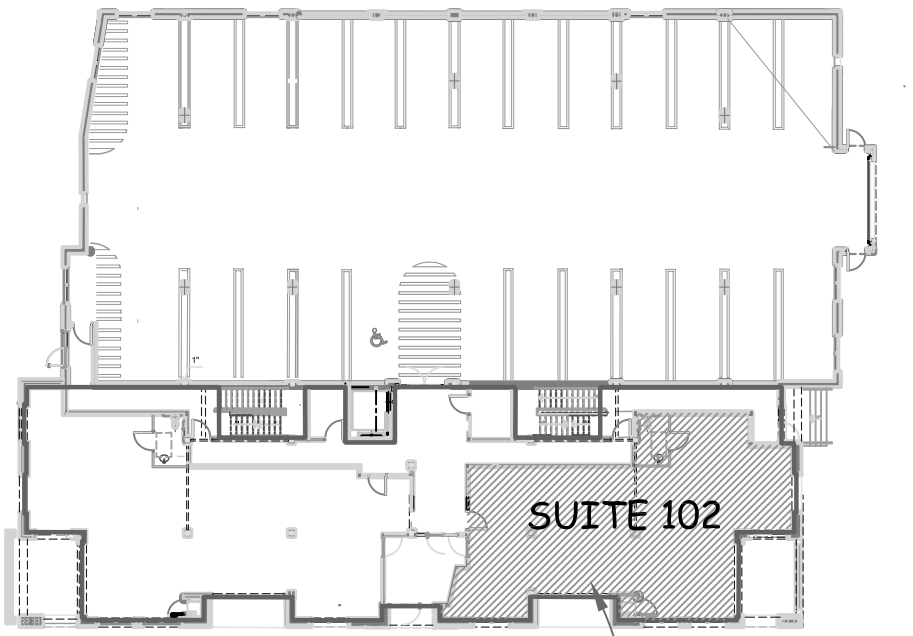


Determination of Design Occupant Load

SPACE AND SQUARE FOOTAGE	OCCUPANTS	CODE REFERENCE
BUSINESS AREAS: GROSS FLOOR AREA: 1374 SF 1374 SF@ 100 SF/OCCUPANT =13.7	14	1004.1.1
TOTAL MAXIMUM OCCUPANTS	14	
RESTROOM REQUIREMENTS: 14 OCCUPANTS		403.1 PLUMBING
WC 1 PER 500 = 1 WC LAVATORY 1 PER 750 = 1 LAVATORY DRINKING FOUNTAIN = 1 PER 1000 1 SERVICE SINK	1 PROVIDED 1 PROVIDED 0 PROVIDED 1 PROVIDED	
RESTROOM REQUIREMENTS: WITH AN OCCUPANCY LESS THAN 15 ,1 RESTROOM IS ALLOWABLE & NO DRINKING FOUNTAIN IS REQUIRED		

Code Compliances

CODE REFERENCES - 2015 MI BUILDING CODE	CODE REFERENCE
CONSTRUCTION TYPE: III-A (PROTECTED)	
BUILDING USE: BUSINESS GROUP	309.1



KEY PLAN
NO SCALE

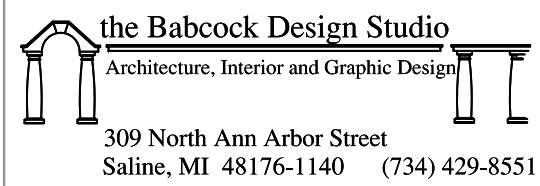
GENERAL NOTES:

- ALL WORK TO BE PERFORMED SHALL COMPLY WITH THE MICHIGAN BUILDING CODE AND ALL OTHER LOCAL, STATE AND NATIONAL CODES AS APPLICABLE.
- DO NOT SCALE DIRECTLY FROM DRAWINGS
- DIMENSIONS SHOWN ARE TAKEN AT FACE OF WALL UNLESS OTHERWISE INDICATED.
- NOTES & DIMENSIONS ARE CONSIDERED TYPICAL FOR EACH SHEET UNLESS OTHERWISE INDICATED
- VERIFY ALL SITE AND EXISTING CONDITIONS BEFORE STARTING ON THAT PART OF THE WORK
- COORDINATE ALL ELECTRICAL, PLUMBING, AND HVAC SYSTEMS TO ALLOW FOR THE LAYOUTS AS SHOWN



Leo Babcock

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PROJECT NUMBER: 2329

SUITE 102 BUILD OUT

150 Jeffords Avenue
Dexter, MI

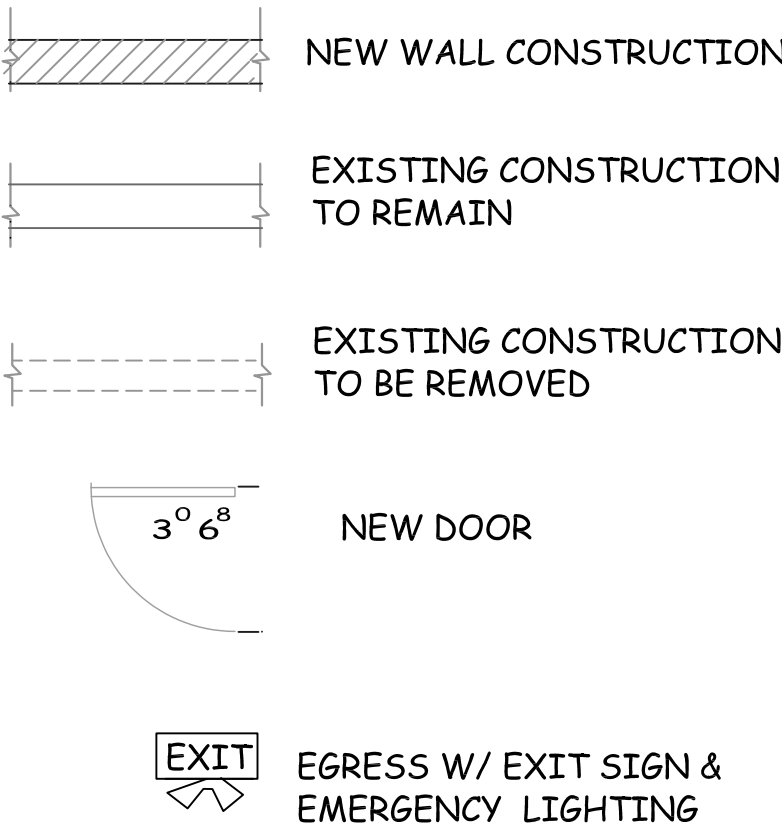
SCALE: 1/4" = 1'-0"

DATE: MAY 31, 2023
ISSUE: REVIEW

GENERAL PLAN

A-1

LEGEND:

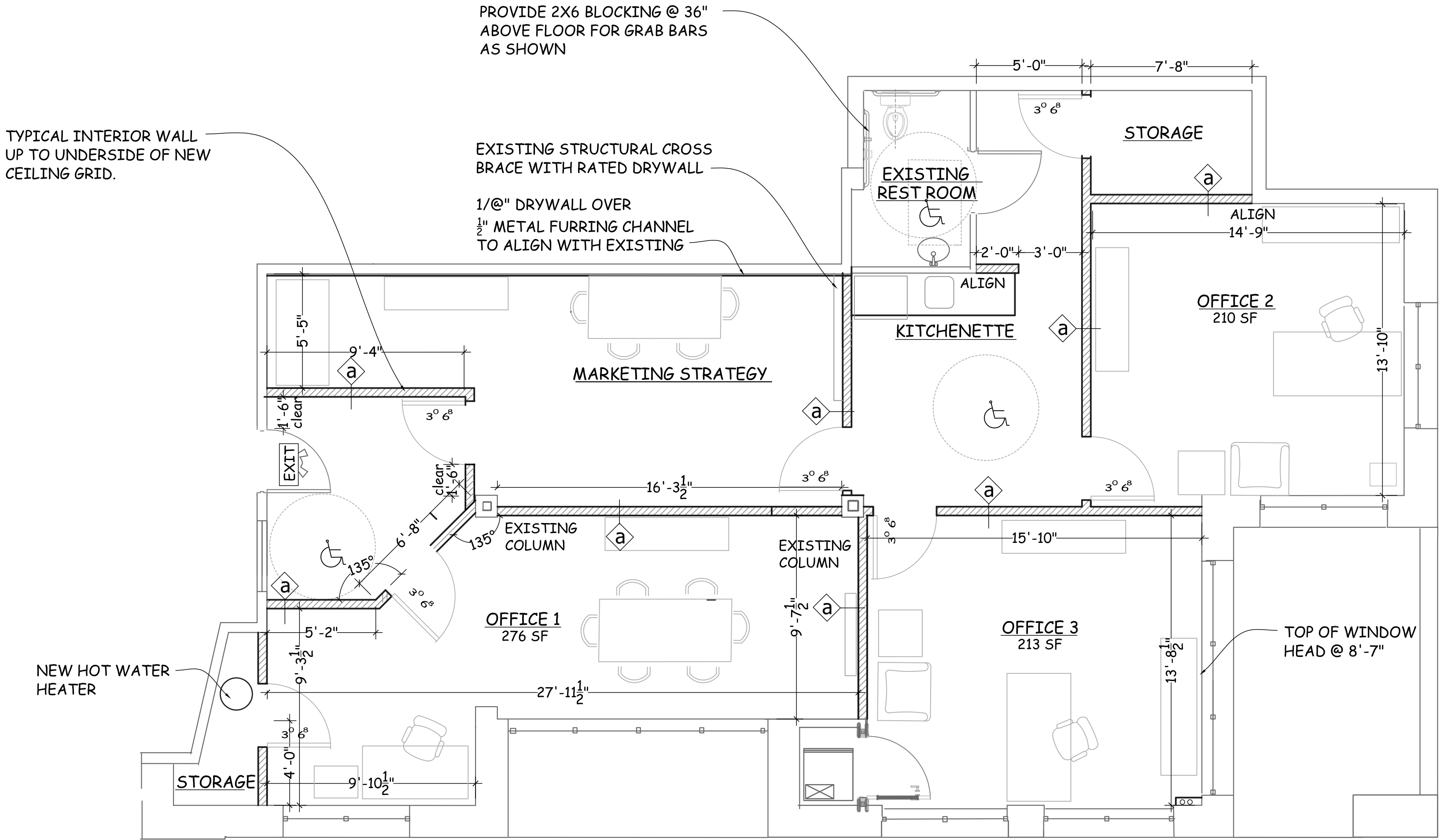


WALL TYPES
NO SCALE

NON RATED PARTITION

1 LAYER 5/8" DRYWALL EACH SIDE ON
3-5/8" 25-GAUGE METAL STUDS W/
25-GAUGE STEEL RUNNERS
(OR 2x4 STUDS) @ 16" O.C. W/

USE MOISTURE RESISTANT DRYWALL &
ALL WET WALL LOCATIONS



SUITE 102 FLOOR PLAN

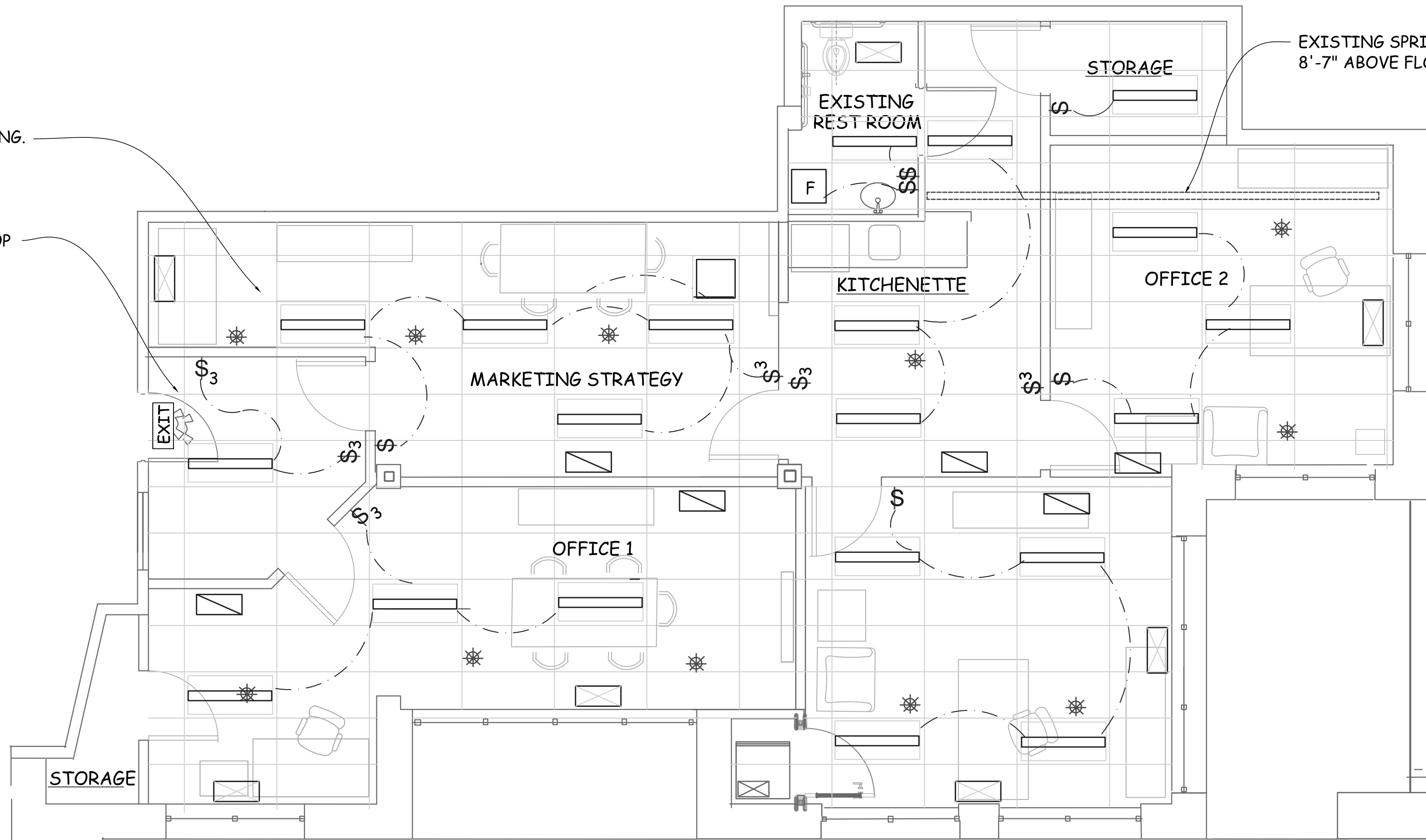
1/4" = 1'-0" 1374 SF

MAY 25, 2023

LED FIXTURES TO
MATCH ADJACENT SUITE
IN ACOUSTICAL DROP CEILING.

NEW 2'x4' ACOUSTICAL DROP
CEILING GRID TO MATCH
ADJACENT SUITE @
8'8" HEIGHT

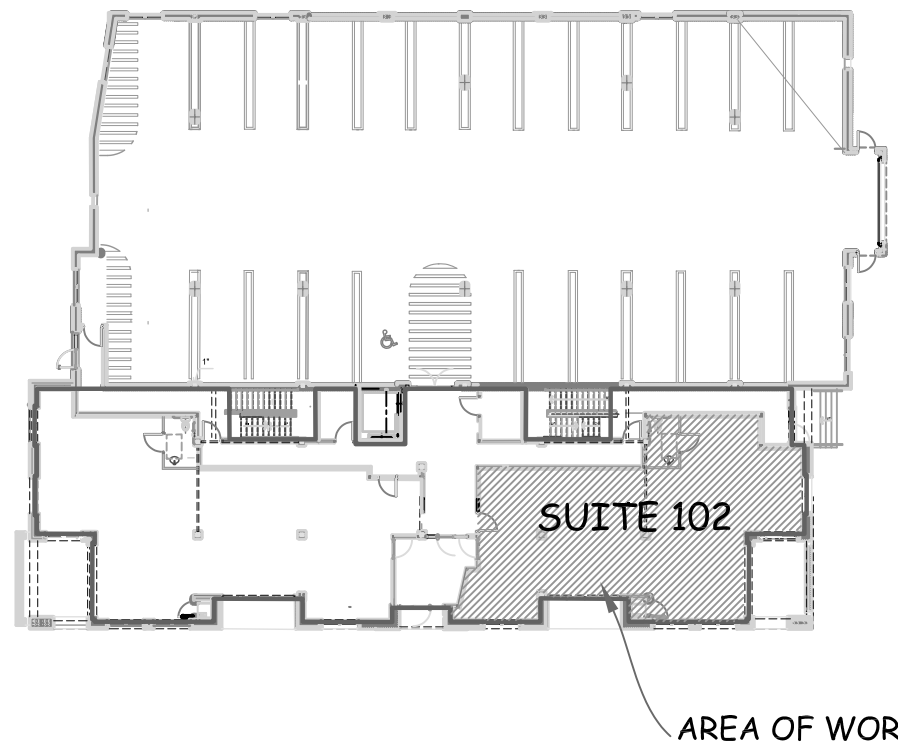
EXISTING SPRINKLER PIPE @
8'-7" ABOVE FLOOR



SUITE 102 CEILING/LIGHTING PLAN

1/4" = 1'-0"

1374 SF

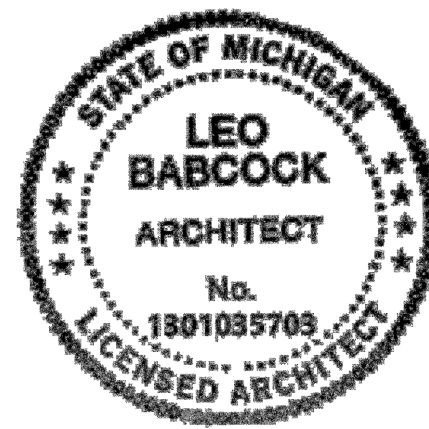


KEY PLAN

NO SCALE

LEGEND:

- NEW WALL CONSTRUCTION
- EXISTING CONSTRUCTION TO REMAIN
- EXISTING CONSTRUCTION TO BE REMOVED
- NEW DOOR
- EGRESS W/ EXIT SIGN & EMERGENCY LIGHTING
- NEW LIGHTING FIXTURE
- NEW DUPLEX OUTLET
- NEW G.F.I.C RECEPTACLE
- NEW SWITCH
- NEW 3-WAY SWITCH
- SUPPLY DIFUSER
- NEW RETURN DIFUSER
- NEW DUPLEX OUTLET
- EXISTING SPRINKLER HEAD
- NEW EXHAUST FAN



Leo Babcock

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the Babcock Design Studio
Architecture, Interior and Graphic Design
309 North Ann Arbor Street
Saline, MI 48176-1140 (734) 429-8551

PROJECT NUMBER: 2329

SUITE 102 BUILD OUT

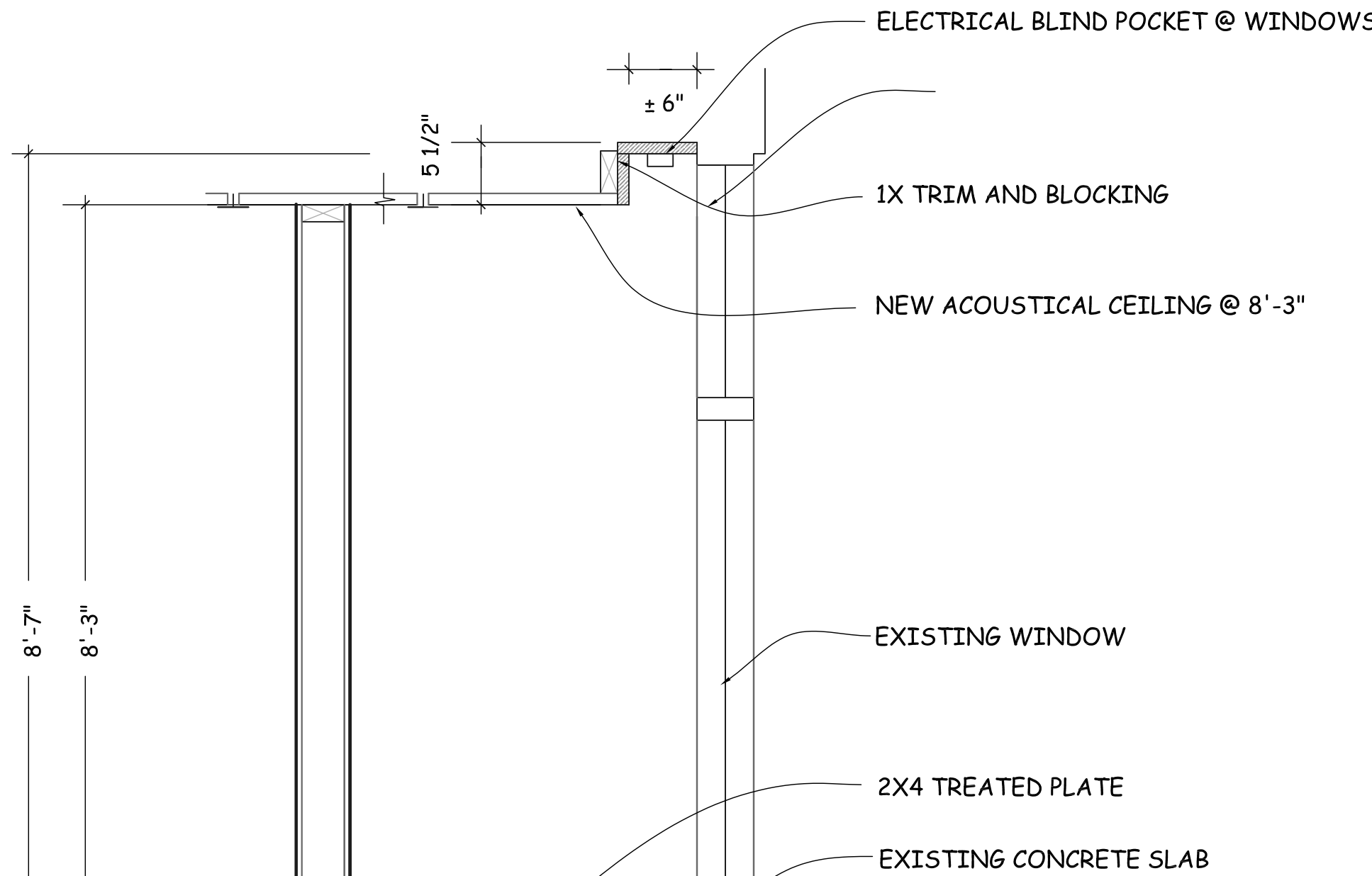
150 Jeffords Avenue
Dexter, MI

SCALE: 1/4" = 1'-0"

DATE: MAY 31, 2023 ISSUE: REVIEW

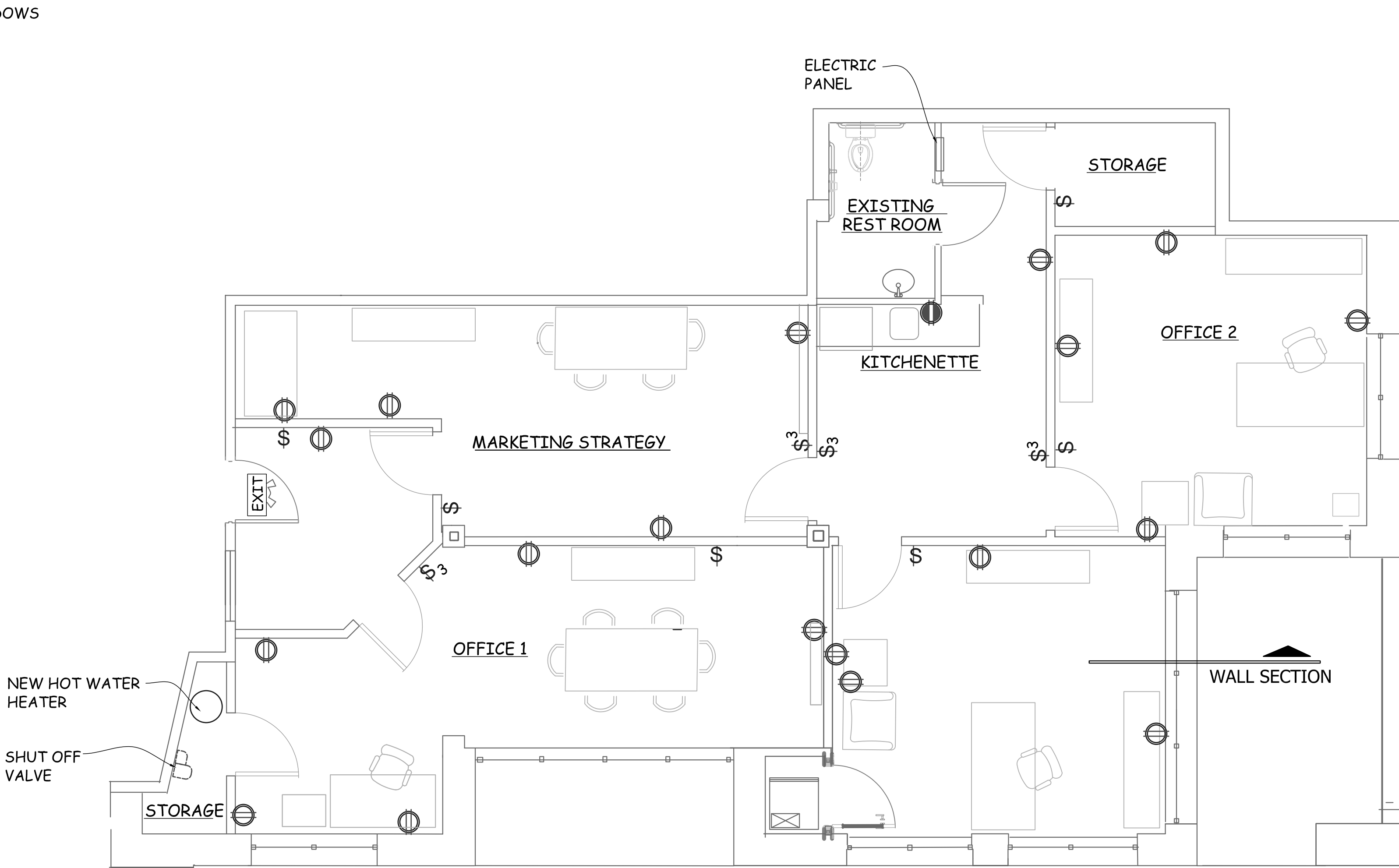
ELECTRICAL PLAN

A-2



WALL SECTION

1" = 1'-0"



SUITE 102 ELECTRICAL PLAN

1/4" = 1'-0"