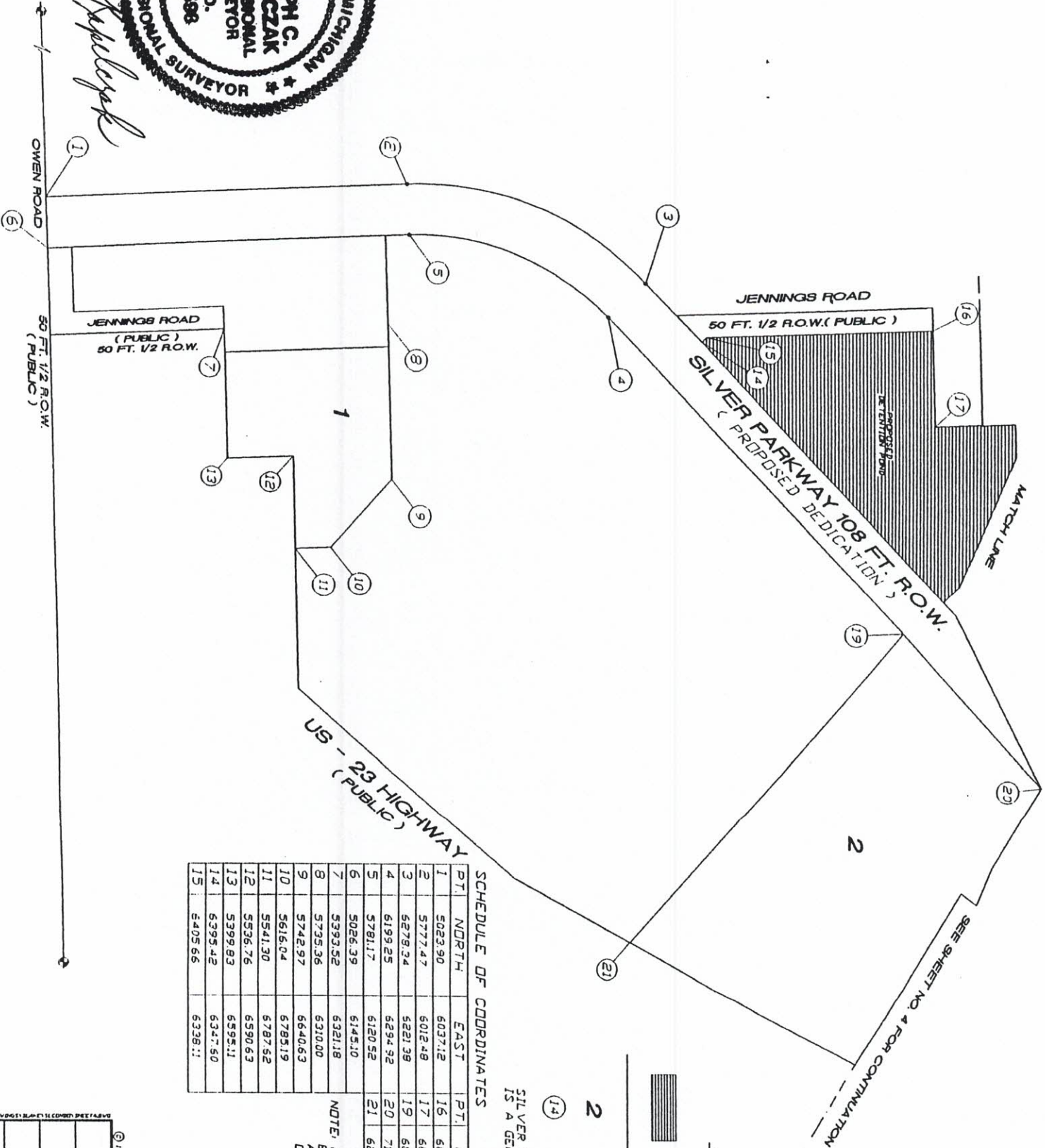




Joseph C. Kapelczak

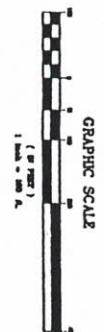


SCHEDULE OF COORDINATES

PT.	NORTH	EAST	PT.	NORTH	EAST
1	5023.90	6037.12	16	6881.22	6322.55
2	5777.47	6012.48	17	6885.82	6522.53
3	5279.24	5221.98	19	6819.11	6523.22
4	6199.25	5294.92	20	7113.74	7280.84
5	5781.17	6120.52	21	6246.46	7515.35
6	5026.39	6145.10			
7	5393.52	6321.18			
8	5735.36	6310.00			
9	5742.97	6440.63			
10	5616.04	6785.19			
11	5541.30	6787.52			
12	5536.76	6590.63			
13	5399.83	6595.11			
14	6395.42	6347.50			
15	6405.66	6338.11			

NOTE: ALL UNITS AND GENERAL COMMON ELEMENT AREAS ARE CONVERTIBLE AREAS PURSUANT TO ARTICLE VIII OF THE MASTER DEED.

PROPOSED FEBRUARY 1994



LEGEND

- LIMITED COMMON ELEMENT
- LIMITS OF OWNERSHIP
- 2** UNIT NUMBER
- (14)** COORDINATE POINT NUMBER

SILVER PARKWAY RIGHT-OF-WAY IS A GENERAL COMMON ELEMENT

SEE SHEET NO. 4 FOR CONTINUATION

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JCK JCK & ASSOCIATES, INC.
CONSULTING ENGINEERS
NORWICH, OH. NO. 3153 548-2680

SILVER LAKE VILLAGE

SITE PLAN

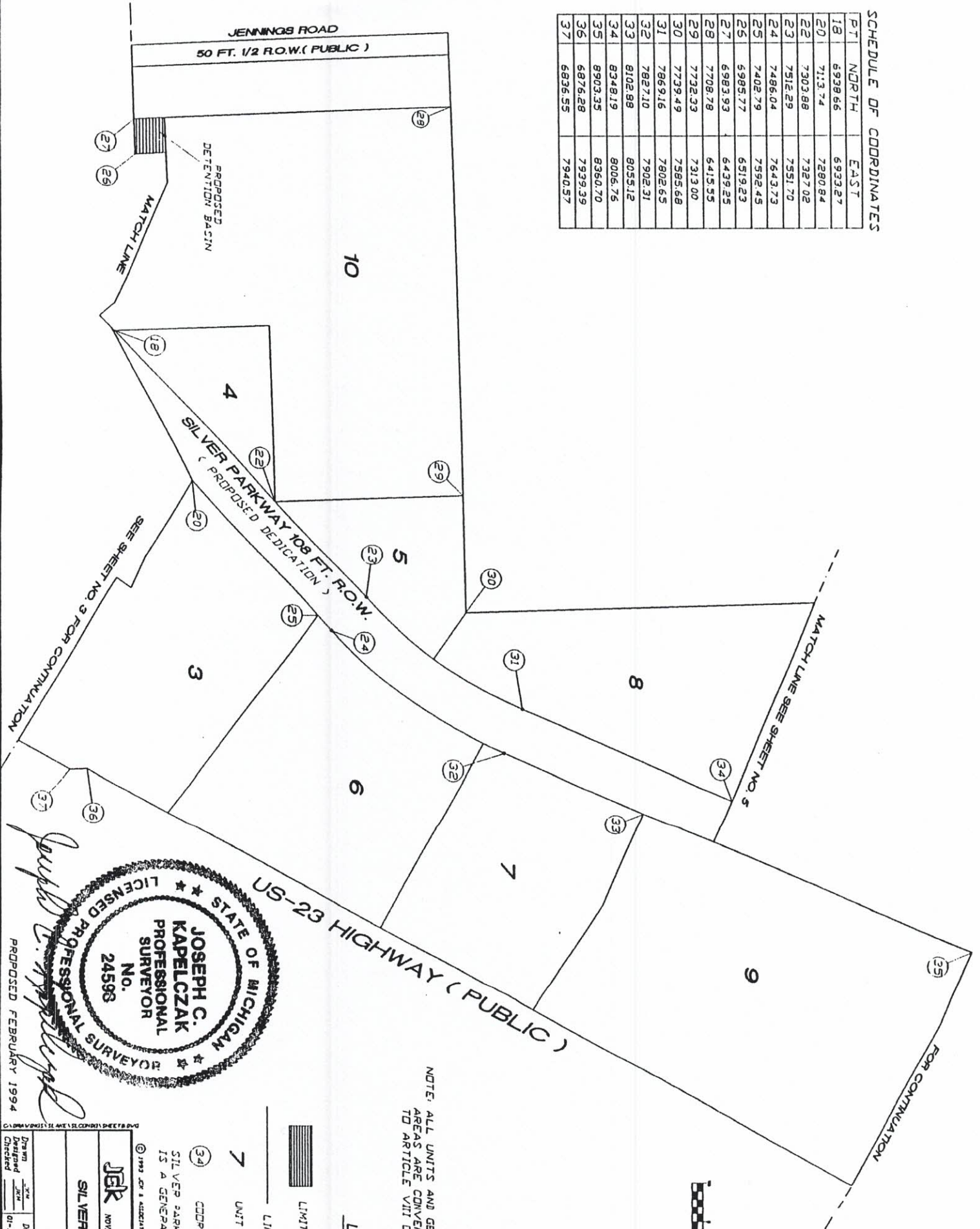
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Checked	JCK								

01-11-94 1:41:00 1-233-01-32

502-1
X-511-E

SCHEDULE OF COORDINATES

PT	NORTH	EAST
18	6938.66	6933.27
20	7113.74	7280.84
22	7303.88	7327.02
23	7512.29	7551.70
24	7486.04	7643.73
25	7402.79	7592.45
27	6985.77	6519.23
28	6983.93	6439.25
29	7708.78	6415.55
29	7732.33	7313.00
30	7739.49	7585.68
31	7869.16	7802.65
32	7827.10	7902.31
33	8102.98	8055.12
34	8348.19	8006.76
35	8903.35	8360.70
36	6876.28	7939.39
37	6836.55	7940.57





STATE OF MICHIGAN
 JOSEPH C. KAPELCZAK
 PROFESSIONAL SURVEYOR
 No. 24596
 LICENSED PROFESSIONAL SURVEYOR

Joseph C. Kapelczak

PROPOSED FEBRUARY 1994

NOTE: ALL UNITS AND GENERAL COMMON ELEMENT AREAS ARE CONVERTIBLE AREAS PURSUANT TO ARTICLE VIII OF THE MASTER DEED.

LEGEND

-  LIMITED COMMON ELEMENT
-  LIMITS OF OWNERSHIP
- 7** UNIT NUMBER
- 34** COORDINATE POINT NUMBER
- 34** SILVER PARKWAY RIGHT-OF-WAY IS A GENERAL COMMON ELEMENT



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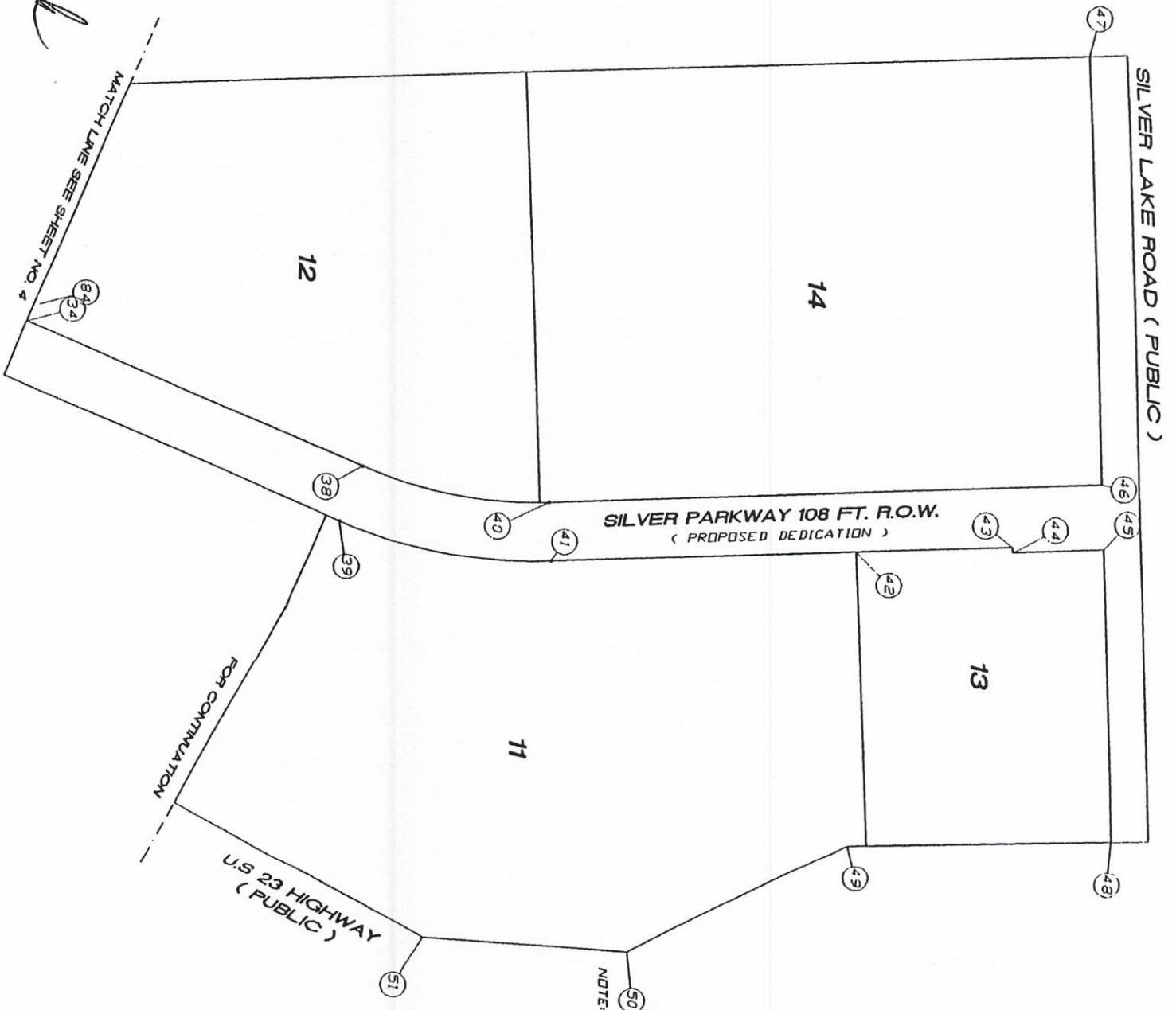
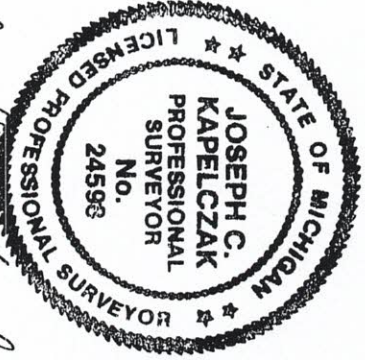
JCR & ASSOCIATES, INC.
 CONSULTING ENGINEERS
 101 W. WASHINGTON ST. NO. 1301 348-2800

SILVER LAKE VILLAGE

SITE PLAN

Drawn	JCM	Date	Scale	Job No.	SPL No.
Checked	JCM	01-18-94	1"=100'	3-2734-C1-02	4

Joseph C. Kapelczak



SILVER PARKWAY 108 FT. R.O.W.
(PROPOSED DEDICATION)

SILVER LAKE ROAD (PUBLIC)

U.S. 23 HIGHWAY
(PUBLIC)

FOR CONTINUATION

MATCH LINE SEE SHEET NO. 84
84
83

SILVER PARKWAY RIGHT OF WAY
IS A GENERAL COMMON ELEMENT

(80) COORDINATE POINT NUMBER

12 UNIT NUMBER

LIMITED COMMON ELEMENT

LEGEND



NOTE: ALL UNITS AND GENERAL COMMON ELEMENT
AREAS ARE CONVERTIBLE AREAS PURSUANT
TO ARTICLE VIII OF THE MASTER DEED.
SCHEDULE OF COORDINATES

PT.	NORTH	EAST
34	8348.19	8006.76
38	8970.40	8271.99
39	8929.07	8371.23
40	9314.54	8335.52
41	9318.66	8443.84
42	9896.67	8421.54
43	10445.64	8385.78
44	10777.28	8420.44
45	10347.23	8413.95
46	10343.71	8296.00
47	10320.04	7502.60
48	10363.66	8964.57
49	9872.83	8974.85
50	9461.04	9180.18
51	9093.71	9156.00

PROPOSED FEBRUARY 1994

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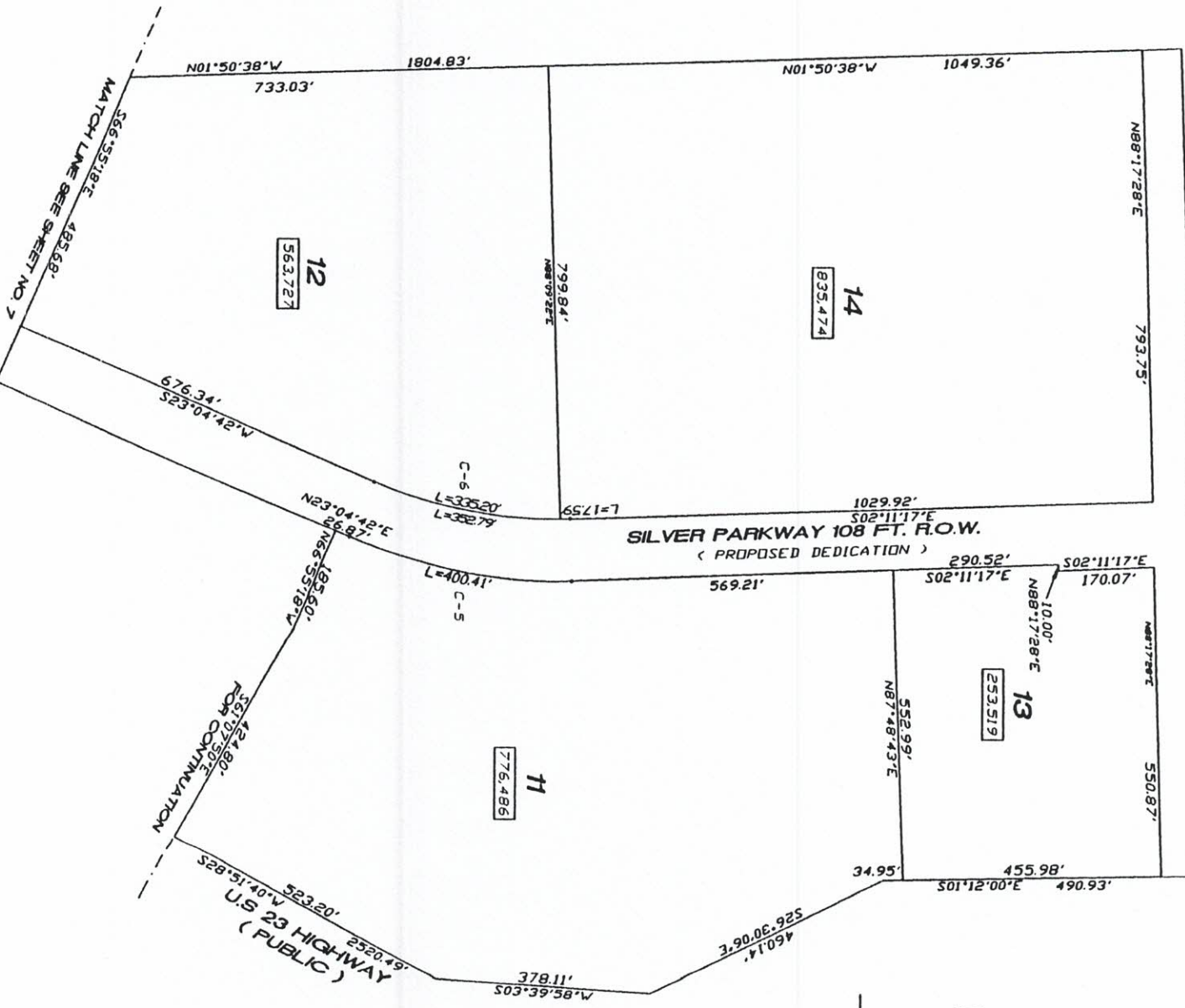
J&K ASSOCIATES, INC.
CONSULTING ENGINEERS
NORMAN, PA. NO. 15131 248-2687

SILVER LAKE VILLAGE

SITE PLAN

Drawn	JCM	Date	Scale	Job No.	Sht. No.
Designed	JCM	01-12-94	1"=100'	83-034-01-02	5
Checked					

SILVER LAKE ROAD (PUBLIC)

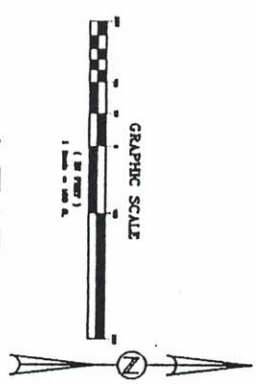


SCHEDULE OF CURVE DATA
ON SITE BOUNDARY LINES

CURVE	RADIUS	LENGTH	DELTA
C-5	908.00'	400.41'	25°15'59"
C-6	800.00'	352.79'	25°15'59"

SCHEDULE OF UNIT AREA
PLUS SITE BOUNDARY AREA

UNIT NO.	AREA SQ. FT.
11	776,486
12	563,727
13	253,519
14	835,474



LEGEND

- 776,446 UNIT AREA - SQ. FT.
- 71 UNIT NUMBER
- 71 UNIT LINE
- C-5 CURVE NUMBER



Joseph C. Kapelczak

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J&K
J&K ASSOCIATES, INC.
CONSULTING ENGINEERS
NORMAN, PA. (313) 348-7880

SILVER LAKE VILLAGE

AREAS AND THE PERIMETERS
OF THE SITE BOUNDARY LINES

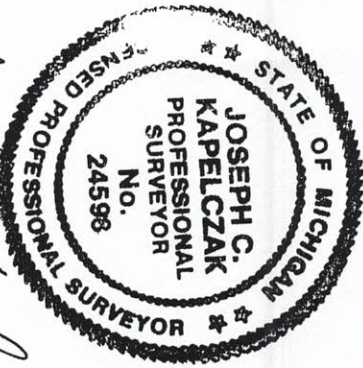
Drawn	J&K	Date	Scale	Job No.	Sht. No.
Checked	J&K	01-14-94	1"=100'	P-2034-01-02	8

GENERAL NOTES:

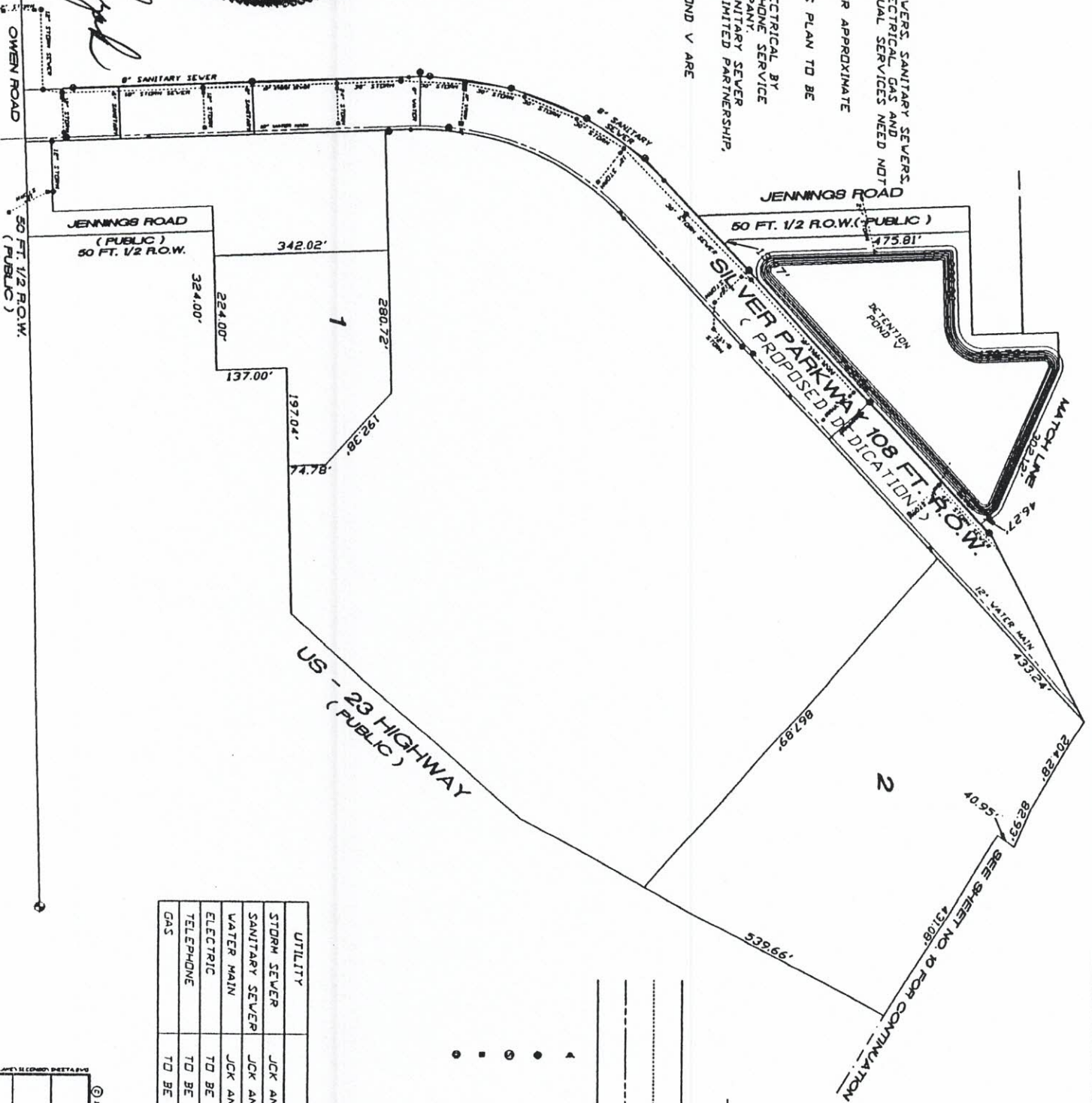
1. ROADS, TRUNK LINES FOR STORM SEWERS, SANITARY SEWERS, WATER MAINS, TRUNK LINES FOR ELECTRICAL, GAS AND TELEPHONE MUST BE BUILT. INDIVIDUAL SERVICES NEED NOT BE BUILT.
2. ALL UTILITIES SHOWN ARE IN THEIR APPROXIMATE LOCATIONS PER UTILITY SOURCE.
3. ALL UTILITIES NOT SHOWN ON THIS PLAN TO BE SHOWN ON AS BUILT DRAWINGS.
4. ALL SITE TO BE SERVED WITH ELECTRICAL BY CONSUMERS POWER COMPANY, TELEPHONE SERVICE BY MICHIGAN BELL TELEPHONE COMPANY, STORM SEWER, WATER MAIN, AND SANITARY SEWER BY FENTON VENTURE ASSOCIATES LIMITED PARTNERSHIP, A MICHIGAN LIMITED PARTNERSHIP.
5. UNITS TRIBUTARY TO DETENTION POND V ARE 1, 4, 5, 10

SCHEDULE OF UNIT AREA

UNIT NO.	UNIT AREA SQ. FT.
1	107,869
2	377,475

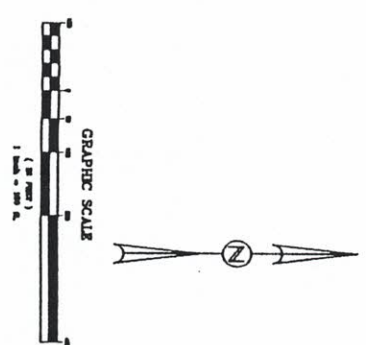


Joseph C. Kapelczak



UTILITY	SOURCE
STORM SEWER	JCK AND ASSOCIATES DESIGN DRAWINGS
SANITARY SEWER	JCK AND ASSOCIATES DESIGN DRAWINGS
WATER MAIN	JCK AND ASSOCIATES DESIGN DRAWINGS
ELECTRIC	TO BE SHOWN ON AS BUILT DRAWINGS
TELEPHONE	TO BE SHOWN ON AS BUILT DRAWINGS
GAS	TO BE SHOWN ON AS BUILT DRAWINGS

- LEGEND**
- LIMITS OF OWNERSHIP AND SITE BOUNDARY LINES
 - STORM SEWER
 - WATER MAIN
 - SANITARY SEWER
 - HYDRANTS
 - GATE VALVE AND BOX
 - SANITARY MANHOLE
 - CATCH BASIN AND INLET
 - STORM MANHOLE



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JCK & ASSOCIATES, INC.
CONSULTING ENGINEERS
1111 W. WOOD, P.O. BOX 1111
ANN ARBOR, MI 48106-1111 (313) 348-2660

SILVER LAKE VILLAGE

UTILITY PLAN
UNIT DIMENSIONS AND AREAS

Drawn	JCK	Date	Scale	Job No.	Sheet No.
Designed	JCK	1-14-94	1"=100'	9-2034-01-02	9
Checked	JCK				

GENERAL NOTES:
 1. ROADS TRUNK LINES FOR STORM SEWERS, SANITARY SEWERS, WATER MAINS, TRUNK LINES FOR ELECTRICAL GAS AND TELEPHONE MUST BE BUILT. INDIVIDUAL SERVICES NEED NOT BE BUILT.
 2. ALL UTILITIES SHOWN ARE IN THEIR APPROXIMATE LOCATIONS PER UTILITY SOURCE.
 3. ALL UTILITIES NOT SHOWN ON THIS PLAN TO BE SHOWN ON AS BUILT DRAWINGS.
 4. ALL SITE TO BE SERVED WITH ELECTRICAL BY CONSUMERS POWER COMPANY, TELEPHONE SERVICE BY MICHIGAN BELL TELEPHONE COMPANY, STORM SEWERS BY FENION VENTURE ASSOCIATES, SANITARY SEWER BY FENION VENTURE ASSOCIATES, LIMITED PARTNERSHIP A MICHIGAN LIMITED PARTNERSHIP.

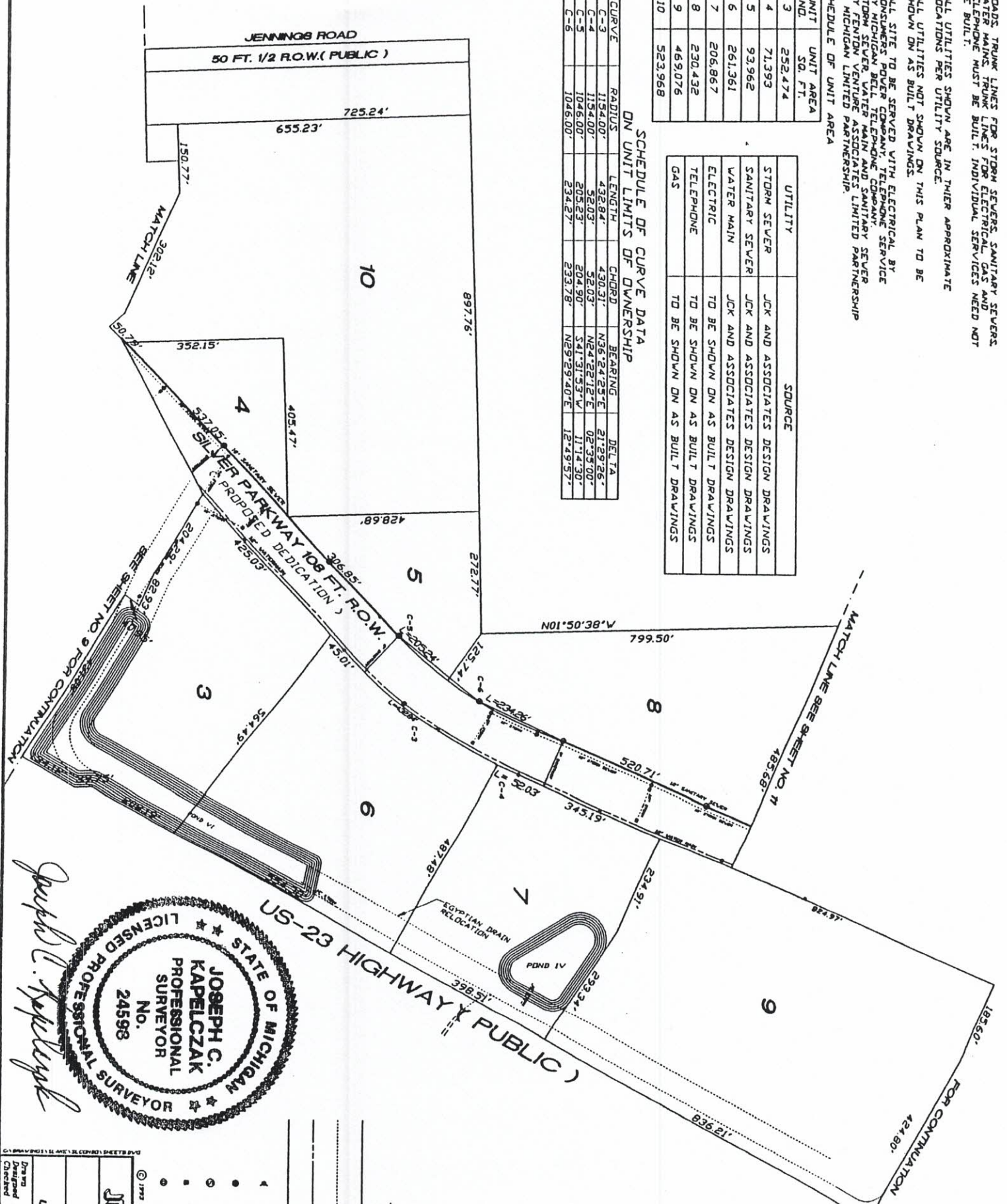
SCHEDULE OF UNIT AREA

UNIT NO.	UNIT AREA SQ. FT.
3	252,474
4	71,393
5	93,962
6	261,361
7	206,867
8	230,432
9	469,076
10	523,968

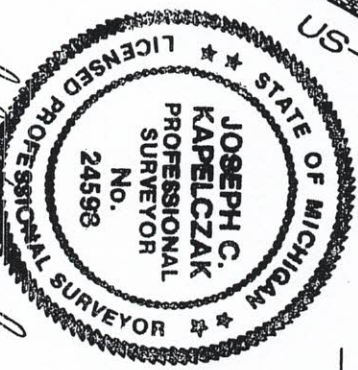
UTILITY	SOURCE
STORM SEWER	JCK AND ASSOCIATES DESIGN DRAWINGS
SANITARY SEWER	JCK AND ASSOCIATES DESIGN DRAWINGS
WATER MAIN	JCK AND ASSOCIATES DESIGN DRAWINGS
ELECTRIC	TO BE SHOWN ON AS BUILT DRAWINGS
TELEPHONE	TO BE SHOWN ON AS BUILT DRAWINGS
GAS	TO BE SHOWN ON AS BUILT DRAWINGS

SCHEDULE OF CURVE DATA
 ON UNIT LIMITS OF OWNERSHIP

CURVE	RADIUS	LENGTH	CHORD	BEARING	DELTA
C-3	1154.00'	432.84'	430.31'	N56°24'25"E	21°29'26"
C-4	1154.00'	52.03'	52.03'	N24°22'12"E	02°39'00"
C-5	1046.00'	205.23'	204.90'	S41°31'53"W	11°14'30"
C-6	1046.00'	234.27'	233.78'	N29°29'40"E	12°49'57"



Joseph C. Kapelczak



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JCK JCK & ASSOCIATES, INC.
 CONSULTING ENGINEERS
 NOVEMBER 1994 P.E. NO. (319) 344-2600

SILVER LAKE VILLAGE

UTILITY PLAN

UNIT DIMENSIONS AND AREAS

Drawn	Checked	Date	Scale	Job No.	Sht. No.
JCK	JCK	01-14-94	1"=100'	9-2034-01-02	10

LEGEND

LIMITS OF OWNERSHIP AND SITE BOUNDARY LINES

STORM SEWER

WATER MAIN

SANITARY SEWER

HYDRANTS

GATE VALVE AND BOX

SANITARY MANHOLE

CATCH BASIN AND INLET

STORM MANHOLE

GRAPHIC SCALE

1" = 100'

1" = 200'

1" = 300'

1" = 400'

1" = 500'

1" = 600'

1" = 700'

1" = 800'

1" = 900'

1" = 1000'

1" = 1100'

1" = 1200'

1" = 1300'

1" = 1400'

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1" = 1900'

1" = 2000'

1" = 2100'

1" = 2200'

1" = 2300'

1" = 2400'

1" = 2500'

1" = 2600'

1" = 2700'

1" = 2800'

1" = 2900'

1" = 3000'

1" = 3100'

1" = 3200'

1" = 3300'

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1" = 3600'

1" = 3700'

1" = 3800'

1" = 3900'

1" = 4000'

1" = 4100'

1" = 4200'

1" = 4300'

1" = 4400'

1" = 4500'

1" = 4600'

1" = 4700'

1" = 4800'

1" = 4900'

1" = 5000'

1" = 5100'

1" = 5200'

1" = 5300'

1" = 5400'

1" = 5500'

1" = 5600'

1" = 5700'

1" = 5800'

1" = 5900'

1" = 6000'

1" = 6100'

1" = 6200'

1" = 6300'

1" = 6400'

1" = 6500'

1" = 6600'

1" = 6700'

1" = 6800'

1" = 6900'

1" = 7000'

1" = 7100'

1" = 7200'

1" = 7300'

1" = 7400'

1" = 7500'

1" = 7600'

1" = 7700'

1" = 7800'

1" = 7900'

1" = 8000'

1" = 8100'

1" = 8200'

1" = 8300'

1" = 8400'

1" = 8500'

1" = 8600'

1" = 8700'

1" = 8800'

1" = 8900'

1" = 9000'

1" = 9100'

1" = 9200'

1" = 9300'

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1" = 9500'

1" = 9600'

1" = 9700'

1" = 9800'

1" = 9900'

1" = 10000'

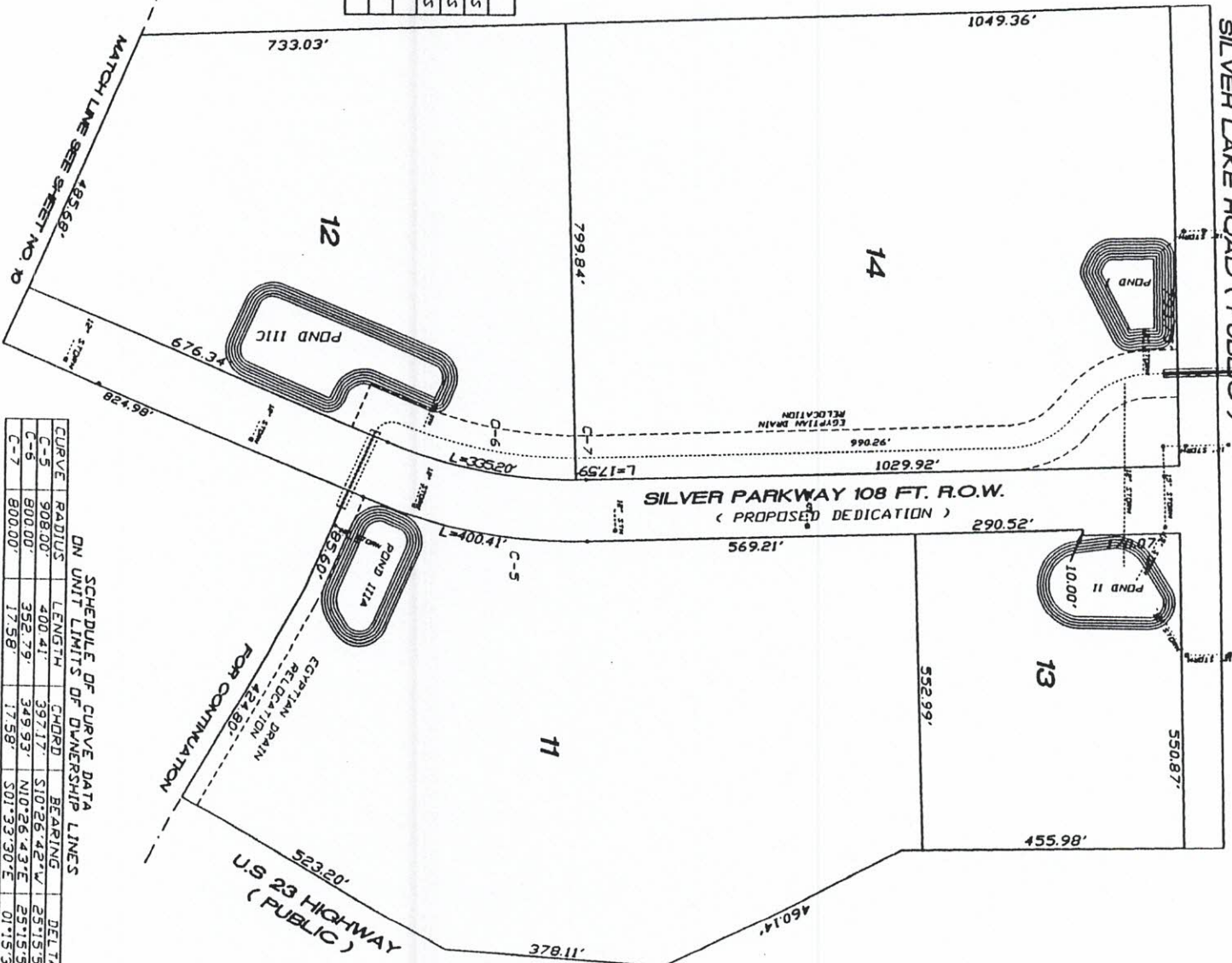
SILVER LAKE ROAD (PUBLIC)

SCHEDULE OF UNIT AREA

UNIT NO.	UNIT AREA SQ. FT.
11	776,486
12	563,727
13	253,519
14	835,474

UTILITY	SOURCE
STORM SEWER	JCK AND ASSOCIATES DESIGN DRAWINGS
SANITARY SEWER	JCK AND ASSOCIATES DESIGN DRAWINGS
WATER MAIN	JCK AND ASSOCIATES DESIGN DRAWINGS
ELECTRIC	TO BE SHOWN ON AS BUILT DRAWINGS
TELEPHONE	TO BE SHOWN ON AS BUILT DRAWINGS
GAS	TO BE SHOWN ON AS BUILT DRAWINGS

1. ROADS TRUNK LINES FOR STORM SEWERS, SANITARY SEWERS, WATER MAIN, TRUNK LINES FOR ELECTRICAL, GAS AND TELEPHONE MUST BE BUILT. INDIVIDUAL SERVICES NEED NOT BE BUILT.
2. ALL UTILITIES SHOWN ARE IN THEIR APPROXIMATE LOCATIONS PER UTILITY SOURCE.
3. ALL UTILITIES NOT SHOWN ON THIS PLAN TO BE SHOWN ON AS BUILT DRAWINGS.
4. ALL SITE TO BE SERVED WITH ELECTRICAL SERVICE BY CONSUMERS POWER COMPANY, TELEPHONE SERVICE BY MICHIGAN BELL TELEPHONE COMPANY, STORM SEWER, WATER MAIN AND SANITARY SEWER BY FENTON VENTURE ASSOCIATES LIMITED PARTNERSHIP A MICHIGAN LIMITED PARTNERSHIP.



SCHEDULE OF CURVE DATA LINES
ON UNIT LIMITS OF OWNERSHIP LINES

CURVE	RADIUS	LENGTH	CHORD	BEARING	DELTA
C-5	908.00'	400.41'	397.17'	S10°26'42" W	25°15'59"
C-6	800.00'	392.79'	349.93'	N10°26'43" E	25°15'59"
C-7	800.00'	17.58'	17.58'	S01°33'30" E	01°15'34"

GRAPHIC SCALE
1" = 100'

LEGEND

- LIMITS OF OWNERSHIP AND SITE BOUNDARY LINES
- STORM SEWER
- WATER MAIN
- SANITARY SEWER
- HYDRANTS
- GATE VALVE AND BOX
- SANITARY MANHOLE
- CATCH BASIN AND INLET
- STORM MANHOLE

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JCK & ASSOCIATES, INC.
CONSULTING ENGINEERS
1000 W. BAYVIEW BLVD. SUITE 100
ANN ARBOR, MI 48106-1500

SILVER LAKE VILLAGE

UTILITY PLAN
UNIT DIMENSIONS AND AREAS

JOSEPH C. KAPELCZAK
PROFESSIONAL SURVEYOR
NO. 24598

Joseph C. Kapelczak

Drawn	Date	Scale	Job No.	Sheet No.
JCK	01-14-94	1"=100'	14-233-01-02	11

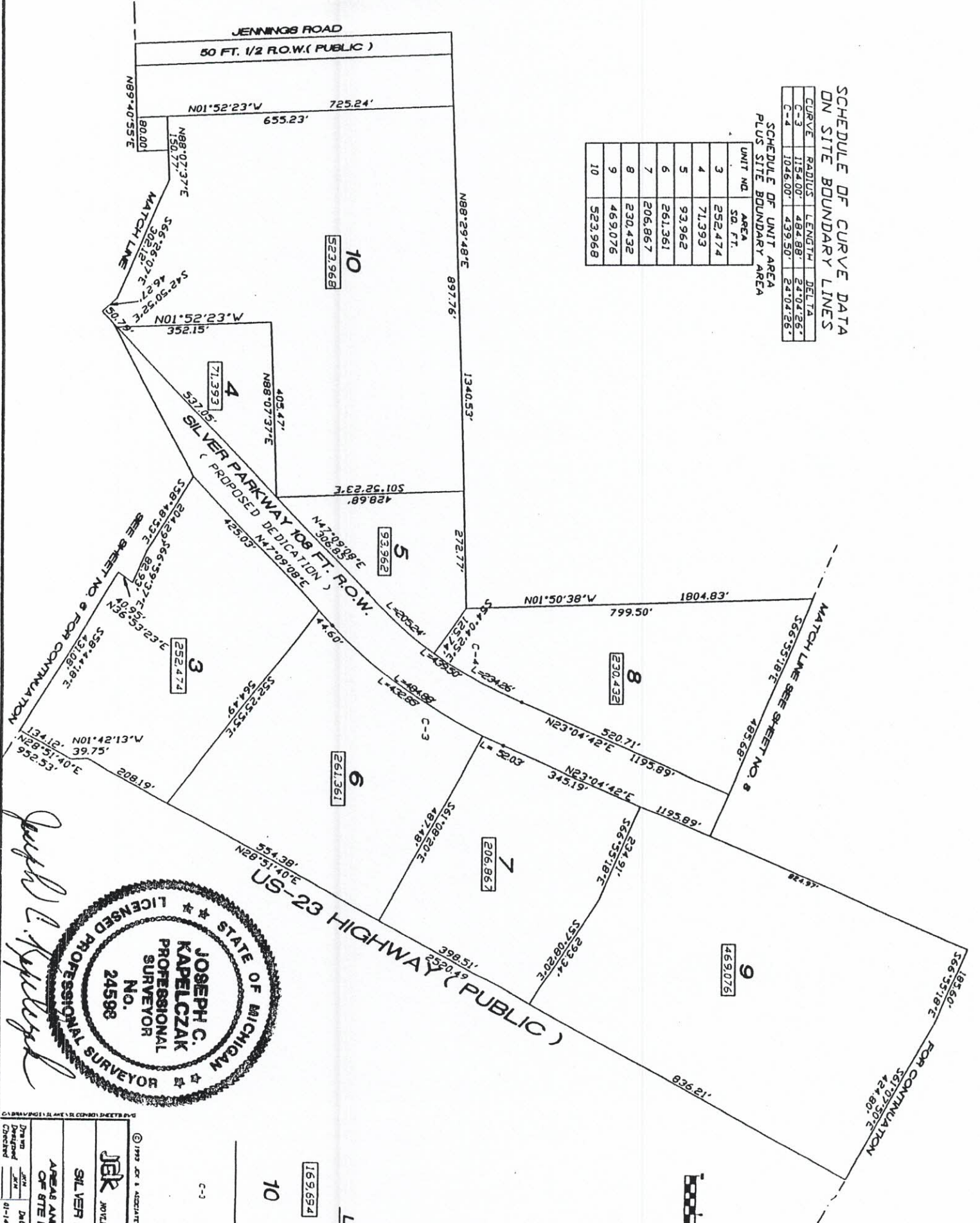
X-511-E

SCHEDULE OF CURVE DATA
ON SITE BOUNDARY LINES

CURVE	RADIUS	LENGTH	DELTA
C-3	1154.00'	484.88'	24°04'26"
C-4	1046.00'	439.50'	24°04'26"

SCHEDULE OF UNIT AREA
PLUS SITE BOUNDARY AREA

UNIT NO.	AREA SQ. FT.
3	252,474
4	71,393
5	93,962
6	261,361
7	206,867
8	230,432
9	469,076
10	523,968



JOSEPH C. KAPELCZAK
PROFESSIONAL SURVEYOR
N.O. 24598
STATE OF MICHIGAN
LICENSED PROFESSIONAL SURVEYOR

Joseph C. Kapelczak

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CONSULTING ENGINEERS
MONTICELLO PI. NO. (313) 348-2600

SILVER LAKE VILLAGE
AREAS AND THE PERMETERS
OF THE BOUNDARY LINES

Drawn: J&K
Designed: J&K
Checked: J&K

Date: 01-14-94
Scale: 1"=100'
Job No.: 95-203-01-2E
Sht. No.: 7

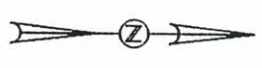
LEGEND

169694 UNIT AREA - SQ. FT.

10 UNIT NUMBER

UNIT LINE

C-3 CURVE NUMBER



F.D. PK NAIL.
 CENTER OF SECTION
 SECTION 27
 T5N,R6E
 CITY OF FENTON
 GENESEE COUNTY, MICHIGAN

UNPLATTED

50 FT WIDE SILVER LAKE
 ROAD RIGHT-OF-WAY
 SILVER LAKE ROAD
 1462.62'



NORTH 1/4 CORNER
 SECTION 34
 T5N,R6E
 CITY OF FENTON
 GENESEE COUNTY, MICHIGAN
 SOUTH 1/4 CORNER
 SECTION 27
 T5N,R6E
 CITY OF FENTON
 GENESEE COUNTY, MICHIGAN

PROPOSED FUTURE
 DEVELOPMENT AREA 'D'

UNPLATTED

PROPOSED FUTURE
 DEVELOPMENT AREA 'B'

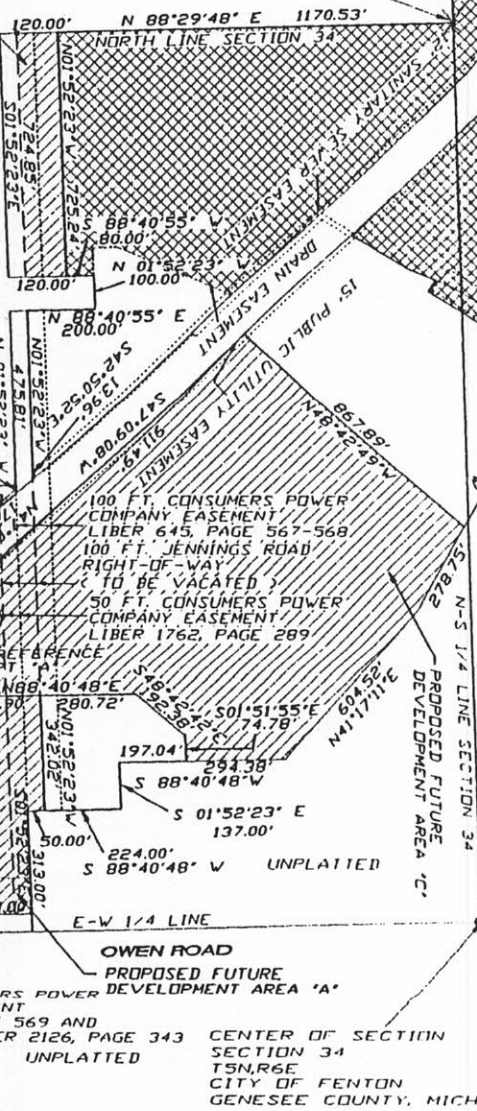
UNPLATTED

UNPLATTED

UNPLATTED

UNPLATTED

UNPLATTED



15' PUBLIC UTILITY EASEMENT

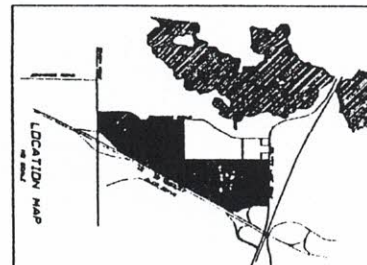
100 FT. CONSUMERS POWER
 COMPANY EASEMENT
 LIBER 645, PAGE 567-568

100 FT. JENNINGS ROAD
 RIGHT-OF-WAY
 (TO BE VACATED)

50 FT. CONSUMERS POWER
 COMPANY EASEMENT
 LIBER 1762, PAGE 289

160 FT. CONSUMERS POWER
 COMPANY EASEMENT
 LIBER 645, PAGE 569 AND
 AMENDED IN LIBER 2126, PAGE 343
 UNPLATTED

CENTER OF SECTION
 SECTION 34
 T5N,R6E
 CITY OF FENTON
 GENESEE COUNTY, MICHIGAN



- ① Δ = 49°01'31"
- R = 634.00'
- T = 298.22'
- L = 559.60'
- CHD BRG = N22°38'23"E
- CHD = 542.68'
- ② Δ = 49°01'03"
- R = 546.00'
- T = 248.93'
- L = 467.11'
- CHD BRG = S 22°38'37"W
- CHD = 453.00'

I, JOSEPH C. KAPELCAK, PROFESSIONAL SURVEYOR OF THE STATE OF MICHIGAN
 HEREBY CERTIFY THAT THE SUBDIVISION PLAN KNOWN AS GENESEE COUNTY CONDOMINIUM
 SUBDIVISION NO. 421, AS SHOWN ON THE ACCOMPANYING DRAWINGS REPRESENTS
 A PROPOSED CONDOMINIUM DEVELOPMENT MADE UNDER THE DIRECTING THAT THE
 REQUIRED MONUMENTS AND IRON MARKERS WILL BE LOCATED IN PROPER GROUND UPON
 COMPLETION OF FINAL CONSTRUCTION AS REQUIRED BY RULES ENFORCED UNDER
 SECTION 142 OF ACT NO. 59 OF THE PUBLIC ACTS OF 1978, AS AMENDED
 THAT THE ACCURACY OF THE PROPERTY LINES WILL BE WITHIN THE LIMITS REQUIRED
 BY THE RULES ENFORCED UNDER SECTION 142 OF ACT NO. 59 OF THE PUBLIC ACTS
 OF 1978, AS AMENDED, AND THAT ALL ENCROACHMENTS AND IRON MARKERS AS REQUIRED BY
 THAT THE PROPOSED BEARINGS SHOWN ON THE MONUMENTS AND IRON MARKERS AS REQUIRED BY
 THE RULES ENFORCED UNDER SECTION 142 OF ACT NO. 59 OF THE PUBLIC ACT OF
 1978, AS AMENDED.

Joseph C. Kapelczak
 JOSEPH C. KAPELCAK
 PROFESSIONAL SURVEYOR NO. 24586

3/2/94
 Date

NOTE: ALL EASEMENTS SHOWN ON THIS PLAN ARE
 PROPOSED UNLESS NOTED WITH THE RECORDED
 LIBER AND PAGES
 THE PROPOSED SUBDIVISION PLAN DOES NOT LAY
 WITHIN A FLOODPLAIN.

BENCH MARK NO. 8
 IN SOUTHEAST WING WALL WEST SIDE BRIDGE OVER
 EGYPTIAN DRAIN.
 ELEV. 896.99

JKR & ASSOCIATES, INC. CONSULTING ENGINEERS 1101 W. LAMAR ST. NO. 1115 LAR-2860	
PROPOSED FEBRUARY 1994	
© 1993 JCR & ASSOCIATES, INC.	
System JKR	Date 01-07-94
Designer JKR	Scale 1"=200' P-2034-01
Checked JKR	Sht. No. 2
SILVER LAKE VILLAGE SURVEY PLAN	