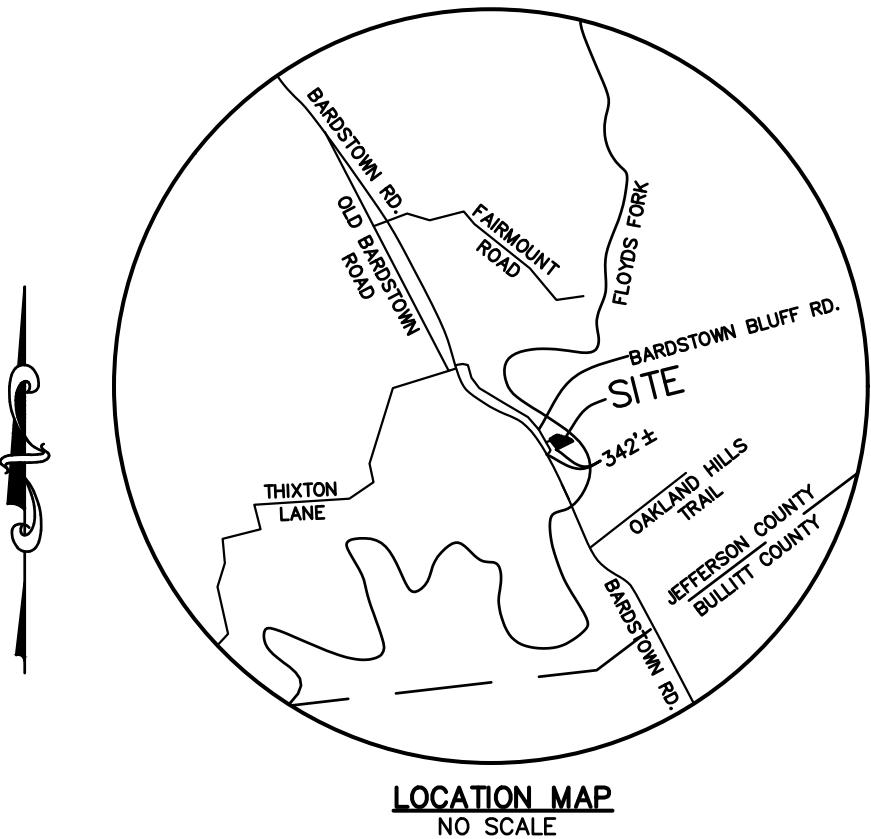


THE STABLES AT FLOYDS FORK EVENT VENUE CONSTRUCTION PLANS



MINDEL SCOTT
LANDSCAPE ARCHITECTURE
SURVEYING PLANNING
5151 Jefferson Blvd, Louisville, KY 40219
502-485-1508

OWNER/DEVELOPER
STEFANIE PERRI/BONIFICATA, LLC
604 E. ST. CATHERINE ST.
LOUISVILLE, KY 40203
5151 Jefferson Blvd, Louisville, KY 40219
502-485-1508

SHEET INDEX	
SHEET NO.	TITLE
1	COVER SHEET
2	EXISTING CONDITIONS
3	LAYOUT PLAN
4	GRADING PLAN
5	STORMWATER POLLUTION PREVENTION PLAN
6	COMPOSITE DRAINAGE PLAN
7	STORM LAYOUT PLAN: LINE "1", "1-1" & "2"
8	STORM PROFILES: LINE "1", "1-1" & "2"
9	GREEN MANAGEMENT PLAN
10	STANDARD NOTES & DETAILS

STORMWATER POLLUTION PREVENTION PLAN NOTE:
THE APPROVED STORMWATER POLLUTION PREVENTION PLAN (SWPPP) SHALL BE IMPLEMENTED PRIOR TO ANY LAND-DISTURBING ACTIVITY ON THE CONSTRUCTION SITE. ANY MODIFICATIONS TO THE APPROVED SWPPP PLAN MUST BE REVIEWED AND APPROVED BY MSD. SWPPP BMP'S (BEST MANAGEMENT PRACTICES) SHALL BE INSTALLED PER THE PLAN AND MSD STANDARDS.

DETENTION BASINS, IF APPLICABLE, SHALL BE CONSTRUCTED FIRST AND SHALL PERFORM AS SEDIMENT BASINS DURING CONSTRUCTION UNTIL THE CONTRIBUTING DRAINAGE AREAS ARE SEDED AND STABILIZED.

ACTIONS MUST BE TAKEN TO MINIMIZE THE TRACKING OF MUD AND SOIL FROM CONSTRUCTION AREAS ONTO PUBLIC ROADWAYS. SOIL TRACKED ONTO THE ROADWAY SHALL BE REMOVED DAILY.

SOIL STOCKPILES SHALL BE LOCATED AWAY FROM STREAMS, PONDS, SWALES, AND CATCH BASINS. STOCKPILES SHALL BE SEDED, MULCHED, AND ADEQUATELY CONTAINED THROUGH THE USE OF SILT FENCE.

ALL STREAM CROSSINGS MUST UTILIZE LOW-WATER CROSSING STRUCTURES PER MSD STANDARD DRAWING ER-02-03.

SEDIMENT-LADEN GROUNDWATER ENCOUNTERED DURING TRENCHING, BORING OR OTHER EXCAVATION ACTIVITIES SHALL BE PUMPED TO A SEDIMENT TRAPPING DEVICES PRIOR TO BEING DISCHARGED INTO A STREAM, POND, SWALE OR CATCH BASIN.

WHERE CONSTRUCTION OR LAND DISTURBING ACTIVITY WILL OR HAS TEMPORARILY CEASED ON ANY PORTION OF A SITE, TEMPORARY SITE STABILIZATION MEASURES SHALL BE REQUIRED AS SOON AS PRACTICABLE, BUT NO LATER THAN 14 DAYS AFTER THE ACTIVITY HAS CEASED.

UTILITY NOTE:
ALL UTILITIES SHOWN ON THESE PLANS ARE APPROXIMATE. INDIVIDUAL SERVICE LINES ARE NOT SHOWN. THE CONTRACTOR OR SUBCONTRACTOR SHALL NOTIFY THE UTILITY PROTECTION CENTER KENTUCKY 811 (TOLL FREE PHONE NO. 1-800-752-6007 OR LOCAL NO. 502-266-5123) FORTY-EIGHT (48) HOURS IN ADVANCE OF ANY CONSTRUCTION ON THIS PROJECT. A NUMBER WILL BE ASSIGNED TO PROVIDE ACCURATE LOCATION OF EXISTING BELOW-GROUND UTILITIES. IF ELECTRICAL, CABLE, WIRES, GAS, WATER LINES, THE CONTRACTOR SHALL BE RESPONSIBLE FOR BECOMING FAMILIAR WITH ALL UTILITY REQUIREMENTS SET FORTH ON THE PLANS AND IN THE TECHNICAL SPECIFICATION AND SPECIAL PROVISIONS.

STORM DRAINAGE NOTES:
1. ALL STORM DRAINAGE CONSTRUCTION SHALL CONFORM TO THE LOUISVILLE METRO PUBLIC WORKS STORM DRAINAGE DESIGN STANDARDS SPECIFICATIONS; (KTC) STANDARDS COULD BE APPLICABLE AT TIMES.
2. ALL SOIL EROSION CONTROL AND PREVENTION, STORMWATER DRAINAGE WORK AND SANITARY SEWER CONSTRUCTION SHALL CONFORM TO METROPOLITAN SEWER DISTRICT (MSD) DRAWING STANDARDS AND REQUIREMENTS AND SPECIFICATIONS.

SANITARY SEWER NOTE:
1. CONTRACTOR TO VERIFY SANITARY INFORMATION WITH THE ARCHITECTURAL PLANS PRIOR TO CONSTRUCTION. SANITARY SEWER SERVICE BY INSTALLED LATERAL EXTENSION AND PROPERTY SERVICE CONNECTION (PSC), SUBJECT TO FEES.

STANDARD NOTES:
1. REFER TO SHEET 10 FOR ALL STANDARD NOTES AND DETAILS.
2. AN ENCROACHMENT PERMIT MUST BE ISSUED BY THE LOUISVILLE METRO PUBLIC WORKS AND TRANSPORTATION DEPARTMENT FOR ALL UTILITY WORK AFFECTING THE LOUISVILLE METRO ROAD SYSTEM.
3. AN ENCROACHMENT PERMIT ARE REQUIRED FOR ALL ROADWAY REPAIRS ON ALL SURROUNDING ACCESS ROADS TO THE SITE DUE TO DAMAGED CAUSE BY CONSTRUCTION TRAFFIC ACTIVITIES.



CASE #19-CUP-1036
SDP-25-1110
MSD WM #11939

PROFESSIONAL ENGINEER'S SEAL
1 of 10

CONSTRUCTION PLANS
**THE STABLES AT FLOYDS
FORK EVENT VENUE**
10503 1/2 BARDSTOWN BLUFF RD, LOUISVILLE, KY, 40291
T.B. 61, LOT 113, D.B. 11216, PG. 682
COVER SHEET

Revisions			
06/10/25	AGENCY COMMENTS		
07/25/25	AGENCY COMMENTS		
08/18/25	AGENCY COMMENTS		

Vertical Scale: N/A

Horizontal Scale: N/A

Date: 4/25/2025
Job Number: 3584

Sheet 1

BENCHMARKS
NOTE: ALL ELEVATIONS ARE BASED ON NAVD 1988 DATUM & WERE DERIVED FROM LOJC BENCHMARKS BY MEANS OF GPS METHODS AND DIFFERENTIAL LEVELING.

SOURCE BENCHMARK AZI036-2001 NAVD 1988 ELEV. 495.28

FROM THE INTERSECTION OF BARDSTOWN ROAD AND HIDDEN VALLEY MOTEL, TRAVEL ALONG BARDSTOWN ROAD 0.2 MILES TO THE BRIDGE OVER FLOYDS FORK CREEK, STATION IS SET ALONG THE NORTH BOUND LANE IN THE NORTHEAST CORNER ABUTMENT

BM #388 NAVD 1988 ELEV. 501.44

BEING A SQUARE CUT ON THE WESTERN CONCRETE BASE OF AN ELECTRIC TOWER LOCATED ON THE PROPERTY AT 10503 1/2 BARDSTOWN BLUFF ROAD APPROXIMATELY 470' NORTHEAST OF THE EDGE OF PAVEMENT & 200' SOUTHEAST OF THE BUILDING.

FLOODPLAIN NOTE
A PORTION OF THE SUBJECT PROPERTY IS LOCATED IN ZONE AE, WHICH IS AN AREA DETERMINED TO BE INSIDE OF THE 100-YEAR FLOODPLAIN AS SHOWN ON THE FLOOD INSURANCE RATE MAP (FEMA) PANEL NO. 21111C0132-F DATED FEBRUARY 26, 2021.

EXISTING CONDITIONS NOTES
1. ALL UTILITIES SHOWN HEREON WERE DERIVED FROM UTILITY MAPPING AND/OR FIELD OBSERVATIONS. CONTRACTOR SHALL FIELD VERIFY PRIOR TO CONSTRUCTION.
2. THE PROPERTY LOCATION SHOWN HEREON HAS BEEN DERIVED FROM LOJC MAPPING, LIDAR MAPPING AND/OR FIELD TOPOGRAPHIC SURVEY.
3. NO ROCK SOUNDINGS WERE PERFORMED AND MINDEL SCOTT MAKES NO REPRESENTATION OF SUBSURFACE CONDITIONS.

LEGEND	
FOUND R/W MONUMENT	FOUND R/W MARKER
FOUND REBAR WITH CAP #1828	FOUND MAG NAIL
EXISTING CONTOUR	EXISTING SPOT ELEVATION
+ XXXXX	EXISTING SPOT ELEVATION
X X X X	EXISTING FENCE
EX. W	EXISTING GUARDRAIL
□ WM	EXISTING WATER LINE W/SIZE
OWV	EXISTING WATER METER
EX OHU	EXISTING WATER VALVE
EX OHE	EXISTING OVERHEAD UTILITIES
EB	EXISTING OVERHEAD ELECTRIC
□ EB	EXISTING ELECTRIC BOX
□	EXISTING DOWN GUY
—	EXISTING STORM PIPE
—	EXISTING TOP OF BANK
—	EXISTING TOE OF SLOPE/DITCH
████████	AREA TO BE REMOVED



UTILITY NOTE:
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CASE #19-CUP-1036
SDP-25-1110
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Revisions	
06/10/25	AGENCY COMMENTS
07/25/25	AGENCY COMMENTS
08/18/25	AGENCY COMMENTS

FOR AGENCY REVIEW

Horizontal Scale: 1"=40'

Date: 4/25/2025

Job Number: 3584

Sheet

2

of 10

MINDEL SCOTT
SURVEYING PLANNING LANDSCAPE ARCHITECTURE
5151 Jefferson Blvd, Louisville, KY 40219
502-485-1508

CONSTRUCTION PLANS
THE STABLES AT FLOYDS
FOR EVENT VENUE
10503 1/2 BARDSTOWN BLUFF RD, LOUISVILLE, KY, 40291
T.B. 61, LOT 113, D.B. 11216, PG. 682
EXISTING CONDITIONS

Vertical Scale: N/A

Horizontal Scale: 1"=40'

Date: 4/25/2025

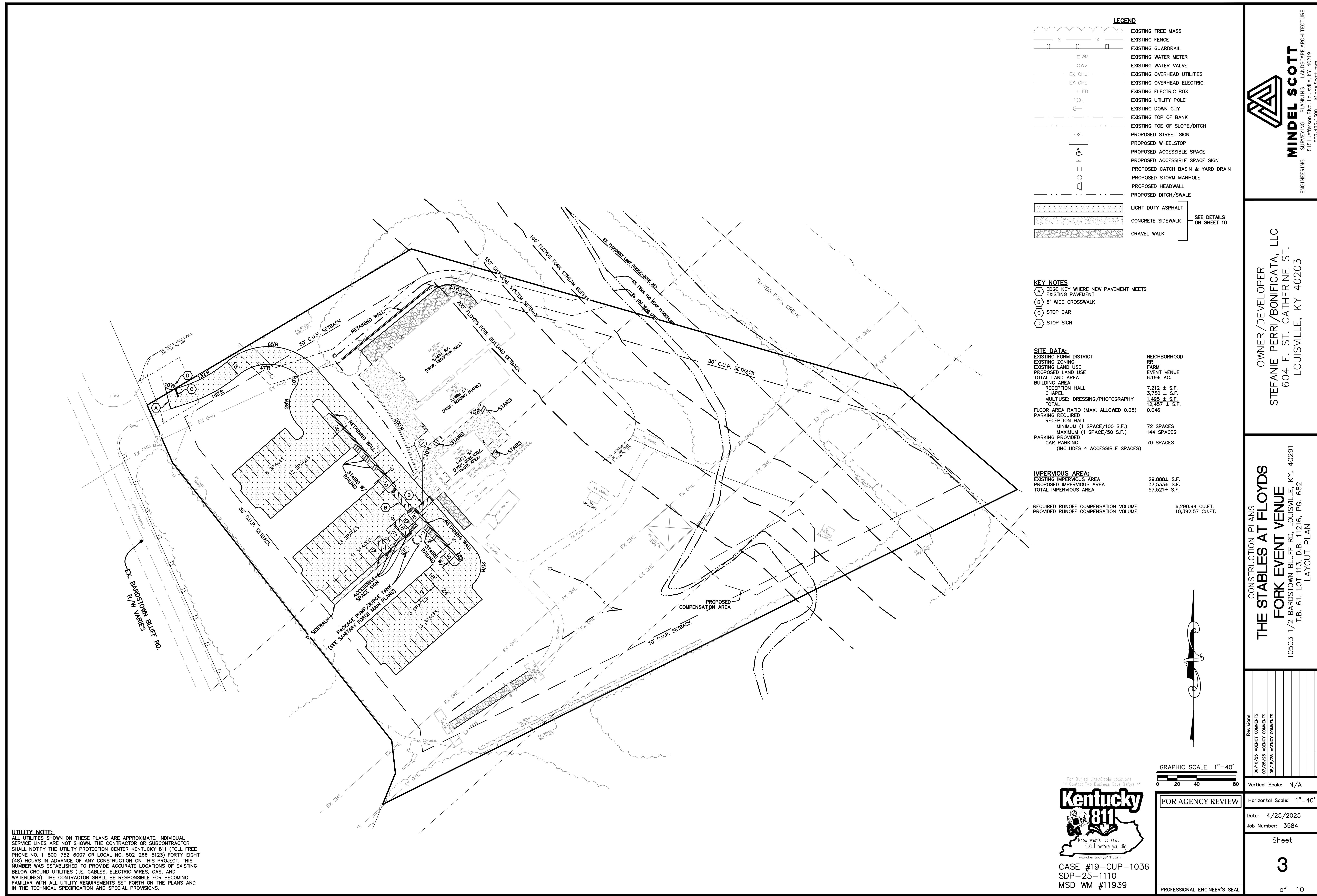
Job Number: 3584

Sheet

2

of 10

PROFESSIONAL ENGINEER'S SEAL



BENCHMARKS
NOTE: ALL ELEVATIONS ARE BASED ON NAVD 1988 DATUM & WERE DERIVED FROM LOJC BENCHMARKS BY MEANS OF GPS METHODS AND DIFFERENTIAL LEVELING.

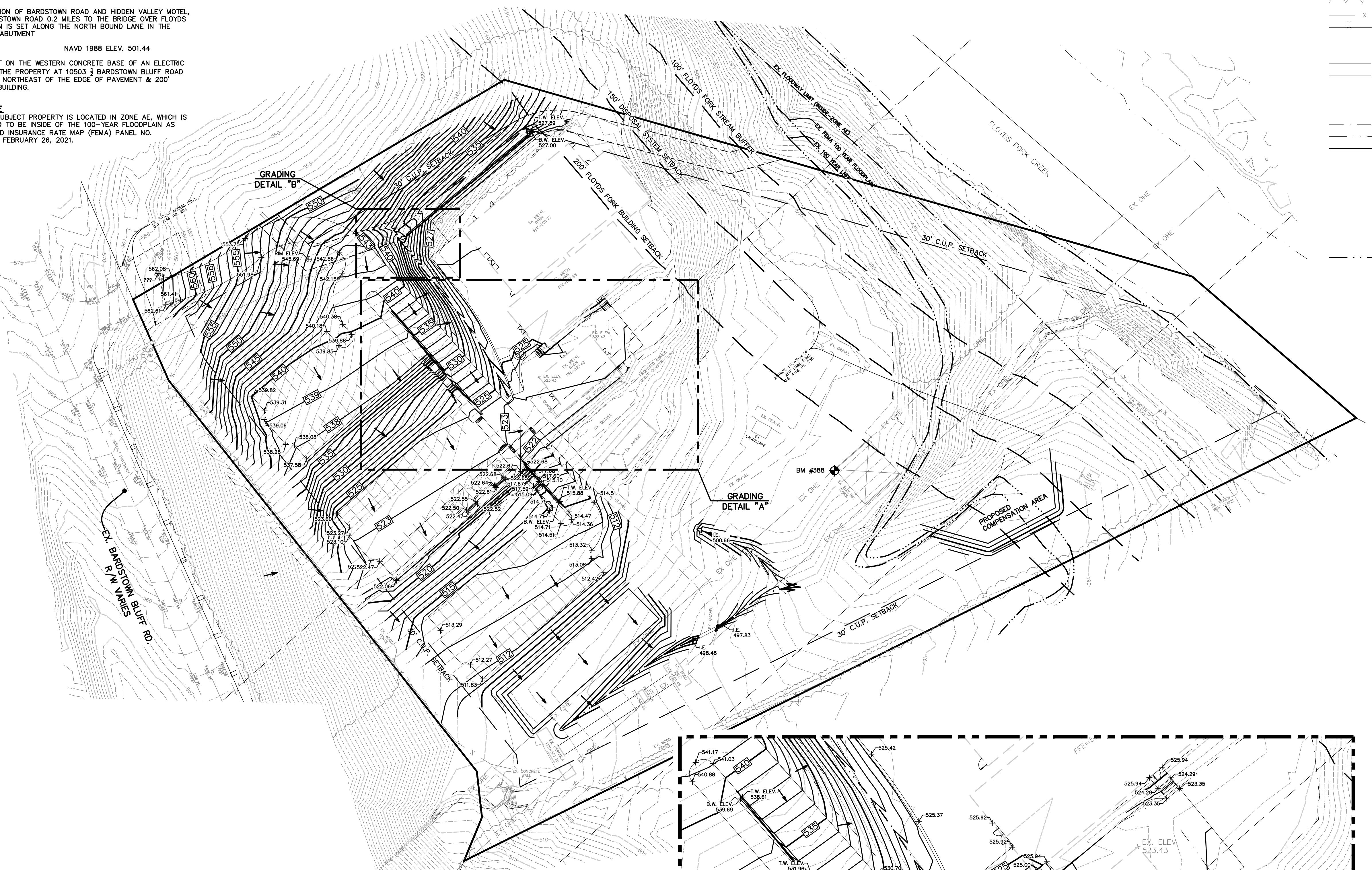
SOURCE BENCHMARK AZI036-2001 NAVD 1988 ELEV. 495.28

FROM THE INTERSECTION OF BARDOCK ROAD AND HIDDEN VALLEY MOTEL, TRAVEL ALONG BARDOCK ROAD 0.2 MILES TO THE BRIDGE OVER FLOYDS FORK CREEK. STATION IS SET ALONG THE NORTH BOUND LANE IN THE NORTHEAST CORNER ABUTMENT

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PHASING SEQUENCE

THE FOLLOWING SWPPP PHASING IS SUBJECT TO MODIFICATION BASED ON THE CONTRACTORS ACTUAL PERFORMANCE OF WORK AND COORDINATION WITH UTILITY CONSTRUCTION. THE CONTRACTOR SHALL ADDRESS CHANGES TO THE SEQUENCING OUTLINED BELOW AT A PRECONSTRUCTION MEETING WITH THE MSD INSPECTOR OR IN CONSULTATION WITH MSD INSPECTOR ONCE SITE CONSTRUCTION IS IN PROGRESS. IN THE EVENT THAT THE MSD INSPECTOR DETERMINES THAT A REDLINE REVISION TO THE APPROVED SWPPP IS NECESSARY THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH THE OWNER TO OBTAIN SUCH A REVISION.

EXISTING UTILITIES

EXISTING UTILITIES: THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO SITE DISTURBANCE AND EXCAVATION ACTIVITIES. CROSSINGS, CONNECTIONS TO OR ABANDONMENT OF ANY EXISTING UTILITY LINES ARE TO BE COORDINATED BETWEEN THE CONTRACTOR AND APPROPRIATE UTILITY PERSONNEL.

SITE CONSTRUCTION

- SITE CONSTRUCTION:**

 1. ANY SWPPP CONTROLS ASSOCIATED WITH SITE CONSTRUCTION SHALL CONFORM TO THE INTENT OF THE APPROVED SWPP PLANS. CHANGES NECESSITATED AS A RESULT OF ACTUAL FIELD CONDITIONS OR CONSTRUCTION ACTIVITIES SHALL BE COORDINATED THROUGH THE ASSIGNED MSD INSPECTOR. THE CONTRACTOR SHALL HOLD A PRE-CONSTRUCTION MEETING WITH THE MSD INSPECTOR PRIOR TO STARTING CONSTRUCTION. THE CONTRACTOR MUST ALSO MONITOR THE SURROUNDING ROADWAYS DAILY AND IS RESPONSIBLE FOR CLEANING ANY SEDIMENT THAT GETS TRACKED ONTO THE ROADWAY.
 2. CONTRACTOR TO UTILIZE EXISTING PAVED DRIVE FOR CONSTRUCTION ENTRANCE. SOIL TRACKED ONTO ROADWAY SHALL BE REMOVED DAILY.
 3. LOGGING, TREE CUTTING OR BRUSH MOWING MAY BE PERFORMED AS NEEDED TO ACCESS AND INSTALL THE INITIAL EROSION CONTROLS. ANY SUCH ACTIVITY SHOULD BE LIMITED AND GROUND DISTURBANCE MINIMIZED.
 4. CONTRACTOR TO INSTALL REINFORCED SILT FENCE AND ROCK DITCH CHECK.
 5. INITIATE DEMO OF EXISTING GRAVEL/PAVEMENT (SEE EX. CONDITIONS) & STRIPPING OF TOPSOIL AND MECHANIZED REMOVAL OF VEGETATION.
 6. INITIATE SUBGRADE PREPARATION FOR FILL AREAS AND GRADING ACTIVITIES FOR EARTH AND ROCK MATERIALS.
 7. STOCKPILES SHALL BE SEEDED, MULCHED AND ADEQUATELY CONTAINED THROUGH THE USE OF SILT FENCE.
 8. INITIATE SANITARY SEWER AND STORM DRAINAGE CONSTRUCTION. INSTALL INLET PROTECTION AS STRUCTURES ARE SET.
 9. CONTINUE SITE GRADING.
 10. INSTALL STONE BASE AND PAVEMENT.
 11. STABILIZE PORTIONS OF THE SITE AS FINAL GRADE IS ESTABLISHED.
 12. ALL EROSION CONTROL MEASURES MUST BE MAINTAINED THROUGHOUT SITE CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR THE INSPECTION AND MAINTENANCE OF THE MEASURES UNTIL THE SITE HAS BEEN RELEASED BY MSD. AS DRAINAGE AREAS ARE STABILIZED, ROCK DITCH CHECKS, AND SILT FENCE MAY BE REMOVED.
 13. TEMPORARY STABILIZATION SHALL BE APPLIED TO NON-STRUCTURAL DISTURBED AREAS THAT REMAIN INACTIVE FOR MORE THAN 14 DAYS.
 14. INSTALL UTILITIES AND PERFORM FINAL GRADING AND INSTALL LANDSCAPING. AS DRAINAGE AREAS ARE PERMANENTLY STABILIZED ANY REMAINING EROSION CONTROL MEASURES MAY BE REMOVED WITH THE APPROVAL OF THE MSD INSPECTOR.
 15. THE CONTRACTOR SHALL SUBMIT A NOTICE OF TERMINATION REQUEST TO MSD WHEN CONSTRUCTION HAS ENDED AND THE INSPECTOR HAS APPROVED ALL CONTROLS FOR REMOVAL.

EROSION CONTROLS

EL	EROSION CONTROL PRACTICE	MSD STANDARD DETAIL
	STABILIZED CONSTRUCTION ENTRANCE	ER-01-03
	REINFORCED SILT FENCE	EF-10-02
	ROCK DITCH CHECK	EB-03-03
	STONE BAG INLET PROTECTION	EF-03-02

LEGEND

EXISTING CONTOUR

EXISTING TREE MASS

EXISTING FENCE

EXISTING GUARDRAIL

EXISTING WATER METER

EXISTING WATER VALVE

EXISTING OVERHEAD UTILITIES

EXISTING OVERHEAD ELECTRIC

EXISTING ELECTRIC BOX

EXISTING UTILITY POLE

EXISTING DOWN GUY

EXISTING STORM PIPE

EXISTING TOP OF BANK

EXISTING TOE OF SLOPE/DITCH

PROPOSED CONTOUR

PROPOSED CATCH BASIN & YARD DRAIN W/PIPE

PROPOSED STORM MANHOLE W/PIPE

PROPOSED HEADWALL W/PIPE

PROPOSED DITCH/SWALE

PROPOSED FORCE MAIN

PROPOSED STORM FLOW ARROW

PROPOSED REINFORCED SILT FENCE

PROPOSED LIMITS OF DISTURBANCE

PROPOSED EROSION CONTROL LABEL

AREA OF DISTURBANCE: 2.97 AC



UTILITY NOTE:

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STORMWATER POLLUTION PREVENTION PLAN NOTE:

STORMWATER POLLUTION PREVENTION PLAN NOTE:
THE APPROVED STORMWATER POLLUTION PREVENTION PLAN (SWPPP)
SHALL BE IMPLEMENTED PRIOR TO ANY LAND-DISTURBING ACTIVITY ON
THE CONSTRUCTION SITE. ANY MODIFICATIONS TO THE APPROVED SWPPP
PLAN MUST BE REVIEWED AND APPROVED BY MSD. SWPPP BMP'S (BEST
MANAGEMENT PRACTICES) SHALL BE INSTALLED PER THE PLAN AND MSD
STANDARDS.

DETENTION BASINS, IF APPLICABLE, SHALL BE CONSTRUCTED FIRST AND SHALL PERFORM AS SEDIMENT BASINS DURING CONSTRUCTION UNTIL THE CONTRIBUTING DRAINAGE AREAS ARE SEEDED AND STABILIZED.

ACTIONS MUST BE TAKEN TO MINIMIZE THE TRACKING OF MUD AND SOIL FROM CONSTRUCTION AREAS ONTO PUBLIC ROADWAYS. SOIL TRACKED ONTO THE ROADWAY SHALL BE REMOVED DAILY.

SOIL STOCKPILES SHALL BE LOCATED AWAY FROM STREAMS, PONDS, SWALES AND CATCH BASINS. STOCKPILES SHALL BE SEEDED, MULCHED

ALL STREAM CROSSINGS MUST UTILIZE LOW-WATER CROSSING
GEOTEXTILES PER MDOT STANDARD DRAWING TD-90-07
AND ADEQUATELY CONTAINED THROUGH THE USE OF SILT FENCE.

STRUCTURES PER MSD STANDARD DRAWING ER-02-08.

SEDIMENT-LADEN GROUNDWATER ENCOUNTERED DURING TRENCHING, BORING OR OTHER EXCAVATION ACTIVITIES SHALL BE PUMPED TO A SEDIMENT TRAPPING DEVICES PRIOR TO BEING DISCHARGED INTO A STREAM, POND, SWALE OR CATCH BASIN.

WHERE CONSTRUCTION OR LAND DISTURBING ACTIVITY WILL OR HAS TEMPORARILY CEASED ON ANY PORTION OF A SITE, TEMPORARY SITE STABILIZATION MEASURES SHALL BE REQUIRED AS SOON AS PRACTICABLE, BUT NO LATER THAN 14 DAYS AFTER THE ACTIVITY HAS

- EROSION CONTROL NOTES:**

 1. THE EROSION PREVENTION AND SEDIMENT CONTROL DEVICES SHOWN ON THIS PLAN SET ARE INTENDED TO BE THE MINIMUM CONTROL MEASURES. ADDITIONAL EPSC DEVICES MAY NEED TO BE INSTALLED AS NECESSARY BY THE CONTRACTOR TO PREVENT EROSION AND SEDIMENTATION.
 2. TIE BACK DISTANCES ON SILT FENCE ARE TO BE ADEQUATE LENGTH TO ALLOW FOR A MINIMUM OF 2 FEET OF STORAGE.

The logo for Kentucky 811. It features the word "Kentucky" in large, bold, white letters with a black outline. To the left of "Kentucky" is a cartoon illustration of a white pickup truck with a smiling face, wearing a hard hat with a "K" on it, and holding a shovel. To the right of "Kentucky" is a large, white, stylized number "811". Below "Kentucky" is a black outline of the state of Kentucky. At the bottom, the text "Know what's below. Call before you dig." is written in a white, sans-serif font.

CASE #19-CUP-1036
SDP-25-1110
MSD WM #11939

GRAPHIC SCALE 1"=40'

20 40 80

FOR AGENCY REVIEW



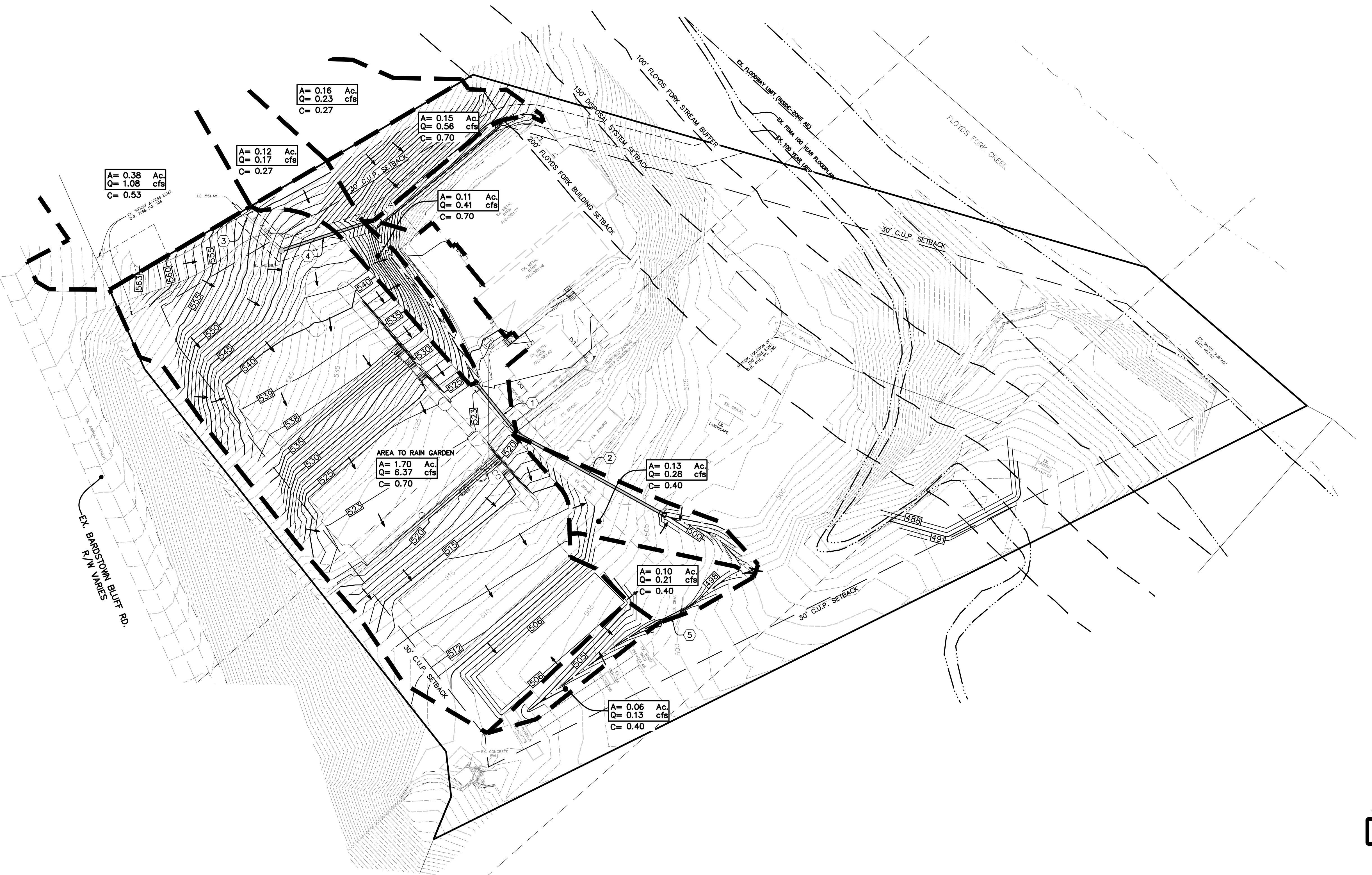
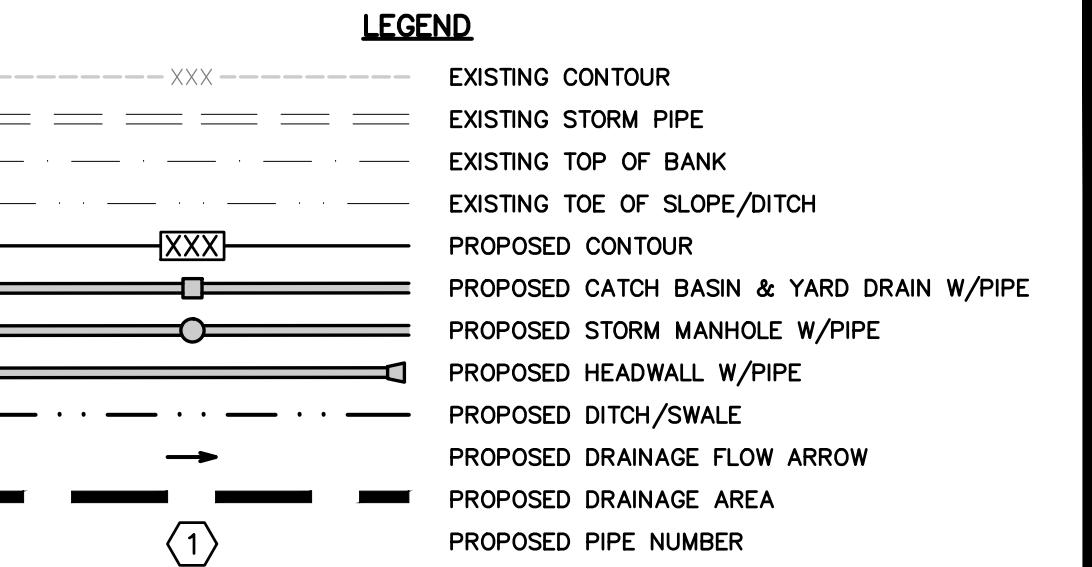
MINDEL SCOTT

ENGINEERING SURVEYING PLANNING LANDSCAPE ARCHITECTURE

5151 Jefferson Blvd. Louisville, KY. 40219

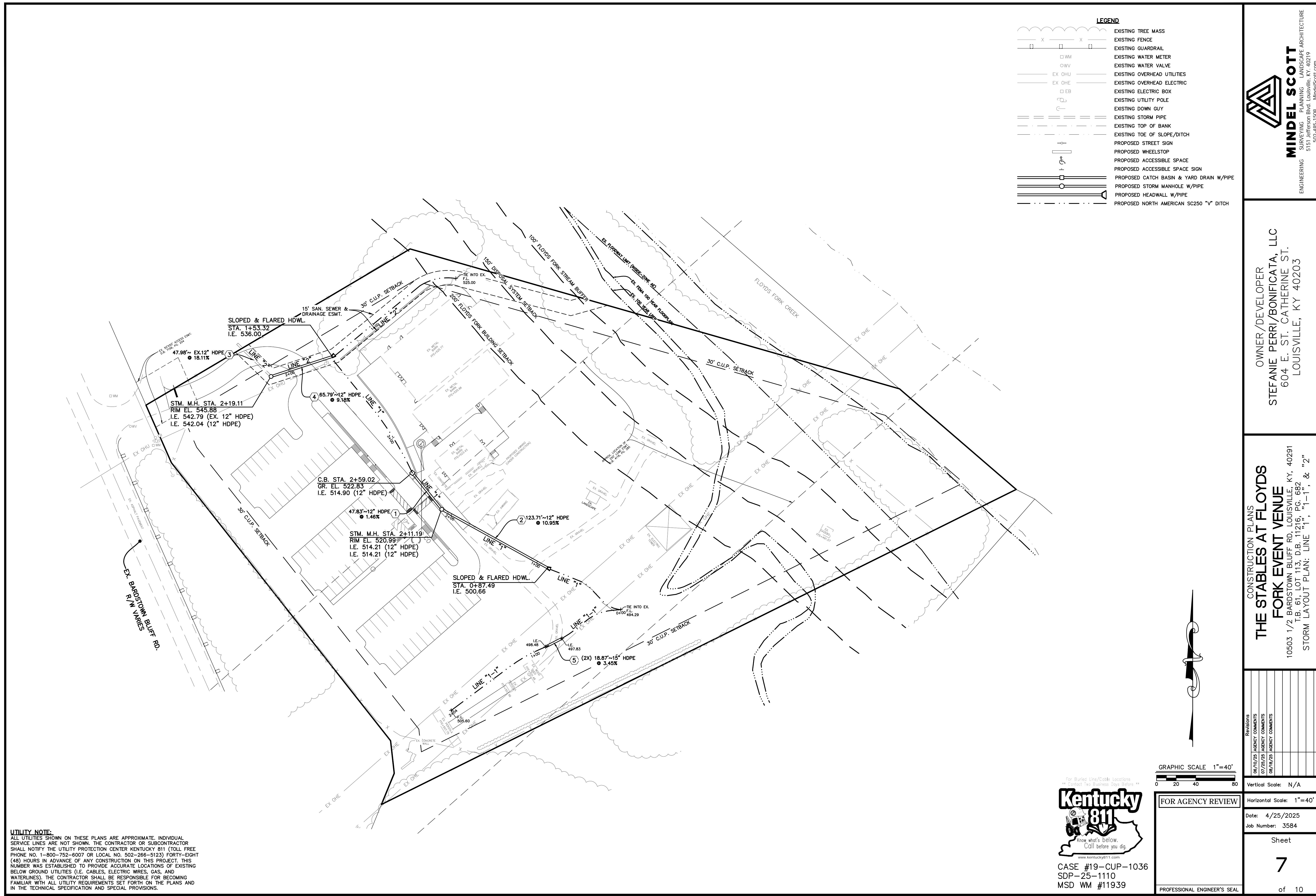
502.455.1500 MinselScott.com

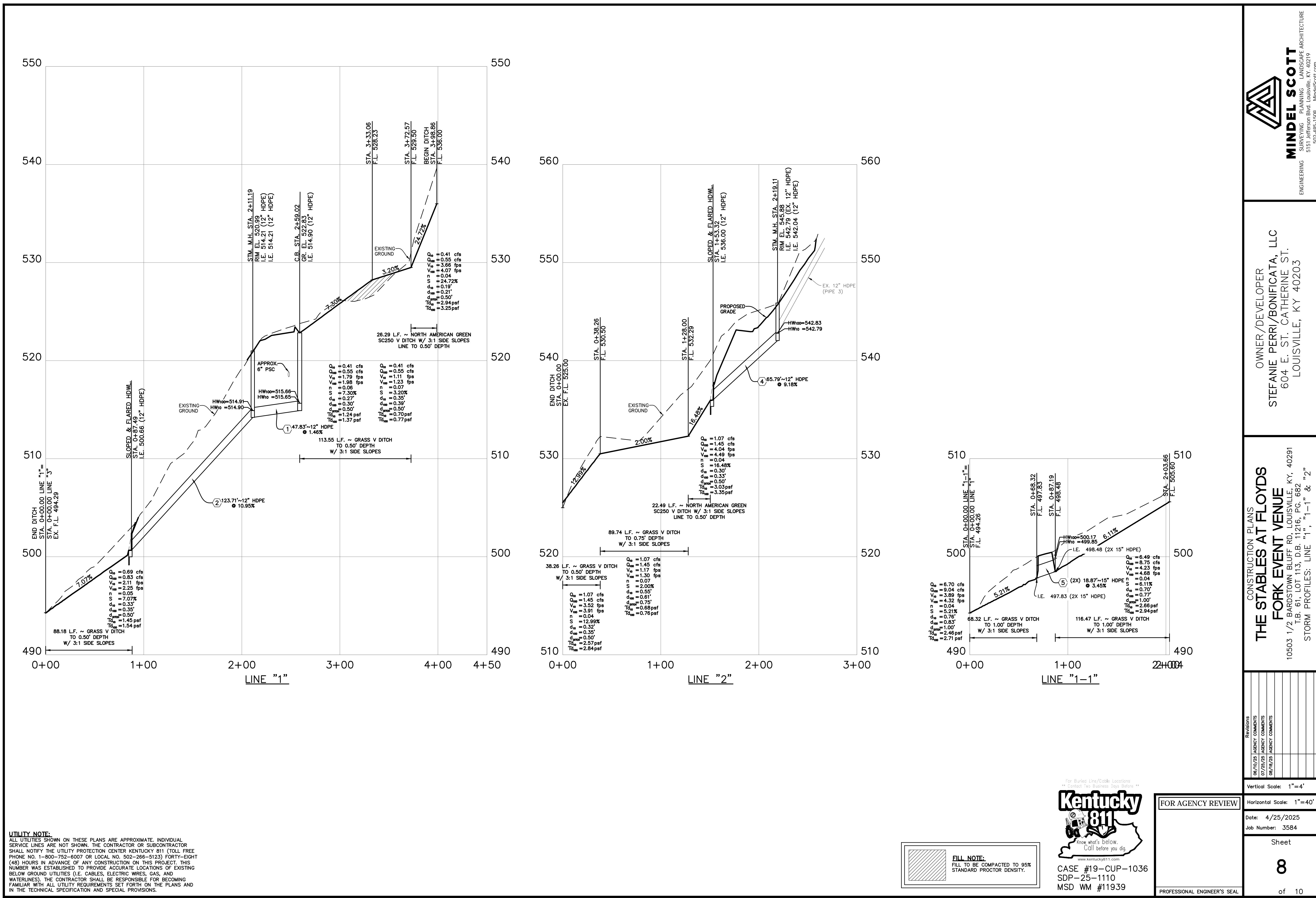
PIPE CHART													
PIPE NO.	A (AC.)	C	Q10 (CFS)	Q100 (CFS)	LENGTH (FEET)	SIZE (INCHES)	SLOPE (%)	V (FPS)	Tc (MIN)	I10 (IN/HR)	I100 (IN/HR)	Q FULL (CFS)	V FULL (FPS)
1	0.11	0.70	0.41	0.55	47.83	12	1.46	3.50	10.0	5.35	7.20	4.66	5.94
2	0.11	0.70	0.41	0.55	123.71	12	10.95	7.32	10.2	5.31	7.16	12.77	16.26
3	0.38	0.53	1.08	1.45	47.98	12	18.11	11.50	10.0	5.35	7.20	16.43	20.91
4	0.38	0.53	1.07	1.45	65.79	12	9.18	9.08	10.1	5.34	7.19	11.69	14.89
5	1.76	0.69	6.49	8.75	18.87	15 (2X)	3.45	10.41	10.0	5.35	7.20	21.14	11.96



CASE #19-CUP-1036
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UTILITY NOTE:
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SHALL NOTIFY THE UTILITY PROTECTION CENTER KENTUCKY 811 (TOLL FREE
PHONE NO. 1-800-752-6007 OR LOCAL NO. 502-266-5123) FORTY-EIGHT
(48) HOURS IN ADVANCE OF ANY CONSTRUCTION ON THIS PROJECT. THIS
NUMBER WAS ESTABLISHED TO PROVIDE ACCURATE LOCATIONS OF EXISTING
BELOW GROUND UTILITIES (I.E. CABLES, ELECTRIC WIRES, GAS, AND
WATERLINES). THE CONTRACTOR SHALL BE RESPONSIBLE FOR BECOMING
FAMILIAR WITH ALL UTILITY REQUIREMENTS SET FORTH ON THE PLANS AND
IN THE TECHNICAL SPECIFICATION AND SPECIAL PROVISIONS.





GENERAL NOTES

- THE CONTRACTOR SHALL PROVIDE ALL NECESSARY LABOR, MATERIAL, EQUIPMENT, TOOLS AND SERVICES REQUIRED TO COMPLETE CONSTRUCTION AND MATERIAL TESTING FOR THE WORK. ALL WORK SHALL BE PERFORMED IN A SAFE AND REASONABLE WORKING MANNER IN ACCORDANCE WITH THE BEST PRACTICES AND PROCEDURES.
- THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES, ORDINANCES, REGULATIONS AND REQUIREMENTS NECESSARY TO COMPLETE THE WORK; THIS INCLUDES PROVISIONS FOR MAINTENANCE OF TRAFFIC, CONSTRUCTION AND OCCUPATIONAL SAFETY AND HEATH ACT (OSHA).
- ALL CONSTRUCTION METHODS, MATERIALS AND WORK ACTIVITIES SHALL BE IN ACCORDANCE WITH THE KENTUCKY ALUMINUM SCAFFOLDING, CABLES, DEBRIS, HAZARD, STANDARD SPECIFICATIONS AND SUPPLEMENTS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION, UNLESS OTHERWISE SPECIFIED. THE CURRENT KTC STANDARD DRAWINGS WILL ALSO APPLY UNLESS OTHERWISE NOTED ON THE PLANS.
- METRO PUBLIC WORKS STANDARDS SHALL BE UTILIZED FOR ALL CONSTRUCTION IN METRO RIGHT-OF-WAY.
- CONSTRUCTION BOND AND ENCROACHMENT PERMIT WILL BE REQUIRED BY LOUISVILLE METRO PUBLIC WORKS FOR ALL CONSTRUCTION WORK (INCLUDING UTILITY WORK) WITHIN LOUISVILLE METRO RIGHT-OF-WAY PRIOR TO CONSTRUCTION APPROVAL.
- FORTY-EIGHT (48) HOURS PRIOR TO CONSTRUCTION, A NOTICE SHALL BE GIVEN BY THE DEVELOPER OR CONTRACTOR TO LOUISVILLE METRO PUBLIC WORKS SUBDIVISION INSPECTOR FOR NECESSARY INSPECTION OF UNSUITABLE MATERIAL, CONSTRUCTION WORK, SUBGRADE, SUBBASE, BASE, PAVING, SURFACING, ROADWAY AND CURB REPAIRS, AND SIDEWALKS. CALL THE INSPECTORS DIRECTLY OR THE MAIN PUBLIC WORKS TELEPHONE NUMBER 502-574-5810.
- A BOND AND ENCROACHMENT PERMIT WILL BE REQUIRED BY METRO PUBLIC WORKS PRIOR TO CONSTRUCTION APPROVAL FOR ALL ROADWAY REPAIRS ON ALL SURROUNDING ACCESS ROADS TO THE SITE DUE TO DAMAGES CAUSED BY CONSTRUCTION TRAFFIC ACTIVITIES.
- THE DEVELOPER IS RESPONSIBLE FOR THE RELOCATION AND ADJUSTMENT OF ALL THE UTILITY INSTALLATIONS, SHOULD ANY EXISTING DRAINAGE STRUCTURES AND/OR UTILITIES WITHIN THE RIGHT-OF-WAY NEED TO BE RELOCATED, EXTENDED OR OTHERWISE ALTERED, IT WILL BE AT THE OWNER'S OR DEVELOPER'S EXPENSE.
- ACTIVITIES SHALL BE TAKEN TO PREVENT MATERIALS FROM STREAMS, PONDS, SWALES AND CATCH BASINS. STOCKPILES SHALL BE SEEDED, MULCHED, AND ADEQUATELY CONTAINED THROUGH THE USE OF SILT FENCE.
- THE APPROVED SWIMMABLE POLLUTION PREVENTION PLAN (SWPPP) SHALL BE IMPLEMENTED PRIOR TO ANY LAND-DISTURBING ACTIVITY ON THE CONSTRUCTION SITE. ANY MODIFICATIONS TO THE APPROVED SWPPP PLAN MUST BE REVIEWED AND APPROVED BY KTC. SWPPP BMP'S (BEST MANAGEMENT PRACTICES) SHALL BE INSTALLED PER THE PLAN AND KTC STANDARDS.
- WHEN CONSTRUCTION ACTIVITIES AND DISTURBANCE ACTIVITY WILL OR HAS TEMPORARILY CEASED ON ANY PORTION OF A TEMPORARY SITE STABILIZATION MEASUREMENTS SHALL BE REQUIRED AS SOON AS PRACTICABLE, BUT NO LATER THAN 14 CALENDAR DAYS AFTER THE ACTIVITY HAS CEASED.
- SEDIMENT-LADEN GROUNDWATER ENCOUNTERED DURING TRENCHING, BORING OR OTHER EXCAVATION ACTIVITIES SHALL BE PUMPED TO A SEDIMENT TRAPPING DEVICE PRIOR TO BEING DISCHARGED INTO A STREAM, POND, SWALE, OR CATCH BASIN.

DRAINAGE

- ALL SWALES/DITCHES IN MSD EASEMENTS SHALL HAVE 3:1 SIDE SLOPES (UNLESS OTHERWISE NOTED).
- ALL STORM SEWER PIPE TO BE R.C.P. CLASS III WATERTIGHT CONSTRUCTION AND UNLESS OTHERWISE SPECIFIED, A MINIMUM TWELVE (12) INCH DIAMETER R.C.P. AND ALL PUBLIC STORM DRAINS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH KTC SPECIFICATIONS.
- A CONCRETE SLEEVE SHALL BE PROVIDED OVER ALL CULVERT AND STORM PIPES IS REQUIRED. A MINIMUM SIX (6") INCH ENCLOSED CLASS "A" CONCRETE ENCASING WITH A MINIMUM PROJECTION INTO THE PAVEMENT STRUCTURE FOR ANY PIPE WITH REDUCED COVER IS REQUIRED.
- BACKFILL UNDER AND AROUND DRAINAGE STRUCTURES WITH A MIN. 6" #57 STONE. TRENCH BACKFILL TO BE FROM SPRINGLINE/MIDPOINT OF PIPE TO 6" BELOW OUTSIDE OF PIPE (MIN.) WITH #57 STONE. BACKFILL ABOVE THE SPRINGLINE/MIDPOINT SHALL BE OF ACCEPTABLE MATERIALS AND COMPACTED TO EMBANKMENT REQUIREMENTS.
- ALL DRAINAGE DITCHES/SWALES WILL BE GRADED AND SHAPED TO PROVIDE POSITIVE DRAINAGE AND SEALED OR LINED AS SHOWN IN THE PLANS. ALL CROSS DRAIN CULVERT PIPES WILL BE CONSTRUCTED TO THE ELEVATION SHOWN ON THE PLANS AND DRAINED.
- THE CONTRACTOR MAY USE PRECAST STRUCTURES IF PURCHASED FROM A SUPPLIER APPROVED BY KTC.

UTILITIES

- ALL UTILITIES SHOWN ON THESE PLANS ARE APPROXIMATE. INDIVIDUAL SERVICE LINES ARE NOT SHOWN. THE CONTRACTOR OR OWNER/DEVELOPER SHALL NOTIFY THE UTILITY PROTECTION CENTER KENTUCKY 811 TOLL FREE PHONE: 1-800-432-8007 OR LOCAL NUMBER 268-5120, FORTY-EIGHT (48) HOURS ADVANCE OF ANY CONSTRUCTION ON THIS PROJECT. THIS NUMBER WAS ESTABLISHED TO PROMOTE ACCURATE LOCATIONS OF EXISTING BELOW GROUND UTILITIES (I.E. CABLES, ELECTRIC WIRES, GAS AND WATERLINES). THE CONTRACTOR SHALL BE RESPONSIBLE FOR BECOMING FAMILIAR WITH ALL UTILITY REQUIREMENTS SET FORTH ON THE PLANS AND IN THE TECHNICAL SPECIFICATION AND SPECIAL PROVISIONS.

- IF ANY UTILITY LINES ARE ENCOUNTERED DURING CONSTRUCTION, EXTREME CAUTION SHOULD BE EXERCISED AND THE CONTRACTOR SHALL NOTIFY IMMEDIATELY. ANY DAMAGES SHALL BE REPAIRED IMMEDIATELY AT THE DIRECTION OF THE UTILITY COMPANY, INCLUDING TEMPORARY AND PERMANENT WORK AT NO ADDITIONAL EXPENSE TO THE OWNER/DEVELOPER.
- CONTRACTOR SHALL LOCATE ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. IF EXISTING UTILITIES ARE DIFFERENT THAN SHOWN ON THE PLAN OR HAVE THE POTENTIAL FOR CONFLICT, THEN THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY.

FIRE

- ALL FIRE HYDRANTS WILL BE INSTALLED IN ACCORDANCE WITH THE CURRENT ORDINANCES.

LIGHTING

- SITE LIGHTING SHALL CONFORM TO CHAPTER 4 OF LAND DEVELOPMENT CODE AND THE APPROVED DEVELOPMENT PLAN CONDITIONS AND BINDING ELEMENTS.

SIGNAGE & PAVEMENT MARKINGS

- ALL SIGNS AND INSTALLATION SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREET AND HIGHWAY, LATEST EDITION.
- ALL SIGNS SHALL BE RETRO-REFLECTIVE INCLUDING MESSAGE, BORDER, AND BACKGROUND.
- STREET SIGNS SHALL HAVE A WHITE LEGEND ON A GREEN BACKGROUND.
- REFER TO SECTION 2A.14 LETTERING AND DIMENSIONS.
- STANDARD HIGHWAY SIGNS BOOK
- SIGN PLATE SHALL COMPLY WITH KENTUCKY TRANSPORTATION CABINET/DEPARTMENT OF HIGHWAYS STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION.
- ALL ARROWS, TRACKING, AND STOP BARS SHALL BE PAINTED.
- CONTRACTOR SHALL INSTALL PAVEMENT MARKINGS FOR ENTIRE CONSTRUCTION LIMITS PER KDOT SPECIFICATIONS: KDOT NO. TPM-100-03-105-03, 110-03 PAVEMENT MARKER ARRANGEMENTS MULTI-LANE ROADWAYS
- ALL STREET SIGNS IN CONFORMANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL FOR STREETS AND HIGHWAYS SHALL BE INSTALLED PRIOR TO RECORDING OF THE RECORD PLAT OR OCCUPYING OF THE FIRST RESIDENT ON THE STREET AND SHALL BE IN PLACE AT THE TIME OF BOND RELEASE. ALL SIGNS TO CONFORM TO KRS 67C.115 (2), CHAPTER 97 OF THE LOUISVILLE/JEFFERSON COUNTY METRO GOVERNMENT CODE OF ORDINANCES.
- EXISTING TRAFFIC DIVIDING AND SIGNING SHALL BE MAINTAINED DURING ALL CONSTRUCTION ACTIVITIES. PREVENTING DRIP LINE OF THE TREE CANOPY AND SHALL REMAIN IN PLACE UNTIL ALL CONSTRUCTION IS COMPLETE. NO PARKING, MATERIAL STORAGE OR CONSTRUCTION ACTIVITIES SHALL BE PERMITTED WITHIN THE FENCED AREA.
- CONTRACTOR SHALL BE RESPONSIBLE FOR 4" WHITE PAINTED PARKING STRIPES, AND THAT WHICH IS REQUIRED FOR ACCESSIBLE PARKING.

LANDSCAPE/TREE PRESERVATION

- SEE TREE PRESERVATION PLAN PRIOR TO ANY TREE REMOVAL.
- A LANDSCAPE AND TREE CANOPY PLAN PER CHAPTER 10 OF THE LDC SHALL BE PROVIDED PRIOR TO ISSUANCE OF BUILDING PERMIT AND SHALL BE KEPT ON SITE AT ALL TIMES.
- LANDSCAPING SHALL BE SELECTED AND PLACED IN SUCH A MANNER AS TO INSURE ADEQUATE AND SAFE SIGHT DISTANCE FOR MOTORISTS DRIVING THE ROADS TO BE CONSTRUCTED WITHIN THE SUBDIVISION.
- THE RIGHT-OF-WAY FOR ANY NEW LANDSCAPING IN THE ROAD RIGHT-OF-WAY WILL BE EVALUATED FOR ROADSIDE SAFETY AND SIGHT DISTANCE REQUIREMENTS BY LOUISVILLE METRO PUBLIC WORKS, WHICH RESERVES THE RIGHT TO REMOVE THEM WITHOUT THE APPROVAL OF THE PROPERTY OWNER.
- A LANDSCAPING PLAN SHOWING THE TYPE AND LOCATION OF ALL PLANTINGS WITHIN THE ROAD RIGHT-OF-WAY SHALL BE PREPARED AND SUBMITTED TO THE DEPARTMENT OF PUBLIC WORKS FOR APPROVAL. THE ULTIMATE (MATURE) HEIGHT AND SPREAD OF THE VARIOUS TYPES OF PLANTINGS SHALL BE SPECIFIED ON THE PLAN.
- CONSTRUCTION OF ROOT SYSTEMS OF TREES TO BE PRESERVED, THE FENCING SHALL ENCLOSE THE AREA BEHIND THE DRIP LINE OF THE TREE CANOPY AND SHALL REMAIN IN PLACE UNTIL ALL CONSTRUCTION IS COMPLETE. NO PARKING, MATERIAL STORAGE OR CONSTRUCTION ACTIVITIES SHALL BE PERMITTED WITHIN THE FENCED AREA.
- THEY SHALL BE NO LANDSCAPING IN THE ROAD RIGHT-OF-WAY WITHOUT AN ENCROACHMENT PERMIT. THE CONSTRUCTION AND PLACEMENT OF ANY TREES OR LANDSCAPING WITHIN THE ROAD RIGHT-OF-WAY WILL BE EVALUATED FOR ROADSIDE SAFETY AND SITE DISTANCE REQUIREMENTS BY METRO PUBLIC WORKS.

CONCRETE SIDEWALKS & CURBS

- THE CONTRACTOR SHALL PROVIDE AN EXPANSION JOINT BETWEEN THE CURB AND GRATE ON ALL CURB INLETS.
- ALL SIDEWALKS TO BE CONSTRUCTED OF CLASS A CONCRETE AS SHOWN ON THE PLAN AND SHALL BE A MINIMUM OF FOUR (4) INCHES THICK AND A MINIMUM OF SIX (6) INCHES THICK AT ALL RESIDENTIAL DRIVEWAYS AND EIGHT (8) INCHES FOR COMMERCIAL DRIVEWAYS.
- SIDEWALK CROSS SLOPE SHALL BE NO GREATER THAN TWO (2.00%) PERCENT AND NO LESS THAN ONE (1.00%) PERCENT.
- WHEN SIDEWALK ELEVATIONS DEVIATE SLIGHTLY FROM THE PROPOSED CONSTRUCTION PLAN ELEVATIONS, IT WILL BE THE RESPONSIBILITY OF THE DEVELOPER TO PAY FOR THE ADJUSTMENT OF THE UTILITY COVER, PAD OR GRATE WHICH WAS NOT USED. SEE CONSTRUCTION PLAN ELEVATIONS FOR SIDEWALKS, OR TO REMOVE THE SIDEWALK AND RECONSTRUCT AT PROPER ELEVATIONS.
- ALL CURBS ARE TO BE STRAIGHT LINES, SMOOTH CURVES OR UNIFORM RADII AS INDICATED ON THE PLANS. REFER TO THE KENTUCKY TRANSPORTATION CABINET DEPARTMENT OF HIGHWAYS STANDARD SPECIFICATIONS AND SUPPLEMENT FOR ROAD AND BRIDGE CONSTRUCTION LATEST EDITION FOR CONSTRUCTION TOLERANCES AND DEVIATIONS FROM THE PLANS.
- CONSTRUCT A MINIMUM 3/8" EXPANSION JOINT AT ALL BREAKS IN ALIGNMENT, AT ALL DRAINAGE BOXES AND OTHER FIXED OBJECTS, AT THE BEGINNING AND ENDING POINTS OF CURVES AND AT THE BEGINNING, QUARTER, MIDDLE AND ENDING POINTS OF SEMI CIRCULAR CURVES.
- ON LONG, STRAIGHT, LINEAR RUNS OF CURBING, CONSTRUCT EXPANSION JOINTS A MAXIMUM OF EVERY THIRTY (30) FEET O.C. AND CONTROL/SCORE JOINTS EVERY TEN (10) FEET O.C.
- EXPANSION JOINTS WILL NOT BE REQUIRED AT THE QUARTER POINTS FOR SEMI CIRCLES HAVING RADII OF FIVE (5) FEET OR LESS.
- ALL INTERIOR SIDEWALKS THAT ABUT PARKING TO BE FIVE (5') FEET WIDE MINIMUM.
- SIDEWALKS ARE TO BE 5' WIDE AND INSTALLED AS SHOWN ON PLANS UNLESS OTHERWISE NOTED.
- CONTROL/SCORING JOINT PATTERN OF SIDEWALKS TO BE FIVE (5') FEET O.C. EXPANSION JOINTS ARE TO BE 20' O.C.
- CONCRETE WALKS SHALL HAVE A ROUGH BROOM FINISH UNLESS OTHERWISE NOTED ON PLANS.
- ALL PAVEMENT SHALL BE OUTLINED WITH CONCRETE CURBS UNLESS OTHERWISE NOTED. ALL CURBS ARE TO BE MEDIAN CURBS UNLESS OTHERWISE NOTED.

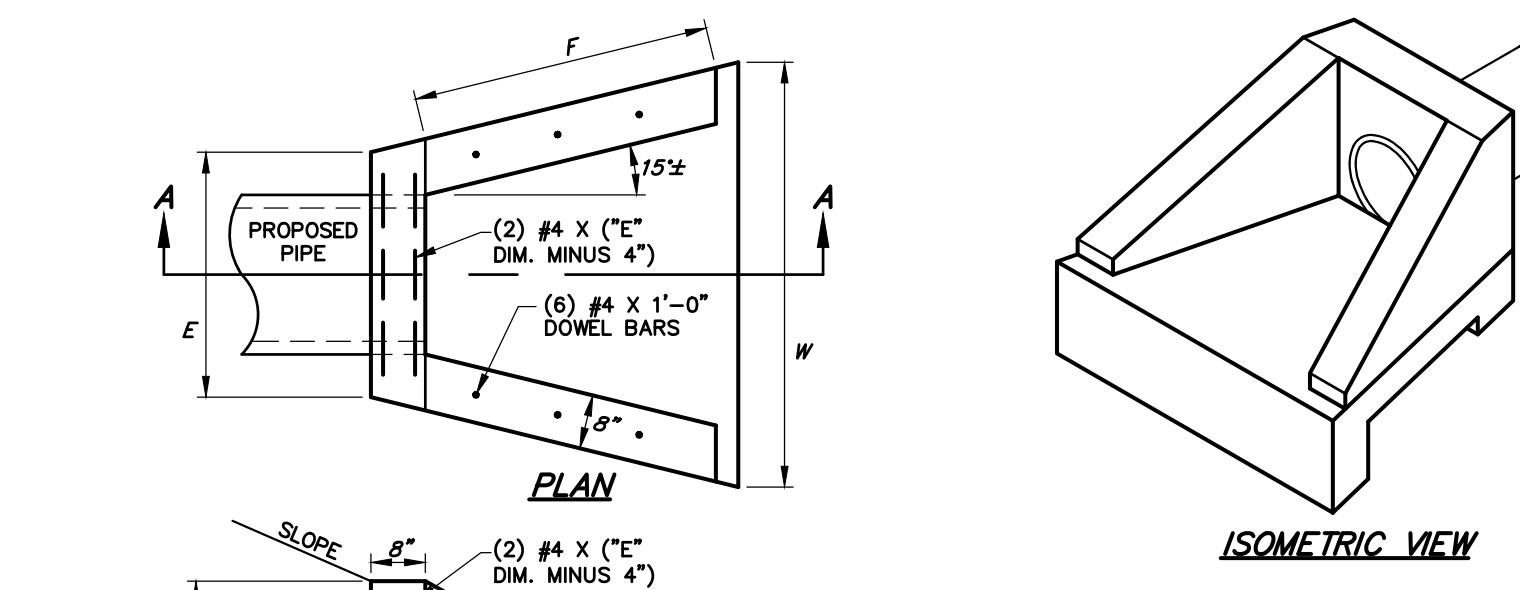
GRADING

- WHEN ROCK IS ENCOUNTERED NEAR ROADBED ELEVATION, THE MATERIALS WILL BE EXCAVATED TO MINIMUM DEPTH OF TWO (2) FEET BELOW SUBBASE ELEVATION. THE ROCK SURFACE SLOPED TO DRAIN, BACKFILLED WITH SELECT MATERIALS AND COMPACTED IN ACCORDANCE WITH THE KENTUCKY STANDARD SPECIFICATIONS FOR ROADS & BRIDGES. ANY OTHER UNSUITABLE MATERIALS ENCOUNTERED SHALL BE REMOVED TO A DEPTH & WIDTH AND BACKFILLED WITH ACCEPTABLE MATERIALS. THE CONTRACTOR SHALL TEST FOR THE GEOTECHNICAL ENGINEER OR METRO PUBLIC WORKS FOR SATISFACTORY ASSURANCE OF EMBANKMENT AND PAVEMENT STABILITY. ALL EMBANKMENT SECTIONS IN EXCESS OF FOUR (4) FOOT DEPTH SHOULD BE TESTED AT ONE (1) FOOT LAYERS. CONTRACTOR SHALL UTILIZE A REGISTERED GEOTECHNICAL ENGINEER TO TEST, VERIFY, AND REPORT ALL EMBANKMENT IN EXCESS OF THE ROADWAY SECTION THAT HAS BEEN EXCAVATED. THE CONTRACTOR SHALL TEST, VERIFY, AND REPORT ALL EMBANKMENT IN EXCESS OF FOUR (4) FOOT DEPTH. THE EMBANKMENT DEPTH SHOULD BE TESTED AT ONE (1) FOOT LAYERS. THE CONTRACTOR SHALL PREGRADE THE ENTIRE ROADWAY SECTION WITHIN THE RIGHT-OF-WAY LIMITS, INCLUDING THE ROADWAY SLOPES, DRAINAGE DITCHES AND ROADWAY CROSS-SECTION AS SHOWN ON THE TYPICAL ROADWAY SECTION PRIOR TO PLACEMENT OF THE ROCK BASE COURSE.
- ROADWAY/SITE EMBANKMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH KDOT STANDARD SPECIFICATION 207 (LATEST EDITION).
- EMBANKMENT FOUNDATION BENCHES WILL BE REQUIRED AS SHOWN ON THE PLANS OR ON ALL INCLINES OF CROSS-SECTIONS WITH A TEN (10.0%) PERCENT OR GREATER IN ACCORDANCE WITH THE KENTUCKY STANDARD CONSTRUCTION SPECIFICATIONS AND STANDARD DRAWINGS.
- CONTRACTOR SHALL NOTIFY GEOTECHNICAL ENGINEER WHEN ANY SINKHOLE IS DISCOVERED IN THE CONSTRUCTION WORK AREA AND SHALL FOLLOW GEOTECHNICAL RECOMMENDATIONS IN TREATING THE SINKHOLE. REFER TO SINKHOLE REMEDIAL TREATMENT STANDARD FOR DETAILS.
- THE CONTRACTOR/BUILDER SHALL SLOPE ALL FINISHED GRADES TO PROVIDE POSITIVE DRAINAGE. FLAT AND FONDING

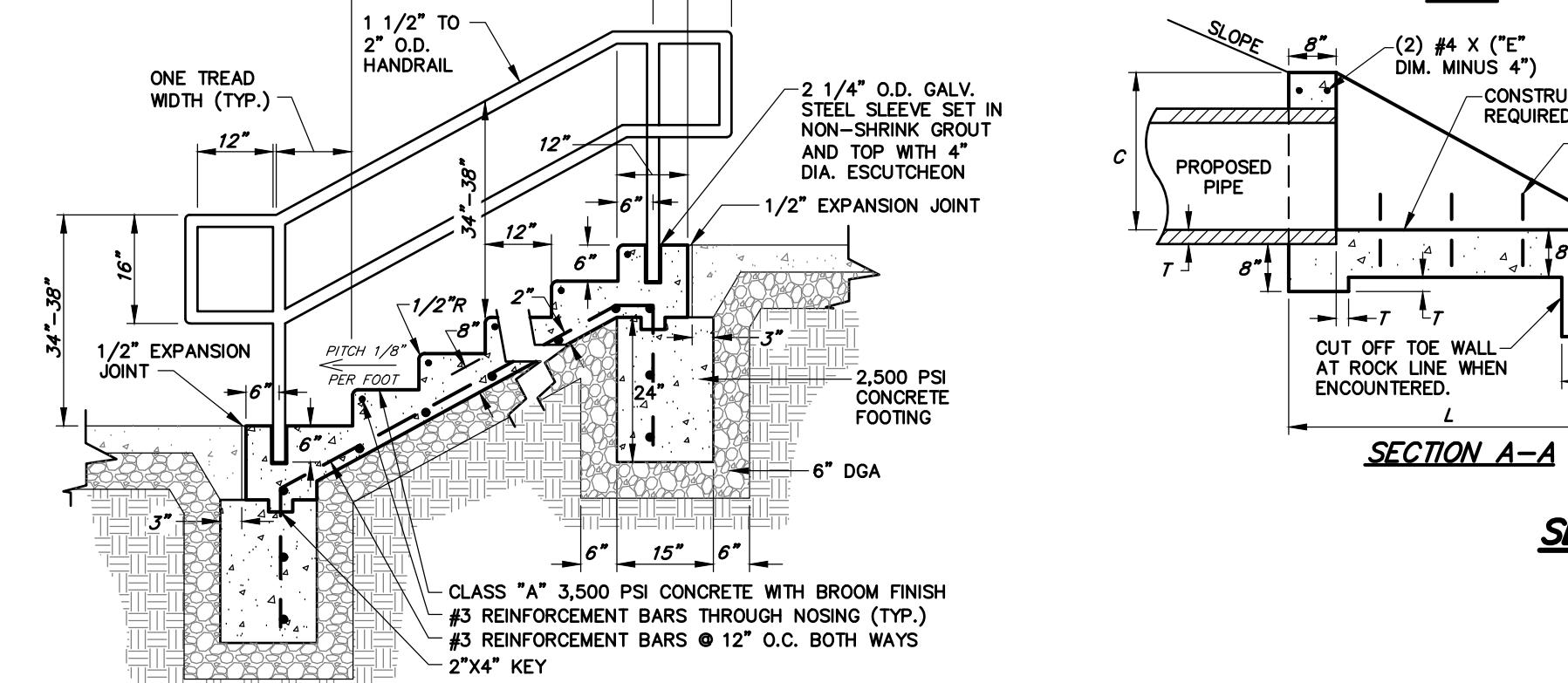
MSD STANDARD DETAILS

- DC-01-01 CATCH BASIN TYPE 1
- DC-02-02 CATCH BASIN TYPE 2
- DI-07-00 12' X 12' YARD DRAIN
- DE-01-01 FLARED END SECTION FOR R.C.P.
- DD-01-01 EARTH 'V' DITCH
- PI-01-01 PRECAST DITCH LINE - TYPE 1
- GM-02-04 PRECAST MANHOLE - TYPE 2
- GM-03-04 PRECAST MANHOLE - TYPE 3
- GM-04-01 MANHOLE CHANNELIZATION
- GM-05-03 STANDARD MANHOLE FRAME AND LID
- GC-01-01 PRECAST MANHOLE LID
- GC-02-01 CRUSHED STONE CRADLE
- PR-03-02 CRUSHED STONE ENCASEMENT

ASPHALT PAVEMENT RESTORATION WITH OVERLAY



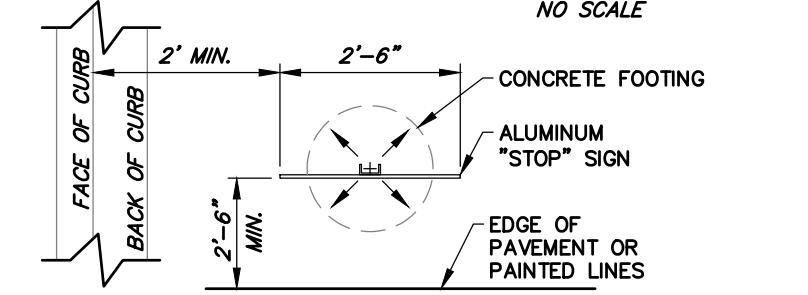
ISOMETRIC VIEW



SLOPED & FLARED HEADWALL

NO SCALE

CONCRETE STEPS W/ HANDRAIL



CONCRETE STEPS W/ HANDRAIL

NO SCALE

NOTES:

1. DIMENSIONS AND QUANTITIES ARE BASED ON CONCRETE PIPE AND WILL VARY SIGNIFICANTLY FOR CORRUGATED METAL PIPE.

2. SEE KYC STANDARD DRAWING RDH-020-03.

3. CONTRACTOR TO ENSURE STRUCTURAL INTEGRITY USING REINFORCEMENTS AS REQUIRED.

4. CONTRACTOR TO ENSURE STRUCTURAL INTEGRITY USING REINFORCEMENTS AS REQUIRED.

5. CONTRACTOR TO ENSURE STRUCTURAL INTEGRITY USING REINFORCEMENTS AS REQUIRED.

6. CONTRACTOR TO ENSURE STRUCTURAL INTEGRITY USING REINFORCEMENTS AS REQUIRED.

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