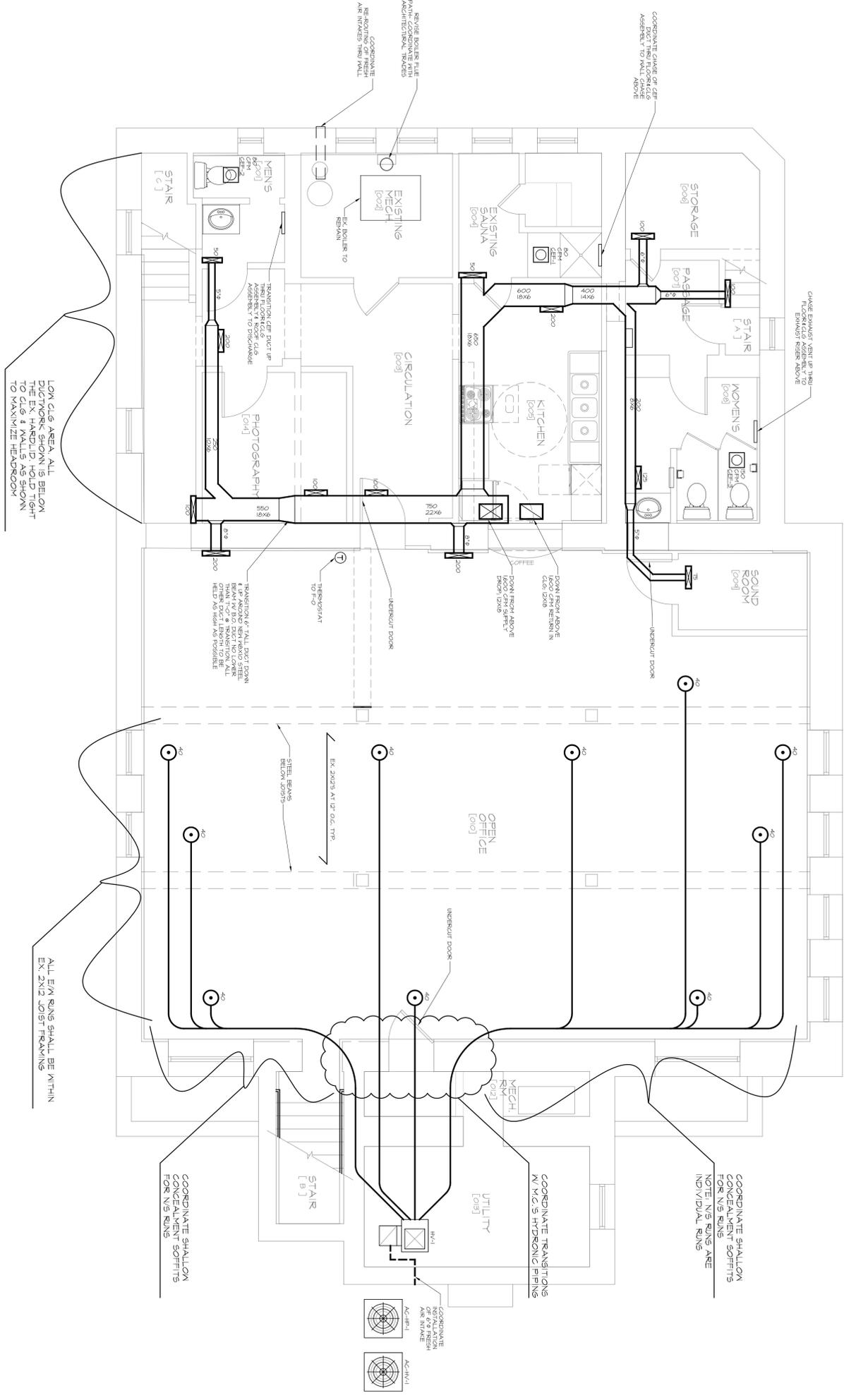
EXPOSED GENERAL DUCTWORK SHALL BE GALVANIZED.

HVAC NOTES

- ALL EXHAUST FANS SHALL BE PROVIDED & INSTALLED BY THE M.C.
- ALL FRESH AIR DUCTS SHALL BE TERMINATED TO THE EXTERIOR OF THE BUILDING ENVELOPE VIA A WEATHER PROOF CAP. TERMINATING INTO THE ATTIC SHALL NOT BE PERMITTED.
- ALL EXHAUST FAN DUCTS SHALL BE TERMINATED TO THE EXTERIOR OF THE BUILDING ENVELOPE VIA A WEATHER PROOF CAP. TERMINATING INTO THE ATTIC SHALL NOT BE PERMITTED.
- NOT USED.
- THE M.C. SHALL NOT RUN THE HVAC SYSTEM FOR HEATING OR COOLING DURING CONSTRUCTION. FAILURE TO COMPLETELY REMOVE ALL DUCTWORK AND RE-INSTALLMENT AT THE COST OF THE M.C. THE M.C. SHALL BE RESPONSIBLE FOR LOCKING OUT THE EQUIPMENT UNTIL SUBSTANTIAL COMPLETION START-UP.
- THE M.C. SHALL PROVIDE TEMPORARY HEAT AS A PART OF THE BASE BID. NO FUEL OIL OR KEROSENE HEATERS SHALL BE USED.
- THE M.C.'S BID SHALL INCLUDE UP TO 8 "CONVERT" SERVICE CALLS DURING THE FIRST YEAR FROM THE DATE OF OCCUPANCY.
- TO COMPLY WITH FEDERAL LAM AND STATE CODE, THE THERMOSTATS SHALL BE MOUNTED SO THAT THE TOP OF THE THERMOSTAT CONTROL MECHANISM DOES NOT EXCEED 48" IN HEIGHT.

HVAC LEGEND

	SUPPLY DUCT
	RETURN DUCT
	CEILING RETURN REGISTER
	WALL RETURN REGISTER
	CEILING SUPPLY REGISTER
	WALL SUPPLY REGISTER
	HV CLG SUPPLY REGISTER
	CEILING EXHAUST FAN
	THERMOSTAT
	ZONE DAMPER



LOW CLG AREA ALL DUCTWORK SHOWN IS BELOW THE EX FLOOR. HEAD LIGHT TO MAXIMIZE HEADROOM

ALL E/M RUNS SHALL BE WITHIN EX. 2ND. JOIST DRAWINGS

BASEMENT MECHANICAL PLAN

1/4" = 1'-0"

09/29/16	CLIENT REVIEW
11/07/16	BIDDING AND PERMITS

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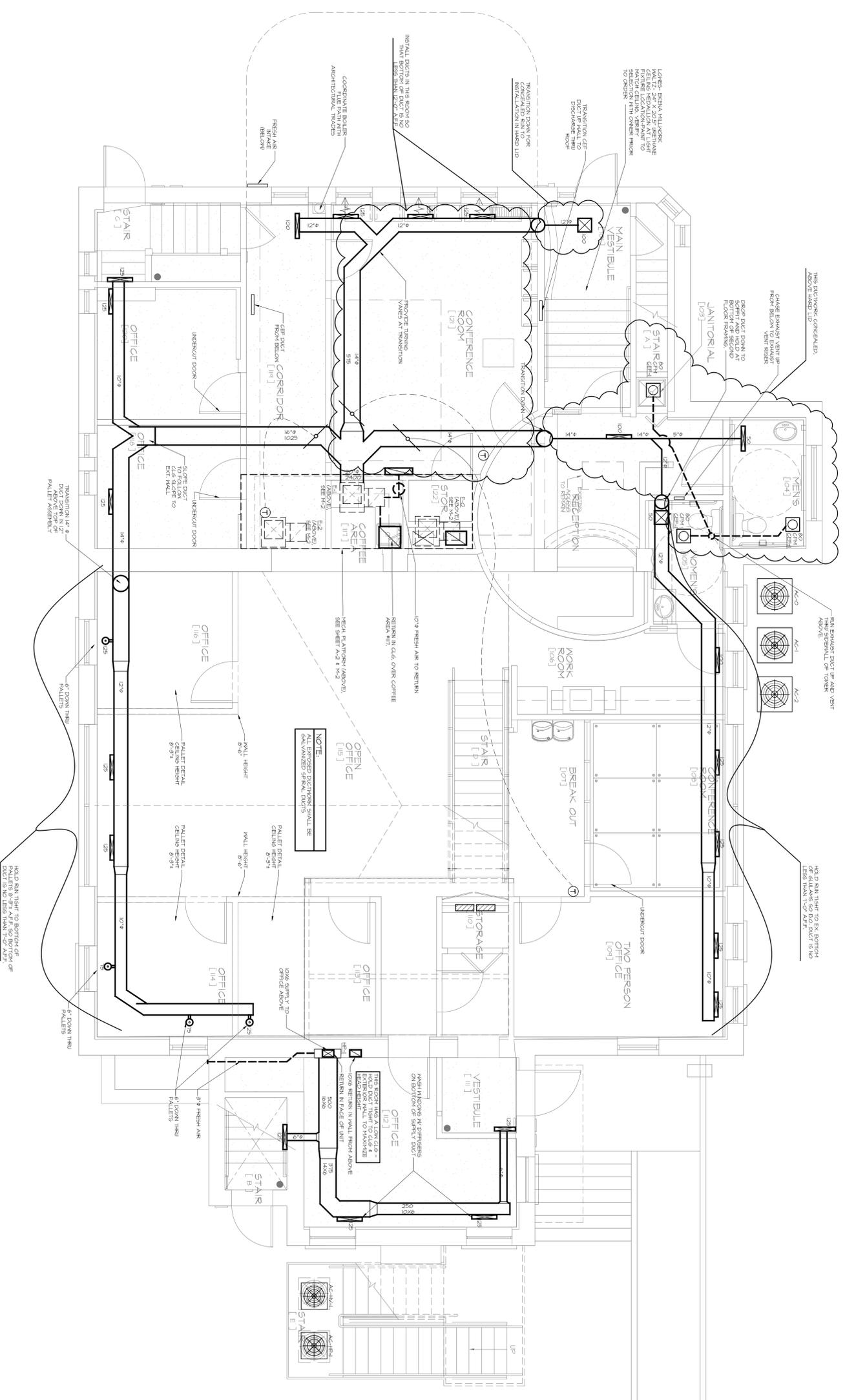
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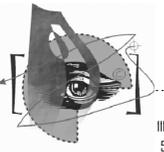


FIRST FLOOR MECHANICAL PLAN
1/4" = 1'-0"

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ELECTRICAL NOTES

1. ALL ELECTRICAL WORK INCLUDING INSTALLING CONDUIT, WIRE, AND ELECTRICAL PANELS SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AS AMENDED BY THE LOCAL ELECTRICAL CONTRACTOR & INSPECTED PRIOR TO COVERING.
2. LISTED OR LABELED EQUIPMENT SHALL BE USED AND INSTALLED IN ACCORDANCE WITH ANY INSTRUCTIONS INCLUDED IN THE LISTING OR LABELING.
3. WIRING LOCATED ABOVE A SUSPENDED CEILING SHALL NOT BE SUPPORTED BY THE CEILING ASSEMBLY INCLUDING SUPPORT WIRES UNLESS TESTED AS PART OF THE ASSEMBLY.
4. FLEXIBLE CONDUIT & CABLES SHALL NOT BE PERMITTED ABOVE A SUSPENDED OR DROPPED CEILING.
5. LIGHTING FIXTURES LOCATED WITHIN SUSPENDED CEILING SYSTEMS SHALL BE SECURELY FASTENED TO THE CEILING FRAMING BY MECHANICAL MEANS TO PREVENT THE WIRING OF THE SUSPENDED SYSTEM FROM BEING SHAKEN LOOSE. WIRING SHALL BE SECURELY FASTENED TO EACH OTHER AND SHALL BE SECURELY ATTACHED TO THE BUILDING STRUCTURE AT APPROPRIATE INTERVALS.
6. THE VENTILATION SYSTEM SHALL BE ELECTRICALLY CONTINUED AND BONDED TO THE GROUNDING ELECTRODE.
7. THE LABELING OF THE BRANCH CIRCUIT FEEDERS AND DISCONNECTS SHALL BE LEGIBLY MARKED TO INDICATE ITS PURPOSE. THE MARKING SHALL BE OF SUFFICIENT DURABILITY TO WITHSTAND THE ENVIRONMENT INVOLVED.
8. VERIFY THE REQUIRED A.I.C. RATING W/ THE LOCAL UTILITY COMPANY.
9. NONMETALLIC SHEATHED CABLE (WHERE PERMITTED BY CODE) SHALL NOT BE INSTALLED ABOVE THE SUSPENDED CEILING. ALL WIRING ABOVE THE CEILING SHALL BE IN FLEXIBLE METAL CONDUIT, MINIMUM.
10. ALL CONDUCTORS SHALL BE COPPER.
11. PROVIDE LIGHTING SENSORS AND CONTROLS IN ACCORDANCE WITH ASHRAE 90.1 OF THE MICHIGAN ENERGY CODE.
12. THE E.C. SHALL PROVIDE ALL SWITCHING & FINAL CONNECTIONS TO THE M.C.'S EXHAUST FANS.
13. ALL RECEPTACLES IN KITCHENS, BREAK ROOMS, KITCHENETTES AND FOOD PREP AREAS SHALL BE GFI OR GFI CIRCUIT PROTECTED.
14. ALL PHONE & DATA CABLING SHALL BE BY OWNER'S VENDOR

ELECTRICAL LEGEND

	EXISTING DUPLEX RECEPTACLE
	QUAD RECEPTACLE
	FLOOR MTD. DUPLEX RECEPTACLE (FLUSH)
	FLOOR MTD. DATA/DUPLEX RECEPTACLE (FLUSH)
	EQUIPMENT POWER
	PHONE OUTLET (3/4" CONDUIT & BOX)
	PHONE & DATA (3/4" CONDUIT & BOX)
	SMOKE DETECTOR
	ELECTRICAL PANEL
	ABOVE COUNTER
	ABOVE FINISHED FLOOR
	GROUND FAULT CIRCUIT INTERRUPTER
	SINGLE POLE CIRCUIT
	SINGLE POLE DIMMER SWITCH
	3 POLE SWITCH
	MOTOR (3 PH)
	DUPLEX RECEPTACLE WITH 2 USB PORTS
	JUNCTION BOX (J-BOX)

6. C. TO PROVIDE 3/4" CONDUIT AND BOX OWNER'S VENDOR WILL INSTALL. LOW VOLTAGE CABLING.

NOTE: ALL EXISTING AND NEW RECEPTACLES LOCATED IN KITCHEN TO BE GFI PROTECTED.

PANEL 'A'

400 A (MCB) 120/240v, 1ph, 3w
40 CIRCUITS NEMA 1

BRK LOAD	DESCRIPTION	CIRC	CIRC	DESCRIPTION	LOAD	BRK
20	PANEL SERVICE RECEPTACLE	1	2	LIGHTING (BASEMENT)	580	20
20	600 PHONE	3	4	SPACE (BASEMENT)	456	20
20	900 RECEPTACLES	5	6	SPACE	0	-
20	120 RECEPTACLES	7	8	DISHWASHER	900	20
20	900 RECEPTACLES	4	10	RECEPTACLES	960	20
20	600 WORK-OUT	11	12	COFFEE	900	20
20	600 WORK-OUT	13	14	REFRIGERATOR	1100	20
20	1080 RECEPTACLES	15	16	RECEPTACLES	960	20
20	1260 RECEPTACLES	17	18	OVEN/RANGE	4800	90
20	360 RECEPTACLES	19	20	240V 1 PH 3M	4800	2
20	1080 PLSWOLVD	21	22	PLWSWOLVD	1080	20
20	1080 PLSWOLVD	23	24	PLWSWOLVD	1080	20
20	1080 PLSWOLVD	25	26	PLWSWOLVD	1080	20
20	240 HOT WATER PUMP & TIMER	27	28	PLWSWOLVD	1080	20
20	2300 ELECTRIC WATER HEATER	29	30	SPACE	0	-
2	2300 240V 1 PHASE	31	32	SPACE	0	-
-	SPACE	33	34	SPACE	0	-
-	SPACE	35	36	SPACE	0	-
50	11425 PANEL 'B'	37	38	PANEL 'C'	6258	150
2	11425 120/240V 1PH 3M	39	40	120/240V 1PH 3M	6258	150

TOTAL CONNECTED LOAD = 367 AMPS @ 240v 1ph

PANEL 'B'

150 A (MCB) 120/240v, 1ph, 3w
32 CIRCUITS NEMA 1

BRK LOAD	DESCRIPTION	CIRC	CIRC	DESCRIPTION	LOAD	BRK
20	PANEL SERVICE	1	2	LIGHTING (1ST FLOOR)	594	20
20	1440 RECEPTACLES	3	4	LIGHTING (1ST FLOOR)	575	20
20	900 EXTERIOR RECEPTACLES	5	6	EXTERIOR LIGHTING	514	20
20	1260 RECEPTACLES	7	8	LIGHTING (1ST FLOOR)	1144	20
20	120 RECEPTACLES	9	10	LIGHTING (2ND FLOOR)	144	20
20	1080 RECEPTACLES	11	12	CEILING FANS	480	20
20	900 RECEPTACLES	13	14	COPPER	600	20
20	1440 RECEPTACLES	15	16	ELECTRIC WATER COOLER	900	20
20	1080 RECEPTACLES	17	18	SPACE	0	-
20	1260 RECEPTACLES	19	20	SPACE	0	-
20	900 RECEPTACLES	21	22	RECEPTACLES (2ND FLOOR)	540	20
20	1260 RECEPTACLES	23	24	RECEPTACLES (2ND FLOOR)	1340	20
20	120 RECEPTACLES	25	26	RECEPTACLES (2ND FLOOR)	540	20
20	900 TORX & MECHANICAL FLASHERS	27	28	SWITCHED OUTLETS (2ND FLOOR)	960	20
20	120 NINE COOLER	29	30	RECEPTACLES (2ND FLOOR)	1080	20
-	SPACE	31	32	SMOKE DETECTORS	120	20

TOTAL CONNECTED LOAD = 96 AMPS @ 240v 1ph

ELECTRICAL LOADING

	ACTUAL	FACTORED
LIGHTING RECEPTACLE MOTORS & EQUIP	1936	2420
TOTAL FACTORED LOAD	1936	1936
	13166	13166
		81956

SERVICE SIZE = 400 AMPS 120/240V 3M 1PH

PANEL 'C'

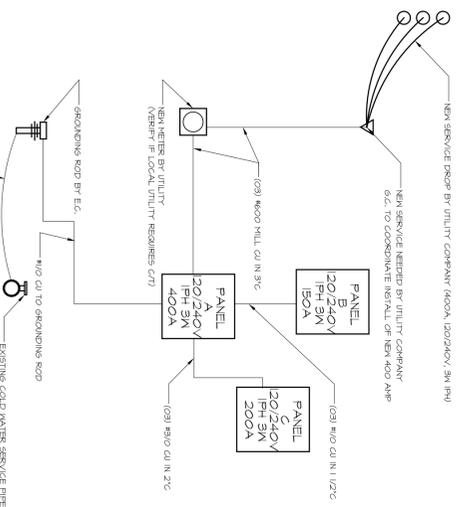
200 A (MCB) 120/240v, 1ph, 3w
30 CIRCUITS NEMA 1

BRK LOAD	DESCRIPTION	CIRC	CIRC	DESCRIPTION	LOAD	BRK
20	F-0 (4 TON)	1	2	F-1 (5 TON)	1848	20
45	AC-0	3	4	AC-1	4080	60
2	3120 240V	5	6	240V	4080	2
-	SPACE	7	8	SPACE	0	-
20	F-04 F-2 (4 TON)	9	10	HP-1 (2 TON)	1200	20
45	3120 AC-2	11	12	AC-HP-1	1080	20
2	3120 240V	13	14	SPACE	1080	2
-	SPACE	15	16	SPACE	0	-
20	1100 HV-1 (1.5 TON)	17	18	SPACE	0	-
20	1080 AC-HV-1	19	20	SPACE	0	-
-	SPACE	21	22	SPACE	0	-
-	SPACE	23	24	SPACE	0	-
-	SPACE	25	26	SPACE	0	-
-	SPACE	27	28	SPACE	0	-
-	SPACE	29	30	SPACE	0	-

TOTAL CONNECTED LOAD = 138 AMPS @ 240v 1ph

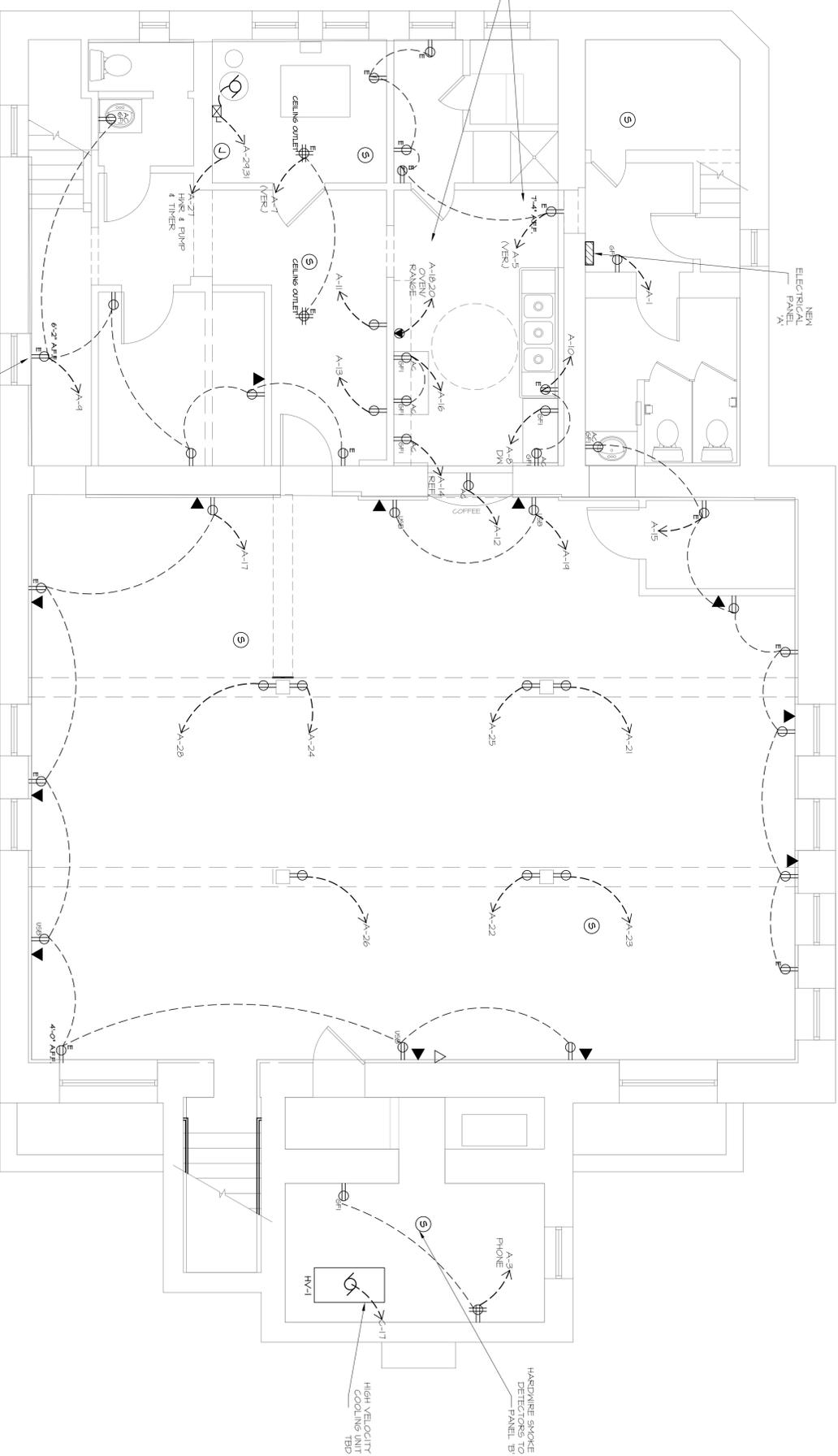
NOTE:

1. CONDUCTORS SHALL BE MC WHEN RUNNING THRU EXPOSED FRAMING (IE SECOND FLOOR FRAMING)
2. RIGID EMT WHEN RUNNING ON A FINISHED SURFACE (IE VERTICAL ON WALLS) RUN ON CONCEALED WIRING CAN BE NM. CABLE RIGID CONDUIT SERVICE + FEEDS TO SISTER PANELS



RISER SCHEMATIC

SCALE NTS



SEE ARCHITECTURAL FOR EXTERIOR WALL MODIFICATIONS (ADJUST EXISTING RECEPTACLE)

LOWER LEVEL POWER PLAN

1/4" = 1'-0"

NOTE: DATA COORDINATION
6.C. TO COORDINATE ALL DATA LOCATIONS WITH FURNITURE VENDOR

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Client: **M3 GROUP**

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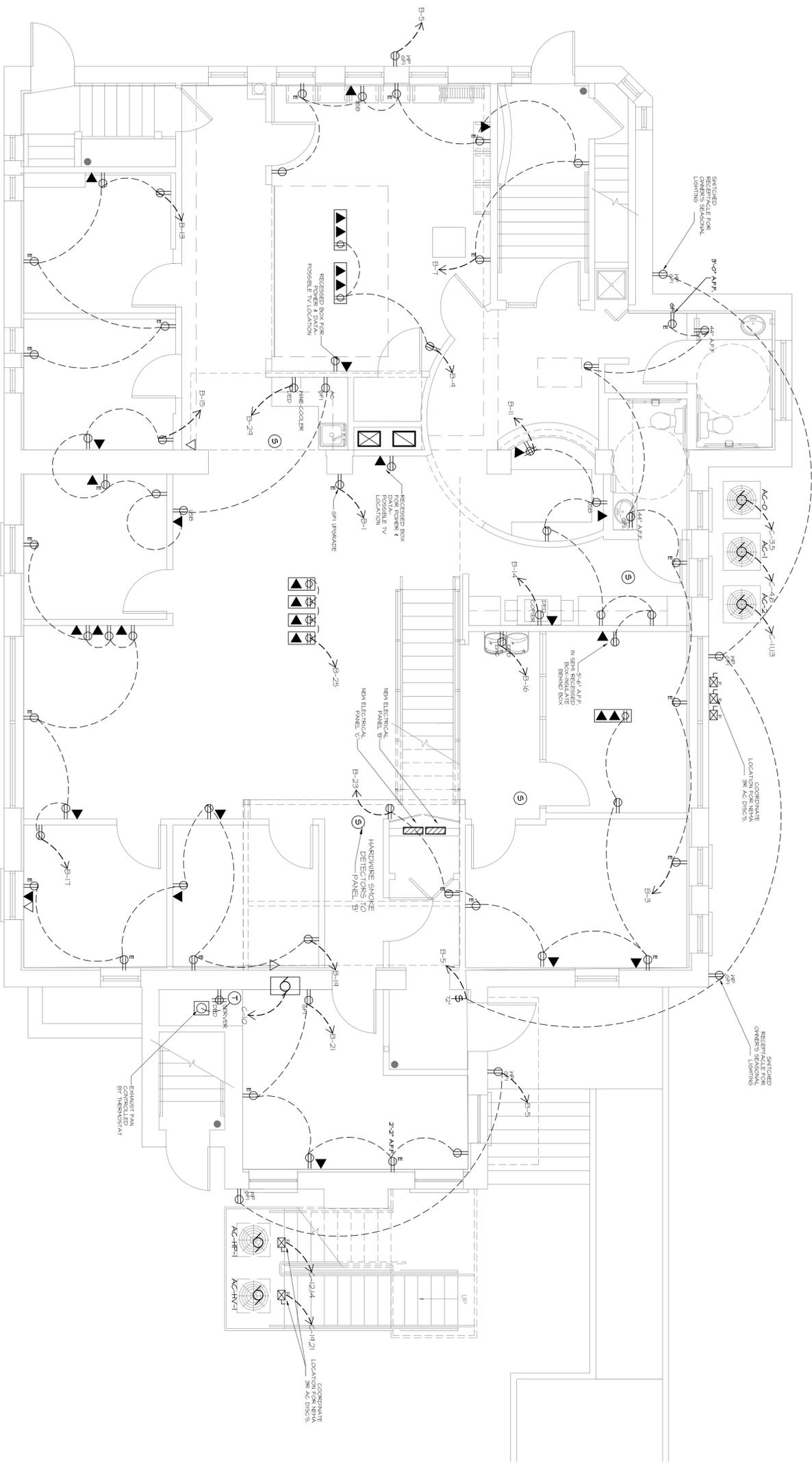
Project Number: **16,059**

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Project Name: **E-0**

NOTE:

1. ELECTRICIAN CONTRACTOR TO USE.
2. MC MEN RUNNING THRU EXPOSED FRAMING (I.E. SECOND FLOOR FRAMING)
3. VERTICAL ON WALLS / RUN ON PLASTER CEILING IN BASEMENT)
3. CONCEALED WIRING CAN BE N.Y.



FIRST FLOOR POWER PLAN
1/4" = 1'-0"

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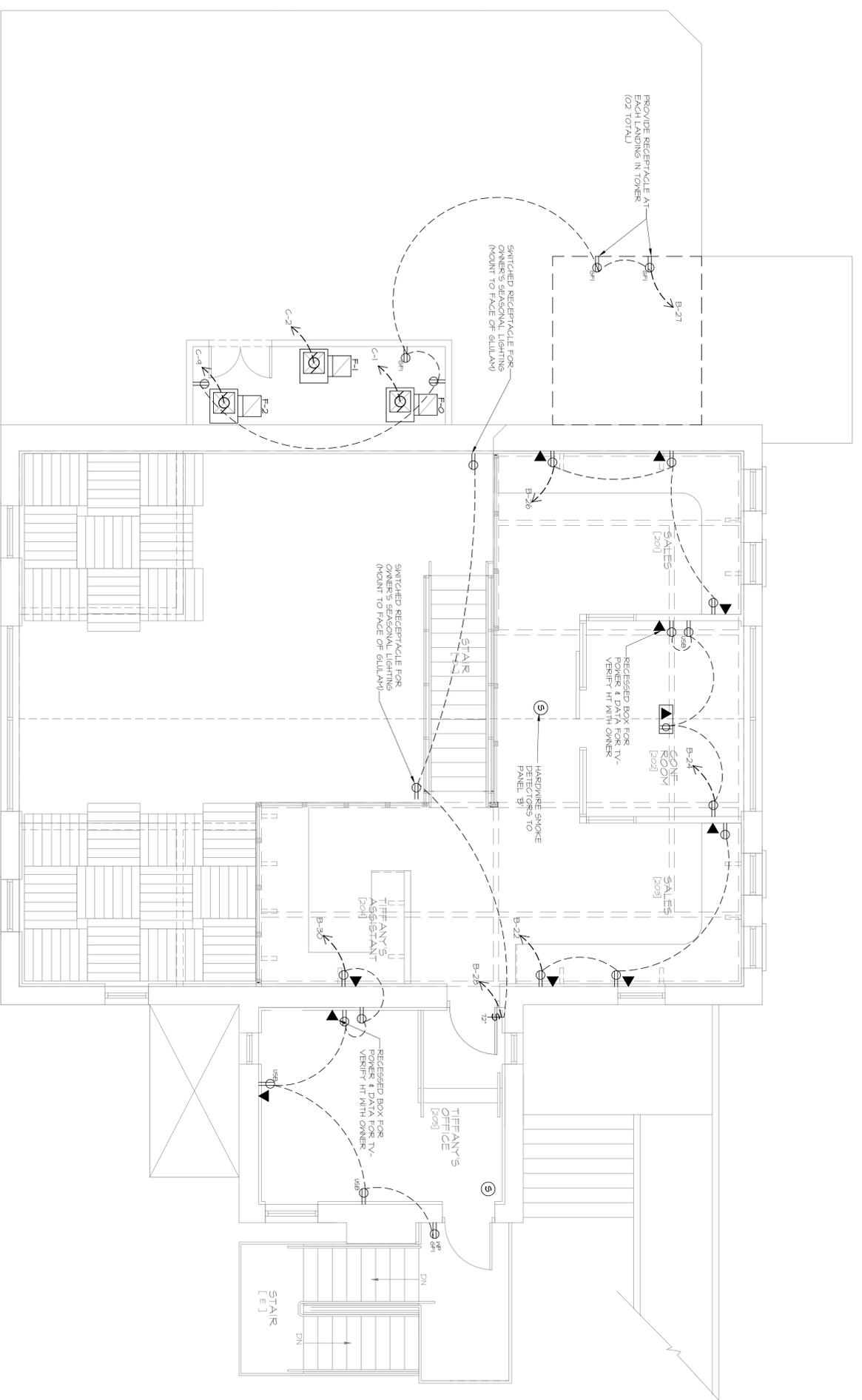
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Sheet
E-1

NOTE:

1. ELECTRICAL CONTRACTOR TO USE!
2. 1/2" WHEN RUNNING THRU EXPOSED FRAMING (I.E. SECOND FLOOR FRAMING) ON A FINISHED (I.E. VERTICALLY FINISHED) PLASTER CEILING IN BASEMENT)
3. CONCEALED WIRING CAN BE N/A.



SECOND FLOOR POWER PLAN
1/4" = 1'-0"

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E-2

LIGHT FIXTURE SCHEDULE

MARK	MANUFACTURER	MODEL NUMBER	LAMPS	REMARKS
A	E-COCONLIGHT	E-M126VZ (DARK BRONZE)	LED (2.8W)	*10 (SEE NOTE 1) / E26ES
B	E-COCONLIGHT	E-X126M (WHITE W/ GREEN)	LED (3.7W)	166 (SEE NOTE 1) / E26T
B2	E-COCONLIGHT	E-XPL26BM	LED (0.8W)	141 / E26T
B3	E-COCONLIGHT	E-XM11M	LED (1.8W)	*66 (SEE NOTE 1) / PENDANT* PACK
C	E-COCONLIGHT	E-MFL14N2 (DARK BRONZE)	LED (1.4W)	14007 / BERRY
D	E-COCONLIGHT	E-MFL14M2P (DARK BRONZE)	LED (1.4W)	14007 / BERRY
E	E-COCONLIGHT	E-S21L014K (DARK BRONZE / SMALL)	LED (1.4W)	14007 / BERRY
F	E-COCONLIGHT	E-S1BL034M (WHITE / LARGE)	LED (0.9W)	14007 / BERRY
G	E-COCONLIGHT	E-CL244W6 (2.45 FEET)	LED (4.8W)	14007 / BERRY
H	LITHONIA	2TLX4 40L FM 5W E2L LFB30 (WHITE SURFACE)	LED (3.5W)	14007 / BERRY
J1	LITHONIA	SAVE AS 'K' BUT W/ E2L BATTERY PACK	LED (12W)	14007 / BERRY
J2	LITHONIA	SLD 40995M (WHITE) W/ SLD4RAD ADAPTER	LED (12W)	14007 / BERRY
K	LITHONIA	GRD LLP 4FT MSL4 80CRI 39K ID1000LNF 0100	LED (32W)	14007 / BERRY
K2	LITHONIA	MINI 2T 120 SGT F2 C110 QLB		14007 / BERRY
K3	LITHONIA	SAVE AS 'K' BUT W/ 12FT SUSPENSION		14007 / BERRY
L	LITHONIA	SAVE AS 'K' BUT W/ LEDA EMERGENCY BATTERY PACK	LED (12W)	14007 / BERRY
M	LITHONIA	UP AND DOWN VAINITY LIGHT (ALLYOPEN.COM)	LED REPLACEMENT (17W)	14007 / BERRY
N	GOYAHM	4" FPPH 704 4AR 120 55 6 RC12 ** SEE NOTES**	LED REPLACEMENT (17W)	14007 / BERRY
O	GOYAHM	PDPF 26TR 4M6 120 55 6 RC120 MLP	(2.6W) TR1 FLUORESCENT	14007 / BERRY
P	ZULIS	REPLICA ITEM E26T DEAR IN50 SPIDER 4 ARM BLACK CHANDELIER- PROVIDE 04 E26T 4W FLUORESCENT LED BULBS/FIXTURE	LED (11W)	14007 / BERRY
Q	HALO	5" T24 IC HOUSING W/ 5" LED TRIM	LED (11W)	14007 / BERRY
R	E-COCONLIGHT	E-KX21818M (WHITE) PAIR W/ 8'-0" WIDE TRACK AS	LED (15W)	14007 / BERRY
S	E-COCONLIGHT	ILLUSTRATED ON PLANS	LED (15W)	14007 / BERRY
T	E-COCONLIGHT	E-AB11M	LED (10.0W)	14007 / BERRY
T2	TECH LIGHTING	700 F1A 30 5 LEDB30	LED (16.6W)	14007 / BERRY
U	PERRELESS	700 F1A 24 5 LED B30	LED (16.6W)	14007 / BERRY
V	LITHONIA	ICW8 1 32 OPD 4FT R4 120 ADPE SGT LLP Q100 DU	LED (17W) - 3000K	14007 / BERRY
N	LITHONIA	M58 1 32 120 RE	LED (17W)	14007 / BERRY
V	HAMPSON BAY	INDUSTRIAL 60" FAN #52864 - BRUSHED STEEL FINISH		14007 / BERRY

NOTES:
 1. SUBSTITUTE FOR BY AT THE E.C.'S ELECTION. THE E.C. MAY USE THE E-X126R3CM OPTION USING A NET LOCATION LISTED REMOVE HEAD IN LIB. OF
 2. INTENT OF INSTALLATION IS RIGID BMT TO SURFACE-MOUNTED METAL ROUND -L-BOX. SEE CUT SHEETS.
 3. BALLAST MAY NEED TO BE BYPASSED FOR LED LAMP (COORDINATE BASE + REQUIREMENTS) / SEE LIGHTING PLAN FOR APPROXIMATE CORD LENGTH.
 4. INSTALL CLEAR SHEATH OVER LAMP AT ALL LOCATIONS.
 5. INSTALL W/ 24" BRUSHED NICKEL EXTENSION ROD. CIRCUITS W/ MULTIPLE FANS MUST USE AFTERMARKET WALL CONTROL PROPERLY RATED FOR
 AMPERAGE

NOTE:
 VERIFY ALL LIGHT FIXTURES WITH
 OWNER PRIOR TO ORDER

GENERAL NOTES:

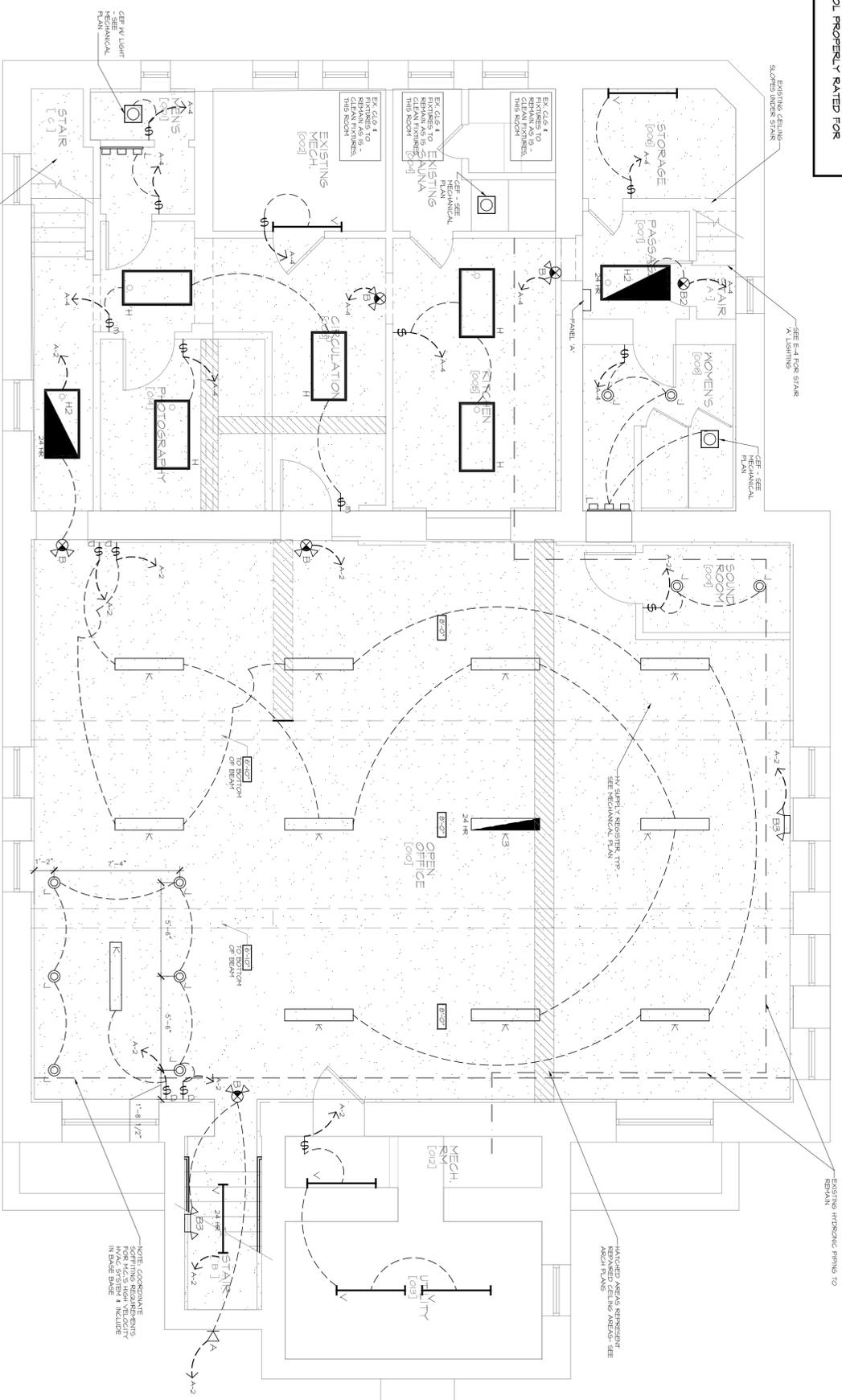
- LAMPS SHALL BE PROVIDED FOR EACH FIXTURE (BY E.C.)
- CEILING FANS TO BE PROVIDED AND INSTALLED BY E.C.
- ALL INTERIOR LAMPS SHALL BE 9000K (UNLESS SPECIFIED OTHERWISE)
- ALL EXTERIOR LAMPS SHALL BE 4000K (UNLESS SPECIFIED OTHERWISE)
- PRICING NOTED IN SCHEDULE IS FOR GENERAL REFERENCE ONLY. PRICING SHALL NOT BE USED FOR BIDDING OR FOR SETTING ALLOWANCES.

NOTE:

- ELECTRICAL CONTRACTOR TO USE:
- MC WHEN RANING THRU EXPOSED FRAMING (I.E. SECOND FLOOR FRAMING)
- RIGID BMT WHEN RANING ON A FINISHED (I.E. VERTICAL ON WALLS) RUN ON PLASTER CEILING IN BASEMENT
- CONCEALED WIRING CAN BE NY.

CEILING LEGEND

- [Pattern] = EXISTING DRYWALL
- [Pattern] = INDICATES CEILING HEIGHT
- [Pattern] = EXPOSED DUCTWORK - SEE MECHANICAL PLANS



LOWER LEVEL LIGHTING AND
 REFLECTED CEILING PLAN
 1/4" = 1'-0"

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Project: M3 GROUP OFFICE RENOVATION

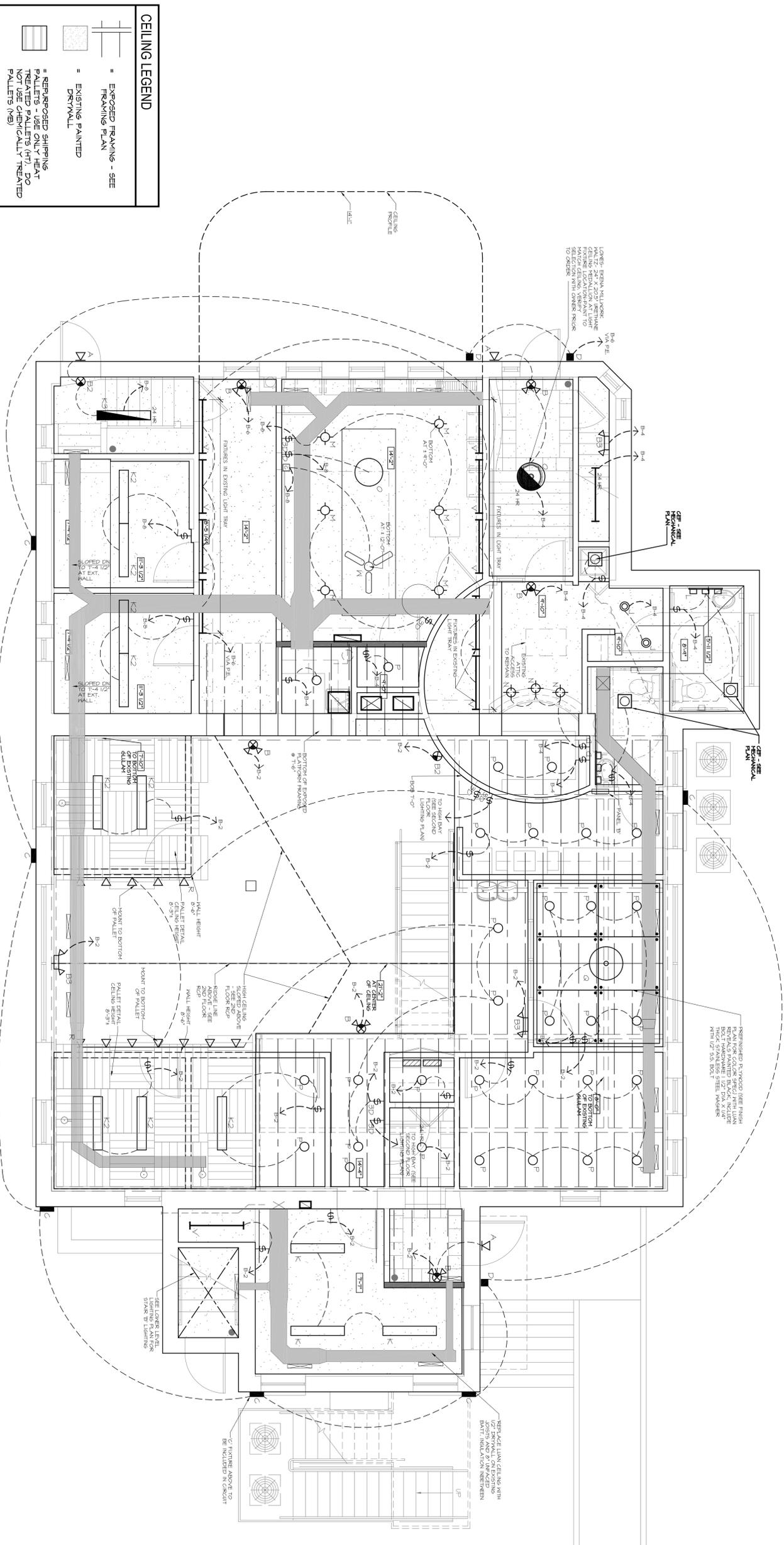
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Sheet: E-3

NOTE:

1. ELECTRICAL CONTRACTORS TO USE:
 1. MC (WHEN RUNNING THRU) EXPOSED FRAMING (I.E. SECOND FLOOR FRAMING)
 2. RIGID ENT WHEN FRAMING ON A FINISHED (I.E. VERTICAL ON WALLS, RUN ON PLASTER CEILING IN BASEMENT)
 3. CONCEALED WIRING CAN BE N.Y.



CEILING LEGEND	
	= EXPOSED FRAMING - SEE FRAMING PLAN
	= EXISTING PAINTED DRYWALL
	= REPURPOSED SHIPPING PALLET'S - USE ONLY HEAVY NOT USE CHEMICALLY TREATED PALLET'S (NB)
	= INDICATES CEILING HEIGHT
	= EXPOSED DUCTWORK - SEE MECHANICAL PLANS

FIRST FLOOR LIGHTING AND REFLECTED CEILING PLAN
 1/4" = 1'-0"

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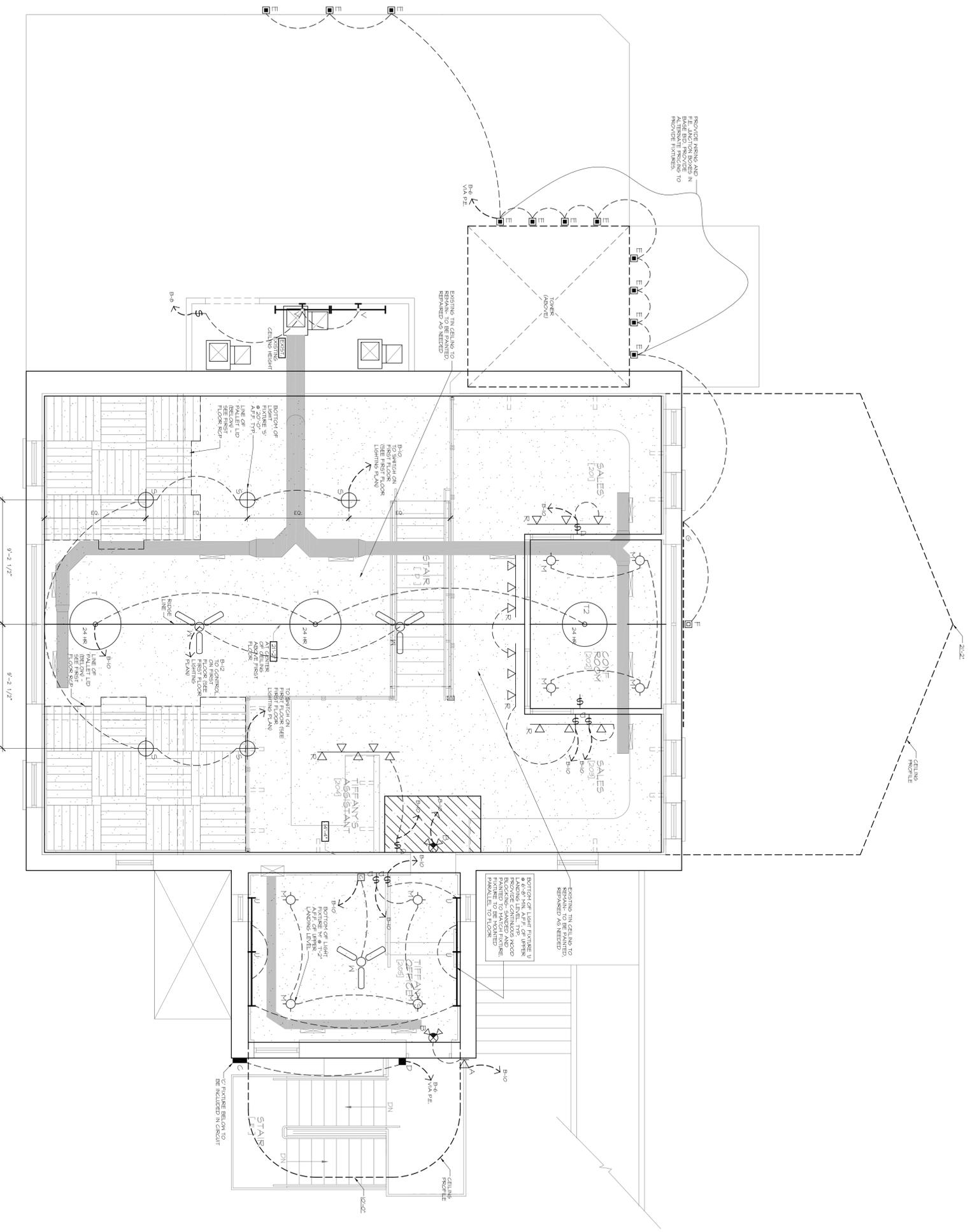
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NOTE:

- ELECTRICAL CONTRACTOR TO USE MC WHEN RUNNING THRU EXPOSED FRAMING (I.E. SECOND FLOOR FRAMING)
- RIGID EMT WHEN RUNNING ON A FINISHED (I.E. VERTICAL ON WALLS; RUN ON PLASTER CEILING IN BASEMENT)
- CANCELLED WIRING CAN BE NM.

CEILING LEGEND	
	= EXISTING TO BE PAINTED
	= EXPOSED DUCTWORK - SEE MECHANICAL PLAN
	= INDICATES CEILING HEIGHT
	= NEW DRYWALL; PAINTED

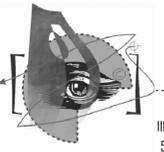


SECOND FLOOR LIGHTING AND REFLECTED CEILING PLAN

1/4" = 1'-0"

09/29/16	CLIENT REVIEW BIDDING AND PERMITS
11/07/16	

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Project Type
OFFICE RENOVATION

Client
M3 GROUP
221 W. SAGINAW ST.
LANSING, MI 48933

Project
614 SEMOUR AVE.
LANSING, MI 48933

Project Number
16,059

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