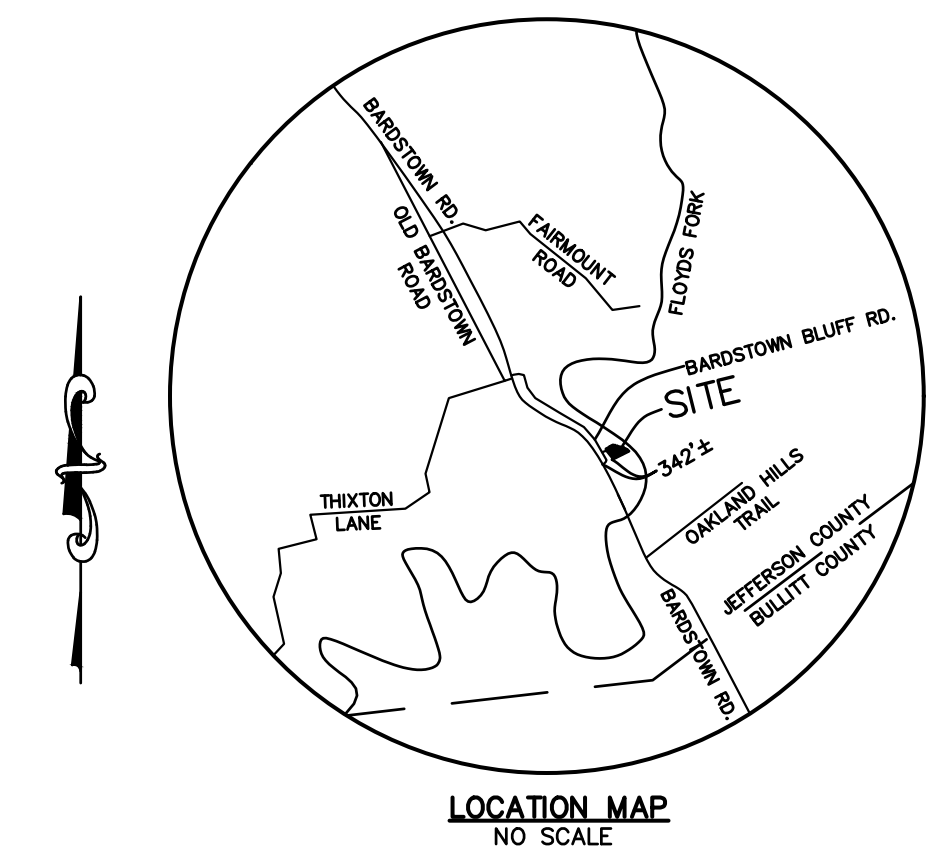


THE STABLES AT FLOYDS FORK EVENT VENUE CONSTRUCTION PLANS



| SHEET INDEX | |
|-------------|--|
| SHEET NO. | TITLE |
| 1 | COVER SHEET |
| 2 | EXISTING CONDITIONS |
| 3 | LAYOUT PLAN |
| 4 | GRADING PLAN |
| 5 | STORMWATER POLLUTION PREVENTION PLAN |
| 6 | COMPOSITE DRAINAGE PLAN |
| 7 | STORM LAYOUT PLAN: LINE "1", "1-1" & "2" |
| 8 | STORM PROFILES: LINE "1", "1-1" & "2" |
| 9 | GREEN MANAGEMENT PLAN |
| 10 | STANDARD NOTES & DETAILS |

STORMWATER POLLUTION PREVENTION PLAN NOTE:
THE APPROVED STORMWATER POLLUTION PREVENTION PLAN (SWPPP) SHALL BE IMPLEMENTED PRIOR TO ANY LAND-DISTURBING ACTIVITY ON THE CONSTRUCTION SITE. ANY MODIFICATIONS TO THE APPROVED SWPPP PLAN MUST BE REVIEWED AND APPROVED BY MSD. SWPPP BMP'S (BEST MANAGEMENT PRACTICES) SHALL BE INSTALLED PER THE PLAN AND MSD STANDARDS.

DETENTION BASINS, IF APPLICABLE, SHALL BE CONSTRUCTED FIRST AND SHALL PERFORM AS SEDIMENT BASINS DURING CONSTRUCTION UNTIL THE CONTRIBUTING DRAINAGE AREAS ARE SEEDED AND STABILIZED.

ACTIONS MUST BE TAKEN TO MINIMIZE THE TRACKING OF MUD AND SOIL FROM CONSTRUCTION AREAS ONTO PUBLIC ROADWAYS. SOIL TRACKED ONTO THE ROADWAY SHALL BE REMOVED DAILY.

SOIL STOCKPILES SHALL BE LOCATED AWAY FROM STREAMS, PONDS, SWALES, AND CATCH BASINS. STOCKPILES SHALL BE SEEDED, MULCHED, AND ADEQUATELY CONTAINED THROUGH THE USE OF SILT FENCE.

ALL STREAM CROSSINGS MUST UTILIZE LOW-WATER CROSSING STRUCTURES PER MSD
STANDARD DRAWING ER-02-03.

SEDIMENT-LADEN GROUNDWATER ENCOUNTERED DURING TRENCHING, BORING OR OTHER EXCAVATION ACTIVITIES SHALL BE PUMPED TO A SEDIMENT TRAPPING DEVICES PRIOR TO BEING DISCHARGED INTO A STREAM, POND, SWALE OR CATCH BASIN.

WHERE CONSTRUCTION OR LAND DISTURBING ACTIVITY WILL OR HAS TEMPORARILY CEASED ON ANY PORTION OF A SITE, TEMPORARY SITE STABILIZATION MEASURES SHALL BE REQUIRED AS SOON AS PRACTICABLE, BUT NO LATER THAN 14 DAYS AFTER THE ACTIVITY HAS CEASED.

UTILITY NOTE:
ALL UTILITIES SHOWN ON THESE PLANS ARE APPROXIMATE. INDIVIDUAL SERVICE LINES ARE NOT SHOWN. THE CONTRACTOR OR SUBCONTRACTOR SHALL NOTIFY THE UTILITY PROTECTION CENTER KENTUCKY 811 (TOLL FREE PHONE NO. 1-800-752-6007 OR LOCAL NO. 502-268-5123) FORTY-EIGHT (48) HOURS IN ADVANCE OF ANY CONSTRUCTION ON THIS PROJECT. THE NUMBER 811 WAS ESTABLISHED TO PROVIDE ACCURATE LOCATION OF EXISTING BELOW GROUND UTILITIES (I.E. CABLES, ELECTRIC WIRES, GAS, AND WATERLINES). THE CONTRACTOR SHALL BE RESPONSIBLE FOR BECOMING FAMILIAR WITH ALL UTILITY LOCATIONS SET FORTH ON THE PLANS AND IN THE TECHNICAL SPECIFICATION AND SPECIAL PROVISIONS.

STORM DRAINAGE NOTES:

1. ALL STORM DRAINAGE CONSTRUCTION SHALL CONFORM TO THE LOUISVILLE METROPOLITAN SEWER DISTRICT (MSD) STANDARDS SPECIFICATIONS; (KTC) STANDARDS COULD BE APPLICABLE AT TIMES.
2. ALL EROSION CONTROL AND PREVENTION, STORMWATER DRAINAGE WORK, AND SANITARY SEWER CONSTRUCTION SHALL CONFORM TO METROPOLITAN SEWER DISTRICT (MSD) DRAWING STANDARDS AND REQUIREMENTS AND SPECIFICATIONS.

SANITARY SEWER NOTE:
1. CONTRACTOR TO VERIFY SANITARY INFORMATION WITH THE ARCHITECTURAL PLANS PRIOR TO CONSTRUCTION. SANITARY SEWER SERVICE BY INSTALLED LATERAL EXTENSION AND PROPERTY SERVICE CONNECTION (PSC), SUBJECT TO FEES.

STANDARD NOTES:

1. REFER TO SHEET 10 FOR ALL STANDARD NOTES AND DETAILS.
2. AN ENCROACHMENT PERMIT MUST BE ISSUED BY THE LOUISVILLE METRO PUBLIC WORKS AND TRANSPORTATION DEPARTMENT FOR ALL UTILITY WORK AFFECTING LOUISVILLE LOCAL ROAD SYSTEM.
3. AN ENCROACHMENT PERMIT AND BOND ARE REQUIRED FOR ALL ROADWAY REPAIRS ON ALL SURROUNDING ACCESS ROADS TO THE SITE DUE TO DAMAGED CAUSE BY CONSTRUCTION TRAFFIC ACTIVITIES.



CASE #19-CUP-1036
SDP-25-1110
MSD WM #11939



MINTEL SCOTT
ENGINEERING SURVEYING PLANNING LANDSCAPE ARCHITECTURE
5151 Jefferson Blvd. Louisville, KY 40219
502-485-1508 MintelScott.com

OWNER/DEVELOPER
STEFANIE PERRI/BONIFICATA, LLC
604 E. ST. CATHERINE ST.
LOUISVILLE, KY 40203

CONSTRUCTION PLANS
THE STABLES AT FLOYDS
FORK EVENT VENUE
10503 1/2 BARSTOWN BLUFF RD, LOUISVILLE, KY, 40291
T.B. 61, LOT 113, D.B. 11216, PG. 682
COVER SHEET

| Revisions | |
|-----------|-----------------|
| 06/10/25 | AGENCY COMMENTS |
| 07/25/25 | AGENCY COMMENTS |
| 08/18/25 | AGENCY COMMENTS |
| | |
| | |
| | |
| | |
| | |

Vertical Scale: N/A

Horizontal Scale: N/

Date: 4/25/2025

Job Number: 3584

Sheet

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FOR AGENCY REVIEW

PROFESSIONAL ENGINEER'S SEAL

BENCHMARKS
NOTE: ALL ELEVATIONS ARE BASED ON NAVD 1988 DATUM & WERE DERIVED FROM LOIC BENCHMARKS BY MEANS OF GPS METHODS AND DIFFERENTIAL LEVELING.
SOURCE BENCHMARK AZI036-2001 NAVD 1988 ELEV. 495.28
FROM THE INTERSECTION OF BARDSTOWN ROAD AND HIDDEN VALLEY MOTEL TRAVEL ALONG BARDSTOWN ROAD 0.2 MILES TO THE BRIDGE OVER FLOYDS FORK CREEK, STATION IS SET ALONG THE NORTH BOUND LANE IN THE NORTHEAST CORNER ABUTMENT
BM #388 NAVD 1988 ELEV. 501.44
BEING A SQUARE CUT ON THE WESTERN CONCRETE BASE OF AN ELECTRIC TOWER LOCATED ON THE PROPERTY AT 10503 1/2 BARDSTOWN BLUFF ROAD APPROXIMATELY 470' NORTHEAST OF THE EDGE OF PAVEMENT & 200' SOUTHEAST OF THE BUILDING.

FLOODPLAIN NOTE
A PORTION OF THE SUBJECT PROPERTY IS LOCATED IN ZONE AE, WHICH IS AN AREA DETERMINED TO BE INSIDE OF THE 100-YEAR FLOODPLAIN AS SHOWN ON THE FLOOD INSURANCE RATE MAP (FEMA) PANEL NO. 2111100132-F DATED FEBRUARY 26, 2021.

EXISTING CONDITIONS NOTES
1. ALL UTILITIES SHOWN HEREON WERE DERIVED FROM UTILITY MAPPING AND/OR FIELD OBSERVATIONS. CONTRACTOR SHALL FIELD VERIFY PRIOR TO CONSTRUCTION.
2. TOPOGRAPHIC INFORMATION SHOWN HEREON HAS BEEN DERIVED FROM LOIC MAPPING, LIDAR MAPPING AND/OR FIELD TOPOGRAPHIC SURVEY.
3. NO ROCK SOUNDINGS WERE PERFORMED AND MINDEL SCOTT MAKES NO REPRESENTATION OF SUBSURFACE CONDITIONS.

- LEGEND**
- FOUND R/W MONUMENT
 - FOUND R/W MARKER
 - FOUND REBAR WITH CAP #1828
 - FOUND MAG NAIL
 - EXISTING CONTOUR
 - EXISTING SPOT ELEVATION
 - EXISTING TREE MASS
 - EXISTING FENCE
 - EXISTING GUARDRAIL
 - EXISTING WATER LINE W/SIZE
 - EXISTING WATER METER
 - EXISTING WATER VALVE
 - EXISTING OVERHEAD UTILITIES
 - EXISTING OVERHEAD ELECTRIC
 - EXISTING ELECTRIC BOX
 - EXISTING UTILITY POLE
 - EXISTING DOWN GUY
 - EXISTING STORM PIPE
 - EXISTING TOP OF BANK
 - EXISTING TOE OF SLOPE/DITCH
 - AREA TO BE REMOVED



For Buried Line/Cable Locations
** Contact Two Business Days Before **
Kentucky 811
Know what's below.
Call before you dig.
www.kentucky811.com
CASE #19-CUP-1036
SDP-25-1110
MSD WM #11939

GRAPHIC SCALE 1"=40'
0 20 40 80
FOR AGENCY REVIEW
PROFESSIONAL ENGINEER'S SEAL

OWNER/DEVELOPER
STEFANIE PERRI/BONIFICATA, LLC
604 E. ST. CATHERINE ST.
LOUISVILLE, KY 40203

CONSTRUCTION PLANS
THE STABLES AT FLOYDS FORK EVENT VENUE
10503 1/2 BARDSTOWN BLUFF RD, LOUISVILLE, KY, 40291
T.B. 61, LOT 113, D.B. 11216, PG. 682
EXISTING CONDITIONS

| Revisions |
|--------------------------|
| 09/10/25 AGENCY COMMENTS |
| 07/25/25 AGENCY COMMENTS |
| 06/18/25 AGENCY COMMENTS |

Vertical Scale: N/A
Horizontal Scale: 1"=40'
Date: 4/25/2025
Job Number: 3584
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MINDEL SCOTT
SURVEYING PLANNING LANDSCAPE ARCHITECTURE
5151 Jefferson Blvd.
Louisville, KY 40219
502-485-1508
MindelScott.com

UTILITY NOTE:
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CASE #19-CUP-1036
SDP-25-1110
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GRAPHIC SCALE 1"=40'

0 20 40 80

FOR AGENCY REVIEW

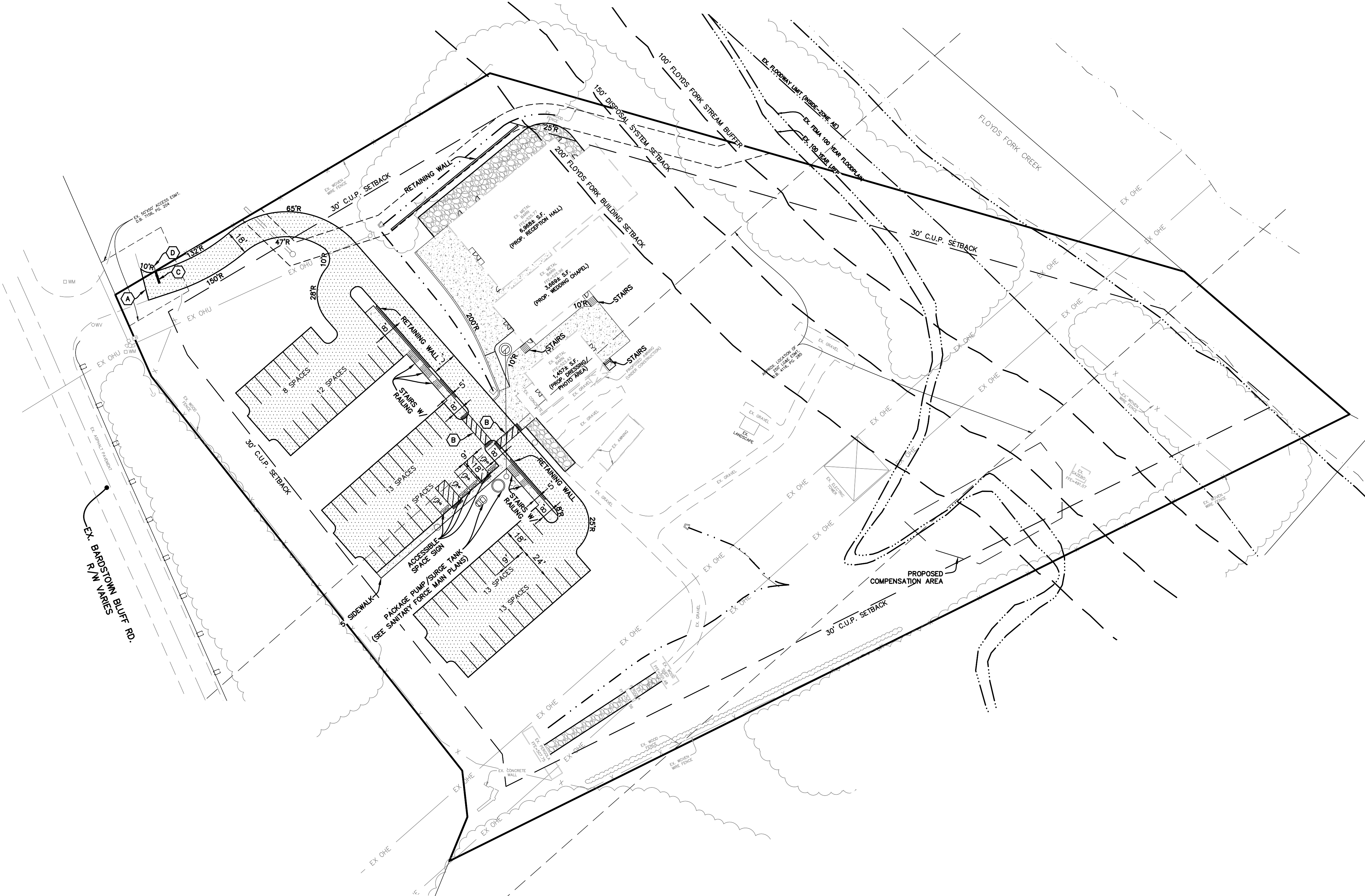
Date: 4/25/2025
Job Number: 3584

Sheet

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PROFESSIONAL ENGINEER'S SEAL

of 10



KEY NOTES

- A EDGE KEY WHERE NEW PAVEMENT MEETS EXISTING PAVEMENT
- B 6" WIDE CROSSWALK
- C STOP BAR
- D STOP SIGN

SITE DATA:

| | | |
|--------------------------------------|---------------|--------------|
| EXISTING FORM DISTRICT | RR | NEIGHBORHOOD |
| EXISTING ZONING | RR | FARM |
| EXISTING LAND USE | RR | EVENT VENUE |
| PROPOSED LAND USE | RR | 6.19± AC. |
| TOTAL LAND AREA | | |
| BUILDING AREA | | |
| RECEPTION HALL | 7,212 ± S.F. | |
| CHapel | 3,750 ± S.F. | |
| MULTIUSE: DRESSING/PHOTOGRAPHY | 1,495 ± S.F. | |
| TOTAL | 12,457 ± S.F. | |
| FLOOR AREA RATIO (MAX. ALLOWED 0.05) | 0.046 | |
| PARKING REQUIRED | | |
| RECEPTION HALL | | |
| MINIMUM (1 SPACE/100 S.F.) | 72 SPACES | |
| MAXIMUM (1 SPACE/50 S.F.) | 144 SPACES | |
| PARKING PROVIDED | | |
| CAR PARKING | 70 SPACES | |
| (INCLUDES 4 ACCESSIBLE SPACES) | | |

IMPERVIOUS AREA:

| | |
|--------------------------|--------------|
| EXISTING IMPERVIOUS AREA | 29,886± S.F. |
| PROPOSED IMPERVIOUS AREA | 37,533± S.F. |
| TOTAL IMPERVIOUS AREA | 57,521± S.F. |

| | |
|-------------------------------------|------------------|
| REQUIRED RUNOFF COMPENSATION VOLUME | 6,290.94 CU.FT. |
| PROVIDED RUNOFF COMPENSATION VOLUME | 10,392.57 CU.FT. |

| LEGEND | |
|--------|-----------------------------------|
| | EXISTING TREE MASS |
| | EXISTING FENCE |
| | EXISTING GUARDRAIL |
| | EXISTING WATER METER |
| | EXISTING WATER VALVE |
| | EXISTING OVERHEAD UTILITIES |
| | EXISTING OVERHEAD ELECTRIC |
| | EXISTING ELECTRIC BOX |
| | EXISTING UTILITY POLE |
| | EXISTING DOWN GUY |
| | EXISTING TOE OF SLOPE/DITCH |
| | PROPOSED STREET SIGN |
| | PROPOSED WHEELSTOP |
| | PROPOSED ACCESSIBLE SPACE |
| | PROPOSED ACCESSIBLE SPACE SIGN |
| | PROPOSED CATCH BASIN & YARD DRAIN |
| | PROPOSED STORM MANHOLE |
| | PROPOSED HEADWALL |
| | PROPOSED DITCH/SWALE |
| | LIGHT DUTY ASPHALT |
| | CONCRETE SIDEWALK |
| | GRAVEL WALK |

SEE DETAILS ON SHEET 10

CONSTRUCTION PLANS

THE STABLES AT FLOYDS FORK EVENT VENUE

10503 1/2 BARDSTOWN BLUFF RD, LOUISVILLE, KY, 40291
T.B. 61, LOT 113, D.B. 11216, PG. 682

LAYOUT PLAN

| |
|--------------------------|
| Revisions |
| 05/10/25 AGENCY COMMENTS |
| 07/25/25 AGENCY COMMENTS |
| 08/16/25 AGENCY COMMENTS |

Vertical Scale: N/A

Horizontal Scale: 1"=40'

Date: 4/25/2025
Job Number: 3584

Sheet

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OWNER/DEVELOPER

STEFANIE PERRI/BONIFICATA, LLC

604 E. ST. CATHERINE ST.
LOUISVILLE, KY 40203

Mindel Scott
SURVEYING PLANNING LANDSCAPE ARCHITECTURE
5151 Jefferson Blvd. Louisville, KY 40219
502-485-1508 MindelScott.com

BENCHMARKS
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SOURCE BENCHMARK AZ1036-2001 NAVD 1988 ELEV. 495.28

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BM #388 NAVD 1988 ELEV. 501.44

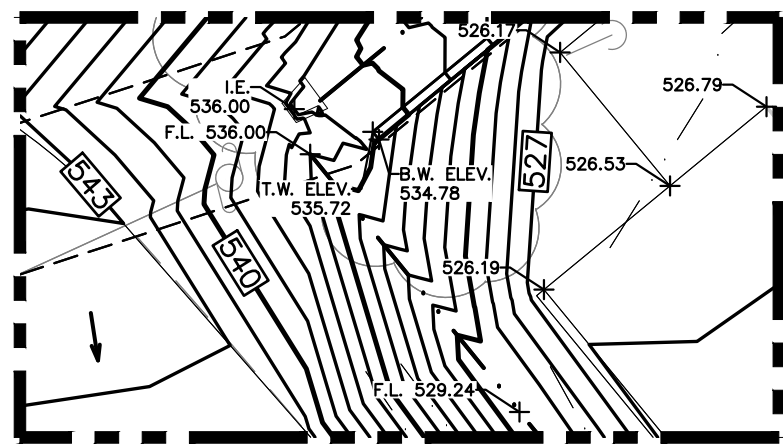
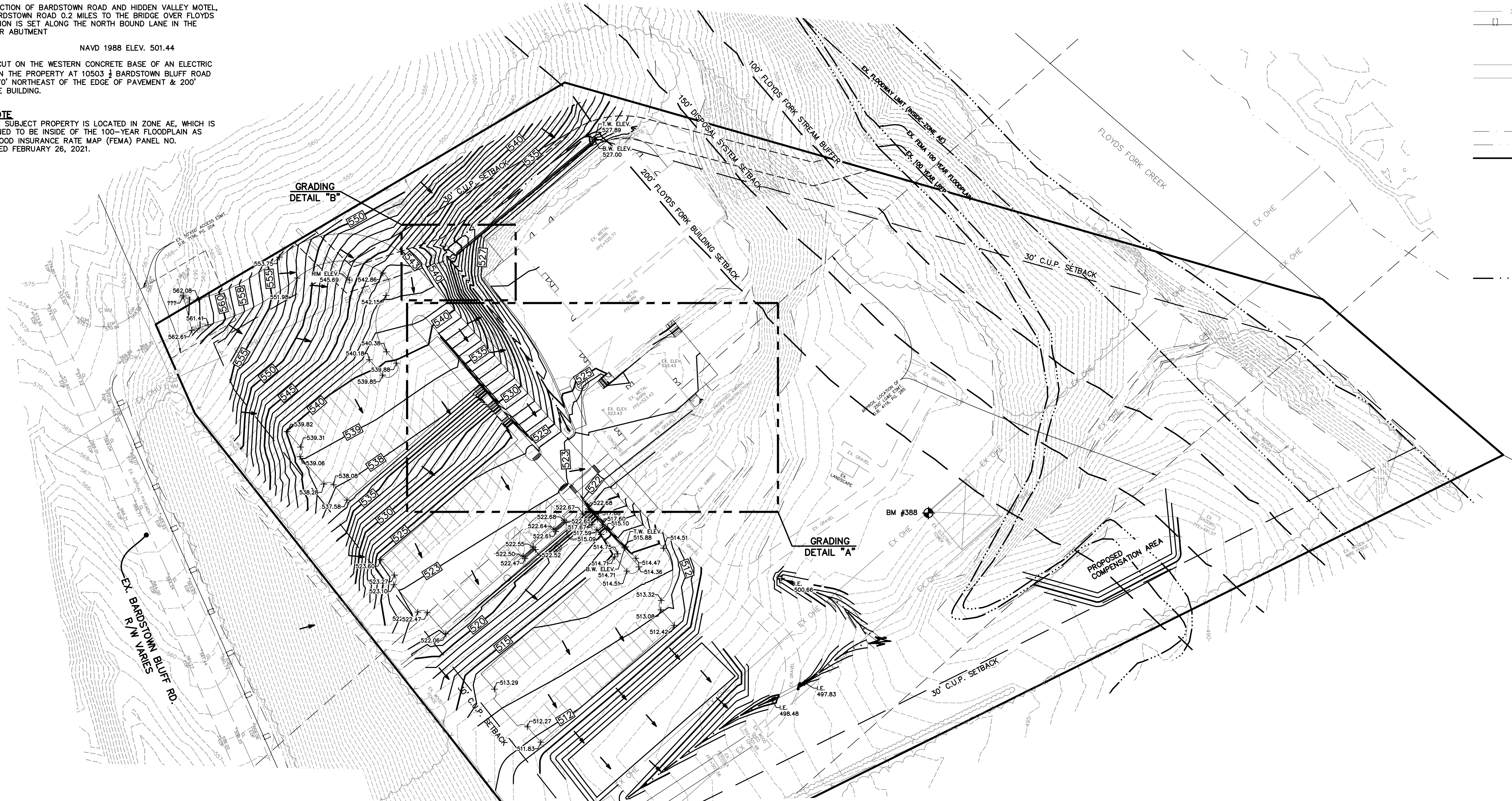
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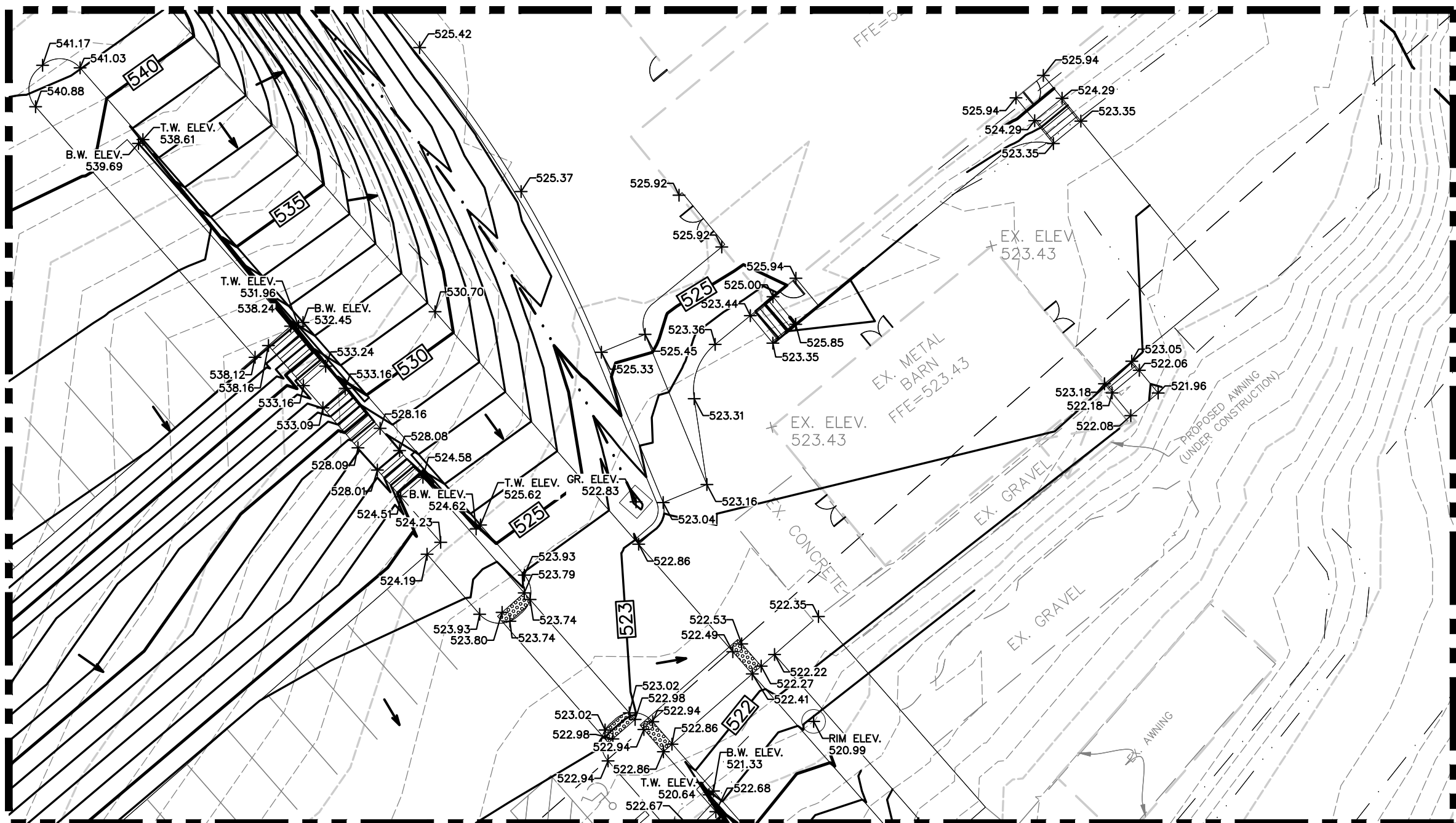
LEGEND

- XXXX EXISTING CONTOUR
- + XXX.XX EXISTING SPOT ELEVATION
- Wavy line EXISTING TREE MASS
- X EXISTING FENCE
- WM EXISTING GUARDRAIL
- WV EXISTING WATER METER
- EX OHU EXISTING WATER VALVE
- EX OHE EXISTING OVERHEAD UTILITIES
- EB EXISTING ELECTRIC BOX
- EXISTING UTILITY POLE
- EXISTING DOWN GUY
- EXISTING TOP OF BANK
- EXISTING TOE OF SLOPE/DITCH
- XXX PROPOSED CONTOUR
- + XXX.XX PROPOSED SPOT ELEVATION
- PROPOSED STREET SIGN
- PROPOSED WHEELSTOP
- PROPOSED ACCESSIBLE SPACE
- PROPOSED ACCESSIBLE SPACE SIGN
- PROPOSED CATCH BASIN & YARD DRAIN
- PROPOSED STORM MANHOLE
- PROPOSED HEADWALL
- PROPOSED DITCH/SWALE
- PROPOSED DRAINAGE FLOW ARROW



GRADING DETAIL "B"

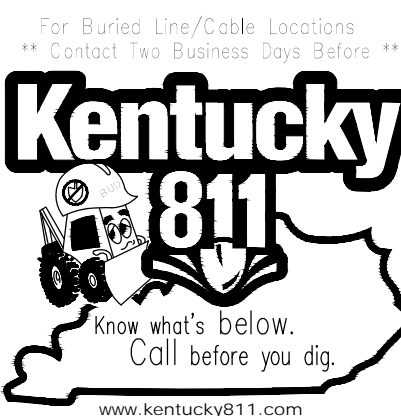
GRAPHIC SCALE 1"=20'



GRADING DETAIL "A"

GRAPHIC SCALE 1"=20'

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CASE #19-CUP-1036
SDP-25-1110
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GRAPHIC SCALE 1"=40'

FOR AGENCY REVIEW

Date: 4/25/2025
Job Number: 3584

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PROFESSIONAL ENGINEER'S SEAL

of 10

CONSTRUCTION PLANS
THE STABLES AT FLOYDS

FORK EVENT VENUE

10503 1/2 BARDSTOWN BLUFF RD, LOUISVILLE, KY, 40291
T.B. 61, LOT 113, D.B. 11216, PG. 682

GRADING PLAN

OWNER/DEVELOPER

STEFANIE PERRI/BONIFICATA, LLC

604 E. ST. CATHERINE ST.

LOUISVILLE, KY 40203

Revisions

06/10/25 AGENCY COMMENTS

07/25/25 AGENCY COMMENTS

08/16/25 AGENCY COMMENTS

Vertical Scale: N/A

Horizontal Scale: 1"=40'

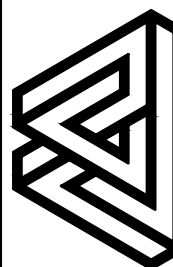
Date: 4/25/2025
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PROFESSIONAL ENGINEER'S SEAL

of 10



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502-485-1508 MindelScott.com

PHASING SEQUENCE

THE FOLLOWING SWPPP PHASING IS SUBJECT TO MODIFICATION BASED ON THE CONTRACTOR'S ACTUAL PERFORMANCE OF WORK AND COORDINATION WITH UTILITY CONSTRUCTION. THE CONTRACTOR SHALL ADDRESS CHANGES TO THE SEQUENCING OUTLINED BELOW AT A PRECONSTRUCTION MEETING WITH THE MSD INSPECTOR OR IN CONSULTATION WITH MSD INSPECTOR ONCE SITE CONSTRUCTION IS IN PROGRESS. IN THE EVENT THAT THE MSD INSPECTOR DETERMINES THAT A REDLINE REVISION TO THE APPROVED SWPPP IS NECESSARY THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH THE OWNER TO OBTAIN SUCH A REVISION.

EXISTING UTILITIES

THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO SITE DISTURBANCE AND EXCAVATION ACTIVITIES. CROSSINGS, CONNECTIONS TO OR ABANDONMENT OF ANY EXISTING UTILITY LINES ARE TO BE COORDINATED BETWEEN THE CONTRACTOR AND APPROPRIATE UTILITY PERSONNEL.

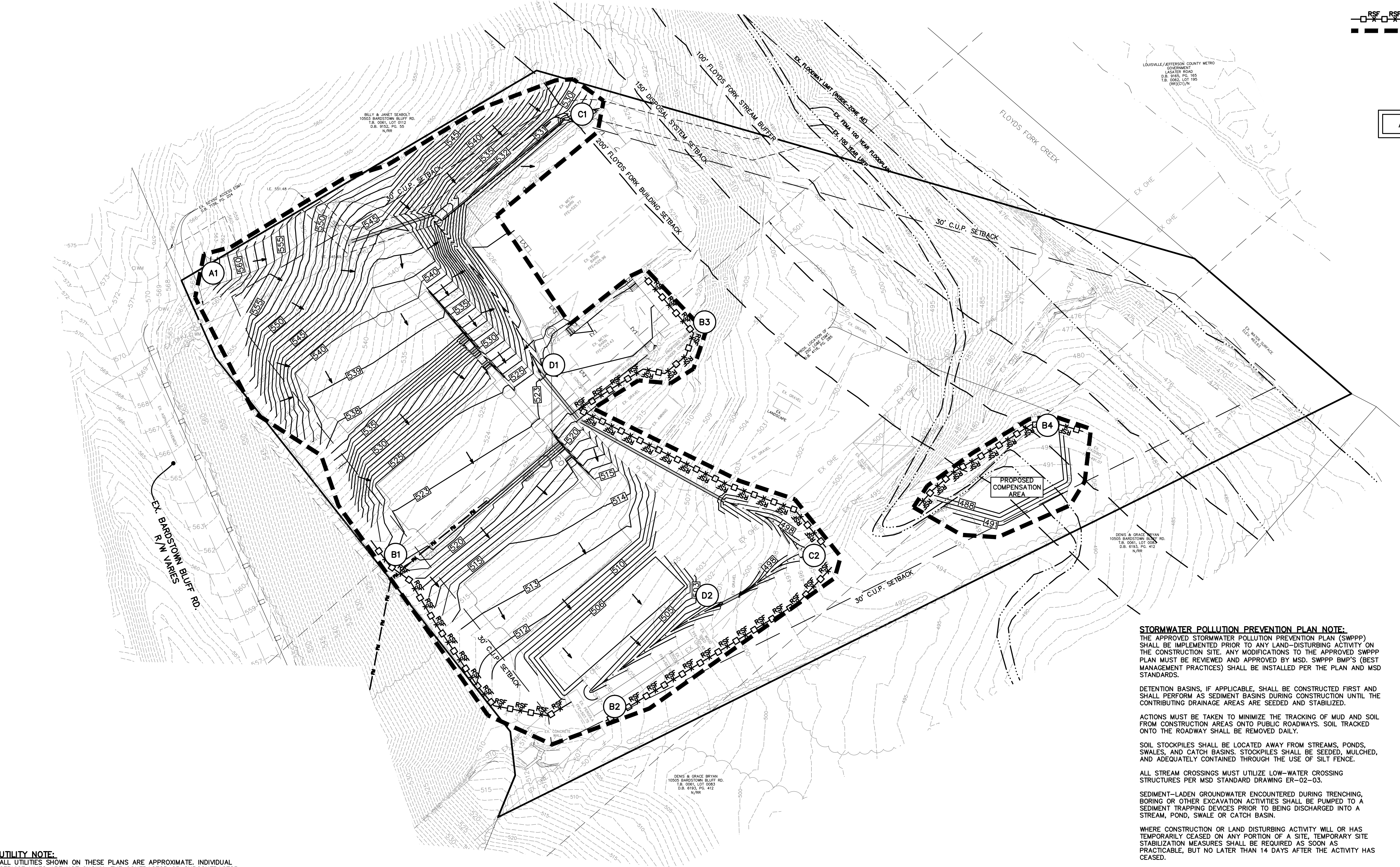
SITE CONSTRUCTION

1. ANY SWPPP CONTROLS ASSOCIATED WITH SITE CONSTRUCTION SHALL CONFORM TO THE INTENT OF THE APPROVED SWPP PLANS. CHANGES NECESITATED AS A RESULT OF ACTUAL FIELD CONDITIONS OR CONSTRUCTION ACTIVITIES SHALL BE COORDINATED THROUGH THE ASSIGNED MSD INSPECTOR. THE CONTRACTOR SHALL HOLD A PRE-CONSTRUCTION MEETING WITH THE MSD INSPECTOR PRIOR TO STARTING CONSTRUCTION. THE CONTRACTOR MUST ALSO MONITOR THE SURROUNDING ROADWAYS DAILY AND IS RESPONSIBLE FOR CLEANING ANY SEDIMENT THAT GETS TRACKED ONTO THE ROADWAY.
2. CONTRACTOR TO UTILIZE EXISTING PAVED DRIVE FOR CONSTRUCTION ENTRANCE. SOIL TRACKED ONTO ROADWAY SHALL BE REMOVED DAILY.
3. LOGGING, TREE CUTTING OR BRUSH MOWING MAY BE PERFORMED AS NEEDED TO ACCESS AND INSTALL THE INITIAL EROSION CONTROLS. ANY SUCH ACTIVITY SHOULD BE LIMITED AND GROUND DISTURBANCE MINIMIZED.
4. CONTRACTOR TO INSTALL REINFORCED SILT FENCE AND ROCK DITCH CHECK.
5. INITIATE DEMO OF EXISTING GRAVEL/PAVEMENT (SEE EX. CONDITIONS) & STRIPPING OF TOPSOIL AND MECHANIZED REMOVAL OF VEGETATION.
6. INITIATE SUBGRADE PREPARATION FOR FILL AREAS AND GRADING ACTIVITIES FOR EARTH AND ROCK MATERIALS.
7. STOCKPILES SHALL BE SEEDED, MULCHED AND ADEQUATELY CONTAINED THROUGH THE USE OF SILT FENCE.
8. INITIATE SANITARY SEWER AND STORM DRAINAGE CONSTRUCTION. INSTALL INLET PROTECTION AS STRUCTURES ARE SET.
9. CONTINUE SITE GRADING.
10. INSTALL STONE BASE AND PAVEMENT.
11. STABILIZE PORTIONS OF THE SITE AS FINAL GRADE IS ESTABLISHED.
12. ALL EROSION CONTROL MEASURES MUST BE MAINTAINED THROUGHOUT SITE CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR THE INSPECTION AND MAINTENANCE OF THE MEASURES UNTIL THE SITE HAS BEEN RELEASED BY MSD. AS DRAINAGE AREAS ARE STABILIZED, ROCK DITCH CHECKS, AND SILT FENCE MAY BE REMOVED.
13. TEMPORARY STABILIZATION SHALL BE APPLIED TO NON-STRUCTURAL DISTURBED AREAS THAT REMAIN INACTIVE FOR MORE THAN 14 DAYS.
14. INSTALL UTILITIES AND PERFORM FINAL GRADING AND INSTALL LANDSCAPING. AS DRAINAGE AREAS ARE PERMANENTLY STABILIZED ANY REMAINING EROSION CONTROL MEASURES MAY BE REMOVED WITH THE APPROVAL OF THE MSD INSPECTOR.
15. THE CONTRACTOR SHALL SUBMIT A NOTICE OF TERMINATION REQUEST TO MSD WHEN CONSTRUCTION HAS ENDED AND THE INSPECTOR HAS APPROVED ALL CONTROLS FOR REMOVAL.

| EROSION CONTROLS | | |
|------------------|----------------------------------|---------------------|
| LABEL | EROSION CONTROL PRACTICE | MSD STANDARD DETAIL |
| A | STABILIZED CONSTRUCTION ENTRANCE | ER-01-03 |
| B | REINFORCED SILT FENCE | EF-10-02 |
| C | ROCK DITCH CHECK | EB-03-03 |
| D | STONE BAG INLET PROTECTION | EF-03-02 |

| LEGEND | |
|--------|--|
| | EXISTING CONTOUR |
| | EXISTING TREE MASS |
| | EXISTING FENCE |
| | EXISTING GUARDRAIL |
| | EXISTING WATER METER |
| | EXISTING WATER VALVE |
| | EXISTING OVERHEAD UTILITIES |
| | EXISTING ELECTRIC BOX |
| | EXISTING UTILITY POLE |
| | EXISTING DOWN GUY |
| | EXISTING STORM PIPE |
| | EXISTING TOP OF BANK |
| | EXISTING TOE OF SLOPE/DITCH |
| | PROPOSED CONTOUR |
| | PROPOSED CATCH BASIN & YARD DRAIN W/PIPE |
| | PROPOSED STORM MANHOLE W/PIPE |
| | PROPOSED HEADWALL W/PIPE |
| | PROPOSED DITCH/SWALE |
| | PROPOSED FORCE MAIN |
| | PROPOSED STORM FLOW ARROW |
| | PROPOSED REINFORCED SILT FENCE |
| | PROPOSED LIMITS OF DISTURBANCE |
| | PROPOSED EROSION CONTROL LABEL |

AREA OF DISTURBANCE: 2.97 AC



STORMWATER POLLUTION PREVENTION PLAN NOTE:

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DETENTION BASINS, IF APPLICABLE, SHALL BE CONSTRUCTED FIRST AND SHALL PERFORM AS SEDIMENT BASINS DURING CONSTRUCTION UNTIL THE CONTRIBUTING DRAINAGE AREAS ARE SEEDED AND STABILIZED.

ACTIONS MUST BE TAKEN TO MINIMIZE THE TRACKING OF MUD AND SOIL FROM CONSTRUCTION AREAS ONTO PUBLIC ROADWAYS. SOIL TRACKED ONTO THE ROADWAY SHALL BE REMOVED DAILY.

SOIL STOCKPILES SHALL BE LOCATED AWAY FROM STREAMS, PONDS, SWALES, AND CATCH BASINS. STOCKPILES SHALL BE SEEDED, MULCHED, AND ADEQUATELY CONTAINED THROUGH THE USE OF SILT FENCE.

ALL STREAM CROSSINGS MUST UTILIZE LOW-WATER CROSSING STRUCTURES PER MSD STANDARD DRAWING ER-02-03.

SEDIMENT-LADEN GROUNDWATER ENCOUNTERED DURING TRENCHING, BORING OR OTHER EXCAVATION ACTIVITIES SHALL BE PUMPED TO A SEDIMENT TRAPPING DEVICES PRIOR TO BEING DISCHARGED INTO A STREAM, POND, SWALE OR CATCH BASIN.

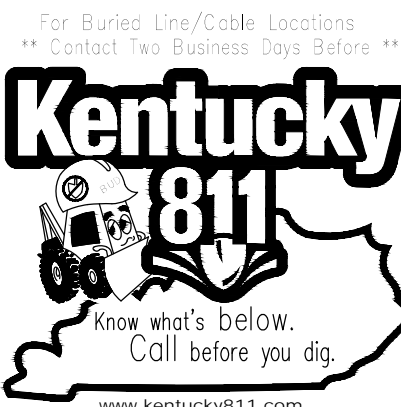
WHERE CONSTRUCTION OR LAND DISTURBING ACTIVITY WILL OR HAS TEMPORARILY CEASED ON ANY PORTION OF A SITE, TEMPORARY SITE STABILIZATION MEASURES SHALL BE REQUIRED AS SOON AS PRACTICABLE, BUT NO LATER THAN 14 DAYS AFTER THE ACTIVITY HAS CEASED.

EROSION CONTROL NOTES:

1. THE EROSION PREVENTION AND SEDIMENT CONTROL DEVICES SHOWN ON THIS PLAN SET ARE INTENDED TO BE THE MINIMUM CONTROL MEASURES. ADDITIONAL EPSC DEVICES MAY NEED TO BE INSTALLED AS NECESSARY BY THE CONTRACTOR TO PREVENT EROSION AND SEDIMENTATION.
2. THE BACK DISTANCES ON SILT FENCE ARE TO BE ADEQUATE LENGTH TO ALLOW FOR A MINIMUM OF 2 FEET OF STORAGE.

UTILITY NOTE:

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CASE #19-CUP-1036
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GRAPHIC SCALE 1"=40'

0 20 40 80

FOR AGENCY REVIEW

Horizontal Scale: 1"=40'

Date: 4/25/2025

Job Number: 3584

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PROFESSIONAL ENGINEER'S SEAL

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CONSTRUCTION PLANS

THE STABLES AT FLOYDS
FORK EVENT VENUE

10503 1/2 BARDSTOWN BLUFF RD, LOUISVILLE, KY, 40291
T.B. 61, LOT 113, D.B. 11216, PG. 682

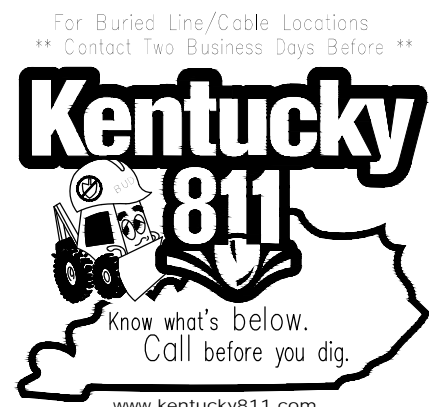
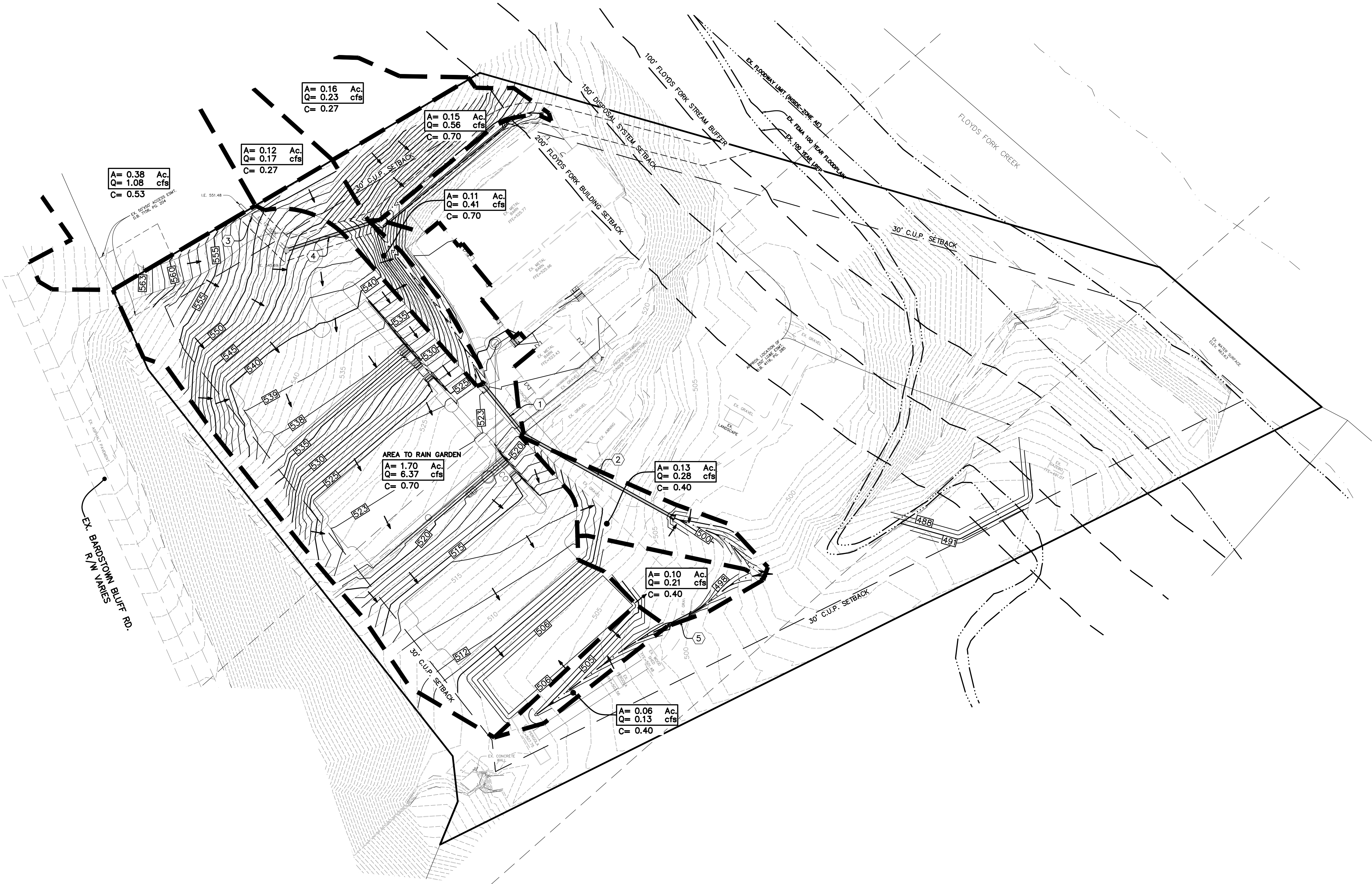
STORMWATER POLLUTION PREVENTION PLAN

OWNER/DEVELOPER
STEFANIE PERRI/BONIFICATA, LLC
604 E. ST. CATHERINE ST.
LOUISVILLE, KY 40203

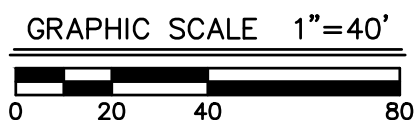
Mindel Scott
SURVEYING PLANNING LANDSCAPE ARCHITECTURE
5151 Jefferson Blvd Louisville, KY 40219
502-485-1508 MindelScott.com

| PIPE CHART | | | | | | | | | | | | |
|------------|---------|------|-----------|------------|---------------|---------------|-----------|---------|----------|-------------|--------------|--------------|
| PIPE NO. | A (AC.) | C | Q10 (CFS) | Q100 (CFS) | LENGTH (FEET) | SIZE (INCHES) | SLOPE (%) | V (FPS) | Tc (MIN) | I10 (IN/HR) | I100 (IN/HR) | Q FULL (CFS) |
| 1 | 0.11 | 0.70 | 0.41 | 0.55 | 47.83 | 12 | 1.46 | 3.50 | 10.0 | 5.35 | 7.20 | 4.66 |
| 2 | 0.11 | 0.70 | 0.41 | 0.55 | 123.71 | 12 | 10.95 | 7.32 | 10.2 | 5.31 | 7.16 | 12.77 |
| 3 | 0.38 | 0.53 | 1.08 | 1.45 | 47.98 | 12 | 18.11 | 11.50 | 10.0 | 5.35 | 7.20 | 16.43 |
| 4 | 0.38 | 0.53 | 1.07 | 1.45 | 65.79 | 12 | 9.18 | 9.08 | 10.1 | 5.34 | 7.19 | 11.69 |
| 5 | 1.76 | 0.69 | 6.49 | 8.75 | 18.87 | 15 (2X) | 3.45 | 10.41 | 10.0 | 5.35 | 7.20 | 21.14 |
| | | | | | | | | | | | | 11.96 |

| LEGEND | |
|--------|--|
| --- | EXISTING CONTOUR |
| --- | EXISTING STORM PIPE |
| --- | EXISTING TOP OF BANK |
| --- | EXISTING TOE OF SLOPE/DITCH |
| --- | PROPOSED CONTOUR |
| --- | PROPOSED CATCH BASIN & YARD DRAIN W/PIPE |
| --- | PROPOSED STORM MANHOLE W/PIPE |
| --- | PROPOSED HEADWALL W/PIPE |
| --- | PROPOSED DITCH/SWALE |
| --- | PROPOSED DRAINAGE FLOW ARROW |
| --- | PROPOSED DRAINAGE AREA |
| --- | PROPOSED PIPE NUMBER |



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FOR AGENCY REVIEW

| Revisions |
|--------------------------|
| 06/10/25 AGENCY COMMENTS |
| 07/25/25 AGENCY COMMENTS |
| 08/16/25 AGENCY COMMENTS |

Vertical Scale: N/A

Horizontal Scale: 1"=40'

Date: 4/25/2025
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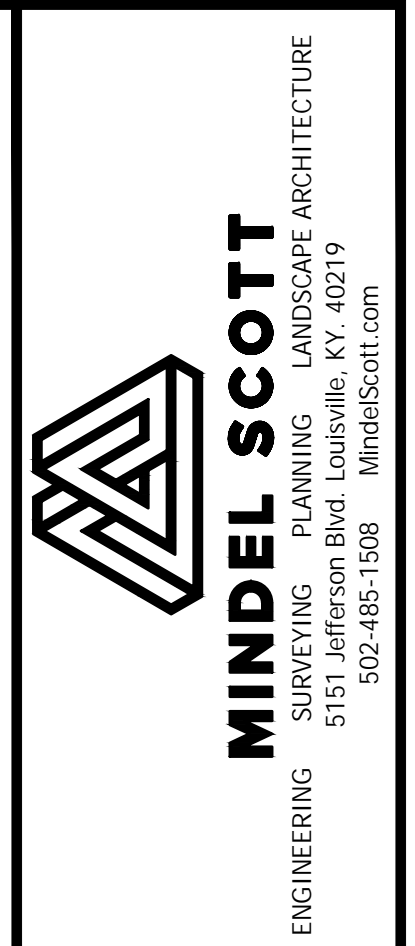
PROFESSIONAL ENGINEER'S SEAL

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OWNER/DEVELOPER
STEFANIE PERRI/BONIFICATA, LLC
604 E. ST. CATHERINE ST.
LOUISVILLE, KY 40203

CONSTRUCTION PLANS
THE STABLES AT FLOYDS
FORK EVENT VENUE
10503 1/2 BARDSTOWN BLUFF RD, LOUISVILLE, KY, 40291
T.B. 61, LOT 113, D.B. 11216, PG. 682
COMPOSITE DRAINAGE PLAN

MINDEL SCOTT
SURVEYING PLANNING LANDSCAPE ARCHITECTURE
5151 Jefferson Blvd., Louisville, KY 40219
502-485-1508 mindelscott.com



CONSTRUCTION PLANS
THE STABLES AT FLOYDS
FORK EVENT VENUE
10503 1/2 BARDSTOWN BLUFF RD, LOUISVILLE, KY, 40291
T.B. 61, LOT 113, D.B. 11216, PG. 682
STORM LAYOUT PLAN: LINE "1", "1-1", & "2"

| Revisions | |
|-----------|-----------------|
| 06/10/25 | AGENCY COMMENTS |
| 07/25/25 | AGENCY COMMENTS |
| 08/18/25 | AGENCY COMMENTS |
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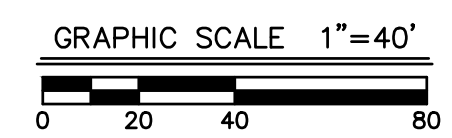
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Horizontal Scale: 1"=40'

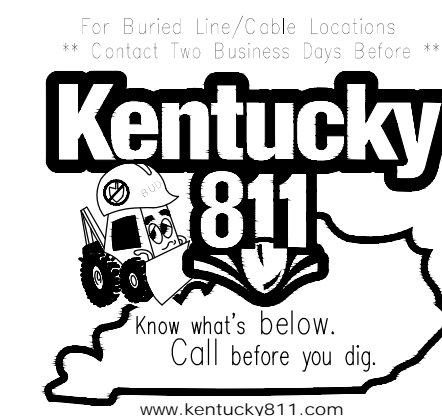
Date: 4/25/2025
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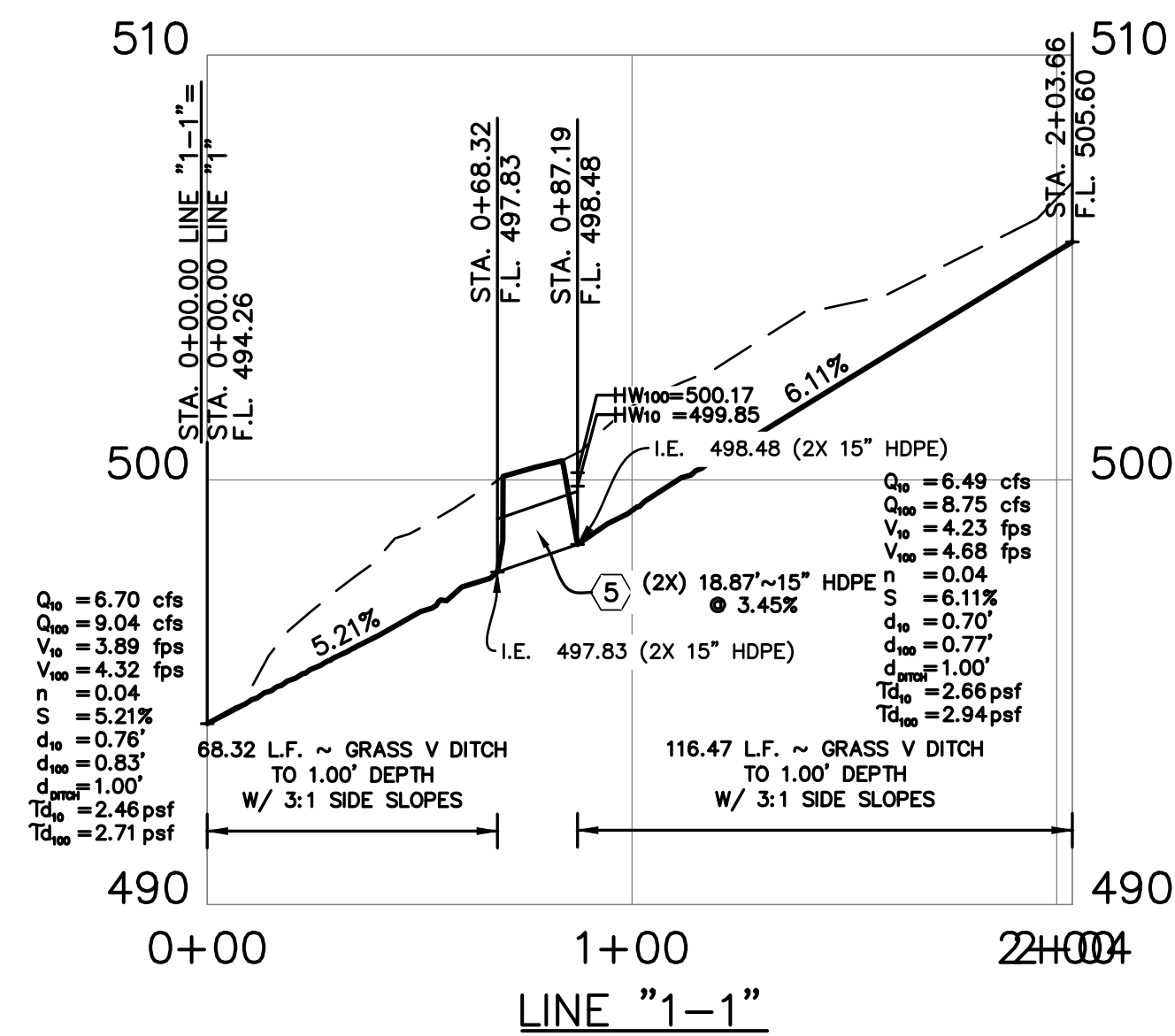
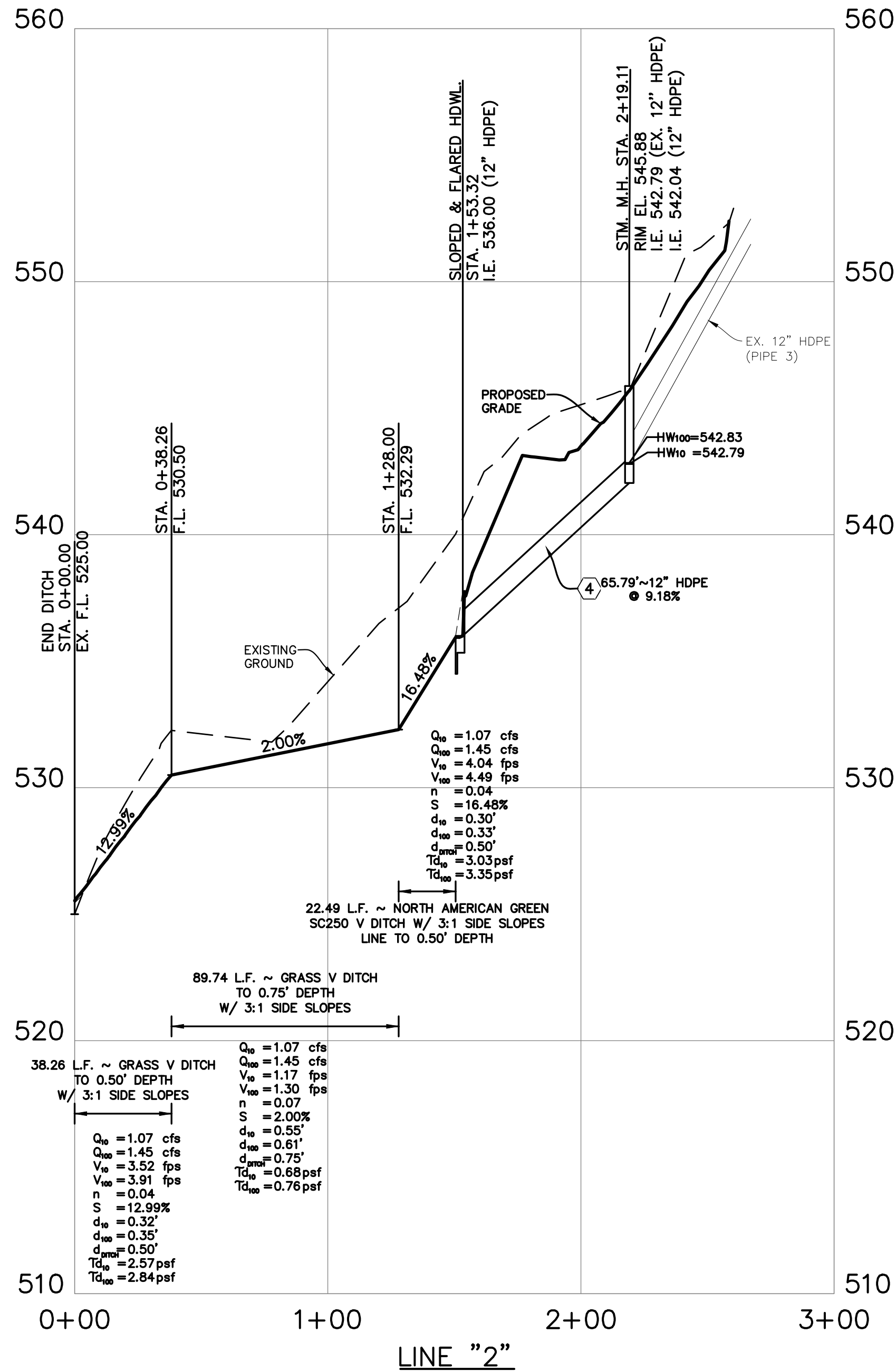
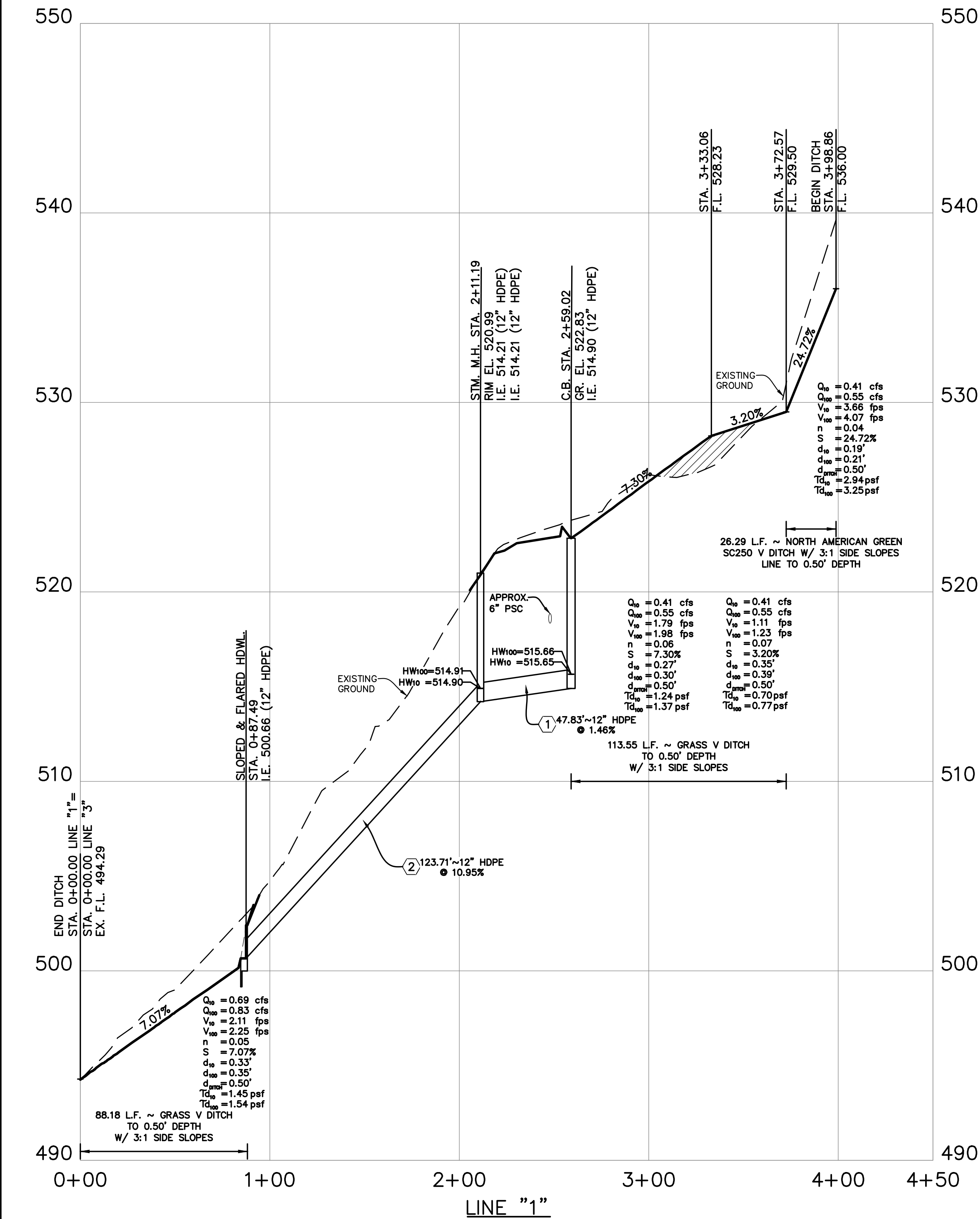


UTILITY NOTE:
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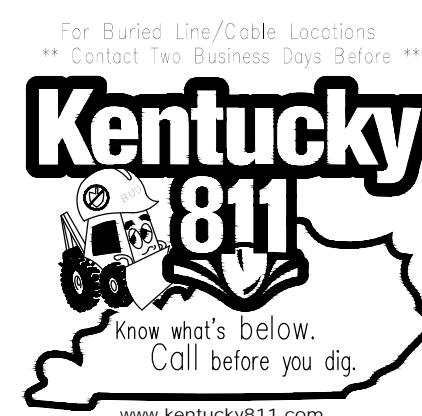
CASE #19-CUP-1036
SDP-25-1110
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PROFESSIONAL ENGINEER'S SEAL



UTILITY NOTE:
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FILL NOTE:
FILL TO BE COMPACTED TO 95% STANDARD PROCTOR DENSITY.



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CONSTRUCTION PLANS
THE STABLES AT FLOYDS
FORK EVENT VENUE

10503 1/2 BARDSTOWN BLUFF RD, LOUISVILLE, KY, 40291
T.B. 61, LOT 113, D.B. 11216, PG. 682
STORM PROFILES: LINE "1", "1-1" & "2"

| Revisions |
|--------------------------|
| 05/10/25 AGENCY COMMENTS |
| 07/25/25 AGENCY COMMENTS |
| 08/18/25 AGENCY COMMENTS |

Vertical Scale: 1"=4'

Horizontal Scale: 1"=40'

Date: 4/25/2025
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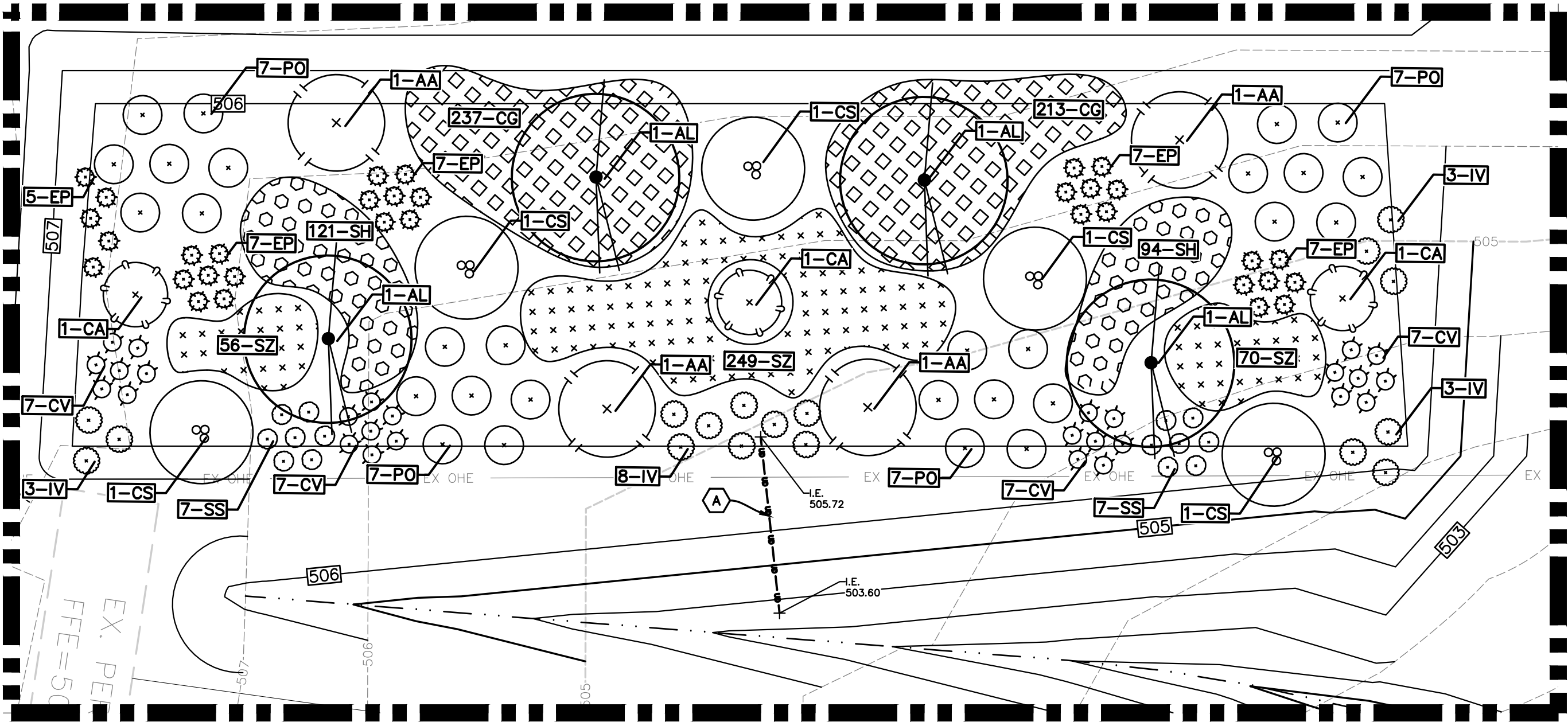
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OWNER/DEVELOPER
STEFANIE PERRI/BONIFICATA, LLC
604 E. ST. CATHERINE ST.
LOUISVILLE, KY 40203

MINDEL SCOTT
ENGINEERING SURVEYING PLANNING LANDSCAPE ARCHITECTURE
5151 Jefferson Blvd. Louisville, KY 40219
502-485-1508 MindelScott.com



GRAPHIC SCALE 1"=10'

SITE DATA:
TOTAL SITE AREA 296,636 SQ.FT. (6.19 AC.)
TOTAL PROPOSED IMPERVIOUS AREA 37,533 SQ.FT. (12.7%)
PROPOSED IMPERVIOUS AREA BYPASSING GMP 2,286 SQ.FT. (6.1%)
TOTAL SITE AREA TO BE TREATED 1.70 AC.

REQUIRED WATER QUALITY VOLUME 1,778.6 CU.FT.
PROVIDED WATER QUALITY VOLUME 1,778.6 CU.FT.

BIOSWALES & RAIN GARDEN (NO MOW BUFFER ZONE) OPERATION & MAINTENANCE NOTES:

AT LEAST FOUR TIMES DURING GROWING SEASON:

1. PRUNE AND CONTROL WEEDS.
2. REMOVE AND REPLACE DEAD OR DAMAGED PLANTS.
3. MOW PERIMETER AREAS AS NEEDED.

SEMI-ANNUALLY IN SPRING AND FALL:

1. REMOVE SEDIMENT, TRASH, AND DEBRIS FROM INLETS/FOREBAYS.
2. INSPECT INFLOW POINT FOR CLOGGING AND REMOVE ANY SEDIMENT.
3. INSPECT FOR EROSION, RILLS OR GULLIES AND REPAIR.
4. HERBACEOUS TREES AND SHRUBS SHOULD BE INSPECTED TO EVALUATE THEIR HEALTH AND REMOVE ANY DEAD OR SEVERELY DISEASED VEGETATION.
5. REMOVE FALLEN, CLIPPED OR TRIMMED PLANT MATERIAL FROM RAIN GARDEN TO PREVENT CLOGGING AND REPLACE DEAD PLANTS.
6. DEVELOP/ADJUST PLANT MAINTENANCE PLAN FOR TRIMMING AND DIVIDING PERENNIALS TO PREVENT OVERGROWING AND STRESS AND TO ACHIEVE DESIRED AESTHETIC QUALITIES; REMOVE ANY NON-NATIVE, INVASIVE SPECIES.
7. INSPECT PLANTS FOR HEALTH AND SIGNS OF STRESS; IF PLANTS BEGIN SHOWING SIGNS OF STRESS, INCLUDING DROUGHT, FLOODING, DISEASE, NUTRIENT DEFICIENCY, INSECT ATTACK OR IMPROPER MOWING, TREAT THE PROBLEM OR REPLACE THE PLANTS.
8. OBSERVE INFILTRATION RATES AFTER RAIN EVENTS; RAIN GARDENS SHOULD DRAIN WITHIN 24-48 HOURS OF A STORM EVENT.
9. A MULCHING DEPTH OF ABOUT 3-4 INCHES SHOULD BE INSPECTED AND OBTAINED, AND ADDITIONAL MULCH SHOULD BE ADDED IF NECESSARY.
10. EVALUATE AREAS CONTAINING LOW FLOW STONE OR GRAVEL; REPLACE IF NECESSARY.

2-3 YEARS:

1. REPLACE/REPAIR INLET, OUTLETS, SCOUR PROTECTION OR OTHER STRUCTURES AS NEEDED.
2. IMPLEMENT PLANT MAINTENANCE PLAN TO TRIM AND DIVIDE PERENNIALS TO PREVENT OVERCROWDING AND STRESS.
3. IF THE RAIN GARDEN IS NOT MEETING DESIRED INFILTRATION RATES OR OVER TIME SOIL HAS COMPACTED, CHECK SOIL INFILTRATION RATES BY PERFORMING A PERCOLATION TEST.
4. RE-AERATE OR REPLACE SOIL AND MULCH LAYERS AS NEEDED TO ACHIEVE INFILTRATION RATE OF 0.5 INCHES PER HOUR.
5. WHEN REMOVING SOIL FOR REPLACEMENT, TAKE TO LANDFILL OR SOIL RECYCLING CENTER.

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RAIN GARDEN PLANT LIST

| KEY | QTY. | BOTANICAL NAME | COMMON NAME | SIZE / SPACING | NOTES / TYPE |
|--------------------|------|-------------------------------------|--------------------------------|------------------------|--------------|
| DECIDUOUS TREE | | | | | |
| AL | 4 | AMELANCHIER X GRANDIFLORA | AUTUMN BRILLIANCE SERVICEBERRY | 1-3/4" CAL. / AS SHOWN | B&B / C |
| SHRUBS | | | | | |
| AA | 4 | ARONIA ARBUTIFOLIA | CHOKEBERRY | 24" HT. / AS SHOWN | #5 CONT. |
| CA | 3 | CLETHRA ALNIFOLIA | SUMMERSWEET | 24" HT. / AS SHOWN | #3 CONT. |
| CS | 5 | CORNUS SERICEA | RED TWIG DOGWOOD | 36" HT. / AS SHOWN | #3 CONT. |
| IV | 17 | ITEA VIRGINICA 'SPIRCH' | LITTLE HENRY SWEETSPIRE | 18" HT. / AS SHOWN | #3 CONT. |
| PO | 28 | PHYSOCARPUS OPULIFOLIUS 'DONNA MAY' | LITTLE DEVIL NINEBARK | 18" HT. / AS SHOWN | #3 CONT. |
| PERENNIALS/GRASSES | | | | | |
| CG | 450 | CAREX GRAYI | GRAY SEDGE | 6" HT. / 12" O.C. | QUART |
| CV | 28 | COREOPSIS VERTICILLATA | THREADLEAF COREOPSIS | 8" HT. / AS SHOWN | #1 CONT. |
| EP | 33 | ECHINACEA PURPUREA | PURPLE CONEFLOWER | 12" HT. / AS SHOWN | #1 CONT. |
| SS | 14 | SALVIA X SYLVESTRIS | PURPLE SALVIA | 12" HT. / AS SHOWN | #1 CONT. |
| SH | 215 | SPOROBOLUS HETEROLEPIS | PRAIRIE DROPSEED | 6" HT. / 12" O.C. | QUART |
| SZ | 375 | SCHIZACHYRIUM SCOPARIUM | LITTLE BLUESTEM | 6" HT. / 12" O.C. | QUART |

NOTE: BIDDER IS RESPONSIBLE FOR VERIFYING PLANT COUNT BY TAKING QUANTITIES FROM PLAN AND NOT FROM PLANT LIST.

LANDSCAPE NOTES:

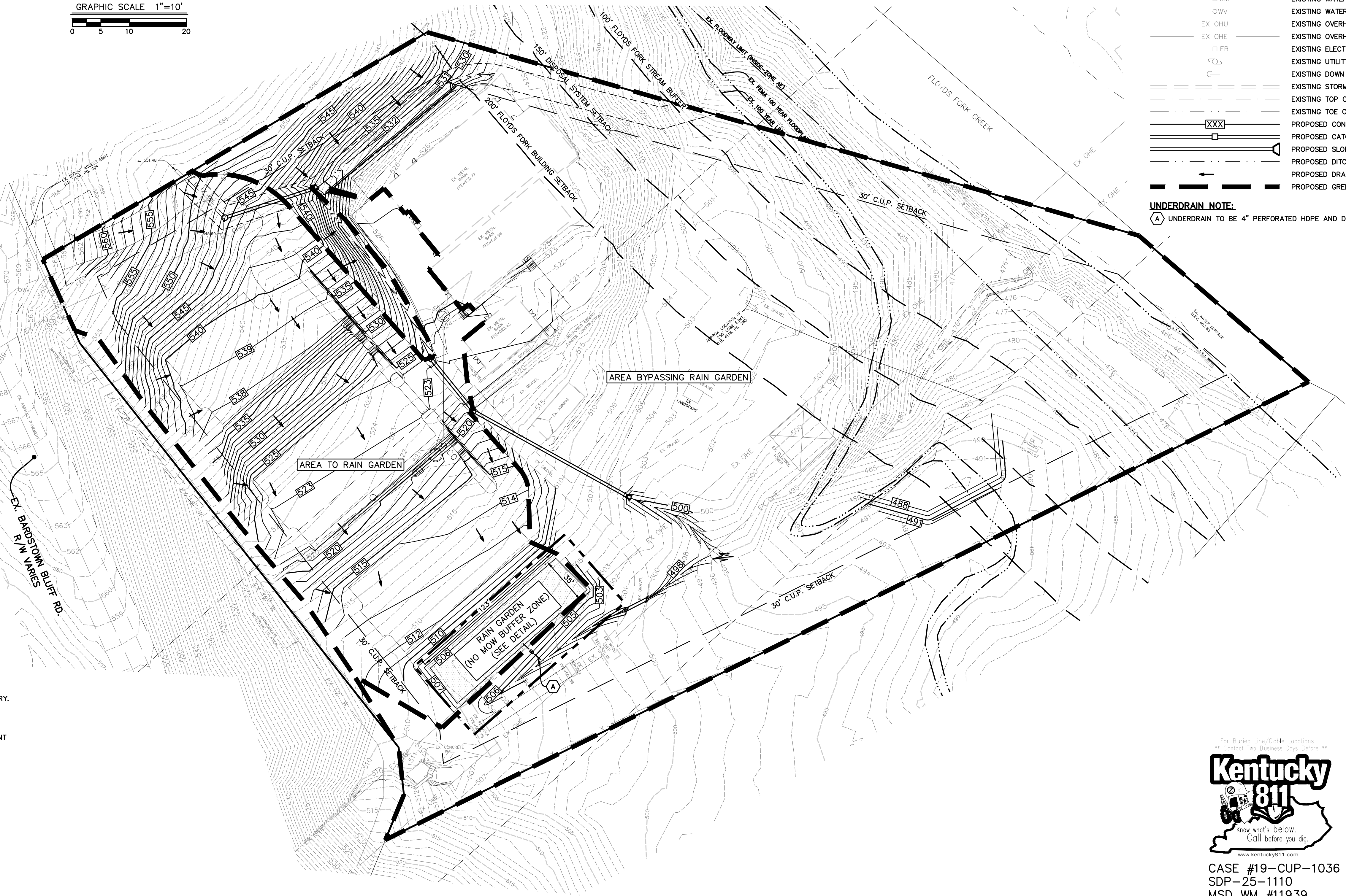
1. REFER TO MSD MANUAL TABLE 18.3.2-A FOR SOIL BACKFILL SPECIFICATIONS.
2. PLANT SUBSTITUTIONS SHALL BE APPROVED BY LANDSCAPE ARCHITECT.
3. REMOVE ALL BURLAP, WIRE BASKETS, PLASTIC CONTAINERS, ROPE, TWINE AND OTHER NON-BIODEGRADABLE MATERIALS FROM THE ROOT BALL AFTER THE PLANT IS PLUMB AND CENTERED IN THE HOLE.
4. OPEN AREAS OF RAIN GARDEN TO RECEIVE AT MINIMUM 2" OF FINELY SHREDDED HARDWOOD MULCH AS GROUND COVER.

LEGEND

| | |
|---------|--|
| XXX | EXISTING CONTOUR |
| X | EXISTING TREE MASS |
| EX. W | EXISTING FENCE |
| EX. W | EXISTING WATER LINE W/SIZE |
| WM | EXISTING WATER METER |
| OVV | EXISTING WATER VALVE |
| EX. CHU | EXISTING OVERHEAD UTILITIES |
| EX. OHE | EXISTING OVERHEAD ELECTRIC |
| EB | EXISTING ELECTRIC BOX |
| CU | EXISTING UTILITY POLE |
| CG | EXISTING DOWN GUY |
| SP | EXISTING STORM PIPE |
| TOP | EXISTING TOP OF BANK |
| TOE | EXISTING TOE OF SLOPE/DITCH |
| XXX | PROPOSED CONTOUR |
| XXX | PROPOSED CATCH BASIN & YARD DRAIN W/PIPE |
| XXX | PROPOSED SLOPED & FLARED HEADWALL W/PIPE |
| XXX | PROPOSED DITCH/SWALE |
| XXX | PROPOSED DRAINAGE ARROW |
| XXX | PROPOSED GREEN MANAGEMENT AREA |

UNDERDRAIN NOTE:

- (A) UNDERDRAIN TO BE 4" PERFORATED HDPE AND DAYLIGHT TO PROPOSED DITCH



GRAPHIC SCALE 1"=40'

0 20 40 80



CASE #19-CUP-1036
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FOR AGENCY REVIEW

CONSTRUCTION PLANS
THE STABLES AT FLOYDS
FORK EVENT VENUE
10503 1/2 BARDSTOWN BLUFF RD, LOUISVILLE, KY, 40291
T.B. 61, LOT 113, D.B. 11216, PG. 682
GREEN MANAGEMENT PLAN

OWNER/DEVELOPER
STEFANIE PERRI/BONIFICATA, LLC
604 E. ST. CATHERINE ST.
LOUISVILLE, KY 40203

MINDEL SCOTT
SURVEYING PLANNING LANDSCAPE ARCHITECTURE
5151 Jefferson Blvd., Louisville, KY 40219
502-485-1508 MindelScott.com

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|-----------|-----------------|--|--|--|--|
| Revisions | | | | | |
| 06/10/25 | AGENCY COMMENTS | | | | |
| 07/25/25 | AGENCY COMMENTS | | | | |
| 08/16/25 | AGENCY COMMENTS | | | | |

Vertical Scale: N/A

Horizontal Scale: 1"=40'

Date: 4/25/2025

Job Number: 3584

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PROFESSIONAL ENGINEER'S SEAL

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