

# *For Ground Lease: Former QSR with Drive-Thru*

4026 Taylorsville Road | Louisville, KY



**CASEY SMALLWOOD**

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**For Ground Lease**  
 4026 Taylorsville Road  
 Louisville, KY 40220

**Property Specifications**

SPACE AVAILABLE

**3,431 SF**

PARCEL SIZE

**0.7 AC**

ZONING

**C-1**



**About the Property**

- 3,431 SF Former QSR with Drive-Thru on 0.7 AC in Louisville, KY
- Strategically situated on Taylorsville Road, offering excellent visibility and direct access
- Pylon sign with frontage along Taylorsville Road, a main thoroughfare with maximum exposure
- Ample dedicated parking
- Available on 05.09.2026

**Join These Retailers**



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# Market Overview

Louisville, KY



# Taylorville Road & Hikes Lane

Louisville, KY



**McMahan Center**

- BEINS
- SUBWAY
- BR

**SITE**  
3,341 SF

**Hikes Point Plaza**

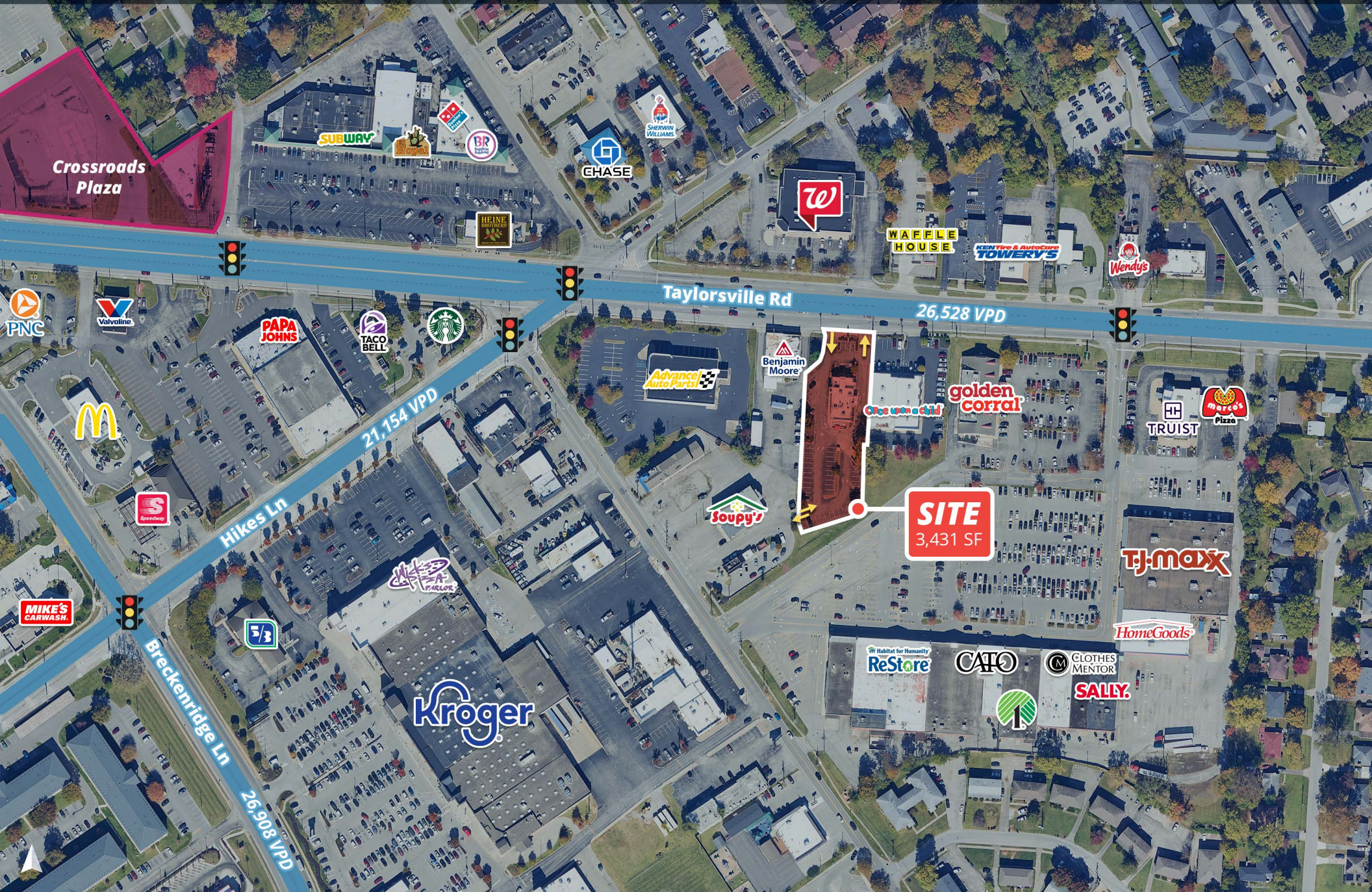
- TJ-maxx
- HomeGoods
- ReStore
- DOLLAR TREE

**McMahan Plaza**

- cricket
- FEEDERS
- Park

# 4026 Taylorsville Road

Louisville, KY



Crossroads Plaza

SUBWAY

CHASE

W

WAFLE HOUSE

TEEN TIPS & AUTO CARE TOWERY'S

Wendy's

PNC

Valvoline

PAPA JOHN'S

TACO BELL

Starbucks

Advance Auto Parts

Benjamin Moore

Custom Child

golden corral

TRUIST

Marcos Pizzeria

McDonald's

Speedway

Hikes Ln  
21,154 VPD

MIKE'S CARWASH

Soupy's

**SITE**  
3,431 SF

TJ-maxx

HomeGoods

Breckenridge Ln  
26,908 VPD

Kroger

Habitat for Humanity ReStore

CATO

CLOTHES MENTOR

SALLY'S



## Area Snapshot

1 MILE

**13,811**  
Population

**11,425**  
Total Daytime  
Population

**\$92,436**  
Average Household  
Income

**6,152**  
Total  
Households

3 MILES

**101,817**  
Population

**114,285**  
Total Daytime  
Population

**\$97,411**  
Average Household  
Income

**45,280**  
Total  
Households

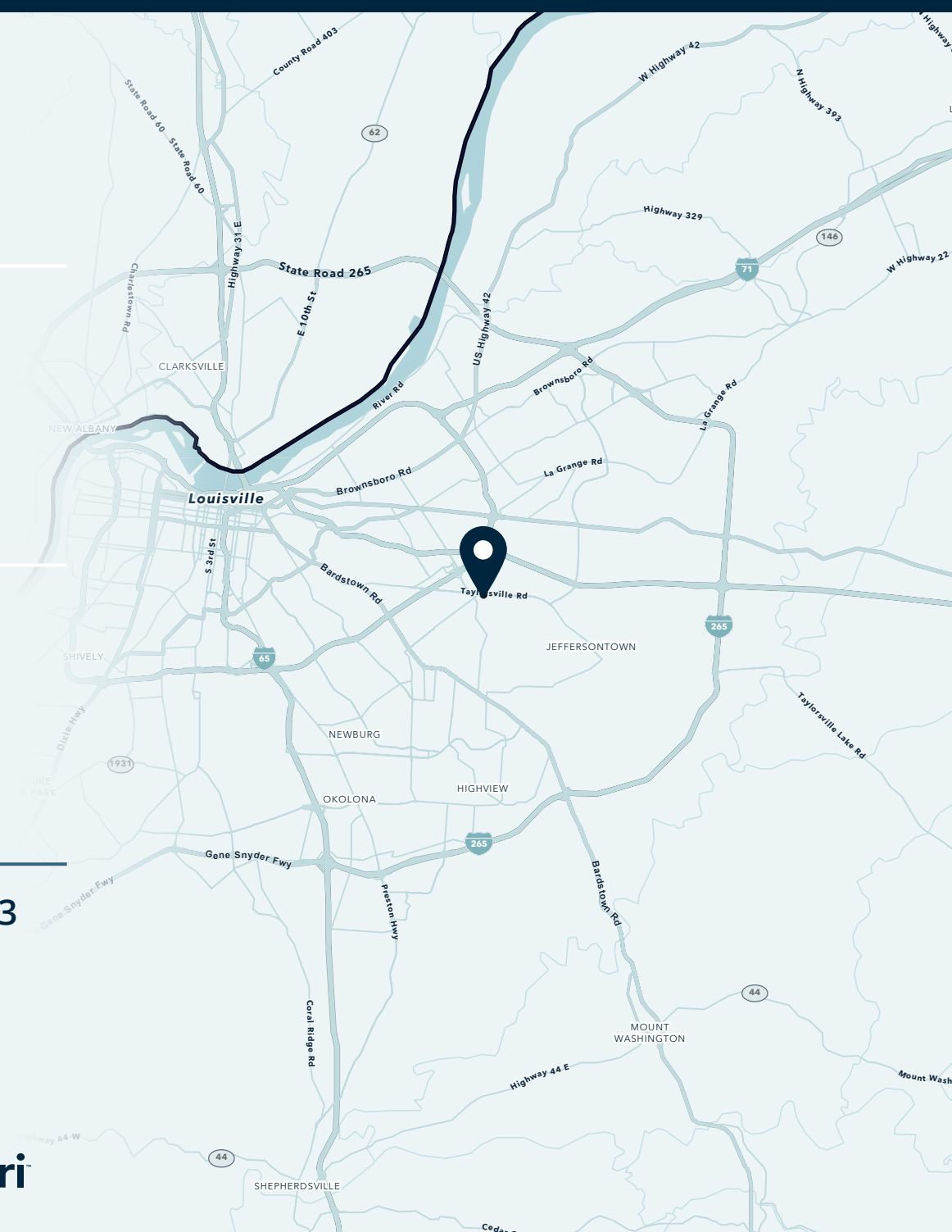
5 MILES

**246,769**  
Population

**290,556**  
Total Daytime  
Population

**\$106,666**  
Average Household  
Income

**108,153**  
Total  
Households

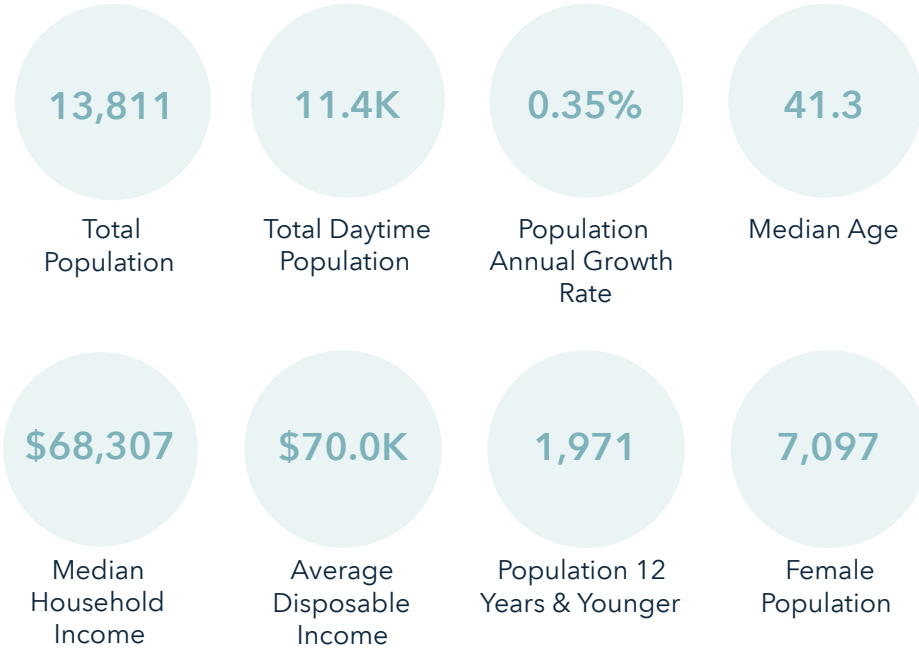


**Want more?** Contact us for a complete demographic, foot-traffic, and mobile data insights report.

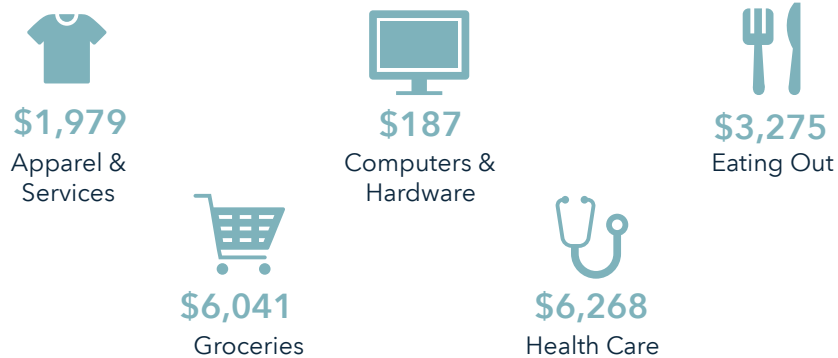


## Ring of 5 Miles

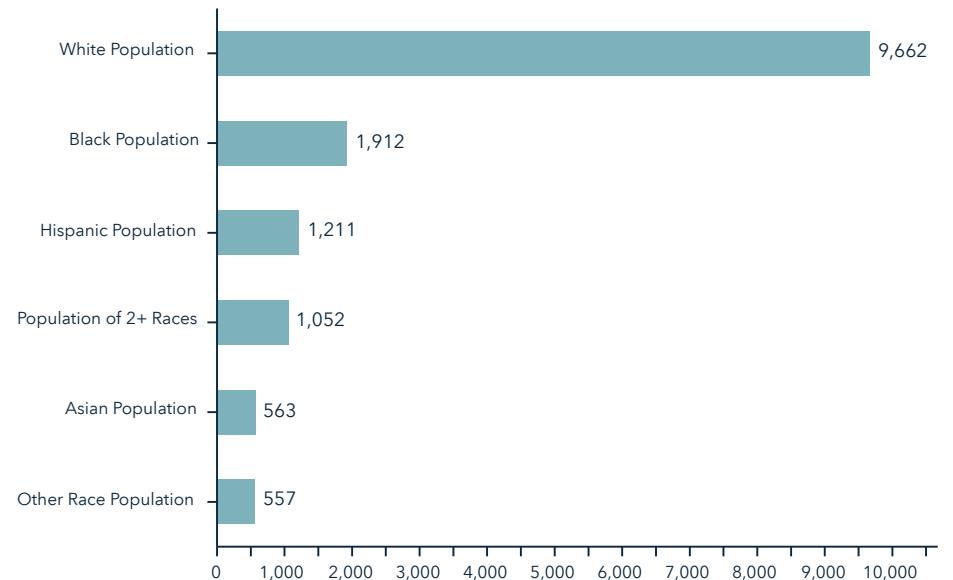
### Key Facts



### Annual Household Spending



### Restaurants & Housing Growth

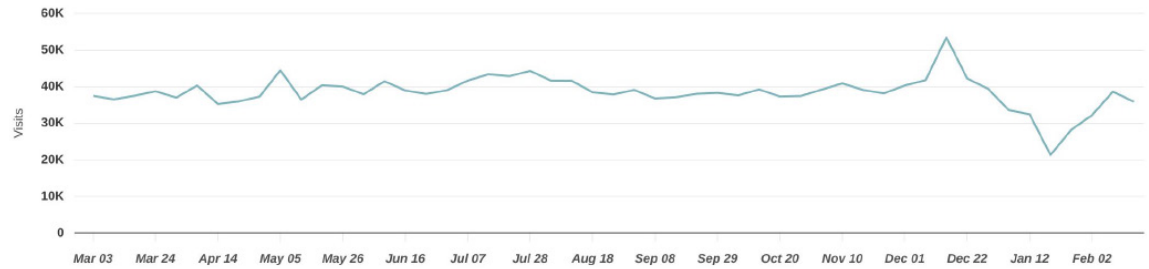




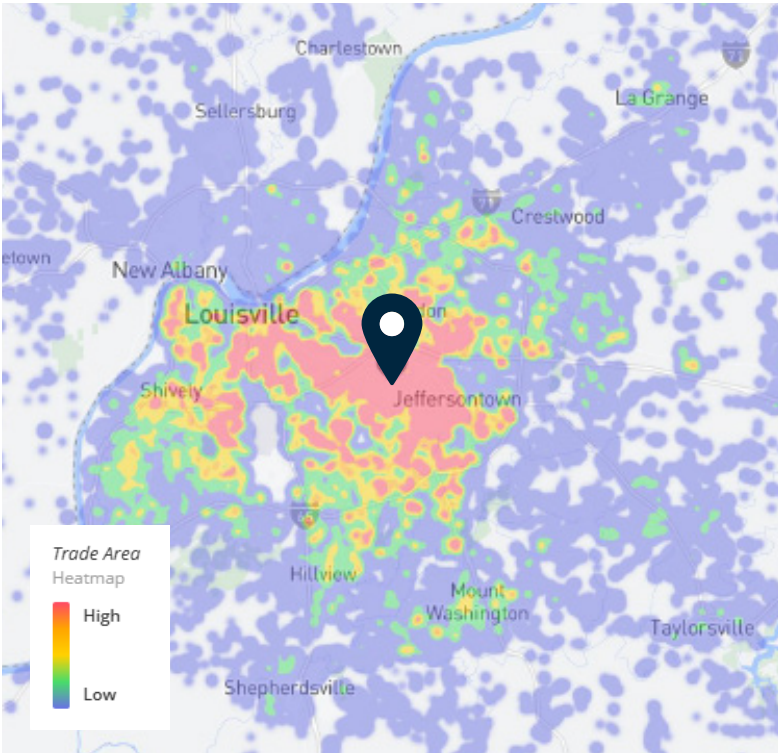
## Data for 03/01/2025 - 02/28/2026



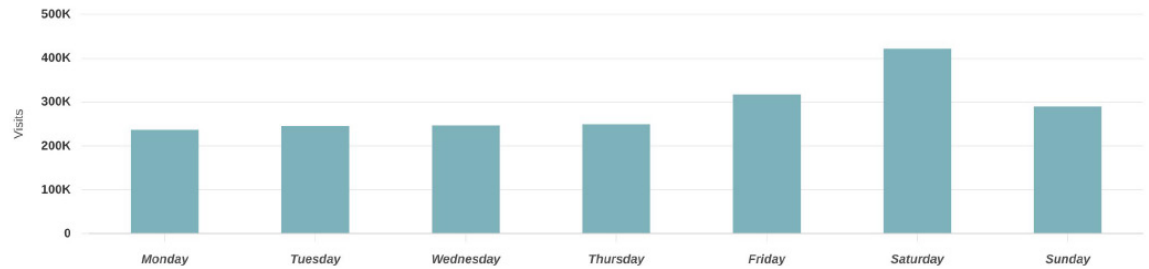
### VISITS TREND



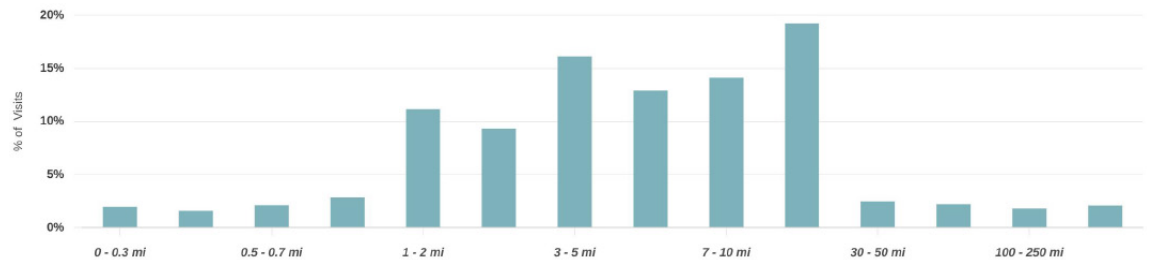
### TRADE AREA



### DAILY VISITS



### TRADE AREA COVERAGE BY DISTANCE





**About Louisville, KY**

Louisville, Kentucky is the largest city in the state and serves as a major economic and logistics hub for the Midwest and Southeast. Strategically located along the Ohio River and within a day's drive of more than half of the U.S. population, Louisville offers exceptional regional connectivity. The city is home to the UPS Worldport global air hub, Louisville Muhammad Ali International Airport, and major interstate corridors including I-64, I-65, and I-71, making it one of the most efficient distribution and transportation centers in the country.

Louisville also features a diverse and growing economy driven by healthcare, advanced manufacturing, food and beverage, and technology sectors. A skilled workforce, strong population base, and vibrant tourism industry highlighted by global events like the Kentucky Derby create a dynamic and business-friendly environment that supports long-term growth.

WHY LOUISVILLE?

*Its central location, global logistics infrastructure, and diverse economy position it as a leading business hub in the Midwest and Southeast.*

**Louisville/Jefferson County by the Numbers**

1.38+M  
**TOTAL POPULATION**

1.4M  
**DAYTIME POPULATION**

563,348  
**TOTAL HOUSEHOLDS**

\$99,665  
**AVERAGE HH INCOME**

16.4M  
**ANNUAL VISITORS**

\$3.5B  
**ECONOMIC IMPACT**



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**SRS REAL ESTATE PARTNERS**

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