

## Appendix P

# Cultural Resources Survey and SHPO/THPO Consultation

P.1 Cultural Resources Survey Addendum 2 Report (May 2020)

P.2 Cultural Resources Survey (May 2019)

P.3 Cultural Resources Survey Addendum Report (March 2019)





# **Appendix P.1**

## **Cultural Resources Survey**

### **Addendum 2**

**May 2020**

# **Cultural Resources Survey of the I-526 Lowcountry Corridor West Project Charleston County, South Carolina**

## **Addendum 2 Report**

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## **1.0 Introduction**

### **1.1 Introduction**

March 30-April 1, 2020, Brockington and Associates, Inc. (Brockington) conducted a cultural resources survey along I-526 in North Charleston, Charleston County, South Carolina. Recent design changes in the I-526 Improvements Project resulted in changes to the original archaeological and architectural survey universes investigated by Baluha et al. (2019a, 2019b, 2019c). The summary of these additional cultural resources investigations is produced in this Addendum report to the *Cultural Resources Survey of the I-526 Lowcountry Corridor West Project* Draft Report (Baluha et al. 2019a). The current project description and summary of the cultural resources investigations are presented below.

### **1.2 Area of Potential Effect**

The Area of Potential Effect (APE) is equivalent to the archaeological and architectural survey universes combined. The archaeological survey universe covers two non-contiguous areas totaling 17.25 hectares (42.63 acres). Area A covered 0.57 hectare (1.41 acres) of marsh near the onramp from North Rhett Avenue to I-526. Area B covered 16.68 hectares (41.22 acres) south of I-526 and Filbin Creek and north of the Attaway and East Dolphin Street intersection. The architectural survey universe extends 91 meters (m) outside the archaeological survey universe, covering two non-contiguous areas totaling 11.06 hectares (27.42 acres). In Area A, the architectural survey universe covers 0.66 hectare (1.63 acres). In Area B, the architectural survey universe covers 10.40 hectares (25.79 acres). These areas cover design changes not previously surveyed by Baluha et al. (2019a, 2019b, 2019c). Figure 1.1 shows the location of the APE. Figure 1.2 presents the location of the current investigations, cultural resources, and previous investigations within 0.8 kilometers ([km] 0.5 mile) of the APE (United State Geological Survey [USGS] 1980 [*Ladson*] and 1999 [*North Charleston*] quadrangles).

### **1.3 Project Setting**

The APE includes three areas between the CSX Railroad and Virginia Avenue along Filbin Creek in North Charleston, SC. A CSX Railroad spur extends through the APE. The Filbin Creek estuary drains east through the APE into the Cooper River. This area is heavily developed, including industrialized areas along Virginia Avenue near the Cooper River and residential areas south of Filbin Creek. Figures 1.3-1.5 present views of the APE on April 1, 2020.





Figure 1.1. Location of the Addendum 2 APE (ESRI 2020).



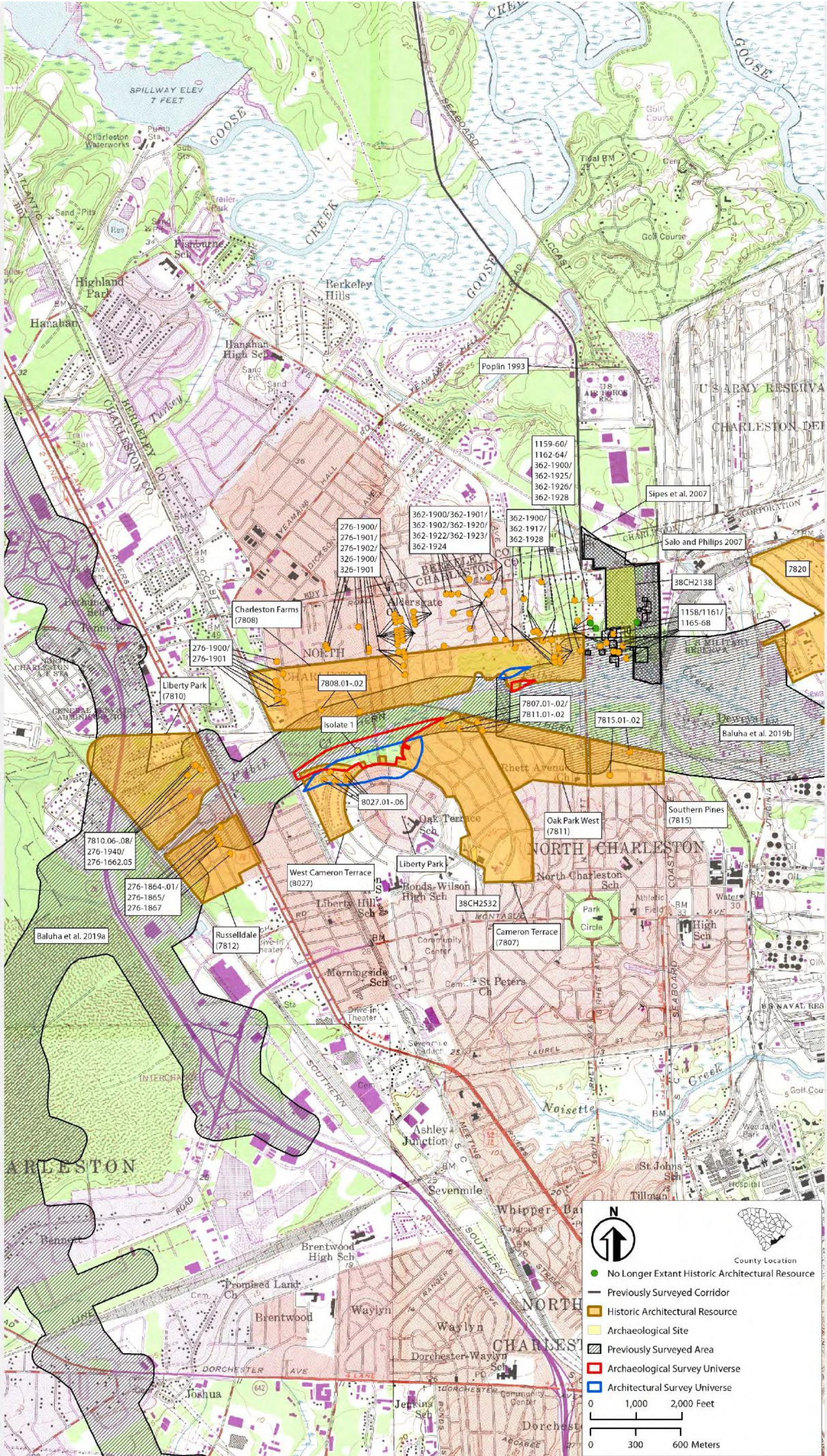


Figure 1.2. Location of the Addendum 2 APE and all identified cultural resources (USGS 1980, 1999).



## **1.4 Project Summary**

Cultural resources survey of the APE included background research, archaeological survey, and architectural survey. Archaeological survey identified one isolated artifact find (Isolate 1). Previous investigations identified one post-World War II neighborhood (7807) in the APE (Baluha et al. 2019a). During the current investigation, we identified one post-World War II neighborhood (8027) and six associated, individual architectural resources (8027.01-8027.06). These nine cultural resources are recommended not eligible for the National Register for Historic Places (NRHP). No further management consideration of these resources is warranted. If the currently proposed road plans change, additional survey may be necessary. The architectural survey forms are attached as an appendix.

## **2.0 Methods of Investigation**

### **2.1 Project Objective**

The objective of the investigations was to assess the potential for construction of the I-526 Phase I Improvements Project to affect cultural resources. Tasks performed to accomplish this objective include background research, archaeological and architectural field investigations, laboratory analyses, and the assessment of the NRHP eligibility of identified resources. Methods employed for each of these tasks are described below.

### **2.2 Background Research**

The Principal Investigator (David Baluha) conducted background research on ArchSite to locate any previously recorded archaeological sites, architectural resources, and previous investigations within 0.8 km (0.5 mile) of the APE. These efforts identified five relevant cultural resource investigations, one archaeological site, and 111 historic architectural resources. Table 2.1 lists the five previous investigations conducted within 0.8 km of the APE. Tables 2.2 and 2.3 list previously identified archaeological sites and historic architectural resources and districts within 0.8 km of the APE, respectively.

During the historic resources survey of North Charleston, Fick (1995) identified 79 individual historic architectural resources within 0.8 km of the APE (see Table 2.3). The 79 individual historic architectural resources include six in the Russelldale neighborhood and 73 in the Charleston Farms neighborhood. Fick (1995) recommended all 79 of these resources not eligible for the NRHP.

During cultural resources survey of Tract A, B, and F at the proposed Remount Business Park, Sipes et al. (2007) documented one archaeological site (38CH2138) and 11 historic architectural resources (Resources 1158-1168). Baluha et al. (2019b) revisited six of the architectural resources (Resources 1158-1160 and 1165-1167). These 12 cultural resources are not eligible for the NRHP and require no additional management.



**Figure 1.3. Typical views of the APE: hydric and disturbed area north of West Cameron Terrace looking north (top) and swamp tributary of Filbin Creek looking north (bottom).**





Figure 1.4. Typical views of the APE: disturbed area under I-526 looking northwest (top) and under I-526 onramp looking southeast (bottom).





**Figure 1.5. Typical views of the APE: channelized Filbin Creek and adjacent causeway looking southeast (top) and drainage pond near Attaway Street looking southwest (bottom).**

**Table 2.1. Relevant previous investigations within 0.8 km of the APE.**

Authors	Date	Project	Agency*
Poplin	1993	Archaeological Literature Review and Intensive Architectural Survey of North Rhett Avenue	SCDOT
Fick	1995	Historic Resources Survey of North Charleston	SCDAH
Sipes et al.	2007	CRS of Tract A, B, and F at the Proposed Remount Business Park	OCRM
Baluha et al.	2019a	CRS I-526 Lowcountry Corridor West Project	SCDOT
Baluha et al.	2019b	CRS I-526 Lowcountry Corridor West Project Addendum 1	SCDOT
*OCRM = Ocean and Coastal Resource Management			
*SCDAH = South Carolina Department of Archives and History			
*SCDOT = South Carolina Department of Transportation			

**Table 2.2. Archaeological sites within 0.8 km of the APE.**

Site	Description	NRHP Status	Reference
38CH2138	Mid-twentieth-century military complex (Staging Area 1, Charleston Port of Embarkation, Charleston Army Depot)	Not eligible	Sipes et al. 2007

During cultural resources survey of the I-526 Lowcountry Corridor West Project, Baluha et al. (2019a) identified five post-World War II neighborhoods (Resources 7807, 7808, 7810, 7811, and 7812) and 12 individual historic architectural resources (7807.01, 7807.02, 7808.01, 7808.02, 7810.06, 7810.07, 7810.08, 7811.01, 7811.02, 7812.04, 7812.05, and 7812.06) within 0.8 km of the APE (see Table 2.3). Furthermore, Baluha et al. (2019b) identified one historic area (7820), one other post-World War II neighborhood (7815), and associated individual historic architectural resources (7815.01 and 7815.02). Baluha et al. (2019a, 2019b) recommended all of these resources not eligible for the NRHP. Resource 7807 (Cameron Terrace neighborhood) dates from circa (ca.) 1950 and is partially within the architectural survey universe (see description below). None of these cultural resources require additional management.



**Table 2.3: Historic architectural resources and districts within 0.8 km of the APE**

Number	Description	Address	Date	NRHP
<i>Fick (1995)</i>				
276-1864.00	Russelldale SFR (unknown)	5134 Delta Street	ca. 1940	Not Eligible
		5138 Delta Street	ca. 1940	Not Eligible
276-1864.01	Russelldale SFR (unknown)	5132 Delta Street	ca. 1940	Not Eligible
		5136 Delta Street	ca. 1940	Not Eligible
276-1662.05	Russelldale SFR (GARCO Type F moved)	2109 Target Street	ca. 1916	Not Eligible
276-1900	Charleston Farms SFR (Minimal Traditional)	5516 Attaway St.	ca. 1940	Not eligible
		5432 Crown Ave.	ca. 1940	Not eligible
		5438 Crown Ave.	ca. 1940	Not eligible
		5439 Crown Ave.	ca. 1940	Not eligible
		5454 Crown Ave.	ca. 1940	Not eligible
		5455 Crown Ave.	ca. 1940	Not eligible
		5463 Crown Ave.	ca. 1940	Not eligible
		5469 Crown Ave.	ca. 1940	Not eligible
		5515 Dobson St.	ca. 1940	Not eligible
		5529 Read St.	ca. 1945	Not eligible
		5533 Read St.	ca. 1945	Not eligible
		5534 Read St.	ca. 1945	Not eligible
276-1901	Charleston Farms SFR (Bungalow, Minimal Traditional)	1727 Sumner Ave.	ca. 1935	Not eligible
	Charleston Farms SFR (Bungalow, Minimal Traditional)	5512 Attaway St.	ca. 1940	Not eligible
276-1902	Charleston Farms SFR (Bungalow)	5611 Attaway St.	ca. 1935	Not eligible
276-1940	Russelldale SFR (unknown)	2116 Target Street	ca. 1935	Not Eligible
362-1900	Charleston Farms SFR (Minimal Traditional)	5604 Aldrich Ave.	1950	Not eligible
		5610 Aldrich Ave.	1950	Not eligible
		5616 Aldrich Ave.	1950	Not eligible
		5626 Aldrich Ave. <sup>3</sup>	1950	Not eligible
		5435 Annette St.	1950	Not eligible
		5436 Annette St.	1950	Not eligible
		5441 Annette St.	1950	Not eligible
		5442 Annette St.	1951	Not eligible
		5445 Annette St.	1950	Not eligible
		5456 Annette St.	1950	Not eligible
		5460 Annette St.	1950	Not eligible
		5519 Blackwell St.	ca. 1940	Not eligible
		5525 Blackwell St.	ca. 1940	Not eligible

Number	Description	Address	Date	NRHP
		5526 Blackwell St.	ca. 1940	Not eligible
		5529 Blackwell St.	ca. 1940	Not eligible
		5530 Blackwell St.	ca. 1940	Not eligible
		5533 Blackwell St.	ca. 1940	Not eligible
362-1900	Charleston Farms	5534 Blackwell St.	ca. 1940	Not eligible
		5538 Blackwell St.	ca. 1940	Not eligible
		5539 Blackwell St.	ca. 1940	Not eligible
		5543 Blackwell St.	ca. 1940	Not eligible
		5544 Blackwell St.	ca. 1940	Not eligible
		5611 Blackwell St.	ca. 1940	Not eligible
		5615 Blackwell St.	ca. 1940	Not eligible
		5618 Blackwell St.	ca. 1940	Not eligible
		5625 Blackwell St.	ca. 1940	Not eligible
		5626 Blackwell St.	ca. 1940	Not eligible
		1338 Fretwell St.	ca. 1950	Not eligible <sup>1</sup>
		5641 Meadow Ave.	1957	Not eligible
		5479 North Rhett Ave.	ca. 1940	Not eligible <sup>1</sup>
		5465 Pennsylvania Ave.	1955	Not eligible
		5475 Pennsylvania Ave.	1955	Not eligible
		1227 Remount Rd.	ca. 1940	Not eligible
		1311 Remount Rd.	ca. 1940	Not eligible
		1315 Remount Rd.	ca. 1935	Not eligible <sup>1</sup>
		1325 Remount Rd.	ca. 1940	Not eligible <sup>1</sup>
		1223 Sumner Ave.	1950	Not eligible
		1233 Sumner Ave.	1956	Not eligible
		1236 Sumner Ave.	1955	Not eligible
		1240 Sumner Ave.	1950	Not eligible
		1432 Sumner Ave.	1950	Not eligible
		1440 Sumner Ave.	ca. 1940	Not eligible
362-1901	Charleston Farms SFR (Bungalow)	5626 Flanders Ave.	1954	Not eligible
		5531 Garrett St.	ca. 1935	Not eligible
		5611 Garrett St.	1955	Not eligible
		1431 Sumner Ave.	1955	Not eligible
362-1902	Charleston Farms SFR (Bungalow)	1290 Remount Rd.	ca. 1935	Not eligible
		1262 Sumner Ave. <sup>3</sup>	ca. 1935	Not eligible
		1270 Sumner Ave.	ca. 1935	Not eligible
362-1917	Charleston Farms SFR (unknown)	1238 Sumner Ave.	ca. 1945	Not eligible
362-1918		1253 Sumner Ave.	ca. 1930	Not eligible <sup>1</sup>

Number	Description	Address	Date	NRHP
362-1920 <sup>2</sup>		1350 Sumner Ave.	ca. 1935	Not eligible <sup>1</sup>
362-1922		1274 Remount Rd.	ca. 1935	Not eligible <sup>1</sup>
362-1923		1275 Remount Rd.	ca. 1930	Not eligible <sup>1</sup>
362-1924		1279 Remount Rd.	ca. 1940	Not eligible
362-1925		5521 North Rhett Ave.	1940	Not eligible
362-1926		5611 North Rhett Ave.	ca. 1944	Not eligible <sup>1</sup>
362-1927		5622 North Rhett Ave.	ca. 1945	Not eligible <sup>1</sup>
<i>Sipes et al. (2007)</i>				
1158	North Charleston Primitive Baptist Church	1151 Wright St.	ca. 1956	Not Eligible
1159	SFR (Minimal Traditional)	5474 Thompson St.	1952	Not Eligible
1160	SFR (Vernacular)	1184 Leary St.	1945	Not Eligible
1161	SFR (unknown)	5534 Ruth Dr.	1953	Not eligible <sup>1</sup>
1162	SFR (unknown)	5524 North Rhett Ave.	1948	Not Eligible
1163	SFR (unknown)	5516 North Rhett Ave.	1950	Not eligible <sup>1</sup>
1164	SFR (unknown)	5508 North Rhett Ave.	1942	Not eligible <sup>1</sup>
1165	SFR (Vernacular)	1159 Leary St.	1952	Not Eligible
1166	SFR (Vernacular)	5468 Turner St.	1952	Not Eligible
1167	SFR (Vernacular)	1165 Leary St.	1950	Not Eligible
1168	SFR (unknown)	1165 Sumner Ave.	1950	Not Eligible
<i>Baluha et al. (2019a)</i>				
7807	Cameron Terrace neighborhood	North Charleston, south of I-526, west of Parkside Dr.	ca. 1955	Not eligible
7807.01	Cameron Terrace SFR (Minimal Traditional)	5310 Hartford Circle	1955	Not eligible
7807.02	Cameron Terrace SFR (Ranch)	5328 Hartford Circle	1960	Not eligible
7808	Charleston Farms neighborhood	North Charleston, north of I-526, west of North Rhett Ave., south of Sumner Ave.	ca. 1950	Not eligible
7808.01	Charleston Farms SFR	5430 Ted Avenue	ca. 1955	Not Eligible
7808.02	Charleston Farms SFR	1523 Greenbay Drive	ca. 1950	Not Eligible
7810	Liberty Park neighborhood	North Charleston, northwest of I-526 and Meeting St.	ca. 1940	Not Eligible
7810.06	Liberty Park duplex (Ranch)	2150 Eleanor Drive	ca. 1963	Not Eligible
7810.07	Liberty Park SFR (Bungalow Ranch)	2112 Target Street	ca. 1960	Not Eligible
7810.08	Liberty Park SFR (Ranch)	2131 Target Street	ca. 1945	Not Eligible
7811	Oak Park West neighborhood	North Charleston, south of I-526	ca. 1952	Not eligible
7811.01	Oak Park West SFR (Minimal Traditional)	1372 Maxwell Street	1952	Not eligible



Number	Description	Address	Date	NRHP
7811.02	Oak Park West SFR (Ranch)	5322 Parkside Drive	1965	Not eligible
7812	Russelldale neighborhood	North Charleston, southwest of I-526 and Meeting St.	ca. 1940	Not Eligible
7812.04	Russelldale SFR (Transitional Ranch)	2215 Russelldale Avenue	ca. 1960	Not Eligible
7812.05	Russelldale SFR (Ranch)	5106 Willis Drive	ca. 1955	Not Eligible
7812.06	Russelldale SFR (Contemporary Ranch)	5111 Willis Drive	ca. 1960	Not Eligible
<b><i>Baluha et al. (2019b)</i></b>				
7815	Southern Pines neighborhood	North Charleston, south of I-526, east of North Rhett Ave.	ca. 1950	Not eligible
7815.01	Southern Pines SFR (Ranch)	1150 Sherwood St.	1962	Not eligible
7815.02	Southern Pines SFR (Minimal Traditional)	1177 Camden St.	1950	Not eligible

<sup>1</sup> No longer extant <sup>2</sup> Wrong topo listed by Fick (1995) <sup>3</sup> Wrong address listed by Fick (1995)

## 2.3 Archaeological Survey

Brockington conducted archaeological survey of the I-526 Lowcountry Corridor West Addendum APE March 30-April 1, 2020. Archaeological survey of the project corridor followed the *South Carolina Standards and Guidelines for Archaeological Investigations* (Council of South Carolina Professional Archaeologists [COSCAPA] et al. 2013). The existing right-of-way (ROW) averages 122 m wide along I-526 and 37 to 61 m along side streets. For the most part, the archaeological survey universe extends 30 m to either side of the existing ROW, excepting the area near the North Rhett and Virginia Avenue interchanges. The initial transects were spaced 15 m to either side of the existing ROW, and every 30 m thereafter. Investigators excavated shovel tests at 30-m intervals along each transect. We did not excavate shovel tests in areas that were investigated during previous cultural resources surveys, in wetlands, or outside the archaeological survey universe.

Each shovel test measured approximately 30 centimeters (cm) in diameter and was excavated into sterile subsoil. The fill from these tests was sifted through 1/4-inch mesh hardware cloth. All identifiable or suspected cultural materials were collected. Excavators recorded provenience information including transect, shovel test, and surface collection numbers on resealable, archivally stable, plastic artifact collection bags. Information relating to each shovel test also was recorded in field notebooks. This information included the content (e.g., presence or absence of artifacts) and context (e.g., soil color, texture, stratification) of each test. Shovel tests were not excavated in wetlands and generally were not excavated in disturbed/developed areas. No archaeological resources were identified.

## 2.4 Architectural Survey

Brockington conducted architectural survey from August 20 to 24, 2018. Additional photo documentation of previously recorded resources was conducted in January 2019. The survey attempted to identify, record, and evaluate all historic architectural resources (buildings, structures, objects, designed landscapes, and/or sites with aboveground components) in the APE. Field survey methods complied with the SCDAH's (2018) *Survey Manual: South Carolina Statewide Survey of Historic Properties* and the *National Register Bulletin 24, Guidelines for Local Surveys: A Basis for Preservation Planning* (Parker 1985). In accordance with the scope of work and standard SCDAH survey practice, the project Architectural Historian drove every street and road in the architectural survey universe and conducted a pedestrian inspection of all potential historic architectural resources.

The principal criterion used by the SCDAH to define historic architectural resources is a 50-year minimum age; however, that rule does not always allow for the recordation of all historically significant resources. This could include resources related to the civil rights movement, the Cold War, or the development of tourism in South Carolina. In addition, certain other classes of architectural resources may be recorded (SCDAH 2015:9):

- Architectural resources representative of a particular style, form of craftsmanship, method of construction, or building type;
- Properties associated with significant events or broad patterns in local, state, or national history;
- Properties that convey evidence of the community's historical patterns of development;
- Historic cemeteries and burial grounds;
- Historic landscapes such as parks, gardens, and agricultural fields;
- Properties that convey evidence of significant "recent past" history (i.e., civil rights movement, Cold War, etc.);

- Properties associated with the lives or activities of persons significant in local, state, or national history; or
- Sites where ruins, foundations, or remnants of historically significant structures are present.

For a resource to be eligible for documentation, the Architectural Historian must determine that it retains some degree of integrity. According to the SCDAH (2015:10), a resource that has integrity:

retains its historic appearance and character... [and] conveys a strong feeling of the period in history during which it achieved significance. Integrity is the composite of seven qualities: location, design, setting, materials, workmanship, feeling, and association. To have a reasonable degree of integrity, a property must possess at least several of these qualities.

Also, integrity is evaluated in the context of the local region. While in the field, the Architectural Historian evaluated the integrity of each identified historic architectural resource. Resources exhibiting poor integrity were not recorded.

Following SCDAH (2015, 2018) guidelines, the Architectural Historian recorded all the architectural resources in the APE on South Carolina Statewide Survey (SCSS) forms in digital format using the survey database (Microsoft Access 2016™). The Architectural Historian took at least one digital photograph of each resource, typically showing the main or side elevations. Appropriate USGS maps show the location of each architectural resource. The completed forms, including the various maps and photographs, were prepared for SCDAH for review. Following SCDAH (2015) guidelines, the architectural survey uses English units of measurement in descriptions of resources presented in this report and in the forms. Photography for this project included digital images produced by methods demonstrated to meet the 75-year permanence standard required by the National Park Service (NPS) and the SCDAH (NPS 2013; SCDAH 2015:31).

## **2.5 NRHP Assessment of Cultural Resources**

### **2.5.1 Overview**

All cultural resources encountered were assessed as to their significance based on the criteria of the NRHP. As per 36 CFR 60.4, there are four broad evaluative criteria for determining the significance of a particular resource and its eligibility for the NRHP. Any resource (building, structure, site, object, or district) may be eligible for the NRHP that:

- is associated with events that have made a significant contribution to the broad pattern of history;
- is associated with the lives of persons significant in the past;
- embodies the distinctive characteristics of a type, period, or method of construction, or represents the work of a master, possesses high artistic value, or represents a significant and distinguishable entity whose components may lack individual distinction; or
- has yielded, or is likely to yield, information important to history or prehistory.

A resource may be eligible under one or more of these criteria. Criteria A, B, and C are most frequently applied to historic buildings, structures, objects, non-archaeological sites (e.g., battlefields, natural features, designed landscapes, or cemeteries), or districts. The eligibility of archaeological sites is most frequently considered with respect to Criterion D. Also, a general guide of 50 years of age is employed to define “historic” in the NRHP evaluation process. That is, all



resources greater than 50 years of age may be considered. However, more recent resources may be considered if they display “exceptional” significance (Sherfy and Luce 1998).

## **2.5.2 Individual Archaeological Sites and Architectural Resources**

Following *National Register Bulletin: How to Apply the National Register Criteria for Evaluation* (Savage and Pope 1998), evaluation of any resource requires a twofold process. First, the resource must be associated with an important historical context. If this association is demonstrated, the integrity of the resource must be evaluated to ensure that it conveys the significance of its context. The applications of both steps are discussed in more detail below.

Determining the association of a resource with a historical context involves five steps (Savage and Pope 1998). First, the resource must be associated with a particular facet of local, regional (state), or national history. Secondly, one must determine the significance of the identified historical facet/context with respect to the resource under evaluation. A lack of Native American archaeological sites within a project area would preclude the use of contexts associated with the Pre-Contact use of a region.

The third step is to demonstrate the ability of a particular resource to illustrate the context. A resource should be a component of the locales and features created or used during the historical period in question. For example, early nineteenth-century farmhouses, the ruins of African American slave settlements from the 1820s, and/or field systems associated with particular Antebellum plantations in the region would illustrate various aspects of the agricultural development of the region prior to the Civil War. Conversely, contemporary churches or road networks may have been used during this time period but do not reflect the agricultural practices suggested by the other kinds of resources.

The fourth step involves determining the specific association of a resource with aspects of the significant historical context. Savage and Pope (1998) define how one should consider a resource under each of the four criteria of significance. Under Criterion A, a property must have existed at the time that a particular event or pattern of events occurred, and activities associated with the event(s) must have occurred at the site. In addition, this association must be of a significant nature, not just a casual occurrence (Savage and Pope 1998). Under Criterion B, the resource must be associated with historically important individuals. Again, this association must relate to the period or events that convey historical significance to the individual, not just that this person was present at this locale (Savage and Pope 1998). Under Criterion C, a resource must possess physical features or traits that reflect a style, type, period, or method of construction; display high artistic value; or represent the work of a master (an individual whose work can be distinguished from others and possesses recognizable greatness) (Savage and Pope 1998). Under Criterion D, a resource must possess sources of information that can address specific important research questions (Savage and Pope 1998). These questions must generate information that is important in reconstructing or interpreting the past (Butler 1987; Townsend et al. 1993). For archaeological sites, recoverable data must be able to address specific research questions.

After a resource is associated with a specific significant historical context, one must determine which physical features of the resource reflect its significance. One should consider the types of resources that may be associated with the context, how these resources represent the theme, and which aspects of integrity apply to the resource in question (Savage and Pope 1998). As in the Antebellum agriculture example given above, a variety of resources may reflect this context (farmhouses, ruins of slave settlements, field systems, etc.). One must demonstrate how these resources reflect the context. The farmhouses represent the residences of the principal landowners who were responsible for implementing the agricultural practices that drove the economy of the South Carolina area during the Antebellum period. The slave settlements housed the workers who conducted most of the daily activities necessary to plant, harvest, process, and market crops.

Once the above steps are completed and the association with a historically significant context is demonstrated, one must consider the aspects of integrity applicable to a resource. Integrity is defined in seven aspects of a resource; one or more may be applicable depending on the nature of the resource under evaluation. These aspects are location, design, setting, materials, workmanship, feeling, and association (36 CFR 60.4; Savage and Pope 1998). If a resource does not possess integrity with respect to these aspects, it cannot adequately reflect or represent its associated historically significant context. Therefore, it cannot be eligible for the NRHP. To be considered eligible under Criteria A and B, a resource must retain its essential physical characteristics that were present during the event(s) with which it is associated. Under Criterion C, a resource must retain enough of its physical characteristics to reflect the style, type, etc., or work of the artisan that it represents. Under Criterion D, a resource must be able to generate data that can address specific research questions that are important in reconstructing or interpreting the past.

### 2.5.3 Assessing Post-World War II Neighborhoods

The APE encompasses portions of two post-World War II neighborhoods. The SCDHA (2018) summarizes background information on the development trends for these neighborhoods and the characteristics and styles often associated with individual buildings and whole neighborhoods. The SCDHA (2018) suggests that post-War residences and neighborhoods should be evaluated under NRHP Criteria A, B, or C (see Section 2.5.3). Because of their abundance, individual buildings associated with post-World War II neighborhoods must retain a high degree of integrity. Furthermore, neighborhoods/subdivisions comprising post-War houses should retain integrity as a group or district. Table 2.4 lists the evaluative criteria for post-World War II neighborhoods.

**Table 2.4 Evaluative criteria for post-World War II neighborhoods (SCDAH 2018).**

<b>Neighborhoods</b>	
1	Repetition of house type or style (many builders re-used similar plans throughout the neighborhood)
2	Community buildings (churches, schools, recreation centers, shopping areas) if part of the original plan/design
3	Majority of residences retain historic materials and design
4	Setting (lot size, building setback, streetscapes, parks, and landscape design)
<b>Individual Residences</b>	
1	Garage or carports originally attached to the building and not enclosed
2	Original windows and front door
3	Original siding/wall materials
4	Original metal porch posts or carport posts
5	Original chimney
6	No large scale additions, especially to the residence's front or side

## 3.0 Results and Recommendations

### 3.1 Introduction

The current investigation includes archaeological and architectural survey. Figure 3.1 shows the location of the APE, shovel tested areas, and all cultural resources in the APE. The results of the archaeological and architectural surveys are presented below, followed by management recommendations.

### 3.2 Archaeological Survey Results

Brockington conducted archaeological survey of the current archaeological survey universe from March 30-April 1, 2020. The archaeological survey universe covers two non-contiguous areas totaling 17.25 hectares (42.63 acres). These investigations were conducted by Crew Chief Scott Kitchens and Technician Richard Hill under the direction of Principal Investigator David Baluha.

During the current investigation, we identified two areas (Areas A and B) in the archaeological survey universe. Area A covered 0.57 hectare (1.41 acres) of marsh in the Filbin Creek estuary. No survey was conducted in Area A. Area B covered 16.68 hectares (41.22 acres). Across the entire archaeological survey universe, approximately 48.6 percent was characterized as subclimax maritime forest uplands, 46.8 percent was characterized as marsh or swamp, and 4.6 percent was characterized as developed or disturbed. Most of the excavated shovel tests displayed disturbed soils, which Miller (1971) defines as Udorthents, particularly south of I-526 or near the CSX Railroad spur. We identified one isolated artifact find (Isolate 1). Table 3.1 summarizes investigations in the archaeological survey universe. Figure 3.1 shows a shovel test map. Figure 3.2 displays shovel test profiles from the western portion of the archaeological survey universe.

Isolate 1 consists of one Pre-Contact eroded (fine/medium sand tempered) sherd. We recovered this artifact from a shovel test 0-30 centimeters below surface from disturbed soils. The shovel test was excavated northwest of a pond west of Attaway Street on the edge of a landform overlooking Filbin Creek. Isolate 1 is not eligible for the NRHP and requires no additional management.

### 3.3 Architectural Survey Results

#### 3.3.1 Introduction

All or portions of six historic architectural resources (7807, 8027, and 8027.01-8027.04) are in the architectural survey universe. These include one post-World War II neighborhood (Resources 7807) identified by Baluha et al. (2019a) and one post-World War II neighborhood (Resource 8027) and associated buildings (Resources 8027.01-8027.04) identified during the current investigation. The Liberty Park neighborhood, located south of the Cameron Terrace and the West Cameron Terrace neighborhoods in North Charleston, has been redeveloped and no longer has historic integrity. Descriptions and NRHP assessments for these resources follow. We use standard units of measure in this discussion. Table 3.2 lists the architectural resources in the architectural survey universe. Figure 3.3 shows the locations of these resources on USGS (1958) aerial imagery. Figure 3.4 shows the locations of these resources on the USGS (1959a, 1959b) *Ladson* and *North Charleston* quadrangles.



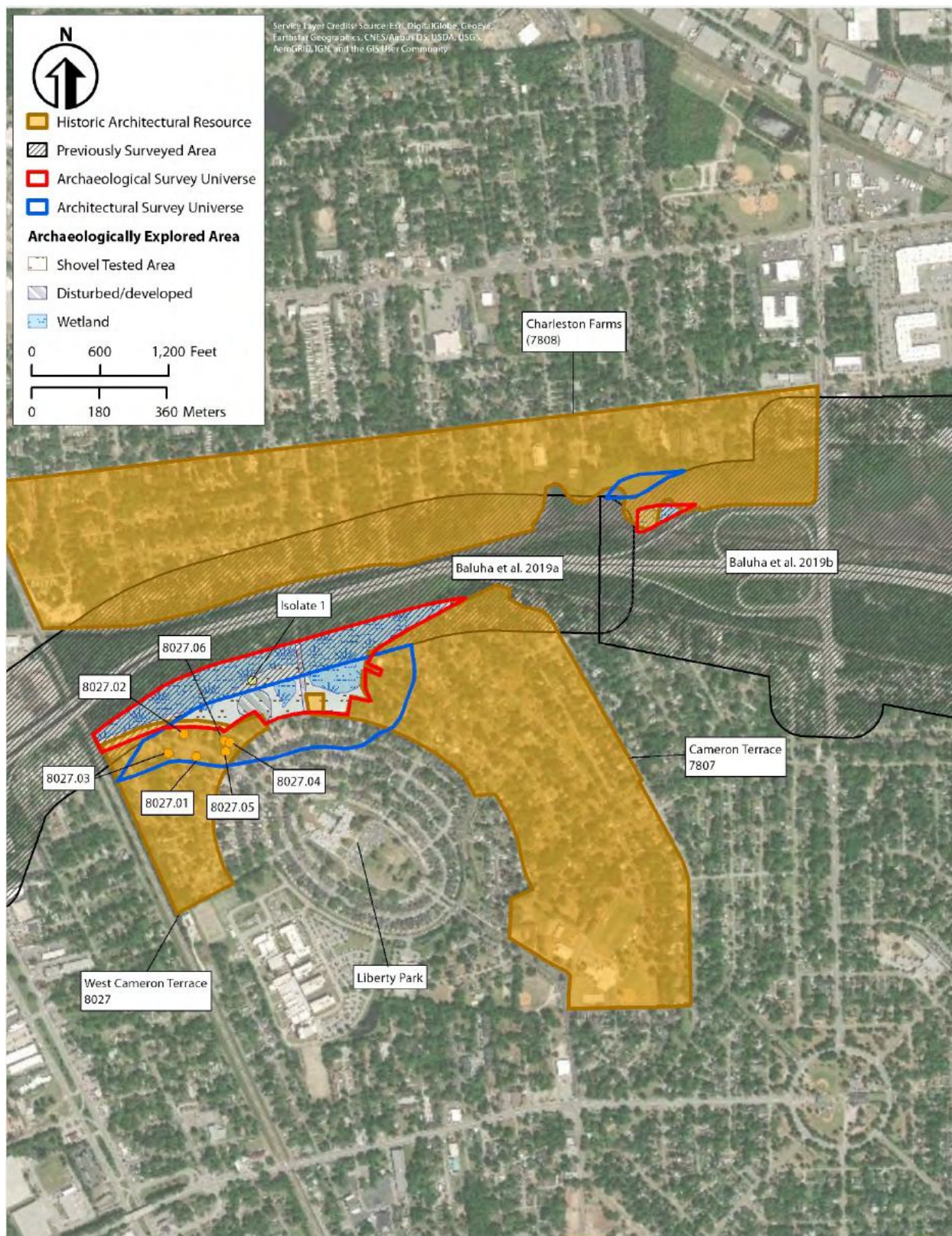


Figure 3.1. Location of the APE, shovel tested areas, and all cultural resources in the APE on aerial imagery.

**Table 3.0.1. Summary of archaeological investigations in the archaeological survey universe.**

Survey Area	Conditions/Vegetation	Soils	Survey Universe Coverage		
			Hectares	Acres	Percentage
A	Marsh/swamp	Udorthents	0.57	1.41	3.3%
B	Subclimax maritime forest		8.38	20.71	48.6%
	Marsh/swamp west of Attaway St.		3.77	9.32	21.9%
	Marsh/swamp east of Attaway St.		3.73	9.22	21.6%
	Developed/disturbed (Attaway St.)		0.25	0.62	1.4%
	Disturbed west of Attaway St.		0.55	1.36	3.2%
Total			17.25	42.63	100.0%

**Table 3.2. Architectural resources in the architectural survey universe.**

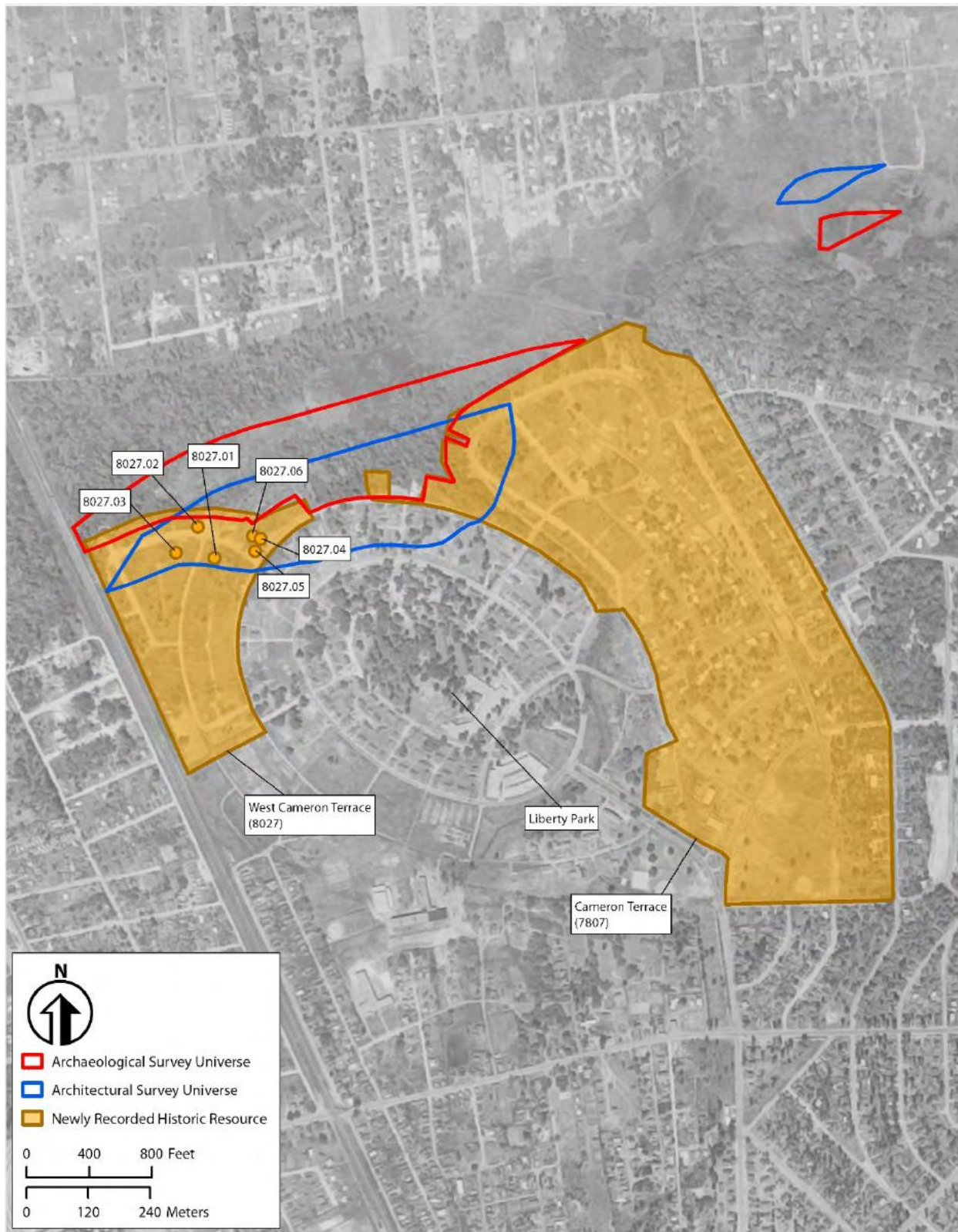
Number	Description	Address	Date	NRHP
7807	Cameron Terrace neighborhood	132-acre North Charleston neighborhood including approx. 250 lots and 255 structures and large recreational complex; south of I-526 and Filbin Creek, Dolphin St. to the west and Wando St. to the south.	ca. 1950	Not eligible
8027	West Cameron Terrace neighborhood	29-acre North Charleston neighborhood including 92 lots and approximately 150 structures; south of I-526 and Filbin Creek, east of CSX Railroad	ca. 1958	Not eligible
8027.01	SFR (Ranch)	5186 Monterrey Street	ca. 1959b	Not eligible
8027.02	SFR (Ranch)	1800 Wasp Street	ca. 1959c	Not eligible
8027.03	SFR (Ranch) with carport	1809 Wasp Street	1960	Not eligible
8027.04	SFR (Minimal Traditional)	5205 E. Dolphin Street	1960	Not eligible
8027.05	SFR (1.5 stories)	5201 E. Dolphin Street	1960	Not eligible
8027.06	Utility Shed	5205 E. Dolphin Street	1970	Not eligible





Figure 3.2. Typical shovel test profiles from the current archaeological survey universe.





**Figure 3.3. USGS (1958) aerial showing the locations of Resources 7807 and 8027 in the architectural survey universe.**



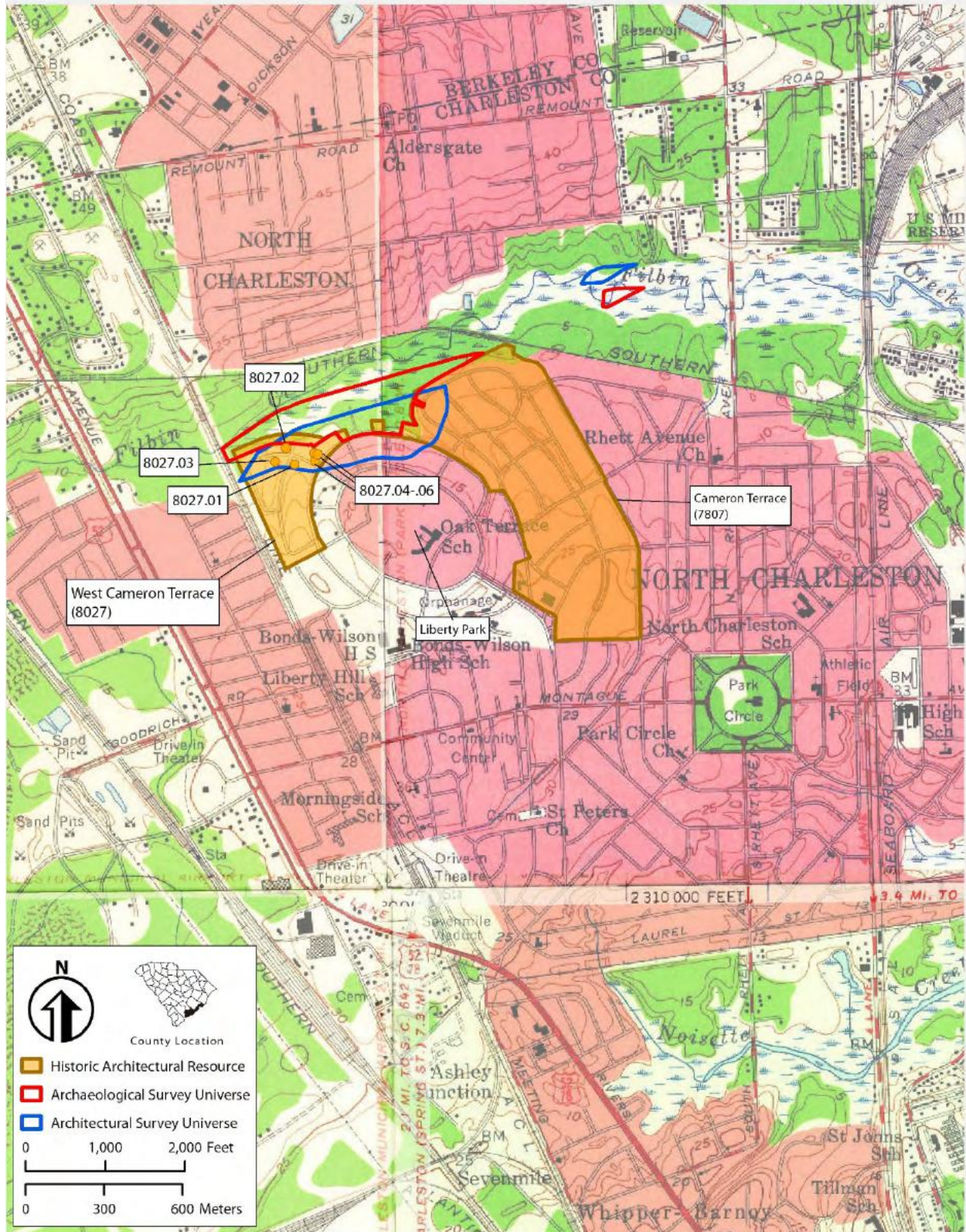


Figure 3.4. The locations of Resources 7807 and 8027 in the architectural survey universe (USGS 1959a, 1959b).



### 3.3.2 Cameron Terrace Neighborhood (Resource 7807)

Cameron Terrace is an approximately 132-acre neighborhood located in North Charleston (see Figure 4.1). Cameron Terrace includes approximately 250 lots and 255 structures, including a large recreational complex. Cameron Terrace borders a CSX Railroad spur to the north; Parkside Drive and the Cameron Terrace neighborhood to the east; portions of Dolphin Street, Lackaway Boulevard, Mission Avenue, and Princeton Street to the west; and Wando Road to the south.

Cameron Terrace and West Cameron Terrace border each other and share a common history. Both neighborhoods are situated in the northwest quadrant of Olde North Charleston between what used to be Liberty Homes to the west and North Rhett Avenue to the east. Olde North Charleston denotes the area of North Charleston that was first designated for development by the North Charleston Company, which purchased the 1,516-acre tract from the Burton Lumber Company in 1911 (Baluha et al. 2019a:57). Fick (1995:41) notes that the investors that made up the North Charleston Company were established leaders in Charleston, such as Burton Lumber Company executive Robert L. Montague, former Charleston mayor R. Goodwyn Rhett, and the city's chief engineer James O'Hear. W.B. Marquis of the landscape architecture firm P.J. Berckman's Company designed the unique layout that features eight main streets radiating out from the central landscape feature of Park Circle. Like most planned developments of its size at the time, Olde North Charleston witnessed numerous alterations to the original layout, but today still retains some of its key design features (Park Circle and the radiating avenues). Olde North Charleston was designed in part to provide housing for the growing numbers of military and civilian employees working at the Navy Yard, just two miles south. The Army Ordnance Depot and the Charleston Air Force Base are two other nearby military installations that contributed to population growth and development in North Charleston. Two important industrial operations, General Asbestos and Rubber Company (GARCO) and West Virginia Pulp and Paper Company (now WestRock), played key roles in the demand for residential development in the area. Cameron Terrace is identified as a subdivision of Olde North Charleston at least by 1953 based on Sanders' (1953) development plat. USGS (1958) aerial imagery shows sparse development in the northernmost portion of the neighborhood (see Figure 3.3).

Cameron Terrace is a ca. 1950 Ranch house neighborhood. The unifying neighborhood characteristics include concrete curbing, sidewalks, an intact linear park, and a recreational complex with baseball fields, a community center, a pool, and a skate park. The architectural survey universe includes approximately 6.3 acres (4.8%) of the northwestern portion of Cameron Terrace. In the architectural survey universe, there are 18 Ranch houses and one Minimal Traditional house. Baluha et al. (2019:Figures 4.7 and 4.8) show examples of Minimal Traditional and Ranch houses in Cameron Terrace.

Baluha et al. (2019a) assessed the NRHP eligibility of Resource 7807 (the Cameron Terrace neighborhood), which is copied verbatim here. The architectural survey universe covers approximately 31.8 percent of the Cameron Terrace neighborhood. Cameron Terrace is an example of the common post-World War II neighborhood in North Charleston but is not amongst the best examples (Baluha et al. 2019a). Although it retains its original configuration, many of the residences display significant changes and the presence of numerous outbuildings dating from the 1970s or later shows that Cameron Terrace has witnessed high-level material change and modern infill. Therefore, we recommend Cameron Terrace and all associated architectural resources in the architectural survey universe not eligible for the NRHP. These cultural resources require no additional management.

### 3.3.3 West Cameron Terrace Neighborhood (Resource 8027)

West Cameron Terrace is an approximately 29-acre neighborhood located in North Charleston (see Figure 4.1). West Cameron Terrace includes 92 lots and approximately 150 structures. West Cameron Terrace borders the CSX Railroad to the west; Dolphin Street to the east; the Charleston School of the Arts campus to the south; and Filbin Creek to the north.

West Cameron Terrace shares a common history to Cameron Terrace (7807) (Baluha et al. 2019a). Both neighborhoods are situated in the northwest quadrant of Olde North Charleston near what used to be Liberty Homes to the west and North Rhett Avenue to the east. Olde North Charleston denotes the area of North Charleston that was first designated for development by the North Charleston Company, which purchased the 1,516-acre tract from the Burton Lumber Company in 1911 (Baluha et al. 2019a:57). Fick (1995:41) notes that the investors that made up the North Charleston Company were established leaders in Charleston, such as Burton Lumber Company executive Robert L. Montague, former Charleston mayor R. Goodwyn Rhett, and the city's chief engineer James O'Hear. W.B. Marquis of the landscape architecture firm P.J. Berckman's Company designed the unique layout that features eight main streets radiating out from the central landscape feature of Park Circle. Like most planned developments of its size at the time, Olde North Charleston witnessed numerous alterations to the original layout, but today still retains some of its key design features (Park Circle and the radiating avenues). Olde North Charleston was designed in part to provide housing for the growing numbers of military and civilian employees working at the Navy Yard, just two miles south. The Army Ordnance Depot and the Charleston Air Force Base are two other nearby military installations that contributed to population growth and development in North Charleston. Two important industrial operations, General Asbestos and Rubber Company (GARCO) and West Virginia Pulp and Paper Company, played key roles in the demand for residential development in the area. West Cameron Terrace is identified as a subdivision of Olde North Charleston at least by 1956 based on Sanders' (1956) development plat, as displayed in Figure 3.5. USGS (1958) aerial imagery shows sparse development in the northernmost portion of the neighborhood (see Figure 3.3).

West Cameron Terrace is a ca. 1956 Ranch house neighborhood. The unifying neighborhood characteristics include concrete curbing, and sidewalks. The architectural survey universe includes approximately 6.4 acres (22.1%) of the northern portion of West Cameron Terrace. In the architectural survey universe, West Cameron Terrace buildings include 15 Ranch houses, four Minimal Traditional houses, two multi-story houses, six utility sheds, and three detached garages. Twenty-three of these buildings date from 1958-1970, while the other seven buildings date from 1977-2014. The average lot size is 0.26 acre. Table 3.3 lists all the West Cameron Terrace structures in the architectural survey universe. Figure 3.6 displays streetscape images of West Cameron Terrace. Figures 3.7-3.9 show examples of Ranch houses (8027.01, 8027.02, and 8027.03) in the architectural survey universe in West Cameron Terrace. Figure 3.10 shows an example of a Minimal Traditional house (8027.04) in the architectural survey universe in West Cameron Terrace. Figure 3.11 shows an example of a multi-story house (8027.05) in the architectural survey universe in West Cameron Terrace. Figure 3.12 shows an example of a typical utility shed (8027.06) in the architectural survey universe in West Cameron Terrace.



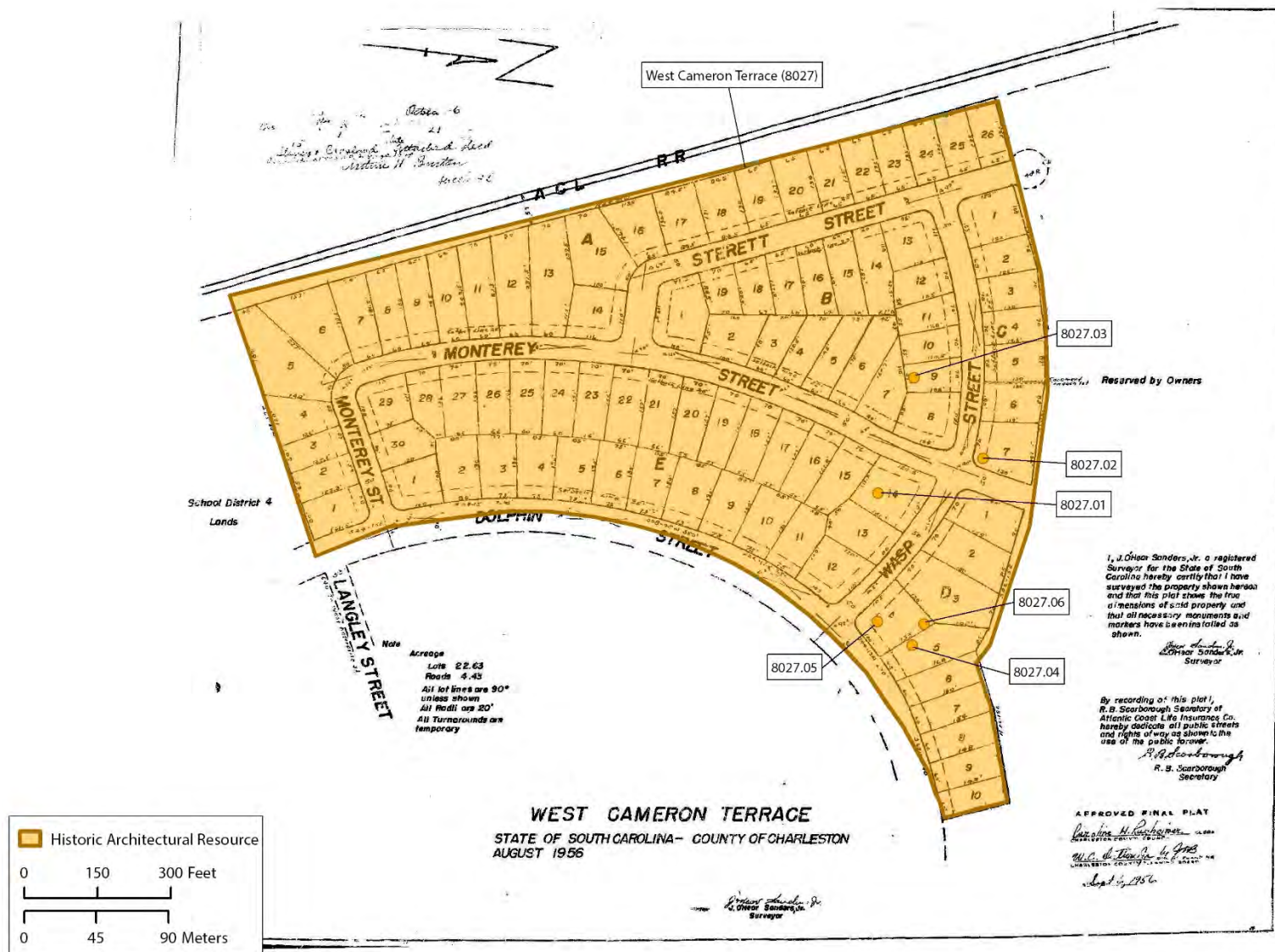


Figure 3.5. Sanders' (1956) plat of West Cameron Terrace.

**Table 3.3. West Cameron Terrace neighborhood structures in the architectural survey universe.**

Resource	Building(s)	Address	Parcel	Year Built <sup>a</sup>
n/a	SFR (Ranch)	5165 Dolphin Street	4710500082	1962
8027.05	SFR (1.5 stories)	5201 E. Dolphin Street	4710500007	1960
8027.04	SFR (Minimal Traditional)	5205 E. Dolphin Street	4710500006	1960
8027.06	Utility Shed			1970
n/a	SFR (Ranch)	5209 E. Dolphin Street	4710500005	1960
	SFR (Minimal Traditional)	5211 E. Dolphin Street	4710500004	1959
	Utility Shed			1959
	SFR (Minimal Traditional)	5215 E. Dolphin Street	4710500003	1962
	Utility Shed			1969
	SFR (Minimal Traditional)	5219 E. Dolphin Street	4710500002	1962
	SFR (Ranch)	5221 E. Dolphin Street	4710500001	1962
8027.01	SFR (Ranch)	5186 Monterrey Street	4710500080	ca. 1959 <sup>b</sup>
n/a	SFR (Ranch)	5182 Sterrett Street	4710500035	1967
	SFR (Ranch)	5188 Sterrett Street	4710500036	1961
	SFR (Ranch)	1731 Wasp Street	4710500081	1960
	SFR (Ranch)	1738 Wasp Street	4710500009	1958
	SFR (Ranch)	1742 Wasp Street	4710500010	1967
8027.02	SFR (Ranch)	1800 Wasp Street	4710500011	ca. 1959 <sup>c</sup>
n/a	SFR (Ranch)	1806 Wasp Street	4710500012	ca. 1959 <sup>d</sup>
8027.03	SFR (Ranch) with carport	1809 Wasp Street	4710500021	1960
n/a	SFR (Ranch)	1815 Wasp Street	4710500020	1960
	SFR (Ranch)	1821 Wasp Street	4710500019	1960
	SFR (Ranch)	1827 Wasp Street	4710500018	1960
				Average
<sup>a</sup> Year Built based on Charleston Real Property data unless otherwise noted.				
<sup>b</sup> Charleston Real Property data says 1945 but not evident on USGS (1958) quadrangle.				
<sup>c</sup> Charleston Real Property data says 1954 but not evident on USGS (1958) quadrangle.				
<sup>d</sup> Charleston Real Property data says 1957 but not evident on USGS (1958) quadrangle.				





**Figure 3.6. Streetscape images of West Cameron Terrace: east along Wasp Street from the Sterrett and Wasp Street intersection (top) and west along Wasp Street (bottom) from the Dolphin and Wasp Street intersection.**





Figure 3.7. North elevation of typical West Cameron Terrace Ranch house built ca. 1958 (5186 Monterrey Street).



Figure 3.8. Southwest oblique of typical West Cameron Terrace Ranch house built ca. 1958 (1800 Wasp Street).





**Figure 3.9. North elevation of typical West Cameron Terrace Ranch house built 1960-1967 (1809 Wasp Street) with carport.**



**Figure 3.10. East elevation of typical West Cameron Terrace Minimal Traditional house built 1960-1962 (5205 East Dolphin Street).**





Figure 3.11. North elevation of typical West Cameron Terrace 1.5-story house built in 1960 and showing side door (5201 E. Dolphin Street).



Figure 3.12. Front elevation of typical West Cameron Terrace utility shed (5205 East Dolphin Street).



We assessed the NRHP eligibility of the West Cameron Terrace neighborhood (8027) with respect to Criteria A-D (see Section 1.2.6). The architectural survey universe covers 7.6 percent of the West Cameron Terrace neighborhood. In the architectural survey universe, we identified 30 buildings, with 15 of these Ranch houses, four Minimal Traditional houses, two multi-story houses, six utility sheds, and three detached garages. West Cameron Terrace is an example of the common post-World War II neighborhood in North Charleston but is not amongst the best examples (Baluha et al. 2019a). West Cameron Terrace does not embody the distinctive characteristics of a Ranch house neighborhood, nor does it represent a significant and distinguishable entity. Although it retains its original configuration, many of the residences have seen significant alterations. This indicates that West Cameron Terrace has witnessed a high-level material change to its resources, as well as modern infill. Therefore, we recommend West Cameron Terrace and all associated architectural resources in the architectural survey universe not eligible for the NRHP. These cultural resources require no additional management.

### **3.4 Summary and Management Recommendations**

Cultural resources survey of the APE included background research, archaeological survey, and architectural survey. Archaeological survey identified one isolated artifact find (Isolate 1). Previous investigations identified one post-World War II neighborhood (7807) in the APE (Baluha et al. 2019a). During the current investigation, we identified one post-World War II neighborhood (8027) and six associated, individual architectural resources (8027.01-8027.06). These nine cultural resources are recommended not eligible for the National Register for Historic Places (NRHP). No further management consideration of these resources is warranted. If the currently proposed road plans change, additional survey may be necessary.

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1959b *North Charleston, SC* quadrangle. GPO, Washington, DC.

1980 *Ladson, SC* quadrangle. GPO, Washington, DC.

1999 *North Charleston, SC* quadrangle. GPO, Washington, DC.



## **Appendix A. Statewide Survey Forms**

Statewide Survey of Historic Properties  
State Historic Preservation Office  
South Carolina Department of Archives and History  
8301 Parklane Road  
Columbia, SC 29223-4905 (803) 896-6100

U / 8027

Status Site No.

Revisit: ☐

Quadrangle Name: Ladson

Tax Map No.: Multiple

Survey Form

Identification

Historic Name: West Cameron Terrace

Common Name: West Cameron Terrace

Address/Location: Multiple

City: North Charleston

Vicinity of ☐

County: Charleston

Ownership: Private

Category: District

Historical Use: Domestic

Historical Use (if Other):

Current Use: Domestic

Current Use (if Other):

SHPO National Register Determination of Eligibility:

Property Description

Construction Date: c. 1958

Construction: Construction (if Other):

Historic Core Shape: Historic Core Shape (if Other):

Exterior Walls: Exterior Walls (if Other):

Foundation: Foundation (if Other):

Commercial Form: Commercial Form (if Other):

Roof Shape: Roof Shape (if Other):

Roof Materials: Roof Materials (if Other)

Stories: Stories (if Other):

Porch Width: Porch Width (if Other):

Porch Shape: Porch Shape (if Other)

Description/Significant Features: Approx. 29-acre neighborhood in North Charleston; includes 92 lots and approximately 150 structures; composed of approx. 50% Ranch houses, 13% Minimal Traditional houses, 7% multi-story houses, 20% utility sheds, and 10% detached garages

Alterations (include date(s), if known)

Architect(s)/Builder(s):



**Historical Information**

Historical Information: Sanders' (1956) plat of West Cameron Terrace shows original layout. USGS (1958) aerial shows roads being constructed and first two houses.

Source of Information:

**Digital Photo ID(s):**

Digital Photo ID 01: 08027001  
View 01                Facing North  
Digital Photo ID 02: 08027002  
View 02                Facing West  
Digital Photo ID 03:  
View 03  
Digital Photo ID 04:  
View 04  
Digital Photo ID 05:  
View 05

Digital Photo ID 06:  
View 06  
Digital Photo ID 07:  
View 07  
Digital Photo ID 08:  
View 08  
Digital Photo ID 09:  
View 09  
Digital Photo ID 10:  
View 10

**Program Management**

Recorded by:     DB  
Date Recorded:   04/22/2020

Organization:   Brockington

**Statewide Survey of Historic Properties**  
**State Historic Preservation Office**  
**South Carolina Department of Archives and History**  
**8301 Parklane Road**  
**Columbia, SC 29223-4905 (803) 896-6100**

U / 8027.01 Revisit: ☐  
Status Site No.  
Quadrangle Name: North Charleston  
Tax Map No.: 4710500080

## Survey Form

### Identification

Historic Name:

Common Name: West Cameron Terrace Ranch house

Address/Location: 5186 Monterrey Street

City: North Charleston Vicinity of ☐ County: Charleston

Ownership: Private Category: Building

Historical Use: Domestic Historical Use (if Other):

Current Use: Domestic Current Use (if Other):

SHPO National Register Determination of Eligibility:

### Property Description

Construction Date: c. 1959

Construction: Frame

Historic Core Shape: rectangular

Exterior Walls: other

Foundation: slab construction

Commercial Form:

Roof Shape: Gable, lateral

Roof Materials: composition shingle

Stories: 1 story

Porch Width: Entrance bay only

Porch Shape: Gable

Construction (if Other):

Historic Core Shape (if Other):

Exterior Walls (if Other): brick veneer and weatherboard

Foundation (if Other):

Commercial Form (if Other):

Roof Shape (if Other):

Roof Materials (if Other):

Stories (if Other):

Porch Width (if Other):

Porch Shape (if Other):

Description/Significant Features: 1312 sq ft, lateral-gable; brick veneer lower and weatherboard siding upper; 337 sq ft. front gable porch; gable wing off right rear; 260 sq ft. front right carport; vinyl replacement windows; faux shutters

Alterations (include date(s), if known)

Architect(s)/Builder(s):



**Historical Information**

Historical Information:

Source of Information:

**Digital Photo ID(s):**

Digital Photo ID 01: 08027003  
View 01                      Facing Southeast  
Digital Photo ID 02:  
View 02  
Digital Photo ID 03:  
View 03  
Digital Photo ID 04:  
View 04  
Digital Photo ID 05:  
View 05

Digital Photo ID 06:  
View 06  
Digital Photo ID 07:  
View 07  
Digital Photo ID 08:  
View 08  
Digital Photo ID 09:  
View 09  
Digital Photo ID 10:  
View 10

**Program Management**

Recorded by:     DB  
Date Recorded:   04/22/2020

Organization:   Brockington

**Statewide Survey of Historic Properties**  
**State Historic Preservation Office**  
**South Carolina Department of Archives and History**  
**8301 Parklane Road**  
**Columbia, SC 29223-4905 (803) 896-6100**

U / 8027.02

Revisit: ☐

Status Site No.

Quadrangle Name: Ladson

Tax Map No.: 4710500011

## Survey Form

### Identification

Historic Name:

Common Name: West Cameron Terrace Ranch house

Address/Location: 1800 Wasp Street

City: North Charleston

Vicinity of ☐

County: Charleston

Ownership: Private

Category: Building

Historical Use: Domestic

Historical Use (if Other):

Current Use: Domestic

Current Use (if Other):

SHPO National Register Determination of Eligibility:

### Property Description

Construction Date: c. 1959

Construction: Frame

Construction (if Other):

Historic Core Shape: rectangular

Historic Core Shape (if Other):

Exterior Walls: brick veneer

Exterior Walls (if Other):

Foundation: slab construction

Foundation (if Other):

Commercial Form:

Commercial Form (if Other):

Roof Shape: Hip

Roof Shape (if Other):

Roof Materials: composition shingle

Roof Materials (if Other):

Stories: 1 story

Stories (if Other):

Porch Width: Entrance bay only

Porch Width (if Other):

Porch Shape: Gable

Porch Shape (if Other):

Description/Significant Features: 1363 sq ft, hipped; brick veneer; 551 sq ft. gable wing off right rear; 720 sq ft. addition with shed roof off right; vinyl replacement windows; faux shutters; 3-pane picture window

Alterations (include date(s), if known)

Architect(s)/Builder(s):



**Historical Information**

Historical Information:

Source of Information:

**Digital Photo ID(s):**

Digital Photo ID 01: 08027004  
View 01                      Facing Northwest  
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View 02  
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View 03  
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View 04  
Digital Photo ID 05:  
View 05

Digital Photo ID 06:  
View 06  
Digital Photo ID 07:  
View 07  
Digital Photo ID 08:  
View 08  
Digital Photo ID 09:  
View 09  
Digital Photo ID 10:  
View 10

**Program Management**

Recorded by:     SO  
Date Recorded:   04/22/2020

Organization:   Brockington

**Statewide Survey of Historic Properties**  
**State Historic Preservation Office**  
**South Carolina Department of Archives and History**  
**8301 Parklane Road**  
**Columbia, SC 29223-4905    (803) 896-6100**

U    /    8027.03

Status    Site No.

Quadrangle Name:    Ladson

Tax Map No.:    4710500021

Revisit:    ☐

**Survey Form**

**Identification**

Historic Name:

Common Name:    West Cameron Terrace Ranch house

Address/Location:    1809 Wasp Street

City:    North Charleston    Vicinity of    ☐    County:    Charleston

Ownership:    Private    Category:    Building

Historical Use:    Domestic    Historical Use (if Other):

Current Use:    Domestic    Current Use (if Other):

SHPO National Register Determination of Eligibility:

**Property Description**

Construction Date:    1960

Construction:    Frame    Construction (if Other):

Historic Core Shape:    rectangular    Historic Core Shape (if Other):

Exterior Walls:    Brick veneer    Exterior Walls (if Other):

Foundation:    slab construction    Foundation (if Other):

Commercial Form:       Commercial Form (if Other):

Roof Shape:    Gable, lateral    Roof Shape (if Other):

Roof Materials:    composition shingle    Roof Materials (if Other):

Stories:    1 story    Stories (if Other):

Porch Width:    Entrance bay only    Porch Width (if Other):

Porch Shape:    Gable    Porch Shape (if Other):

Description/Significant Features:    1066 sq ft, lateral-gable; brick veneer; 337 sq ft. front gable porch; 260 sq ft. right carport; vinyl replacement windows; faux shutters

Alterations (include date(s), if known)

Architect(s)/Builder(s):

**Historical Information**

Historical Information:

Source of Information:

**Digital Photo ID(s):**

Digital Photo ID 01: 08027005  
View 01 Facing South

Digital Photo ID 02:  
View 02

Digital Photo ID 03:  
View 03

Digital Photo ID 04:  
View 04

Digital Photo ID 05:  
View 05

Digital Photo ID 06:  
View 06

Digital Photo ID 07:  
View 07

Digital Photo ID 08:  
View 08

Digital Photo ID 09:  
View 09

Digital Photo ID 10:  
View 10

**Program Management**

Recorded by: DB  
Date Recorded: 04/22/2020

Organization: Brockington



**Statewide Survey of Historic Properties**  
**State Historic Preservation Office**  
**South Carolina Department of Archives and History**  
**8301 Parklane Road**  
**Columbia, SC 29223-4905 (803) 896-6100**

U / 8027.04 Revisit: ☐  
Status Site No.  
Quadrangle Name: Ladson  
Tax Map No.: 4710500006

## Survey Form

### Identification

Historic Name:

Common Name: West Cameron Terrace Minimal Traditional house

Address/Location: 5205 E. Dolphin Street

City: North Charleston Vicinity of ☐ County: Charleston

Ownership: Private Category: Building

Historical Use: Domestic Historical Use (if Other):

Current Use: Domestic Current Use (if Other):

SHPO National Register Determination of Eligibility:

### Property Description

Construction Date: 1960

Construction: Frame

Historic Core Shape: rectangular

Exterior Walls: Brick veneer

Foundation: slab construction

Commercial Form:

Roof Shape: Gable, lateral

Roof Materials: Composition shingle

Stories: 1 story

Porch Width: Entrance bay only

Porch Shape: Gable

Construction (if Other):

Historic Core Shape (if Other):

Exterior Walls (if Other):

Foundation (if Other):

Commercial Form (if Other):

Roof Shape (if Other):

Roof Materials (if Other):

Stories (if Other):

Porch Width (if Other):

Porch Shape (if Other):

Description/Significant Features: 1573 sq ft, lateral-gable; brick veneer; 722 sq ft. shed addition off rear; 6/6 original windows; faux shutters on front

Alterations (include date(s), if known)

Architect(s)/Builder(s):

**Historical Information**

Historical Information:

Source of Information:

**Digital Photo ID(s):**

Digital Photo ID 01: 08027006  
View 01                      Facing West

Digital Photo ID 02:  
View 02

Digital Photo ID 03:  
View 03

Digital Photo ID 04:  
View 04

Digital Photo ID 05:  
View 05

Digital Photo ID 06:  
View 06

Digital Photo ID 07:  
View 07

Digital Photo ID 08:  
View 08

Digital Photo ID 09:  
View 09

Digital Photo ID 10:  
View 10

**Program Management**

Recorded by:     DB  
Date Recorded:   04/22/2020

Organization:   Brockington

**Statewide Survey of Historic Properties**  
**State Historic Preservation Office**  
**South Carolina Department of Archives and History**  
**8301 Parklane Road**  
**Columbia, SC 29223-4905 (803) 896-6100**

U / 8027.05 Revisit: ☐  
Status Site No.  
Quadrangle Name: Ladson  
Tax Map No.: 4710500007

## Survey Form

### Identification

Historic Name:

Common Name: West Cameron Terrace 1 1/2 story house

Address/Location: 5201 E. Dolphin Street

City: North Charleston Vicinity of ☐ County: Charleston

Ownership: Private Category: Building

Historical Use: Domestic Historical Use (if Other):

Current Use: Domestic Current Use (if Other):

SHPO National Register Determination of Eligibility:

### Property Description

Construction Date: 1960

Construction: Frame

Historic Core Shape: rectangular

Exterior Walls: brick veneer

Foundation: slab construction

Commercial Form:

Roof Shape: Cross gable

Roof Materials: Composition shingle

Stories: 1 1/2 stories

Porch Width: Entrance bay only

Porch Shape: Gable

Construction (if Other):

Historic Core Shape (if Other):

Exterior Walls (if Other):

Foundation (if Other):

Commercial Form (if Other):

Roof Shape (if Other):

Roof Materials (if Other):

Stories (if Other):

Porch Width (if Other):

Porch Shape (if Other):

Description/Significant Features: 2072 sq ft, lateral-gable; brick veneer; 1572 sq ft lower floor and 500 sq ft upper floor; 484 sq ft 2-bay gable attached garage on front right; vinyl replacement windows; faux shutters

Alterations (include date(s), if known)

Architect(s)/Builder(s):



**Historical Information**

Historical Information:

Source of Information:

**Digital Photo ID(s):**

Digital Photo ID 01: 08027007  
View 01                      Facing West  
Digital Photo ID 02:  
View 02  
Digital Photo ID 03:  
View 03  
Digital Photo ID 04:  
View 04  
Digital Photo ID 05:  
View 05

Digital Photo ID 06:  
View 06  
Digital Photo ID 07:  
View 07  
Digital Photo ID 08:  
View 08  
Digital Photo ID 09:  
View 09  
Digital Photo ID 10:  
View 10

**Program Management**

Recorded by:     DB  
Date Recorded:   04/22/2020

Organization:   Brockington

Statewide Survey of Historic Properties  
State Historic Preservation Office  
South Carolina Department of Archives and History  
8301 Parklane Road  
Columbia, SC 29223-4905 (803) 896-6100

U / 8027.06

Status Site No.

Revisit: ☐

Quadrangle Name: Ladson

Tax Map No.: 4710500006

Survey Form

Identification

Historic Name:

Common Name: West Cameron Terrace utility shed

Address/Location: 5205 E. Dolphin Street

City: North Charleston

Vicinity of ☐

County: Charleston

Ownership: Private

Category: Building

Historical Use: Domestic

Historical Use (if Other):

Current Use: Domestic

Current Use (if Other):

SHPO National Register Determination of Eligibility:

Property Description

Construction Date: 1970

Construction: Frame

Construction (if Other):

Historic Core Shape: rectangular

Historic Core Shape (if Other):

Exterior Walls: weatherboard

Exterior Walls (if Other):

Foundation: slab construction

Foundation (if Other):

Commercial Form:

Commercial Form (if Other):

Roof Shape: gable, end to front

Roof Shape (if Other):

Roof Materials: composition shingle

Roof Materials (if Other):

Stories: 1 story

Stories (if Other):

Porch Width:

Porch Width (if Other):

Porch Shape:

Porch Shape (if Other):

Description/Significant Features: 240 sq ft. gable end to front utility shed; wood frame construction

Alterations (include date(s), if known)

Architect(s)/Builder(s):

**Historical Information**

Historical Information:

Source of Information:

**Digital Photo ID(s):**

Digital Photo ID 01: 08027008  
View 01 Facing South

Digital Photo ID 02:  
View 02

Digital Photo ID 03:  
View 03

Digital Photo ID 04:  
View 04

Digital Photo ID 05:  
View 05

Digital Photo ID 06:  
View 06

Digital Photo ID 07:  
View 07

Digital Photo ID 08:  
View 08

Digital Photo ID 09:  
View 09

Digital Photo ID 10:  
View 10

**Program Management**

Recorded by: DB

Date Recorded: 04/22/2020

Organization: Brockington



## **Appendix B. SHPO Concurrence Letter**

July 16, 2019

Joseph E. Wilkinson  
Review Coordinator for Transportation Projects  
State Historic Preservation Office  
South Carolina Department of Archives & History  
8301 Parklane Road  
Columbia, South Carolina 29223-4905

Re: ***Brockington and Associates' 1.) Cultural Resource Survey of the I-526 Corridor Improvements Project & 2.) Cultural Resource Survey of the I-526 Lowcountry Corridor West Project—Addendum Report, Charleston County, SCDOT PIN P027507***

Dear Mr. Wilkinson:

The SCDOT proposes to improve I-526 from SC Route (SC-) 461 (Paul Cantrell Boulevard) to the SC-61 Spur (Glenn McConnell Parkway). Improvements along I-26 extend from West Montague Avenue west to Remount Road. The project may include adding a travel lane in each direction along I-526; interchange improvements at Leeds Avenue, SC-642 (Dorchester Road), West Montague Avenue, International Boulevard, and Paul Cantrell Boulevard; and the system-to-system connections at Glenn McConnell Parkway, I-26, and Rivers Avenue. Interchange improvements along I-26 may include West Montague Avenue. Improvements are also to be evaluated along Paul Cantrell Boulevard from S- 10-1373 (Tobias Gadson Boulevard) to Charlie Hall Boulevard. This segment of Paul Cantrell Boulevard includes the intersection of S-10-1863 (Magwood Drive), which will be evaluated for a grade separation to accommodate future traffic volumes.

The two cultural resources reports referenced above cover the full Area of Potential Effect (APE) for the proposed project. This correspondence addresses the combined results of those two reports and therefore the entirety of the project APE. The purpose of this correspondence is only to establish National Register of Historic Places (NRHP) eligibility for cultural resources documented as part of the subject surveys. Additional Section 106 coordination to determine project effects upon cultural resources will be initiated when a preferred alignment for the project is developed.

Archaeological investigations for the project revisited one (1) previously identified archaeological site (38CH17) and identified one new site (38CH2523). Neither of these sites is recommended eligible for the NRHP. Underwater archaeological survey was also conducted within the project APE, and two anomalies (006-1 and 010-1) were identified. Anomaly 006-1 is recommended for further analysis to determine eligibility if it is located within a refined APE generated later in the project design process. Anomaly 010-1 is recommended as not eligible for the NRHP.

The historic architectural survey identified several survey-eligible neighborhoods, individual resources, and landscape features within the APE (refer to attached reports for specifics). Only one (1) aboveground resource identified in the studies (site 7806, Bethune Elementary) is recommended eligible for the NRHP.



Site 7916.01 (hand excavated mines), site 7916.02 (mechanically excavated mines), and site 38CH2468 are recommended as not eligible for individual listing in the NRHP and as non-contributing to the eligibility of site 7916. These are the elements of eligible resource 7916 that fall within the I-526 West APE.

**Please provide your concurrence with or comment on the eligibility findings of the two subject reports.**

In accordance the memorandum of agreement approved by the Federal Highway Administration (FHWA), November 29, 2011, SCDOT is providing this information as agency official designee, as defined under 36 CFR 800.2, to ensure compliance with Section 106 of the National Historic Preservation Act.

It is requested that you review the enclosed material and, if appropriate, indicate your concurrence with SCDOT findings. Please respond within 30 days if you have any objections or if you have need of additional information.

Sincerely,

  
David P. Kelly  
NEPA Coordinator, RPG 4

DPK:dk

Enclosures: Cultural resources reports, aboveground survey forms, photographs

I (~~do not~~) concur in the above determinations.

Signed: Joseph E. Wilkinson Date: 7/16/19

cc: Shane Belcher, FHWA  
LeeAnne Wendt, Muscogee (Creek) Nation  
Brett Barnes, Eastern Shawnee

cc: Wenonah G. Haire, Catawba Nation THPO  
Keith Derting, SCIAA

Page 2-  
Brockington and Associates'  
1.) Cultural Resource Survey of the I-526 Corridor Improvements Project  
& 2.) Cultural Resource Survey of the I-526 Lowcountry Corridor West Project—Addendum Report,  
Charleston County, SCDOT PIN P027507







South Carolina  
Department of Transportation

May 27, 2020

Elizabeth Johnson  
Deputy State Historic Preservation Officer  
South Carolina Department of Archives & History  
8301 Parklane Road  
Columbia, South Carolina 29223-4905

Re: *Brockington and Associates' Cultural Resources Survey of the I-526 Lowcountry Corridor West Project, Charleston County, South Carolina—Addendum II Report. SCDOT PIN P027507*

Dear Ms. Johnson:

The SCDOT proposes to improve I-526 from SC Route (SC-) 461 (Paul Cantrell Boulevard) to the SC-61 Spur (Glenn McConnell Parkway). Improvements along I-26 extend from West Montague Avenue west to Remount Road. The project may include adding a travel lane in each direction along I-526; interchange improvements at Leeds Avenue, SC-642 (Dorchester Road), West Montague Avenue, International Boulevard, and Paul Cantrell Boulevard; and the system-to-system connections at Glenn McConnell Parkway, I-26, and Rivers Avenue.

Two prior survey reports addressing the eligibility of all resources within the project's Area of Potential effect (APE) have been reviewed by the South Carolina State Historic Preservation Office (SHPO) and their recommendations were concurred with in July, 2019. This Addendum II report addresses an area of additional right-of-way east of the I-526/I-26 that may be needed for drainage improvements relative to the project.

Cultural resources survey of the APE included background research, archaeological survey, and architectural survey. Archaeological survey identified one isolated artifact find (Isolate 1). Previous investigations identified one post-World War II neighborhood (7807) in the APE. During the current investigations one post-World War II neighborhood (8027) and six associated, individual architectural resources (8027.01-8027.06) were identified. These nine cultural resources are recommended not eligible for the National Register for Historic Places (NRHP).

In accordance with the memorandum of agreement approved by the Federal Highway Administration (FHWA), November 29, 2011, SCDOT is providing this information as agency official designee, as defined under 36 CFR 800.2, to ensure compliance with Section 106 of the National Historic Preservation Act

It is requested that you review the enclosed material and, if appropriate, indicate your concurrence with SCDOT findings. Please respond within 30 days if you have any objections or if you have need of additional information.

Sincerely,

*David P. Kelly*

David P. Kelly  
NEPA Coordinator RPG I/SCDOT Architectural Historian

DPK:dk

Enclosures: Cultural resources report, site forms, digital photographs

I ~~(do not)~~ concur in the above determination.

Signed:

*Elizabeth M. Johnson*

Date:

*5/27/2020*

cc:

Shane Belcher, FHWA  
LeeAnne Wendt, Muscogee (Creek) Nation  
Brett Barnes, Eastern Shawnee

cc:

Wenonah G. Haire, Catawba Nation THPO  
Keith Derting, SCIAA



Post Office Box 191  
955 Park Street  
Columbia, SC 29202-0191

www.scdot.org  
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855-GO-SCDOT (855-467-2368)

May 28, 2020

Elizabeth Johnson  
Deputy State Historic Preservation Officer  
South Carolina Department of Archives & History  
8301 Parklane Road  
Columbia, South Carolina 29223-4905

**Re: I-526 West Cultural Resources Effect Determination Memo, Charleston County, SCDOT  
PIN P027507**

Dear Ms. Johnson:

The SCDOT proposes to improve I-526 from SC Route (SC-) 461 (Paul Cantrell Boulevard) to the SC-61 Spur (Glenn McConnell Parkway). Improvements along I-26 extend from West Montague Avenue west to Remount Road. The project may include adding a travel lane in each direction along I-526; interchange improvements at Leeds Avenue, SC-642 (Dorchester Road), West Montague Avenue, International Boulevard, and Paul Cantrell Boulevard; and the system-to-system connections at Glenn McConnell Parkway, I-26, and Rivers Avenue. Interchange improvements along I-26 may include West Montague Avenue. Improvements are also to be evaluated along Paul Cantrell Boulevard from S- 10-1373 (Tobias Gadson Boulevard) to Charlie Hall Boulevard. This segment of Paul Cantrell Boulevard includes the intersection of S-10-1863 (Magwood Drive), which will be evaluated for a grade separation to accommodate future traffic volumes.

Three prior survey reports addressing the eligibility of all resources within the project's Area of Potential effect (APE) have been reviewed by the South Carolina State Historic Preservation Office (SHPO) and their recommendations were concurred with in July, 2019 and May, 2020 (see attached). The current memo addresses effect determinations relative to cultural resources within the APE. Four resources within the APE require effect determinations:

- Site 7916 (CMMC Phosphate Mining Complex)—recommended eligible for the National Register of Historic Places (NRHP) under Criterion A
- Ashley Hall Plantation—listed on the NRHP
- Anomaly 006-1—underwater with indeterminate NRHP status
- Site 7801 (Bethune Elementary School)—recommended eligible for the NRHP under Criteria A and C.

Site 7916 is the remnants of a large phosphate mining complex east of the Ashley River. Although the boundary area for this resource falls within the APE for the proposed I-526 West improvements, no eligible components of the complex are within the APE. Additionally, the resource boundary area already includes I-526 and other developed areas. The proposed improvements to I-526 will not alter the character, setting, or feel of this resource in such a way that would be detrimental to the resource or its NRHP eligibility. It is therefore recommended that the proposed project will have no adverse effect to site 7916.

Ashley Hall Plantation is a NRHP-listed property located on the west bank of the Ashley River south of the Westmoreland Bridges. Although the property is located approximately 0.75 mile outside the APE, the roadway and bridge over the Ashley River are in the property's viewshed. The attached *I-526 West Cultural Resources Effect Determination Memo* includes information on the dimensions for the proposed bridge improvements. The proposed improvements will result in the bridge's overall height remaining approximately the same as the existing bridge (44 feet). The proposed improvements will require the installation of lighting for navigation and to meet SCDOT urban interstate lighting requirements. It is recommended that, given the nature of the resource and the existing I-526 roadway and bridges within the resource's viewshed, the proposed improvements will have no adverse effect to Ashley Hall Plantation.

Anomaly 006-1 is a 100-foot diameter feature that could be associated with an early ferry vessel or bridge structure. This feature remains unassessed for eligibility but will be avoided by project activities. The following avoidance language will be added to project construction contracts:



*The Project Engineer shall delineate and label a 100 foot radius from the unknown underwater anomaly 006-1 on all plan sheets. This label shall include the following detail to Prime and Sub Contractors:*

*"Within a 100 foot radius from point XYZ Survey Coordinate (STA 123+00), the Contractor shall not place any permanent or temporary spud, anchoring device or other item that would impact the river bottom."*

*The protected area shall be noted in the environmental compliance inspection forms for the project and evaluated during each scheduled visit. If impacts to the river bottom are suspected, notification to the SCDOT's Environmental Services Office's Compliance office shall occur and additional investigations may be needed at the expense of the Contractor.*

With the above avoidance language included in project contracts, it is recommended that the proposed project will not affect Anomaly 006-1.

**Resource 7806** is the circa 1952 Bethune Elementary School, an equalization located at 5841 Rivers Avenue. The proposed undertaking will take place on a raised roadway approximately 300 feet from Resource 7806 with a building and vegetation providing a buffer that restricts the majority of the viewshed. Furthermore, the proposed undertaking will only take place on road level as improvements on the current roadway, which means the character, setting, and feel of Resource 7806 will not be compromised. It is therefore recommended that the proposed project will have no adverse effect to Resource 7806.

In sum, it is recommended that the proposed I-526 West improvements will have no adverse effect to historic resources. Although the resources listed above fall within the project APE, none are significantly affected or compromised by the proposed improvements. If the APE for the project changes, additional consultation with the South Carolina State Historic Preservation Office will be required.

In accordance with the memorandum of agreement approved by the Federal Highway Administration (FHWA), November 29, 2011, SCDOT is providing this information as agency official designee, as defined under 36 CFR 800.2, to ensure compliance with Section 106 of the National Historic Preservation Act

It is requested that you review the enclosed material and, if appropriate, indicate your concurrence with SCDOT findings. Please respond within 30 days if you have any objections or if you have need of additional information.

Sincerely,

*David P. Kelly*

David P. Kelly  
NEPA Coordinator RPG I/SCDOT Architectural Historian

DPK:dk

Enclosures: Cultural resources effect determination memo

I (~~do not~~) concur in the above determination.

Signed:

*Ephraim M. John* Date: 6/1/2020

cc: Shane Belcher, FHWA  
LeeAnne Wendt, Muscogee (Creek) Nation  
Brett Barnes, Eastern Shawnee

cc: Wenonah G. Haire, Catawba Nation THPO  
Keith Derting, SCIAA





June 18, 2019

Joseph E. Wilkinson  
Review Coordinator for Transportation Projects  
State Historic Preservation Office  
South Carolina Department of Archives & History  
8301 Parklane Road  
Columbia, South Carolina 29223-4905

RECEIVED

JUL 22 2019

Environmental Management  
SCDOT

JUN 20 2019  
2019-UB-20

Re: ***Brockington and Associates' 1.) Cultural Resource Survey of the I-526 Corridor Improvements Project & 2.) Cultural Resource Survey of the I-526 Lowcountry Corridor West Project—Addendum Report, Charleston County, SCDOT PIN P027507***

Dear Mr. Wilkinson:

The SCDOT proposes to improve I-526 from SC Route (SC-) 461 (Paul Cantrell Boulevard) to the SC-61 Spur (Glenn McConnell Parkway). Improvements along I-26 extend from West Montague Avenue west to Remount Road. The project may include adding a travel lane in each direction along I-526; interchange improvements at Leeds Avenue, SC-642 (Dorchester Road), West Montague Avenue, International Boulevard, and Paul Cantrell Boulevard; and the system-to-system connections at Glenn McConnell Parkway, I-26, and Rivers Avenue. Interchange improvements along I-26 may include West Montague Avenue. Improvements are also to be evaluated along Paul Cantrell Boulevard from S- 10-1373 (Tobias Gadson Boulevard) to Charlie Hall Boulevard. This segment of Paul Cantrell Boulevard includes the intersection of S-10-1863 (Magwood Drive), which will be evaluated for a grade separation to accommodate future traffic volumes.

The two cultural resources reports referenced above cover the full Area of Potential Effect (APE) for the proposed project. This correspondence addresses the combined results of those two reports and therefore the entirety of the project APE. The purpose of this correspondence is only to establish National Register of Historic Places (NRHP) eligibility for cultural resources documented as part of the subject surveys. Additional Section 106 coordination to determine project effects upon cultural resources will be initiated when a preferred alignment for the project is developed.

Archaeological investigations for the project revisited one (1) previously identified archaeological site (38CH17) and identified one new site (38CH2523). Neither of these sites is recommended eligible for the NRHP. Underwater archaeological survey was also conducted within the project APE, and two anomalies (006-1 and 010-1) were identified. Anomaly 006-1 is recommended eligible for the NRHP. Anomaly 010-1 is recommended as not eligible for the NRHP.

The historic architectural survey identified several survey-eligible neighborhoods, individual resources, and landscape features within the APE (refer to attached reports for specifics). Only one (1) aboveground resource identified in the studies (site 7806, Bethune Elementary) is recommended eligible for the NRHP. Other aboveground resources documented in the reports are recommended (or previously recommended) as NRHP-eligible but do not fall within the project APE as currently defined.



**Please provide your concurrence with or comment on the eligibility findings of the two subject reports.**

In accordance the memorandum of agreement approved by the Federal Highway Administration (FHWA), November 29, 2011, SCDOT is providing this information as agency official designee, as defined under 36 CFR 800.2, to ensure compliance with Section 106 of the National Historic Preservation Act.

It is requested that you review the enclosed material and, if appropriate, indicate your concurrence with SCDOT findings. Please respond within 30 days if you have any objections or if you have need of additional information.

Sincerely,



David P. Kelly  
NEPA Coordinator, RPG 4

DPK:dk

Enclosures: Cultural resources reports, aboveground survey forms, photographs

I (~~do not~~) concur in the above determinations.

Signed: Wenonah G. Haire, THPO Date: 6/26/19

cc: Shane Belcher, FHWA  
LeeAnne Wendt, Muscogee (Creek) Nation  
Brett Barnes, Eastern Shawnee

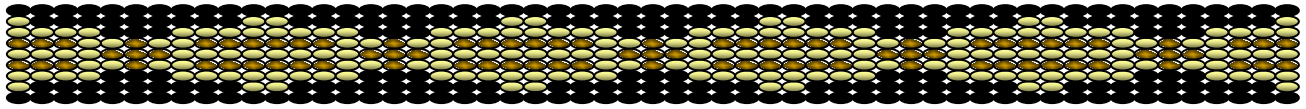
cc: Wenonah G. Haire, Catawba Nation THPO  
Keith Derting, SCIAA

Page 2-

Brockington and Associates'

1.) Cultural Resource Survey of the I-526 Corridor Improvements Project  
& 2.) Cultural Resource Survey of the I-526 Lowcountry Corridor West Project—Addendum Report,  
Charleston County, SCDOT PIN P027507





Catawba Indian Nation  
Tribal Historic Preservation Office  
1536 Tom Steven Road  
Rock Hill, South Carolina 29730

Office 803-328-2427  
Fax 803-328-5791

July 2, 2020

Attention: David P. Kelly  
SCDOT  
P.O. Box 191  
Columbia, SC 29202-0191

Re. THPO #	TCNS #	Project Description
2020-66-15		I-526 Lowcountry Corridor West Project, Charleston Co., SC Addendum II report

Dear Mr. Kelly,

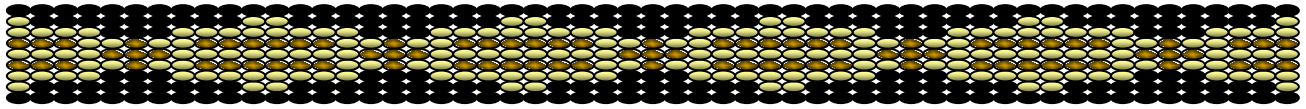
The Catawba have no immediate concerns with regard to traditional cultural properties, sacred sites or Native American archaeological sites within the boundaries of the proposed project areas. **However, the Catawba are to be notified if Native American artifacts and / or human remains are located during the ground disturbance phase of this project.**

If you have questions please contact Caitlin Rogers at 803-328-2427 ext. 226, or e-mail [Caitlin.Rogers@catawba.com](mailto:Caitlin.Rogers@catawba.com).

Sincerely,

Wenonah G. Haire  
Tribal Historic Preservation Officer





Catawba Indian Nation  
Tribal Historic Preservation Office  
1536 Tom Steven Road  
Rock Hill, South Carolina 29730

Office 803-328-2427  
Fax 803-328-5791

July 2, 2020

Attention: David P. Kelly  
SCDOT  
P.O. Box 191  
Columbia, SC 29202-0191

Re. THPO #	TCNS #	Project Description
2020-66-16		I-526 West Cultural Resources Effect Determination Memo, Charleston Co.

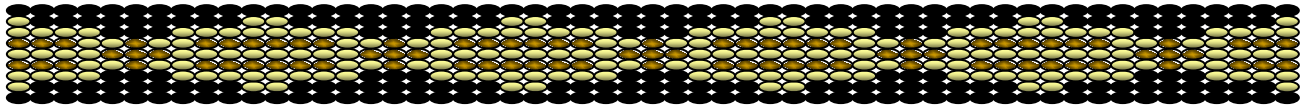
Dear Mr. Kelly,

The Catawba have no immediate concerns with regard to traditional cultural properties, sacred sites or Native American archaeological sites within the boundaries of the proposed project areas. **However, the Catawba are to be notified if Native American artifacts and / or human remains are located during the ground disturbance phase of this project.**

If you have questions please contact Caitlin Rogers at 803-328-2427 ext. 226, or e-mail [Caitlin.Rogers@catawba.com](mailto:Caitlin.Rogers@catawba.com).

Sincerely,

Wenonah G. Haire  
Tribal Historic Preservation Officer



Catawba Indian Nation  
Tribal Historic Preservation Office  
1536 Tom Steven Road  
Rock Hill, South Carolina 29730

Office 803-328-2427  
Fax 803-328-5791

August 25, 2020

Attention: Tracy Martin  
SCDOT  
P.O. Box 191  
Columbia, SC 29202

Re. THPO #	TCNS #	Project Description
2020-66-22		Partial Land Conversion on the Proposed I-526 West Lowcountry Corridor Improvements EIS in Charleston Co., SC

Dear Ms. Martin,

The Catawba have no immediate concerns with regard to traditional cultural properties, sacred sites or Native American archaeological sites within the boundaries of the proposed project areas. **However, the Catawba are to be notified if Native American artifacts and / or human remains are located during the ground disturbance phase of this project.**

If you have questions please contact Caitlin Rogers at 803-328-2427 ext. 226, or e-mail [Caitlin.Rogers@catawba.com](mailto:Caitlin.Rogers@catawba.com).

Sincerely,

Wenonah G. Haire  
Tribal Historic Preservation Officer



## **Appendix P.2**

# **Cultural Resources Survey**

**May 2019**



# Cultural Resources Survey of the I-526 Corridor Improvements Project

Charleston County, South Carolina



SCDOT PIN P027507

May 2019

# Cultural Resources Survey of the I-526 Corridor Improvements Project

Charleston County, South Carolina

SCDOT PIN P027507

Revised Draft Report

May 2019

Prepared for:  
Stantec  
North Charleston, South Carolina

and

South Carolina Department of Transportation  
Columbia, South Carolina

Compiled by:



David Baluha, RPA  
Principal Investigator

With Contributions from:  
Gordon Watts, Jr., Ph.D., RPA  
Underwater Archaeologist

Robin Arnold  
Historian

Rachel Bragg, M.H.P.  
Architectural Historian

Lannie Kittrell, M.H.P.  
Architectural Historian

Sheldon Owens, M.H.P.  
Architectural Historian

and

Josh Fletcher, RPA  
Archaeologist

**Brockington and Associates, Inc.**

Atlanta • Charleston • Jackson • Nashville • Savannah





# Abstract

From August 22 to September 7, 2016, and September 13 through 15, 2017, Brockington and Associates, Inc. (Brockington), conducted a cultural resources survey of the Interstate (I-) 526 Corridor Improvements Project in Charleston County, South Carolina. This work was conducted for Stantec Consulting Services, Incorporated (Stantec) and the South Carolina Department of Transportation (SCDOT) in advance of road construction activities in the project area. This survey provides compliance with federal regulations concerning the management of historic properties (sites, districts, buildings, structures, or objects listed on or eligible for the National Register of Historic Places [NRHP]) that may be affected through highway construction as per Section 4(f) of the United States Department of Transportation Act of 1966 as amended in 1983 (49 United States Code [USC] 303), the National Environmental Policy Act (NEPA) of 1969 (Public Law 91-190), and the National Historic Preservation Act (NHPA) of 1966 (54 USC 300101 et seq.), as amended through 1992.

The SCDOT proposes to improve I-526 from SC Route (SC-) 461 (Paul Cantrell Boulevard) to the SC-61 Spur (Glenn McConnell Parkway). Improvements along I-26 extend from West Montague Avenue west to Remount Road. The project may include adding a travel lane in each direction along I-526; interchange improvements at Leeds Avenue, SC-642 (Dorchester Road), West Montague Avenue, International Boulevard, and Paul Cantrell Boulevard; and the system-to-system connections at Glenn McConnell Parkway, I-26, and Rivers Avenue. Interchange improvements along I-26 may include West Montague Avenue. Improvements are also to be evaluated along Paul Cantrell Boulevard from S-10-1373 (Tobias Gadson Boulevard) to Charlie Hall Boulevard. This segment of Paul Cantrell Boulevard includes the intersection of S-10-1863 (Magwood Drive), which will be evaluated for a grade separation to accommodate future traffic volumes.

Cultural resources survey of the I-526 Corridor Improvements Project included background research, terrestrial archaeological survey, underwater archaeological survey, and architectural survey. During the terrestrial archaeological survey,

Brockington archaeologists identified one new archaeological site (38CH2523) and revisited one previously identified archaeological site (38CH17). We recommend 38CH2523 not eligible for the NRHP. Site 38CH17 was previously determined to be not eligible for the NRHP. No further management consideration of these resources is warranted. If current proposed road plans change, additional survey may be necessary.

During the underwater archaeological survey, Tidewater Atlantic Research (TAR) identified two anomalies (Anomalies 006-1 and 010-1). It is possible that Anomaly 006-1 could be associated with an early ferry vessel or bridge structure. TAR recommends avoidance of Anomaly 006-1 if possible. Ground-disturbance activities within a 100-foot buffer surrounding Anomaly 006-1 should be avoided. If these activities cannot be avoided, it is recommended underwater archaeological assessment of Anomaly 006-1 be conducted, including diver assessment of material at the site so that positive identification can be made, which will allow for a definitive NRHP assessment. Anomaly 010-1 likely represents modern debris and is recommended not eligible for the NRHP. No further management consideration of Anomaly 010-1 is warranted. If current proposed road plans change, additional survey may be necessary.

In the architectural survey universe, one mining complex (7916), one inland rice field (7940), eight post-World War II neighborhoods (7807-7813 and 7911), and 46 individual architectural resources have been identified. Resource 276 1936 is no longer extant. The eight post-World War II neighborhoods include Cameron Terrace (7807), Camps (7911), Charleston Farms (7808), Highland Terrace (7809), Liberty Park (7810), Oak Park West (7811), Russelldale (7812), and Wando Woods (7813). Current and previous investigations have recorded two individual resources associated with Cameron Terrace, six associated with Camps, two associated with Charleston Farms, three associated with Highland Terrace, 11 associated with Liberty Park, two associated with Oak Park West, 11 associated with Russelldale, and four associated with Wando Woods. We recommend these eight neighborhoods and

associated individual resources not eligible for the NRHP. These resources warrant no further management consideration.

Previous investigations identified two cultural landscape features (7916 and 7940) in the architectural survey universe. Baluha (2019) recommends Resource 7940, the remnants of an inland rice field, not eligible for the NRHP. Resource 7940 warrants no further management consideration. Baluha and Owens (2018) recommend Resource 7916 eligible for the NRHP. However, none of the elements of Resource 7916 that contribute to its NRHP-eligible recommendation are in the architectural survey universe. The proposed project will have no adverse effect on Resource 7916.

We recommend Resource 7806 (Bethune Elementary) eligible for the NRHP under Criteria A and C. The proposed undertaking will take place on a raised roadway approximately 300 feet from Resource 7806 with a building and vegetation providing a buffer that restricts the majority of the viewshed. Furthermore, the proposed undertaking will only take place on road level as improvements on the current roadway. Therefore, the proposed undertaking will not have an adverse effect on Resource 7806; no further management consideration of these resources is warranted.

Ashley Hall Plantation is an NRHP-listed property located on the west bank of the Ashley River south of the Westmoreland Bridges. Although the property is located outside the 0.25-mile study area buffer, the roadway and bridge over the Ashley River are in the property's viewshed. At present, there are no plans to change the height of the bridges. Thus, proposed construction activities associated with the I-526 Corridor Improvements Project will have no adverse effect on Ashley Hall Plantation. The SC-DOT should consult with the State Historic Preservation Office if and when plans change to make the bridges higher.

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# 1.0 Introduction and Methods of Investigation

## 1.1 Introduction

From August 22 to September 7, 2016 and September 13 through 15, 2017, Brockington and Associates, Inc. (Brockington), conducted a cultural resources survey of the Interstate (I-) 526 Corridor Improvements Project in Charleston County, South Carolina. This work was conducted for Stantec Consulting Services, Incorporated (Stantec) and the South Carolina Department of Transportation (SCDOT) in advance of road construction activities in the project area. This survey provides compliance with federal regulations concerning the management of historic properties (sites, districts, buildings, structures, or objects listed on or eligible for the National Register of Historic Places [NRHP]) that may be affected through highway construction as per Section 4(f) of the United States Department of Transportation Act of 1966 as amended in 1983 (49 United States Code [USC] 303), the National Environmental Policy Act (NEPA) of 1969 (Public Law 91-190), and the National Historic Preservation Act (NHPA) of 1966 (54 USC 300101 et seq.), as amended through 1992.

The SCDOT proposes to improve I-526 from Paul Cantrell Boulevard to Glenn McConnell Parkway. Improvements along I-26 extend from West Montague Avenue west to Remount Road. The project may include adding a travel lane in each direction along I-526; interchange improvements at Leeds Avenue, Dorchester Road, West Montague Avenue, International Boulevard, and Paul Cantrell Boulevard; and the system-to-system connections at Glenn McConnell Parkway, I-26, and Rivers Avenue. Interchange improvements along I-26 may include West Montague Avenue. Improvements are also to be evaluated along Paul Cantrell Boulevard from Tobias Gadson Boulevard to Charlie Hall Boulevard. This segment of Paul Cantrell Boulevard includes the intersection of Magwood Drive, which will be evaluated for a grade separation to accommodate future traffic volumes.

The archaeological survey universe is equivalent to the project study area and includes previously unsurveyed areas between the existing road rights-of-way (ROW) and the boundary of the project study area. The architectural survey universe generally ex-

tends 300 feet (ft) to either side of the project study area. Together, the archaeological and architectural survey universes represent the Area of Potential Effect (APE). Figure 1.1 presents the location of the I-526 Corridor Improvements Project. Figures 1.2 and 1.3 present the location of the project and all identified cultural resources (United States Geological Survey [USGS] 1979, 1980, 1999).

Cultural resources survey of the I-526 Corridor Improvements Project included background research, terrestrial archaeological survey, underwater archaeological survey, and architectural survey. During the terrestrial archaeological survey, Brockington archaeologists identified one new archaeological site (38CH2523) and revisited one previously identified archaeological site (38CH17). We recommend 38CH2523 not eligible for the NRHP. Site 38CH17 was previously determined to be not eligible for the NRHP. No further management consideration of these resources is warranted. If current proposed road plans change, additional survey may be necessary.

During the underwater archaeological survey, Tidewater Atlantic Research (TAR) identified two anomalies (Anomalies 006-1 and 010-1). It is possible that Anomaly 006-1 could be associated with an early ferry vessel or bridge structure. TAR recommends avoidance of Anomaly 006-1 if possible. Ground-disturbance activities within a 100-ft buffer surrounding Anomaly 006-1 should be avoided. If these activities cannot be avoided, it is recommended underwater archaeological assessment of Anomaly 006-1 be conducted, including diver assessment of material at the site so that positive identification can be made, which will allow for a definitive NRHP assessment. Anomaly 010-1 likely represents modern debris and is recommended not eligible for the NRHP. No further management consideration of Anomaly 010-1 is warranted. If current proposed road plans change, additional survey may be necessary.

In the architectural survey universe, one mining complex (7916), one inland rice field (7940), eight post-World War II neighborhoods (7807-7813 and 7911), and 46 individual architectural resources have been identified. Resource 276 1936 is no lon-







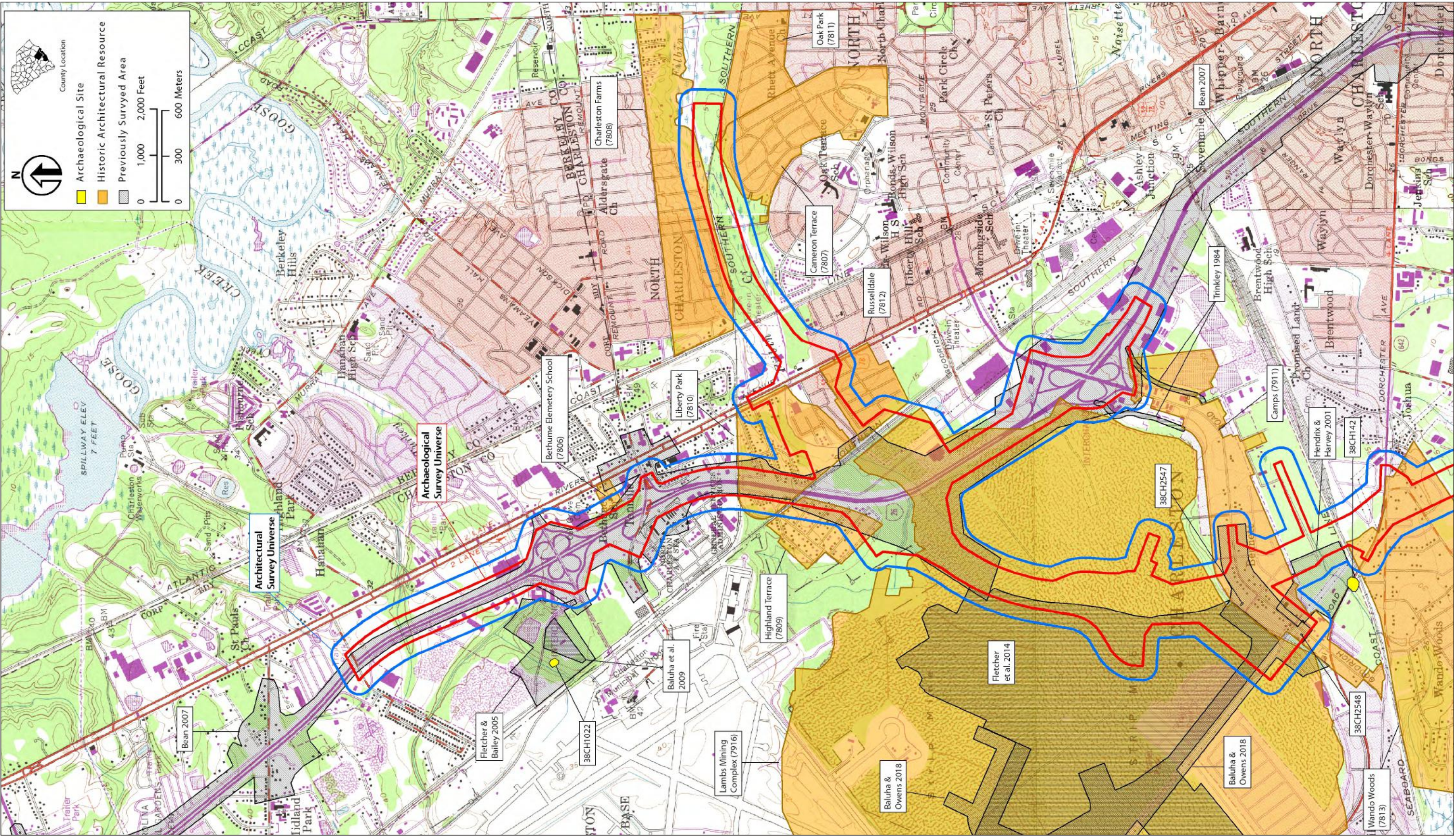
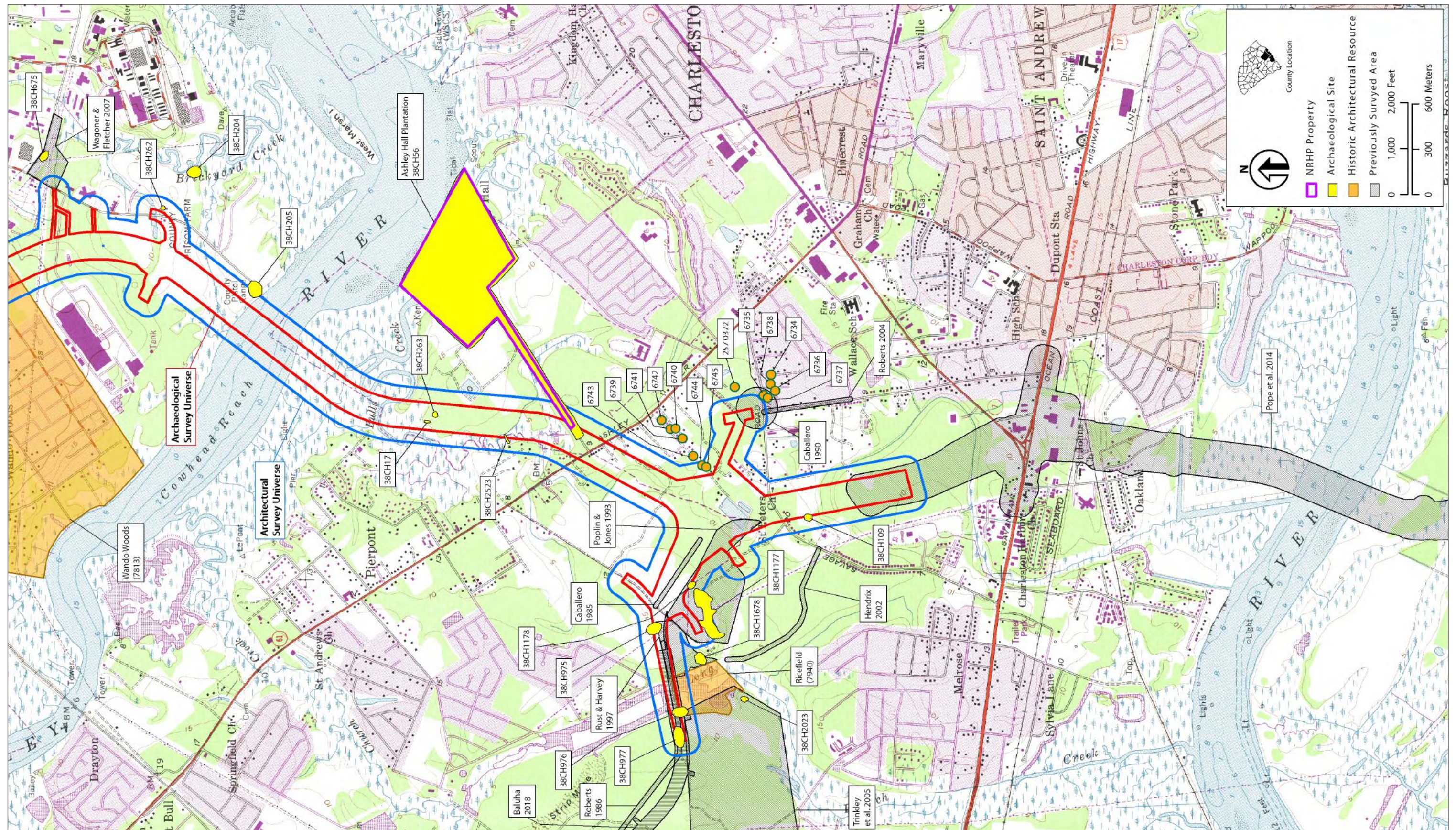


Figure 1.2 Location of the I-526 Corridor Improvements Project (northern portion) and all identified cultural resources (USGS 1979, 1980, 1999).







ger extant. The eight post-World War II neighborhoods include Cameron Terrace (7807), Camps (7911), Charleston Farms (7808), Highland Terrace (7809), Liberty Park (7810), Oak Park West (7811), Russelldale (7812), and Wando Woods (7813). Current and previous investigations have recorded two individual resources associated with Cameron Terrace, six associated with Camps, two associated with Charleston Farms, three associated with Highland Terrace, 11 associated with Liberty Park, two associated with Oak Park West, 11 associated with Russelldale, and four associated with Wando Woods. We recommend these eight neighborhoods and associated individual resources not eligible for the NRHP. These resources warrant no further management consideration. If current proposed road plans change, additional survey may be necessary.

Previous investigations identified two cultural landscape features (7916 and 7940) in the architectural survey universe. Baluha (2019) recommends Resource 7940, the remnants of an inland rice field, not eligible for the NRHP. Resource 7940 warrants no further management consideration. Baluha and Owens (2018) recommend Resource 7916 eligible for the NRHP. However, none of the elements of Resource 7916 that contribute to its NRHP-eligible recommendation are in the architectural survey universe. The proposed project will have no adverse effect on Resource 7916.

We recommend Resource 7806 (Bethune Elementary) eligible for the NRHP under Criteria A and C. The proposed undertaking will take place on a raised roadway approximately 300 ft from Resource 7806 with a building and vegetation providing a buffer that restricts the majority of the viewshed. Furthermore, the proposed undertaking will only take place on road level as improvements on the current roadway. Therefore, the proposed undertaking will not have an adverse effect on Resource 7806; no further management consideration of these resources is warranted.

Ashley Hall Plantation is a NRHP-listed property located on the west bank of the Ashley River south of the Westmoreland Bridges. Although the property is located outside the 0.25-mile study area buffer, the roadway and bridge over the Ashley River are in the property's viewshed. At present, there are no plans to change the height of the bridges. Thus,

proposed construction activities associated with the I-526 Corridor Improvements Project will have no adverse effect on Ashley Hall Plantation. The SCDOT should consult with the SHPO if and when plans change to make the bridges higher.

The remainder of Chapter 1 describes the methods employed during this survey. Chapter 2 presents the natural and cultural setting of the project area. Chapter 3 presents results of the archaeological survey. Chapter 4 presents the results of the architectural survey. Chapter 5 presents a summary of the project and the recommendations for the management of cultural resources within the project area. The artifact catalog, architectural survey forms, and Tidewater Atlantic Research's report are attached as Appendices A, B, and C, respectively.

## 1.2 Methods of Investigation

### 1.2.1 Project Objective

The objective of the investigations was to assess the potential for construction of the I-526 Corridor Improvements Project to affect potential cultural resources. Tasks performed to accomplish this objective include background research, archaeological and architectural field investigations, and the assessment of the NRHP eligibility of identified resources. Methods employed for each of these tasks are described below.

### 1.2.2 Background Research

We conducted background research at the South Carolina Institute of Archaeology and Anthropology (SCIAA) and online at ArchSite to locate any previously recorded archaeological resources or NRHP properties within or near the project. Background research resulted in the identification of a number of previously recorded cultural resources within 0.25 mile of the project; these are discussed in Chapter 2.

### 1.2.3 Archaeological Survey

Archaeological survey entailed the systematic examination of the project following South Carolina Standards and Guidelines for Archaeological Investigations (Council of South Carolina Professional Archaeologists [COSCAPA] et al. 2015). Archaeological survey was conducted August 23-26, 2016 and September 13-17, 2017. Investigators examined the archaeological survey universe through surface inspection and systematic shovel testing.

Investigators traversed pedestrian transects spaced 30 meters (m) apart and excavated shovel tests at 30-m intervals along each transect in undeveloped areas between the existing road's ROW and the edge of the study area. The Principal Investigator designated these areas as Areas A-N. Figure 1.4 presents the location of the project and shovel-tested areas (Areas A-N) on a recent aerial photograph. Most of these areas are wooded, and several of them are mostly or completely wetlands. Investigators revisited/identified two archaeological sites (Sites 38CH17 and 38CH2523) in Area G. Area K was not surveyed, as it was previously investigated by Poplin and Jones (1993). Each shovel test measured approximately 30-by-30 centimeters (cm) in diameter and was excavated into sterile subsoil (usually 40-60 cm below surface [cmbs]). The fill from these tests was sifted through ¼-inch mesh hardware cloth. Visual inspection was conducted in areas with good ground surface visibility. Information relating to each shovel test and soil profile was recorded in field notebooks. All shovel tests were backfilled upon completion.

Locales that produced artifacts from shovel testing or surface inspection were subjected to reduced-interval shovel testing. Investigators excavated additional shovel tests at 7.5- and 15-m intervals around positive tests until two consecutive shovel tests produced no artifacts or until natural features (i.e., edges of developed/highly disturbed areas) were encountered. An archaeological site is a locale that produces three or more contemporary artifacts within a 100-ft radius or an area with visible or historically recorded cultural features. Locales that produce fewer than three artifacts are isolated finds. A map showing the location of each shovel test, extent of surface scatters, and approximate site boundaries was prepared in the field for each site. Investigators used a sub-meter accurate Trimble TSCe Global Positioning System

(GPS) unit to record the locations of some key positive shovel tests/features. The Universal Transverse Mercator (UTM) coordinates obtained from the GPS readings were entered into the ArcView© software program. These coordinates were plotted on the digital USGS quadrangle for the project. Sufficient information was collected at Sites 38CH2523 and 38CH17 to complete a SCIAA site form and revisit site form, respectively; these forms were submitted to SCIAA at the completion of the fieldwork.

### 1.2.4 Architectural Survey

From July 26-September 7, 2016, the project Architectural Historian conducted an intensive architectural survey of all aboveground cultural resources within the architectural survey universe to take into account any possible visual effects of the proposed undertaking. The survey was designed to identify, record, and evaluate all historic architectural resources (buildings, structures, objects, designed landscapes, and/or sites with aboveground components) in the project area. Field survey methods complied with the Survey Manual: South Carolina Statewide Survey of Historic Properties (South Carolina Department of Archives and History [SCDAH] 2015, 2018) and National Register Bulletin 24, Guidelines for Local Surveys: A Basis for Preservation Planning (Parker 1985). In accordance with the scope of work and standard SCDAH survey practice, the project Architectural Historian drove every street and road in the architectural survey universe and conducted a pedestrian inspection of all potential historic architectural resources.

The principal criterion used by the SCDAH to define historic architectural resources is a 50-year minimum age; however, that rule does not always allow for the recordation of all historically significant resources. This could include resources related to the civil rights movement, the Cold War, or the development of tourism in South Carolina. In addition, certain other classes of architectural resources may be recorded (SCDAH 2015:9):

- Architectural resources representative of a particular style, form of craftsmanship, method of construction, or building type
- Properties associated with significant events or broad patterns in local, state, or national history





Figure 1.4 The location of the I-526 Corridor Improvements Project and shovel-tested areas (Areas A-N) on a modern aerial photograph.



- Properties that convey evidence of the community’s historical patterns of development
- Historic cemeteries and burial grounds
- Historic landscapes such as parks, gardens, and agricultural fields
- Properties that convey evidence of significant “recent past” history (i.e., civil rights movement, Cold War, etc.)
- Properties associated with the lives or activities of persons significant in local, state, or national history
- Sites where ruins, foundations, or remnants of historically significant structures are present

For a resource to be eligible for documentation, the Architectural Historian must determine that it retains some degree of integrity. According to the SCDAH (2015:10), a resource that has integrity “retains its historic appearance and character... [and] conveys a strong feeling of the period in history during which it achieved significance. Integrity is the composite of seven qualities: location, design, setting, materials, workmanship, feeling, and association. To have a reasonable degree of integrity, a property must possess at least several of these qualities.” Also, integrity is evaluated in the context of the local region. While in the field, the Architectural Historian evaluated the integrity of each identified historic architectural resource. Resources exhibiting poor integrity were not recorded.

All architectural resources in the project area were recorded on South Carolina Statewide Survey (SCSS) forms in digital format using the survey database (Microsoft Access 2016™). At least one digital photograph, preferably showing the main and side elevations, was taken of each resource. The location of each architectural resource was recorded on USGS topographic maps. The completed forms, including the various maps and photographs, were prepared for SCDAH for review. Photography for this project included digital images produced by methods demonstrated to meet the 75-year permanence standard required by the National Park Service (NPS) and the SCDAH (NPS 2013; SCDAH 2015:31).

#### 1.2.5 Laboratory Analysis and Curation

All recovered artifacts were transported to Brockington’s Mount Pleasant laboratory facility, where they were cleaned according to their material composition and fragility, sorted, and inventoried. Most artifacts were washed in warm water with a soft-bristled toothbrush. Artifacts that were fragile, had sooting, or were to be used for chemical analyses were not washed but left to air dry and, if needed, lightly brushed. Each separate archaeological context from within the site (surface collection, shovel test, or test unit) was assigned a specific provenience number. The artifacts from each provenience were separated by artifact type, using published artifact type descriptions from sources pertinent to the project area. Artifact types were assigned a separate catalog number, and artifacts were analyzed and quantity and weight were recorded. Certain artifacts such as faunal remains tend to decompose through time, resulting in the recovery of fragments whose counts exaggerate the original amount present; in this case, artifact weight is a more reliable tool for reconstructing past artifact density. All artifact analysis information was entered into a relational database (Microsoft Access 2016™).

Post-Contact artifact analysis was primarily based on observable stylistic and technological attributes. Artifacts were identified with the use of published analytical sources commonly used for this region. Post-Contact artifacts were identified by material (e.g., ceramic, glass, metal), type (e.g., creamware), color, decoration (e.g., transfer printed, slipped, etched, embossed), form (e.g., bowl, mug), method of manufacture (e.g., molded, wrought), production date range, and intended function (e.g., tableware, personal, clothing). The primary sources used were Noël Hume (1969), Nelson (1977), and the Charleston Museum’s type collection.

All artifacts were bagged in 4-mil-thick archivally stable polyethylene bags. Artifact types were bagged separately within each provenience and labeled using acid-free paper labels. Provenience bags were labeled with the site number, provenience number, and provenience information. Proveniences were separated by site and placed into appropriately labeled acid-free boxes. Artifacts are temporarily stored at Brockington’s Mount Pleasant office until they are ready for final curation. Upon



the completion and acceptance of the final report, the artifacts and all associated materials (artifact catalog, field notes, photographic materials, and maps) will be transferred to SCIAA for curation.

### 1.2.6 Assessing NRHP Eligibility

#### Overview

All cultural resources encountered were assessed as to their significance based on the criteria of the NRHP. As per 36 CFR 60.4, there are four broad evaluative criteria for determining the significance of a particular resource and its eligibility for the NRHP. Any resource (building, structure, site, object, or district) may be eligible for the NRHP that:

- A. is associated with events that have made a significant contribution to the broad pattern of history;
- B. is associated with the lives of persons significant in the past;
- C. embodies the distinctive characteristics of a type, period, or method of construction, or represents the work of a master, possesses high artistic value, or represents a significant and distinguishable entity whose components may lack individual distinction; or
- D. has yielded, or is likely to yield, information important to history or prehistory.

A resource may be eligible under one or more of these criteria. Criteria A, B, and C are most frequently applied to historic buildings, structures, objects, non-archaeological sites (e.g., battlefields, natural features, designed landscapes, or cemeteries), or districts. The eligibility of archaeological sites is most frequently considered with respect to Criterion D. Also, a general guide of 50 years of age is employed to define “historic” in the NRHP evaluation process. That is, all resources greater than 50 years of age may be considered. However, more recent resources may be considered if they display “exceptional” significance (Sherfy and Luce 1998).

#### Archaeological Sites and Architectural Resources

Following National Register Bulletin: How to Apply the National Register Criteria for Evaluation (Savage and Pope 1998), evaluation of any resource requires a twofold process. First, the resource must be associated with an important historical context. If this association is demonstrated, the integrity of the resource must be evaluated to ensure that it conveys the significance of its context. The applications of both of these steps are discussed in more detail below.

Determining the association of a resource with a historical context involves five steps (Savage and Pope 1998). First, the resource must be associated with a particular facet of local, regional (state), or national history. Secondly, one must determine the significance of the identified historical facet/context with respect to the resource under evaluation. A lack of Native American archaeological sites within a project area would preclude the use of contexts associated with the Pre-Contact use of a region.

The third step is to demonstrate the ability of a particular resource to illustrate the context. A resource should be a component of the locales and features created or used during the historical period in question. For example, early nineteenth-century farmhouses, the ruins of African American slave settlements from the 1820s, and/or field systems associated with particular antebellum plantations in the region would illustrate various aspects of the agricultural development of the region prior to the Civil War. Conversely, contemporary churches or road networks may have been used during this time period but do not reflect the agricultural practices suggested by the other kinds of resources.

The fourth step involves determining the specific association of a resource with aspects of the significant historical context. Savage and Pope (1998) define how one should consider a resource under each of the four criteria of significance. Under Criterion A, a property must have existed at the time that a particular event or pattern of events occurred, and activities associated with the event(s) must have occurred at the site. In addition, this association must be of a significant nature, not just a casual occurrence (Savage and Pope 1998). Under Criterion B, the resource must be associated with historically important individuals. Again, this association must relate to the period or events that convey histori-

cal significance to the individual, not just that this person was present at this locale (Savage and Pope 1998). Under Criterion C, a resource must possess physical features or traits that reflect a style, type, period, or method of construction; display high artistic value; or represent the work of a master (an individual whose work can be distinguished from others and possesses recognizable greatness) (Savage and Pope 1998). Under Criterion D, a resource must possess sources of information that can address specific important research questions (Savage and Pope 1998). These questions must generate information that is important in reconstructing or interpreting the past (Butler 1987; Townsend et al. 1993). For archaeological sites, recoverable data must be able to address specific research questions.

After a resource is associated with a specific significant historical context, one must determine which physical features of the resource reflect its significance. One should consider the types of resources that may be associated with the context, how these resources represent the theme, and which aspects of integrity apply to the resource in question (Savage and Pope 1998). As in the antebellum agriculture example given above, a variety of resources may reflect this context (farmhouses, ruins of slave settlements, field systems, etc.). One must demonstrate how these resources reflect the context. The farmhouses represent the residences of the principal landowners who were responsible for implementing the agricultural practices that drove the economy of the South Carolina area during the antebellum period. The slave settlements housed the workers who conducted the vast majority of the daily activities necessary to plant, harvest, process, and market crops.

Once the above steps are completed and the association with a historically significant context is demonstrated, one must consider the aspects of integrity applicable to a resource. Integrity is defined in seven aspects of a resource; one or more may be applicable depending on the nature of the resource under evaluation. These aspects are location, design, setting, materials, workmanship, feeling, and association (36 CFR 60.4; Savage and Pope 1998). If a resource does not possess integrity with respect to these aspects, it cannot adequately reflect or represent its associated historically significant context. Therefore, it cannot be eligible for the NRHP. To

be considered eligible under Criteria A and B, a resource must retain its essential physical characteristics that were present during the event(s) with which it is associated. Under Criterion C, a resource must retain enough of its physical characteristics to reflect the style, type, etc., or work of the artisan that it represents. Under Criterion D, a resource must be able to generate data that can address specific research questions that are important in reconstructing or interpreting the past.

### **Assessing Historic Inland Swamp and Tidal Rice Fields**

A portion of one former inland rice field was encountered in the architectural survey universe. Typically, historic rice fields, whether inland swamp or tidal rice, include several inter-connected cultural landscape features (e.g., canals, dams, ditches, and embankments). Rice fields and the individual cultural landscape features are assessed together for NRHP eligibility as part of an agricultural landscape based on criteria established by the State Historic Preservation Office ([SHPO] 2011). Rice fields may be eligible for the NRHP under Criteria A-D (see above). SHPO (2011: Appendix A) provides specific evaluative criteria for inland swamp and tidal rice fields, which are summarized in Table 1.1. After considering each of the four evaluation criteria, we assessed the overall integrity of the rice fields in our APE. A property's integrity is its ability to convey its significance under one or more of the evaluation criteria. Elements of resource integrity include location, design, setting, materials, workmanship, feeling, and association. If an agricultural resource such as a rice field retains sufficient integrity, an observer should be able to visualize how various elements of the individual rice field relate to each other and to other examples of rice fields across the region. Rice fields that are eligible for the NRHP generally are considered historic districts. These historic properties are considered aboveground resources and are assigned Statewide Survey numbers. In the past, these rice fields or their individual components have been recorded as archaeological sites.

Table 1.1 NRHP criteria for rice fields (after SHPO 2011).

Type	Evaluative Criteria	
Inland	1	Is there an identifiable plantation settlement, such as the plantation house, slave cabins, overseer's house, cemeteries, outbuildings, rice mills, rice barns, hunting lodges, or guest cottages near the rice field system or verifiable through research?
	2	Can the rice field system contribute to a further understanding of the plantation that contains the system, as well as the plantation's historical development through time?
	3	Can the rice system contribute to our understanding of rice planting technology?
	4	Is the rice system in a historic swamp or lowland wetland?
	5	Can the historic flow of water be identified?
	6	Are earthworks, canals, water control structures present?
	7	Can ALL of the following features be identified?
		a. Dams
		b. Facing ditches
		c. Facing embankments
	8	Does the rice system retain the closed character of a lowland swamp between higherlands?
	9	Is the rice system associated with a fresh water source?
Tidal	1	Is there an identifiable plantation settlement, such as the plantation house, slave cabins, overseer's house, cemeteries, outbuildings, rice mills, rice barns, hunting lodges, or guest cottages near the rice field system or verifiable through research?
	2	Can the rice field system contribute to a further understanding of the plantation that contains the system, as well as the plantation's historical development through time?
	3	Can the rice system contribute to our understanding of rice planting technology?
	4	Is the rice system adjacent to a tidal river?
	5	Can the historic flow of water be identified?
	6	Are earthworks, canals, water control structures present?
	7	Can ALL of the following features be identified?
		a. River dike
		b. Interior dike
		c. Canals
	8	Does the rice system retain a feeling of openness and fatness?
	9	Is the rice system associated with uplands?

### Assessing Post-World War II Neighborhoods

The APE encompasses portions of eight post-World War II neighborhoods. The SCDAAH (2018) summarizes background information on the development trends for these neighborhoods and the characteristics and styles often associated with individual buildings and whole neighborhoods. The SCDAAH (2018) suggests that post-war residences and neighborhoods should be evaluated under NRHP Criteria A, B, or C. Because of their abundance, individual buildings associated with post-World War II neighborhoods must retain a high degree of integrity. Fur-

thermore, neighborhoods/subdivisions comprising post-war houses should retain integrity as a group or district. Table 1.2 lists the evaluative criteria for post-World War II neighborhoods.

Table 1.2 Evaluative criteria for post-World War II neighborhoods (SCDAH 2018).

Neighborhoods	
1	Repetition of house type or style (many builders re-used similar plans throughout the neighborhood)
2	Community buildings (churches, schools, recreation centers, shopping areas) if part of the original plan/design
3	Majority of residences retain historic materials and design
4	Setting (lot size, building setback, streetscapes, parks, and landscape design)
Individual Residences	
1	Garage or carports originally attached to the building and not enclosed
2	Original windows and front door
3	Original siding/wall materials
4	Original metal porch posts or carport posts
5	Original chimney
6	No large scale additions, especially to the residence's front or side



## 2.0 Environmental and Cultural Overview

### 2.1 Environmental Setting

The I-526 Corridor Improvements Project is located in North Charleston, in the northern portion of Charleston County. The majority of the project corridor is located along I-526 and consists of widening and corridor improvements on I-526 from Rivers Avenue to Paul Cantrell Boulevard/Glenn McConnell Parkway. The portion of the project corridor along I-526 is located both to the north and south of the Ashley River. The northwest portion of the corridor includes a section along I-26, which will consist of improvements on I-26 from West Montague Avenue to Remount Road.

A large portion of the project corridor has been previously commercially and residentially developed. Vegetation varies widely along the project corridor. Wetlands areas contain typical wetlands vegetation, such as scrub palmettos and hardwoods. Commercially and residentially developed areas have generally been manicured with lawns, shrubs, and trees. Wooded areas are generally covered with a mix of mature pines and hardwoods with a moderate to dense understory of small hardwoods, vines, and briars. Figures 2.1 and 2.2 present typical views of the I-526 Corridor Improvements Project.

The project area lies on the Lower Coastal Plain of South Carolina. Despite the relative flatness of this physiographic zone, the Coastal Plain is not without geologic features. This zone consists of a series of terraces of relict dunes and beach sands deposited by periods of receding and advancing sea water caused by glacial activity in the northern hemisphere during the late Pleistocene epoch. Due to the changing sea levels of this time period, numerous former shorelines, terraces, beach ridges, and deltas were abandoned in what is now far inland (Kovacik and Winberry 1987). Generally, topography in the region consists of low ridges between the meandering channels of the many streams that drain the Lower Coastal Plain. The ridges consist of sandy and loamy soils, with more clayey soils and sediments occurring in the drainages, marshes, and swamps that border the streams.

Soils vary across the study area, and include Capers silty clay loam, Chipley loamy fine sand, Hockley loamy fine sand (0 to 2 percent slopes), Hockley

loamy fine sand (2 to 6 percent slopes), Lakeland sand (0 to 6 percent slopes), Mine pits and dumps, Quitman loamy sand, Rutlege loamy fine sand, St. Johns fine sand, Santee loam, Seewee complex, Stono fine sandy loam, Tidal marsh (soft), Wadmalaw fine sandy loam, Wagram loamy fine sand (0 to 6 percent slopes), Wicksburg loamy fine sand (0 to 6 percent slopes), and Yorges loamy fine sand.

Capers silty clay loam soils are very poorly drained soils formed on tidal flats (Miller 1971:8-9). Chipley loamy fine sand soils are moderately well drained to somewhat poorly drained, deep, and nearly level (Miller 1971:10). Hockley loamy fine sand (0 to 2 percent slopes) soils are moderately well-drained soils with a high water table (Miller 1971:16). Hockley loamy fine sand (2 to 6 percent slopes) soils are moderately well-drained soils (Miller 1971:16). Lakeland sand (0 to 6 percent slopes) soils are excessively drained soils (Miller 1971:17). Mine pits and dumps consist of “1) open pits that remain after phosphate rock, soil material, and sandy have been removed from the soil and 2) areas where soil material removed during mining operations have been dumped” (Miller 1971:19). In the project area, these soils were formed/deposited because of late nineteenth- to early twentieth-century phosphate mining. Quitman loamy sand soils are somewhat poorly drained soils (Miller 1971:23). Rutlege loamy fine sand soils are poorly to very poorly drained soils (Miller 1971:24). St. Johns fine sand soils are poorly drained soils (Miller 1971:25). Santee loam soils are very poorly drained soils (Miller 1971:26). Seewee complex soils are a complex of somewhat poorly to moderately well-drained sandy soils (Miller 1971:28). Stono fine sandy loam soils are very poorly drained, level soils (Miller 1971:28). Tidal marsh (soft) is a miscellaneous type occurring along tidal streams and rivers and on the coast (Miller 1971:28). Wadmalaw fine sandy loam soils are poorly drained, nearly level soils (Miller 1971:29). Wagram loamy fine sand (0 to 6 percent slopes) soils are well-drained soils (Miller 1971:30). Wicksburg loamy fine sand (0 to 6 percent slopes) soils are well-drained soils (Miller 1971:31). Yorges loamy fine sand soils are poorly drained, level and deep soils (Miller 1971:32).



Figure 2.1 Typical views of the I-526 Corridor Improvements Project: Area B, facing northeast (top); Area C, facing north (middle); Area E, facing north (bottom).





Figure 2.2 Typical views of the I-526 Corridor Improvements Project: Area D, facing north (top); Area L, facing east (middle); Area N, facing northeast (bottom).



The sandy to clay uplands of the project area represent Pleistocene coastal deposits; that is, they are remnants of barrier islands along the former shoreline similar to the modern barrier islands (e.g., Isle of Palms, Sullivan's Island) that lie to the east. The relict beach ridges and islands are defined as distinct "terraces" of the Coastal Plain (Kovacik and Winberry 1987). The soils beneath the project area are part of a much larger physiographic feature known as the Talbot terrace that comprises most of adjacent southern Berkeley County to the east (Long 1980:43-44; Miller 1971:74).

Similar processes have been examined in more detail for the more recent deposits that constitute the modern Sea Island provinces of South Carolina. As with earlier changes in sea level, the most recent fluctuations were related to the advance and retreat of the ice formations and glaciers of the northern hemisphere (Colquhoun 1969). Brooks et al. (1989) and Colquhoun and Brooks (1986) have documented the minor fluctuations that have occurred since the end of the last glacial period (circa 10,000–12,000 Before Present [BP]). These fluctuations greatly influenced the Pre-Contact utilization of the region and, to a lesser extent, its historic utilization.

Miller (1971) provides climatic data for Charleston County. The climate of this area is mild and temperate, with mild winters and long, hot, and humid summers. The average daily maximum temperature reaches a peak of 89°F in July and August, although average highs are in the 87°F range from May through September. A mean high of 61°F characterizes the coldest winter months, December and January. Average annual precipitation for Charleston County is about 4.1 ft, with most rain occurring in the summer months during thunderstorms; snowfall is very rare. The growing season averages 280 days. Partial droughts occur an average of once or twice every 10 years. Also, the climate is very supportive of agriculture. Prevailing winds are light and generally southerly in spring and summer and northerly in fall and winter, although hurricanes and other tropical storms occasionally sweep through the area, particularly in the late summer and early fall (Miller 1971:72-73).

### 2.1.1 Holocene Changes in the Environment

Profound changes in climate and dependent biophysical aspects of regional environments have been documented over the last 20,000 years (the time of potential human occupation of the Southeast). Major changes include a general warming trend, melting of the large ice sheets of the Wisconsin glaciation in northern North America, and the associated rise in sea level. This sea level rise was dramatic along the South Carolina coast (Brooks et al. 1989), with an increase of as much as 330 ft during the last 20,000 years. At least 10,000 years ago (the first documented presence of human groups in the region) the ocean was located 50 to 100 miles east of its present position. Unremarkable Coastal Plain flatwoods probably characterized the project area. Sea level rose steadily from that time until about 5,000 years ago, when the sea reached essentially modern levels. During the last 5,000 years, there has been a 400- to 500-year cycle of sea level fluctuations of about 6.5 ft (Brooks et al. 1989; Colquhoun et al. 1981). Figure 2.3 summarizes these more recent fluctuations in the region.

As sea level quickly rose to modern levels, it altered the gradients of major rivers and flooded near-coast river valleys, creating estuaries such as the Cooper-Ashley-Wando River mouth. These estuaries became great centers for saltwater and freshwater resources, and thus population centers for human groups. Such dramatic changes affected any human groups living in the region.

The general warming trend that led to the melting of glacial ice and the rise in sea level has also greatly affected vegetation communities in the Southeast. During the late Wisconsin glacial period, until about 12,000 years ago, boreal forest dominated by pine and spruce covered most of the Southeast. This forest changed from coniferous trees to deciduous trees by 10,000 years ago. The new deciduous forest was dominated by northern hardwoods such as beech, hemlock, and alder, with oak and hickory beginning to increase in number. With continuation of the general warming and drying trend, the oak and hickory came to dominate, along with southern species of pine. Oak and hickory appear from pollen data to have reached a peak at 5,000 to 7,000 years ago (Watts 1970, 1980; Whitehead 1965, 1973). Since then, the general climatic trend in the Southeast has been

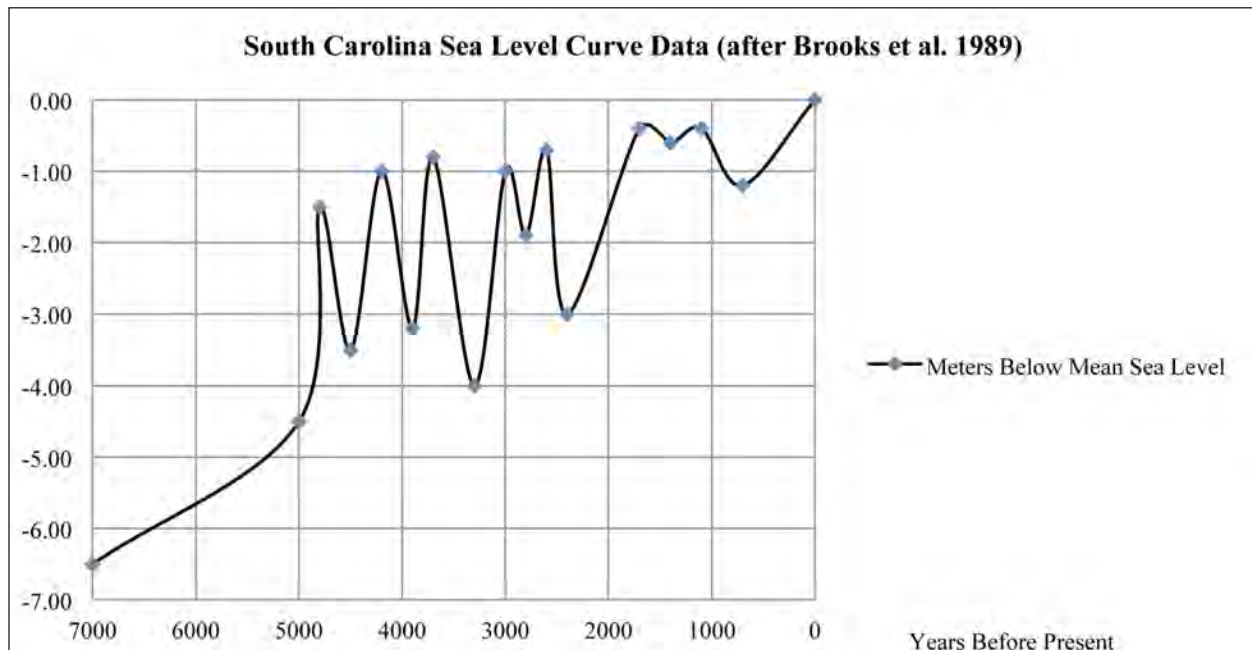


Figure 2.3 South Carolina sea level curve data (after Brooks et al. 1989).

toward cooler and moister conditions, and the present Southern Mixed Hardwood Forest as defined by Quarterman and Kever (1962) became established.

Faunal communities also changed dramatically during this time. Several large mammal species (e.g., mammoth, mastodon, horse, camel, giant sloth) became extinct at the end of the glacial period, approximately 10,000 to 12,000 years ago. Pre-Contact groups that had focused on hunting these large mammals adapted their strategy to exploitation of smaller mammals, primarily deer in the Southeast.

## 2.2 Cultural Setting

The cultural history of North America generally is divided into three eras: Pre-Contact, Contact, and Post-Contact. The Pre-Contact era refers primarily to the Native American groups and cultures that were present for at least 10,000 to 12,000 years prior to the arrival of Europeans. The Contact era refers to the time of exploration and initial European settlement on the continent. The Post-Contact era refers to the time after the establishment of European settlements, when Native American populations usually were in rapid decline. Within these eras, finer temporal and cultural subdivisions have been

defined to permit discussions of particular events and the lifeways of the peoples who inhabited North America at that time.

### 2.2.1 Pre-Contact Era

In South Carolina, the Pre-Contact era is divided into four stages (after Willey and Phillips 1958). These include the Lithic, Archaic, Woodland, and Mississippian. Specific technologies and strategies for procuring resources define each of these stages, with approximate temporal limits also in place. Within each stage, with the exception of the Lithic stage, there are temporal periods that are defined on technological bases as well. A brief description of each stage follows, including discussions of the temporal periods within each stage. Readers are directed to Goodyear and Hanson (1989) for more detailed discussions of particular aspects of these stages and periods in South Carolina.

#### The Lithic Stage

The beginning of the human occupation of North America is unclear. For most of the twentieth century, archaeologists believed that humans arrived on the continent near the end of the last Pleistocene glaciation, termed the Wisconsinan in North America,

a few centuries prior to 10,000 BC. The distinctive fluted projectile points and blade tool technology of the Paleoindians (described below) occurs throughout North America by this time. During the last few decades of the twentieth century, researchers began to encounter artifacts and deposits that predate the Paleoindian period at a number of sites in North and South America. To date, these sites are few in number. The most notable are Meadowcroft Rock Shelter in Pennsylvania (Adovasio et al. 1990; Carlisle and Adovasio 1982), Monte Verde in Chile (Dillehay 1989, 1997; Meltzer et al. 1997), Cactus Hill in Virginia (McAvoy and McAvoy 1997), and most recently, the Topper/Big Pine Tree site in Allendale County, South Carolina (Goodyear 1999). All of these sites contain artifacts in stratigraphic locales below Paleoindian deposits. Radiocarbon dates indicate occupations at the Meadowcroft and Topper/Big Pine Tree sites that are 10,000 to 20,000 years earlier than the earliest Paleoindian occupations. Cactus Hill produced evidence of a blade technology that predates Paleoindian sites by 2,000 to 3,000 years. Monte Verde produced radiocarbon dates comparable to those at North and South American Paleoindian sites but reflects a very different lithic technology than that evidenced at Paleoindian sites. Similarly, the lithic artifacts associated with the other pre-Paleoindian deposits discovered to date do not display the blade technology so evident during the succeeding period. Unfortunately, the numbers of artifacts recovered from these sites are too small at present to determine if they reflect a single technology or multiple approaches to lithic tool manufacture. Additional research at these and other sites will be necessary to determine how they relate to the better-known sites of the succeeding Paleoindian period and how these early sites reflect the peopling of North America and the New World.

**Paleoindian Period (10,000–8000 BC).** An identifiable human presence in the South Carolina Coastal Plain began about 12,000 years ago with the movement of Paleoindian hunter-gatherers into the region. Initially, the Paleoindian period is marked by the presence of distinctive fluted projectile points and other tools manufactured on stone blades. Excavations at sites throughout North America have produced datable remains that indicate that these types of stone tools were in use by about 10,000 BC.

Goodyear et al. (1989) review the evidence for the Paleoindian occupation of South Carolina. Based on the distribution of the distinctive fluted spear points, they see the major sources of highly workable lithic raw materials as the principal determinant of Paleoindian site location, with a concentration of sites at the Fall Line possibly indicating a subsistence strategy of seasonal relocation between the Piedmont and Coastal Plain. Based on data from many sites excavated in western North America, Paleoindian groups generally were nomadic, with subsistence focusing on the hunting of large mammals, specifically the now-extinct mammoth, horse, camel, and giant bison. In the east, Paleoindians apparently hunted smaller animals than their western counterparts, although extinct species (such as bison, caribou, and mastodon) were routinely exploited where present. Paleoindian groups were probably small, kin-based bands of 50 or fewer persons. As the environment changed at the end of the Wisconsinan glaciation, Paleoindian groups had to adapt to new forest conditions in the Southeast and throughout North America.

### **The Archaic Stage**

The Archaic stage represents the adaptation of southeastern Native Americans to Holocene environments. By 8000 BC the forests had changed from sub-boreal types common during the Paleoindian period to more modern types. The Archaic stage is divided into three temporal periods: Early, Middle, and Late. Distinctive projectile point types serve as markers for each of these periods. Hunting and gathering was the predominant subsistence mode throughout the Archaic periods, although incipient use of cultigens probably occurred by the Late Archaic period. Also, the terminal Archaic witnessed the introduction of a new technology, namely, the manufacture and use of pottery.

**Early Archaic Period (8000–6000 BC).** The Early Archaic corresponds to the adaptation of native groups to Holocene conditions. The environment in coastal South Carolina during this period was still colder and moister than at present, and an oak-hickory forest was establishing itself on the Coastal Plain (Watts 1970, 1980; Whitehead 1965, 1973). The megafauna of the Pleistocene became extinct



early in this period, and more typically modern woodland flora and fauna were established. The Early Archaic adaptation in the South Carolina Lower Coastal Plain is not clear, as Anderson and Logan (1981:13) report:

At the present, very little is known about Early Archaic site distribution, although there is some suggestion that sites tend to occur along river terraces, with a decrease in occurrence away from this zone.

Early Archaic finds in the Lower Coastal Plain are typically corner- or side-notched projectile points, determined to be Early Archaic through excavation of sites in other areas of the Southeast (Claggett and Cable 1982; Coe 1964). Generally, Early Archaic sites are small, indicating a high degree of mobility.

Archaic groups probably moved within a regular territory on a seasonal basis; exploitation of wild plant and animal resources was well planned and scheduled. Anderson and Hanson (1988) developed a settlement model for the Early Archaic period (8000–6000 BC) in South Carolina involving movement of relatively small groups (bands) on a seasonal basis within major river drainages. The Charleston region is located within the range of the Saluda/Broad band. Anderson and Hanson (1988) hypothesize that Early Archaic use of the Lower Coastal Plain was limited to seasonal (springtime) foraging camps and logistic camps. Aggregation camps and winter base camps are suggested to have been near the Fall Line.

**Middle and Pre-Ceramic Late Archaic Period (6000–2500 BC).** The trends initiated in the Early Archaic (i.e., increased population and adaptation to local environments) continued through the Middle Archaic and Pre-Ceramic Late Archaic. Climatically, the region was still warming, and an oak-hickory forest dominated the coast until after 3000 BC, when pines became more prevalent (Watts 1970, 1980). Stemmed projectile points and ground stone artifacts characterize this period, and sites increased in size and density through the period.

Blanton and Sassaman (1989) reviewed the archaeological literature on the Middle Archaic pe-

riod. They document an increased simplification of lithic technology during this period, with increased use of expedient, situational tools. Furthermore, they argue that the use of local lithic raw materials is characteristic of the Middle and Late Archaic periods. Blanton and Sassaman (1989:68) conclude that “the data at hand suggest that Middle Archaic populations resorted to a pattern of adaptive flexibility as a response to ‘mid-Holocene environmental conditions’ such as variable precipitation, sea level rise, and differential vegetational succession.” These processes resulted in changes in the types of resources available from year to year.

**Ceramic Late Archaic Period (2500–1000 BC).** By the end of the Late Archaic period, two developments occurred that changed human lifeways on the South Carolina Coastal Plain. Sea level rose to within one meter of present levels and the extensive estuaries now present were established (Colquhoun et al. 1981). These estuaries were a reliable source of shellfish, and the Ceramic Late Archaic period saw the first documented emphasis on shellfish exploitation. It was also during this time that the first pottery appeared on the South Carolina coast. In the project region, this pottery is represented by the fiber-tempered Stallings series and the sand-tempered or untempered Thom’s Creek series. Decorations include punctation, incising, finger pinching, and simple stamping. The ceramic sequence for the central coast of South Carolina is presented in Table 2.1.

The best-known Ceramic Late Archaic-period sites are shell rings, which occur frequently along tidal marshes. These are usually round or oval rings of shell and other artifacts, with a relatively sterile area in the center. Today, many of these rings are in tidal marsh waters. Some archaeologists have interpreted these sites as actual habitation loci adjacent to or within productive shellfish beds. More recent research suggests that these sites had some ceremonial function and represent monumental architecture along the southeast Atlantic seaboard (Saunders 2002). These sites attest to a high degree of sedentism, at least seasonally, by Ceramic Late Archaic peoples.

Table 2.1 Ceramic sequence for the central South Carolina coast.

Period/Era	Date	Ceramic Types
Contact	AD 1550-1715	Ashley Burnished Plain, Complicated Stamped, Cob Marked, Line Block Stamped
Late Mississippian	AD 1400-1550	Irene/Pee Dee Burnished Plain, Complicated Stamped, Incised
Early Mississippian	AD 1100-1400	Savannah/Jeremy Burnished Plain, Check Stamped, Complicated Stamped
Late Woodland	AD 900-1100	Wilmington Cord Marked
		Wando Check Stamped, Cord Marked, Fabric Impressed, Simple Stamped
		Santee Simple Stamped
		McClellanville Cord Marked, Fabric Impressed
		St. Catherine's Cord Marked, Fabric Impressed, Net Impressed
	AD 500-900	Wilmington Cord Marked, Fabric Impressed, Plain
		Wando Check Stamped, Cord Marked, Fabric Impressed, Simple Stamped
		McClellanville Cord Marked, Fabric Impressed
		Deptford Cord Marked, Fabric Impressed
		Cape Fear Cord Marked, Fabric Impressed, Plain
		Berkeley Cord Marked, Fabric Impressed, Plain
Middle Woodland	AD 200-500	Berkeley Check Stamped, Cord Marked, Fabric Impressed, Plain
		Cape Fear Cord Marked, Fabric Impressed, Plain
		Deptford Brushed, Check Stamped, Cord Marked, Fabric Impressed, Plain
		Wilmington Check Stamped, Cord Marked, Fabric Impressed, Plain
	200 BC-AD 200	Deptford Brushed, Check Stamped, Simple Stamped, Plain
Early Woodland	500-200 BC	Deptford Brushed, Check Stamped, Simple Stamped, Plain
	1500-500 BC	Refuge Dentate Stamped, Incised, Punctate, Simple Stamped, Plain
Ceramic Late Archaic	2500-1000 BC	Thom's Creek Drag and Jab Punctate, Finger Pinched, Incised, Simple Stamped, Plain
		Stallings Drag and Jab Punctate, Finger Pinched, Incised, Simple Stamped, Plain

### The Woodland Stage

The Woodland stage is marked by the widespread use of pottery, with many new and regionally diverse types appearing, and changes in the strategies and approaches to hunting and gathering. Native Americans appear to be living in smaller groups than during the preceding Ceramic Late Archaic period, but the overall population likely increased. The Woodland is divided into three temporal periods (Early, Middle, and Late), marked by distinctive pottery types. Also, there is an interval when Ceramic Late Archaic ceramic types and Early Woodland ceramic types were being manufactured at the same time, often on the same site (see Espenshade and Brockington 1989). It is unclear at present if these coeval types represent distinct individual populations, some of which continued to practice Archaic

lifeways, or technological concepts that lingered in some areas longer than in others.

**Early Woodland Period (1500 BC-AD 200).** In the Early Woodland period, the region was apparently an area of interaction between widespread ceramic decorative and manufacturing traditions. Paddle stamping dominated the decorative tradition to the south, and fabric impressing and cord marking dominated to the north and west (Blanton et al. 1986; Caldwell 1958; Espenshade and Brockington 1989).

The subsistence and settlement patterns of the Early Woodland period suggest population expansion and the movement of groups into areas minimally used in the earlier periods. Early and Middle Woodland sites are the most common on the South Carolina coast and generally consist of shell mid-

dens near tidal marshes, along with ceramic and lithic scatters in a variety of other environmental zones. It appears that group organization during this period was based on the semi-permanent occupation of shell midden sites, with the short-term use of interior coastal strand sites.

**Middle Woodland Period (200 BC–AD 500).** The extreme sea level fluctuations that marked the Ceramic Late Archaic and Early Woodland periods ceased during the Middle Woodland period. The Middle Woodland period began as sea level rose from a significant low stand at 300 BC, and for the majority of the period the sea level remained within one meter of current levels (Brooks et al. 1989). The comments of Brooks et al. (1989:95) are pertinent in describing the changes in settlement:

It is apparent that a generally rising sea level, and corresponding estuarine expansion, caused an increased dispersion of some resources (e.g., small inter-tidal oyster beds in the expanding tidal creek network...). This hypothesized change in the structure of the subsistence resource base may partially explain why these sites tend to be correspondingly smaller, more numerous, and more dispersed through time.

Survey and testing data from a number of sites in the region clearly indicate that Middle Woodland-period sites are the most frequently encountered throughout the region. These sites include small, single-house shell middens, larger shell middens, and a wide variety of shell-less sites of varying size and density in the interior. The present data from the region suggest seasonal mobility, with certain locations revisited on a regular basis (e.g., 38GE46 [Espenshade and Brockington 1989]). Subsistence remains indicate that oysters and estuarine fish were major faunal contributors, while hickory nut and acorn have been recovered from ethnobotanical samples (Drucker and Jackson 1984; Espenshade and Brockington 1989; Trinkley 1976, 1980).

The Middle Woodland period witnessed increased regional interaction and saw the incorporation of extralocal ceramic decorative modes into the established Deptford technological tradition. As Caldwell (1958) first suggested, the period appar-

ently saw the expansion and subsequent interaction of groups of different regional traditions (Espenshade 1986, 1990).

**Late Woodland Period (AD 500–1100).** The nature of Late Woodland adaptation in the region is unclear due to a general lack of excavations of Late Woodland components, but Trinkley (1989:84) offers this summary:

In many respects the South Carolina Late Woodland may be characterized as a continuation of previous Middle Woodland cultural assemblages. While outside the Carolinas there were major cultural changes, such as the continued development and elaboration of agriculture, the Carolina groups settled into a lifeway not appreciably different from that observed for the past 500 to 700 years.

The Late Woodland represents the most stable Pre-Contact period in terms of sea level change, with sea level for the entire period between 1.3 and 2.0 ft below the present high marsh surface (Brooks et al. 1989). It would be expected that this general stability in climate and sea level would result in a well-entrenched settlement pattern, but the data are not available to address this expectation. In fact, the interpretation of Late Woodland adaptations in the region has been somewhat hindered by past typological problems.

Overall, the Late Woodland is noteworthy for its lack of check-stamped pottery. However, recent investigations by Poplin et al. (2002) indicate that the limestone-tempered Wando series found along the Wando and Cooper Rivers near Charleston Harbor displays all of the Middle Woodland decorative elements, including check stamping, but appears to have been manufactured between AD 700 and 1000. Excavations at the Buck Hall site (38CH644) in the Francis Marion National Forest suggest that McClellanville and Santee ceramic types were employed between AD 500 and 900 and represent the dominant ceramic assemblages of this period (Poplin et al. 1993).

The sea level change at this time caused major shifts in settlement and subsistence patterns. The rising sea level and estuary expansion caused an



increase in the dispersal of resources such as oyster beds and a corresponding increase in the dispersal of sites. Semi-permanent shell midden sites continue to be common in this period, although overall site frequency appears to be lower than in the Early Woodland. Instead, there appears to be an increase in short-term occupations along the tidal marshes. Espenshade et al. (1994) state that at many of the sites postdating the Early Woodland period, the intact shell deposits appear to represent short-term activity areas rather than permanent or semi-permanent habitations.

### **The Mississippian Stage**

Approximately 1,000 years ago, Native American cultures in much of the Southeast began a marked shift away from the settlement and subsistence practices common during the Woodland periods. Some settlements became quite large, often incorporating temple mounds or plazas. The use of tropical cultigens (e.g., corn and beans) became more common. Hierarchical societies developed, and technological, decorative, and presumably religious ideas spread throughout the Southeast, supplanting what had been distinct regional traditions in many areas. In coastal South Carolina, the Mississippian stage is divided into two temporal periods, Early and Late. Previous sequences for the region separated Mississippian ceramic types into three periods (Early, Middle, and Late), following sequences developed in other portions of the Southeast. However, a simpler characterization of the technological advancements made from AD 1000 to 1500 appears more appropriate. During these centuries, the decorative techniques that characterize the Early Mississippian period slowly evolved without the appearance of distinctly new ceramic types until the Late Mississippian.

**Early Mississippian Period (AD 1100–1400).** In much of the Southeast, the Mississippian stage is marked by major mound ceremonialism, regional redistribution of goods, chiefdoms, and maize horticulture as a major subsistence activity. It is unclear how early and to what extent similar developments occurred in coastal South Carolina. The ethno-historic record, discussed in greater detail below, certainly indicates that seasonal villages and maize horticulture were present in the area, and that sig-

nificant mound centers were present in the interior Coastal Plain to the north and west (Anderson 1989; DePratter 1989; Ferguson 1971, 1975).

Distinct Mississippian ceramic phases are recognized for the region (Anderson 1989; Anderson et al. 1982). In coastal South Carolina, the Early Mississippian period is marked by the presence of Jeremy-phase (AD 1100–1400) ceramics, including Savannah Complicated Stamped, Savannah Check Stamped, and Mississippian Burnished Plain types. By the end of the Late Woodland period, cord-marked and fabric-impressed decorations are replaced by complicated stamped decorations. Anderson (1989:115) notes that “characteristically Mississippian complicated stamped ceramics do not appear until at least AD 1100, and probably not until as late as AD 1200, over much of the South Carolina area.” Poplin et al.’s (1993) excavations at the Buck Hall site (38CH644) produced radiocarbon dates around AD 1000 for complicated stamped ceramics similar to those of the Savannah series. This represents the earliest date for complicated stamped wares in the region and may indicate an earlier appearance of Mississippian types than previously assumed.

Sites of the period in the region include shell middens, sites with apparent multiple- and single-house shell middens, and oyster processing sites (e.g., 38CH644 [Poplin et al. 1993]). Adaptation during this period apparently saw a continuation of the generalized Woodland hunting-gathering-fishing economy, with perhaps a growing importance on horticulture and storable foodstuffs. Anderson (1989) suggests that environmental unpredictability premised the organization of hierarchical chiefdoms in the Southeast beginning in the Early Mississippian period; the redistribution of stored goods (i.e., tribute) probably played an important role in the Mississippian social system. Maize was recovered from a feature suggested to date to the Early Mississippian period from 38BK226, near St. Stephen (Anderson et al. 1982:346).

**Late Mississippian Period (AD 1400–1550).** During this period, the regional chiefdoms apparently realigned, shifting away from the Savannah River centers to those located in the Oconee River basin and the Wateree-Congaree basin. As in the Early Mississippian, the Charleston Harbor area apparently

lacked any mound centers, although a large Mississippian settlement was present on the Ashley River that may have been a “moundless” ceremonial center (South 2002). Regardless, it appears that the region was well removed from the core of Cofitachequi, the primary chiefdom to the interior (Anderson 1989; DePratter 1989). DePratter (1989:150) specifies:

The absence of 16th-century mound sites in the upper Santee River valley would seem to indicate that there were no large population centers there. Any attempt to extend the limits of Cofitachequi even farther south and southeast to the coast is pure speculation that goes counter to the sparse evidence available.

Pee Dee Incised and Complicated Stamped, Irene Incised and Complicated Stamped, and Mississippian Burnished Plain ceramics mark the Late Mississippian period. Simple-stamped, cord-marked, and check-stamped pottery apparently was not produced in this period.

### 2.2.2 Contact Era

The Europeans permanently settled the Carolina coast in 1670. The earlier Spanish attempts to settle at San Miguel de Gualdape (1526) to the north and at Santa Elena (1566–1587) to the south apparently had limited impact on the study area. The French attempt at Port Royal (1562) also had little impact. The establishment of Charles Towne by the British in 1670, however, sparked a period of intensive trade with the Indians of the region, and provided a base from which settlers quickly spread.

Indian groups encountered by the European explorers and settlers probably were living in a manner quite similar to the late Pre-Contact Mississippian groups identified in archaeological sites throughout the Southeast. Indeed, the highly structured Indian society of Cofitachequi, formerly located in central South Carolina and visited by De Soto in 1540, represents an excellent example of the Mississippian social organizations present throughout southeastern North America during the late Pre-Contact period (Anderson 1985). However, the initial European forays into the Southeast contributed to the disintegration and collapse of the aboriginal Mississippian social structures; disease, warfare, and European

slave raids all contributed to the rapid decline of the regional Indian populations during the sixteenth and seventeenth centuries (Dobyns 1983; Ramenofsky 1982; Smith 1984, 1987). By the late seventeenth century, Indian groups in coastal South Carolina apparently lived in small, politically and socially autonomous, semi-sedentary groups (Waddell 1980). By the middle eighteenth century, very few Indians remained in the region; all had been displaced or annihilated by the ever-expanding English colonial settlement of the Carolinas (Bull 1770 cited in Anderson and Logan 1981:24-25).

The ethnohistoric record from coastal South Carolina suggests that the Contact-era groups of the region followed a seasonal pattern that included summer aggregation in villages for planting and harvesting domesticates and dispersal into one- to three-family settlements for the remainder of the year (Rogel 1570 [in Waddell 1980:147-151]). This coastal Contact adaptation is apparently very similar to the Guale pattern of the Georgia coast, as reconstructed by Crook (1986:18). Specific accounts of the Contact groups of the region, the Sewee and the Santee, have been summarized by Waddell (1980). It appears that both groups included horticultural production within their seasonal round but did not have permanent, year-round villages. Trinkley (1981) suggests that a late variety of Pee Dee ceramics was produced by Sewee groups in the region; this late variety may correspond to the Ashley ware initially described by South (1973; see also Anderson et al. 1982).

Waddell (1980) identified 19 distinct groups between the mouth of the Santee River and the mouth of the Savannah River in the mid-sixteenth century. Anderson and Logan (1981:29) suggest that many of these groups probably were controlled by Cofitachequi, the dominant Mississippian center/polity in South Carolina, prior to its collapse. By the seventeenth century, all were independently organized. These groups included the Coosaw, Kiawah, Etiwan, and Sewee “tribes” around Charleston Harbor. The Coosaw inhabited the area to the north and west along the Ashley River. The Kiawah were apparently residing at Albemarle Point and along the lower reaches of the Ashley River in 1670 but gave their settlement to the English colonists and moved to Kiawah Island; in the early eighteenth century they moved south of the Combahee River

(Swanton 1952:96). The Etiwans were mainly settled on or near Daniel Island, but their range extended to the head of the Cooper River. The territory of the Sewee met the territory of the Etiwan high up the Cooper and extended to the north as far as the Santee River and into the Bulls Bay area (Orvin 1973:14). Mortier's map of Carolina, prepared in 1696, shows the Sampa Indians between the Cooper and Wando Rivers, to the northeast of Daniel Island, and the Wando Indians and Sewel [sic] Indian fort east of the Wando River, northeast of Daniel Island (Sanson 1696).

### 2.2.3 Post-Contact Era

#### Regional Overview

The Charleston region has a rich history, yet no comprehensive regional review has been produced. The following overview draws from the works of Edgar (1998), Fraser (1989), Gregorie (1961), Heitzler (2005, 2006), Rogers (1984), Stephens (1988), and others.

The establishment of Charles Towne by the British in 1670 sparked a period of intensive fur trade with the Indians of the region and provided a base from which settlers spread quickly north and south along the coast. Charles Towne was settled under the proprietary system and did not become a royal colony until 1719. The new colony was organized into three arbitrary counties: Berkeley, Colleton, and Granville. Figure 2.4 shows South Carolina's Proprietary Counties. Early economic development in

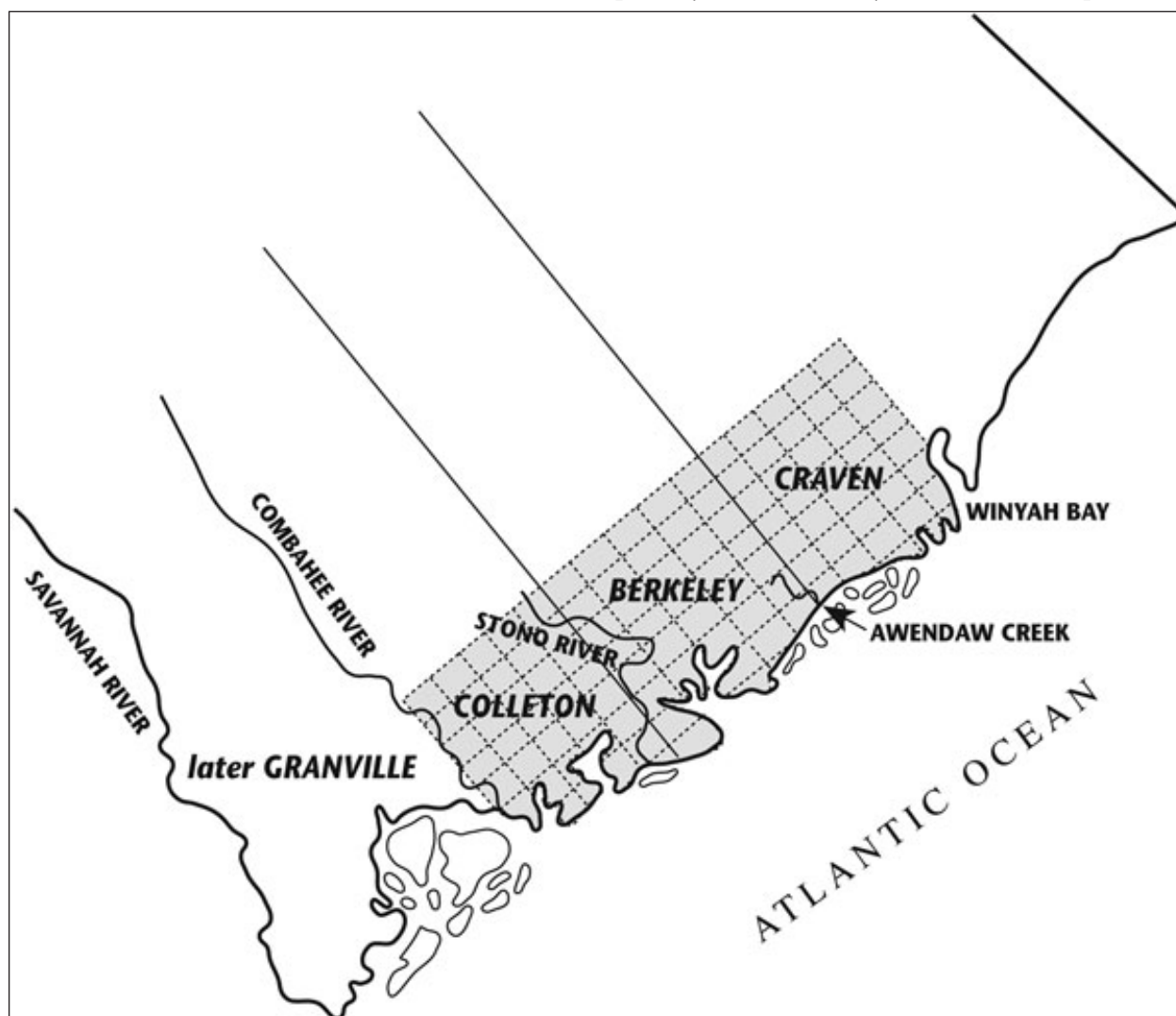


Figure 2.4 South Carolina's Proprietary Counties.



the region focused on Indian trade and naval stores production. Trade with the Indians was aggressively pursued through the beginning of the eighteenth century, but by 1716 conflicts with the Europeans, followed by disease, had drastically reduced or displaced the local native population. Trade with the native groups located farther inland continued until the end of the eighteenth century. Naval stores production also flourished for a short period with the encouragement of bounties provided by the crown. However, England failed to recognize the extensive supplies of the pinelands on the Carolina coastal strand, and the production of naval stores quickly surpassed demand (Rogers 1984). The ending of a bounty on South Carolina-produced supplies caused the production of naval stores to decline rapidly by the end of the 1720s.

The 1706 Church Act created St. Andrews Parish, where the current project corridor is located. St. Andrews Parish was a subdivision of Berkeley County throughout most of the colonial period. Figure 2.5 presents a map of St. Andrews Parish with the approximate location of the project area.

After 1720 the economy of South Carolina shifted to farming and stock husbandry. By that

time, planters were establishing their plantations well beyond the immediate Charles Towne area and expanding northwards to the Santee River and southwards to the Edisto River. By this date, rice accounted for half the colony's profits, and its importance continued to grow over the next 140 years. The introduction of indigo as a cash crop complemented rice in the middle to late eighteenth century. While rice production was restricted to the freshwater swamps and later to the river marshes, indigo grew best in well-drained upland soils. Cotton did not become an important crop in South Carolina until the last decade of the eighteenth century. Plantations along the Goose Creek watershed focused on the production of these crops.

Indigo was first grown in the colony in 1740, and its introduction to the colony is traditionally attributed to the Pinckney family. In 1744 the Pinckneys gave small quantities of the seed to many local planters, and, spurred by the successful cultivation efforts of Eliza Pinckney, indigo soon became a common and very profitable crop. Some planters were able to double their capital investment every three to four years. The volume of exports reached its peak in 1755, when 303,531 pounds of indigo

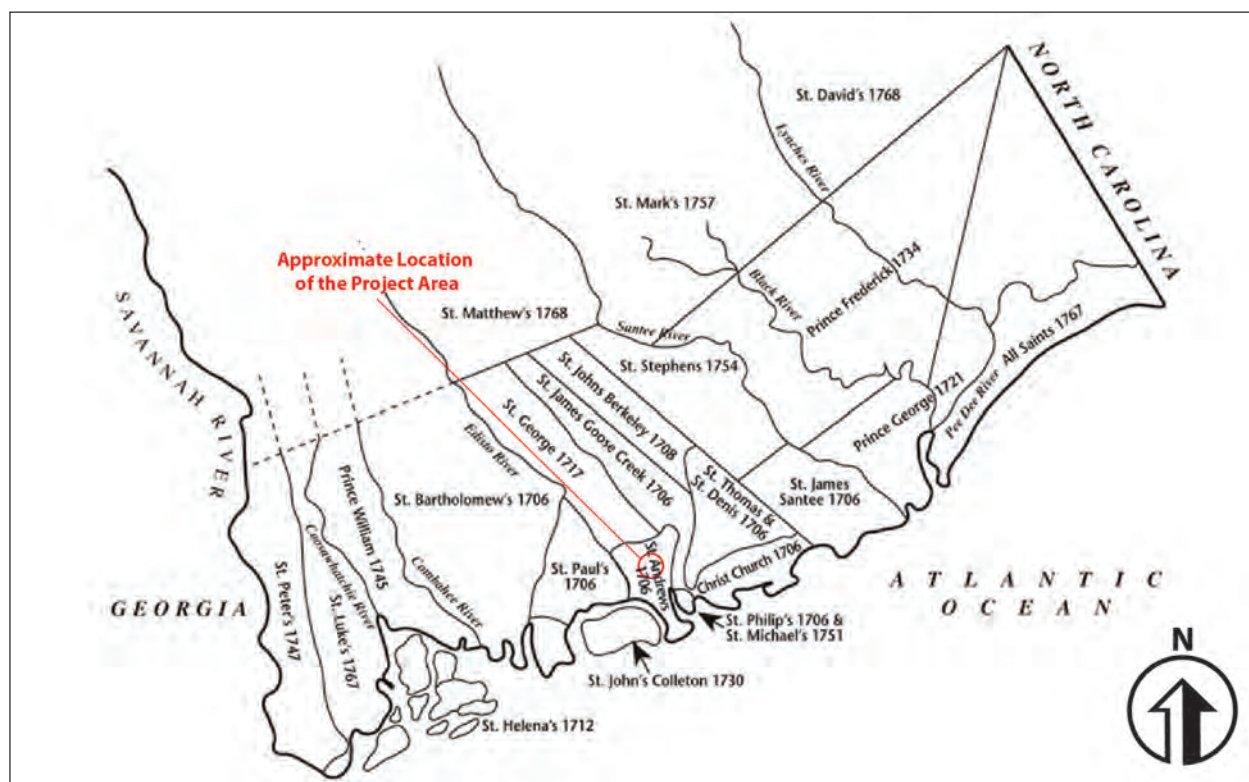


Figure 2.5 Approximate location of the project area inside St. Andrews Parish.

blocks were exported from Charleston. England was the major market for indigo grown and processed in South Carolina; however, the industry declined after the American Revolution (Pinckney 1976).

The plantation economy of the Lower Southern colonies came directly from the West Indies, where African slaves were employed on sugar plantations as well as in all aspects of the economy. South Carolina was no exception; from fieldworkers to artisans to ferryboat operators, slaves were present in all facets of public and private life. With the settlement of the study area, African slaves initially participated in ranching and naval stores production, and later built the infrastructure for inland rice. Across the Lowcountry, the development of the plantation culture greatly influenced the lives of African Americans. Many archaeological and historical studies have examined slave settlements on Lowcountry plantations. Rather than portraying slaves as victims of the economic system, several historians have examined the social and cultural institutions and material culture that slaves produced and that were integrated into the white culture (Joyner 1984; Vlach 1993). These range from African- and Caribbean-influenced architecture on the plantations, to the development of Christian denominations, to the introduction of foodways, to the African influence on the development of rice production.

Rice and cotton agriculture continued to drive the economy of St. James Goose Creek Parish during the first half of the nineteenth century. These crops were grown primarily on large plantations worked by slave labor. This mode of production continued until the Civil War (1861–1865). Emancipation of the slaves and the dissection and redistribution of some plantations at the end of the war effectively destroyed the plantation system of production. After the war, large-scale agriculture became more expensive and many large plantations fell into disrepair. Laborers left the large plantations to take jobs in the state's growing textile industry in the Piedmont or in the phosphate mines along the coast. Many landowners continued to farm on a smaller scale, and forest products again became important economically.

In the 1870s, technological advancements coupled with the discovery of unique geological strata in the Coastal Plain ushered the phosphate industry into the Lowcountry of South Carolina.

The extraction of phosphates and manufacture of inexpensive plant fertilizers that could be sold to both domestic and foreign markets presented new economic potential for the region, offering jobs and an important commodity for farmers. Newly-freed African Americans who were seeking employment as wage laborers found work in the mines and in the fertilizer production facilities. The demand for low-skilled laborers skyrocketed as the new industry grew. Some Charlestonians were hopeful that a new industry meant that Charleston would flourish once again, but most were skeptical and suspicious, and less than eager to support the change. Northern-backed financing and Reconstruction-era government combined to overcome doubtful Charlestonians and initiated industrialization in the South Carolina Lowcountry. As the profit margin for the new industry quickly grew, local entrepreneurs cautiously began to follow suit and invest. Quickly, industrialization in the region began to take its toll on the landscape, and many of the fears of local Charlestonians became realized. Industrialization ravaged the once winsome local landscape of the Lowcountry. Where beautiful antebellum plantation homes had dotted the banks of local rivers such as the Ashley and Cooper, the late nineteenth-century mining industry ushered in the obtrusive sight of industrial barges, wharves, fertilizer mills, phosphate drying sheds, and smoke stacks. The riverbanks of the Lowcountry literally were gutted and carted off piecemeal as companies dug ruthlessly for their precious crude phosphates to sell (Shick and Doyle 1985; Shuler and Bailey 2004; Trinkley 2006).

Despite the economic promise that phosphate mining may have held for the Lowcountry, the fertilizer industry soon collapsed. By the 1890s, the mining and production of superphosphates in South Carolina had begun to decline as more productive fields were located in Florida and Tennessee. By the time the *Charleston News and Courier* published a lengthy report on the industry in the state in April 1904 (Chazal 1904), peak production had been reached. Most local production had ceased by the 1920s, although some fertilizer mills operated in the area until after World War II.

The importance of this period in Charleston's history is readily apparent today in the form of large phosphate pits and the ridged, corduroy look of the

terrain, mottled soils, and heavily disturbed archaeological and historic sites. Street names like Ashley Phosphate Road and Lambs Road within Charleston County hint at an insufficiently associated story of the area's past. The destruction of the natural environment and historic sites, pollution of the soils and rivers caused by runoff from the fertilizer mills, the unglamorous fertilizer industry, the abandoned industrial complexes, and the failure of the industry to leave a strong financial legacy produced little local interest in the area's phosphate industry period until recent years.

A general shift in mining operations from South Carolina to more lucrative fields in Tennessee and Florida was occurring by 1900. By the early 1920s, nearly all of the mining operations in South Carolina had ceased. One of the last was Charleston Mining and Manufacturing Company (CMMC), which managed to buy out a number of other businesses before they too were forced to close their mining operations. By 1928, most of the former phosphate mining fields in coastal South Carolina were purchased by timber companies, such as West Virginia Pulp and Paper Company in Charleston, or had been acquired by Virginia-Carolina Company (Shick and Doyle 1985:27-28). Several fertilizer factories, especially in the Neck area of Charleston, operated until after World War II. Virginia-Carolina Company, which bought a number of the smaller phosphate mining companies in the early 1900s, ultimately acquired the remaining lands and operations of CMMC. By doing so, they controlled the last of the fertilizer factories in the Lowcountry.

Phosphate mining and fertilizer production in the Lowcountry was devastating to the natural and cultural environment. The strip mining method of extracting the phosphate tore the topsoil off the land and piled it in large berms, some as tall as 15 feet high (Amrhine 1974:1E). The phosphate layer exposed was dug by hand or steam shovel and carted off by rail cars pulled by mules or steam engines. The stripped look of the land was barren with its ridged, corduroy, appearance and rows of earthen berms and ditched canals approximately 20 ft wide covering wide parts of the region. Since the topsoil was not removed from the berms, trees usually repopulated the mined areas but farming or ranching mined areas was difficult since the berms had to be

knocked down and the land leveled. Most owners simply left the phosphate mining remains alone due to the high cost of improving the land. Until post-World War II development in rural parts of the Charleston region, evidence of the phosphate mines dominated sections of the landscape, particularly along SC 61, along the Cooper, Ashley and Edisto Rivers, and near the Charleston Airport (Amrhine 1974:1E). In recent decades, developers have filled in many of these areas and converted the land for residential and commercial use.

Early in the 1910s and more rapidly after the end of World War I in 1918, the American fascination with flying quickly expanded. By the mid-1920s, nearly every major American city had a municipal airfield, and Charles Lindbergh's epic trans-Atlantic flight in 1927 brought even more attention to the growing aviation industry. By the end of the decade, a national passenger system between larger cities was developing. In 1928, Charleston Mayor Thomas F. Stoney convinced the city council to close a small airfield on James Island and lease a larger tract owned by CMMC near Ten Mile Hill, north of Charleston, to develop a larger municipal airport. That November, the city leased 782 acres of the land and the next year created a Board of Governors for the new Charleston Municipal Airport (City of Charleston Meeting Minutes, November 13, 1928, and October 8, 1929). The official opening was August 10, 1929, and coincided with the opening of the new Cooper River Bridge linking Charleston and Mt. Pleasant.

By 1930, the City had installed refueling and hanger facilities at the airport and despite the deepening national depression was seeing a steady stream of "Tri-motor Twelve passenger planes" landing and taking off at the sod field (City of Charleston 1929:2). The year 1931 was an eventful year for air transportation in Charleston. That year, the city contracted with Dixie Air Transport Inc., to manage the new airport facilities and entertained the first north-south flight operations from Eastern Air Transport (later Eastern Airlines). In March 1931, the Charleston Airport Corporation floated enough bonds to buy 438 acres of the leased land from CMMC, and in December turned on the lights at the field (City of Charleston Meeting Minutes, January 27, 1931; City of Charleston 1947:1-2). In 1934, Delta Airlines



established service to Charleston and the sod field was asphalted. That same year, the Charleston Airport Corporation that had purchased the field using \$60,000 in bonds conveyed the airport to the City (City of Charleston 1947:2).

During World War II, the airport came under control of the US Army Air Corps and became Charleston Army Air Base. During these years, the US Army Corps of Engineers acquired additional lands, expanded two runways, and built dozens of hangers, shops, buildings, barracks and other air-related facilities at a cost of some \$7,000,000 (City of Charleston 1947:2-3). Only two years after the war ended in 1947, the city obtained the bulk of the expanded field from the US Army Corps of Engineers and began construction of a new terminal on the eastern end of the field near the State Highway (Rivers Avenue). The new terminal was completed in 1947 at a cost of \$500,000.00. In 1953, the US Air Force, who kept part of the airfield open as the Charleston Army Air Base, converted the military portion of the airfield into the Charleston Air Force Base.

As jets replaced propeller-driven airplanes and the field was expanded to accommodate them, the city acquired more lands around the airport. In 1977, as part of his progressive approach to improving Charleston, Mayor Joseph Riley advanced the idea of developing a more modern terminal on the west side of the airport. In 1970, the state authorized the Charleston County Aviation Authority to manage all the public airports in Charleston County, and in 1979 the authority took control of the Charleston Municipal Airport. In that same year they began expansion of the now Charleston International Airport. The city was poised for growth, especially with post-war tourism and with companies like Alumax and Robert Bosch locating in the metropolitan area. The plan took six years to fulfill, but in April 1985, the county opened an entirely new airport terminal complex and parking area (Charleston International Airport n.d.). As part of the project, a new entrance to the airport (International Boulevard) was also created. Michaux Parkway from Dorchester Road added an additional entry point to the complex.

The entrance partly followed the old CMMC tram road from the Lambs factory. Residential development by that time had grown around the base in all directions. In 2004, two companies, Vought

Aircraft Industries and Global Alenia LLC, formed a joint venture and began construction of a large facility west of the current study area to build parts supporting Boeing's 787 Dreamliner program (The Boeing Corporation n.d.). Between June 2008 and July 2009, Boeing acquired the two companies and created Boeing Charleston (later Boeing South Carolina), breaking ground in November 2009 for a new 1.2 million square-foot final assembly and delivery line addition to the company facility near the Charleston International Airport. In 2012, the first Dreamliner came off the assembly line in Charleston. In 2010, the company also designated the South Carolina facility as its choice for supplying interior parts to the final assembly line from a facility constructed in Palmetto Commerce Park in Ladson, and in 2013 announced that it would construct an IT Center of Excellence and an Engineering Design Center at the Charleston facility (The Boeing Corporation n.d.).

#### 2.2.4 Previous Cultural Resources Investigations Near the I-526 Corridor Improvements Project

We examined the state archaeological site files at SCIAA and the NRHP listings on ArchSite for previously recorded archaeological sites, historic properties, and previous investigations within 0.5 mile of the proposed I-526 Corridor Improvements Project. Several cultural resource investigations have occurred within 0.5 mile of the project. These include House and Goodyear (1975), Carrillo (1980), Hartley (1984), Trinkley (1984), Caballero (1985, 1990), Roberts (1986, 2004), Fick (1995), Fick et al. (1992), Poplin and Jones (1993), Rust and Harvey (1997), Hendrix and Harvey (2001), Hendrix (2002), Roberts (2004), Fletcher and Bailey (2005), Trinkley et al. (2005), Bean (2007), Wagoner and Fletcher (2007), Baluha et al. (2009), Pope et al. (2014), Fletcher et al. (2014), Reed et al. (2016), Baluha (2019), and Baluha and Owens (2018). Previous investigations identified several archaeological sites and architectural resources within 0.5 mile of the project (see Figures 1.2 and 1.3). Previous cultural resource investigations and previously recorded cultural resources are summarized below.

### **Archaeological Survey of a Portion of the Charleston Innerbelt Freeway (House and Goodyear 1975)**

In 1975, the SCIAA conducted an archaeological survey of a portion of the Charleston Innerbelt Freeway (House and Goodyear 1975), resulting in the identification/revisit of several archaeological sites (Sites 38CH17, 38CH263, and 38CH109) within 0.25 mile of the I-526 Corridor Improvements Project. Site 38CH17 was originally documented in 1972 by Mr. A. Robert Parler, Jr. (Parler 1972). Site 38CH17 is a brick kiln site associated with the early eighteenth-century Ashley Hall Plantation (House and Goodyear 1975:7). Site 38CH17 is not included in the 38 acres of Ashley Hall Plantation listed in the NRHP. Site 38CH263 consisted "...of a group of large borrow pits attributed to the extraction of clay during colonial times for the manufacture of bricks at the nearby brick kiln of the Ashley Hall Plantation (38CH17)" (House and Goodyear 1975:14). House and Goodyear (1975:22) recommended Sites 38CH17 and 38CH263 not eligible for the NRHP. Site 38CH17 was largely destroyed during the construction of the existing I-526, but a portion of the site exists to the west of I-526 and was revisited during the current investigations (see Chapter 3). Site 38CH263 was completely destroyed during the construction of the existing I-526. Site 38CH109, also known as the Kinlock Site, is the remnants of eighteenth-century Green Grove Plantation. Because of the proposed construction of the Mark Clark Expressway (I-526), SCIAA contracted with archaeologist Richard Carrillo (see below) to conduct historical and archaeological research relative to the site.

### **Archaeological and Historical Research at the Kinlock Site (38CH109) (Carrillo 1980)**

According to Carrillo (1980:26):

The archaeological excavations of the Kinlock Site were initially conducted within the highway right-of-way, designated Area I, during the months of October and November 1978...The second phase was undertaken for a period of two-weeks during March and April 1978 in an area west of and adjacent to the proposed Expressway, defined for the purposes of this study as Area II.

Carrillo (1980) identified the remnants of several structures associated with eighteenth-century Green Grove Plantation. Historic and archaeological research indicated that the structures were destroyed in 1782 by the British Army during its retreat to Charleston. Carrillo's (1980) investigations effectively mitigated the impending destruction of the site by the construction of I-526. An inspection of ArchSite shows the mapped location of 38CH109 as being within a pond to the west of I-526.

### **The Ashley River: A Survey of Seventeenth Century Sites (Hartley 1984)**

In 1984, the SCIAA conducted a search for seventeenth-century sites located along the Ashley River, largely based on the presence of settlements on historic maps (Hartley 1984). A 1685 map shows a "Bar Bull" house in the recorded location of 38CH205. Hartley (1984:82) was unable to locate any cultural material in the mapped location of the house, but noted that "Mark Clark Expressway is believed to be west of the site, therefore not impacting on the archeological remains." Hartley (1984) also revisited previously recorded 38CH262, which consists of a scatter of brick and late seventeenth- to early eighteenth-century artifacts. Based on a review of a modern aerial photograph, the recorded location of 38CH262 has been completely developed.

### **Archaeological Survey of I-26/S-62 Frontage Roads Project (Trinkley 1984)**

In 1984, the SCDOT conducted an archaeological survey of the I-26/S-62 Frontage Roads Project (Trinkley 1984). Trinkley (1984) recorded no archaeological sites during the investigations.

### **Archaeological Survey of the Proposed Magwood Road Extension Project (Caballero 1985)**

In 1985, the SCDOT conducted an archaeological survey of the proposed Magwood Road Extension Project (Caballero 1985). Caballero (1985) recorded no archaeological sites during the investigations.

### **Archaeological Survey of a Portion of the Proposed SC Route 61 Expressway (Roberts 1986)**

In 1986, the SCDOT conducted an archaeological survey of the proposed SC Route 61 Expressway (Roberts 1986). Roberts (1986) recorded three archaeological sites (38CH975-38CH977) within 0.25 mile of the I-526 Corridor Improvements Project during the survey. Site 38CH975 is a scatter of late eighteenth- to early nineteenth-century artifacts. Site 38CH976 is a scatter of early to mid-nineteenth-century artifacts. Site 38CH977 is scatter of early nineteenth-century artifacts. Sites 38CH975, 38CH976, and 38CH977 are not eligible for the NRHP.

### **Archaeological Survey of the S-1168/S-1373 Intersection Project (Caballero 1990)**

In 1990, the SCDOT conducted an archaeological survey of the S-1168/S-1373 intersection project. Caballero (1992) identified no cultural resources during the survey.

### **Charleston County Historical and Architectural Survey (Fick et al. 1992)**

In 1992, Preservation Consultants, Inc., conducted an historical and architectural survey of Charleston County (Fick et al. 1992). Fick et al. (1992) identified one historic architectural resource (Resource 257 0372) within 0.25 mile of the I-526 Corridor Improvements Project. Resource 257 0372, the Simons House, was constructed in 1940 and is not eligible for the NRHP.

### **Archaeological Survey and Testing of the Bon Secour-St. Francis Xavier Hospital, Essex Farms Tract (Poplin and Jones 1993)**

In 1990, Brockington conducted an archaeological survey of the Essex Farms Tract for the proposed Bon Secour-St. Francis Xavier Hospital's expansion. The survey resulted in the identification of two archaeological sites (38CH1177 and 38CH1178). Site 38CH1177 contains deposits associated with the eighteenth- to nineteenth-century Woodford/Magwood Plantation. Poplin and Jones (1993) recommended 38CH1177 potentially eligible for the NRHP and returned to conduct test investigations at the site in 1991. Additional testing of the site failed to identify intact cultural deposits or other remnants that would contribute significant information to the understanding of the history of the

region. Therefore, 38CH1177 is not eligible for the NRHP. Site 38CH1178 is a sparse scatter of middle to late nineteenth-century domestic artifacts. Site 38CH1178 is not eligible for the NRHP.

### **City of North Charleston: Historical and Architectural Survey (Fick 1995)**

From February 1994 to July 1995, Preservation Consultants, Inc., conducted a historical and architectural survey of North Charleston (Fick 1995). Fick (1995) identified 10 historic architectural resources (Resources [276] 1662.01, 1662.07, 1662.09, 1864.00, 1864.01, 1865, 1866, and 1868) in the current architectural survey universe. Fick (1995) recommended all 10 of these resources not eligible for the NRHP. Resource 276 1936 is not extant. The nine other resources are in post-World War II neighborhoods discussed in Chapter 4.

### **Cultural Resources Survey of a 20-Acre Parcel in the Essex Farms Tract (Rust and Harvey 1997)**

In 1997, Brockington conducted a cultural resources survey of a 20-acre parcel in the Essex Farms Tract (Rust and Harvey 1997). Investigators revisited previously recorded 38CH975 (Roberts 1986) and identified 38CH1678. Site 38CH1678 contains the remnants of Confederate Battery Magwood. Visible remnants of the battery include an arcuate earthen mound lightly wooded with young pines and hardwoods, surrounded by a ditch at the base along the north, west, and south sides. The earthwork faces west toward Long Branch Creek. Rust and Harvey (1997) recommended 38CH1678 eligible for the NRHP under Criteria A. The earthwork is currently being preserved in place. Site 38CH1678 is located in a wooded area approximately 215 m to the west of the current project study area and will not be affected by the proposed I-526 Corridor Improvements Project.

### **Cultural Resources Survey of the North Charleston Regional Intermodal Transportation Center (Hendrix and Harvey 2001)**

In 2001, Brockington conducted a cultural resources survey of the 30-acre North Charleston Regional Intermodal Transportation Center tract (Hendrix and Harvey 2001). Investigators identified no archaeological or architectural resources during the



survey. The previously recorded Stoney Point Site (38CH142), an unknown Pre-Contact scatter recommended not eligible for the NRHP, was mapped as extending from the North Charleston Regional Intermodal Transportation Center project tract south across Dorchester Road. However, Hendrix and Harvey (2001) did not relocate this site. It is presumed the site was destroyed by the construction of a 1970's-era housing development.

#### **Cultural Resources Survey of the Proposed Henry Tecklenburg Boulevard (Hendrix 2002)**

In 2002, Brockington conducted a cultural resources survey of the proposed Henry Tecklenburg Boulevard (Hendrix 2002). Hendrix (2002) recorded no cultural resources during the survey.

#### **Cultural Resources Survey of the Orleans Road (S-1373) Improvements Project (Roberts 2004)**

In 2004, the SCDOT conducted a cultural resources survey of the Orleans Road (S-1373) Improvements Project (Roberts 2004). Roberts (2004) recorded no cultural resources during the survey.

#### **Cultural Resources Assessment of the West Aviation Tract (Fletcher and Bailey 2005)**

In 2005, Brockington conducted a cultural resources assessment of the West Aviation Tract (Fletcher and Bailey 2005). The tract was bound to the west by the Southern Railroad. The study largely focused on 38CH1022, the eighteenth-century settlement of Andre Michaux that contained a number of elements including the main house and Michaux's gardens, contained within the Michaux "triangle" house/garden complex. Site 38CH1022 was originally recorded by Joyce (1988) and was recommended eligible for the NRHP. Fletcher and Bailey (2005:17) concluded that:

In addition to the archaeological remnants of the Michaux settlement recorded by Joyce (1988), we believe there is potential for subsurface features associated with the Michaux garden triangle to be present in the portion of the tract that is bordered to the north by the creek, to the east by the dirt road and the limits of the triangle, to the south by the GATR facility, and to the west by the railroad and the limits of the project tract.

Recently, the Charleston International Airport commemorated André Michaux and his gardens with a mural near the airport entrance. At present, the City of North Charleston is preparing an NRHP nomination for 38CH1022.

#### **Cultural Resources Survey of Essex Farms Tract (Trinkley et al. 2005)**

In 2005, Chicora Foundation, Inc., conducted a cultural resources survey of the Essex Farms Tract (Trinkley et al. 2005), which resulted in the identification of one archaeological site (38CH2023). Site 38CH2023 consists of a scatter of late nineteenth- to early twentieth-century artifacts. Site 38CH2023 is not eligible for the NRHP.

#### **Historic Properties Survey for the Proposed Widening of I-26 (Bean 2007)**

Wilbur Smith Associates conducted a historic properties survey for the proposed widening of I-26 in Charleston County (Bean 2007). Bean (2007) recorded no historic architectural resources within 0.5 mile of the Palmetto Commerce Parkway Phase 3 Project.

#### **Cultural Resources Survey of the Charleston County Sheriff's Department K-9 Facility and Impound Lot Tract (Wagoner and Fletcher 2007)**

In 2007, Brockington conducted a cultural resources survey of the Charleston County Sheriff's Department K-9 Facility and Impound Lot Tract. Wagoner and Fletcher (2007) identified no cultural resources within 0.25 mile of the I-526 Corridor Improvements Project.

#### **Archaeological Survey at the SCE&G Electrical Operations Center Tract (Baluha et al. 2009)**

In 2009, Brockington conducted an archaeological survey of the 8.86-acre SCE&G Electrical Operations Center tract (Baluha et al. 2009). The majority of the tract had already been developed, so their investigations were focused on a smaller wedge-shaped APE. Investigations revealed no evidence of 38CH1022 (see above). Baluha et al. (2009) identified a dog cemetery on the tract, associated with the Charleston Air Force Base.

### **Phase I Cultural Resources Survey of Portions of the Mark Clark Expressway, Alternative G (Pope et al. 2014)**

Investigators from New South Associates, Inc., conducted a cultural resources survey of portions of the Mark Clark Expressway, Alternative G (Preferred Alignment) (Pope et al. 2014). Investigators identified no cultural resources within 0.25 mile of the proposed I-526 Corridor Improvements Project.

### **Cultural Resources Assessment of the Boeing Expansion Program (Fletcher et al. 2014)**

In 2014, Brockington conducted a cultural resources assessment of the parcels of land that together comprised proposed expansion areas for Boeing's South Carolina facility in central Charleston County (Fletcher et al. 2014). The immediate project area was heavily impacted by phosphate strip mining between approximately 1880 and 1920. This study focused specifically on identifying features associated with the phosphate mining industry and assessing those features with respect to their eligibility for the NRHP. The parcels that made up the project tract contained remnants of hand mining, steam shovel mining, and several tram lines that together formed a mining landscape. While this landscape does provide illustrations of changes in methods of phosphate mining technology over time, the integrity of this landscape, specifically with respect to its setting, association, and feeling, has been compromised by extensive commercial and residential development, which has fragmented the landscape. Fletcher et al. (2014) recommended the former phosphate mines within the project tract (38CH2468) not eligible for the NRHP, which received SHPO concurrence. Baluha and Owens (2018) revisited 38CH2468, including it within a larger phosphate mining district, described below.

### **Cultural Resources Survey of the Glenn McConnell Parkway Widening Project (Baluha 2019)**

In August 2018, Brockington conducted an intensive survey of the proposed Glenn McConnell Parkway Widening Project (Baluha 2019). A portion of the Glenn McConnell Parkway project overlaps the current project. During the survey, Baluha (2019) revisited one previously identified archaeological site (38CH979) and identified two new cultural land-

scape features, including the remnants of a rice field (Resource 7940) and the remnants of a phosphate mining complex (Resource 7965). Baluha (2019) recommends these cultural resources not eligible for the NRHP. A portion of Resource 7940 is in the current project's architectural survey universe.

### **Charleston County Historic Resources Survey Update (Reed et al. 2016)**

In 2016, New South Associates, Inc., conducted the Charleston County Historic Resources Survey Update on behalf of the Charleston County Historic Preservation Committee (Reed et al. 2016). The survey area encompassed approximately 70,400 acres of unincorporated Charleston County. Reed et al. (2016) surveyed 1,319 properties, including 13 within 0.25 mile of the project. Of these, two (6744 and 6745) are in the architectural survey universe, neither of which are NRHP-eligible.

### **Cultural Resources Survey of the Airport Connector Road Project (Baluha and Owens 2018)**

In May 2018, Brockington conducted an intensive survey of the proposed Charleston International Airport Connector Road (Baluha and Owens 2018). A portion of the Airport Connector Road project overlaps the current project and the Boeing Expansion Program Tract surveyed by Fletcher et al. (2014). During the survey, Baluha and Owens (2018) identified two new archaeological sites (38CH2547 and 38CH2548), one new phosphate mining complex (Resource 7916), and two new post-World War II neighborhoods (Resources 7911 and 7913) and associated individual architectural resources (Resources 7911.01-7911.06, 7913.01, and 7913.02). A previously identified phosphate mining complex identified as 38CH2468 is included in Resource 7916. Portions of Resources 7911 and 7916 are in the current project's architectural survey universe. Baluha and Owens (2018) recommended Resource 7916 eligible for the NRHP based on its association with the Ashley River Historic District. However, no elements of Resource 7916 that contribute to its NRHP-eligible recommendation are within 0.25 mile of the current project. The current project will have no adverse effect on Resource 7916. All other resources identified by Baluha and Owens (2018) are recommended not eligible for the NRHP.

**Ashley Hall Plantation (Site 38CH56, Resources 0004.00-0004.02 and 7805)**

Ashley Hall Plantation includes above-ground resources (Resources 0004.00-0004.02 and 7805) and an archaeological site (38CH56) associated with the late seventeenth- to mid-twentieth-century occupation of the property. Ashley Hall Plantation was listed on the NRHP in 1975 (Califf and Bull 1975). The nomination includes 38 acres containing: (1) the ruins of the 1704 Bull house [Resource 0004.00] and gardens, (2) the original house built in the 1670s [Resource 0004.01], (3) the monument to the second Governor William Bull erected ca. 1791 [Resource 0004.02], (4) two prehistoric Indian sites, and two eighteenth-century well sites associated with the plantation (Califf and Bull 1975). Bailey et al. (2017) documented the 1911 monument house as Resource 7805. A series of archaeological site numbers (38CH17, 38CH55, and 38CH56) have been used through the years to describe Ashley Hall, but SCIAA is now using 38CH56.

Until recently, the most comprehensive discussion of the site was by Hartley (1984). Hartley (1984:57) referred to the site as “Cap Bull” or Ashley Hall Plantation. According to Hartley (1984:57), “‘Cap Bull’ was Stephen Bull, who arrived in Carolina in 1670 with the first settlers aboard the ship *Carolina*.” A long linear element (assumed to be the original entry drive into the plantation) extends to the southwest along modern-day Ashley Hall Plantation Road (see Figure 1.3) into the architectural survey universe. However, only a small portion of the original allée still exists close to the ruins of the main house northeast of the intersection of Ashley Hall Plantation Road with Captiva Row.

In 2016, Carolina Holdings Group contracted Brockington to re-assess Ashley Hall Plantation and to identify and assess other resources that either had not been previously identified or that had been identified with very little information (Bailey et al. 2017). Brockington conducted intensive survey across Charleston County parcels 3530000003 and 3530000004, or approximately 45 acres of the larger 128-acre NRHP property. On these parcels, the current landowners, Ashley Hall Plantation Partners, LLC, is proposing a single-family residential development called The Settlement at Ashley Hall. On these parcels, Bailey et al. (2017) identified three

distinct loci at 38CH56, including remnants of the main house kitchen flanker (Locus 1), the laundry area (Locus 2), and the dairy (Locus 3). At present, Brockington is conducting archaeological data recovery investigations at 38CH56 in advance of development activities, the results of which will be published in 2019.

Proposed construction activities associated with the I-526 Corridor Improvements Project may have an adverse effect on Ashley Hall Plantation. Although the property is located outside the 0.25-mile study area buffer, the I-526 bridges over the Ashley River (the General Wesley C. Westmoreland Memorial Bridges) are in the property’s viewshed. At present, plans call for widening the Westmoreland bridges but not for raising their elevation. Therefore, the proposed project will have no adverse effect on the Ashley Hall Plantation NRHP District. However, the SCDOT should confer with the SHPO before altering design plans for the Westmoreland Bridge.

**Site 38CH204**

Site 38CH204 is described as a brickyard site overlooking Brickyard Creek (Herold and Scruggs 1975). Though no NRHP eligibility recommendation was made, Herold and Scruggs (1975) recommended that the site should be examined more closely if the area is developed. Based on modern aerial photographs, it appears the area containing most/all of 38CH204, located to the east of the proposed I-526 Corridor Improvements Project corridor, has been excavated to create a pond.





## 3.0 Results of the Archaeological Survey

### 3.1 Introduction

During Brockington's cultural resources survey of the I-526 Corridor Improvements Project, investigators revisited one previously identified site (38CH17) and identified one new archaeological site (38CH2523). Figure 1.3 presents the locations of these cultural resources. In this chapter we describe each revisited and newly identified archaeological site and provide NRHP assessments for each site.

### 3.2 Archaeological Survey Results

#### 3.2.1 Site 38CH17 (Revisit)

Site Type – Brick kiln

Soil Type – Hockley loamy fines sand, 0-2 percent slopes

Elevation – 3.3 m amsl

Nearest Water Source – Bulls Creek

Site Dimensions – 45 m north/south by 20 m east/west

Present Vegetation – Mixed pines and hardwoods with moderate understory of small trees and vines  
NRHP/Management Recommendations – Not eligible; no further management

Site 38CH17 consists of a surface and subsurface scatter of eighteenth-century brick associated with a largely destroyed brick kiln. The site measures approximately 45 m north/south by 20 m east/west and is located approximately 8 m to the west of I-526 (see Figure 1.4). The site is located on a fairly high bluff overlooking Bulls Creek and marsh to the west. The site area is wooded in mature hardwoods with a moderate understory of small hardwoods and vines. A pile of bricks measuring approximately 7 m north/south by 5 m east/west and 1 m tall is located in the northern portion of the site, close to the bluff edge. Bricks are also present on the bluff/bank in the northwest portion of the site, as well as in the marsh close to the edge of the bluff. Figure 3.1 presents a plan of 38CH17. Figure 3.2 presents views of 38CH17.

Site 38CH17 was originally documented in 1972 by Mr. A. Robert Parler, Jr. (Parler 1972). On the South Carolina State Site Form for 38CH17, Parler (1972:1) noted that the site was located on a:

High bluff over-looking marshlands. One pile of bricks which appears to be the main area for firing bricks. One pile (36' x 40') of clay which appears to be where clay was stored until it could be used. Borrow pit is located about 300 feet east of site.

The borrow pit that Mr. Parler mentions was later recorded as 38CH263, which was apparently completely destroyed during the construction of the existing I-526.

In 1975, the SCIAA conducted an archaeological survey of a portion of the Charleston Innerbelt Freeway (House and Goodyear 1975), resulting in the identification of several archaeological sites, including 38CH17. Site 38CH17 is a brick kiln site associated with the early eighteenth-century Ashley Hall Plantation (House and Goodyear 1975:7), located to the east of I-526. Site 38CH17 is not included in the 38 acres of Ashley Hall Plantation listed in the NRHP. House and Goodyear (1975:22) recommended 38CH17 not eligible for the NRHP. As House and Goodyear (1975) surmised would happen, Site 38CH17 was largely destroyed during the construction of the existing I-526, but a small portion of the site exists to the west of I-526 and was revisited during the current investigations.

During the current investigations, investigators excavated 12 shovel tests at 7.5- and 15-m intervals within and around 38CH17; five (42%) of these shovel tests produced brick fragments. Soils at the site generally consist of 10YR 5/2 grayish-brown loamy sand with brick fragments in the Ap horizon at 0-30 cmbs, over a compact 10YR 6/2 light brownish-gray loamy clay B21t horizon subsoil at 30-50+ cmbs. Figure 3.3 presents a typical soil profile. Based on the encountered soils and the fact that the construction of I-526 resulted in the destruction of a large portion of the site, it does not appear that there are any remaining intact portions of the brick kiln site. The large pile of clay observed by Parler (1972) no longer exists and was apparently removed during the construction of I-526.

Investigators recovered a total of 13.45 kilograms (kg) of brick from the site. A total of 10.14 kg of brick was recovered from 0-60 cmbs from Pro-

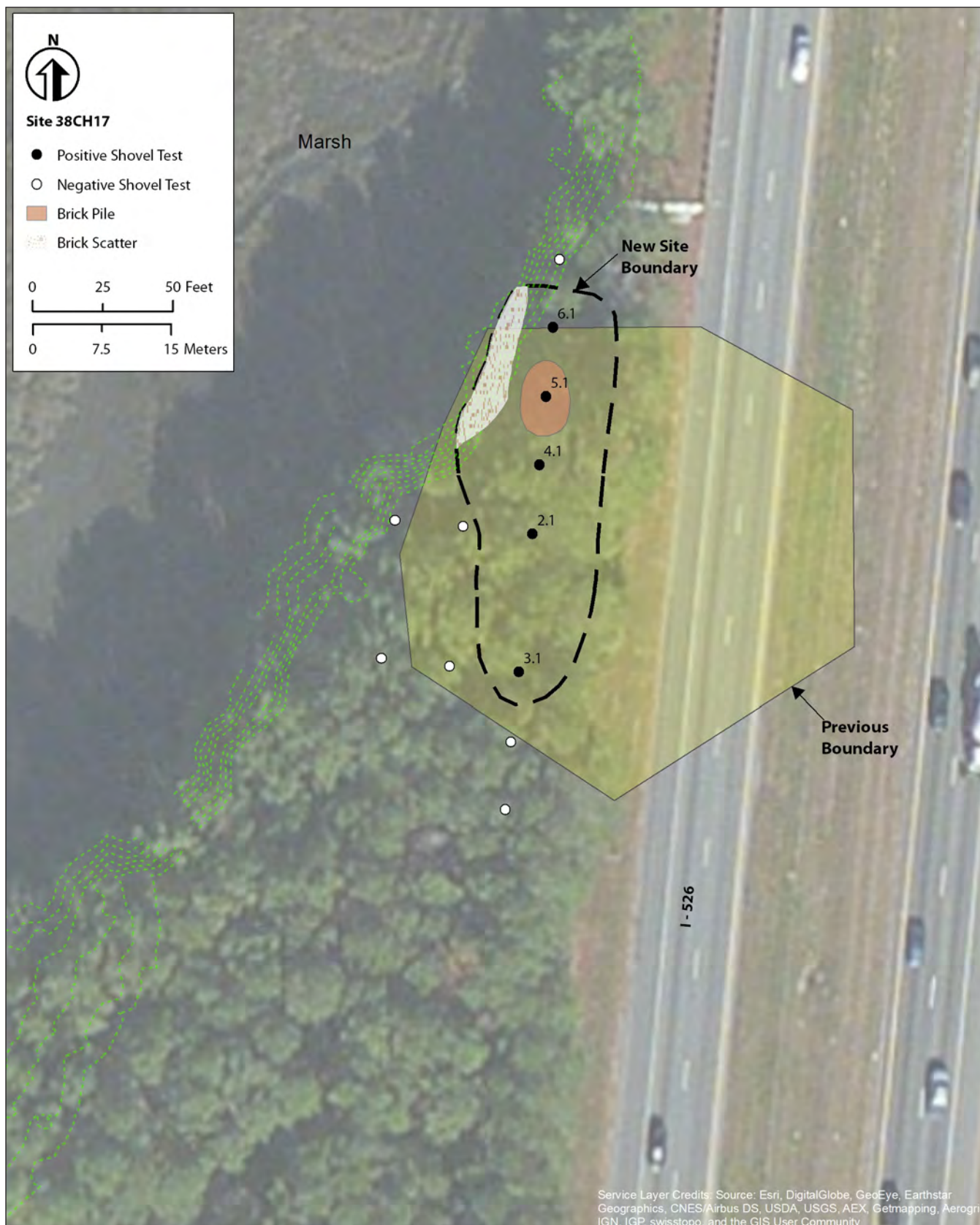


Figure 3.1 Plan of 38CH17.





Figure 3.2 Views of 38CH17: brick pile, facing north (top); bricks in the marsh, facing north (middle); bricks from shovel test excavated on the brick pile, facing west (bottom).

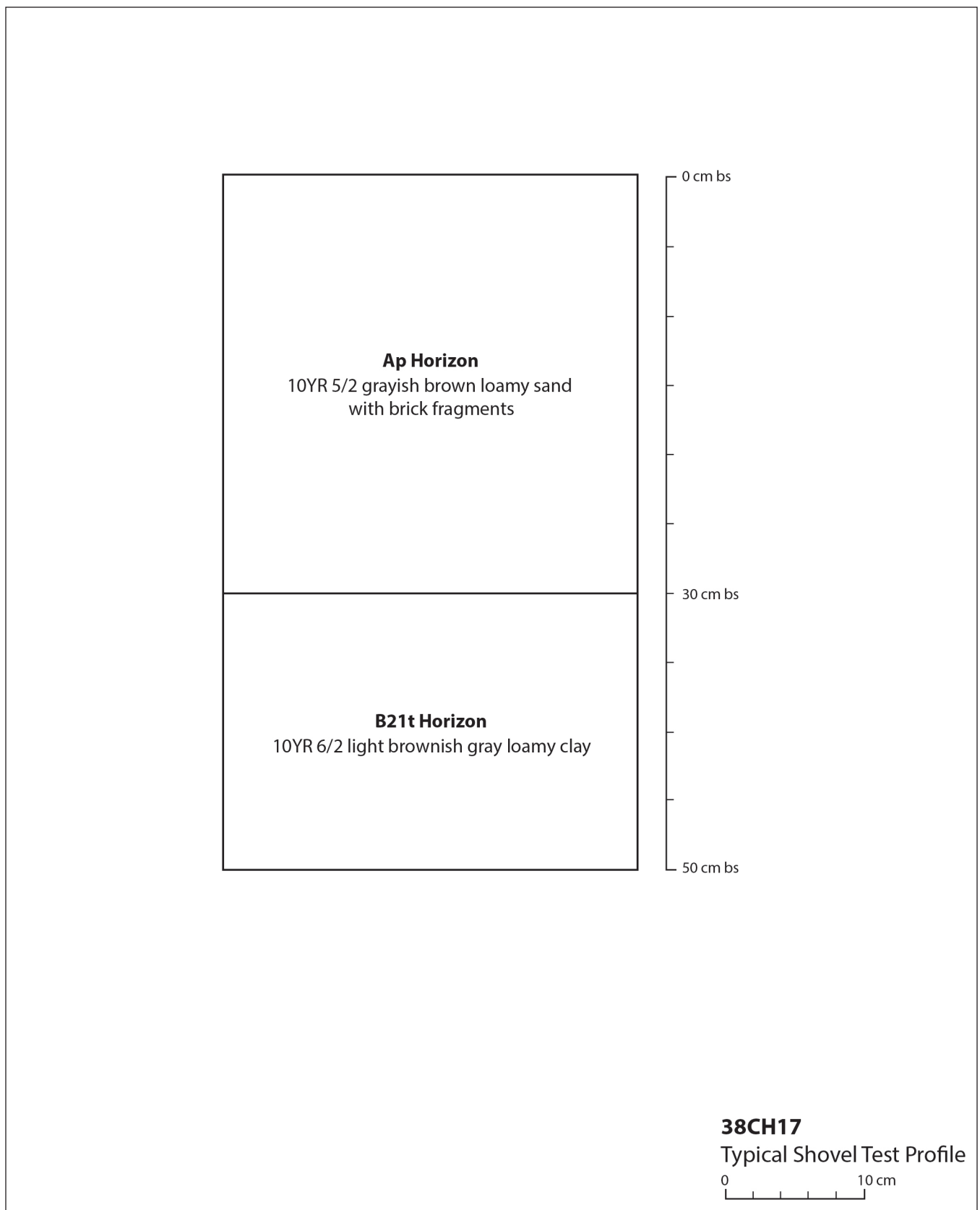


Figure 3.3 Typical soil profile at 38CH17.

venience 5.1, which was excavated within the brick pile in the northern portion of the site (see Figure 3.1). The remaining 3.31 kg of brick were recovered from 0-30 cmbs in the remaining four positive shovel tests (Proveniences 2.1, 3.1, 4.1, and 6.1).

Site 38CH17 was previously recommended not eligible for the NRHP (House and Goodyear 1975:22). We evaluated 38CH17 for NRHP eligibility based on its significance under the four criteria for evaluation (A, B, C, and D [Townsend et al. 1993:16-23]). The criteria for NRHP evaluation are applied below.

Under Criterion A, a site can be eligible for the NRHP if it is associated with events that have made a significant contribution to the broad pattern of history. The brick kiln site, according to House and Goodyear (1975), is associated with the early eighteenth-century Ashley Hall Plantation. Given the current condition of what remains of 38CH17, additional investigations and research likely would not yield additional information about brick production practices during the period of construction and use. Therefore, 38CH17 is not eligible for the NRHP under Criterion A.

Under Criterion B, sites may be eligible for the NRHP if they are associated with the lives of persons significant in our past. Assuming that this brick kiln was associated with Ashley Hall Plantation, individuals who worked at the brick kiln and who were associated with the Bull family likely were valuable, contributing members of their society. However, the brick manufacturing area of someone who successfully carried out the duties of his profession is not sufficient for eligibility under Criterion B. The property must be illustrative rather than commemorative of a person demonstratively important within a local, state, or national historic context (Townsend et al. 1993:21). Site 38CH17 is not eligible for the NRHP under Criterion B.

Under Criterion C, a site may be eligible for the NRHP (Potter and Boland 1992:12):

...if it embodies the distinctive characteristics of a type, period, or method of construction, or that represents the work of a master, or that possesses high artistic values, or that represents a significant and distinguishable entity whose components may lack individual distinction

Based on the destruction of the site that has occurred since House and Goodyear (1975) originally identified the site over 40 years ago, we are unable to ascertain the characteristics listed under Criterion C. Site 38CH17 is not eligible for the NRHP under Criterion C.

Under Criterion D, a site may be eligible for the NRHP if it has yielded or is likely to yield information important in history. Site 38CH17 represents the disturbed remnants of a largely destroyed eighteenth-century brick kiln. There is no evidence of significant intact subsurface features or deposits. The majority of 38CH17 was destroyed by the construction of I-526, and the portion investigated during the current survey is highly disturbed. Additional investigation of 38CH17 is unlikely to generate information beyond the period of use (eighteenth century) and the presumed function (brick kiln). The site cannot generate additional important information concerning past settlement patterns or land-use practices in Charleston County. Therefore, we recommend 38CH17 not eligible for the NRHP under Criterion D. Site 38CH17 warrants no further management consideration.

### 3.2.2 Site 38CH2523

Cultural Affiliation –Early twentieth century

Site Type – Bridge and causeway

Soil Type – Capers silty clay loam

Elevation – 3.3 m amsl

Nearest Water Source – Bulls Creek

Site Dimensions – 70m northeast/southwest by 15m northwest/southeast

Present Vegetation – Mature hardwoods with understory of marshgrass on the earthen causeway  
NRHP/Management Recommendations – Not eligible; no further management

Site 38CH2523 consists of the remnants of a portion of an early twentieth-century concrete bridge and an associated earthen causeway. The bridge once crossed Bulls Creek, though the middle portion of the bridge does not exist today. The site measures approximately 70 m northeast/southwest by 15 m northwest/southeast and extends from the southwest end of a landform approximately 50 m to the west of I-526 (see Figure 1.4). The earthen causeway, located to the west of Bulls Creek, is wooded in



mature hardwoods with a moderate understory of marsh grass. There is no visible evidence of a former road in the wooded area to the east of the bridge. Figure 3.4 presents a plan of 38CH2523.

The concrete bridge, which extends from the eastern bank of Bulls Creek, measures approximately 17 ft wide by 10 ft long. Concrete sidewalls, each approximately 3 ft tall and 11 inches thick, are located along the northern and southern edges of the concrete bridge decking. The bridge decking is currently covered in a layer of marsh mud, suggesting that water levels may have risen since the bridge was in operation. The bridge is supported by three concrete slab supports, which are aligned parallel to the flow of the creek. Two metal hinge-like features, which appear to be below the high tide line, are attached on the outside face of the northern wall. These may have attached to some sort of floating construction on that side of the bridge, though their former function is unclear. Above the hinge-like features, there is a horizontal line of four drilled holes through the northern wall; their former function/reason is unclear, as well. It is assumed that the bridge was originally constructed of smoothed concrete, but decades of weathering have resulted in a very eroded surface, with large gravel exposed across the majority of the structure. The middle bridge span over Bulls Creek does not exist. It is unknown if this was also originally a concrete span, or it may have been constructed of wood. No debris from this span was visible in the creek at the time of the investigations. Figures 3.5 and 3.6 present views of the concrete bridge at 38CH2523.

The earthen causeway to the west of Bulls Creek is approximately 205 ft long. It is 17 ft wide at the top and 25 ft wide at the base. The causeway rises approximately 3 ft from the surface of the surrounding marsh. There are no visible concrete or wooden constructions within or on the exposed creek end of the earthen causeway. The causeway is wooded in mature hardwoods with a moderate understory of marsh grass. The causeway is currently used to access the creek from an apartment complex to the west. Figure 3.7 presents a view of the causeway.

The bridge and causeway are not depicted on the USGS 1919, 1948, or the current 1959 (photorevised 1979) Johns Island, SC quadrangles. A circa 1957 aerial photograph (Historic Aerials n.d.)

shows the bridge and causeway (Figure 3.8). In this photograph, it appears the bridge is intact and spans Bulls Creek, though no road is visible in the sparsely wooded area to the east of the bridge. A circa 1971 aerial photograph (Historic Aerials n.d.) indicates that the middle span of the bridge is absent by that time. The bridge and causeway were likely constructed sometime in the early twentieth century to provide access to farmland on either side of Bulls Creek (see Figure 3.8)

We evaluated 38CH2523 for NRHP eligibility based on its significance under the four criteria for evaluation (A, B, C, and D [Townsend et al. 1993:16-23]). The criteria for NRHP evaluation are applied below.

Under Criterion A, a site can be eligible for the NRHP if it is associated with events that have made a significant contribution to the broad pattern of history. The bridge and causeway were likely constructed in the early twentieth century to provide access to farmland on either side of Bulls Creek. Additional investigations and research likely would not yield additional information about farming and transportation practices during the period of construction and use. Therefore, 38CH2523 is not eligible for the NRHP under Criterion A.

Under Criterion B, sites may be eligible for the NRHP if they are associated with the lives of persons significant in our past. The people that constructed and used the bridge likely were valuable, contributing members of their society. However, the bridge construction by someone who successfully carried out the duties of his profession is not sufficient for eligibility under Criterion B. The property must be illustrative rather than commemorative of a person demonstratively important within a local, state, or national historic context (Townsend et al. 1993:21). Site 38CH2523 is not eligible for the NRHP under Criterion B.

Under Criterion C, a site may be eligible for the NRHP “if it embodies the distinctive characteristics of a type, period, or method of construction, or that represents the work of a master, or that possesses high artistic values, or that represents a significant and distinguishable entity whose components may lack individual distinction” (Potter and Boland 1992:12). The bridge and causeway are typical early twentieth-century constructions. Site 38CH2523 is not eligible for the NRHP under Criterion C.

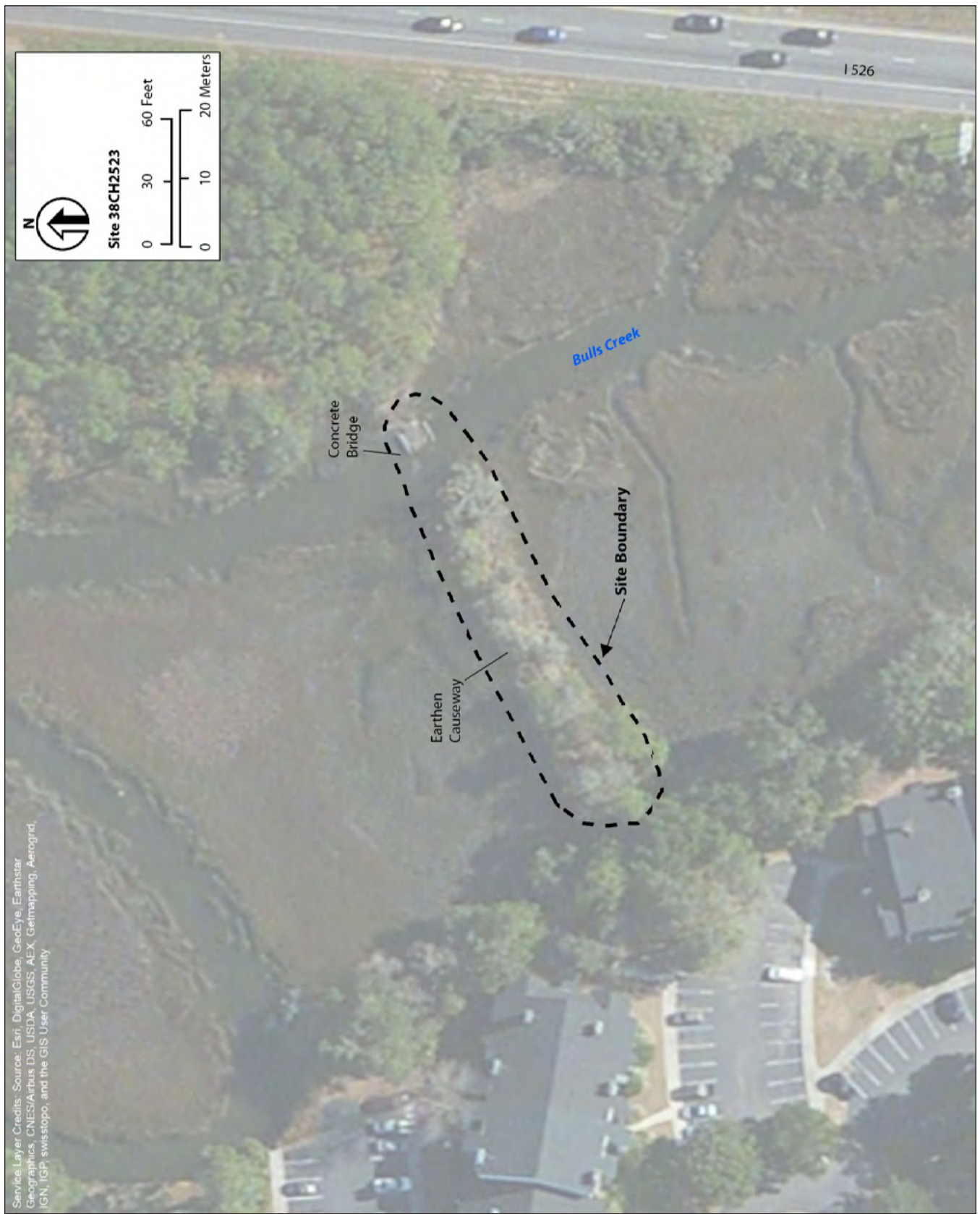


Figure 3.4 Plan of 38CH2523.





Figure 3.5 Views of concrete bridge portion of 38CH2523: facing west (top); facing northwest (bottom).





Figure 3.6 Views of concrete bridge portion of 38CH2523: outside of the northern wall, facing south (top); view of bridge from the western side of Bulls Creek, facing northeast (bottom).





Figure 3.7 View of the earthen causeway portion of 38CH2523: facing northeast.

Under Criterion D, a site may be eligible for the NRHP if it has yielded or is likely to yield information important in history. Site 38CH2523 represents the remnants of an early twentieth-century bridge and causeway across Bulls Creek. Additional investigation of 38CH2523 is unlikely to generate information beyond the period of use (twentieth century) and the presumed function (bridge). The site cannot generate additional important information concerning past settlement patterns or land-use practices in Charleston County. Therefore, we recommend Site 38CH2523 not eligible for the NRHP under Criterion D. Site 38CH2523 warrants no further management consideration.





Figure 3.8 View of the bridge and causeway on a circa 1957 aerial photograph (Historic Aerials n.d.).





## 4.0 Results of the Architectural Survey

### 4.1 Introduction

Brockington conducted a reconnaissance survey of the project area with SCDOT architectural historian David Kelly on June 28, 2016. The intensive survey of the architectural survey universe was conducted July 26 to September 7, 2016. Based on background research, the reconnaissance survey, and after consulting with David Kelly, Brockington designed the architectural survey using the SCDAH's (2015, 2018)

Survey Manual: South Carolina Statewide Survey of Historic Properties. Figure 4.1 shows an overview of the architectural survey universe and the historic architectural resources discussed below. Tables 4.1 and 4.2 list all architectural resources in the architectural survey universe. Appendix B provides statewide survey forms for all newly recorded or eligible resources in the architectural survey universe.

Table 4.1 Individual architectural resources in the architectural survey universe.

Resource	Address (Historic Name)	Historic Use	Date	Eligibility	Reference(s)
6744	1885 Richmond Street	Domestic	1955	Not Eligible	Reed et al. (2016)
6745	1889 Richmond Street	Domestic	1963	Not Eligible	
7806	5841 Rivers Avenue (Bethune School)	Education	ca. 1952	Eligible	Fick (1995)
7916	Charleston Mining and Manufacturing Company (CMMC) phosphate mining complex east of the Ashley River	Industry	1870-1930	Eligible	Baluha and Owens (2018); Fletcher et al. (2014)
38CH2468	CMMC phosphate mining components located on Boeing Campus			Not Eligible	
7916.01	hand-excavated phosphate mines outside 38CH2468			Not Eligible	
7916.02	mechanically-excavated phosphate mines outside 38CH2468			Not Eligible	
7916.03	tram lines			Not Eligible	
7940a	Magwood Plantation rice field	Agriculture	18th-19th centuries	Not Eligible	Baluha (2019)
7940.01	canals and embankments			Not Eligible	
7940.02	rice fields			Not Eligible	

a See Baluha (2019) for complete description.

b Contributing elements located outside architectural survey universe.

Table 4.2 Post-World War II neighborhoods and associated architectural resources in the architectural survey universe.

Resource	Address (Historic Name)	Historic Use	Date	Eligibility	Reference(s)
Cameron Terrace (7807)					
7807.01	5310 Hartford Circle	Single dwelling	ca. 1955	Not Eligible	current
7807.02	5328 Hartford Circle	Single dwelling	ca. 1960	Not Eligible	
Camps (7911)					
7911.01	3575 Firestone Drive	Single dwelling	ca. 1963	Not Eligible	current
7911.02	5018 Fargo Street	Multi dwelling	ca. 1958	Not Eligible	
7911.03	5001 Fargo Street	Single dwelling	ca. 1955	Not Eligible	
7911.04	3600 Montague Avenue	Multi dwelling	ca. 1955	Not Eligible	
7911.05	3648 W. Montague Avenue	Single dwelling	ca. 1960	Not Eligible	
7911.06	3600 Montague Avenue	Outbuilding	ca. 1955	Not Eligible	

(continued)

Table 4.2 Post-World War II neighborhoods and associated architectural resources in the architectural survey universe (continued).

Resource	Address (Historic Name)	Historic Use	Date	Eligibility	Reference(s)
Charleston Farms (7808)					
7808.01	5430 Ted Avenue	Single dwelling	ca. 1955	Not Eligible	current
7808.02	1523 Greenbay Drive	Single dwelling	ca. 1950	Not Eligible	
Highland Terrace (7809)					
276 1662.09	5244 Jury Lane	single dwelling	1919	Not Eligible, moved to location	Fick (1995)
7809.01	5255 Good Street	Single dwelling	ca. 1962	Not Eligible	current
7809.02	5235 Langston Street	Single dwelling	ca. 1959	Not Eligible	
Liberty Park (7810)					
276 1662.01	2335 Taylor Street	single dwelling	1919	Not Eligible, moved to location	Fick (1995)
276 1662.07	2312 James Bell Drive	single dwelling	1919	Not Eligible, moved to location	
276 1936	2302 Taylor Street	single dwelling	ca. 1940	Not Extant	
276 1937	5351 Elder Avenue	single dwelling	ca. 1940	Not Eligible	
7810.01	2355 James Bell Drive (Enoch Methodist Church)	Religion	1962	Not Eligible	current
7810.02	2419 Richardson Drive	Single dwelling	ca. 1960	Not Eligible	
7810.03	2352 Elder Avenue	Single dwelling	ca. 1955	Not Eligible	
7810.04	2230 Margaret Drive	Single dwelling	ca. 1965	Not Eligible	
7810.05	2202 Van Buren Avenue	Single dwelling	ca. 1963	Not Eligible	
7810.06	2150 Eleanor Drive	Multi dwelling	ca. 1963	Not Eligible	
7810.07	2112 Target Street	Single dwelling	ca. 1960	Not Eligible	
7810.08	2131 Target Street	Single dwelling	ca. 1945	Not Eligible	
Oak Park West (7811)					
7811.01	1372 Maxwell Street	Single dwelling	ca. 1952	Not Eligible	current
7811.02	5322 Parkside Drive	Single dwelling	ca. 1965	Not Eligible	
Russelldale (7812)					
276 1864.00	5138 Delta Street	single dwelling	ca. 1940	Not Eligible	Fick (1995)
276 1864.01	5132 Delta Street	single dwelling	ca. 1940	Not Eligible	
276 1865	5134 Rockingham Street	single dwelling	ca. 1945	Not Eligible	
276 1866	5136 Rockingham Street	single dwelling	ca. 1945	Not Eligible	
276 1868	5121 Butler Street	single dwelling	ca. 1935	Not Eligible	
7812.01	5103 Rockingham Street	Single dwelling	ca. 1961	Not Eligible	current
7812.02	5111 Rockingham Street	Single dwelling	ca. 1955	Not Eligible	
7812.03	5133 Butler Street	Multi dwelling	ca. 1955	Not Eligible	
7812.04	2215 Russelldale Avenue	Single dwelling	ca. 1960	Not Eligible	
7812.05	5106 Willis Drive	Single dwelling	ca. 1955	Not Eligible	
7812.06	5111 Willis Drive	Single dwelling	ca. 1960	Not Eligible	
Wando Woods (7813)					
7813.01	3926 Dorsey Avenue	Single dwelling	ca. 1953	Not Eligible	current
7813.02	4620 West Ada Avenue	Single dwelling	ca. 1958	Not Eligible	
7813.03	3729 Paramount Drive	Single dwelling	ca. 1965	Not Eligible	
7813.04	3745 Paramount Drive	Commercial	ca. 1960	Not Eligible	



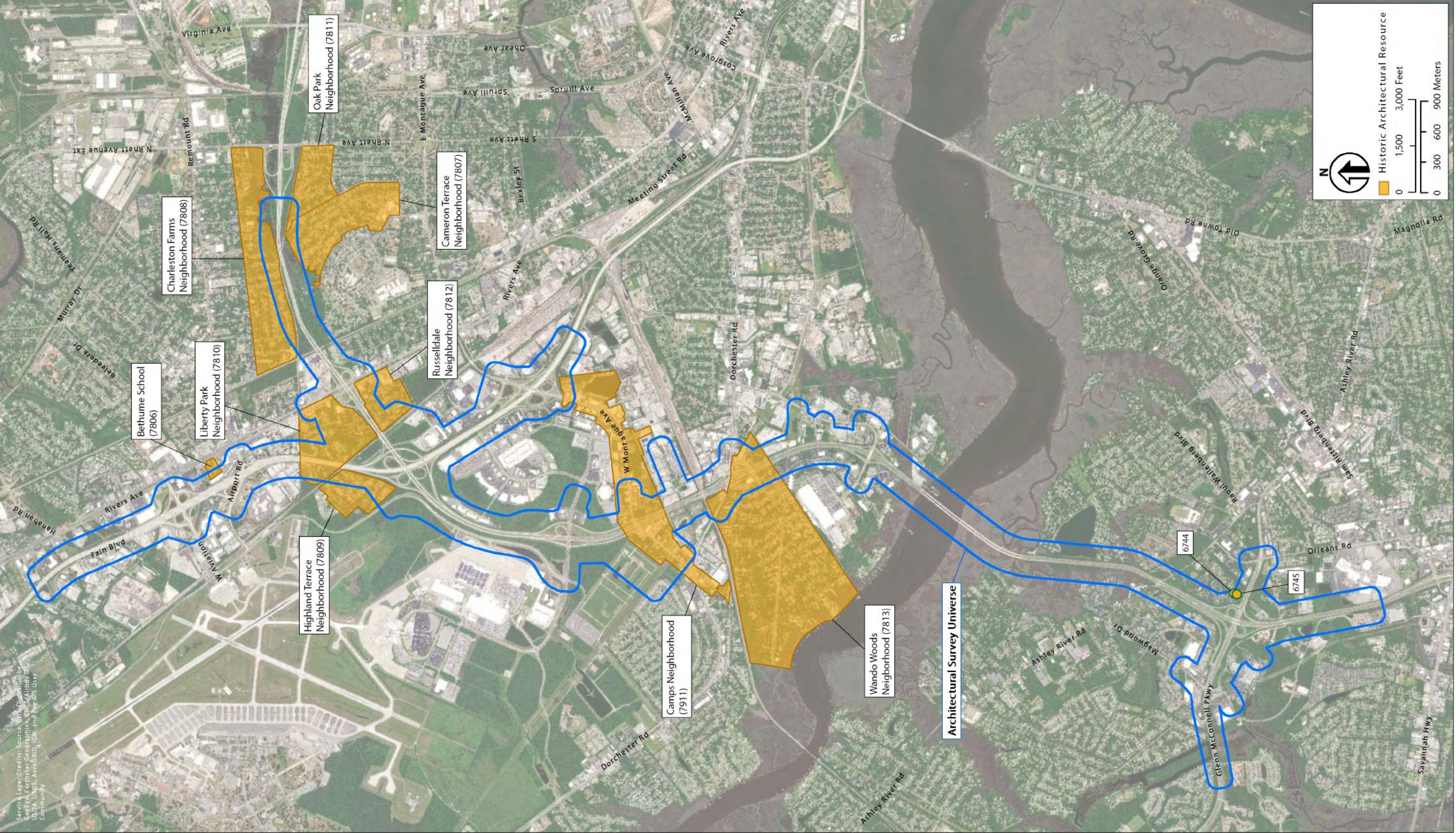


Figure 4.1 Location of the architectural survey universe and historic architectural resources on a modern aerial photograph.



## 4.2 Previously Recorded Resources

Four previous investigations have recorded architectural resources in the architectural survey universe. Fick's (1995) historic resources survey of North Charleston recorded 12 resources in the architectural survey universe (Fick 1995). Resource 276 1936 is not extant. Resource 276 1662.07 is in the Highland Terrace neighborhood. Resources 276 1662.01, 1662.09, 1936, and 1937 are in the Liberty Park neighborhood. Resources 276 1864.00, 1864.01, 1865, 1866, and 1868 are in the Russelldale neighborhood. The Highland Terrace, Liberty Park, and Russelldale neighborhoods are three of eight post-World War II neighborhoods identified and recorded in the architectural survey universe. Summaries of these eight neighborhoods are provided in Section 4.3.

Baluha (2019) identified the remnants of an inland rice field (7940) associated with the former Magwood Plantation (see Figure 1.3 and Table 4.1). A portion of this resource is in the architectural survey universe. As described by Baluha (2019), Resource 7940 includes a series of interconnected canals and embankments (7940.01) and portions of former rice fields (7940.02). Baluha (2019) recommends Resource 7940 not eligible for the NRHP and this resource requires no additional management.

Baluha and Owens (2018) identified the remnants of the CMMC's phosphate mining complex east of the Ashley River (7916). Resource 7916 includes 10 individual elements, including Ashley River Historic District (ARHD) Resource 24/38CH2079, 38CH441, 38CH1206, 38CH2468, and Resources 7916.01-7916.06. Portions of 38CH2468 and Resources 7916.01-7916.03 are in the current architectural survey universe. Baluha and Owens (2018) recommended Resource 7916 eligible for the NRHP and this resource should be considered a contributing element of the ARHD. However, only ARHD Resource 24/38CH2079 is a contributing element of Resource 7916. The portions of 38CH2468 and Resources 7916.01-7916.03 in the current architectural survey universe lack integrity and do not contribute to the NRHP eligibility of Resource 7916 as a whole.

In 2016, New South Associates, Inc., conducted the Charleston County Historic Resources Survey Update on behalf of the Charleston County Historic Preservation Committee (Reed et al. 2016). The

survey area encompassed approximately 70,400 acres of unincorporated Charleston County. Reed et al. (2016) surveyed 1,319 properties, including 13 within 0.25 mile of the project. Of these, two (6744 and 6745) are in the architectural survey universe, neither of which is eligible for the NRHP (see Figures 1.3 and Table 4.1).

## 4.3 Neighborhoods and Newly Recorded Resources

Prior to the field survey, the project Historian used the North Charleston Online Mapping Resource, Neighborhood Map overlay and historic plat maps from the Charleston County RMC to identify neighborhoods and subdivisions within the architectural survey universe. Eight post-World War II neighborhoods were identified in the architectural survey universe. Organized approximately north to south, these include: Charleston Farms, Cameron Terrace, Oak Park, Liberty Park, Highland Terrace, Russelldale, Camps, and Wando Woods (see Figure 4.1). The architectural survey consisted of a windshield survey of the architectural survey universe to identify any potential historic architectural resource within 300 ft of the study area that are over 50 years of age and that retain sufficient integrity. The Architectural Historian recorded one example of each type of residence in the neighborhood using the Statewide Survey of Historic Properties Intensive Documentation Form and digital black-and-white photography. The eight neighborhoods with brief descriptions and resource type examples are discussed below, organized approximately north to south.

### 4.3.1 Charleston Farms (7808)

Charleston Farms (7808) is an approximately 180-acre commercial and residential neighborhood located north of I-526 in North Charleston (see Figure 4.1). The neighborhood includes approximately 468 lots and 458 buildings. Six mobile home parks (MHPs), four apartment complexes, multiple commercial buildings, and at least one church are in Charleston Farms. The boundary for Charleston Farms extends southeast from the intersection of Dutton and Sumner Avenues; northeast from the intersection of the CSX Railroad and one of its spurs; northwest from North Rhett Avenue and the I-526

onramp; and southwest from the intersection of North Rhett and Sumner Avenues. The CSX Railroad spur and Filbin Creek define part of the southern boundary. The architectural survey universe covers approximately 50 acres (27.8%) of the southern portion of the Charleston Farms neighborhood.

Charleston Farms is one of three post-World War II neighborhoods identified between the CSX Railroad and North Rhett Avenue, including Cameron Terrace and Oak Park West south of I-526. Figure 4.2 shows the location of these three neighborhoods on a USGS (1957) aerial photograph. In 1913, Henry Buist and Robert Montague of the Filbin Company initiated Charleston Farms, an ambitious, planned 3,500-acre development north of Filbin Creek (Fick 1995). The idea was to sell larger subdivided tracts of lands as small working farmsteads just north of the newly planned development of North Charleston. The idea did not catch on, and in 1916 the entire tract of land was transferred to the Charleston Farms Corporation, owned by Buist and R.G. Rhett. During World War I, 1,500 of the tract's easternmost acres were taken for the Army Port Terminals, which was later conveyed to the City of Charleston. An additional 900 acres of the northernmost portion of Charleston Farms was sold in 1925 and eventually developed as Yeamans Hall Club. It was not until West Virginia Pulp and Paper Company opened nearby in 1937 that residential development began in Charleston Farms. Also, the build up to World War II, with the proximity of the Army Ordnance Depot and the Charleston Air Force Base, provided further demand for residential development in Charleston Farms. Development plats show that most of the portions of Charleston Farms within the architectural survey universe were developed around 1955, but the neighborhood witnessed infill throughout the twentieth century.

When Fick (1995) visited the Charleston Farms area, none of the buildings were survey-eligible at that time. However, Fick (1995) noted three types of residential resources: bungalow, Minimal Traditional, and Ranch. Most of the architectural resources in the architectural survey universe portion of Charleston Farms are Ranch houses (approximately 95), and there are also several Minimal Traditional houses (approximately 10). No bungalows were observed. Figure 4.3 shows an example of a Charleston

Farms Minimal Traditional house (7808.01) in the architectural survey universe; Figure 4.4 shows an example of a Ranch house (7808.02). Figure 4.5 provides an aerial overview of where the architectural survey universe lies within Charleston Farms, and the location of Resources 7808.01 and 7808.02.

We assessed the NRHP eligibility of Resource 7808 (the Charleston Farms neighborhood) with respect to Criteria A-D (see Section 1.2.6). The architectural survey universe covers approximately 28 percent of the Charleston Farms neighborhood. We identified approximately 105 buildings, including 95 Ranch houses and 10 Minimal Traditional houses. Charleston Farms is an example of the common post-World War II neighborhood in North Charleston but is not amongst the best examples. Although it retains its original configuration, numerous apartment complexes, commercial buildings, and MHPs dating from the 1970s or later occupy lots in the neighborhood. This indicates that Charleston Farms has witnessed a high-level material change to its resources, as well as modern infill. Therefore, we recommend Charleston Farms and all associated architectural resources in the architectural survey universe not eligible for the NRHP. These cultural resources require no additional management.



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Figure 4.2 The location of the Cameron Terrace, Charleston Farms, and Oak Park West neighborhoods on a USGS (1957) aerial photograph.





Figure 4.3 Resource 7808.01, an example of a Minimal Traditional house in the Charleston Farms neighborhood.



Figure 4.4 Resource 7808.02, an example of a Ranch house in the Charleston Farms neighborhood.





Figure 4.5 The portion of the architectural survey universe that lies within the Charleston Farms neighborhood.



#### 4.3.2 Cameron Terrace (7807)

Cameron Terrace is an approximately 132-acre neighborhood located in North Charleston (see Figure 4.1). Cameron Terrace includes approximately 250 lots and 255 structures, including a large recreational complex. Cameron Terrace borders a CSX Railroad spur to the north; Parkside Drive and the Oak Park West neighborhood to the east; portions of Dolphin Street, Lackaway Boulevard, Mission Avenue, and Princeton Street to the west; and Wando Road to the south.

Cameron Terrace and Oak Park West border each other and share a common history. Both neighborhoods are situated in the northwest quadrant of Olde North Charleston between what used to be Liberty Homes to the west and North Rhett Avenue to the east. Olde North Charleston denotes the area of North Charleston that was first designated for development by the North Charleston Company, which purchased the 1,516-acre tract from the Burton Lumber Company in 1911. Figure 4.6 presents a Marquis' (1914) plat of the North Charleston subdivision, showing the location of Cameron Terrace and Oak Park West. Fick (1995:41) notes that the investors that made up the North Charleston Company were established leaders in Charleston, such as Burton Lumber Company executive Robert L. Montague, former Charleston mayor R. Goodwyn Rhett, and the city's chief engineer James O'Hear. W.B. Marquis of the landscape architecture firm P.J. Berckman's Company designed the unique layout that features eight main streets radiating out from the central landscape feature of Park Circle. Like most planned developments of its size at the time, Olde North Charleston witnessed numerous alterations to the original layout, but today still retains some of its key design features (Park Circle and the radiating avenues). Olde North Charleston was designed in part to provide housing for the growing numbers of military and civilian employees working at the Navy Yard, just two miles south. The Army Ordnance Depot and the Charleston Air Force Base are two other nearby military installations that contributed to population growth and development in North Charleston. Two important industrial operations, General Asbestos and Rubber Company (Garco) and West Virginia Pulp and Paper Company, played key roles in the demand for residential development

in the area. Cameron Terrace is identified as a subdivision of Olde North Charleston at least by 1953 based on Sanders' (1953) development plat. USGS (1957) aerial imagery shows sparse development in the northernmost portion of the neighborhood (see Figure 4.2).

Cameron Terrace is a circa 1950 Ranch house neighborhood. The unifying neighborhood characteristics include concrete curbing, sidewalks, an intact linear park, and a recreational complex with baseball fields, a community center, a pool, and a skate park. The architectural survey universe includes approximately 10 acres (7.6%) of the northern portion of Cameron Terrace. In the architectural survey universe, most of the architectural resources in Cameron Terrace are Ranch houses (n=21), while there is also one Minimal Traditional house (7807.01). Figure 4.7 shows an example of a Minimal Traditional house (7807.01) within the architectural survey universe of Cameron Terrace, and Figure 4.8 shows an example of a Ranch house (7807.02) in the architectural survey universe. Figure 4.9 presents an aerial overview of where the architectural survey universe lies within a portion of Cameron Terrace, and the location of Resources 7807.01 and 7807.02.

We assessed the NRHP eligibility of Resource 7807 (the Cameron Terrace neighborhood) with respect to Criteria A-D (see Section 1.2.6). The architectural survey universe covers 7.6 percent of the Cameron Terrace neighborhood. In the architectural survey universe, we identified 22 buildings, with 21 of these Ranch houses and the other a Minimal Traditional house. Cameron Terrace is an example of the common post-World War II neighborhood in North Charleston but is not amongst the best examples. Cameron Terrace does not embody the distinctive characteristics of a Ranch house neighborhood, nor does it represent a significant and distinguishable entity. Although it retains its original configuration, a large, modern recreational complex has been established and many of the residences have seen significant alterations. This indicates that Cameron Terrace has witnessed a high-level material change to its resources, as well as modern infill. Therefore, we recommend Cameron Terrace and all associated architectural resources in the architectural survey universe not eligible for the NRHP. These cultural resources require no additional management.

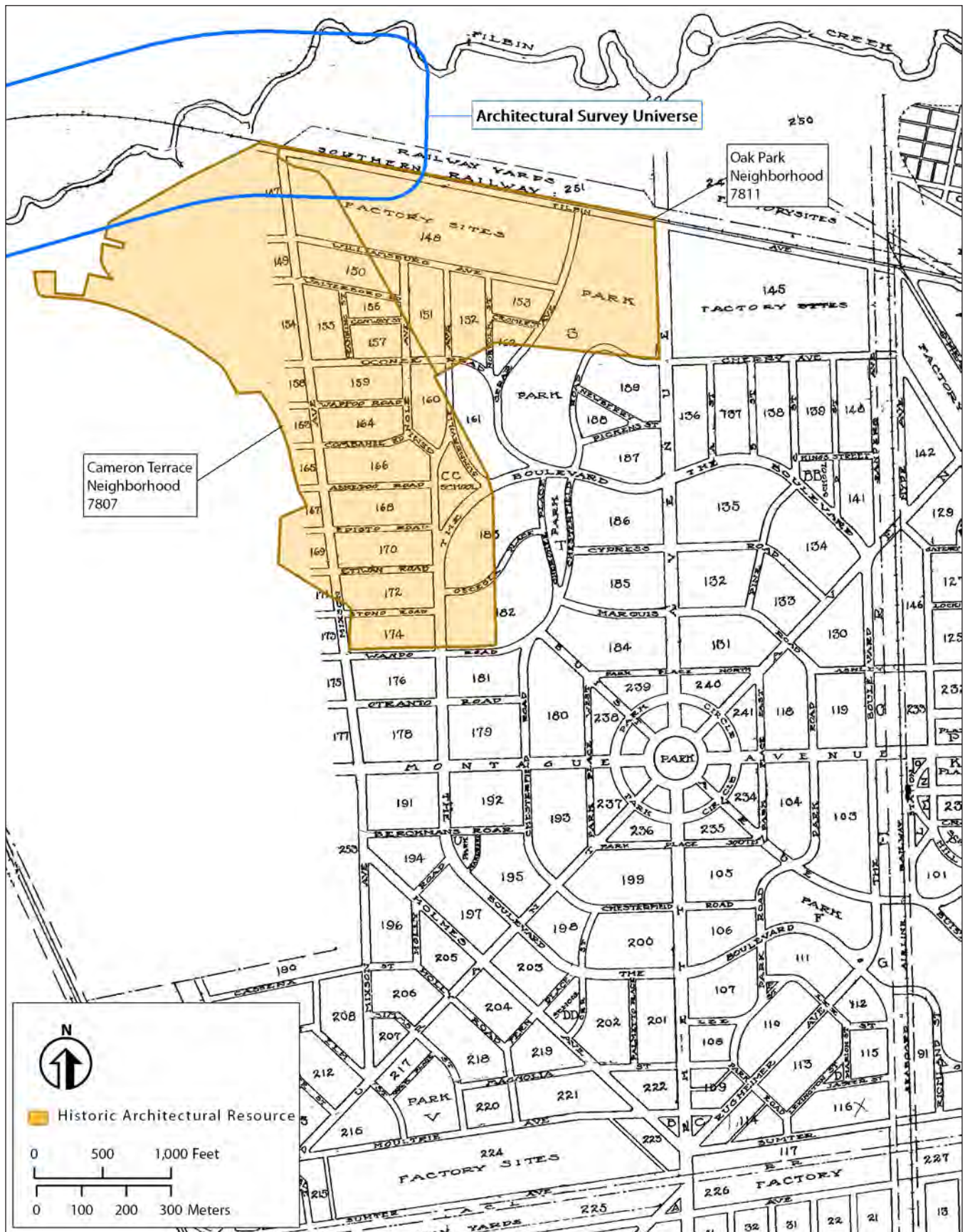


Figure 4.6 Marquis' (1914) General Map Showing Subdivision of North Charleston, showing the location of the Cameron Terrace and Oak Park West neighborhoods.





Figure 4.7 Resource 7807.01, an example of a Minimal Traditional house in the Cameron Terrace neighborhood.



Figure 4.8 Resource 7807.02, an example of a Ranch house in the Cameron Terrace neighborhood.



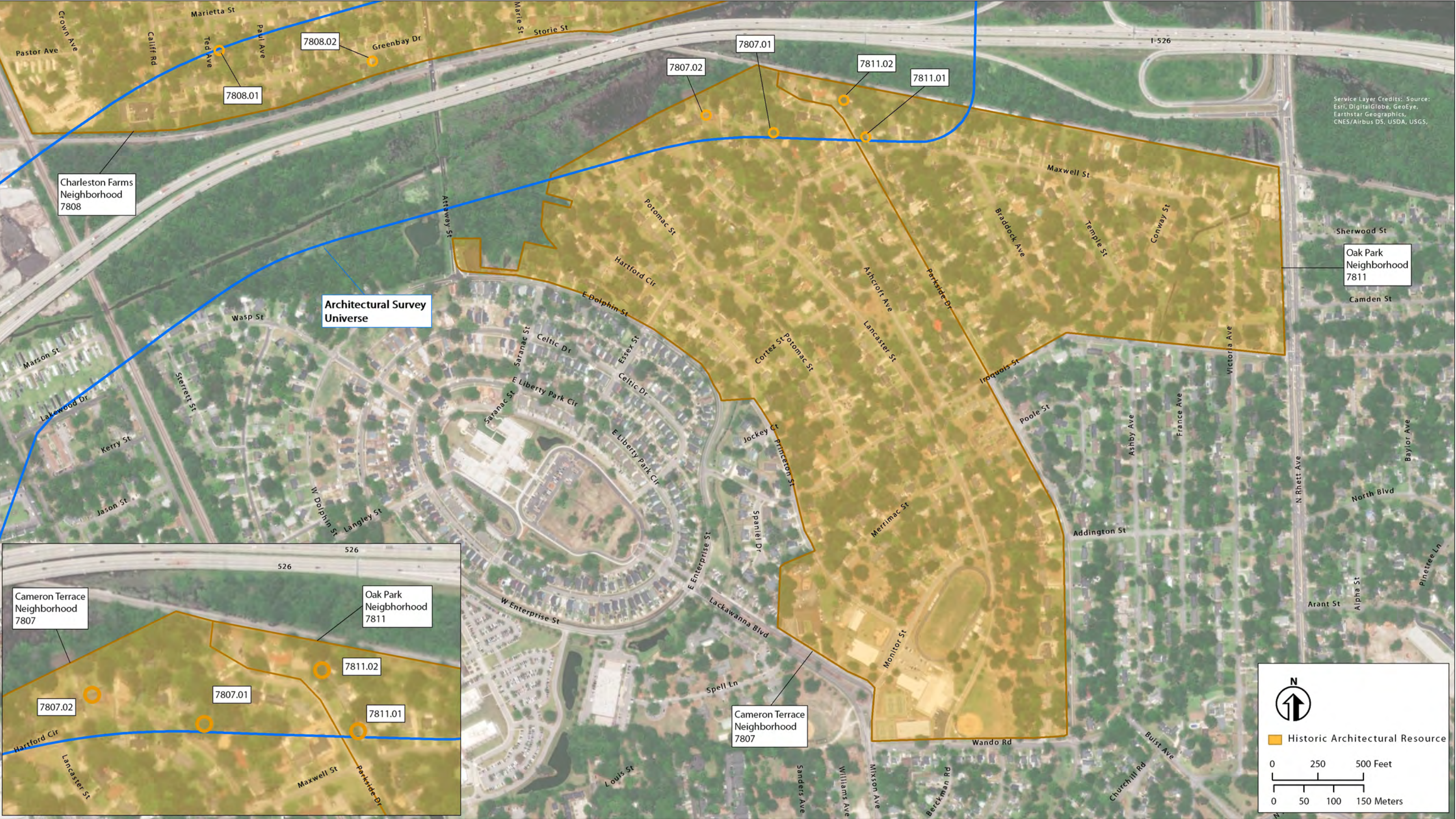


Figure 4.9 Portion of the architectural survey universe that lies within the Cameron Terrace and Oak Park neighborhoods.



#### 4.3.3 Oak Park West (7811)

Oak Park West is an approximately 58.3-acre neighborhood located in North Charleston (see Figure 4.1). Based on Charleston County GIS data, Oak Park West includes 152 lots and 214 individual structures. These include varieties of residences and outbuildings, one commercial building, and seven mobile homes, most of which are not survey eligible. The boundary for Oak Park West extends southwest from the intersection of North Rhett Avenue and CSX Railroad spur; southeast from a cul-de-sac at the terminus of Parkside Drive; northeast from the intersection of Iroquois Street and Parkside Drive; and northwest from the intersection of Braddock and North Rhett Avenues. The northern boundary of Oak Park West is defined by the CSX Railroad spur. Oak Park West borders Cameron Terrace to the west.

As noted above, Oak Park West shares a similar history to that of Cameron Terrace. Oak Park is identified as a subdivision of Olde North Charleston at least by 1948 based on Sanders' (1948) development plat. Based on historic aerial photographs (displayed in Figure 4.2), the neighborhood had mostly filled out by 1957, slightly before that of Cameron Terrace.

Oak Park West is a circa 1950 neighborhood, consisting of a mix of architectural styles, including 50 percent Minimal Traditional, 30 percent Ranch, and 20 percent modern construction. We observed no unifying neighborhood characteristics and most individual homes have some alterations. Oak Park West has clustered concentrations of modern construction. Modern home alterations include windows, doors, infilled garages and porches, front additions, vinyl siding, and modern infill construction.

The project architectural survey universe only includes approximately five acres in the northernmost portion of the Oak Park neighborhood. The architectural resources within the architectural survey universe portion of Oak Park are split between Minimal Traditional (n=8) and Ranch houses (n=6). Figure 4.10 shows an example of a Minimal Traditional house (7811.01) within the architectural survey universe portion of Oak Park, and Figure 4.11 shows an example of a Ranch house (7811.02) in the architectural survey universe.

We assessed the NRHP eligibility of Resource 7811 (the Oak Park West neighborhood) with

respect to Criteria A-D (see Section 1.2.6). The architectural survey universe covers approximately 8.6 percent of the Oak Park West neighborhood. We identified approximately 14 buildings, including eight Minimal Traditional houses and six Ranch houses. Oak Park West is an example of the common post-World War II neighborhood in North Charleston but is not amongst the best examples. Although it retains its original configuration, many of the residences display significant changes and the presence of numerous outbuildings dating from the 1970s or later shows that Oak Park West has witnessed high-level material change and modern infill. Therefore, we recommend Oak Park West and all associated architectural resources in the architectural survey universe not eligible for the NRHP. These cultural resources require no additional management.





Figure 4.10 Resource 7811.01, an example of a Minimal Traditional house in the Oak Park neighborhood.



Figure 4.11 Resource 7811.02, an example of a Ranch house in the Oak Park neighborhood.



#### 4.3.4 Liberty Park (7810)

Resource 7810 (the Liberty Park neighborhood) is an approximately 110-acre neighborhood with its boundary starting at the easternmost point where Rivers Avenue crosses Filbin Creek (see Figure 4.1). It follows Rivers Avenue northwest to its intersection with the CSX Railroad and turns west to follow the railroad easement. The boundary follows the railroad easement under I-26 and follows the curved rail spur that takes the line southeast and eventually back to a portion of the Southern Railways main line. The boundary follows the rail line southeast to where I-526 passes overhead, where it then turns to follow I-526 northeast back to the starting point.

The USGS (1943) quadrangle displayed in Figure 4.12 shows what eventually becomes Taylor Street as a dirt road with 14 buildings along it between Rivers Avenue and the CSX Railroad. Gaillard and Gaillard's (1943) Map of Liberty Park details nearly 200 lots laid out around Taylor and Bell (now James Bell Drive) Streets. Based on subsequent development plats, there was an expansion north in circa 1948, and approximately 110 lots were added south of Filbin Creek circa 1950 and 1955 (Collette 1955; Morgan 1948; Sotille 1950). Like other planned neighborhoods of the time in North Charleston, Liberty Park was designed to provide housing for the growing numbers of military and civilian employees working at the Navy Yard, Army Ordnance Depot, and the Charleston Air Force Base. Garco and West Virginia Pulp and Paper Company employees would have also been residents of Liberty Park. The improvement of Rivers Avenue, circa 1935, would have also been a driving factor of development in the area. Today, Liberty Park is a predominantly African American neighborhood, although it is unclear whether it was originally. Based on USGS (1957) aerial photographs, the neighborhood had mostly filled out by 1957, as shown in Figure 4.13.

Development of Liberty Park began in 1944 and continued through the early 1960s. Throughout Liberty Park, we observed a wide variety of residential styles, with Ranch Duplexes (36.5%) and bungalows (26.9%) the most common, followed by Bungalow Ranches (10.8%), Minimal Traditional houses (7.5%), Ranch and vernacular houses (6.5% each), and Transitional Ranches (5.4%). Liberty Parks also includes one Front Gable church. In the

architectural survey universe portion of Liberty Park, buildings are split between bungalows (n=25), Minimal Traditional (n=7), vernacular (n=6), Transitional Ranch (n=5), Ranch Duplex (n=34), Bungalow Ranch (n=10), Ranch houses (n=6) and one Front Gable church. Figures 4.14 through 4.20 show examples of a Bungalow house (7810.02), Minimal Traditional house (7810.03), vernacular house (7810.04), Transitional Ranch house (7810.05), Ranch duplex (7810.06), Bungalow Ranch house (7810.07), and Ranch house (7810.08), respectively, within the architectural survey universe of Liberty Park. Figure 4.21 shows Resource 7810.01 (Enoch Methodist Church), a front gable church within the architectural survey universe of Liberty Park. Figure 4.22 gives an aerial overview of where the architectural survey universe lies within Liberty Park, and the locations of the resources.

We assessed the NRHP eligibility of Resource 7810 (the Liberty Park neighborhood) with respect to Criteria A-D (see Section 1.2.6). The architectural survey universe includes 68.2 percent of the approximately 110-acre Liberty Park neighborhood. Liberty Park is an example of the common post-World War II neighborhood in North Charleston, but is not amongst the best examples. The construction of I-26 cut through the northwest corner of Liberty Park, while the construction of I-526 cut through its southernmost portion. The passage of the two interstate highways through the neighborhood compromises the integrity of setting of Liberty Park. Also, Liberty Park has witnessed a high-level material change to its resources, as well as modern infill. Therefore, we recommend the Liberty Park neighborhood and all associated architectural resources in the architectural survey universe not eligible for listing in the NRHP.

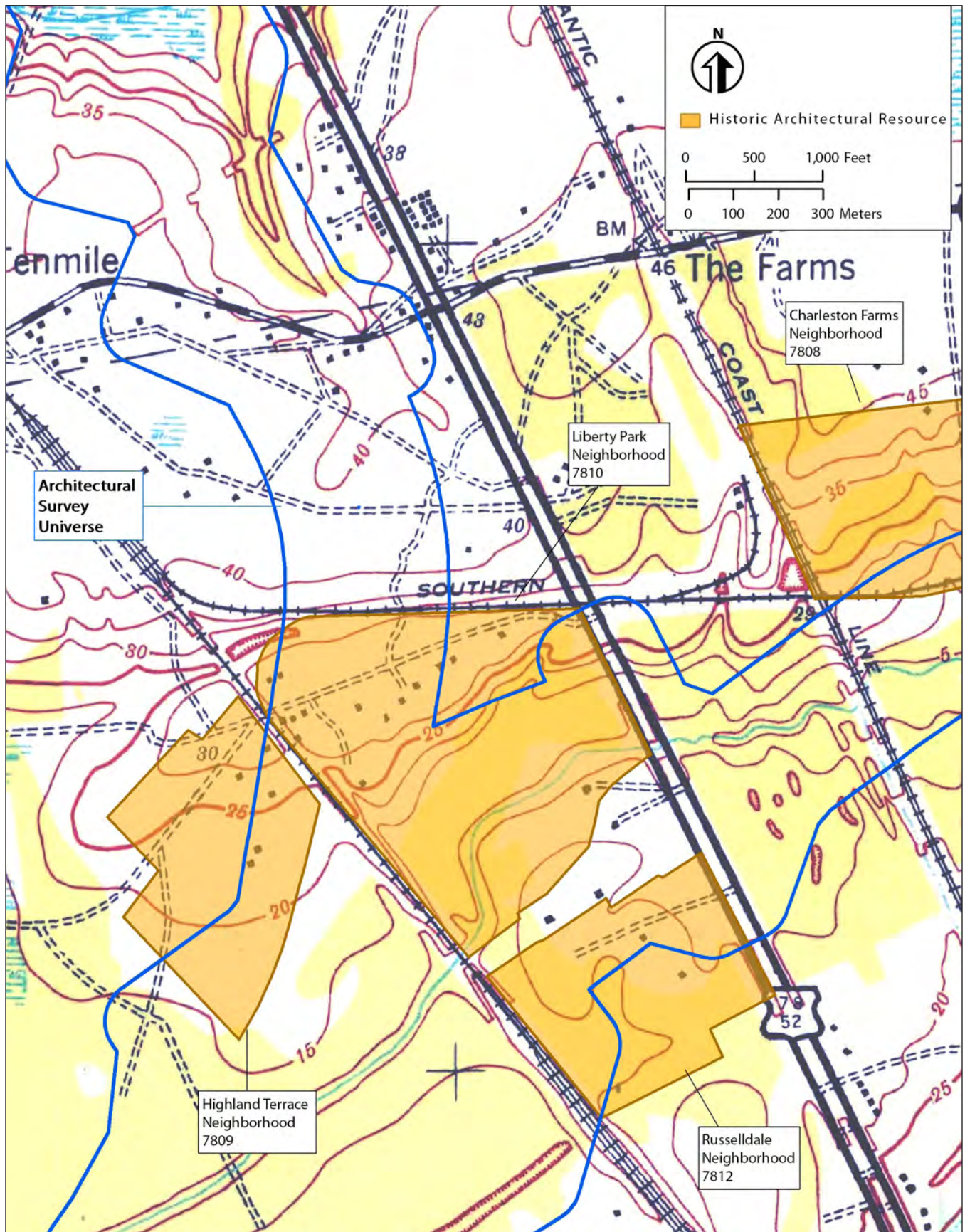


Figure 4.12 USGS (1943) Ladson, SC quadrangle showing the location of the Liberty Park and Highland Terrace neighborhoods.









Figure 4.13 (USGS) 1957 aerial photograph of a portion of the project area showing Liberty Park and Highland Terrace neighborhoods.





Figure 4.14 Resource 7810.02, an example of a Bungalow house in Liberty Park neighborhood.



Figure 4.15 Resource 7810.03, an example of a Minimal Traditional house in Liberty Park neighborhood.





Figure 4.16 Resource 7810.04, an example of a vernacular house in Liberty Park neighborhood.



Figure 4.17 Resource 7810.05, an example of a Transitional Ranch house in Liberty Park neighborhood.





Figure 4.18 Resource 7810.06, an example of a Ranch Duplex in Liberty Park neighborhood.



Figure 4.19 Resource 7810.07, an example of a Bungalow Ranch house in Liberty Park neighborhood.





Figure 4.20 Resource 7810.08, an example of a Ranch house in Liberty Park neighborhood.



Figure 4.21 Resource 7810.01, Enoch Methodist Church, an example of a front gable church in Liberty Park neighborhood.









Figure 4.22 Portion of the architectural survey universe that lies within the Liberty Park neighborhood.



#### 4.3.5 Highland Terrace (7809)

Resource 7809, the Highland Terrace neighborhood, covers approximately 55 acres in North Charleston (see Figures 4.1 and 4.12). Highland Terrace is located between I-26 and the CSX Railroad to the east; South Aviation Avenue to the west; northwest of the I-26 and I-526 interchange; and southeast of the Charleston International Airport.

Highland Terrace has a similar early developmental pattern to Liberty Park as it is just west of that neighborhood, across the CSX Railroad via Taylor Street (see Figure 4.12). Gaillard's (1949) Map of Highland Terrace Near Ten Mile Charleston County S.C. details 94 lots and shows the development of Highland Terrace lagged about five years behind Liberty Park. Based on subsequent development plats, there was an expansion southwest in 1952 with the addition of 55 lots, and in 1954 with an additional 159 (Gaillard 1952a, 1954). Like other planned neighborhoods of the time in North Charleston, Highland Terrace was designed to provide housing for the growing numbers of military and civilian employees working at the Navy Yard, Army Ordnance Depot, and the Charleston Air Force Base. Garco and West Virginia Pulp and Paper Company employees would have also been residents of Highland Terrace. The improvement of Rivers Avenue, circa 1935, would have also been a driving factor of development in the area. Today, Highland Terrace is predominantly an African American neighborhood, although it is unclear whether it was originally. Based on USGS (1957, 1973) aerial photographs, the neighborhood was still sparsely developed in 1957 (see Figure 4.13), and was close to present-day fill by 1973, as displayed in Figure 4.23).

Development of Highland Terrace began in 1949 and continued into the early 1960s. Throughout Highland Terrace, architectural styles include bungalows (60%) and Ranches (40%). In the architectural survey universe portion of Highland Terrace, we enumerated 20 bungalows and 15 Ranch houses. Figures 4.24 and 4.25, respectively, show examples of a bungalow house (7809.01) and a Ranch house (7809.02) in the architectural survey universe of Highland Terrace. Figure 4.26 presents an aerial overview of where the architectural survey universe lies within Highland Terrace, and the locations of the resources.

We assessed the NRHP eligibility of Resource 7809 (the Highland Terrace neighborhood) with respect to Criteria A-D (see Section 1.2.6). The architectural survey universe includes 50 percent of the approximately 50-acre Highland Terrace neighborhood. Highland Terrace is an example of the common post-World War II neighborhood in North Charleston, but it is not amongst the best examples. The construction of I-26 cut through the southernmost portion of Highland Terrace. The passage of the interstate highway through the neighborhood compromises the integrity of setting of Highland Terrace. Also, Highland Terrace has witnessed a high-level material change to its resources, as well as modern infill. Therefore, we recommend the Highland Terrace neighborhood and all associated architectural resources in the architectural survey universe not eligible for listing in the NRHP.





Figure 4.23 USGS (1973) aerial photograph of a portion of the project area showing Liberty Park, Highland Terrace, and Russelldale neighborhoods.





Figure 4.24 Resource 7809.01, an example of a bungalow house in Highland Terrace neighborhood.



Figure 4.25 Resource 7809.02, an example of a Ranch house in Highland Terrace neighborhood.





Figure 4.26 Portion of the architectural survey universe that lies within the Highland Terrace neighborhood.



#### 4.3.6 Russelldale (7812)

Resource 7812, the Russelldale neighborhood, covers approximately 50 acres east of the I-26 and I-526 interchange in North Charleston (see Figure 4.1). Russelldale's boundary extends southwest from where Rivers Avenue and I-526 intersect; southeast from the I-526 overpass over the CSX Railroad; northeast from a drainage ditch that marks the property boundary of parcels at the southern end of Rockingham Street, Butler Street, and Delta Street; and northwest from where the ditch intersects Rivers Avenue.

Russelldale also has a similar early developmental pattern to Liberty Park and Highland Terrace, but seemed to be an even less developed area than the other two before the designed layouts were planned (see Figure 4.12). Howe's (1948) Plat of a Portion of Russelldale details 126 lots. Based on subsequent development plats, there was an expansion west in circa 1951, adding 41 lots, and 43 lots were added in the same direction circa 1955 (Goode 1951; Howe 1955). See the above descriptions of forces that drove the development of Liberty Park and Highland Terrace, as Russelldale would have witnessed similar circumstances. Russelldale is also predominantly an African American neighborhood, although it is unclear whether it was originally. Based on USGS (1957, 1973) aerial photographs, the neighborhood was mostly developed by 1957, and the later sections were filled out by 1973 (Figure 4.13 and 4.23).

Development of Russelldale began in 1945 and continued into the early 1960s. Throughout Russelldale, architectural styles include Minimal Traditional (40%), Transitional Ranch (20%), vernacular (15%), Ranch (15%), and bungalow (10%) houses. In the architectural survey universe portion of Russelldale, we observed a similar ratio of houses, with 22 Minimal Traditional, 13 Transitional Ranch, 10 vernacular, nine Ranch, and seven bungalow houses. Figures 4.27 through 4.32 show examples of bungalow (7812.01), Minimal Traditional (7812.02), vernacular (7812.03), Transitional Ranch (7812.04), and Ranch (7812.05) houses in the architectural survey universe of Russelldale. Figure 4.32 shows an example of a Contemporary Ranch house (7812.06). Figure 4.33 provides an aerial overview of where the architectural survey universe lies within Russelldale, and the location of the recorded historic architectural resources.

We assessed the NRHP eligibility of Resource 7812 (the Russelldale neighborhood) with respect to Criteria A-D (see Section 1.2.6). The architectural survey universe includes 60 percent of the approximately 50-acre Russelldale neighborhood. Russelldale is an example of the common post-World War II neighborhood in North Charleston, but it is not amongst the best examples. The construction of I-526 cut through the northernmost portion of Russelldale. The passage of the interstate highway through the neighborhood compromises the integrity of setting of Russelldale. Also, Russelldale has witnessed a high level material change to its resources, as well as modern infill. Therefore, we recommend the Russelldale neighborhood and all associated architectural resources in the architectural survey universe not eligible for listing in the NRHP. These cultural resources require no additional management.





Figure 4.27 Resource 7812.01, an example of a bungalow house in Russelldale neighborhood.



Figure 4.28 Resource 7812.02, an example of a Minimal Traditional house in Russelldale neighborhood.





Figure 4.29 Resource 7812.03, an example of a vernacular house in Russelldale neighborhood.



Figure 4.30 Resource 7812.04, an example of a Transitional Ranch house in Russelldale neighborhood.





Figure 4.31 Resource 7812.05, an example of a Ranch house in Russelldale neighborhood.



Figure 4.32 Resource 7812.06, an example of a Contemporary Ranch house in Russelldale neighborhood.









Figure 4.33 Portion of the architectural survey universe that lies within the Russelldale neighborhood.



#### 4.3.7 Camps (7911)

Resource 7911, the Camps neighborhood, covers approximately 210 acres along West Montague Avenue east of I-26 in North Charleston (see Figure 4.1). The entire neighborhood is centered along West Montague Avenue. The boundary follows West Montague Avenue south then west, capturing portions of the blocks to either side. The neighborhood is widest at the portion of West Montague Avenue where it passes underneath I-526. The neighborhood follows West Montague Avenue and captures portions of the blocks to either side just past Dorchester Road and ending where Cindy Lane intersects West Montague Avenue. The USGS (1948) quadrangle shows the area as Bennett, and what would become West Montague Avenue with only two buildings along the road in the architectural survey universe in the current Camps neighborhood. Gaillard's (1953) plat of Camps shows 69 lots along the north side of Goodrich Road (West Montague Avenue). Based on subsequent development plats, there was an expansion northwest circa 1959, adding 46 lots (Gaillard 1959a, 1959b). The USGS (1958) Johns Island, SC quadrangle, presented in Figure 4.34, shows the area as Bennett and what would become West Montague Avenue as Goodrich Road with approximately 50 buildings along the road in what is the current Camps Neighborhood boundaries. Like other planned neighborhoods of the time in North Charleston, Camps was designed to provide housing for the growing numbers of military and civilian employees working at the Navy Yard, Army Ordnance Depot, and the Charleston Airforce Base. Based on USGS (1968) aerial imagery presented in Figure 4.35, the neighborhood was mostly developed by 1968, with some of the newer lots still vacant.

Development of Camps began in 1959 and continued into the late 1960s. Throughout Camps, architectural styles include Ranch (40%), vernacular duplexes (15%), and Minimal Traditional, Ranch, and Transitional Ranch houses (15% each). In the architectural survey universe portion of Camps, we observed a similar ratio of houses, including seven vernacular duplexes, three Minimal Traditional houses, three Ranch houses, three Transitional Ranch houses, and two vernacular duplexes. Figures 4.36 through 4.38, respectively, show examples of Minimal Traditional (7911.01), Transitional Ranch

(7911.02), and Ranch (7911.03) houses in the architectural survey universe at Camps. Figures 4.39 and 4.40, respectively, show examples of Ranch (7911.04) and vernacular (7911.05) duplexes in the architectural survey universe of Camps. Figure 4.41 provides an aerial overview of where the architectural survey universe lies within Camps, and the locations of the resources.

We assessed the NRHP eligibility of Resource 7911 (the Camps neighborhood) with respect to Criteria A-D (see Section 1.2.6). The architectural survey universe includes approximately 40 percent of the 210-acre Camps neighborhood. Camps is an example of the common post-World War II neighborhood in North Charleston but is not amongst the best examples. The construction of I-526 cut directly through the center of Camps. The passage of the interstate highway through the neighborhood compromises the integrity of setting of Camps. Also, Camps has witnessed a high-level material change to its resources, as well as modern infill. Therefore, we recommend the Camps neighborhood and all associated architectural resources in the architectural survey universe not eligible for listing in the NRHP. These cultural resources require no additional management.



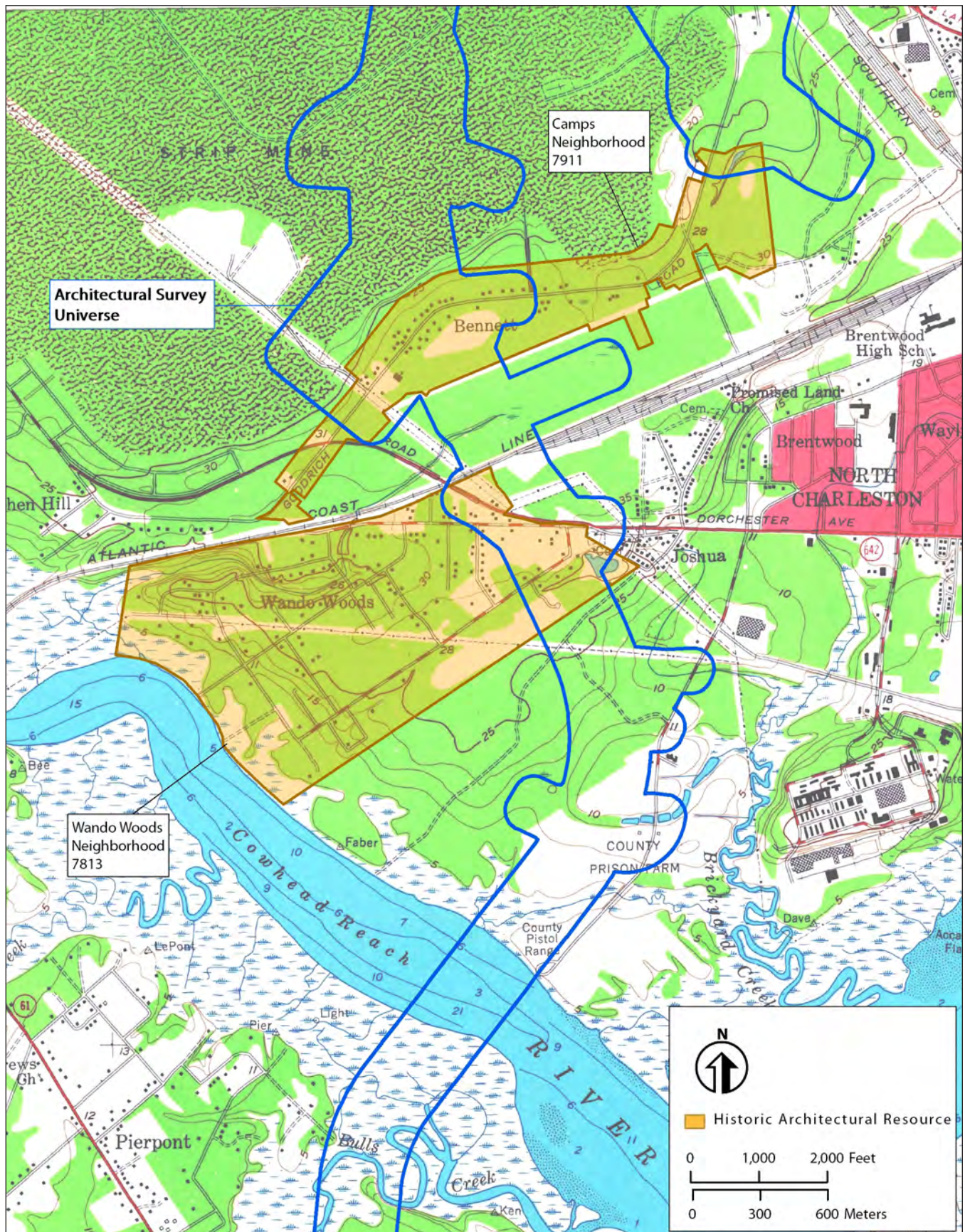


Figure 4.34 A portion of the USGS (1958) Johns Island, SC quadrangle showing the location of Camps and Wando Woods.



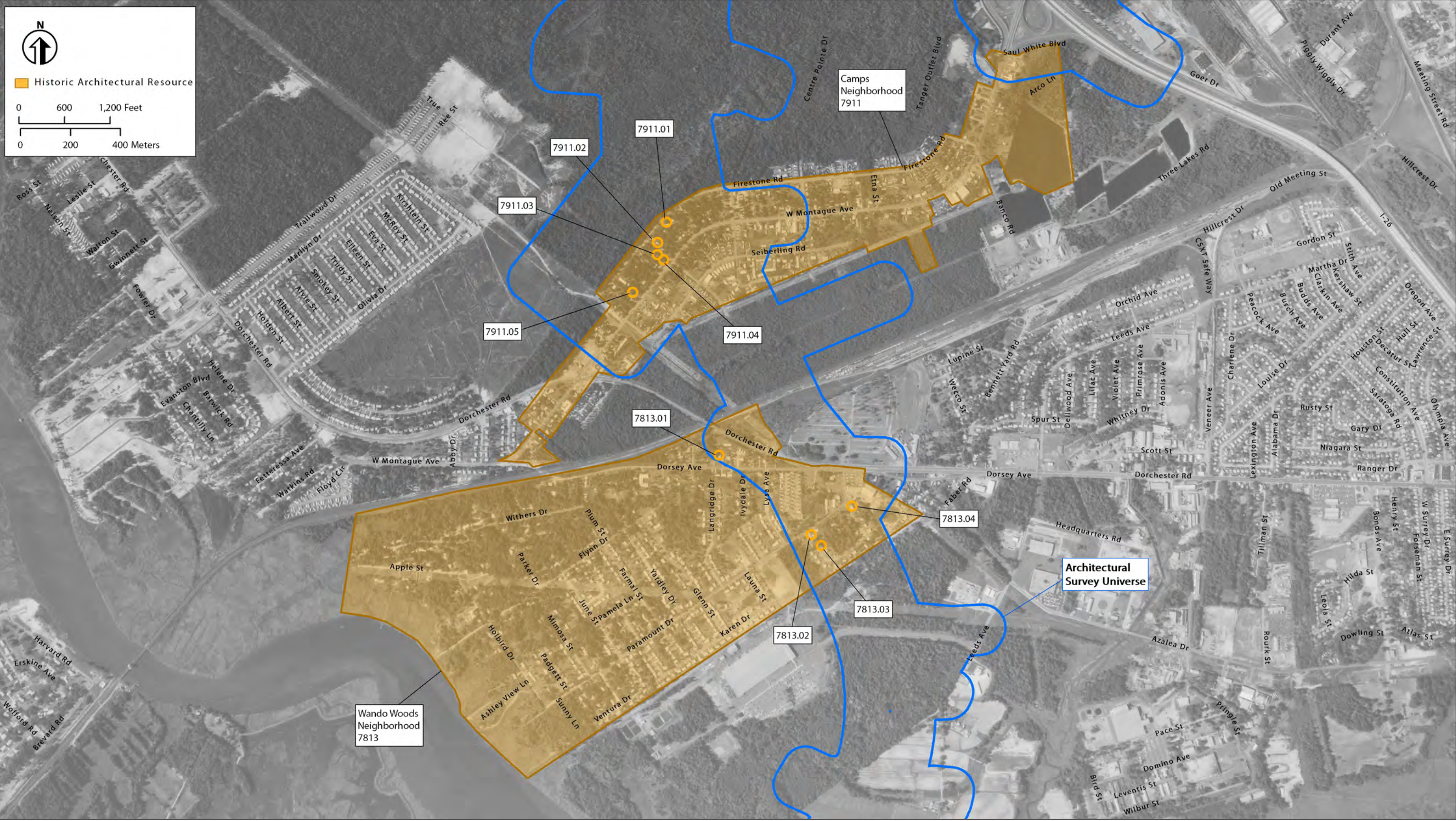


Figure 4.35 A USGS (1968) aerial photograph showing the location of Camps and Wando Woods.





Figure 4.36 Resource 7911.01, an example of a Minimal Traditional house in Camps neighborhood.



Figure 4.37 Resource 7911.02, an example of a Transitional Ranch house in Camps neighborhood.





Figure 4.38 Resource 7911.03, an example of a Ranch house in Camps neighborhood.



Figure 4.39 Resource 7911.04, an example of a Ranch duplex in Camps neighborhood.





Figure 4.40 Resource 7911.05, an example of a vernacular duplex in Camps neighborhood.



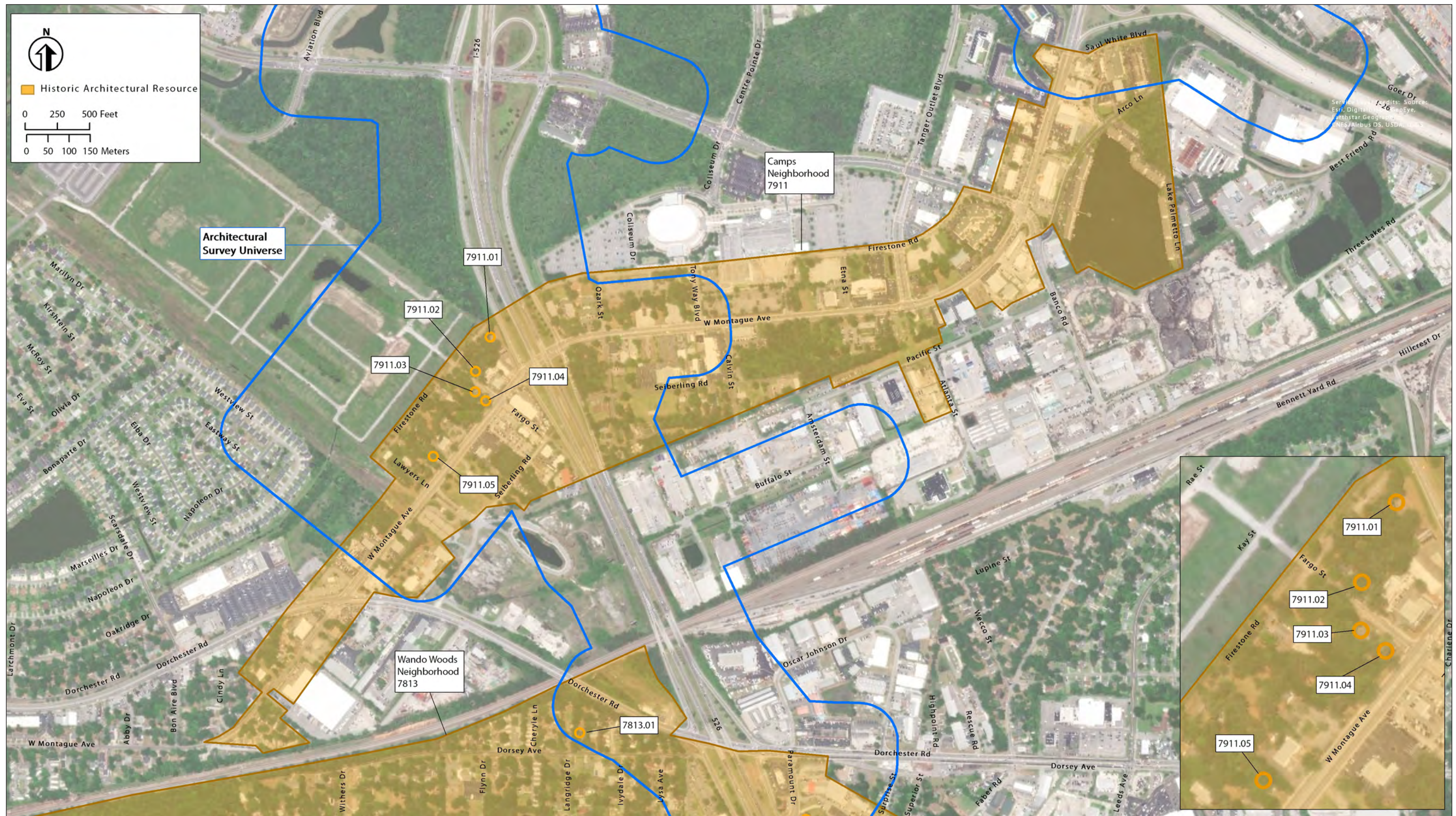


Figure 4.41 Portion of the architectural survey universe that lies within the Camps neighborhood.



#### 4.3.8 Wando Woods (7813)

Resource 7813, the Wando Woods neighborhood, covers approximately 430 acres southeast of the I-526 and Dorchester Road interchange in North Charleston (see Figure 4.1). The boundary for Wando Woods begins at the northernmost point where the CSX Railroad crosses under I-526, following the rail line in a general west direction to a point in-line with the dead end of Apple Street, where it turns south. The boundary travels south past the end of Apple Street to the marshes of the Ashley River. The boundary turns in a general southeast direction to wind along the Ashley River to a drainage ditch that also serves as a southern boundary of the neighborhood and its southern parcels. The boundary follows the ditch northeast along the rear of the parcels along Karen Drive and in a straight line across I-526 to Faber Road. The boundary then turns northwest toward the intersection of Paramount Drive and Dorchester Road where it then follows Dorchester Road west to the starting point.

Wando Woods has a similar early developmental pattern to Camps. Wando Woods was being planned as early as 1950 but it was not until 1952 that the development layout began taking a shape similar to the current neighborhood (Gaillard 1950, 1952b). The USGS (1959) quadrangle based on 1957 aerial photography shows Wando Woods as moderately developed with buildings along the earlier streets (see Figure 4.34). Wando Woods went through many phases of subdividing, as a USGS (1968) aerial image shows that many more of the present-day streets had been added and lots were filling in with buildings (see Figure 4.35). The last portion of Wando Woods to be expanded and developed appears to be the southeast portion below Paramount Drive. See the above descriptions of forces that drove the development of the previously discussed neighborhoods, as Wando Woods would have represented developmental pressures in the same direction as Camps.

Development of Wando Woods began in 1952 and continued into the early 1970s. Throughout Wando Woods, architectural styles include Minimal Traditional (40%), Ranch (40%), and Bungalow Ranch (20%), with some commercial buildings. In the architectural survey universe portion of Wando Woods, we observed a similar ratio of houses, with 11

Minimal Traditional, 11 Ranch, and seven Bungalow Ranch houses, and one commercial building. Figures 4.42 through 4.44, respectively, show examples of Minimal Traditional (7813.01), Ranch (7813.02), and Bungalow Ranch (7813.03) houses in the architectural survey universe of Wando Woods. Figure 4.45 shows an example of a commercial building (7813.04) in the architectural survey universe of Wando Woods. Figure 4.46 provides an aerial overview of where the architectural survey universe lies within Wando Woods, and the locations of the resources.

We assessed the NRHP eligibility of Resource 7813 (the Wando Woods neighborhood) with respect to Criteria A-D (see Section 1.2.6). The architectural survey universe includes approximately 13 percent of the 430-acre Wando Woods neighborhood. Wando Woods is an example of the common post-World War II neighborhood in North Charleston, but it is not amongst the best examples. The construction of I-526 cut through the easternmost portion of Wando Woods. The passage of the interstate highway through the neighborhood compromises the integrity of setting of Wando Woods. Also, Wando Woods has witnessed a high level material change to its resources, as well as modern infill. Therefore, we recommend the Wando Woods neighborhood and all associated architectural resources in the architectural survey universe not eligible for listing in the NRHP. These cultural resources require no additional management.





Figure 4.42 Resource 7813.01, an example of a Minimal Traditional house in Wando Woods neighborhood.



Figure 4.43 Resource 7813.02, an example of a Ranch house in Wando Woods neighborhood.





Figure 4.44 Resource 7813.03, an example of a Bungalow Ranch house in Wando Woods neighborhood.



Figure 4.45 Resource 7813.04, an example of a commercial building in Wando Woods neighborhood.





Figure 4.46 Portion of the architectural survey universe that lies within the Wando Woods neighborhood.



#### 4.4 Resource 7806-Bethune Elementary (5841 River Street)

Resource 7806 is the circa 1952 Bethune Elementary School (Figure 4.1). Bethune Elementary was built using funds from the county’s equalization program to serve African American students of the area (Dobrasko 2005). The resource is on the west side of Rivers Avenue, approximately 750 ft north of the Remount Road intersection. Figure 4.47 displays Rhett’s (1926) Map Showing the Village of Doxine, which was used in 1942 to show the planned widening of River Road (now Rivers Avenue). This plat also shows a “4 Acre Tract School Lot”. The lot may have been the site of a school building in 1926, designated for a school building in 1926, or updated on the 1942 version of the plat. It seems likely that there was a school building on the lot before the construction of the circa 1952 school, based on a (USGS) 1957 aerial photograph. The USGS (1957) aerial shows the circa 1952 school building along with what is likely an older school building directly to the west, as displayed in Figure 4.48.

Large-scale school construction occurred in Charleston County after World War II because of overcrowding in existing buildings. New theories about educational architecture influenced the design of these new schools. They tended to be built with plenty of large windows to improve ventilation and natural light. They were often constructed as single-story buildings to make it easier and cheaper to expand and for safety purposes. The Bethune Elementary School building design is consistent with the post-World War II construction trends. The building faces northeast toward the roadway with what appears to be an intact historic landscape. Oak trees line a central drive that loops near the school entrance, while boxwoods and crepe myrtles line the front of the building, and mature oaks dot the backyard (see Figure 4.49). The school is a long linear plan building with a flat roof. Figure 4.50 shows a view of the northeast façade of the resource. The construction method could be one of three types: brick, concrete block with brick veneer, or frame with brick veneer. The walls appear to have a five-course common bond brick work, but masons of the mid-twentieth century would often lay brick veneers with the appearance of a load bearing structure. The brick exterior surface also obscures the nature of the

foundation system. The building is likely a concrete block core with brick veneer and a poured concrete slab foundation.

The primary entrance is centered on the lateral, northeast façade. It is recessed with replacement double doors of metal and glass lights. The recessed walls are painted in blue and white, and have the interlocking letters of C and A (possibly standing for a later name of Charlestown Academy). Figure 4.51 provides a view of details of the primary entrance within the front façade. There is a historic addition on the north end of the building with a brick veneer siding and likely frame walls. The addition has a recessed entrance on the north end and a flush entrance on the rear southwest façade. Both entrances on the addition have poured concrete steps, metal hand rails, and what may be original metal double doors with glass lights. Another original rear entrance, similar to the primary one, is centered on the rear southwest façade and flanked by two small historic additions. The addition to the south of the entrance has a large brick chimney and appears to have been an original mechanical and electrical systems room. There is another small historic addition on the rear southwest side, towards the north end. A large, modern addition with brick veneer and frame walls is situated off of the rear southern corner of the school. All the additions have entrances, some with double doors. Figure 4.52 provides a view of the rear façade of the resource. The large windows are boarded shut, but retain the correct arrangements. A portion of one window on the historic north addition is visible, and appears to be an original metal sash, awning operation type. Modern alterations include the reversible addition of rain gutters along the roofline and air conditioning units along the exterior walls. Figure 4.53 provides an aerial view of Resource 7806, its position in the architectural survey universe, and the proposed NRHP boundary.

Bethune Elementary School is a good example of the equalization schools being built in Charleston County between 1951 and 1955. The resource is currently vacant and is part of a quickly vanishing inventory of equalization schools in South Carolina. Equalization schools were an integral part of the social and political history in many southern states during the final years of racial segregation. The school building and its contributing landscape features re-



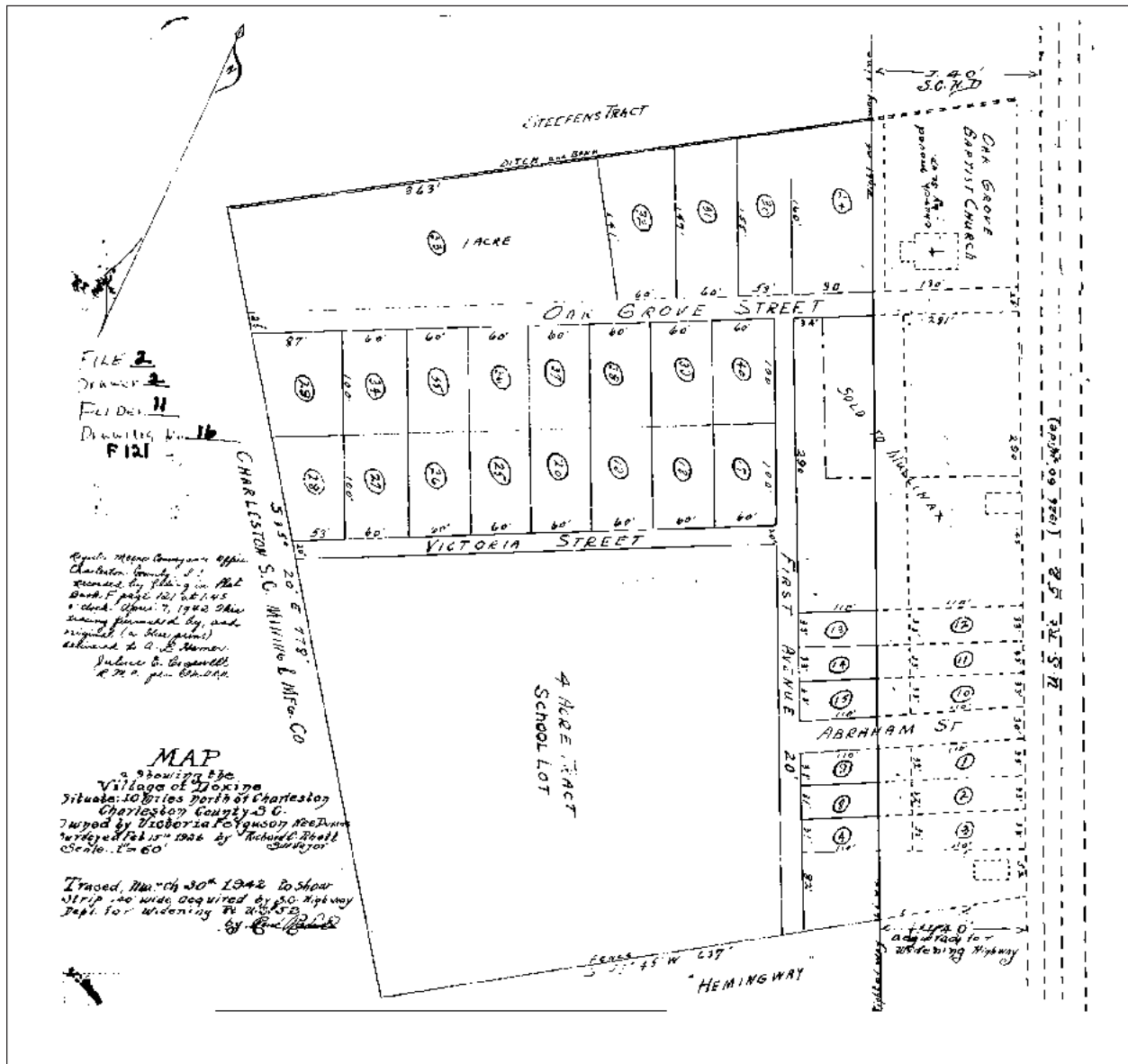


Figure 4.47 Rhett's (1926) plat indicating the school lot and showing the circa 1942 widening of Rivers Avenue (formerly River Road).

tain a high level of historic integrity. We recommend Bethune Elementary School eligible for listing in the NRHP under Criterion A based on its strong association with the historical pattern of the civil rights movement in the region. The school's general history represents the social and political pattern of racial segregation that led up to the civil rights movement, and the desegregation process that followed in the region. We also recommend the Bethune Elementary School eligible for the NRHP under Criterion C. The building embodies the distinctive characteristics of a mid-twentieth-century educational building. The

school possesses a high level of architectural integrity for the increasingly rare resource type in the state, and quite possibly nationwide.

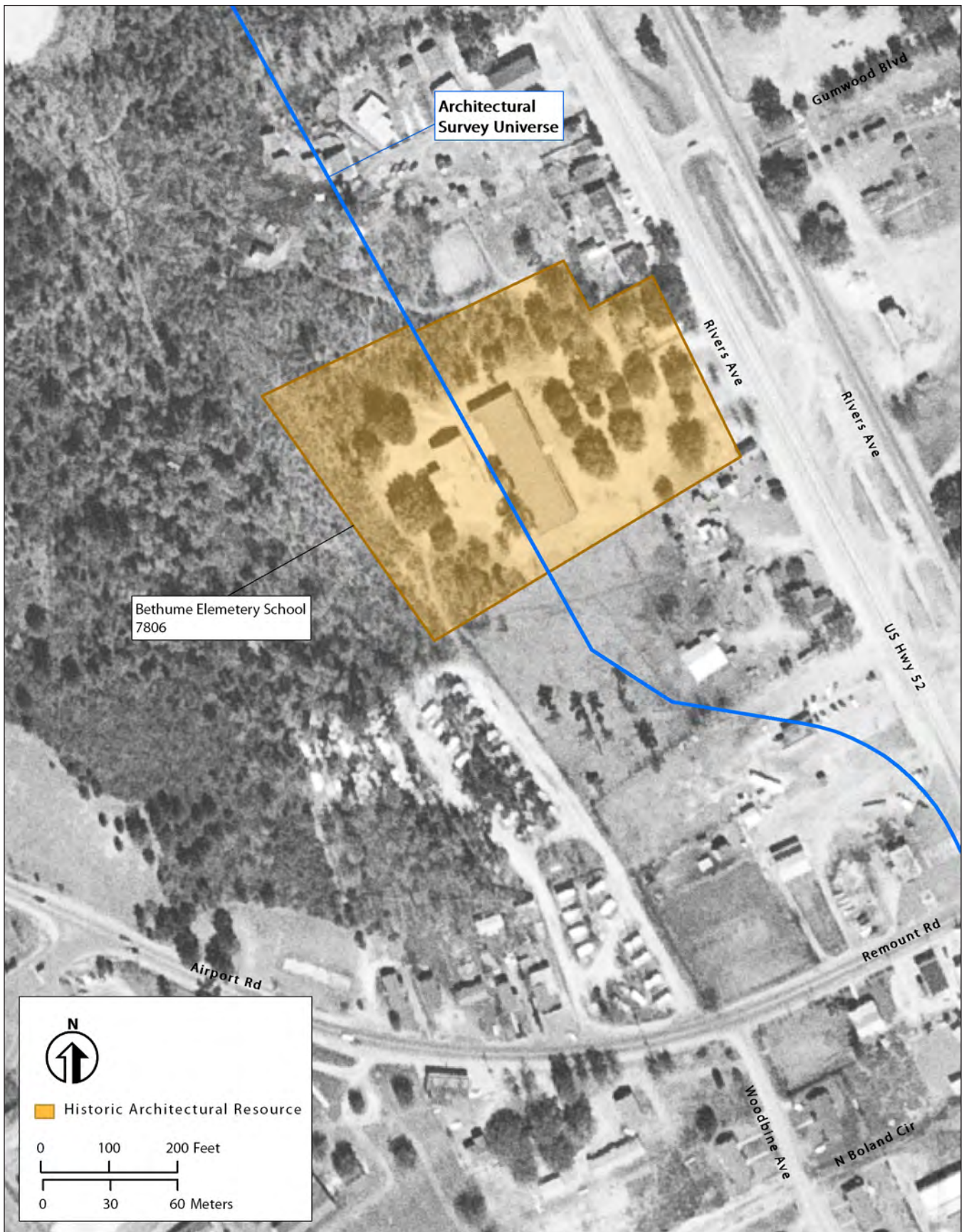


Figure 4.48 USGS (1957) aerial photograph showing Bethune Elementary School and the possible older school building.





Figure 4.49 Resource 7806, view of landscaping features facing west.



Figure 4.50 Resource 7806, view of front façade facing west.





Figure 4.51 Resource 7806, view of the primary entrance within the front façade facing southwest.



Figure 4.52 Resource 7806, view of the rear façade facing east.





Figure 4.53 Aerial view of Resource 7806, its relation to the architectural survey universe, and proposed NRHP boundary.

## 4.5 Summary

Cultural resource investigations have identified one mining complex (7916), one inland rice field (7940), eight post-World War II neighborhoods (7807-7813 and 7911), and 46 individual architectural resources in the architectural survey universe. Resource 276 1936 is no longer extant. The eight post-World War II neighborhoods include Cameron Terrace (7807), Camps (7911), Charleston Farms (7808), Highland Terrace (7809), Liberty Park (7810), Oak Park West (7811), Russelldale (7812), and Wando Woods (7813). Current and previous investigations have recorded two individual resources associated with Cameron Terrace, six associated with Camps, two associated with Charleston Farms, three associated with Highland Terrace, 11 associated with Liberty Park, two associated with Oak Park West, 11 associated with Russelldale, and four associated with Wando Woods. We recommend these eight neighborhoods and associated individual resources not eligible for the NRHP. These resources warrant no further management consideration.

Previous investigations identified two cultural landscape features (7916 and 7940) in the architectural survey universe. Baluha (2019) recommends Resource 7940, the remnants of an inland rice field, not eligible for the NRHP. Resource 7940 warrants no further management consideration. Baluha and Owens (2018) recommend Resource 7916 eligible for the NRHP. However, none of the elements of Resource 7916 that contribute to its NRHP-eligible recommendation are in the architectural survey universe. The proposed project will have no adverse effect on Resource 7916.

We recommend Resource 7806 (Bethune Elementary) eligible for the NRHP under Criteria A and C. The proposed undertaking will take place on a raised roadway approximately 300 ft from Resource 7806 with a building and vegetation providing a buffer that restricts the majority of the viewshed. Furthermore, the proposed undertaking will only take place on road level as improvements on the current roadway. Therefore, the proposed undertaking will not have an adverse effect on Resource 7806; no further management consideration of these resources is warranted.



## 5.0 Project Summary and Recommendations

From August 22 to September 7, 2016 and September 13 through 15, 2017, Brockington conducted a cultural resources survey of the I-526 Corridor Improvements Project in Charleston County, South Carolina. This work was conducted for Stantec and the SCDOT in advance of road construction activities in the project area. This survey provides compliance with federal regulations concerning the management of historic properties, as summarized in Chapter 1. The SCDOT proposes to improve I-526 from Paul Cantrell Boulevard to Glenn McConnell Parkway. Improvements along I-26 extend from West Montague Avenue west to Remount Road. The project may include adding a travel lane in each direction along I-526; interchange improvements at Leeds Avenue, Dorchester Road, West Montague Avenue, International Boulevard, and Paul Cantrell Boulevard; and the system-to-system connections at Glenn McConnell Parkway, I-26, and Rivers Avenue. Interchange improvements along I-26 may include West Montague Avenue. Improvements are also to be evaluated along Paul Cantrell Boulevard from Tobias Gadson Boulevard to Charlie Hall Boulevard. This segment of Paul Cantrell Boulevard includes the intersection of Magwood Drive, which will be evaluated for a grade separation to accommodate future traffic volumes.

Cultural resources survey of the I-526 Corridor Improvements Project included background research, terrestrial archaeological survey, underwater archaeological survey, and architectural survey. During the terrestrial archaeological survey, Brockington archaeologists identified one new archaeological site (38CH2523) and revisited one previously identified archaeological site (38CH17). We recommend 38CH2523 not eligible for the NRHP. Site 38CH17 was previously determined to be not eligible for the NRHP. No further management consideration of these resources is warranted. If current proposed road plans change, additional survey may be necessary.

During the underwater archaeological survey, TAR identified two anomalies (Anomalies 006-1 and 010-1). It is possible that Anomaly 006-1 could be associated with an early ferry vessel or bridge structure. TAR recommends avoidance of Anomaly 006-

1 if possible. Ground disturbance activities within a 100-ft buffer surrounding Anomaly 006-1 should be avoided. If these activities cannot be avoided, it is recommended that underwater archaeological assessment of Anomaly 006-1 is conducted, including diver assessment of material at the site so that positive identification can be made, which will allow for a definitive NRHP assessment. Anomaly 010-1 likely represents modern debris and is recommended not eligible for the NRHP. No further management consideration of Anomaly 010-1 is warranted. If current proposed road plans change, additional survey may be necessary.

In the architectural survey universe, one mining complex (7916), one inland rice field (7940), eight post-World War II neighborhoods (7807-7813 and 7911), and 46 individual architectural resources have been identified. Resource 276 1936 is no longer extant. The eight post-World War II neighborhoods include Cameron Terrace (7807), Camps (7911), Charleston Farms (7808), Highland Terrace (7809), Liberty Park (7810), Oak Park West (7811), Russelldale (7812), and Wando Woods (7813). Current and previous investigations have recorded two individual resources associated with Cameron Terrace, six associated with Camps, two associated with Charleston Farms, three associated with Highland Terrace, 11 associated with Liberty Park, two associated with Oak Park West, 11 associated with Russelldale, and four associated with Wando Woods. We recommend these eight neighborhoods and associated individual resources not eligible for the NRHP. These resources warrant no further management consideration.

Previous investigations identified two cultural landscape features (7916 and 7940) in the architectural survey universe. Baluha (2019) recommends Resource 7940, the remnants of an inland rice field, not eligible for the NRHP. Resource 7940 warrants no further management consideration. Baluha and Owens (2018) recommend Resource 7916 eligible for the NRHP. However, none of the elements of Resource 7916 that contribute to its NRHP-eligible recommendation are in the architectural survey universe. The proposed project will have no adverse effect on Resource 7916.

We recommend Resource 7806 (Bethune Elementary) eligible for the NRHP under Criteria A and C. The proposed undertaking will take place on a raised roadway approximately 300 ft from Resource 7806 with a building and vegetation providing a buffer that restricts the majority of the viewshed. Furthermore, the proposed undertaking will only take place on road level as improvements on the current roadway. Therefore, the proposed undertaking will not have an adverse effect on Resource 7806; no further management consideration of these resources is warranted.

Ashley Hall Plantation is a NRHP-listed property located on the west bank of the Ashley River south of the Westmoreland Bridges. Although the property is located outside the 0.25-mile study area buffer, the roadway and bridge over the Ashley River are in the property's viewshed. At present, there are no plans to change the height of the bridges. Thus, proposed construction activities associated with the I-526 Corridor Improvements Project will have no adverse effect on Ashley Hall Plantation. The SCDOT should consult with the SHPO if and when plans change to make the bridges higher.



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## Appendix A

### Artifact Catalog

# Artifact Catalog

Brockington and Associates, Inc. uses the following proveniencing system. Provenience 1 designates general surface collections. Numbers after the decimal point designate subsequent surface collections, or trenches. Proveniences 2 to 200 designate shovel tests. Controlled surface collections and 50 by 50 cm units are also designated by this provenience range. Proveniences 201 to 400 designate 1 by 1 m units done for testing purposes. Proveniences 401 to 600 designate excavation units (1 by 2 m, 2 by 2 m, or larger). Provenience numbers over 600 designate features. For all provenience numbers except 1, the numbers after the decimal point designate levels. Provenience X.0 is a surface collection at a shovel test or unit. X .1 designates level one, and X.2 designates level two. For example, 401.2 is Excavation Unit 401, level 2. Flotation samples are designated by a 01 added after the level. For example, 401.201 is the flotation material from Excavation Unit 401, level 2.

Table of Contents

Site Number	Page Number
38CH17	1

Site Number: 38CH17

Catalog #	Count	Weight (in g)	Artifact Description	Lithic Type	Ceramic Type	Temporal Range	Comments
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SITE NUMBER: 38CH17

Provenience Number:	2 . 1	Shovel Test , E500, N500, 0-20 cmbs					
1	0	185.2	Brick,				
Provenience Number:	3 . 1	Shovel Test , E500, N485, 0-10 cmbs					
1	0	98.4	Brick,				Discard
2	0	25	Brick,				Discard
Provenience Number:	4 . 1	Shovel Test , E500, N507.5, 0-30 cmbs					
1	0	2000	Brick,				Discard
Provenience Number:	5 . 1	Shovel Test , E500, N515, 0-60 cmbs					
1	0	142	Brick, Glazed				
2	0	10000	Brick,				Discard
Provenience Number:	6 . 1	Shovel Test , E500, N522.5, 0-30 cmbs					
1	0	1000	Brick,				Discard





## **Appendix B**

### South Carolina Statewide Survey of Historic Properties Survey Forms





**Statewide Survey of Historic Properties**  
**State Historic Preservation Office**  
**South Carolina Department of Archives and History**  
**8301 Parklane Road**  
**Columbia, SC 29223-4905 (803) 896-6100**

U / 276 1662.01 Revisit: ☒  
Status Site No.  
Quadrangle Name: Ladson  
Tax Map No.: 472100040

## Survey Form

### Identification

Historic Name:

Common Name: Liberty Park residence

Address/Location: 2335 TAYLOR ST

City: North Charleston

Vicinity of ☐

County: Charleston

Ownership: Private

Category: Building

Historical Use: Domestic

Historical Use (if Other):

Current Use: Domestic

Current Use (if Other):

SHPO National Register Determination of Eligibility: Not Eligible

### Property Description

Construction Date: c. 1919

Construction: Frame

Construction (if Other):

Historic Core Shape: rectangular

Historic Core Shape (if Other):

Exterior Walls: Other

Exterior Walls (if Other):

Foundation: Concrete block

Foundation (if Other):

Commercial Form:

Commercial Form (if Other):

Roof Shape: Gable, end-to-front

Roof Shape (if Other):

Roof Materials: Composition shingle

Roof Materials (if Other):

Stories: 1 story

Stories (if Other):

Porch Width: Other

Porch Width (if Other):

Porch Shape: Pedimented gable

Porch Shape (if Other):

Description/Significant Features: A variant of Type A, this house has a 1-bay shed wing at rear of right elevation and vertical board siding at porch gable end.

Alterations (include date(s), if known) Garco type A, moved to location. Ca. 1980 CMU foundation; chimney lost. Vinyl siding at main body, inset screen at porch.

Architect(s)/Builder(s): Fred J. Orr



**Historical Information**

Historical Information: In the fall of 1919, Garco Co. finished construction of 75 houses for its workers. During the 1970s and 80s, the company sold many of the houses for removal from the village. They were relocated in several n'hoods of North Charleston.

Source of Information: Fick 1995 North Charleston survey

**Digital Photo ID(s):**

Digital Photo ID 01: 01662001  
View 01 Facing Southeast  
Digital Photo ID 02:  
View 02  
Digital Photo ID 03:  
View 03  
Digital Photo ID 04:  
View 04  
Digital Photo ID 05:  
View 05

Digital Photo ID 06:  
View 06  
Digital Photo ID 07:  
View 07  
Digital Photo ID 08:  
View 08  
Digital Photo ID 09:  
View 09  
Digital Photo ID 10:  
View 10

**Program Management**

Recorded by: LK  
Date Recorded: 11/20/2018

Organization: Brockington

**Statewide Survey of Historic Properties**  
**State Historic Preservation Office**  
**South Carolina Department of Archives and History**  
**8301 Parklane Road**  
**Columbia, SC 29223-4905 (803) 896-6100**

U / 276 1662.07 Revisit: ☒  
Status Site No.  
Quadrangle Name: Ladson  
Tax Map No.: 472100080

## Survey Form

### Identification

Historic Name:

Common Name: Liberty Park residence

Address/Location: 2312 JAMES BELL DR

City: North Charleston

Vicinity of ☐

County: Charleston

Ownership: Private

Category: Building

Historical Use: Domestic

Historical Use (if Other):

Current Use: Domestic

Current Use (if Other):

SHPO National Register Determination of Eligibility: Not Eligible

### Property Description

Construction Date: 1919

Construction: Frame

Construction (if Other):

Historic Core Shape: rectangular

Historic Core Shape (if Other):

Exterior Walls: Weatherboard

Exterior Walls (if Other):

Foundation: Concrete block

Foundation (if Other):

Commercial Form:

Commercial Form (if Other):

Roof Shape: Gable, lateral

Roof Shape (if Other):

Roof Materials: Composition shingle

Roof Materials (if Other):

Stories: 1 story

Stories (if Other):

Porch Width: Full façade

Porch Width (if Other):

Porch Shape: Engaged

Porch Shape (if Other):

Description/Significant Features: Rear elev. Porch to match façade. Lateral gable roof has deep extended eaves w exposed rafter ends sheltering full façade porch. 2 bays wide; 2 bays deep with broad gable roofline; 1 bay of rear porch enclosed.

Alterations (include date(s), if known) Garco type G, moved to location; CMU foundation, chimney lost; some replacement 3/1 sash.

Architect(s)/Builder(s): Fred J. Orr



**Historical Information**

Historical Information: These are among 75 houses completed in 1919 for Garco mill employees. These were relocated ca. 1980; no houses of this type at orig. location.

Source of Information: Fick 1995 North Charleston survey

**Digital Photo ID(s):**

Digital Photo ID 01: 01662007

View 01 Facing Northwest

Digital Photo ID 02:

View 02

Digital Photo ID 03:

View 03

Digital Photo ID 04:

View 04

Digital Photo ID 05:

View 05

Digital Photo ID 06:

View 06

Digital Photo ID 07:

View 07

Digital Photo ID 08:

View 08

Digital Photo ID 09:

View 09

Digital Photo ID 10:

View 10

**Program Management**

Recorded by: LK

Date Recorded: 11/20/2018

Organization: Brockington

**Statewide Survey of Historic Properties**  
**State Historic Preservation Office**  
**South Carolina Department of Archives and History**  
**8301 Parklane Road**  
**Columbia, SC 29223-4905 (803) 896-6100**

U / 276 1662.09 Revisit: ☒  
Status Site No.  
Quadrangle Name: Ladson  
Tax Map No.: 472090214

## Survey Form

### Identification

Historic Name:

Common Name: Highland Terrace residence

Address/Location: 5244 JURY LN

City: North Charleston

Vicinity of ☐

County: Charleston

Ownership: Private

Category: Building

Historical Use: Domestic

Historical Use (if Other):

Current Use: Domestic

Current Use (if Other):

SHPO National Register Determination of Eligibility: Not Eligible

### Property Description

Construction Date: c. 1916

Construction: Frame

Construction (if Other):

Historic Core Shape: rectangular

Historic Core Shape (if Other):

Exterior Walls: Other

Exterior Walls (if Other):

Foundation: Concrete block

Foundation (if Other):

Commercial Form:

Commercial Form (if Other):

Roof Shape: Gable, end-to-front

Roof Shape (if Other):

Roof Materials: Composition shingle

Roof Materials (if Other):

Stories: 1 story

Stories (if Other):

Porch Width: Other

Porch Width (if Other):

Porch Shape: Engaged

Porch Shape (if Other):

Description/Significant Features: Fairly steep-pitched gable roof w exposed rafter ends; tall vent louver at front gable end. Recessed porch at left or right bays; 1 entry at façade plane; 1 at side into front parlor. Lateral gable wing at rear, opposite porch

Alterations (include date(s), if known) Garco type H, moved to location. CMU foundation; chimney lost. Vinyl siding; replacement sash; CMU piers and apron wall at porch

Architect(s)/Builder(s): Fred J. Orr



**Historical Information**

Historical Information: These are among 75 houses completed in 1919 for Garco mill (Old Village North Charleston) employees.  
These were relocated in recent past; no houses of this type at orig. location.

Source of Information: Fick 1995 North Charleston survey

**Digital Photo ID(s):**

Digital Photo ID 01: 01662009  
View 01 Facing North

Digital Photo ID 02:  
View 02

Digital Photo ID 03:  
View 03

Digital Photo ID 04:  
View 04

Digital Photo ID 05:  
View 05

Digital Photo ID 06:  
View 06

Digital Photo ID 07:  
View 07

Digital Photo ID 08:  
View 08

Digital Photo ID 09:  
View 09

Digital Photo ID 10:  
View 10

**Program Management**

Recorded by: LK  
Date Recorded: 11/20/2018

Organization: Brockington

**Statewide Survey of Historic Properties**  
**State Historic Preservation Office**  
**South Carolina Department of Archives and History**  
**8301 Parklane Road**  
**Columbia, SC 29223-4905 (803) 896-6100**

U / 276 1864.00

Revisit: ☒

Status Site No.

Quadrangle Name: Ladson

Tax Map No.: 472140151

## Survey Form

### Identification

Historic Name:

Common Name: Russelldale residence

Address/Location: 5138 DELTA ST

City: North Charleston

Vicinity of ☐

County: Charleston

Ownership: Private

Category: Building

Historical Use: Domestic

Historical Use (if Other):

Current Use: Domestic

Current Use (if Other):

SHPO National Register Determination of Eligibility: Not Eligible

### Property Description

Construction Date: c. 1940

Construction: Frame

Construction (if Other):

Historic Core Shape: rectangular

Historic Core Shape (if Other):

Exterior Walls: Other

Exterior Walls (if Other):

Foundation: Concrete block

Foundation (if Other):

Commercial Form:

Commercial Form (if Other):

Roof Shape: Gable, end-to-front

Roof Shape (if Other):

Roof Materials: Composition shingle

Roof Materials (if Other):

Stories: 1 story

Stories (if Other):

Porch Width: Entrance bay only

Porch Width (if Other):

Porch Shape: Shed

Porch Shape (if Other):

Description/Significant Features:

Alterations (include date(s), if known)

Architect(s)/Builder(s):



**Historical Information**

Historical Information:

Source of Information: Fick 1995 North Charleston survey

**Digital Photo ID(s):**

Digital Photo ID 01: 01864000  
View 01 Facing East

Digital Photo ID 02:  
View 02

Digital Photo ID 03:  
View 03

Digital Photo ID 04:  
View 04

Digital Photo ID 05:  
View 05

Digital Photo ID 06:  
View 06

Digital Photo ID 07:  
View 07

Digital Photo ID 08:  
View 08

Digital Photo ID 09:  
View 09

Digital Photo ID 10:  
View 10

**Program Management**

Recorded by: LK

Date Recorded: 11/20/2018

Organization: Brockington

**Statewide Survey of Historic Properties**  
**State Historic Preservation Office**  
**South Carolina Department of Archives and History**  
**8301 Parklane Road**  
**Columbia, SC 29223-4905 (803) 896-6100**

U / 276 1864.01  
Status Site No.  
Quadrangle Name: Ladson  
Tax Map No.: 472140150

Revisit: ☒

## Survey Form

### Identification

Historic Name:

Common Name: Russelldale residence

Address/Location: 5132 DELTA ST

City: North Charleston

Vicinity of ☐

County: Charleston

Ownership: Private

Category: Building

Historical Use: Domestic

Historical Use (if Other):

Current Use: Domestic

Current Use (if Other):

SHPO National Register Determination of Eligibility: Not Eligible

### Property Description

Construction Date: c. 1940

Construction: Frame

Construction (if Other)

Historic Core Shape: rectangular

Historic Core Shape (if Other):

Exterior Walls: Asbestos shingle

Exterior Walls (if Other):

Foundation: Concrete block

Foundation (if Other):

Commercial Form:

Commercial Form (if Other):

Roof Shape: Gable, lateral

Roof Shape (if Other)

Roof Materials: Composition shingle

Roof Materials (if Other)

Stories: 1 story

Stories (if Other):

Porch Width: Entrance bay only

Porch Width (if Other):

Porch Shape: Gable

Porch Shape (if Other)

Description/Significant Features:

Alterations (include date(s), if known)

Architect(s)/Builder(s):



**Historical Information**

Historical Information:

Source of Information: Fick 1995 North Charleston survey

**Digital Photo ID(s):**

Digital Photo ID 01: 01864001  
View 01 Facing East

Digital Photo ID 02:  
View 02

Digital Photo ID 03:  
View 03

Digital Photo ID 04:  
View 04

Digital Photo ID 05:  
View 05

Digital Photo ID 06:  
View 06

Digital Photo ID 07:  
View 07

Digital Photo ID 08:  
View 08

Digital Photo ID 09:  
View 09

Digital Photo ID 10:  
View 10

**Program Management**

Recorded by: LK

Date Recorded: 11/20/2018

Organization: Brockington

**Statewide Survey of Historic Properties**  
**State Historic Preservation Office**  
**South Carolina Department of Archives and History**  
**8301 Parklane Road**  
**Columbia, SC 29223-4905 (803) 896-6100**

U / 276 1865  
Status Site No.  
Quadrangle Name: Ladson  
Tax Map No.: 472140079

Revisit: ☒

## Survey Form

### Identification

Historic Name:

Common Name: Russelldale residence

Address/Location: 5134 ROCKINGHAM ST

City: North Charleston

Vicinity of ☐

County: Charleston

Ownership: Private

Category: Building

Historical Use: Domestic

Historical Use (if Other):

Current Use: Domestic

Current Use (if Other):

SHPO National Register Determination of Eligibility: Not Eligible

### Property Description

Construction Date: c. 1945

Construction: Frame

Construction (if Other):

Historic Core Shape: L

Historic Core Shape (if Other):

Exterior Walls: Asbestos shingle

Exterior Walls (if Other):

Foundation: Not visible

Foundation (if Other):

Commercial Form:

Commercial Form (if Other):

Roof Shape: Cross gable

Roof Shape (if Other):

Roof Materials: Composition shingle

Roof Materials (if Other):

Stories: 1 story

Stories (if Other):

Porch Width: Other

Porch Width (if Other):

Porch Shape: Engaged

Porch Shape (if Other):

Description/Significant Features:

Alterations (include date(s), if known)

Architect(s)/Builder(s):



**Historical Information**

Historical Information:

Source of Information: Fick 1995 North Charleston survey

**Digital Photo ID(s):**

Digital Photo ID 01: 01865000  
View 01 Facing East

Digital Photo ID 02:  
View 02

Digital Photo ID 03:  
View 03

Digital Photo ID 04:  
View 04

Digital Photo ID 05:  
View 05

Digital Photo ID 06:  
View 06

Digital Photo ID 07:  
View 07

Digital Photo ID 08:  
View 08

Digital Photo ID 09:  
View 09

Digital Photo ID 10:  
View 10

**Program Management**

Recorded by: LK

Date Recorded: 11/20/2018

Organization: Brockington

**Statewide Survey of Historic Properties**  
**State Historic Preservation Office**  
**South Carolina Department of Archives and History**  
**8301 Parklane Road**  
**Columbia, SC 29223-4905 (803) 896-6100**

U / 276 1866  
Status Site No.  
Quadrangle Name: Ladson  
Tax Map No.: 472140080

Revisit: ☒

## Survey Form

### Identification

Historic Name:

Common Name: Russelldale residence

Address/Location: 5136 ROCKINGHAM ST

City: North Charleston

Vicinity of ☐

County: Charleston

Ownership: Private

Category: Building

Historical Use: Domestic

Historical Use (if Other):

Current Use: Domestic

Current Use (if Other):

SHPO National Register Determination of Eligibility: Not Eligible

### Property Description

Construction Date: c. 1945

Construction: Frame

Construction (if Other):

Historic Core Shape: rectangular

Historic Core Shape (if Other):

Exterior Walls: Other

Exterior Walls (if Other):

Foundation: Not visible

Foundation (if Other):

Commercial Form:

Commercial Form (if Other):

Roof Shape: Gable, lateral

Roof Shape (if Other):

Roof Materials: Composition shingle

Roof Materials (if Other):

Stories: 1 story

Stories (if Other):

Porch Width: Entrance bay only

Porch Width (if Other):

Porch Shape: Gable

Porch Shape (if Other):

Description/Significant Features:

Alterations (include date(s), if known)

Architect(s)/Builder(s):



**Historical Information**

Historical Information:

Source of Information: Fick 1995 North Charleston survey

**Digital Photo ID(s):**

Digital Photo ID 01: 01866000  
View 01 Facing East

Digital Photo ID 02:  
View 02

Digital Photo ID 03:  
View 03

Digital Photo ID 04:  
View 04

Digital Photo ID 05:  
View 05

Digital Photo ID 06:  
View 06

Digital Photo ID 07:  
View 07

Digital Photo ID 08:  
View 08

Digital Photo ID 09:  
View 09

Digital Photo ID 10:  
View 10

**Program Management**

Recorded by: LK

Date Recorded: 11/20/2018

Organization: Brockington

**Statewide Survey of Historic Properties**  
**State Historic Preservation Office**  
**South Carolina Department of Archives and History**  
**8301 Parklane Road**  
**Columbia, SC 29223-4905 (803) 896-6100**

U / 276 1868  
Status Site No.  
Quadrangle Name: Ladson  
Tax Map No.: 472140086

Revisit: ☒

## Survey Form

### Identification

Historic Name:

Common Name: Russelldale residence

Address/Location: 5121 BUTLER ST

City: North Charleston

Vicinity of ☐

County: Charleston

Ownership: Private

Category: Building

Historical Use: Domestic

Historical Use (if Other):

Current Use: Domestic

Current Use (if Other):

SHPO National Register Determination of Eligibility: Not Eligible

### Property Description

Construction Date: c. 1935

Construction: Frame

Construction (if Other):

Historic Core Shape: rectangular

Historic Core Shape (if Other):

Exterior Walls: Weatherboard

Exterior Walls (if Other):

Foundation: Concrete block

Foundation (if Other):

Commercial Form:

Commercial Form (if Other):

Roof Shape: Gable, end-to-front

Roof Shape (if Other):

Roof Materials: Composition shingle

Roof Materials (if Other):

Stories: 1 story

Stories (if Other):

Porch Width: Other

Porch Width (if Other):

Porch Shape: Pedimented gable

Porch Shape (if Other):

Description/Significant Features: exposed rafters and brackets at gable end and pedimented gable porch end

Alterations (include date(s), if known)

Architect(s)/Builder(s):



**Historical Information**

Historical Information:

Source of Information: Fick 1995 North Charleston survey

**Digital Photo ID(s):**

Digital Photo ID 01: 01868000  
View 01 Facing West  
Digital Photo ID 02:  
View 02  
Digital Photo ID 03:  
View 03  
Digital Photo ID 04:  
View 04  
Digital Photo ID 05:  
View 05

Digital Photo ID 06:  
View 06  
Digital Photo ID 07:  
View 07  
Digital Photo ID 08:  
View 08  
Digital Photo ID 09:  
View 09  
Digital Photo ID 10:  
View 10

**Program Management**

Recorded by: LK  
Date Recorded: 11/20/2018

Organization: Brockington

**Statewide Survey of Historic Properties**  
**State Historic Preservation Office**  
**South Carolina Department of Archives and History**  
**8301 Parklane Road**  
**Columbia, SC 29223-4905 (803) 896-6100**

U / 276 1936  
Status Site No.  
Quadrangle Name: Ladson  
Tax Map No.: 472100007

Revisit: ☒

## Survey Form

### Identification

Historic Name:

Common Name: Liberty Park residence

Address/Location: 2302 TAYLOR ST

City: North Charleston

Vicinity of ☐

County: Charleston

Ownership: Private

Category: Building

Historical Use: Domestic

Historical Use (if Other):

Current Use: Domestic

Current Use (if Other):

SHPO National Register Determination of Eligibility: Not Eligible

### Property Description

Construction Date: c. 1940

Construction:

Construction (if Other)

Historic Core Shape:

Historic Core Shape (if Other):

Exterior Walls:

Exterior Walls (if Other):

Foundation:

Foundation (if Other):

Commercial Form:

Commercial Form (if Other):

Roof Shape:

Roof Shape (if Other)

Roof Materials:

Roof Materials (if Other)

Stories:

Stories (if Other):

Porch Width:

Porch Width (if Other):

Porch Shape:

Porch Shape (if Other)

Description/Significant Features: not extant

Alterations (include date(s), if known)

Architect(s)/Builder(s):



**Historical Information**

Historical Information:

Source of Information: Fick 1995 North Charleston survey

**Digital Photo ID(s):**

Digital Photo ID 01: 01936000  
View 01 Facing North

Digital Photo ID 02:  
View 02

Digital Photo ID 03:  
View 03

Digital Photo ID 04:  
View 04

Digital Photo ID 05:  
View 05

Digital Photo ID 06:  
View 06

Digital Photo ID 07:  
View 07

Digital Photo ID 08:  
View 08

Digital Photo ID 09:  
View 09

Digital Photo ID 10:  
View 10

**Program Management**

Recorded by: LK

Date Recorded: 11/20/2018

Organization: Brockington

**Statewide Survey of Historic Properties**  
**State Historic Preservation Office**  
**South Carolina Department of Archives and History**  
**8301 Parklane Road**  
**Columbia, SC 29223-4905 (803) 896-6100**

U / 276 1937  
Status Site No.  
Quadrangle Name: Ladson  
Tax Map No.: 472100182

Revisit: ☒

## Survey Form

### Identification

Historic Name:

Common Name: Liberty Park residence

Address/Location: 5351 ELDER AVE

City: North Charleston

Vicinity of ☐

County: Charleston

Ownership: Private

Category: Building

Historical Use: Domestic

Historical Use (if Other):

Current Use: Domestic

Current Use (if Other):

SHPO National Register Determination of Eligibility: Not Eligible

### Property Description

Construction Date: c. 1940

Construction: Frame

Construction (if Other):

Historic Core Shape: rectangular

Historic Core Shape (if Other):

Exterior Walls: Other

Exterior Walls (if Other):

Foundation: Not visible

Foundation (if Other):

Commercial Form:

Commercial Form (if Other):

Roof Shape: Gable, end-to-front

Roof Shape (if Other):

Roof Materials: Composition shingle

Roof Materials (if Other):

Stories: 1 story

Stories (if Other):

Porch Width: Full facade

Porch Width (if Other):

Porch Shape: Pedimented gable

Porch Shape (if Other):

Description/Significant Features:

Alterations (include date(s), if known)

Architect(s)/Builder(s):



**Historical Information**

Historical Information:

Source of Information: Fick 1995 North Charleston survey

**Digital Photo ID(s):**

Digital Photo ID 01: 01937000  
View 01 Facing Southwest  
Digital Photo ID 02:  
View 02  
Digital Photo ID 03:  
View 03  
Digital Photo ID 04:  
View 04  
Digital Photo ID 05:  
View 05

Digital Photo ID 06:  
View 06  
Digital Photo ID 07:  
View 07  
Digital Photo ID 08:  
View 08  
Digital Photo ID 09:  
View 09  
Digital Photo ID 10:  
View 10

**Program Management**

Recorded by: LK  
Date Recorded: 11/20/2018

Organization: Brockington

**Statewide Survey of Historic Properties**  
**State Historic Preservation Office**  
**South Carolina Department of Archives and History**  
**8301 Parklane Road**  
**Columbia, SC 29223-4905 (803) 896-6100**

U / 7806

Revisit: ☐

Status Site No.

Quadrangle Name: Ladson

Tax Map No.: 4720400192

## Survey Form

### Identification

Historic Name: Bethune Elementary School

Common Name:

Address/Location: 5841 RIVERS AVE

City: North Charleston

Vicinity of ☐

County: Charleston

Ownership: County

Category: Building

Historical Use: Education

Historical Use (if Other):

Current Use: Vacant/Not In Use

Current Use (if Other):

SHPO National Register Determination of Eligibility:

### Property Description

Construction Date: 1952

Construction: masonry

Construction (if Other):

Historic Core Shape: rectangular

Historic Core Shape (if Other):

Exterior Walls: brick veneer

Exterior Walls (if Other):

Foundation: slab construction

Foundation (if Other):

Commercial Form:

Commercial Form (if Other):

Roof Shape: flat

Roof Shape (if Other):

Roof Materials: rolled roofing

Roof Materials (if Other):

Stories: 1 story

Stories (if Other):

Porch Width:

Porch Width (if Other):

Porch Shape:

Porch Shape (if Other):

Description/Significant Features: Linear plan; 5-course common bond; recessed entry w metal double-doors and glass lights; historic addt. on N end, 2 historic rear addt. historic addt. on SW side; modern addt. on rear S corner; lg brick chimney on rear exterior;

Alterations (include date(s), if known)

Architect(s)/Builder(s):



**Historical Information**

Historical Information: Equalization school

Source of Information: Architectural Survey of Charleston County's School Equalization Program 1951-1955 (Dobrasko 2005)

**Digital Photo ID(s):**

Digital Photo ID 01: 07806001  
View 01 Facing West

Digital Photo ID 02: 07806002  
View 02 Facing West

Digital Photo ID 03: 07806003  
View 03 Facing Southwest

Digital Photo ID 04: 07806004  
View 04 Facing East

Digital Photo ID 05:  
View 05

Digital Photo ID 06:  
View 06

Digital Photo ID 07:  
View 07

Digital Photo ID 08:  
View 08

Digital Photo ID 09:  
View 09

Digital Photo ID 10:  
View 10

**Program Management**

Recorded by: SO

Date Recorded: 07/26/2016

Organization: Brockington

**Statewide Survey of Historic Properties**  
**State Historic Preservation Office**  
**South Carolina Department of Archives and History**  
**8301 Parklane Road**  
**Columbia, SC 29223-4905 (803) 896-6100**

U / 7807  
Status Site No.  
Quadrangle Name: North Charleston  
Tax Map No.: Multiple

Revisit: ☐

## ***Survey Form***

### **Identification**

Historic Name: Cameron Terrace

Common Name: Cameron Terrace

Address/Location: Multiple

City: North Charleston

Vicinity of ☐

County: Charleston

Ownership: Private

Category: District

Historical Use: Domestic

Historical Use (if Other):

Current Use: Domestic

Current Use (if Other):

SHPO National Register Determination of Eligibility:

### **Property Description**

Construction Date: c. 1955

Construction:

Construction (if Other)

Historic Core Shape:

Historic Core Shape (if Other):

Exterior Walls:

Exterior Walls (if Other):

Foundation:

Foundation (if Other):

Commercial Form:

Commercial Form (if Other):

Roof Shape:

Roof Shape (if Other)

Roof Materials:

Roof Materials (if Other)

Stories:

Stories (if Other):

Porch Width:

Porch Width (if Other):

Porch Shape:

Porch Shape (if Other)

Description/Significant Features:

Alterations (include date(s), if known)

Architect(s)/Builder(s):



**Historical Information**

Historical Information:

Source of Information:

**Digital Photo ID(s):**

Digital Photo ID 01: 07807003  
View 01                  Facing West  
Digital Photo ID 02: 07807004  
View 02                  Facing West  
Digital Photo ID 03:  
View 03  
Digital Photo ID 04:  
View 04  
Digital Photo ID 05:  
View 05

Digital Photo ID 06:  
View 06  
Digital Photo ID 07:  
View 07  
Digital Photo ID 08:  
View 08  
Digital Photo ID 09:  
View 09  
Digital Photo ID 10:  
View 10

**Program Management**

Recorded by:     DB  
Date Recorded:   11/15/2018

Organization:   Brockington

**Statewide Survey of Historic Properties**  
**State Historic Preservation Office**  
**South Carolina Department of Archives and History**  
**8301 Parklane Road**  
**Columbia, SC 29223-4905 (803) 896-6100**

U / 7807.01 Revisit: ☐  
Status Site No.  
Quadrangle Name: North Charleston  
Tax Map No.: 4710600014

***Survey Form***

**Identification**

Historic Name:

Common Name: Cameron Terrace residence

Address/Location: 5310 HARTFORD CIR

City: North Charleston

Vicinity of ☐

County: Charleston

Ownership: Private

Category: Building

Historical Use: Domestic

Historical Use (if Other):

Current Use: Domestic

Current Use (if Other):

SHPO National Register Determination of Eligibility:

**Property Description**

Construction Date: c. 1955

Construction: frame

Construction (if Other):

Historic Core Shape: rectangular

Historic Core Shape (if Other):

Exterior Walls: brick veneer

Exterior Walls (if Other):

Foundation:

Foundation (if Other):

Commercial Form:

Commercial Form (if Other):

Roof Shape: gable, lateral

Roof Shape (if Other):

Roof Materials: composition shingle

Roof Materials (if Other):

Stories: 1 story

Stories (if Other):

Porch Width:

Porch Width (if Other):

Porch Shape:

Porch Shape (if Other):

Description/Significant Features: 3-part picture window, faux shutters; brick chimney on ridge; gable wing off of each end

Alterations (include date(s), if known)

Architect(s)/Builder(s):



**Historical Information**

Historical Information:

Source of Information:

**Digital Photo ID(s):**

Digital Photo ID 01: 07807001  
View 01                      Facing Northeast  
Digital Photo ID 02:  
View 02  
Digital Photo ID 03:  
View 03  
Digital Photo ID 04:  
View 04  
Digital Photo ID 05:  
View 05

Digital Photo ID 06:  
View 06  
Digital Photo ID 07:  
View 07  
Digital Photo ID 08:  
View 08  
Digital Photo ID 09:  
View 09  
Digital Photo ID 10:  
View 10

**Program Management**

Recorded by:     SO  
Date Recorded:   07/27/2016

Organization:   Brockington

**Statewide Survey of Historic Properties**  
**State Historic Preservation Office**  
**South Carolina Department of Archives and History**  
**8301 Parklane Road**  
**Columbia, SC 29223-4905 (803) 896-6100**

U / 7807.02 Revisit: ☐  
Status Site No.  
Quadrangle Name: North Charleston  
Tax Map No.: 4710600019

**Survey Form**

**Identification**

Historic Name:

Common Name: Cameron Terrace residence

Address/Location: 5328 HARTFORD CIR

City: North Charleston Vicinity of ☐ County: Charleston

Ownership: Private Category: Building

Historical Use: Domestic Historical Use (if Other):

Current Use: Domestic Current Use (if Other):

SHPO National Register Determination of Eligibility:

**Property Description**

Construction Date: c. 1960

Construction: frame Construction (if Other):

Historic Core Shape: rectangular Historic Core Shape (if Other):

Exterior Walls: brick veneer Exterior Walls (if Other):

Foundation: Foundation (if Other):

Commercial Form: Commercial Form (if Other):

Roof Shape: hip Roof Shape (if Other):

Roof Materials: Roof Materials (if Other):

Stories: 1 story Stories (if Other):

Porch Width: Porch Width (if Other):

Porch Shape: Porch Shape (if Other):

Description/Significant Features: Decorative metal supports and railing; wood panel door, fluted pilasters; 3-part picture window, 2/2 DHS horizontal, faux shutters; open engaged carport on end

Alterations (include date(s), if known)

Architect(s)/Builder(s):



**Historical Information**

Historical Information:

Source of Information:

**Digital Photo ID(s):**

Digital Photo ID 01: 07807002  
View 01                      Facing North  
Digital Photo ID 02:  
View 02  
Digital Photo ID 03:  
View 03  
Digital Photo ID 04:  
View 04  
Digital Photo ID 05:  
View 05

Digital Photo ID 06:  
View 06  
Digital Photo ID 07:  
View 07  
Digital Photo ID 08:  
View 08  
Digital Photo ID 09:  
View 09  
Digital Photo ID 10:  
View 10

**Program Management**

Recorded by:     SO  
Date Recorded: 07/27/2016

Organization: Brockington

**Statewide Survey of Historic Properties**  
**State Historic Preservation Office**  
**South Carolina Department of Archives and History**  
**8301 Parklane Road**  
**Columbia, SC 29223-4905 (803) 896-6100**

U / 7808  
Status Site No.  
Quadrangle Name: North Charleston  
Tax Map No.: Multiple

Revisit: ☐

## ***Survey Form***

### **Identification**

Historic Name: Charleston Farms  
Common Name: Charleston Farms South  
Address/Location: North Charleston

City: North Charleston Vicinity of ☐ County: Charleston

Ownership: Private Category: District  
Historical Use: Domestic Historical Use (if Other):  
Current Use: Domestic Current Use (if Other):

SHPO National Register Determination of Eligibility:

### **Property Description**

Construction Date: c. 1950  
Construction: Construction (if Other)  
Historic Core Shape: Historic Core Shape (if Other):  
Exterior Walls: Exterior Walls (if Other):  
Foundation: Foundation (if Other):  
Commercial Form: Commercial Form (if Other):  
Roof Shape: Roof Shape (if Other)  
Roof Materials: Roof Materials (if Other)  
Stories: Stories (if Other):  
Porch Width: Porch Width (if Other):  
Porch Shape: Porch Shape (if Other)

Description/Significant Features:

Alterations (include date(s), if known)

Architect(s)/Builder(s):



**Historical Information**

Historical Information:

Source of Information:

**Digital Photo ID(s):**

Digital Photo ID 01: 07808001  
View 01                  Facing Northeast

Digital Photo ID 02: 07808002  
View 02                  Facing East

Digital Photo ID 03:  
View 03

Digital Photo ID 04:  
View 04

Digital Photo ID 05:  
View 05

Digital Photo ID 06:  
View 06

Digital Photo ID 07:  
View 07

Digital Photo ID 08:  
View 08

Digital Photo ID 09:  
View 09

Digital Photo ID 10:  
View 10

**Program Management**

Recorded by:     DB

Date Recorded:   11/15/2018

Organization:   Brockington

**Statewide Survey of Historic Properties**  
**State Historic Preservation Office**  
**South Carolina Department of Archives and History**  
**8301 Parklane Road**  
**Columbia, SC 29223-4905    (803) 896-6100**

U    /    7808.01

Status    Site No.

Quadrangle Name:    Ladson

Tax Map No.:    4710100134

Revisit: ☐

**Survey Form**

**Identification**

Historic Name:

Common Name:    Charleston Farms residence

Address/Location:    5430 TED AVE

City:    North Charleston    Vicinity of ☐    County:    Charleston

Ownership:    Private    Category:    Building

Historical Use:    Domestic    Historical Use (if Other):

Current Use:    Domestic    Current Use (if Other):

SHPO National Register Determination of Eligibility:

**Property Description**

Construction Date:    c. 1955

Construction:    frame    Construction (if Other)

Historic Core Shape:    rectangular    Historic Core Shape (if Other):

Exterior Walls:    brick veneer    Exterior Walls (if Other):

Foundation:    Foundation (if Other):

Commercial Form:    Commercial Form (if Other):

Roof Shape:    hip    Roof Shape (if Other)

Roof Materials:    composition shingle    Roof Materials (if Other)

Stories:    1 story    Stories (if Other):

Porch Width:    Porch Width (if Other):

Porch Shape:    Porch Shape (if Other)

Description/Significant Features:

Alterations (include date(s), if known

Architect(s)/Builder(s):



**Historical Information**

Historical Information:

Source of Information:

**Digital Photo ID(s):**

Digital Photo ID 01: 07808003

View 01

Digital Photo ID 02:

View 02

Digital Photo ID 03:

View 03

Digital Photo ID 04:

View 04

Digital Photo ID 05:

View 05

Digital Photo ID 06:

View 06

Digital Photo ID 07:

View 07

Digital Photo ID 08:

View 08

Digital Photo ID 09:

View 09

Digital Photo ID 10:

View 10

**Program Management**

Recorded by: SO

Date Recorded: 08/17/2016

Organization: Brockington

**Statewide Survey of Historic Properties**  
**State Historic Preservation Office**  
**South Carolina Department of Archives and History**  
**8301 Parklane Road**  
**Columbia, SC 29223-4905    (803) 896-6100**

U    /    7808.02

Status    Site No.

Quadrangle Name:    Ladson

Tax Map No.:    4710100163

Revisit: ☐

**Survey Form**

**Identification**

Historic Name:

Common Name:    Charleston Farms residence

Address/Location:    1523 GREENBAY DR

City:    North Charleston    Vicinity of ☐    County:    Charleston

Ownership:    Private    Category:    Building

Historical Use:    Domestic    Historical Use (if Other):

Current Use:    Domestic    Current Use (if Other):

SHPO National Register Determination of Eligibility:

**Property Description**

Construction Date:    c. 1950

Construction:    Construction (if Other)

Historic Core Shape:    rectangular    Historic Core Shape (if Other):

Exterior Walls:    asbestos shingle    Exterior Walls (if Other):

Foundation:    Foundation (if Other):

Commercial Form:    Commercial Form (if Other):

Roof Shape:    cross gable    Roof Shape (if Other)

Roof Materials:    composition shingle    Roof Materials (if Other)

Stories:    1 story    Stories (if Other):

Porch Width:    Porch Width (if Other):

Porch Shape:    Porch Shape (if Other)

Description/Significant Features:

Alterations (include date(s), if known

Architect(s)/Builder(s):



**Historical Information**

Historical Information:

Source of Information:

**Digital Photo ID(s):**

Digital Photo ID 01: 07808004

View 01

Digital Photo ID 02:

View 02

Digital Photo ID 03:

View 03

Digital Photo ID 04:

View 04

Digital Photo ID 05:

View 05

Digital Photo ID 06:

View 06

Digital Photo ID 07:

View 07

Digital Photo ID 08:

View 08

Digital Photo ID 09:

View 09

Digital Photo ID 10:

View 10

**Program Management**

Recorded by: SO

Date Recorded: 08/17/2016

Organization: Brockington

**Statewide Survey of Historic Properties**  
**State Historic Preservation Office**  
**South Carolina Department of Archives and History**  
**8301 Parklane Road**  
**Columbia, SC 29223-4905 (803) 896-6100**

U / 7809  
Status Site No.  
Quadrangle Name: Ladson  
Tax Map No.: Multiple

Revisit: ☐

## ***Survey Form***

### **Identification**

Historic Name: Highland Terrace  
Common Name: Highland Terrace  
Address/Location: North Charleston

City: North Charleston Vicinity of ☐ County: Charleston

Ownership: Private Category: District  
Historical Use: Domestic Historical Use (if Other):  
Current Use: Domestic Current Use (if Other):

SHPO National Register Determination of Eligibility:

### **Property Description**

Construction Date: c. 1950  
Construction: Construction (if Other)  
Historic Core Shape: Historic Core Shape (if Other):  
Exterior Walls: Exterior Walls (if Other):  
Foundation: Foundation (if Other):  
Commercial Form: Commercial Form (if Other):  
Roof Shape: Roof Shape (if Other)  
Roof Materials: Roof Materials (if Other)  
Stories: Stories (if Other):  
Porch Width: Porch Width (if Other):  
Porch Shape: Porch Shape (if Other)

Description/Significant Features:

Alterations (include date(s), if known)

Architect(s)/Builder(s):

**Historical Information**

Historical Information:

Source of Information:

**Digital Photo ID(s):**

Digital Photo ID 01: 07809003

View 01                Facing Northeast

Digital Photo ID 02: 07809004

View 02                Facing Northwest

Digital Photo ID 03: 07809005

View 03                Facing South

Digital Photo ID 04:

View 04

Digital Photo ID 05:

View 05

Digital Photo ID 06:

View 06

Digital Photo ID 07:

View 07

Digital Photo ID 08:

View 08

Digital Photo ID 09:

View 09

Digital Photo ID 10:

View 10

**Program Management**

Recorded by:     DB

Date Recorded:   11/15/2018

Organization:   Brockington



**Statewide Survey of Historic Properties**  
**State Historic Preservation Office**  
**South Carolina Department of Archives and History**  
**8301 Parklane Road**  
**Columbia, SC 29223-4905 (803) 896-6100**

U / 7809.01  
Status Site No.  
Quadrangle Name: Ladson  
Tax Map No.: 4720900162

Revisit: ☐

## Survey Form

### Identification

Historic Name:

Common Name: Highland Terrace residence

Address/Location: 5255 GOOD ST

City: North Charleston

Vicinity of ☐

County: Charleston

Ownership: Private

Category: Building

Historical Use: Domestic

Historical Use (if Other):

Current Use: Domestic

Current Use (if Other):

SHPO National Register Determination of Eligibility:

### Property Description

Construction Date: c. 1962

Construction:

Construction (if Other):

Historic Core Shape: rectangular

Historic Core Shape (if Other):

Exterior Walls:

Exterior Walls (if Other):

Foundation:

Foundation (if Other):

Commercial Form:

Commercial Form (if Other):

Roof Shape:

Roof Shape (if Other):

Roof Materials:

Roof Materials (if Other):

Stories: 1 story

Stories (if Other):

Porch Width:

Porch Width (if Other):

Porch Shape:

Porch Shape (if Other):

Description/Significant Features: Decorative metal supports; engaged/open carport on end; wood panel door w fan light; 3-part picture window and 2/2 DHS horizontal windows w faux shutters; brick chimney on ridge

Alterations (include date(s), if known)

Architect(s)/Builder(s):

**Historical Information**

Historical Information:

Source of Information:

**Digital Photo ID(s):**

Digital Photo ID 01: 07809001  
View 01 Facing Southwest  
Digital Photo ID 02:  
View 02  
Digital Photo ID 03:  
View 03  
Digital Photo ID 04:  
View 04  
Digital Photo ID 05:  
View 05

Digital Photo ID 06:  
View 06  
Digital Photo ID 07:  
View 07  
Digital Photo ID 08:  
View 08  
Digital Photo ID 09:  
View 09  
Digital Photo ID 10:  
View 10

**Program Management**

Recorded by: SO  
Date Recorded: 07/26/2016

Organization: Brockington

**Statewide Survey of Historic Properties**  
**State Historic Preservation Office**  
**South Carolina Department of Archives and History**  
**8301 Parklane Road**  
**Columbia, SC 29223-4905 (803) 896-6100**

U / 7809.02 Revisit: ☐  
Status Site No.  
Quadrangle Name: Ladson  
Tax Map No.: 4720900118

**Survey Form**

**Identification**

Historic Name:

Common Name: Highland Terrace residence

Address/Location: 5235 LANGSTON ST

City: North Charleston

Vicinity of ☐

County: Charleston

Ownership: Private

Category: Building

Historical Use: Domestic

Historical Use (if Other):

Current Use: Domestic

Current Use (if Other):

SHPO National Register Determination of Eligibility:

**Property Description**

Construction Date: c. 1959

Construction:

Construction (if Other)

Historic Core Shape: rectangular

Historic Core Shape (if Other):

Exterior Walls:

Exterior Walls (if Other):

Foundation:

Foundation (if Other):

Commercial Form:

Commercial Form (if Other):

Roof Shape:

Roof Shape (if Other)

Roof Materials:

Roof Materials (if Other)

Stories: 1 story

Stories (if Other):

Porch Width:

Porch Width (if Other):

Porch Shape:

Porch Shape (if Other)

Description/Significant Features: Decorative metal supports and railing; large, multi-light picture window, 3/1 and 6/6 DHS, some paired; side stoop entry; brick chimney on ridge

Alterations (include date(s), if known)

Architect(s)/Builder(s):



**Historical Information**

Historical Information:

Source of Information:

**Digital Photo ID(s):**

Digital Photo ID 01: 07809002  
View 01 Facing Southwest  
Digital Photo ID 02:  
View 02  
Digital Photo ID 03:  
View 03  
Digital Photo ID 04:  
View 04  
Digital Photo ID 05:  
View 05

Digital Photo ID 06:  
View 06  
Digital Photo ID 07:  
View 07  
Digital Photo ID 08:  
View 08  
Digital Photo ID 09:  
View 09  
Digital Photo ID 10:  
View 10

**Program Management**

Recorded by: SO  
Date Recorded: 07/26/2016

Organization: Brockington

**Statewide Survey of Historic Properties**  
**State Historic Preservation Office**  
**South Carolina Department of Archives and History**  
**8301 Parklane Road**  
**Columbia, SC 29223-4905 (803) 896-6100**

U / 7810  
Status Site No.  
Quadrangle Name: Ladson  
Tax Map No.: Multiple

Revisit: ☐

## ***Survey Form***

### **Identification**

Historic Name: Liberty Park

Common Name: Liberty Park

Address/Location: North Charleston

City: North Charleston

Vicinity of ☐

County: Charleston

Ownership: Private

Category: District

Historical Use: Domestic

Historical Use (if Other):

Current Use: Domestic

Current Use (if Other):

SHPO National Register Determination of Eligibility:

### **Property Description**

Construction Date: c. 1950

Construction:

Construction (if Other)

Historic Core Shape:

Historic Core Shape (if Other):

Exterior Walls:

Exterior Walls (if Other):

Foundation:

Foundation (if Other):

Commercial Form:

Commercial Form (if Other):

Roof Shape:

Roof Shape (if Other)

Roof Materials:

Roof Materials (if Other)

Stories:

Stories (if Other):

Porch Width:

Porch Width (if Other):

Porch Shape:

Porch Shape (if Other)

Description/Significant Features:

Alterations (include date(s), if known)

Architect(s)/Builder(s):

**Historical Information**

Historical Information:

Source of Information:

**Digital Photo ID(s):**

Digital Photo ID 01: 07810009

View 01                Facing East

Digital Photo ID 02: 07810010

View 02                Facing Northwest

Digital Photo ID 03: 7810011

View 03                Facing West

Digital Photo ID 04:

View 04

Digital Photo ID 05:

View 05

Digital Photo ID 06:

View 06

Digital Photo ID 07:

View 07

Digital Photo ID 08:

View 08

Digital Photo ID 09:

View 09

Digital Photo ID 10:

View 10

**Program Management**

Recorded by:     DB

Date Recorded:   11/15/2018

Organization:   Brockington



**Statewide Survey of Historic Properties**  
**State Historic Preservation Office**  
**South Carolina Department of Archives and History**  
**8301 Parklane Road**  
**Columbia, SC 29223-4905 (803) 896-6100**

U / 7810.01 Revisit: ☐  
Status Site No.  
Quadrangle Name: Ladson  
Tax Map No.: 4721000091

**Survey Form**

**Identification**

Historic Name: Enoch Methodist Church

Common Name:

Address/Location: 2355 JAMES BELL DR

City: North Charleston

Vicinity of ☐

County: Charleston

Ownership: Private

Category: Building

Historical Use: Religion

Historical Use (if Other):

Current Use: Religion

Current Use (if Other):

SHPO National Register Determination of Eligibility:

**Property Description**

Construction Date: 1962

Construction: masonry

Construction (if Other):

Historic Core Shape: rectangular

Historic Core Shape (if Other):

Exterior Walls: brick veneer

Exterior Walls (if Other):

Foundation:

Foundation (if Other):

Commercial Form:

Commercial Form (if Other):

Roof Shape: gable, end to front

Roof Shape (if Other):

Roof Materials: composition shingle

Roof Materials (if Other):

Stories:

Stories (if Other):

Porch Width:

Porch Width (if Other):

Porch Shape:

Porch Shape (if Other):

Description/Significant Features: Bell tower w raised seam metal roof and cross on ridge at front; sides and rear are concrete block; Doric columns and metal hand rails; double wood panel doors w triangle stylized pediment; 9/9 DHS windows w rectangle transoms.

Alterations (include date(s), if known)

Architect(s)/Builder(s):

**Historical Information**

Historical Information: Founded by Enoch and Clara Williams in 1865, rebuilt 1962

Source of Information: corner stone

**Digital Photo ID(s):**

Digital Photo ID 01: 07810001  
View 01 Facing South

Digital Photo ID 02:  
View 02

Digital Photo ID 03:  
View 03

Digital Photo ID 04:  
View 04

Digital Photo ID 05:  
View 05

Digital Photo ID 06:  
View 06

Digital Photo ID 07:  
View 07

Digital Photo ID 08:  
View 08

Digital Photo ID 09:  
View 09

Digital Photo ID 10:  
View 10

**Program Management**

Recorded by: SO

Date Recorded: 07/26/2016

Organization: Brockington

**Statewide Survey of Historic Properties**  
**State Historic Preservation Office**  
**South Carolina Department of Archives and History**  
**8301 Parklane Road**  
**Columbia, SC 29223-4905 (803) 896-6100**

U / 7810.02 Revisit: ☐  
Status Site No.  
Quadrangle Name: Ladson  
Tax Map No.: 4721000035

## Survey Form

### Identification

Historic Name:

Common Name: Liberty Park residence

Address/Location: 2419 RICHARDSON DR

City: North Charleston

Vicinity of ☐

County: Charleston

Ownership: Private

Category: Building

Historical Use: Domestic

Historical Use (if Other):

Current Use: Domestic

Current Use (if Other):

SHPO National Register Determination of Eligibility:

### Property Description

Construction Date: c. 1960

Construction:

Construction (if Other)

Historic Core Shape:

Historic Core Shape (if Other):

Exterior Walls:

Exterior Walls (if Other):

Foundation:

Foundation (if Other):

Commercial Form:

Commercial Form (if Other):

Roof Shape:

Roof Shape (if Other)

Roof Materials:

Roof Materials (if Other)

Stories: 1 story

Stories (if Other):

Porch Width:

Porch Width (if Other):

Porch Shape:

Porch Shape (if Other)

Description/Significant Features: Porch within U shape w square wood supports and railing; wood panel door; 3-part picture window and 2/2 DHS horizontal; novelty siding in gable ends

Alterations (include date(s), if known)

Architect(s)/Builder(s):



**Historical Information**

Historical Information:

Source of Information:

**Digital Photo ID(s):**

Digital Photo ID 01: 07810002  
View 01 Facing South

Digital Photo ID 02:  
View 02

Digital Photo ID 03:  
View 03

Digital Photo ID 04:  
View 04

Digital Photo ID 05:  
View 05

Digital Photo ID 06:  
View 06

Digital Photo ID 07:  
View 07

Digital Photo ID 08:  
View 08

Digital Photo ID 09:  
View 09

Digital Photo ID 10:  
View 10

**Program Management**

Recorded by: SO

Date Recorded: 07/26/2016

Organization: Brockington

**Statewide Survey of Historic Properties**  
**State Historic Preservation Office**  
**South Carolina Department of Archives and History**  
**8301 Parklane Road**  
**Columbia, SC 29223-4905 (803) 896-6100**

U / 7810.03 Revisit: ☐  
Status Site No.  
Quadrangle Name: Ladson  
Tax Map No.: 4721000107

***Survey Form***

**Identification**

Historic Name:

Common Name: Liberty Park residence

Address/Location: 2352 ELDER AVE

City: North Charleston

Vicinity of ☐

County: Charleston

Ownership: Private

Category: Building

Historical Use: Domestic

Historical Use (if Other):

Current Use: Domestic

Current Use (if Other):

SHPO National Register Determination of Eligibility:

**Property Description**

Construction Date: c. 1955

Construction: masonry

Construction (if Other):

Historic Core Shape: rectangular

Historic Core Shape (if Other):

Exterior Walls:

Exterior Walls (if Other):

Foundation:

Foundation (if Other):

Commercial Form:

Commercial Form (if Other):

Roof Shape: gable, lateral

Roof Shape (if Other):

Roof Materials: composition shingle

Roof Materials (if Other):

Stories: 1 story

Stories (if Other):

Porch Width:

Porch Width (if Other):

Porch Shape:

Porch Shape (if Other):

Description/Significant Features: Entry stoop; wood panel door; exposed rafter ends; sliding sash windows

Alterations (include date(s), if known) some windows

Architect(s)/Builder(s):

**Historical Information**

Historical Information:

Source of Information:

**Digital Photo ID(s):**

Digital Photo ID 01: 07810003  
View 01 Facing West  
Digital Photo ID 02:  
View 02  
Digital Photo ID 03:  
View 03  
Digital Photo ID 04:  
View 04  
Digital Photo ID 05:  
View 05

Digital Photo ID 06:  
View 06  
Digital Photo ID 07:  
View 07  
Digital Photo ID 08:  
View 08  
Digital Photo ID 09:  
View 09  
Digital Photo ID 10:  
View 10

**Program Management**

Recorded by: SO  
Date Recorded: 07/26/2016

Organization: Brockington



**Statewide Survey of Historic Properties**  
**State Historic Preservation Office**  
**South Carolina Department of Archives and History**  
**8301 Parklane Road**  
**Columbia, SC 29223-4905 (803) 896-6100**

U / 7810.04 Revisit: ☐  
Status Site No.  
Quadrangle Name: Ladson  
Tax Map No.: 4721100052

***Survey Form***

**Identification**

Historic Name:

Common Name: Liberty Park residence

Address/Location: 2230 MARGARET DR

City: North Charleston

Vicinity of ☐

County: Charleston

Ownership: Private

Category: Building

Historical Use: Domestic

Historical Use (if Other):

Current Use: Domestic

Current Use (if Other):

SHPO National Register Determination of Eligibility:

**Property Description**

Construction Date: c. 1965

Construction:

Construction (if Other)

Historic Core Shape: T

Historic Core Shape (if Other):

Exterior Walls:

Exterior Walls (if Other):

Foundation:

Foundation (if Other):

Commercial Form:

Commercial Form (if Other):

Roof Shape: cross gable

Roof Shape (if Other)

Roof Materials: composition shingle

Roof Materials (if Other)

Stories: 1 story

Stories (if Other):

Porch Width:

Porch Width (if Other):

Porch Shape:

Porch Shape (if Other)

Description/Significant Features:

Alterations (include date(s), if known)

Architect(s)/Builder(s):

**Historical Information**

Historical Information:

Source of Information:

**Digital Photo ID(s):**

Digital Photo ID 01: 07810004  
View 01 Facing West  
Digital Photo ID 02:  
View 02  
Digital Photo ID 03:  
View 03  
Digital Photo ID 04:  
View 04  
Digital Photo ID 05:  
View 05

Digital Photo ID 06:  
View 06  
Digital Photo ID 07:  
View 07  
Digital Photo ID 08:  
View 08  
Digital Photo ID 09:  
View 09  
Digital Photo ID 10:  
View 10

**Program Management**

Recorded by: SO  
Date Recorded: 08/17/2016

Organization: Brockington

**Statewide Survey of Historic Properties**  
**State Historic Preservation Office**  
**South Carolina Department of Archives and History**  
**8301 Parklane Road**  
**Columbia, SC 29223-4905    (803) 896-6100**

U    /    7810.05

Status    Site No.

Quadrangle Name:    Ladson

Tax Map No.:    4721100042

Revisit: ☐

**Survey Form**

**Identification**

Historic Name:

Common Name:    Liberty Park residence

Address/Location:    2202 VAN BUREN AVE

City:    North Charleston    Vicinity of ☐    County:    Charleston

Ownership:    Private    Category:    Building

Historical Use:    Domestic    Historical Use (if Other):

Current Use:    Domestic    Current Use (if Other):

SHPO National Register Determination of Eligibility:

**Property Description**

Construction Date:    c. 1963

Construction:    frame    Construction (if Other)

Historic Core Shape:    rectangular    Historic Core Shape (if Other):

Exterior Walls:    brick veneer    Exterior Walls (if Other):

Foundation:

Foundation (if Other):

Commercial Form:

Commercial Form (if Other):

Roof Shape:    hip    Roof Shape (if Other)

Roof Materials:    composition shingle    Roof Materials (if Other)

Stories:    1 story    Stories (if Other):

Porch Width:

Porch Width (if Other):

Porch Shape:

Porch Shape (if Other)

Description/Significant Features:

Alterations (include date(s), if known

Architect(s)/Builder(s):



**Historical Information**

Historical Information:

Source of Information:

**Digital Photo ID(s):**

Digital Photo ID 01: 07810005  
View 01                      Facing Northwest  
Digital Photo ID 02:  
View 02  
Digital Photo ID 03:  
View 03  
Digital Photo ID 04:  
View 04  
Digital Photo ID 05:  
View 05

Digital Photo ID 06:  
View 06  
Digital Photo ID 07:  
View 07  
Digital Photo ID 08:  
View 08  
Digital Photo ID 09:  
View 09  
Digital Photo ID 10:  
View 10

**Program Management**

Recorded by:     SO  
Date Recorded:   08/17/2016

Organization:   Brockington

**Statewide Survey of Historic Properties**  
**State Historic Preservation Office**  
**South Carolina Department of Archives and History**  
**8301 Parklane Road**  
**Columbia, SC 29223-4905 (803) 896-6100**

U / 7810.06

Revisit: ☐

Status Site No.

Quadrangle Name: Ladson

Tax Map No.: 4721100015

## Survey Form

### Identification

Historic Name:

Common Name: Liberty Park residence

Address/Location: 2150 ELEANOR DR

City: North Charleston

Vicinity of ☐

County: Charleston

Ownership: Private

Category: Building

Historical Use: Domestic

Historical Use (if Other):

Current Use: Domestic

Current Use (if Other):

SHPO National Register Determination of Eligibility:

### Property Description

Construction Date: c. 1963

Construction: masonry

Construction (if Other):

Historic Core Shape: rectangular

Historic Core Shape (if Other):

Exterior Walls: stucco

Exterior Walls (if Other):

Foundation:

Foundation (if Other):

Commercial Form:

Commercial Form (if Other):

Roof Shape: gable, lateral

Roof Shape (if Other):

Roof Materials: composition shingle

Roof Materials (if Other):

Stories: 1 story

Stories (if Other):

Porch Width:

Porch Width (if Other):

Porch Shape:

Porch Shape (if Other):

Description/Significant Features:

Alterations (include date(s), if known)

Architect(s)/Builder(s):

**Historical Information**

Historical Information:

Source of Information:

**Digital Photo ID(s):**

Digital Photo ID 01: 07810006  
View 01                  Facing Northwest  
Digital Photo ID 02:  
View 02  
Digital Photo ID 03:  
View 03  
Digital Photo ID 04:  
View 04  
Digital Photo ID 05:  
View 05

Digital Photo ID 06:  
View 06  
Digital Photo ID 07:  
View 07  
Digital Photo ID 08:  
View 08  
Digital Photo ID 09:  
View 09  
Digital Photo ID 10:  
View 10

**Program Management**

Recorded by:     SO  
Date Recorded:   08/17/2016

Organization:   Brockington



**Statewide Survey of Historic Properties**  
**State Historic Preservation Office**  
**South Carolina Department of Archives and History**  
**8301 Parklane Road**  
**Columbia, SC 29223-4905 (803) 896-6100**

U / 7810.07

Revisit: ☐

Status Site No.

Quadrangle Name: Ladson

Tax Map No.: 4721000150

## Survey Form

### Identification

Historic Name:

Common Name: Liberty Park residence

Address/Location: 2112 TARGET ST

City: North Charleston

Vicinity of ☐

County: Charleston

Ownership: Private

Category: Building

Historical Use: Domestic

Historical Use (if Other):

Current Use: Domestic

Current Use (if Other):

SHPO National Register Determination of Eligibility:

### Property Description

Construction Date: c. 1960

Construction:

Construction (if Other)

Historic Core Shape: rectangular

Historic Core Shape (if Other):

Exterior Walls: asbestos shingle

Exterior Walls (if Other):

Foundation:

Foundation (if Other):

Commercial Form:

Commercial Form (if Other):

Roof Shape: gable, end to front

Roof Shape (if Other)

Roof Materials: composition shingle

Roof Materials (if Other)

Stories: 1 story

Stories (if Other):

Porch Width:

Porch Width (if Other):

Porch Shape:

Porch Shape (if Other)

Description/Significant Features:

Alterations (include date(s), if known)

Architect(s)/Builder(s):

**Historical Information**

Historical Information:

Source of Information:

**Digital Photo ID(s):**

Digital Photo ID 01: 07810007  
View 01                      Facing North  
Digital Photo ID 02:  
View 02  
Digital Photo ID 03:  
View 03  
Digital Photo ID 04:  
View 04  
Digital Photo ID 05:  
View 05

Digital Photo ID 06:  
View 06  
Digital Photo ID 07:  
View 07  
Digital Photo ID 08:  
View 08  
Digital Photo ID 09:  
View 09  
Digital Photo ID 10:  
View 10

**Program Management**

Recorded by:     SO  
Date Recorded:   08/17/2016

Organization:   Brockington

**Statewide Survey of Historic Properties**  
**State Historic Preservation Office**  
**South Carolina Department of Archives and History**  
**8301 Parklane Road**  
**Columbia, SC 29223-4905 (803) 896-6100**

U / 7810.08  
Status Site No.  
Quadrangle Name: Ladson  
Tax Map No.: 4721000160

Revisit: ☐

## Survey Form

### Identification

Historic Name:

Common Name: Liberty Park residence

Address/Location: 2131 TARGET ST

City: North Charleston

Vicinity of ☐

County: Charleston

Ownership: Private

Category: Building

Historical Use: Domestic

Historical Use (if Other):

Current Use: Domestic

Current Use (if Other):

SHPO National Register Determination of Eligibility:

### Property Description

Construction Date: c. 1945

Construction:

Construction (if Other)

Historic Core Shape: rectangular

Historic Core Shape (if Other):

Exterior Walls: asbestos shingle

Exterior Walls (if Other):

Foundation:

Foundation (if Other):

Commercial Form:

Commercial Form (if Other):

Roof Shape: gable, lateral

Roof Shape (if Other)

Roof Materials:

Roof Materials (if Other)

Stories: 1 story

Stories (if Other):

Porch Width:

Porch Width (if Other):

Porch Shape:

Porch Shape (if Other)

Description/Significant Features:

Alterations (include date(s), if known)

Architect(s)/Builder(s):



**Historical Information**

Historical Information:

Source of Information:

**Digital Photo ID(s):**

Digital Photo ID 01: 07810008  
View 01                  Facing Southeast  
Digital Photo ID 02:  
View 02  
Digital Photo ID 03:  
View 03  
Digital Photo ID 04:  
View 04  
Digital Photo ID 05:  
View 05

Digital Photo ID 06:  
View 06  
Digital Photo ID 07:  
View 07  
Digital Photo ID 08:  
View 08  
Digital Photo ID 09:  
View 09  
Digital Photo ID 10:  
View 10

**Program Management**

Recorded by:     SO  
Date Recorded:   08/17/2016

Organization:   Brockington

**Statewide Survey of Historic Properties**  
**State Historic Preservation Office**  
**South Carolina Department of Archives and History**  
**8301 Parklane Road**  
**Columbia, SC 29223-4905 (803) 896-6100**

U / 7811  
Status Site No.  
Quadrangle Name: Ladson  
Tax Map No.: Multiple

Revisit: ☐

## ***Survey Form***

### **Identification**

Historic Name: Oak Park

Common Name: Oak Park West

Address/Location: North Charleston

City: North Charleston

Vicinity of ☐

County: Charleston

Ownership: Private

Category: District

Historical Use: Domestic

Historical Use (if Other):

Current Use: Domestic

Current Use (if Other):

SHPO National Register Determination of Eligibility:

### **Property Description**

Construction Date: c. 1950

Construction:

Construction (if Other)

Historic Core Shape:

Historic Core Shape (if Other):

Exterior Walls:

Exterior Walls (if Other):

Foundation:

Foundation (if Other):

Commercial Form:

Commercial Form (if Other):

Roof Shape:

Roof Shape (if Other)

Roof Materials:

Roof Materials (if Other)

Stories:

Stories (if Other):

Porch Width:

Porch Width (if Other):

Porch Shape:

Porch Shape (if Other)

Description/Significant Features:

Alterations (include date(s), if known)

Architect(s)/Builder(s):

**Historical Information**

Historical Information:

Source of Information:

**Digital Photo ID(s):**

Digital Photo ID 01: 07811003

View 01                  Facing Northeast

Digital Photo ID 02: 07811004

View 02                  Facing Southeast

Digital Photo ID 03: 07811005

View 03                  Facing Northeast

Digital Photo ID 04:

View 04

Digital Photo ID 05:

View 05

Digital Photo ID 06:

View 06

Digital Photo ID 07:

View 07

Digital Photo ID 08:

View 08

Digital Photo ID 09:

View 09

Digital Photo ID 10:

View 10

**Program Management**

Recorded by:     DB

Date Recorded:   11/15/2018

Organization:   Brockington



**Statewide Survey of Historic Properties**  
**State Historic Preservation Office**  
**South Carolina Department of Archives and History**  
**8301 Parklane Road**  
**Columbia, SC 29223-4905 (803) 896-6100**

U / 7811.01 Revisit: ☐  
Status Site No.  
Quadrangle Name: North Charleston  
Tax Map No.: 4710700047

***Survey Form***

**Identification**

Historic Name:

Common Name: Oak Park West residence

Address/Location: 1372 MAXWELL ST

City: North Charleston Vicinity of ☐ County: Charleston

Ownership: Private Category: Building

Historical Use: Domestic Historical Use (if Other):

Current Use: Domestic Current Use (if Other):

SHPO National Register Determination of Eligibility:

**Property Description**

Construction Date: c. 1952

Construction: frame

Historic Core Shape:

Exterior Walls:

Foundation:

Commercial Form:

Roof Shape: cross gable

Roof Materials: composition shingle

Stories: 1 story

Porch Width:

Porch Shape:

Construction (if Other)

Historic Core Shape (if Other):

Exterior Walls (if Other):

Foundation (if Other):

Commercial Form (if Other):

Roof Shape (if Other)

Roof Materials (if Other)

Stories (if Other):

Porch Width (if Other):

Porch Shape (if Other)

Description/Significant Features: Decorative metal supports; wood panel door; 3-part picture window, 3/1 and 4/1 DHS w faux shutters; brick chimney on ridge; rear gable addition

Alterations (include date(s), if known)

Architect(s)/Builder(s):

**Historical Information**

Historical Information:

Source of Information:

**Digital Photo ID(s):**

Digital Photo ID 01: 07811001  
View 01                      Facing North

Digital Photo ID 02:  
View 02

Digital Photo ID 03:  
View 03

Digital Photo ID 04:  
View 04

Digital Photo ID 05:  
View 05

Digital Photo ID 06:  
View 06

Digital Photo ID 07:  
View 07

Digital Photo ID 08:  
View 08

Digital Photo ID 09:  
View 09

Digital Photo ID 10:  
View 10

**Program Management**

Recorded by:     SO

Date Recorded:   07/27/2016

Organization:   Brockington

**Statewide Survey of Historic Properties**  
**State Historic Preservation Office**  
**South Carolina Department of Archives and History**  
**8301 Parklane Road**  
**Columbia, SC 29223-4905 (803) 896-6100**

U / 7811.02 Revisit: ☐  
Status Site No.  
Quadrangle Name: North Charleston  
Tax Map No.: 4710700049

***Survey Form***

**Identification**

Historic Name:

Common Name: Oak Park West residence

Address/Location: 5322 PARKSIDE DR

City: North Charleston Vicinity of ☐ County: Charleston

Ownership: Private Category: Building

Historical Use: Domestic Historical Use (if Other):

Current Use: Domestic Current Use (if Other):

SHPO National Register Determination of Eligibility:

**Property Description**

Construction Date: c. 1965

Construction: frame Construction (if Other):

Historic Core Shape: rectangular Historic Core Shape (if Other):

Exterior Walls: brick veneer Exterior Walls (if Other):

Foundation: Foundation (if Other):

Commercial Form: Commercial Form (if Other):

Roof Shape: hip Roof Shape (if Other):

Roof Materials: composition shingle Roof Materials (if Other):

Stories: 1 story Stories (if Other):

Porch Width: Porch Width (if Other):

Porch Shape: Porch Shape (if Other):

Description/Significant Features: Decorative metal supports; wood panel door; engaged open car port on end; 6/6 DHS windows, some paired

Alterations (include date(s), if known)

Architect(s)/Builder(s):



**Historical Information**

Historical Information:

Source of Information:

**Digital Photo ID(s):**

Digital Photo ID 01: 07811002  
View 01                      Facing Northeast  
Digital Photo ID 02:  
View 02  
Digital Photo ID 03:  
View 03  
Digital Photo ID 04:  
View 04  
Digital Photo ID 05:  
View 05

Digital Photo ID 06:  
View 06  
Digital Photo ID 07:  
View 07  
Digital Photo ID 08:  
View 08  
Digital Photo ID 09:  
View 09  
Digital Photo ID 10:  
View 10

**Program Management**

Recorded by:     SO  
Date Recorded:   07/27/2016

Organization:   Brockington

**Statewide Survey of Historic Properties**  
**State Historic Preservation Office**  
**South Carolina Department of Archives and History**  
**8301 Parklane Road**  
**Columbia, SC 29223-4905 (803) 896-6100**

U / 7812  
Status Site No.  
Quadrangle Name: Ladson  
Tax Map No.: Multiple

Revisit: ☐

## ***Survey Form***

### **Identification**

Historic Name: Russelldale

Common Name: Russelldale

Address/Location: North Charleston

City: North Charleston

Vicinity of ☐

County: Charleston

Ownership: Private

Category: District

Historical Use: Domestic

Historical Use (if Other):

Current Use: Domestic

Current Use (if Other):

SHPO National Register Determination of Eligibility:

### **Property Description**

Construction Date: c. 1950

Construction:

Construction (if Other)

Historic Core Shape:

Historic Core Shape (if Other):

Exterior Walls:

Exterior Walls (if Other):

Foundation:

Foundation (if Other):

Commercial Form:

Commercial Form (if Other):

Roof Shape:

Roof Shape (if Other)

Roof Materials:

Roof Materials (if Other)

Stories:

Stories (if Other):

Porch Width:

Porch Width (if Other):

Porch Shape:

Porch Shape (if Other)

Description/Significant Features:

Alterations (include date(s), if known)

Architect(s)/Builder(s):

**Historical Information**

Historical Information:

Source of Information:

**Digital Photo ID(s):**

Digital Photo ID 01: 07812007  
View 01 Facing Southwest  
Digital Photo ID 02:  
View 02  
Digital Photo ID 03:  
View 03  
Digital Photo ID 04:  
View 04  
Digital Photo ID 05:  
View 05

Digital Photo ID 06:  
View 06  
Digital Photo ID 07:  
View 07  
Digital Photo ID 08:  
View 08  
Digital Photo ID 09:  
View 09  
Digital Photo ID 10:  
View 10

**Program Management**

Recorded by: DB  
Date Recorded: 11/15/2018

Organization: Brockington



**Statewide Survey of Historic Properties**  
**State Historic Preservation Office**  
**South Carolina Department of Archives and History**  
**8301 Parklane Road**  
**Columbia, SC 29223-4905 (803) 896-6100**

U / 7812.01 Revisit: ☐  
Status Site No.  
Quadrangle Name: Ladson  
Tax Map No.: 4721400049

## Survey Form

### Identification

Historic Name:

Common Name: Russelldale residence

Address/Location: 5103 ROCKINGHAM ST

City: North Charleston

Vicinity of ☐

County: Charleston

Ownership: Private

Category: Building

Historical Use: Domestic

Historical Use (if Other):

Current Use: Domestic

Current Use (if Other):

SHPO National Register Determination of Eligibility:

### Property Description

Construction Date: c. 1961

Construction: frame

Construction (if Other):

Historic Core Shape: rectangular

Historic Core Shape (if Other):

Exterior Walls: brick veneer

Exterior Walls (if Other):

Foundation:

Foundation (if Other):

Commercial Form:

Commercial Form (if Other):

Roof Shape: gable, lateral

Roof Shape (if Other):

Roof Materials: composition shingle

Roof Materials (if Other):

Stories: 1 story

Stories (if Other):

Porch Width:

Porch Width (if Other):

Porch Shape:

Porch Shape (if Other):

Description/Significant Features: Decorative metal supports and railing; 3-part picture window, 2/2 DHS, some paired, faux shutters; open engaged carport off end

Alterations (include date(s), if known)

Architect(s)/Builder(s):

**Historical Information**

Historical Information:

Source of Information:

**Digital Photo ID(s):**

Digital Photo ID 01: 07812001  
View 01 Facing Southwest  
Digital Photo ID 02:  
View 02  
Digital Photo ID 03:  
View 03  
Digital Photo ID 04:  
View 04  
Digital Photo ID 05:  
View 05

Digital Photo ID 06:  
View 06  
Digital Photo ID 07:  
View 07  
Digital Photo ID 08:  
View 08  
Digital Photo ID 09:  
View 09  
Digital Photo ID 10:  
View 10

**Program Management**

Recorded by: SO  
Date Recorded: 08/11/2016

Organization: Brockington

**Statewide Survey of Historic Properties**  
**State Historic Preservation Office**  
**South Carolina Department of Archives and History**  
**8301 Parklane Road**  
**Columbia, SC 29223-4905 (803) 896-6100**

U / 7812.02 Revisit: ☐  
Status Site No.  
Quadrangle Name: Ladson  
Tax Map No.: 4721400048

**Survey Form**

**Identification**

Historic Name:

Common Name: Russelldale residence

Address/Location: 5111 ROCKINGHAM ST

City: North Charleston

Vicinity of ☐

County: Charleston

Ownership: Private

Category: Building

Historical Use: Domestic

Historical Use (if Other):

Current Use: Domestic

Current Use (if Other):

SHPO National Register Determination of Eligibility:

**Property Description**

Construction Date: c. 1955

Construction: frame

Construction (if Other):

Historic Core Shape: rectangular

Historic Core Shape (if Other):

Exterior Walls: asbestos shingle

Exterior Walls (if Other):

Foundation: concrete block

Foundation (if Other):

Commercial Form:

Commercial Form (if Other):

Roof Shape: gable, lateral

Roof Shape (if Other):

Roof Materials: composition shingle

Roof Materials (if Other):

Stories: 1 story

Stories (if Other):

Porch Width:

Porch Width (if Other):

Porch Shape:

Porch Shape (if Other):

Description/Significant Features: Decorative metal supports and railing; wood panel door w fan light; 3-part picture window, 2/1 and 3/1 DHS, some paired; open engaged carport on end; brick chimney on ridge; rear shed addition

Alterations (include date(s), if known)

Architect(s)/Builder(s):



**Historical Information**

Historical Information:

Source of Information:

**Digital Photo ID(s):**

Digital Photo ID 01: 07812002  
View 01 Facing Southwest  
Digital Photo ID 02:  
View 02  
Digital Photo ID 03:  
View 03  
Digital Photo ID 04:  
View 04  
Digital Photo ID 05:  
View 05

Digital Photo ID 06:  
View 06  
Digital Photo ID 07:  
View 07  
Digital Photo ID 08:  
View 08  
Digital Photo ID 09:  
View 09  
Digital Photo ID 10:  
View 10

**Program Management**

Recorded by: SO  
Date Recorded: 08/11/2016

Organization: Brockington

**Statewide Survey of Historic Properties**  
**State Historic Preservation Office**  
**South Carolina Department of Archives and History**  
**8301 Parklane Road**  
**Columbia, SC 29223-4905 (803) 896-6100**

U / 7812.03 Revisit: ☐  
Status Site No.  
Quadrangle Name: Ladson  
Tax Map No.: 4721400083

**Survey Form**

**Identification**

Historic Name:

Common Name: Russelldale residence

Address/Location: 5133 BUTLER ST

City: North Charleston

Vicinity of ☐

County: Charleston

Ownership: Private

Category: Building

Historical Use: Domestic

Historical Use (if Other):

Current Use: Domestic

Current Use (if Other):

SHPO National Register Determination of Eligibility:

**Property Description**

Construction Date: c. 1955

Construction: masonry

Construction (if Other):

Historic Core Shape: rectangular

Historic Core Shape (if Other):

Exterior Walls: asbestos shingle

Exterior Walls (if Other):

Foundation:

Foundation (if Other):

Commercial Form:

Commercial Form (if Other):

Roof Shape: gable, lateral

Roof Shape (if Other):

Roof Materials:

Roof Materials (if Other):

Stories: 2 stories

Stories (if Other):

Porch Width:

Porch Width (if Other):

Porch Shape:

Porch Shape (if Other):

Description/Significant Features: Duplex w entry to 2nd story on end w stoop; square wood supports and railing; wood panel doors w decorative fixed light; 3-part picture windows, 3/1 DHS, some paired, faux shutters; originally may have been commercial w residential 2nd story

Alterations (include date(s), if known)

Architect(s)/Builder(s):

**Historical Information**

Historical Information:

Source of Information:

**Digital Photo ID(s):**

Digital Photo ID 01: 07812003  
View 01 Facing Southwest  
Digital Photo ID 02:  
View 02  
Digital Photo ID 03:  
View 03  
Digital Photo ID 04:  
View 04  
Digital Photo ID 05:  
View 05

Digital Photo ID 06:  
View 06  
Digital Photo ID 07:  
View 07  
Digital Photo ID 08:  
View 08  
Digital Photo ID 09:  
View 09  
Digital Photo ID 10:  
View 10

**Program Management**

Recorded by: SO  
Date Recorded: 08/11/2016

Organization: Brockington



**Statewide Survey of Historic Properties**  
**State Historic Preservation Office**  
**South Carolina Department of Archives and History**  
**8301 Parklane Road**  
**Columbia, SC 29223-4905 (803) 896-6100**

U / 7812.04 Revisit: ☒  
Status Site No.  
Quadrangle Name: Ladson  
Tax Map No.: 4721400212

## Survey Form

### Identification

Historic Name:

Common Name: Russelldale residence

Address/Location: 2215 RUSSELLDALE AVE

City: North Charleston

Vicinity of ☐

County: Charleston

Ownership: Private

Category: Building

Historical Use: Domestic

Historical Use (if Other):

Current Use: Domestic

Current Use (if Other):

SHPO National Register Determination of Eligibility:

### Property Description

Construction Date: c. 1960

Construction:

Construction (if Other)

Historic Core Shape: rectangular

Historic Core Shape (if Other):

Exterior Walls: asbestos shingle

Exterior Walls (if Other):

Foundation: concrete block

Foundation (if Other):

Commercial Form:

Commercial Form (if Other):

Roof Shape: gable, lateral

Roof Shape (if Other)

Roof Materials: composition shingle

Roof Materials (if Other)

Stories: 1 story

Stories (if Other):

Porch Width:

Porch Width (if Other):

Porch Shape:

Porch Shape (if Other)

Description/Significant Features: Decorative metal supports; 2nd entry on end w stoop; 2/2 DHS windows, some paired

Alterations (include date(s), if known)

Architect(s)/Builder(s):

**Historical Information**

Historical Information:

Source of Information:

**Digital Photo ID(s):**

Digital Photo ID 01: 07812004  
View 01                      Facing Southeast  
Digital Photo ID 02:  
View 02  
Digital Photo ID 03:  
View 03  
Digital Photo ID 04:  
View 04  
Digital Photo ID 05:  
View 05

Digital Photo ID 06:  
View 06  
Digital Photo ID 07:  
View 07  
Digital Photo ID 08:  
View 08  
Digital Photo ID 09:  
View 09  
Digital Photo ID 10:  
View 10

**Program Management**

Recorded by:     SO  
Date Recorded:   08/11/2016

Organization:   Brockington

**Statewide Survey of Historic Properties**  
**State Historic Preservation Office**  
**South Carolina Department of Archives and History**  
**8301 Parklane Road**  
**Columbia, SC 29223-4905 (803) 896-6100**

U / 7812.05 Revisit: ☐  
Status Site No.  
Quadrangle Name: Ladson  
Tax Map No.: 4721400169

**Survey Form**

**Identification**

Historic Name:

Common Name: Russelldale residence

Address/Location: 5106 WILLIS DR

City: North Charleston

Vicinity of ☐

County: Charleston

Ownership: Private

Category: Building

Historical Use: Domestic

Historical Use (if Other):

Current Use: Domestic

Current Use (if Other):

SHPO National Register Determination of Eligibility:

**Property Description**

Construction Date: c. 1955

Construction: masonry

Construction (if Other):

Historic Core Shape: rectangular

Historic Core Shape (if Other):

Exterior Walls:

Exterior Walls (if Other):

Foundation:

Foundation (if Other):

Commercial Form:

Commercial Form (if Other):

Roof Shape: gable, end to front

Roof Shape (if Other):

Roof Materials: composition shingle

Roof Materials (if Other):

Stories: 1 story

Stories (if Other):

Porch Width:

Porch Width (if Other):

Porch Shape:

Porch Shape (if Other):

Description/Significant Features: Decorative metal supports; 3-part picture window, casement windows, faux shutters; open porte cochere on side; concrete block chimney on rear end exterior; outbuilding directly E

Alterations (include date(s), if known)

Architect(s)/Builder(s):



**Historical Information**

Historical Information:

Source of Information:

**Digital Photo ID(s):**

Digital Photo ID 01: 07812005  
View 01                      Facing Northeast  
Digital Photo ID 02:  
View 02  
Digital Photo ID 03:  
View 03  
Digital Photo ID 04:  
View 04  
Digital Photo ID 05:  
View 05

Digital Photo ID 06:  
View 06  
Digital Photo ID 07:  
View 07  
Digital Photo ID 08:  
View 08  
Digital Photo ID 09:  
View 09  
Digital Photo ID 10:  
View 10

**Program Management**

Recorded by:     SO  
Date Recorded:   08/11/2016

Organization:   Brockington

**Statewide Survey of Historic Properties**  
**State Historic Preservation Office**  
**South Carolina Department of Archives and History**  
**8301 Parklane Road**  
**Columbia, SC 29223-4905 (803) 896-6100**

U / 7812.06 Revisit: ☐  
Status Site No.  
Quadrangle Name: Ladson  
Tax Map No.: 4721400160

***Survey Form***

**Identification**

Historic Name:

Common Name: Russelldale residence

Address/Location: 5111 WILLIS DR

City: North Charleston

Vicinity of ☐

County: Charleston

Ownership: Private

Category: Building

Historical Use: Domestic

Historical Use (if Other):

Current Use: Domestic

Current Use (if Other):

SHPO National Register Determination of Eligibility:

**Property Description**

Construction Date: c. 1960

Construction: masonry

Construction (if Other):

Historic Core Shape: rectangular

Historic Core Shape (if Other):

Exterior Walls:

Exterior Walls (if Other):

Foundation:

Foundation (if Other):

Commercial Form:

Commercial Form (if Other):

Roof Shape: gable, end to front

Roof Shape (if Other):

Roof Materials:

Roof Materials (if Other):

Stories: 1 story

Stories (if Other):

Porch Width:

Porch Width (if Other):

Porch Shape:

Porch Shape (if Other):

Description/Significant Features: Primary entry through enclosed entry porch; wood panel door w fixed lights; large brick veneer chimney on gable exterior w cap; metal awning windows; open car port on side

Alterations (include date(s), if known)

Architect(s)/Builder(s):

**Historical Information**

Historical Information:

Source of Information:

**Digital Photo ID(s):**

Digital Photo ID 01: 07812006  
View 01 Facing Southwest  
Digital Photo ID 02:  
View 02  
Digital Photo ID 03:  
View 03  
Digital Photo ID 04:  
View 04  
Digital Photo ID 05:  
View 05

Digital Photo ID 06:  
View 06  
Digital Photo ID 07:  
View 07  
Digital Photo ID 08:  
View 08  
Digital Photo ID 09:  
View 09  
Digital Photo ID 10:  
View 10

**Program Management**

Recorded by: SO  
Date Recorded: 08/11/2016

Organization: Brockington



**Statewide Survey of Historic Properties**  
**State Historic Preservation Office**  
**South Carolina Department of Archives and History**  
**8301 Parklane Road**  
**Columbia, SC 29223-4905 (803) 896-6100**

U / 7813  
Status Site No.  
Quadrangle Name: Johns Island  
Tax Map No.: Multiple

Revisit: ☐

## ***Survey Form***

### **Identification**

Historic Name: Wando Woods  
Common Name: Wando Woods  
Address/Location: North Charleston

City: North Charleston Vicinity of ☐ County: Charleston

Ownership: Private Category: District  
Historical Use: Domestic Historical Use (if Other):  
Current Use: Domestic Current Use (if Other):

SHPO National Register Determination of Eligibility:

### **Property Description**

Construction Date: c. 1950  
Construction: Construction (if Other)  
Historic Core Shape: Historic Core Shape (if Other):  
Exterior Walls: Exterior Walls (if Other):  
Foundation: Foundation (if Other):  
Commercial Form: Commercial Form (if Other):  
Roof Shape: Roof Shape (if Other)  
Roof Materials: Roof Materials (if Other)  
Stories: Stories (if Other):  
Porch Width: Porch Width (if Other):  
Porch Shape: Porch Shape (if Other)

Description/Significant Features:

Alterations (include date(s), if known)

Architect(s)/Builder(s):

**Historical Information**

Historical Information:

Source of Information:

**Digital Photo ID(s):**

Digital Photo ID 01: 07813005

View 01                  Facing Northeast

Digital Photo ID 02: 07813006

View 02                  Facing East

Digital Photo ID 03: 07813007

View 03                  Facing Southwest

Digital Photo ID 04:

View 04

Digital Photo ID 05:

View 05

Digital Photo ID 06:

View 06

Digital Photo ID 07:

View 07

Digital Photo ID 08:

View 08

Digital Photo ID 09:

View 09

Digital Photo ID 10:

View 10

**Program Management**

Recorded by:     DB

Date Recorded:   11/15/2018

Organization:   Brockington

**Statewide Survey of Historic Properties**  
**State Historic Preservation Office**  
**South Carolina Department of Archives and History**  
**8301 Parklane Road**  
**Columbia, SC 29223-4905 (803) 896-6100**

U / 7813.01

Revisit: ☐

Status Site No.

Quadrangle Name: Johns Island

Tax Map No.: 4100400012

## ***Survey Form***

### **Identification**

Historic Name:

Common Name: Wando Woods residence

Address/Location: 3926 DORSEY AVE

City: North Charleston

Vicinity of ☐

County: Charleston

Ownership: Private

Category: Building

Historical Use: Domestic

Historical Use (if Other):

Current Use: Domestic

Current Use (if Other):

SHPO National Register Determination of Eligibility:

### **Property Description**

Construction Date: c. 1953

Construction:

Construction (if Other)

Historic Core Shape:

Historic Core Shape (if Other):

Exterior Walls:

Exterior Walls (if Other):

Foundation:

Foundation (if Other):

Commercial Form:

Commercial Form (if Other):

Roof Shape: gable-on-hip

Roof Shape (if Other)

Roof Materials: composition shingle

Roof Materials (if Other)

Stories: 1 story

Stories (if Other):

Porch Width:

Porch Width (if Other):

Porch Shape:

Porch Shape (if Other)

Description/Significant Features:

Alterations (include date(s), if known)

Architect(s)/Builder(s):



**Historical Information**

Historical Information:

Source of Information:

**Digital Photo ID(s):**

Digital Photo ID 01: 07813001  
View 01 Facing North  
Digital Photo ID 02:  
View 02  
Digital Photo ID 03:  
View 03  
Digital Photo ID 04:  
View 04  
Digital Photo ID 05:  
View 05

Digital Photo ID 06:  
View 06  
Digital Photo ID 07:  
View 07  
Digital Photo ID 08:  
View 08  
Digital Photo ID 09:  
View 09  
Digital Photo ID 10:  
View 10

**Program Management**

Recorded by: SO  
Date Recorded: 08/17/2016

Organization: Brockington

**Statewide Survey of Historic Properties**  
**State Historic Preservation Office**  
**South Carolina Department of Archives and History**  
**8301 Parklane Road**  
**Columbia, SC 29223-4905 (803) 896-6100**

U / 7813.02  
Status Site No.  
Quadrangle Name: Johns Island  
Tax Map No.: 4101000093

Revisit: ☐

## ***Survey Form***

### **Identification**

Historic Name:

Common Name: Wando Woods residence

Address/Location: 4620 W ADA AVE

City: North Charleston

Vicinity of ☐

County: Charleston

Ownership: Private

Category: Building

Historical Use: Domestic

Historical Use (if Other):

Current Use: Domestic

Current Use (if Other):

SHPO National Register Determination of Eligibility:

### **Property Description**

Construction Date: c. 1958

Construction:

Construction (if Other)

Historic Core Shape: square

Historic Core Shape (if Other):

Exterior Walls: asbestos shingle

Exterior Walls (if Other):

Foundation: brick

Foundation (if Other):

Commercial Form:

Commercial Form (if Other):

Roof Shape: gable, lateral

Roof Shape (if Other)

Roof Materials: composition shingle

Roof Materials (if Other)

Stories: 1 story

Stories (if Other):

Porch Width:

Porch Width (if Other):

Porch Shape:

Porch Shape (if Other)

Description/Significant Features:

Alterations (include date(s), if known)

Architect(s)/Builder(s):

**Historical Information**

Historical Information:

Source of Information:

**Digital Photo ID(s):**

Digital Photo ID 01: 07813002  
View 01                      Facing Northeast  
Digital Photo ID 02:  
View 02  
Digital Photo ID 03:  
View 03  
Digital Photo ID 04:  
View 04  
Digital Photo ID 05:  
View 05

Digital Photo ID 06:  
View 06  
Digital Photo ID 07:  
View 07  
Digital Photo ID 08:  
View 08  
Digital Photo ID 09:  
View 09  
Digital Photo ID 10:  
View 10

**Program Management**

Recorded by:     SO  
Date Recorded:   08/17/2016

Organization:   Brockington



**Statewide Survey of Historic Properties**  
**State Historic Preservation Office**  
**South Carolina Department of Archives and History**  
**8301 Parklane Road**  
**Columbia, SC 29223-4905 (803) 896-6100**

U / 7813.03 Revisit: ☐  
Status Site No.  
Quadrangle Name: Johns Island  
Tax Map No.: 4101000095

***Survey Form***

**Identification**

Historic Name:

Common Name: Wando Woods residence

Address/Location: 3729 PARAMOUNT DR

City: North Charleston

Vicinity of ☐

County: Charleston

Ownership: Private

Category: Building

Historical Use: Domestic

Historical Use (if Other):

Current Use: Domestic

Current Use (if Other):

SHPO National Register Determination of Eligibility:

**Property Description**

Construction Date: c. 1965

Construction: frame

Construction (if Other):

Historic Core Shape: rectangular

Historic Core Shape (if Other):

Exterior Walls: brick veneer

Exterior Walls (if Other):

Foundation:

Foundation (if Other):

Commercial Form:

Commercial Form (if Other):

Roof Shape: hip

Roof Shape (if Other):

Roof Materials: composition shingle

Roof Materials (if Other):

Stories: 1 story

Stories (if Other):

Porch Width:

Porch Width (if Other):

Porch Shape:

Porch Shape (if Other):

Description/Significant Features:

Alterations (include date(s), if known)

Architect(s)/Builder(s):

**Historical Information**

Historical Information:

Source of Information:

**Digital Photo ID(s):**

Digital Photo ID 01: 07813003  
View 01                      Facing Southeast  
Digital Photo ID 02:  
View 02  
Digital Photo ID 03:  
View 03  
Digital Photo ID 04:  
View 04  
Digital Photo ID 05:  
View 05

Digital Photo ID 06:  
View 06  
Digital Photo ID 07:  
View 07  
Digital Photo ID 08:  
View 08  
Digital Photo ID 09:  
View 09  
Digital Photo ID 10:  
View 10

**Program Management**

Recorded by:     SO  
Date Recorded:   08/17/2016

Organization:   Brockington

**Statewide Survey of Historic Properties**  
**State Historic Preservation Office**  
**South Carolina Department of Archives and History**  
**8301 Parklane Road**  
**Columbia, SC 29223-4905 (803) 896-6100**

U / 7813.04  
Status Site No.  
Quadrangle Name: Johns Island  
Tax Map No.: 4101000084

Revisit: ☐

## ***Survey Form***

### **Identification**

Historic Name:

Common Name: Wando Woods residence

Address/Location: 3745 PARAMOUNT DR

City: North Charleston

Vicinity of ☐

County: Charleston

Ownership: Corporate

Category: Building

Historical Use: Commerce/Trade

Historical Use (if Other):

Current Use: Commerce/Trade

Current Use (if Other):

SHPO National Register Determination of Eligibility:

### **Property Description**

Construction Date: c. 1960

Construction: masonry

Construction (if Other):

Historic Core Shape: rectangular

Historic Core Shape (if Other):

Exterior Walls:

Exterior Walls (if Other):

Foundation:

Foundation (if Other):

Commercial Form:

Commercial Form (if Other):

Roof Shape: gable, lateral

Roof Shape (if Other):

Roof Materials: composition shingle

Roof Materials (if Other):

Stories: 1 story

Stories (if Other):

Porch Width:

Porch Width (if Other):

Porch Shape:

Porch Shape (if Other):

Description/Significant Features:

Alterations (include date(s), if known)

Architect(s)/Builder(s):



**Historical Information**

Historical Information:

Source of Information:

**Digital Photo ID(s):**

Digital Photo ID 01: 07813004  
View 01                  Facing Southeast  
Digital Photo ID 02:  
View 02  
Digital Photo ID 03:  
View 03  
Digital Photo ID 04:  
View 04  
Digital Photo ID 05:  
View 05

Digital Photo ID 06:  
View 06  
Digital Photo ID 07:  
View 07  
Digital Photo ID 08:  
View 08  
Digital Photo ID 09:  
View 09  
Digital Photo ID 10:  
View 10

**Program Management**

Recorded by:     SO  
Date Recorded:   08/17/2016

Organization:   Brockington

**Statewide Survey of Historic Properties**  
**State Historic Preservation Office**  
**South Carolina Department of Archives and History**  
**8301 Parklane Road**  
**Columbia, SC 29223-4905 (803) 896-6100**

U / 7911 Revisit: ☒  
Status Site No.  
Quadrangle Name: Johns Island  
Tax Map No.: Multiple

## Survey Form

### Identification

Historic Name: Camps  
Common Name: Camps  
Address/Location: Between Firestone, Pacific, and W. Montague in North Charleston  
  
City: North Charleston Vicinity of ☐ County: Charleston

Ownership: Unknown/Other Category: District  
Historical Use: Domestic Historical Use (if Other):  
Current Use: Domestic Current Use (if Other):

SHPO National Register Determination of Eligibility:

### Property Description

Construction Date: c. 1955-1960  
Construction: Construction (if Other)  
Historic Core Shape: Historic Core Shape (if Other):  
Exterior Walls: Exterior Walls (if Other):  
Foundation: Foundation (if Other):  
Commercial Form: Commercial Form (if Other):  
Roof Shape: Roof Shape (if Other)  
Roof Materials: Roof Materials (if Other)  
Stories: Stories (if Other):  
Porch Width: Porch Width (if Other):  
Porch Shape: Porch Shape (if Other)

Description/Significant Features:

Alterations (include date(s), if known)

Architect(s)/Builder(s):

**Historical Information**

Historical Information:

Source of Information:

**Digital Photo ID(s):**

Digital Photo ID 01: 07911006

View 01                  Facing East

Digital Photo ID 02: 07911007

View 02                  Facing Northeast

Digital Photo ID 03:

View 03

Digital Photo ID 04:

View 04

Digital Photo ID 05:

View 05

Digital Photo ID 06:

View 06

Digital Photo ID 07:

View 07

Digital Photo ID 08:

View 08

Digital Photo ID 09:

View 09

Digital Photo ID 10:

View 10

**Program Management**

Recorded by:     DB

Date Recorded:   11/15/2018

Organization:   Brockington



**Statewide Survey of Historic Properties**  
**State Historic Preservation Office**  
**South Carolina Department of Archives and History**  
**8301 Parklane Road**  
**Columbia, SC 29223-4905 (803) 896-6100**

U / 7911.01 Revisit: ☒  
Status Site No.  
Quadrangle Name: Johns Island  
Tax Map No.: 4090900023

**Survey Form**

**Identification**

Historic Name:

Common Name: Camps residence

Address/Location: 3575 FIRESTONE RD

City: North Charleston

Vicinity of ☐

County: Charleston

Ownership: Private

Category: Building

Historical Use: Domestic

Historical Use (if Other):

Current Use: Domestic

Current Use (if Other):

SHPO National Register Determination of Eligibility:

**Property Description**

Construction Date: c. 1963

Construction: masonry

Construction (if Other):

Historic Core Shape: rectangular

Historic Core Shape (if Other):

Exterior Walls: asbestos shingle

Exterior Walls (if Other):

Foundation: concrete block

Foundation (if Other):

Commercial Form:

Commercial Form (if Other):

Roof Shape: gable, lateral

Roof Shape (if Other):

Roof Materials: composition shingle

Roof Materials (if Other):

Stories: 1 story

Stories (if Other):

Porch Width:

Porch Width (if Other):

Porch Shape:

Porch Shape (if Other):

Description/Significant Features: Decorative metal supports and railing; 3-part picture window, 2/2 DHS horizontal, faux shutters; open engaged carport on end; brick chimney in rear slope

Alterations (include date(s), if known)

Architect(s)/Builder(s):

**Historical Information**

Historical Information:

Source of Information:

**Digital Photo ID(s):**

Digital Photo ID 01: 07911001  
View 01                      Facing Southeast  
Digital Photo ID 02:  
View 02  
Digital Photo ID 03:  
View 03  
Digital Photo ID 04:  
View 04  
Digital Photo ID 05:  
View 05

Digital Photo ID 06:  
View 06  
Digital Photo ID 07:  
View 07  
Digital Photo ID 08:  
View 08  
Digital Photo ID 09:  
View 09  
Digital Photo ID 10:  
View 10

**Program Management**

Recorded by:     SO  
Date Recorded:   08/11/2016

Organization:   Brockington

**Statewide Survey of Historic Properties**  
**State Historic Preservation Office**  
**South Carolina Department of Archives and History**  
**8301 Parklane Road**  
**Columbia, SC 29223-4905 (803) 896-6100**

U / 7911.02 Revisit: ☒  
Status Site No.  
Quadrangle Name: Johns Island  
Tax Map No.: 4090900020

## Survey Form

### Identification

Historic Name:

Common Name: Camps residence

Address/Location: 5018 FARGO ST

City: North Charleston

Vicinity of ☐

County: Charleston

Ownership: Private

Category: Building

Historical Use: Domestic

Historical Use (if Other):

Current Use: Domestic

Current Use (if Other):

SHPO National Register Determination of Eligibility:

### Property Description

Construction Date: c. 1958

Construction: frame

Construction (if Other):

Historic Core Shape: rectangular

Historic Core Shape (if Other):

Exterior Walls: brick veneer

Exterior Walls (if Other):

Foundation:

Foundation (if Other):

Commercial Form:

Commercial Form (if Other):

Roof Shape: hip

Roof Shape (if Other):

Roof Materials: composition shingle

Roof Materials (if Other):

Stories: 1 story

Stories (if Other):

Porch Width:

Porch Width (if Other):

Porch Shape:

Porch Shape (if Other):

Description/Significant Features: Duplex; decorative metal supports; wood panel doors; 6/6 DHS windows, some paired, faux shutters

Alterations (include date(s), if known)

Architect(s)/Builder(s):



**Historical Information**

Historical Information:

Source of Information:

**Digital Photo ID(s):**

Digital Photo ID 01: 07911002

View 01                      Facing Northeast

Digital Photo ID 02:

View 02

Digital Photo ID 03:

View 03

Digital Photo ID 04:

View 04

Digital Photo ID 05:

View 05

Digital Photo ID 06:

View 06

Digital Photo ID 07:

View 07

Digital Photo ID 08:

View 08

Digital Photo ID 09:

View 09

Digital Photo ID 10:

View 10

**Program Management**

Recorded by:     SO

Date Recorded:   08/11/2016

Organization:   Brockington

**Statewide Survey of Historic Properties**  
**State Historic Preservation Office**  
**South Carolina Department of Archives and History**  
**8301 Parklane Road**  
**Columbia, SC 29223-4905 (803) 896-6100**

U / 7911.03 Revisit: ☒  
Status Site No.  
Quadrangle Name: Johns Island  
Tax Map No.: 4090900068

***Survey Form***

**Identification**

Historic Name:

Common Name: Camps residence

Address/Location: 5001 FARGO ST

City: North Charleston

Vicinity of ☐

County: Charleston

Ownership: Private

Category: Building

Historical Use: Domestic

Historical Use (if Other):

Current Use: Domestic

Current Use (if Other):

SHPO National Register Determination of Eligibility:

**Property Description**

Construction Date: c. 1955

Construction: masonry

Construction (if Other):

Historic Core Shape: rectangular

Historic Core Shape (if Other):

Exterior Walls:

Exterior Walls (if Other):

Foundation:

Foundation (if Other):

Commercial Form:

Commercial Form (if Other):

Roof Shape: gable, lateral

Roof Shape (if Other):

Roof Materials: composition shingle

Roof Materials (if Other):

Stories: 1 story

Stories (if Other):

Porch Width:

Porch Width (if Other):

Porch Shape:

Porch Shape (if Other):

Description/Significant Features: Square wood supports; 3-part picture window, paired, faux shutters; open shed porte cochere w storage unit off end

Alterations (include date(s), if known) Windows; door

Architect(s)/Builder(s):

**Historical Information**

Historical Information:

Source of Information:

**Digital Photo ID(s):**

Digital Photo ID 01: 07911003  
View 01                      Facing Southwest  
Digital Photo ID 02:  
View 02  
Digital Photo ID 03:  
View 03  
Digital Photo ID 04:  
View 04  
Digital Photo ID 05:  
View 05

Digital Photo ID 06:  
View 06  
Digital Photo ID 07:  
View 07  
Digital Photo ID 08:  
View 08  
Digital Photo ID 09:  
View 09  
Digital Photo ID 10:  
View 10

**Program Management**

Recorded by:     SO  
Date Recorded:   08/11/2016

Organization:   Brockington



**Statewide Survey of Historic Properties**  
**State Historic Preservation Office**  
**South Carolina Department of Archives and History**  
**8301 Parklane Road**  
**Columbia, SC 29223-4905 (803) 896-6100**

U / 7911.04 Revisit: ☒  
Status Site No.  
Quadrangle Name: Johns Island  
Tax Map No.: 4090900184

## Survey Form

### Identification

Historic Name:

Common Name: Camps residence

Address/Location: 3600 W MONTAGUE AVE

City: North Charleston

Vicinity of ☐

County: Charleston

Ownership: Private

Category: Building

Historical Use: Domestic

Historical Use (if Other):

Current Use: Domestic

Current Use (if Other):

SHPO National Register Determination of Eligibility:

### Property Description

Construction Date: c. 1955

Construction: masonry

Construction (if Other):

Historic Core Shape: rectangular

Historic Core Shape (if Other):

Exterior Walls:

Exterior Walls (if Other):

Foundation:

Foundation (if Other):

Commercial Form:

Commercial Form (if Other):

Roof Shape: gable, lateral

Roof Shape (if Other):

Roof Materials: composition shingle

Roof Materials (if Other):

Stories: 1 story

Stories (if Other):

Porch Width:

Porch Width (if Other):

Porch Shape:

Porch Shape (if Other):

Description/Significant Features: Duplex w shared central entry porch w decorative metal supports; open engaged car port on each end; 1/1 DHS windows, some paired, decorative shutters, metal awning; small 1 room 'apartment' outbuilding to rear; Camps neighborhood

Alterations (include date(s), if known) Doors

Architect(s)/Builder(s):

**Historical Information**

Historical Information:

Source of Information:

**Digital Photo ID(s):**

Digital Photo ID 01: 07911004  
View 01                      Facing Northwest  
Digital Photo ID 02:  
View 02  
Digital Photo ID 03:  
View 03  
Digital Photo ID 04:  
View 04  
Digital Photo ID 05:  
View 05

Digital Photo ID 06:  
View 06  
Digital Photo ID 07:  
View 07  
Digital Photo ID 08:  
View 08  
Digital Photo ID 09:  
View 09  
Digital Photo ID 10:  
View 10

**Program Management**

Recorded by:     SO  
Date Recorded:   08/11/2016

Organization:   Brockington

**Statewide Survey of Historic Properties**  
**State Historic Preservation Office**  
**South Carolina Department of Archives and History**  
**8301 Parklane Road**  
**Columbia, SC 29223-4905 (803) 896-6100**

U / 7911.05 Revisit: ☒  
Status Site No.  
Quadrangle Name: Johns Island  
Tax Map No.: 4090900076

**Survey Form**

**Identification**

Historic Name:

Common Name: Camps residence

Address/Location: 3648 W MONTAGUE AVE

City: North Charleston

Vicinity of ☐

County: Charleston

Ownership: Private

Category: Building

Historical Use: Domestic

Historical Use (if Other):

Current Use: Domestic

Current Use (if Other):

SHPO National Register Determination of Eligibility:

**Property Description**

Construction Date: c. 1960

Construction:

Construction (if Other)

Historic Core Shape: rectangular

Historic Core Shape (if Other):

Exterior Walls: stucco

Exterior Walls (if Other):

Foundation:

Foundation (if Other):

Commercial Form:

Commercial Form (if Other):

Roof Shape: hip

Roof Shape (if Other)

Roof Materials: composition shingle

Roof Materials (if Other)

Stories: 1 story

Stories (if Other):

Porch Width:

Porch Width (if Other):

Porch Shape:

Porch Shape (if Other)

Description/Significant Features: Decorative metal support; stuccoed masonry and frame construction; 3-part picture window, 6/6 and 4/4 DHS, some paired, faux shutters

Alterations (include date(s), if known)

Architect(s)/Builder(s):



**Historical Information**

Historical Information:

Source of Information:

**Digital Photo ID(s):**

Digital Photo ID 01: 07911005  
View 01 Facing Northwest  
Digital Photo ID 02:  
View 02  
Digital Photo ID 03:  
View 03  
Digital Photo ID 04:  
View 04  
Digital Photo ID 05:  
View 05

Digital Photo ID 06:  
View 06  
Digital Photo ID 07:  
View 07  
Digital Photo ID 08:  
View 08  
Digital Photo ID 09:  
View 09  
Digital Photo ID 10:  
View 10

**Program Management**

Recorded by: SO  
Date Recorded: 08/11/2016

Organization: Brockington

**Statewide Survey of Historic Properties**  
**State Historic Preservation Office**  
**South Carolina Department of Archives and History**  
**8301 Parklane Road**  
**Columbia, SC 29223-4905 (803) 896-6100**

U / 7911.06 Revisit: ☒  
Status Site No.  
Quadrangle Name: Johns Island  
Tax Map No.: 4090900184

## Survey Form

### Identification

Historic Name:

Common Name: Camps outbuilding

Address/Location: 3600 W Montague Ave

City: North Charleston

Vicinity of ☐

County: Charleston

Ownership: Private

Category: Building

Historical Use: Domestic

Historical Use (if Other):

Current Use: Domestic

Current Use (if Other):

SHPO National Register Determination of Eligibility:

### Property Description

Construction Date: c. 1955

Construction: Masonry

Construction (if Other):

Historic Core Shape: rectangular

Historic Core Shape (if Other):

Exterior Walls: Brick veneer

Exterior Walls (if Other): uncovered concrete block

Foundation: Concrete block

Foundation (if Other):

Commercial Form:

Commercial Form (if Other):

Roof Shape: Uniform pitch

Roof Shape (if Other):

Roof Materials: Composition shingle

Roof Materials (if Other):

Stories: 1 story

Stories (if Other):

Porch Width:

Porch Width (if Other):

Porch Shape:

Porch Shape (if Other):

Description/Significant Features: Small, single pen 'apartment' w 6/6 DHS windows, decorative shutters; wood panel door w fixed light; Camps neighborhood

Alterations (include date(s), if known)

Architect(s)/Builder(s):

**Historical Information**

Historical Information:

Source of Information:

**Digital Photo ID(s):**

Digital Photo ID 01: 07911009  
View 01 Facing Southwest  
Digital Photo ID 02:  
View 02  
Digital Photo ID 03:  
View 03  
Digital Photo ID 04:  
View 04  
Digital Photo ID 05:  
View 05

Digital Photo ID 06:  
View 06  
Digital Photo ID 07:  
View 07  
Digital Photo ID 08:  
View 08  
Digital Photo ID 09:  
View 09  
Digital Photo ID 10:  
View 10

**Program Management**

Recorded by: SO  
Date Recorded: 08/11/2016

Organization: Brockington



**Statewide Survey of Historic Properties**  
**State Historic Preservation Office**  
**South Carolina Department of Archives and History**  
**8301 Parklane Road**  
**Columbia, SC 29223-4905 (803) 896-6100**

U / 7916 Revisit: ☒  
Status Site No.  
Quadrangle Name: Johns Island  
Tax Map No.: Multiple

## Survey Form

### Identification

Historic Name:

Common Name: CMMC mine east of the Ashley River

Address/Location:

City: North Charleston Vicinity of ☐ County: Charleston

Ownership: Multiple Category: Site

Historical Use: Landscape Historical Use (if Other):

Current Use: Landscape Current Use (if Other):

SHPO National Register Determination of Eligibility:

### Property Description

Construction Date: c. 1870-1930

Construction: Construction (if Other)

Historic Core Shape: Historic Core Shape (if Other):

Exterior Walls: Exterior Walls (if Other):

Foundation: Foundation (if Other):

Commercial Form: Commercial Form (if Other):

Roof Shape: Roof Shape (if Other)

Roof Materials: Roof Materials (if Other)

Stories: Stories (if Other):

Porch Width: Porch Width (if Other):

Porch Shape: Porch Shape (if Other)

Description/Significant Features: Remnants of CMMC phosphate mining operation complex E of Ashley River; approx 3,232 acres includes above ground physical remenants of mines, tramlines/roads and archaeological sites including Lamb's Factory, camps and cemeteries

Alterations (include date(s), if known)

Architect(s)/Builder(s):

**Historical Information**

Historical Information:

Source of Information: Wiswall (1919) map of CMMC operation; USGS quadrangles

**Digital Photo ID(s):**

Digital Photo ID 01: 07916001

View 01 Plan

Digital Photo ID 02:

View 02

Digital Photo ID 03:

View 03

Digital Photo ID 04:

View 04

Digital Photo ID 05:

View 05

Digital Photo ID 06:

View 06

Digital Photo ID 07:

View 07

Digital Photo ID 08:

View 08

Digital Photo ID 09:

View 09

Digital Photo ID 10:

View 10

**Program Management**

Recorded by: DB

Date Recorded: 03/07/2019

Organization: Brockington

**Statewide Survey of Historic Properties**  
**State Historic Preservation Office**  
**South Carolina Department of Archives and History**  
**8301 Parklane Road**  
**Columbia, SC 29223-4905 (803) 896-6100**

U / 7916.01 Revisit: ☒  
Status Site No.  
Quadrangle Name: Johns Island  
Tax Map No.: Multiple

## Survey Form

### Identification

Historic Name:

Common Name: hand-excavated mines outside 38CH2468

Address/Location:

City: North Charleston Vicinity of ☐ County: Charleston

Ownership: Multiple Category: Site

Historical Use: Landscape Historical Use (if Other):

Current Use: Landscape Current Use (if Other):

SHPO National Register Determination of Eligibility:

### Property Description

Construction Date: c. 1870-1930

Construction: Construction (if Other)

Historic Core Shape: Historic Core Shape (if Other):

Exterior Walls: Exterior Walls (if Other):

Foundation: Foundation (if Other):

Commercial Form: Commercial Form (if Other):

Roof Shape: Roof Shape (if Other)

Roof Materials: Roof Materials (if Other)

Stories: Stories (if Other):

Porch Width: Porch Width (if Other):

Porch Shape: Porch Shape (if Other)

Description/Significant Features: Covers 945.1 non-contiguous acres across whole mine. Resource 7916.01 represents non-contiguous remnants of hand-excavated phosphate mines worked by the CMMC throughout Resource 7916 but outside the present boundary of 38CH2468.

Alterations (include date(s), if known)

Architect(s)/Builder(s):



**Historical Information**

Historical Information:

Source of Information: Wiswall (1919) map of CMMC operations; USGS quadrangles

**Digital Photo ID(s):**

Digital Photo ID 01: 07916002  
View 01 Facing North

Digital Photo ID 02:  
View 02

Digital Photo ID 03:  
View 03

Digital Photo ID 04:  
View 04

Digital Photo ID 05:  
View 05

Digital Photo ID 06:  
View 06

Digital Photo ID 07:  
View 07

Digital Photo ID 08:  
View 08

Digital Photo ID 09:  
View 09

Digital Photo ID 10:  
View 10

**Program Management**

Recorded by: DB

Date Recorded: 03/07/2019

Organization: Brockington

**Statewide Survey of Historic Properties**  
**State Historic Preservation Office**  
**South Carolina Department of Archives and History**  
**8301 Parklane Road**  
**Columbia, SC 29223-4905 (803) 896-6100**

U / 7916.02 Revisit: ☒  
Status Site No.  
Quadrangle Name: Johns Island  
Tax Map No.: Multiple

## Survey Form

### Identification

Historic Name:

Common Name: mechanically-excavated mines outside 38CH2468

Address/Location:

City: North Charleston Vicinity of ☐ County: Charleston

Ownership: Multiple Category: Site

Historical Use: Landscape Historical Use (if Other):

Current Use: Landscape Current Use (if Other):

SHPO National Register Determination of Eligibility:

### Property Description

Construction Date: c. 1870-1930

Construction: Construction (if Other)

Historic Core Shape: Historic Core Shape (if Other):

Exterior Walls: Exterior Walls (if Other):

Foundation: Foundation (if Other):

Commercial Form: Commercial Form (if Other):

Roof Shape: Roof Shape (if Other)

Roof Materials: Roof Materials (if Other)

Stories: Stories (if Other):

Porch Width: Porch Width (if Other):

Porch Shape: Porch Shape (if Other)

Description/Significant Features: Covers 146.6 non-contiguous acres across whole mine. Resource 7916.02 represents non-contiguous remnants of mechanically-excavated phosphate mines worked by the CMMC throughout Resource 7916 but outside the present boundary of 38CH2468.

Alterations (include date(s), if known)

Architect(s)/Builder(s):

**Historical Information**

Historical Information:

Source of Information: Wiswall (1919) map of CMMC mining operation; USGS quadrangles

**Digital Photo ID(s):**

Digital Photo ID 01: 07916003  
View 01 Facing South

Digital Photo ID 02:  
View 02

Digital Photo ID 03:  
View 03

Digital Photo ID 04:  
View 04

Digital Photo ID 05:  
View 05

Digital Photo ID 06:  
View 06

Digital Photo ID 07:  
View 07

Digital Photo ID 08:  
View 08

Digital Photo ID 09:  
View 09

Digital Photo ID 10:  
View 10

**Program Management**

Recorded by: DB

Date Recorded: 03/07/2019

Organization: Brockington



**Statewide Survey of Historic Properties**  
**State Historic Preservation Office**  
**South Carolina Department of Archives and History**  
**8301 Parklane Road**  
**Columbia, SC 29223-4905 (803) 896-6100**

U / 7916.03 Revisit: ☒  
Status Site No.  
Quadrangle Name: Johns Island  
Tax Map No.: Multiple

## Survey Form

### Identification

Historic Name:

Common Name: tram lines and roads (outside 38CH2468)

Address/Location:

City: North Charleston Vicinity of ☐ County: Charleston

Ownership: Multiple Category: Site

Historical Use: Landscape Historical Use (if Other):

Current Use: Landscape Current Use (if Other):

SHPO National Register Determination of Eligibility:

### Property Description

Construction Date: c. 1870-1930

Construction: Construction (if Other)

Historic Core Shape: Historic Core Shape (if Other):

Exterior Walls: Exterior Walls (if Other):

Foundation: Foundation (if Other):

Commercial Form: Commercial Form (if Other):

Roof Shape: Roof Shape (if Other)

Roof Materials: Roof Materials (if Other)

Stories: Stories (if Other):

Porch Width: Porch Width (if Other):

Porch Shape: Porch Shape (if Other)

Description/Significant Features: Linear features cover approx. 21,900 ft across whole mine. Resoure 7916.03 represents non-contiguous remnants of rail and tram lines and roads excavated by the CMMC throughout 7916 but outside the present boundary of 38CH2468.

Alterations (include date(s), if known)

Architect(s)/Builder(s):

**Historical Information**

Historical Information:

Source of Information: Wiswall (1919) map of CMMC mining operation; USGS quadrangles

**Digital Photo ID(s):**

Digital Photo ID 01: 07916004  
View 01 Facing South

Digital Photo ID 02:  
View 02

Digital Photo ID 03:  
View 03

Digital Photo ID 04:  
View 04

Digital Photo ID 05:  
View 05

Digital Photo ID 06:  
View 06

Digital Photo ID 07:  
View 07

Digital Photo ID 08:  
View 08

Digital Photo ID 09:  
View 09

Digital Photo ID 10:  
View 10

**Program Management**

Recorded by: DB  
Date Recorded: 03/07/2019

Organization: Brockington

**Statewide Survey of Historic Properties**  
**State Historic Preservation Office**  
**South Carolina Department of Archives and History**  
**8301 Parklane Road**  
**Columbia, SC 29223-4905 (803) 896-6100**

U / 7916.04 Revisit: ☒  
Status Site No.  
Quadrangle Name: Johns Island  
Tax Map No.: Multiple

## Survey Form

### Identification

Historic Name:

Common Name: canals, ditches, ponds (outside 38CH2468)

Address/Location:

City: North Charleston Vicinity of ☐ County: Charleston

Ownership: Multiple Category: Site

Historical Use: Landscape Historical Use (if Other):

Current Use: Landscape Current Use (if Other):

SHPO National Register Determination of Eligibility:

### Property Description

Construction Date: c. 1870-1930

Construction: Construction (if Other)

Historic Core Shape: Historic Core Shape (if Other):

Exterior Walls: Exterior Walls (if Other):

Foundation: Foundation (if Other):

Commercial Form: Commercial Form (if Other):

Roof Shape: Roof Shape (if Other)

Roof Materials: Roof Materials (if Other)

Stories: Stories (if Other):

Porch Width: Porch Width (if Other):

Porch Shape: Porch Shape (if Other)

Description/Significant Features: Linear features cover approx. 32,120 ft across whole mine. Resoure 7916.04 represents non-contiguous remnants of canals, ditches, and open dredges excavated by the CMMC throughout 7916 but outside the present boundary of 38CH2468.

Alterations (include date(s), if known)

Architect(s)/Builder(s):



**Historical Information**

Historical Information:

Source of Information: Wiswall (1919) map of CMMC mining operation; USGS quadrangles

**Digital Photo ID(s):**

Digital Photo ID 01: 07916005  
View 01 Facing South

Digital Photo ID 02:  
View 02

Digital Photo ID 03:  
View 03

Digital Photo ID 04:  
View 04

Digital Photo ID 05:  
View 05

Digital Photo ID 06:  
View 06

Digital Photo ID 07:  
View 07

Digital Photo ID 08:  
View 08

Digital Photo ID 09:  
View 09

Digital Photo ID 10:  
View 10

**Program Management**

Recorded by: DB  
Date Recorded: 03/07/2019

Organization: Brockington

**Statewide Survey of Historic Properties**  
**State Historic Preservation Office**  
**South Carolina Department of Archives and History**  
**8301 Parklane Road**  
**Columbia, SC 29223-4905 (803) 896-6100**

U / 7916.05 Revisit: ☒  
Status Site No.  
Quadrangle Name: Johns Island  
Tax Map No.: 4081000001

## Survey Form

### Identification

Historic Name:

Common Name: Cemetery at 5501 Dorchester Road

Address/Location: 5501 Dorchester Road

City: North Charleston

Vicinity of ☐

County: Charleston

Ownership: Multiple

Category: Site

Historical Use: Funeralary

Historical Use (if Other):

Current Use: Funeralary

Current Use (if Other):

SHPO National Register Determination of Eligibility:

### Property Description

Construction Date: 19th-20th c.

Construction:

Construction (if Other)

Historic Core Shape:

Historic Core Shape (if Other):

Exterior Walls:

Exterior Walls (if Other):

Foundation:

Foundation (if Other):

Commercial Form:

Commercial Form (if Other):

Roof Shape:

Roof Shape (if Other)

Roof Materials:

Roof Materials (if Other)

Stories:

Stories (if Other):

Porch Width:

Porch Width (if Other):

Porch Shape:

Porch Shape (if Other)

Description/Significant Features:

Cemetery covers 2.0 acres and measures 500 by 450 feet. Now located under athletic field of W.B. Goodwin Elementary School at 5501 Dorchester Rd. No above-ground elements of cemetery remain.

Alterations (include date(s), if known)

Architect(s)/Builder(s):

**Historical Information**

Historical Information:

Source of Information: Shown as "graveyard" on Wiswall's (1919) map of CMMC mining operation.

**Digital Photo ID(s):**

Digital Photo ID 01: 07916006  
View 01 Facing West

Digital Photo ID 02:  
View 02

Digital Photo ID 03:  
View 03

Digital Photo ID 04:  
View 04

Digital Photo ID 05:  
View 05

Digital Photo ID 06:  
View 06

Digital Photo ID 07:  
View 07

Digital Photo ID 08:  
View 08

Digital Photo ID 09:  
View 09

Digital Photo ID 10:  
View 10

**Program Management**

Recorded by: DB  
Date Recorded: 03/07/2019

Organization: Brockington



**Statewide Survey of Historic Properties**  
**State Historic Preservation Office**  
**South Carolina Department of Archives and History**  
**8301 Parklane Road**  
**Columbia, SC 29223-4905 (803) 896-6100**

U / 7916.06 Revisit: ☒  
Status Site No.  
Quadrangle Name: Johns Island  
Tax Map No.: Multiple

## Survey Form

### Identification

Historic Name:

Common Name: Cemetery at 4959 Centerpointe Drive

Address/Location: 4959 Centerpointe Drive

City: North Charleston Vicinity of ☐ County: Charleston

Ownership: Multiple Category: Site

Historical Use: Funeralary Historical Use (if Other):

Current Use: Funeralary Current Use (if Other):

SHPO National Register Determination of Eligibility:

### Property Description

Construction Date: 19th-20th c.

Construction: Construction (if Other)

Historic Core Shape: Historic Core Shape (if Other):

Exterior Walls: Exterior Walls (if Other):

Foundation: Foundation (if Other):

Commercial Form: Commercial Form (if Other):

Roof Shape: Roof Shape (if Other)

Roof Materials: Roof Materials (if Other)

Stories: Stories (if Other):

Porch Width: Porch Width (if Other):

Porch Shape: Porch Shape (if Other)

Description/Significant Features: Cemetery covers 4.5 acres and measures 460 by 200 feet. Located on former Camps plantation near the former settlement and evident on USGS (1919, 1948, 1958, 1979) Johns Island quadrangles and Wiswall's (1919) CMMC mining map.

Alterations (include date(s), if known) Appears to have been mostly destroyed by development of 4959 Centre Pointe Drive #104 and surrounding parking lots.

Architect(s)/Builder(s):

**Historical Information**

Historical Information:

Source of Information: USGS (1919, 1948, 1958, 1979) Johns Island quadrangles; shown as "graveyard" on Wiswall's (1919) map;  
and evident as wooded area on Google Earth Pro (1994) aerial imagery

**Digital Photo ID(s):**

Digital Photo ID 01: 07916007  
View 01 Facing Southwest  
Digital Photo ID 02:  
View 02  
Digital Photo ID 03:  
View 03  
Digital Photo ID 04:  
View 04  
Digital Photo ID 05:  
View 05

Digital Photo ID 06:  
View 06  
Digital Photo ID 07:  
View 07  
Digital Photo ID 08:  
View 08  
Digital Photo ID 09:  
View 09  
Digital Photo ID 10:  
View 10

**Program Management**

Recorded by: DB  
Date Recorded: 03/07/2019

Organization: Brockington

## **Appendix C**

### Tidewater Atlantic Research Report





Report Entitled:

*Phase I Remote-Sensing Archaeological Survey  
of the I-526 Bridge Alignment  
Charleston County, South Carolina*

Prepared for:

**Brockington and Associates, Inc.  
498 Wando Park Boulevard, Suite 700  
Mt. Pleasant, South Carolina 29464**

Prepared by:

**Tidewater Atlantic Research, Inc.  
P. O. Box 2494  
Washington, North Carolina 27889**

A handwritten signature in black ink, appearing to read "Gordon P. Watts, Jr.", with a horizontal line underneath.

**Gordon P. Watts, Jr.**  
Principal Investigator

14 February 2017

**Abstract**

Brockington and Associates Inc. (Brockington) is working with Stantec and the South Carolina Department of Transportation (SCDOT) on the I-526 Corridor Improvements Project, which may result in the widening of the I-526 bridges over the Ashley River. In order to determine the proposed project's effects on potentially significant submerged cultural resources, Brockington requested an estimate for a systematic magnetic and acoustic survey of a 735-foot wide bank-to-bank corridor based on a centerline between the extant bridge structures. The Phase I remote-sensing survey was designed to locate and identify submerged cultural resources within the project area of potential effect. Analysis of the magnetic data identified one magnetic anomaly in the 735-foot wide Ashley River I 526 Bridge corridor survey area and another cluster of anomalies immediately outside the corridor perimeter. Sonar analysis identified one signature as structural remains that could represent a vessel. That site is recommended for avoidance and a 200-foot buffer is recommended. Sonar identified the other signature as a small object amid a cluster of what appear to be abandoned crab traps. That site appears to be modern debris and is not recommended for avoidance. Based on the findings, Tidewater Atlantic Research (TAR) recommends no additional investigation unless the buffered anomaly and sonar target that represents structural remains cannot be avoided. In that case additional archaeological investigation designed to identify and assess the significance of material is recommended. If avoidance of that site is possible, proposed construction activity will not impact any National Register of Historic Places (NRHP)-eligible submerged cultural resources.

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## **Introduction**

Brockington and Associates Inc. (Brockington) is working with Stantec and the South Carolina Department of Transportation (SCDOT) on the I-526 Corridor Improvements Project, which may result in the widening of the I-526 bridges over the Ashley River. In order to determine the proposed project's effects on potentially significant submerged cultural resources, Brockington contracted with Tidewater Atlantic Research (TAR) of Washington, North Carolina to conduct a systematic magnetic and acoustic survey of a 735-foot wide bank-to-bank corridor based on a centerline between the extant bridge structures. The Phase I remote-sensing survey was designed to locate and identify submerged cultural resources within the project area of potential effect (APE).

The survey was designed to meet the survey criteria of the South Carolina Institute of Archaeology and Anthropology (SCIAA) and comply with the National Historic Preservation Act of 1966, as amended, through 1992 (36 CFR 800, *Protection of Historic Properties*), the Abandoned Shipwreck Act of 1987 (*Abandoned Shipwreck Act Guidelines*, National Park Service, *Federal Register*, Vol. 55, No. 3, December 4, 1990, pages 50116-50145), the National Environmental Policy Act of 1969 (Public Law 11-190), Executive Order 11593, the Advisory Council on Historic Preservation Procedures for the protection of historic and cultural properties (36 CFR Part 800) and the updated guidelines described in 36 CFR 64 and CFR 66. The results of the proposed investigation were designed to furnish Brockington with the remote sensing data essential for complying with submerged cultural resource legislation and regulations. The survey was carried out using a cesium vapor magnetometer, a high-resolution digital sidescan sonar and a digital sub-bottom profiler. An on-board computer controlled vessel positioning and remote-sensing data collection and was georeferenced using a differential global positioning system (DGPS).

Analysis of the magnetic data identified one magnetic anomaly in the 735-foot wide Ashley River I-526 Bridge corridor survey area and another cluster of anomalies immediately outside the corridor perimeter. One anomaly (010-1) lies just outside the northern perimeter of the survey area 385 feet from the centerline of the spans. The other (006-1) lies in the southeastern corner of the survey area 227 feet from the centerline of the spans. Sonar analysis identified 006-1 as structural remains that could represent a vessel. That site is recommended for avoidance and a 100-foot radius buffer is recommended. Sonar identified 010-1 as a small object amid a cluster of what appears to be abandoned crab traps. That site appears to be modern debris and is not recommended for avoidance. Based on the findings, TAR recommends no additional investigation unless buffered anomaly 006-1 and sonar target AR SSS 001 cannot be avoided. In that case, additional archaeological investigation designed to identify and assess the significance of material is recommended.

Remote-sensing activities were carried out during the period from 14 to 15 January 2017. Gordon Watts served as principal investigator, Ralph Wilbanks served as the remote-sensing equipment operator and Steve Howard served as vessel captain. Dr. Watts analyzed the remote-sensing data. This report was prepared by Dr. Watts and Ms. Robin Arnold.

## **Project Location**

The twin spans of I-526 cross the Ashley River on the west perimeter of North Charleston, South Carolina at the southern end of Cowhead Reach (Figure 1).

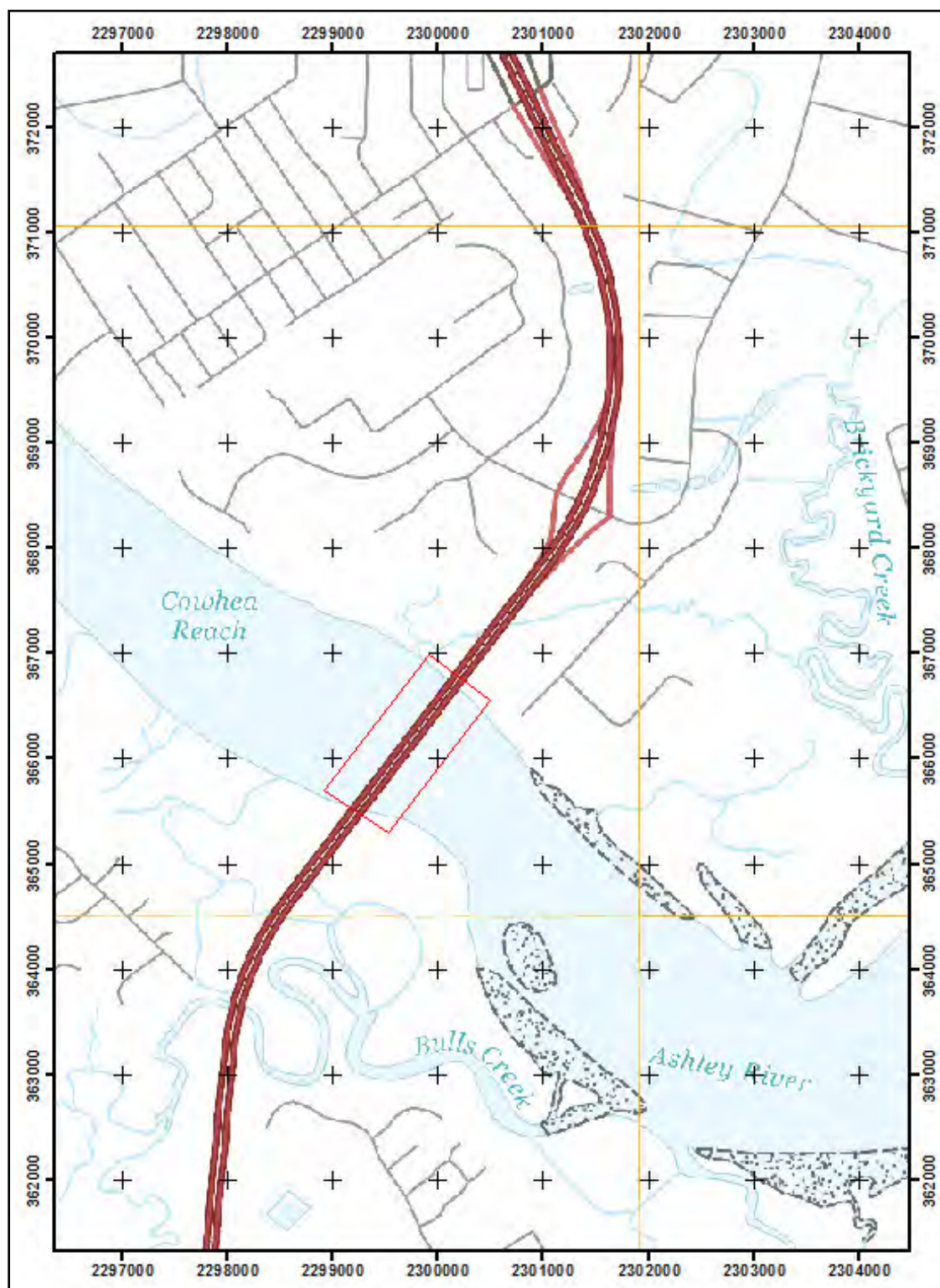
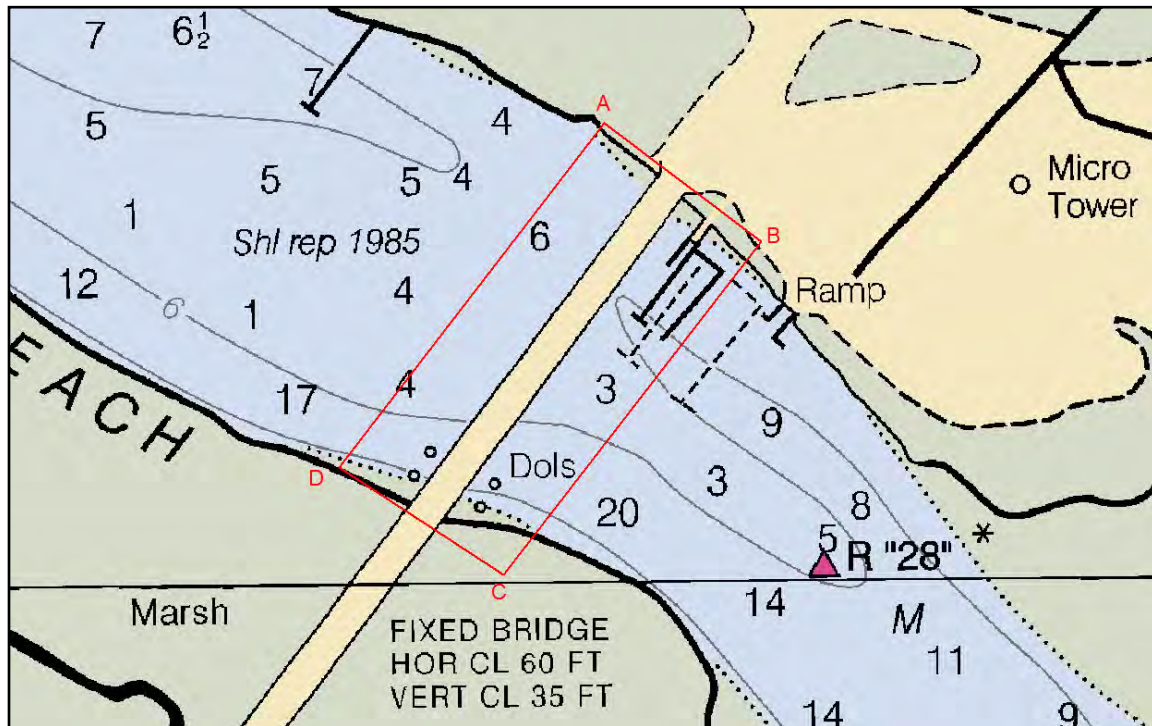


Figure 1. Extract of South Carolina quad map showing survey location.

The survey area border is a maximum of 1,600 feet long, 735 feet wide, and covers an area of 27 acres (Figure 2).



**Figure 2. Border points for the Ashley River I-526 bridge survey.**

Coordinates for the survey area in South Carolina State Plane, NAD 1983, U.S. Survey foot coordinates are:

<b>Border Point</b>	<b>X Coordinate</b>	<b>Y Coordinate</b>
A	2299910.49	366994.81
B	2300499.38	366553.24
C	2299532.81	365300.53
D	2298913.32	365706.03

## **Research Methodology**

### **Historical Research**

TAR personnel conducted literature searches of primary and secondary sources to assess the potential for finding significant historic and/or cultural resources within the Charleston area. Current research was designed to refine a background history of the development of the Charleston County region. Research focused on historical activities that include exploration, colonization, development, agriculture, industry, trade, shipbuilding, commerce, warfare, transportation and fishing that would have been contributing factors in the loss of vessels or presence of other submerged cultural resources in the vicinity of the proposed bridge widening alignment. Brockington carried out more specific research associated with the I-526 project corridor and bridge location, as previously mentioned.



Preliminary wreck-specific information was collected from such sources that include: *The Encyclopedia of American Shipwrecks* (Berman 1972); *Merchant Steam Vessels of the United States 1790 - 1868* (Lytle and Holdcamper 1975); *Disasters to American Vessels, Sail and Steam, 1841-1846* (Lockhead 1954); *Shipwrecks of the Civil War: The Encyclopedia of Union and Confederate Naval Losses* (Shomette 1973); *Shipwrecks in the Americas* (Marx 1983); *Shipwreck Encyclopedia of South Carolina and Georgia* (Spence 1984) and other published materials. Additional information was generated by a survey of select South Carolina newspapers. Historical maps and charts on file at TAR copied from the collections of The National Archives Cartographic Branch in College Park, Maryland; the South Carolina Department of Archives and History, South Caroliniana Library and the U.S. Army Corps of Engineers, Charleston District (USACE-C) were reviewed.

An examination of SCIAA site files and the database Archsite was conducted by Brockington archaeologist Josh Fletcher. Ms. Arnold and Dr. Watts discussed the project survey methodology and relevant shipwreck sites in the area with State Underwater Archaeologist James D. Spirek during a visit to Columbia on 7 November 2016.

### **Remote Sensing Survey**

To reliably identify submerged cultural resources in the APE where construction activities might disturb the environment, TAR conducted a systematic remote-sensing survey using a 25-foot survey vessel (Figure 3). In order to fulfill the survey requirements of SCIAA, TAR employed both magnetic and acoustic remote sensing. A combination of cesium vapor magnetometer, high-resolution sidescan sonar and multi-frequency sub-bottom profiler represents the state of the art in submerged cultural resource location technology. Data generated by those instruments provides the most reliable and cost effective method of locating and identifying potentially significant anomalies. Remote-sensing data collection was controlled using a computer controlled DGPS. The DGPS produces highly accurate coordinates necessary to support a sophisticated navigation program and to assure reliable target location.



**Figure 3. Ashley River I-526 survey project vessel.**

## **Magnetic Remote Sensing**

An EG&G GEOMETRICS G-882 marine cesium magnetometer, capable of plus or minus 0.001 gamma resolution, was employed to collect magnetic data in the survey area (Figure 4). To produce the most comprehensive magnetic record, data was collected at 10 samples per second. Due to shoal water within the project area, the magnetometer sensor was towed just below the water surface at a speed of approximately four knots. Magnetic data were recorded as a data file associated with the computer navigation system. Data from the survey were contour plotted using QUICKSURF computer software to facilitate anomaly location and definition of target signature characteristics. All magnetic data were correlated with the acoustic remote-sensing records.

## **Acoustic Remote Sensing**

A 450/900 kHz KLEIN 3900 digital sidescan sonar interfaced with CHESAPEAKE TECHNOLOGY SONARWIZ.MAP data acquisition software was employed to collect acoustic data in the survey area (Figure 5). Due to shoal water within the project area, the sidescan sonar transducer was deployed and maintained approximately five feet below the water surface. Acoustic data were collected using a range scale of 50 meters to provide a combination of more than 200% coverage and high target signature definition. Acoustic data were recorded as a digital file with SONARPRO software and tied to the magnetic and positioning data by the computer navigation system.

Acoustic sub-bottom data was collected using an EDGETECH 3100P Portable sub-bottom profiler with an SB-216S tow vehicle (Figure 6). The SB-216S provides three frequency spectrums between 2 and 15kHz with a pulse length of 20 msec. Penetration in coarse and calcareous sand is factory rated at 6 meters with 2 to 10cm of vertical resolution. During the survey the sub-bottom transducer was deployed and maintained 4 feet below the water surface. To facilitate target identification, sub-bottom sonar records were electronically tied to DGPS coordinates. Sub-bottom data was recorded as a digital file using EDGETECH's Discover software and DGPS provided record positioning.

## **Positioning System**

A Trimble DGPS systems was used to control navigation and data collection by computers on the survey vessel's helm (Figure 7). That system has an accuracy of plus or minus three feet, and can be used to generate highly accurate coordinates for the computer navigation system. The DGPS was employed in conjunction with on-board laptop computers loaded with HYPACK navigation and data collection software program. All magnetic and acoustic records were tied to positioning events generated by HYPACK. Positioning data generated by the navigation system were tied to magnetometer records by regular annotations to facilitate target location and anomaly analysis. All data is correlated to South Carolina State Plane Coordinate, NAD 83, US Survey foot coordinates.

All remote-sensing survey data was collected on lines established in HYPACK navigation software. Planned survey lines were spaced at 20 meters. However, bridge pilings and shallow water and dock structures extending into the river along the north shoreline dictated that data collection survey lines had to be adapted to that environment (Figure 8).



**Figure 4. Launching the Geometrics G-882 marine cesium vapor magnetometer.**





**Figure 5. Rigging the Klein 3900 sidescan sonar.**

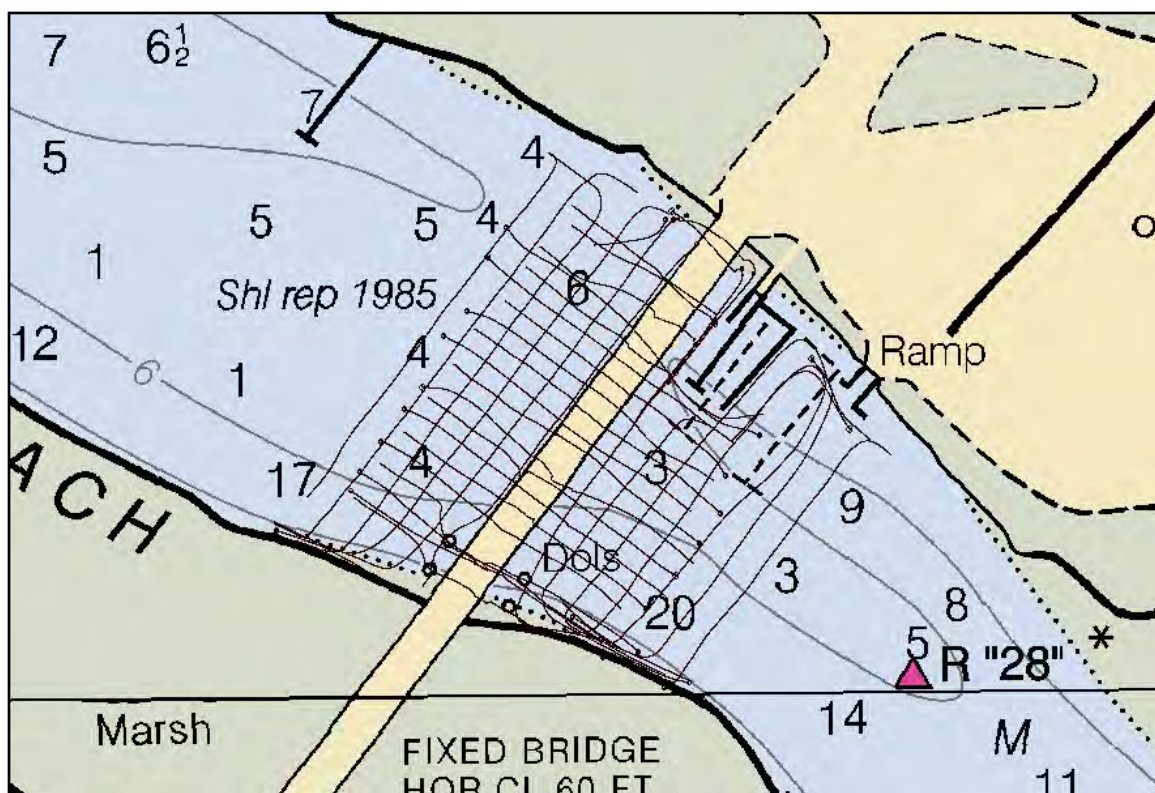




**Figure 6. Rigging the EdgeTech sub-bottom profiler SB-216S tow vehicle.**



**Figure 7. Navigation computers located on survey vessel bridge.**



**Figure 8. Survey vessel track lines.**

### **Data Analysis**

To ensure reliable target identification and assessment, analysis of the magnetic and acoustic data was carried out as it was generated. Using QUICKSURF contouring software, magnetic data generated during the survey were contour plotted at 10-gamma intervals for analysis and accurate location of magnetic anomalies. The magnetic data was examined for anomalies that were isolated and analyzed in accordance with intensity, duration, areal extent and signature characteristics. Sonar records were analyzed to identify targets on the basis of configuration, areal extent, target intensity and contrast with background, elevation and shadow image, and were also reviewed for possible association with identified magnetic anomalies.

Data generated by the remote-sensing equipment were developed to support an assessment of each magnetic and acoustic signature. Analysis of each target signature included consideration of magnetic and sonar signature characteristics previously demonstrated to be reliable indicators of historically significant submerged cultural resources. Assessment of each target includes avoidance options and possible adjustments to avoid potential cultural resources. Where avoidance is not possible the assessment will include recommendations for additional investigation to determine the exact nature of the cultural material generating the signature and its potential National Register of Historic Places (NRHP) significance. Historical evidence was developed into a background context to identify shipwreck sites that could represent possible correlations with magnetic targets. A magnetic contour map of the survey area was produced to aid in the analysis of each target.

## Regional Historical Overview

Coastal South Carolina was first explored by Europeans during the late sixteenth century. That region was part of the vast Atlantic coastal territory claimed by Spain and extended from Port Royal, South Carolina southward to St. Augustine, Florida. Initial exploration of the coast was a result of slaving expeditions in 1514 and 1521. Positive reports of the bountiful sea islands led to the first attempt to colonize South Carolina. In 1526, Lucas Vásques de Ayllón departed Santo Domingo with 500 settlers aboard six ships. Entering a river, which the Spanish named Gualdape, the colonists settled on a low sandy stretch of land. Though there has been much debate on the location of this colony, some theories place it at Punta de Santa Elena, modern Port Royal (Rowland, Moore and Rogers 1996:18).

The colony was well organized; a municipal government was set up, and a number of private and public buildings were erected. The settlers even constructed a shallow draft vessel to explore the surrounding coastal waters. Sicknes, which claimed the life of Ayllón, and mutiny, however, would cause the abandonment of the settlement in less than a year. A second Spanish attempt to colonize the Santa Elena region in 1561 also ended in failure when a hurricane wrecked three of Angel de Villefañe's four ships while the Spaniard explored the surrounding coastline.

By 1562, a French expedition led by Jean Ribault explored the South Carolina area to establish a colony in the New World for the French Crown. Ribault selected the spacious harbor at Port Royal and immediately began construction of a fort, named Charlesfort, to reinforce France's claims to the region. The fort was described as being "160 feet long by 130 feet...[and] enclosed a house of wood and earth covered with straw with a moat ... with four bastions" (Rowland, Moore and Rogers 1996:23, 25). After Ribault's return was delayed by civil war in France, the Charlesfort garrison mutinied and returned to France in a small vessel they constructed (DePratter 2004).

In 1565, the French attempted to establish another settlement along the southern coast, this time on the St. Johns River. To protect Spanish interest in Florida, King Philip II dispatched Pedro Menéndez de Avilés to eliminate the French and establish a base in northern Florida. After expelling the French and establishing St. Augustine in Florida, Menéndez set up an outpost in the vicinity of Parris Island in early 1566 to frustrate any further intrusion into Spanish territory. Port Royal Sound provided ships a final deep, protected harbor before the long Atlantic crossing to Spain. After the garrison of Fort San Salvador was reinforced during the summer a larger fortification with six guns, named Fort San Felipe, was constructed and the settlement of Santa Elena established (DePratter 2004).

Menéndez began to bring Spanish settlers to Santa Elena in 1568 and within a year a community of almost 200 farmers and artisans made the area their home. Although Menéndez made Santa Elena his capital, the settlement suffered from a lack of supplies and protection. While the colonists adapted quickly to raising crops and livestock, supplies were not sufficient to support the colony and dependence on the local Indians for assistance led to a deterioration of relations. After Menendez died in 1574, Don Diego de Velasco took over as Governor. His management of the colony left the settlers dissatisfied and his treatment of the Indians provoked several attacks. During those attacks, Governor Pedro Menéndez (the younger) and several officials were ambushed and killed while traveling the inland waterway between St. Augustine and Santa Elena (Rowland, Moore and Rogers 1996:38). When Hernando de Miranda ordered Santa Elena abandoned in the summer of 1576, Indians burned the village and destroyed the fort (DePratter 2004).

The importance of Santa Elena to Royal policy in the New World and additional French incursions into the area, amplified by the loss of the French corsair *Le Prince* on the shoals at Port Royal in 1577, led to reoccupation of the settlement that same year. An expedition, under the command of Pedro

Menéndez Márqués, re-established the colony, building a new fort on higher, more defensible ground. The fort, San Marcos, was rectangular with a moat on three sides and a small creek on the fourth (Rowland, Moore and Rogers 1996:40). Bastions equipped with cannons were erected in the center of the west wall and on the northeast and southeast corners. To ensure the success of the colony the Spanish had to reassert control over the Native Americans. When peaceful overtures failed the Spanish resorted to force. Aggressive attacks on several villages eventually subdued all Native resistance and peaceful relations gradually developed between the Spanish and the Natives.

This settlement was more successful than all previous attempts. The colony was well administered and by 1580, the colony had grown to over 400 individuals and more than 60 houses (DePratter 2004; Rowland, Moore and Rogers. 1996:43). The re-introduction of cattle to the island and a successful crop of corn finally made Santa Elena self-sufficient. Prospects for the colony expanded when several settlers petitioned the government for land grants beyond the protection of the fort. Despite these signs of growth, the days of the colony were numbered.

Word of an English attempt to establish a colony on Roanoke Island and attacks on Spanish settlements in the Caribbean by Sir Francis Drake created alarm in Florida. Efforts were made to reinforce both Santa Elena and St. Augustine. Although Drake did not attack Santa Elena, he destroyed St. Augustine in June 1586. That prompted the Spanish to abandon Santa Elena and withdraw to rebuild their settlement at St. Augustine (DePratter 2004). Under protests from its inhabitants, the colony was abandoned for the final time in 1587. Almost a century would pass before Europeans returned to South Carolina. The establishment of Charles Towne on the west bank of the Ashley River in 1670 marked the beginning of English settlement in South Carolina. Due to the vulnerability of the Ashley River site, the colonists eventually relocated the settlement to Oyster Point, located at the confluence of the Ashley and Cooper Rivers (Waring 1970:22-24).

The new site was easily defended by land and sea while the harbor and access to the interior through an extensive network of rivers and streams made it an excellent site from a commercial standpoint (Zierden, Calhoun and Paysinger 1982:2-15; Sellers 2012:5). This location was nearly ideal for the development of a commercial port and in 1680 one observer wrote that the situation of the town was 'so convenient for public Commerce that it rather seems to be the design of some skillful artist than the accidental position of nature' (Mathews 1954:153-159 in: Beard 1997:61).

By the early eighteenth century, the plantation system was well established in South Carolina. The lowcountry along the sea coast consisted of sand, pine barrens and swamps where rice and indigo were intensively cultivated by slaves on plantations ranging in size from 3,000 to 40,000 acres. Rice, which was ideally suited to the area's low-lying swamplands, and to a lesser degree indigo, naval stores and deerskins quickly became South Carolina's most important exports (Orvin 1961; Sellers 2012:6-7, 150).

The increasing rate of agricultural production was mirrored by the expansion of shipping in Charleston. In the 1730s, Charleston evolved from a frontier settlement into a major commercial center and port. During this decade, Charleston merchants loaded 220 ships annually for Europe. In comparison, 196 ships left New York in 1732 and 173 sailed from Philadelphia in 1733 (Sellers 2012:11). These numbers increased steadily in the years prior to the outbreak of the American Revolution and in 1755, approximately 300 ships of various types and sizes entered the port of Charleston. By 1765, that number increased to 450 and remained relatively constant through 1770. In that year Lieutenant Governor Bull wrote to the Earl of Hillsborough that Carolina's commerce kept "equal pace with its agriculture, that its trade extended to all parts of the world consistent with the navigation acts, and that now near 500 sails of vessels" were employed in the export of produce and import supplies and manufactured goods (Sellers 2012:11-12).



Because the navigable waters of the Ashley and Cooper Rivers extend so far inland, some coastal traders, and even ocean vessels, traveled well into the heart of the plantation country. Approximately five or six miles above the town of Dorchester, Bacon's Bridge represented the "head of sloop navigation" on the Ashley River (Ruffin 1843:10). The Cooper River provided even greater inland access, as its navigable headwaters, near Biggin's Creek, were some 40 miles from Charleston (Ruffin 1843:11). In 1751, Governor Glenn commented that "Cooper river appears sometimes a kind of floating market, and we have Numbers of Canoes, Boats, and Pettygues that Ply incessently [sic], Bringing down the Country Produce to Town, and returning with such necessarys as are wanted by the Planters" (James Glenn quoted in: American Historical Association 1901:269).

Vessels employed in the Charleston trade represented three classes: inland, coastal and ocean-going. Interior trade was carried out by inland boats of a few tons burden. These vessels included canoes, periaugers and flats. The largest of the inland boats had trunk masts that had to be folded when passing beneath bridges. They provided the colonists with an effective form of communication and transportation. Products from plantations in the maritime parts of the province were transported to market in vessels with standing masts, decked to protect the produce from the weather. These "decked periaugers" were essentially coasters, with some of them as much as 50 tons burden. Similar vessels, some as much as 70 tons burden, carried on the coastal trade (Rogers 1969:3-5; Sellers 2012:63-64).

Sloops and schooners probably comprised the largest portion of coasting vessels. These were single and double masted respectively, and designed to operate in a variety of environments. Due to the shallow inlets and rivers of the lowcountry, shipbuilders produced shallow draft sloops and schooners. A vessel's carrying capacity and sailing qualities in variable operating conditions were critical features to the planters. Much of the rice and indigo cultivated on the plantations was transported to Charleston in schooners. An example of plantation schooner usage is provided by eighteenth century merchant Henry Laurens, owner of two plantations. Laurens employed two schooners. One schooner, the *Baker*, operated from Laurens' Mepkin plantation on the Cooper, while the other, the *Wambaw*, served his Wambaw plantation on the Santee River (Harris, Moss and Naylor 1993).

Ocean-going vessels, usually employed in the European trade, ranged from 200 to 500 tons, although the latter was considered a very large ship. These vessels included ships, snows, brigantines and larger schooners and sloops. Most of those vessels transported from 1,000 to 1,200 barrels of rice, or 250 to 300 tons. Bostonian Josiah Quincy (1875:70) visited Charleston during the height of the 1773 shipping season and noted that the "number of shipping far surpasses all I had seen in Boston. I was told there was not so many as common at this season, though about three hundred and fifty sail lay off the town."

During the fall of 1775, the Provincial Congress, fearful that the British might attempt an assault on Charleston, ordered a blockade of the main channels to the harbor. In addition, the South Carolina Navy was created and by early 1776 the schooner *Defence*, the brig *Comet* and the ship *Prosper* had been converted and armed to patrol the waters around Charleston (USND 1968, III:133, 177, 623, 1310). In that year, a British naval force under General Sir Henry Clinton and Sir Peter Parker arrived off Charleston.

In spite of the impressive nature of the British fleet, efforts to capture the city failed primarily due to the complexities of navigating in the shallow inlets and skillful American defense of the fortifications on Sullivan's Island. In December 1779, Continental forces received reports that the British were preparing another offensive against Charleston. American efforts to strengthen the existing fortifications on Sullivan's Island, Haddrells Point and James Island, and to construct a line of trenches, batteries and oyster shell and mortar redoubts linking the swamps and rivers to the east and west of the peninsula were justified on 14 February 1780, when a British fleet moved into the North Edisto River and landed 6,000 troops at what is now Seabrook Island, approximately 20 miles from Charleston.

In early March, Fort Johnson, on the northeast end of James Island, fell to the British leaving them in command of the southern approach to Charleston Harbor and the west bank of the Ashley River (Weir 1983:331-332; Fraser 1976:119-121). General Lincoln, the American commander, realized that his ground troops, four armed frigates and some barges in Charleston Harbor were no match for the combined British forces threatening Charleston. In an attempt to hinder the British naval attack, he ordered 11 vessels, including the frigates, scuttled near the mouth of the Cooper River. A boom was then strung between the exposed masts of the sunken vessels in order to obstruct the channel.

In spite of this effort, British warships crossed the bar into the harbor on 20 March and by 3 April, British troops had moved across the Ashley and established a two-mile-long line of trenches and redoubts connecting the Ashley and Cooper Rivers (Middleton Family Papers). By 14 April, the British completed their encirclement of Charleston. After a period of artillery bombardment and a series of infantry assaults, Charleston surrendered on 11 May 1780. Charleston remained under British control for the next two years.

During the war a number of vessels were lost or abandoned in Charleston Harbor. In 1775, four hulks were scuttled in Hog Island Channel and in 1780, 11 more were scuttled in the mouth of the Cooper River. In addition to the scuttled vessels, two British warships were lost. The first, H.M.S. *Actaeon* grounded off Fort Moultrie in July 1776, and could not be refloated. Five years later, the HMS *Thetis* was lost as the British abandoned Charleston. During the British occupation, the vessel *Friendship* grounded on the Middle Ground and broke up in 1780, and the privateer *Lord North* and the vessel *Jamaica* sank inside the harbor in 1781.

Charleston recovered quickly from the war and the two-year British occupation. Much of this recovery can be attributed to the introduction of cotton as a major cash crop. The invention of the cotton gin in 1793 enabled planters to develop large scale cotton production, both on the coast and in the piedmont. Consequently, an increasing number of planters devoted their land to cotton. Between 1 October 1799 and 30 September 1800, South Carolina exported more than 6,000,000 pounds of cotton, an increase of approximately 6,000 percent over the same period a decade earlier (Petit, v. I, 1976:170).

Efficient water transportation was the cornerstone of Charleston's rapidly expanding position as an agricultural center and port. During the nineteenth century, as in the eighteenth, there was an abundance of boat and vessel types in Charleston and the surrounding area. One example of a specialized type was a vessel known as a "cotton boxe" or "box boat." Planters used these to carry bulky cotton cargoes down river. These vessels, some as large as 60 feet long and 25 feet wide, were cheaply constructed and designed for one-way trips down river. Typically, upon reaching their destination, they were broken up and the lumber sold (Fleetwood 1982:87). Charleston's burgeoning maritime activities were temporarily interrupted by war with Great Britain in 1812. By the fall of 1812 an intensified British blockade began to stifle trade in the port. From that time, until the end of the war, the British maintained at least one warship off Charleston at all times. British vessels also entered the inlets and river mouths looting plantations, capturing vessels and completely disrupting coastwise trade (Wallace 1951:368-369). To defend Charleston, the United States Navy utilized the brig *Vixen* and several small gunboats (Dudley 1985:60, 101-102). In addition, privateers occasionally slipped out to prey on British shipping in the West Indies. Although privateering was effective in capturing or destroying West Indian shipping, it had little effect on the blockade. The city's economy and maritime traffic suffered until the Treaty of Ghent in December 1814.

An 1819 economic depression effectively ended Charleston's commercial expansion (Greb 1978:18, 27). Although the economy stabilized following the depression, the city entered into a lengthy economic decline. Rice and cotton declined as export commodities between 1815 and 1860, and

Charleston steadily lost its commercial strength to New York and the emerging Gulf ports, particularly New Orleans. Another factor in Charleston's economic slump was cotton production in the American southwest. As more cotton was produced elsewhere, Charleston diminished in relative importance. South Carolina's cotton production began to show signs of weakening as early as 1812. In that year South Carolina's production, approximately 50 million pounds, totaled only 28 percent of the American total of 177 million pounds (Smith 1958:7). Throughout the 1820s, Charleston's domestic and foreign commerce declined. In 1815, Charleston owned 15,619 registered and 10,578 enrolled tons. By 1829, the aggregate tonnage dropped to less than 7,000 tons, a decrease of 75 percent (Hutchins 1941:243).

Charleston's residents, acutely aware of mounting economic problems, made several attempts to improve regional transportation systems and regain economic momentum. In 1829, construction began on a railroad from Charleston to the Savannah River. The Charleston and Hamburg Railroad was completed in 1833. Although there was a slight increase in Charleston's inland trade during the 1830s, it appears that the railroad did not contribute significantly (Smith 1958:160).

In order to regain direct trade with foreign ports, a deeper harbor was required. By the 1840s, the harbor and approach channels needed at least a 16 to 17-foot depth in order to accommodate vessels engaged in foreign trade. In 1851, the city, in cooperation with the U.S. Army Corps of Engineers, attempted to deepen the harbor. Although moderate success was achieved, the secession crisis and war halted the project (Moore 1981:15-19).

By the middle of the nineteenth century, Charleston had developed into a banking and manufacturing center, which provided liquid assets necessary to stimulate trade. Successful banks were chartered in the 1830s. Manufacturing was even more successful. In 1850, the city ranked third in the South behind Richmond and New Orleans (Lander 1960:330-351). During the 1850s, trade in Charleston began to grow once more (Eaton 1961:241). The combined value of the port's imports and exports increased from \$13,381,585 in 1850 to \$22,764,907 in 1860, an increase of more than 71 percent (Van Deusen 1928).

Charleston was a focal point of the social, economic and political pressures that erupted into civil war following secession. On 20 December 1860, the Convention of the People of South Carolina issued the statement that, "The Union now subsisting between South Carolina and other States, under the name of the 'United States of America' is hereby dissolved." On 15 April 1861, newly organized Confederate forces under the command of P.G.T. Beauregard attacked the U.S. garrison at Fort Sumter and shelled the fortification into surrender. President Abraham Lincoln promptly declared that a state of open rebellion existed and called for volunteers to preserve the Union. Lincoln also issued a proclamation on 19 April 1861 that confirmed a blockade of southern ports.

President Lincoln's proclamation calling for a blockade of the Confederacy was viewed as a "paper blockade," because the Federal government did not possess sufficient vessels to carry out such a blockade. The arrival off the coast of South Carolina of the frigate *Niagara* on 11 May did nothing to halt the passage of blockade runners through Charleston Harbor (*Charleston Courier* 13 May 1861). However, the attack and seizure of Port Royal late that year, which gave Union forces possession of one of the best small harbors on the east coast, left no doubt that war was indeed underway. The capture of Port Royal gave Union naval forces a port where blockading vessels could be supplied, repaired and fueled. It also gave Union naval forces control of the coast from above Georgetown, South Carolina, to New Smyrna, Florida, with the exception of Charleston (Hayes 1961:365).

The arrival of additional blockading vessels off the Charleston bar did little to effectively close the harbor. However, in December 1861, 16 vessels loaded with granite and designated as the "Stone Fleet"

arrived off Charleston. The vessels, mostly old whaling ships, were sunk in a checkerboard fashion across the mouth of the main channel leading to Charleston in an effort to increase the effectiveness of the blockade. An editorial in the *New York Herald* stated, "Charleston, so far as any commerce is concerned except that in small coastwise vessels, may be considered 'up country'" (U.S. Navy Department [USND] 1971, I:39). The next day the *Charleston Mercury* carried an article that read in part, "On the occurrence of the first heavy northeaster, after the sinking of the wrecks, the force of the wind, the heave of the sea and the action of quick-sands, will according to all previous experiences dissipate the Yankee obstruction" (*Charleston Mercury* 21 December 1861).

In spite of the questionable effectiveness of the blockade more than a dozen vessels were destroyed attempting to run into or out of Charleston during the war. Many, like the *Flora*, *Flamingo* and *Presto*, were fast steamers purchased or constructed to run the blockade. By 1863, Charleston had become the South's major blockade running port. Private companies used it while the Confederate government concentrated its blockade running activities at Wilmington. Between 1 January and 30 June 1863, some 40 steamers entered the harbor and another 32 cleared, taking with them more than 29,000 bales of cotton (Wise 1983:223, 254-257). Charleston so dominated early blockade running that the American consul wrote from Liverpool that its capture would be regarded "as the deathblow to the rebellion, and do more than discourage those who are aiding them with supplies and money than any other thing."

Following the defeat of Union troops in the Battle of Secessionville, General Beauregard was assigned to command the Department of South Carolina and Georgia. He assumed this command in September 1862 and immediately began the task of strengthening Charleston's defenses. Modifications were made in both Forts Sumter and Moultrie and additional heavy guns were requested to facilitate control of the harbor. The Confederate Navy also contributed to the city's defenses. Two ironclads, the *Chicora* and *Palmetto State*, were built in Charleston and joined the city's defense in October 1862. This naval force was bolstered with the addition of the ironclads *Columbia* and *Charleston* in early 1864 (Still 1988:79-87, 91, 112). By 1863, the port had an impressive network of defenses including forts, minefields and warships.

On 30 January 1863, the *Palmetto State* and *Chicora* crossed the bar and attacked the Union blockaders. After a confusing night engagement in which two Union warships surrendered, but were not taken, the Confederate vessels steamed back under the protection of the city's fortifications. Although the blockade was not "raised," Flag Officer Francis DuPont, in command of the South Atlantic Blockading Squadron, urged that reinforcements be sent (DuPont 1969:416). DuPont was ordered to attack the city after receiving reinforcements which included a powerful force of ironclads.

DuPont's fleet arrived off the Charleston bar on 5 April 1863. Two days later, in line of battle, the fleet steamed slowly toward the harbor. As the entire channel was carefully buoyed so that the gunners on Fort Sumter, Morris Island and Sullivans Island would know the exact range of the attacking vessel, the Federal fleet came under a barrage of heavy and extremely accurate fire. Nearly all of the attacking Union vessels were damaged and many were disabled during the action. The double-turreted ironclad U.S.S. *Keokuk* steamed within 900 yards of Fort Sumter where its guns were incapacitated and the hull and turrets riddled. The vessel was able to move away but sank the next morning off Morris Island (USONWR XIV:23).

The Confederate victory was short lived. DuPont's warships quickly returned, and blockade running declined. From July until September 1863, only four vessels entered and cleared Charleston, and from September until March 1864, no runners steamed in or out (Wise 1983:257-258). Wilmington replaced Charleston as the center of Confederate blockade running. Nevertheless, up to the war's end, blockade runners occasionally slipped in or out of the harbor.



In July 1863, Federal forces launched an assault designed to gain control of Morris Island. The assault was supported by Federal vessels. Faced with overwhelming fire power, the Confederate forces on the island were forced to withdraw. Realizing that control of Morris Island alone would not provide access to Charleston, General Gillmore, commander of Federal forces on the island, ordered the construction of several batteries that would house his heaviest artillery for battering down the walls of Fort Sumter (Gillmore 1865:passim)..

In anticipation of a bombardment, Beauregard ordered the casements and other areas of Fort Sumter be filled in with wet sand and bales of cotton soaked in salt water. A new sallyport and wharf were constructed west of the city side of the fort (Johnson 1890:180-189). Union forces, with the support of the monitors *Passaic* and *Patapsco* began shelling Fort Sumter on 17 August 1863. Upon inspecting Fort Sumter after the first day's shelling, the fort's commanding officer found that seven guns were disabled and the masonry had been damaged extensively (USND 1971:III-133).

The next several days progressed in the same manner, with damage to Fort Sumter becoming more and more apparent. During the lull in fighting that followed an abortive attempt by Federal forces to storm Forts Sumter and Wagner, efforts were made to strengthen the harbor defenses. Early in October, the Confederate torpedo boat *David*, under the cover of darkness, left Charleston Harbor and rammed its spar torpedo into the side of the Federal vessel *New Ironsides*. This effort nearly swamped the *David* and did not inflict serious damage on the Federal ship. For months, the daily bombardment of Fort Sumter and Charleston continued. The constant shelling, coupled with damage from the fires that broke out almost daily, caused the Northern press to state that "block by block of that city is being reduced to ashes" (Burton 1970:257-259). In addition, the blockade of Charleston had steadily tightened.

In an effort to inflict damage on the Federal fleet, Confederate commanders decided to employ the submarine *Hunley*. Late in December 1863, the *Hunley* had been ordered to the vicinity of Charleston Harbor. On the night of 17 February 1864, the vessel moved through the channel of Breach Inlet toward the open sea and the Federal blockading vessel *Housatonic*. The *Hunley* rammed its spar torpedo into the vessel, blowing away the after part of the ship and caused it to sink immediately in 27 feet of water. The *Hunley* did not return to its station and was assumed lost as a result of the action against the *Housatonic* (USND 1971:IV-21).

During the attacks on the city, Federal picket boats and at times monitors were sent in to test the obstructions in Charleston Harbor. The monitor *Patapsco* struck a mine while searching for obstructions the night of 15 January 1865, and sank in less than a minute. The vessel went down approximately 800 yards off Fort Sumter with only the top of the stack showing above water (Dahlgren 1882:492).

On 10 February, Federal troops again landed on James Island, aided by the heavy fire of the monitors *Lehigh* and *Wissahickon*. In mid-February, 18 Federal vessels were sighted off the Charleston bar, 13 of which moved to Bulls Bay to attempt troop landings. The Federal batteries on Morris Island increased their rate of fire on the city, and on 14 February, General Beauregard made the decision to evacuate the city. The evacuation took place on the nights of 17-18 February with troops coming in from the outlying positions as well as from Fort Sumter. The ironclads guarding the harbor were destroyed by retreating Confederate forces to prevent them from falling into Union hands. Upon his entrance into the city, General Gillmore, of the Union Army, noted, "The city itself is little better than a deserted ruin" (USDW XLIV:473-521).

For Charleston, the Civil War was economically disastrous. Before economic prosperity could return the city had to be rebuilt. Although commercial vessels entered the port almost immediately after the war's conclusion, normal oceanic trade could not resume until the sunken warships and obstructions

were removed from the channels. This would not begin until more than five years after the war ended, when Colonel Quincy A. Gillmore, who ironically played a major role in the Union bombardment of Charleston, was appointed supervising engineer for river and harbor improvements in the Cape Fear to St. Augustine area. An engineer office was established in Charleston in 1871. As Professor Jamie Moore (1981:109) wrote in his history of the Charleston District of the Corps of Engineers, "the devastation of the Civil War made a partnership with the Federal government an absolute necessity for Charleston."

Colonel Gillmore was convinced that the city could become a thriving port again. He was also convinced that extensive harbor improvements would play a major role in achieving that economic revival. His opportunity came in 1877 when southern and midwestern members of Congress aligned together to obtain federal funds for river and harbor improvements (Moore 1981:32-33). Gillmore developed a plan for dredging and maintaining a 21-foot channel in Charleston Harbor. His plan included using jetties to help natural scouring create the required depth.

Gillmore anticipated that once the desired depth had been achieved, the power of the ebb tide would maintain it (Moore 1981:33-35). Gillmore's plan was put into effect between 1878 and 1895. Although a channel depth of only of 17 1/2 feet was achieved, it was considered a success. Moore (1981:39) wrote, "Charleston at last had a modern harbor, one which could admit the largest vessels afloat. Physically at least, the city was in a position to regain commercial prominence" (See also *Annual Report of the Chief of Engineers* 1879:731-738 for Gillmore's plan; and annual reports until 1896 for progress reports).

The port had not been dormant during these years. Although it would not reach its pre-war level and prosperity for many years, Charleston's commerce nevertheless recovered rapidly. In 1870, there were two lines of steamers to New York, one each to Baltimore, Philadelphia and Liverpool and steamboat connections with Savannah, Beaufort and Georgetown (Simkins 1966:282). In 1870, exports totaled \$10,772,071 and imports \$505,609, less than half the 1860 total. Charleston's export trade did not recover its pre-war level until the mid-1870s. Whereas, the import trade remained stagnant until the twentieth century (Moore 1981:157).

By 1880, the city's population had reached 50,000, nearly doubling that of thirty years before. During that period, Charleston's ocean-borne trade continued to climb, averaging more than \$20.1 million in exports by 1883. The city's wharves could handle more than 200 ships of all sizes. Cotton, rice and phosphate were the principle exports. Despite these improvements, Charleston still had not recovered entirely from the effects of the Civil War. It had been a manufacturing center in the 1850s, but industry in the city nearly disappeared during the war years. The city did not re-develop a substantial industrial base until the twentieth century.

Ports depend upon an inland transportation system. During the first decade after the Civil War, railroad mileage in the United States more than doubled. Charleston's rail link with Savannah had been destroyed during the war and was not operational again until 1870. More importantly, the expansion of railroads connecting interior towns with the coast seriously affected Charleston's economic future. Railroads would determine trade routes and urban growth. Because of railroad expansion, Norfolk had surpassed both Charleston and Savannah, and was third behind New Orleans and Galveston in cotton exports by the mid-1870s (Brownell and Goldfield 1977:95-96). Also, more and more cotton products moved out of the South by rail. By 1892, Charleston was receiving only 5.67 percent of the nation's cotton crop for export, less than half its 1870 volume. The city's export trade for the 1900 to 1909 period was less than a fourth of the value of the 1885 to 1894 trade (Moore 1981:169).

Although the Corps of Engineers worked to create a modern harbor in Charleston, the city's trade continued to decline. The U.S. Navy's decision to locate a naval base at Charleston provided the city with an economic boost and further justification for large expenditures for harbor improvements. Although the Union had used the harbor at Port Royal, it was not until 1889 that a Navy commission recommended that a new Navy base be built at Port Royal. This facility would serve the central-southern portion of the United States. A wooden dry dock, which was to act as the cornerstone of the new facilities, was begun in 1891, but was never satisfactorily completed.

Furthermore, the decision to switch from wooden to stone dry docks was made shortly thereafter and rendered this structure obsolete. In 1899, Major Adger Smyth and South Carolina Senator Benjamin Ryan Tillman initiated a campaign to move the Navy Yard to Charleston. The following year a board of Navy officers under the auspices of the Navy Secretary decided that the Naval Station should be moved to Chicora Park, Charleston (Moore 1981:58-60; Simkins 1966:365-367, 524-527).

To attract the Navy Yard, the City of Charleston arranged for the purchase of land from Chicora Park to Shipyard Creek. On 12 August 1901, the Navy assumed possession of that property. In March 1907, the Navy constructed a 583-foot by 97-foot stone dry dock at the Charleston shipyard. During the First World War the U.S. Navy built eight wooden hulled submarine chasers, a gunboat and partially completed a destroyer at the Charleston Navy Yard. At its peak, the yard employed 5,600 people.

Despite a lull in the yard's post World War I activities, an influx of post-Depression monies allowed the U.S. Navy to develop the yard into a first class facility by the beginning of World War II. Between the wars, the navy constructed a new dry dock and a second shipyard. During the post-World War II era, the shipyard became a submarine overhaul yard, as well as a nuclear shipyard in 1956 (McNeil 1985:146). Beginning in 1948, the Navy utilized the Charleston Navy Yard for submarine overhauls and surface ship repairs. In addition, naval yard expansion facilitated the development of the North Charleston area.

The port's tonnage varied between six and eight hundred thousand tons during the pre-World War I years. The value of this trade, however, declined from over \$100 million in 1910, to less than half that amount in 1914 (Wallace 1951:652). During the 1920s, commerce averaged slightly under 2.5 million tons. The Great Depression affected Charleston as it did other ports throughout the country and between 1931 and 1941 the port lost 16 percent of its tonnage.

World War II ended this decline, and Charleston, with its large naval base and shipping facilities, boomed economically during the war. As in World War I, the government built massive water transportation centers. Moreover, in 1947, the government transferred these facilities to the city, which, consequently, conveyed them to the State Ports Authority (Pender and Wilder 1974:6). As a port, Charleston prospered during the post-World War II years. By 1949, the city's shipping averaged 5,000,000 tons and Charleston once again became one of the most important southeastern seaports (Sass 1956).

## **Data Analysis and Assessment**

Line-by-line analysis and contouring of the magnetic data from the area surveyed identified two anomalies (Figure 9; Appendix A). Anomaly 006-1 is associated with structural remains on the bottom surface in the southeastern extremity of the survey area (Figure 10). Because of the signature characteristics and associated sonar image, that site is recommended for avoidance and a 200-foot diameter buffer has been established.

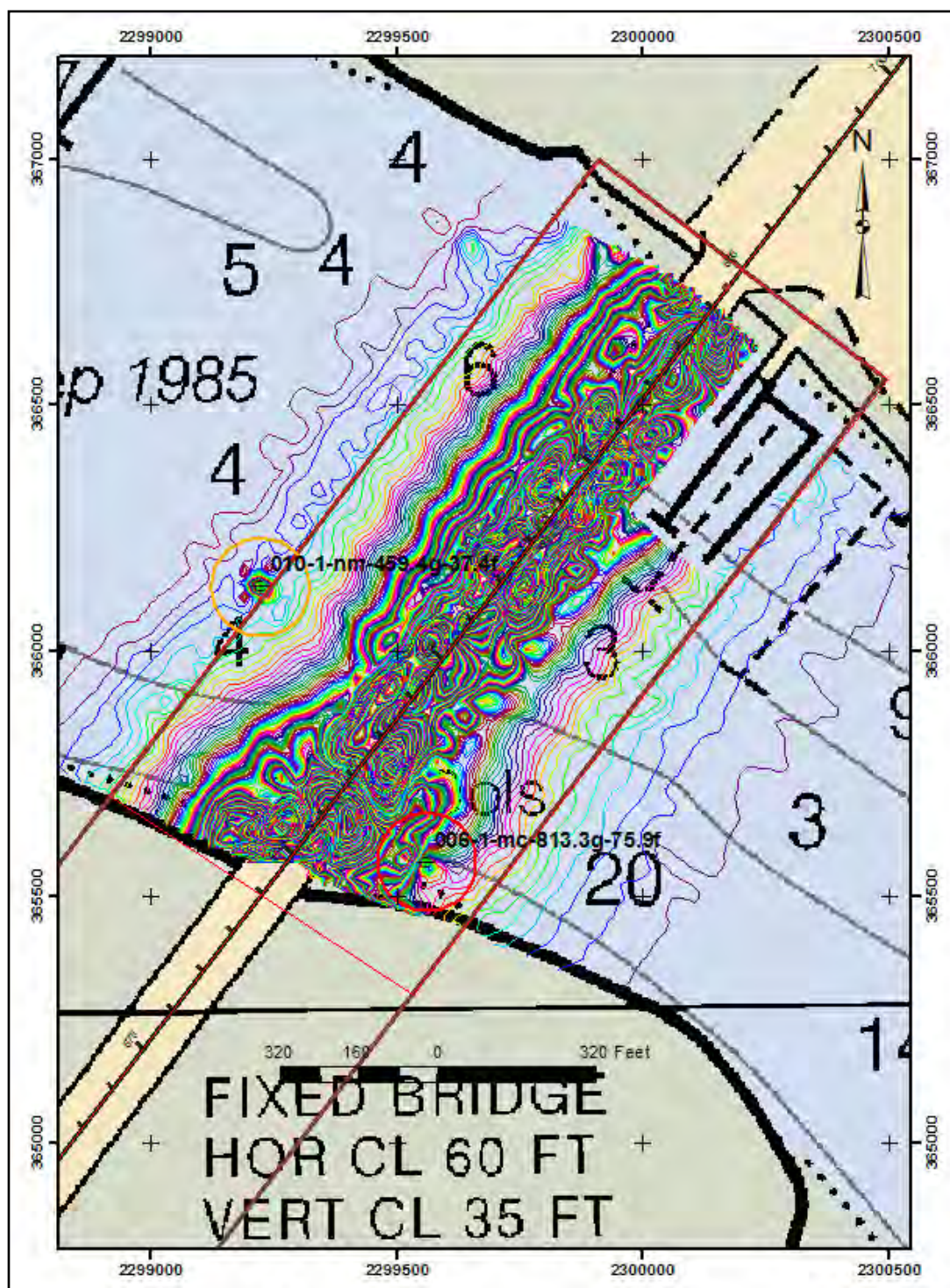
Coordinates for the center point of the buffer recommended for Anomaly 006-1 are, X coordinate 2299561.02, and Y coordinate 365570.49. NAD 83 UTM metric coordinates for the center point of that buffer are: N3687274.960, E534430.877. The perimeter of that buffer is 75 feet from the east bridge as it is represented on the NOAA chart.

Anomaly 010-1 is a high intensity very short duration signature located just outside the western perimeter of the survey area and associated with several smaller signatures (Figure 11). Coordinates for the center point of the 200-foot diameter circle identifying the 010-1 cluster site are, X coordinate 2299223.52 and Y coordinate 366129.87. NAD 83 UTM metric coordinates for the center point of that buffer are: N3687458.454, E534514.626. The perimeter of that buffer is 200 feet from the west bridge as it is represented on the NOAA chart.

A sonar image of a small surface target corresponds to the location of the magnetic anomaly in association with several targets that appear to be crab traps. Both the magnetic anomalies and the sonar targets indicate that material generating the signatures is modern debris. That site is not recommended for avoidance.

Analysis and mosaicing of the sonar data identified two targets in the survey area not associated with the bridges or dock structures (Figure 12; Appendix B). Both are associated with magnetic anomalies. Sonar image AR SSS 001 associated with Anomaly 006-1 clearly represents structural components on the bottom surface (Figure 13). That target and the associated anomaly are recommended for avoidance and are buffered.





**Figure 9. Survey area showing magnetic contours and anomalies.**



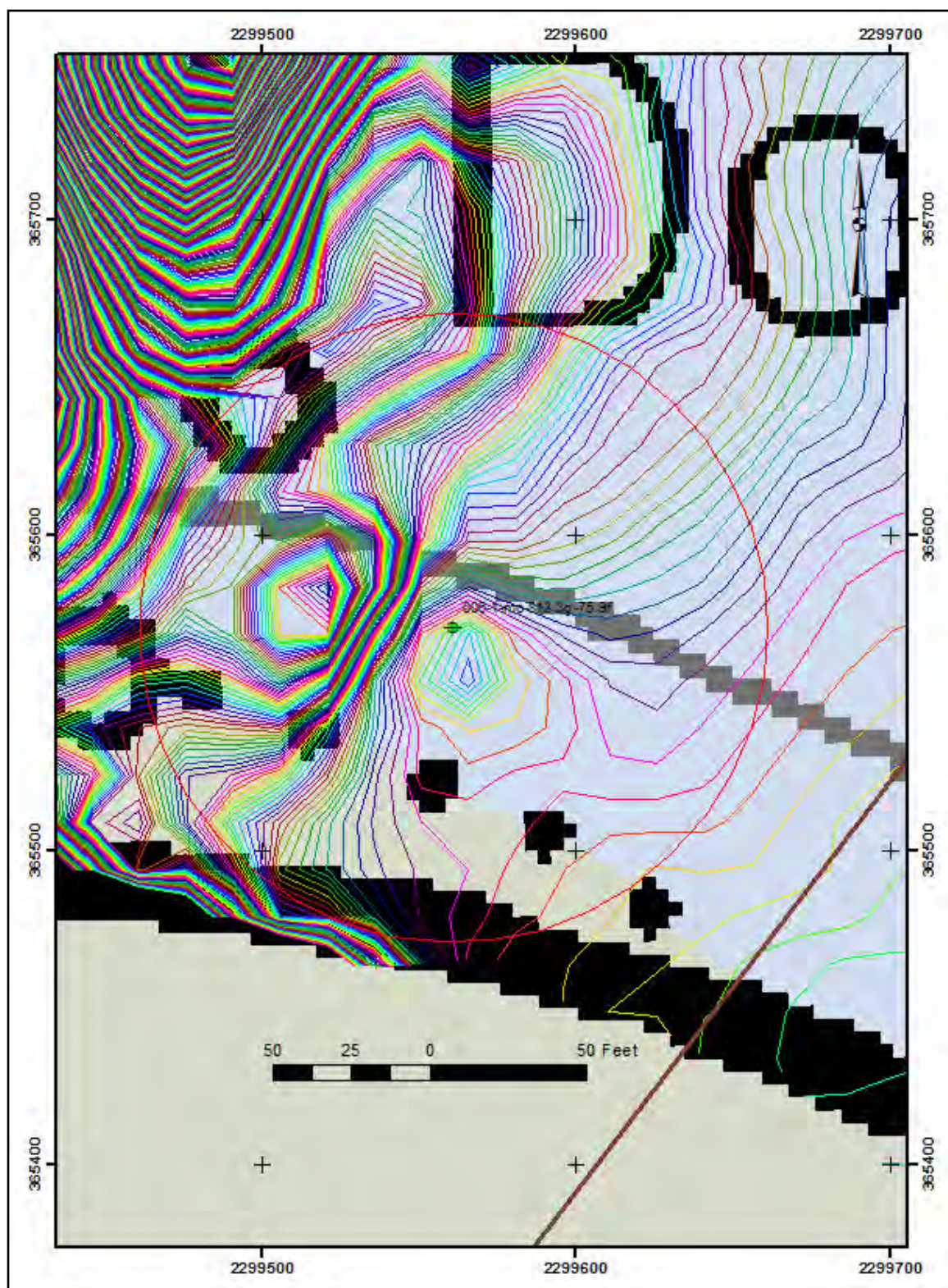


Figure 10. Anomaly 006-1 contours.



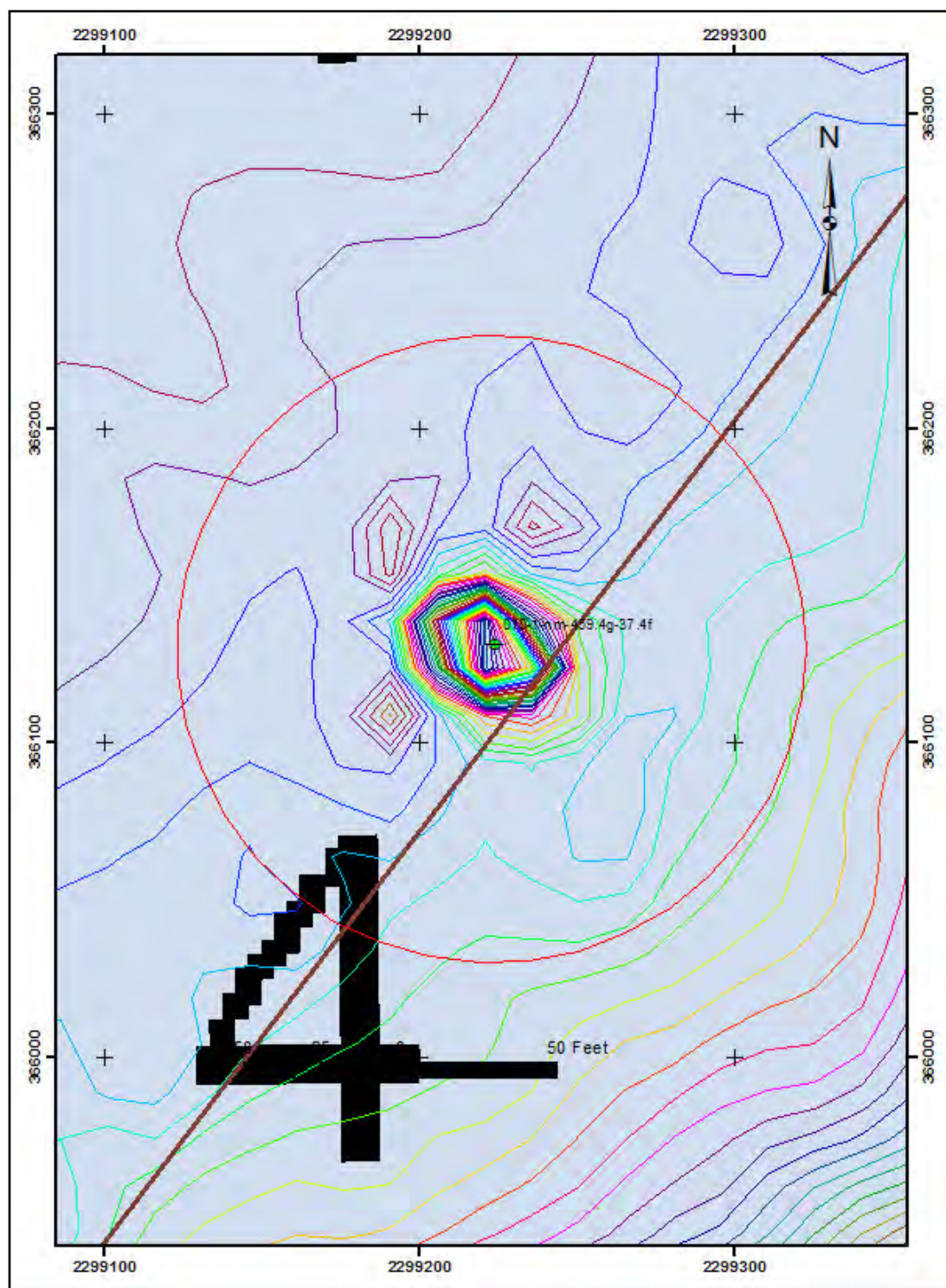


Figure 11. Anomaly 010-1 contours.

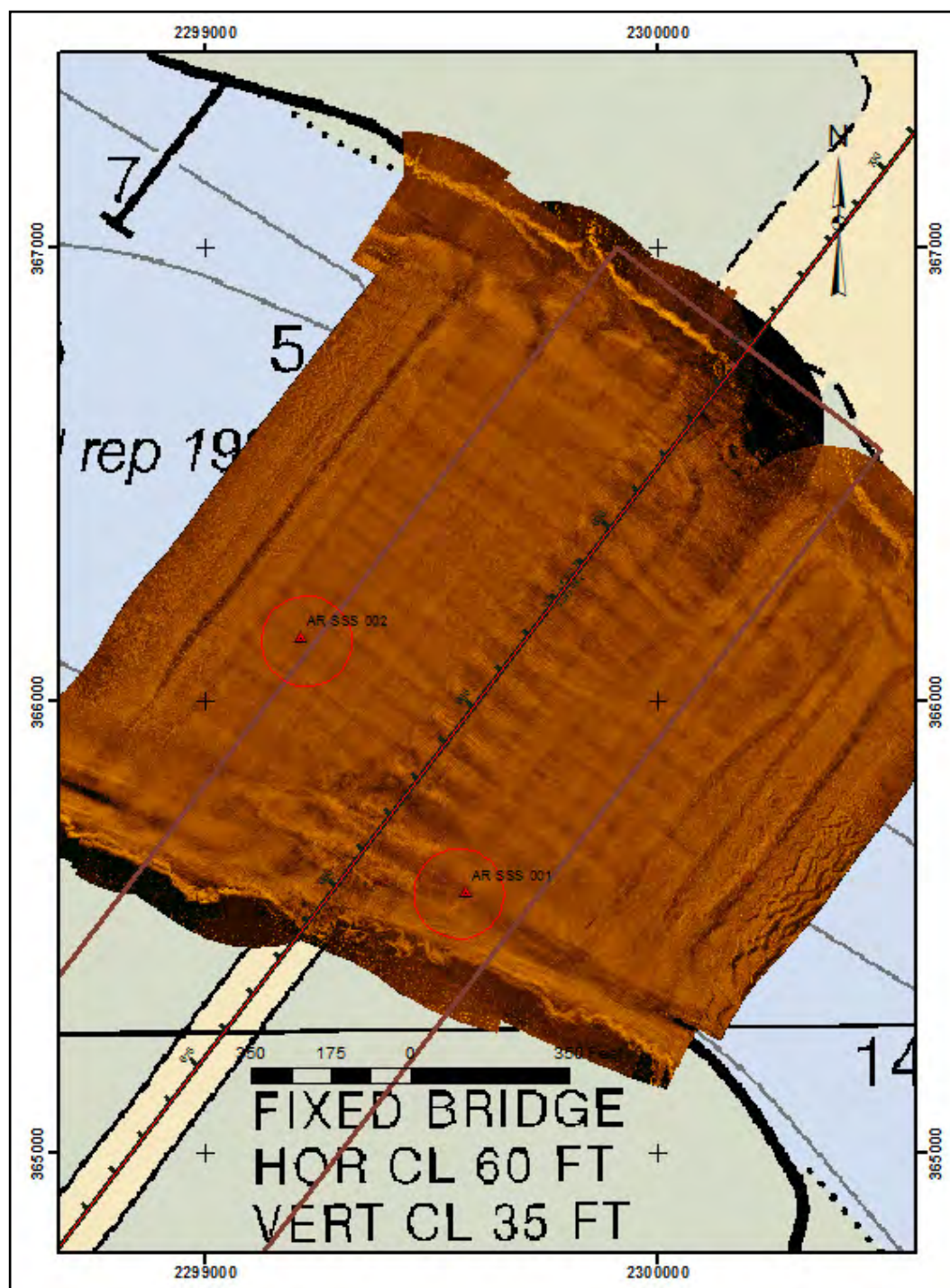


Figure 12. Sonar data coverage mosaic and targets.

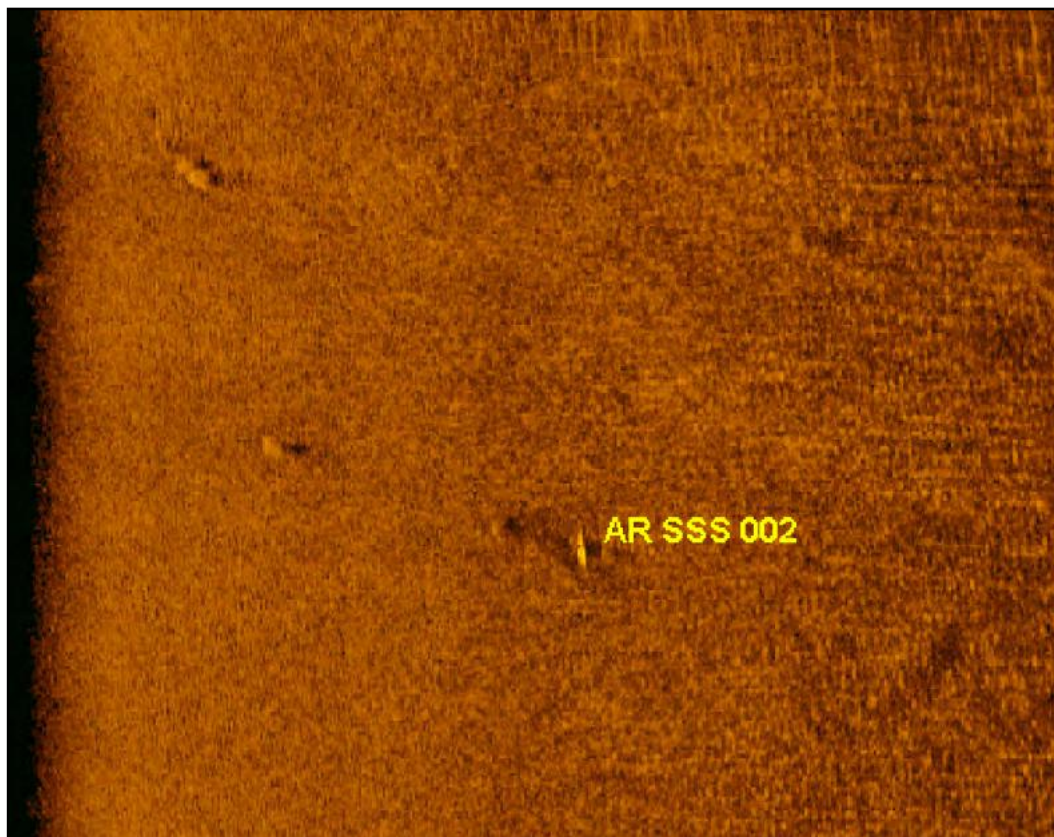




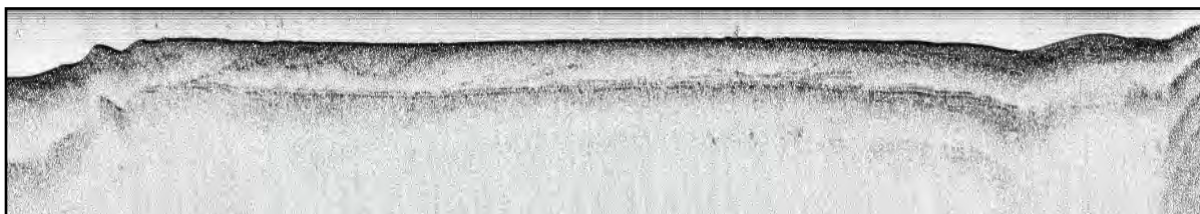
**Figure 13. Sonar image AR SSS 001 associated with magnetic signature 006-1.**

Sonar image AR SSS 002 associated with Anomaly 010-1 clearly represents a scatter of objects on the bottom surface (Figure 14). Those targets and the associated anomalies appear to be a combination of crab traps and one small object with a much higher ferrous density. As the scatter appears to be modern debris the site is not recommended for avoidance.

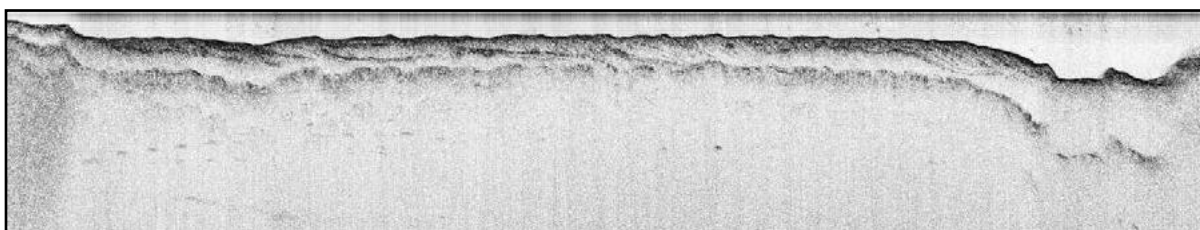
Analysis of seismic data generated by the sub-bottom profiler confirmed good records of stratification in the survey area. Examples of a crossing above (Figure 15) and below (Figure 16) the Ashley River I-526 Bridge are illustrated. The sub-bottom profiler data contained no additional insight into material generating the magnetic signatures at either 006-1 or 010-1. Additionally, no sub-bottom features were identified in the records that appear to be associated with either historic or prehistoric cultural resources.



**Figure 14. Sonar image AR SSS 002 associated with magnetic signature 010-1.**



**Figure 15. Sub-bottom profiler data representing a crossing of the Ashley River above the I-526 bridge (west to east).**



**Figure 16. Sub-bottom profiler data representing a crossing of the Ashley River below the I-526 bridge (east to west).**



## Conclusions and Recommendations

A survey of historical and archaeological literature and background research confirmed evidence of sustained maritime activity associated with the coast of South Carolina in the vicinity of Charleston. Documented navigation along the coastal waters off Charleston and on the neighboring waterways date from the first quarter of the sixteenth century. The region became a focus of settlement as early as 1670 and development generated a flourishing maritime commerce. During the more than 300 years since the first English settlers arrived at Charlestown, the inshore and Atlantic waters have been navigated by a broad spectrum of vessel types associated with exploration, colonization, trade, transportation, fishing and military activity. Thus the inshore and coastal waters around Charleston must be considered to be a high priority area for submerged cultural resources.

The project area on the Ashley River is the site of an early ferry service. The "Ashley Ferry" is identified on the Mills Atlas Charleston District map (Figure 17). That map was based on a survey carried out by 1820 and the map was published in 1825 (Mills 1979). Ashley Ferry was mentioned in conjunction with the marriage of Shem Butler's widow around 1766 (Smith 1988:131). James Cook's "A Map of the Province of South Carolina" published in 1773 contains his "F" symbol for a ferry at the site identified by Mills (Figure 18; Cumming 1962).

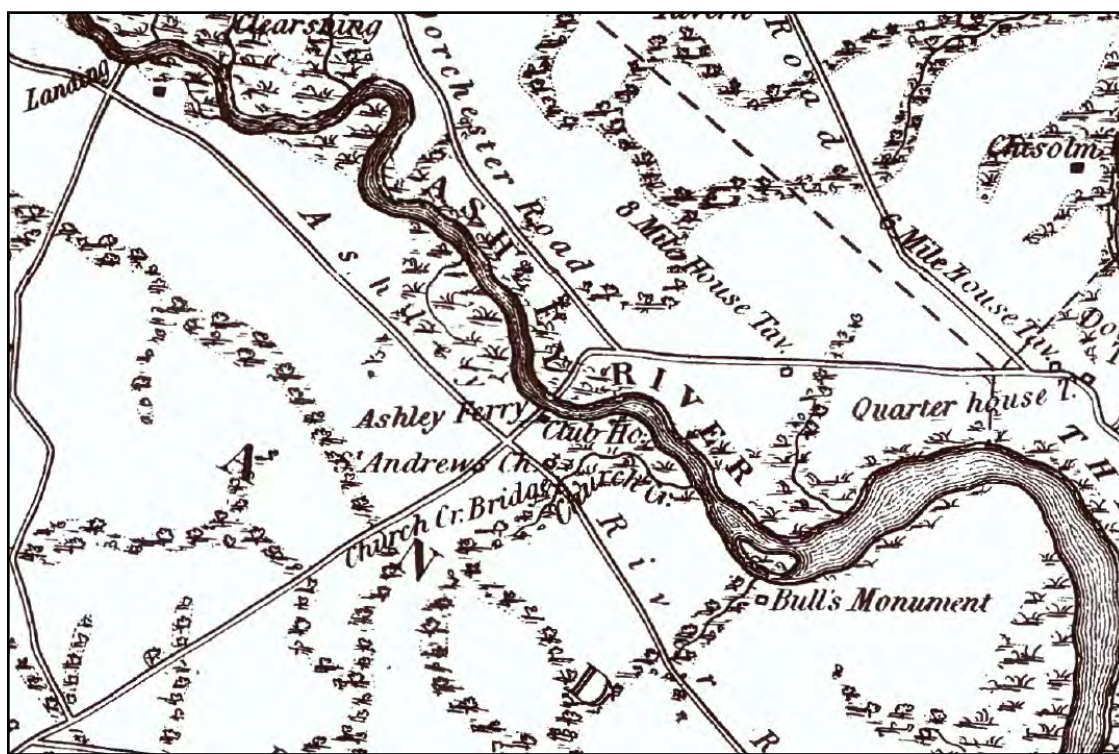


Figure 17. Extract of Mills (1979) map of Charleston District showing Ashley Ferry.





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### Appendix A: Ashley I-526 Bridge Magnetic Anomaly Table

Anomaly	Coordinates		Line #	Anomaly #	Signature	Gammas	Duration	Assessment
	X	Y						
006-1-mc-813.3g-75.9f	2299556.41	365570.27	6	1	Multicomponent	813.3g	75.9f	Cluster of Modern Debris
010-1-nm-459.4g-37.4f	2299219.78	366130.73	10	1	Negative Monopolar	459.4g	37.4f	Possibly Vessel Structure

### Appendix B: Ashley I-526 Bridge Sonar Target Table

Target	X Coordinate	Y Coordinate	Assessment
AR SSS 001	2299570.54	365574.18	Potentially Significant Structure
AR SSS 002	2299205.45	366138.16	Scatter of Modern Debris



# **Appendix P.3**

## **Cultural Resources Survey**

### **Addendum**

March 2019

# **Cultural Resources Survey of the I-526 Lowcountry Corridor West Project Charleston County, South Carolina**

## **Addendum Report**

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Brockington and Associates, Inc.

March 2019

## **1.0 Introduction**

### **1.1 Introduction**

In August 2018, investigators from Brockington and Associates, Inc. (Brockington), conducted a cultural resources survey along I-526 in North Charleston, Charleston County (CC), South Carolina. Recent design changes in the I-526 Improvements Project resulted in changes to the original archaeological and architectural survey universes investigated by Baluha et al. (2019a, 2019b). The summary of these additional cultural resources investigations is produced in this addendum report to the *Cultural Resources Survey of the I-526 Lowcountry Corridor West Project* Draft Report (Baluha et al. 2019a). Baluha et al.'s (2019a) previous survey did not include the section of I-526 in North Charleston between the west bank of the Cooper River and the North Rhett Avenue interchange. The current project description and summary of the cultural resources investigations are presented below.

### **1.2 Area of Potential Effect**

The Area of Potential Effect (APE) is equivalent to the archaeological and architectural survey universes combined. The archaeological survey universe covers 130 hectares (322 acres) and is equal to the project footprint provided by South Carolina Department of Transportation (SCDOT) planners to Brockington. The architectural survey universe extends 91 meters (m) outside the archaeological survey universe and covers approximately 181 hectares (448 acres). The project extends between the work documented by Baluha et al. (2019a) to the west and Baluha et al. (2019b) to the east, or 2.33 kilometers (km) from the west bank of the Cooper River. The APE includes the North Rhett and Virginia Avenue interchanges. Figure 1.1 shows the location of the current investigations. Figure 1.2 presents the location of the current investigations, cultural resources, and previous investigations within 0.5 mile of the project.

### **1.3 Project Setting**

The APE extends 2.33 km west from the west bank of the Cooper River terminating just past the North Rhett Avenue interchange in northeastern North Charleston, South Carolina. A CSX Railroad spur extends through the APE. The Filbin Creek estuary drains east through the APE into the Cooper River. This area is heavily developed, including industrialized areas along Virginia Avenue near the Cooper River and mixed-use commercial and residential areas north and south of Filbin Creek. Figure 1.3 presents views of the APE.

### **1.4 Project Summary**

Cultural resources survey of the APE included background research, archaeological survey, and architectural survey. No archaeological resources have been identified in the archaeological survey universe. Previ-



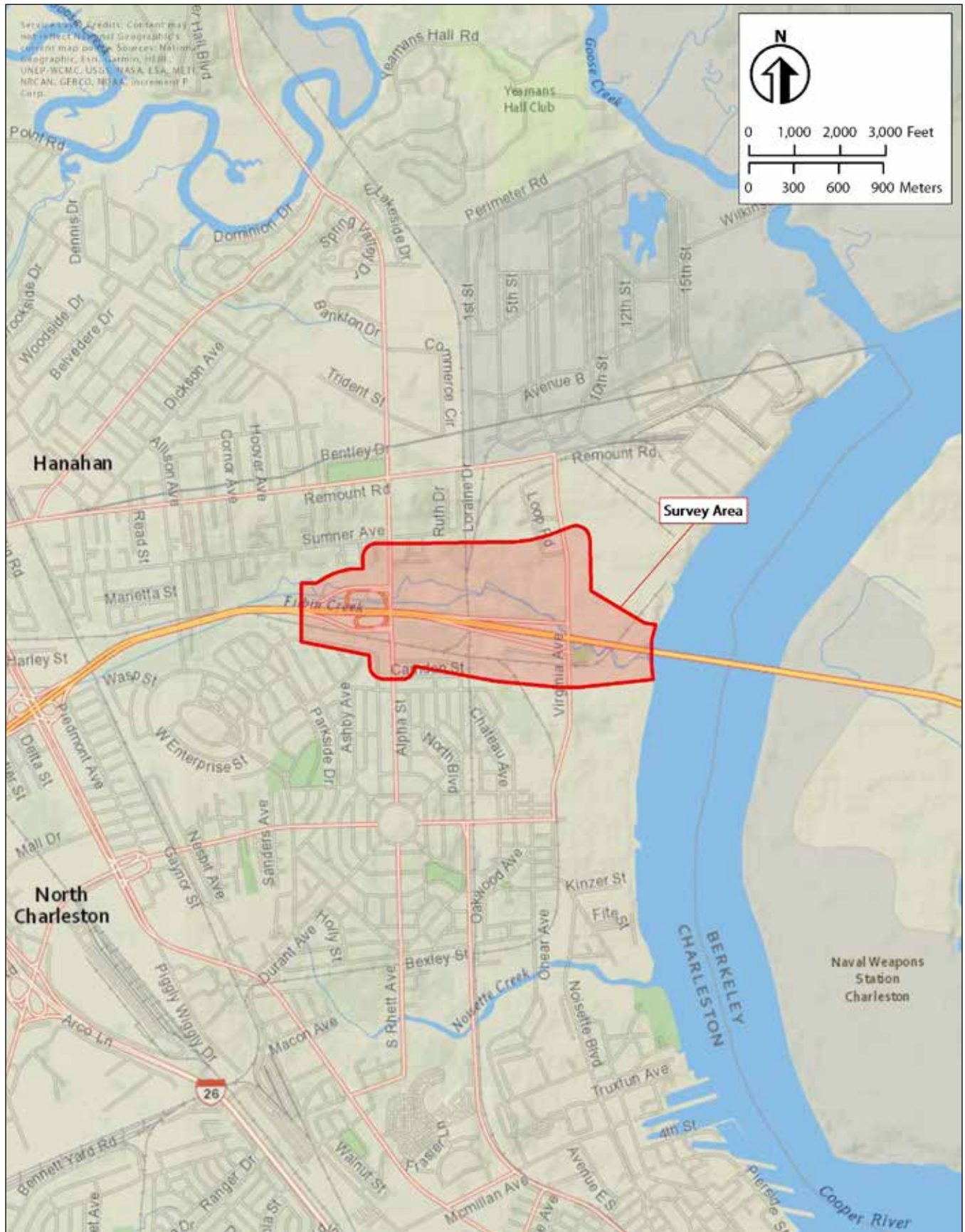


Figure 1.1 Location of the project.



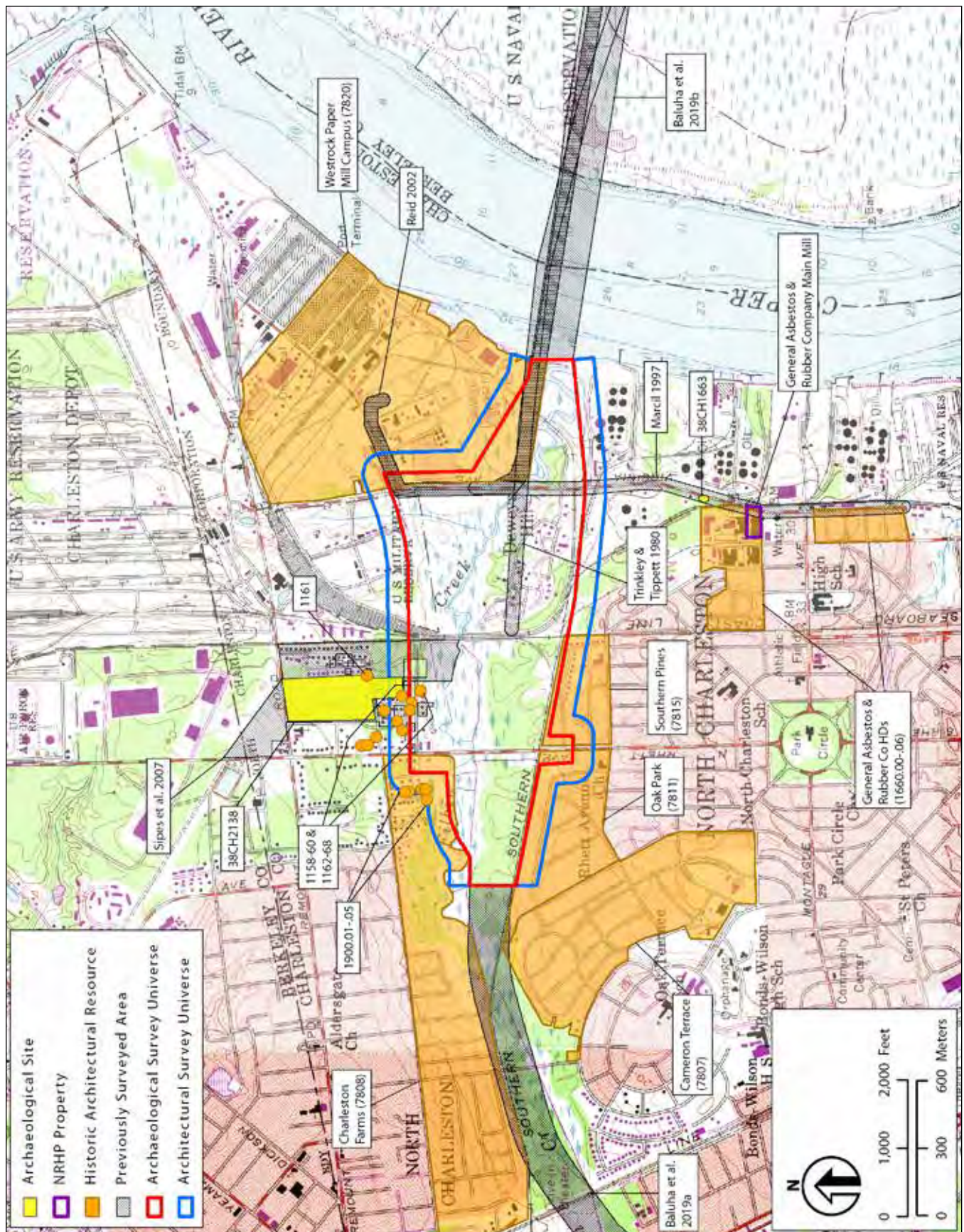






Figure 1.3 Typical views of the APE: shovel tested area north of I-526 looking west (top); wooded area near CSX Railroad spur looking east (bottom).

ous investigations have identified two post-World War II neighborhoods (Resources 7808 and 7811) and 11 individual historic architectural resources (Resources 1158-1160, 1165-1167, and 1900.01-1900.05) in the architectural survey universe (Baluha et al. 2019a; Fick (1995); Sipes et al. 2007). During the current investigation, we identified one post-World War II neighborhood (Resource 7815), one individual historic architectural resource (Resource 7815.01) associated with that neighborhood, and one historic area (Resource 7820) in the architectural survey universe and one individual historic architectural resource (Resource 7815.02) outside the architectural survey universe. These 17 cultural resources are recommended not eligible for the National Register for Historic Places (NRHP). No further management consideration of these resources is warranted. If the currently proposed road plans change, additional survey may be necessary. The architectural survey forms are attached as an appendix.

## 2.0 Methods of Investigation

### 2.1 Project Objective

The objective of the investigations was to assess the potential for construction of the I-526 Phase I Improvements Project to affect cultural resources. Tasks performed to accomplish this objective include background research, archaeological and architectural field investigations, laboratory analyses, and the assessment of the NRHP eligibility of identified resources. Methods employed for each of these tasks are described below.

### 2.2 Background Research

The Principal Investigator (David Baluha) conducted background research at the South Carolina Institute of Archaeology and Anthropology (SCIAA) and on ArchSite to locate any previously recorded archaeological sites, historic resources, and previous investigations within 0.8 km (0.5 mile) of the APE. These efforts identified seven relevant cultural resource investigations, two archaeological sites, 49 historic architectural resources, and one non-contiguous historic district. Table 2.1 lists the seven previous investigations conducted within 0.8 km of the APE. Tables 2.2 and 2.3 list previously identified archaeological sites and historic architectural resources and districts within 0.8 km of the APE, respectively.

During the historic resources survey of North Charleston, Fick (1995) identified 25 individual historic architectural resources and one non-contiguous historic district within 0.8 km of the APE centerline (see Table 2.3). The 31 individual historic architectural resources are all in the Charleston Farms neighborhood

**Table 2.1 Relevant previous investigations within 0.8 km of the APE.**

Authors	Date	Project	Agency*
Trinkley and Tippet	1980	Archaeological Survey Mark Clark Expressway	SCDOT
Fick	1995	Historic Resources Survey of North Charleston	SCDAH
Marcil	1997	Cultural Resources Survey (CRS) of Virginia Ave. (S-58) from S-59 to N of I-526	SCDOT
Reid	2002	Evaluation of the Proposed SCE&G Westvaco-Thomas Island 115kV Transmission Line	FERC
Sipes et al.	2007	CRS of Tract A, B, and F at the Proposed Remount Business Park	OCRM
Baluha et al.	2019a	CRS I-526 Lowcountry Corridor West Project	SCDOT
Baluha et al.	2019b	CRS I-526 Lowcountry Corridor East Project	SCDOT
FERC = Federal Energy Regulatory Commission			
OCRM = Ocean and Coastal Resource Management			
SCDAH = South Carolina Department of Archives and History			
SCDOT = South Carolina Department of Transportation			



and include 21 Minimal Traditional houses (Resource 362-1900), three Bungalows (362-1901), and one unidentified house (362-1925). Five of the Minimal Traditional houses are in the architectural survey universe and discussed below. Fick (1995) recommended all 25 of these resources not eligible for the NRHP. Resources 1660.01-1660.06 comprise one non-contiguous NRHP-eligible historic district associated with the General Asbestos and Rubber Company buildings and related employee housing. Fick (1995) recommended these resources eligible for the NRHP under Criteria A (*industry/social history*) and C (*architecture*). The current project will have no effect on these historic properties.

**Table 2.2 Archaeological sites within 0.8 km of the APE.**

Site	Description	NRHP Status	Reference
38CH1663	Early twentieth-century industrial complex (Dixie House Company Saw and Planing Mill)	Not eligible	Marcil 1997
38CH2138	Mid-twentieth-century military complex (Staging Area 1, Charleston Port of Embarkation, Charleston Army Depot)	Not eligible	Sipes et al. 2007

**Table 2.3 Historic architectural resources and districts within 0.8 km of the APE.**

Number	Description	Address	Date	NRHP	Comment(s)
<b>Fick (1995)</b>					
362-1900	Single family residence (Minimal Traditional)	1223 Sumner Ave.	1950	Not eligible	
		1233 Sumner Ave.	1956	Not eligible	
		1236 Sumner Ave.	1955	Not eligible	
		1240 Sumner Ave.	1950	Not eligible	
		1338 Fretwell St.	c. 1950	Not eligible	no longer extant
		1432 Sumner Ave.	1950	Not eligible	
		<b>5435 Annette St.</b>	<b>1950</b>	<b>Not eligible</b>	
		<b>5436 Annette St.</b>	<b>1950</b>	<b>Not eligible</b>	
		5441 Annette St.	1950	Not eligible	
		<b>5442 Annette St.</b>	<b>1951</b>	<b>Not eligible</b>	
		5445 Annette St.	1950	Not eligible	
		<b>5456 Annette St.</b>	<b>1950</b>	<b>Not eligible</b>	
		<b>5460 Annette St.</b>	<b>1950</b>	<b>Not eligible</b>	
		5465 Pennsylvania Ave.	1955	Not eligible	
		5475 Pennsylvania Ave.	1955	Not eligible	
		5479 North Rhett Ave.	c. 1940	Not eligible	no longer extant
		5526 Aldrich Ave.	c. 1950	Not eligible	no longer extant
		5604 Aldrich Ave.	1950	Not eligible	
		5610 Aldrich Ave.	1950	Not eligible	
		5616 Aldrich Ave.	1950	Not eligible	
		5641 Meadow Ave.	1957	Not eligible	
362-1901	Single family residence (Bungalow)	1431 Sumner Ave.	1955	Not eligible	
		5611 Garrett St.	1955	Not eligible	
		5626 Flanders Ave.	1954	Not eligible	
362-1925	Single family residence (unknown)	5521 North Rhett Ave.	1940	Not eligible	
1660.01-1660.06	General Asbestos & Rubber Company Historic Districts	Non-contiguous blocks and individual buildings between Buist, Delsey, and Virginia Avenues	1914	Eligible	Being redeveloped into mixed-use commercial and residential area

\*Bold indicates resources in the architectural survey universe

**Table 2.3 Historic architectural resources and districts within 0.8 km of the APE.**

Number	Description	Address	Date	NRHP	Comment(s)
Sipes et al. (2007)					
1158	North Charleston Primitive Baptist Church	1151 Wright St.	c. 1956	Not Eligible	
1159	Single family residence	5474 Thompson St.	1952	Not Eligible	
1160	Single family residence	1184 Leary St.	1945	Not Eligible	
1161	Single family residence	5534 Ruth Dr.	1953	Not Eligible	no longer extant
1162	Single family residence	5524 North Rhett Ave.	1948	Not Eligible	
1163	Single family residence	5516 North Rhett Ave.	1950	Not Eligible	no longer extant
1164	Single family residence	5508 North Rhett Ave.	1942	Not Eligible	no longer extant
1165	Single family residence	1159 Leary St.	1952	Not Eligible	
1166	Single family residence	5468 Turner St.	1952	Not Eligible	
1167	Single family residence	1165 Leary St.	1950	Not Eligible	
1168	Single family residence	1165 Sumner Ave.	1950	Not Eligible	
Baluha et al. (2019a)					
7807	Cameron Terrace neighborhood	North Charleston, south of I-526, west of Parkside Dr.	c. 1955	Not eligible	
7807.01	Single family residence (Minimal Traditional)	5310 Hartford Circle	1955		
7807.02	Single family residence (Ranch)	5328 Hartford Circle	1960		
7808	Charleston Farms neighborhood	North Charleston, north of I-526, west of North Rhett Ave., south of Sumner Ave.	c. 1950	Not eligible	
7811	Oak Park West neighborhood	North Charleston, south of I-526	c. 1952	Not eligible	
7811.01	Single family residence (Minimal Traditional)	1372 Maxwell Street	1952		
7811.02	Single family residence (Ranch)	5322 Parkside Drive	1965		
*Bold indicates resources in the architectural survey universe					

During cultural resources survey of Virginia Avenue from Buist Avenue to north of I-526, SCDOT archaeologist Valerie Marcil (1997) identified archaeological Site 38CH1663. This site is 775 m south of the APE centerline, just west of Virginia Avenue. The site contains archaeological remnants of the former Dixie House Company Saw and Planing Mill dryer building. Site 38CH1663 is not eligible for the NRHP and requires no additional management.

During cultural resources survey of Tract A, B, and F at the proposed Remount Business Park, Sipes et al. (2007) documented one archaeological site (38CH2138) and 11 historic architectural resources (Resources 1158-1168). Of these, six of the architectural resources (Resources 1158-1160 and 1165-1167) are in the architectural survey universe. These six architectural resources are described in Section 3.3 below.

During cultural resources survey of the I-526 Lowcountry Corridor West Project, Baluha et al. (2019a) identified three post-World War II neighborhoods (Resources 7807, 7808, and 7811) and four individual historic architectural resources (Resources 7807.01, 7807.02, 7811.01, and 7811.02) within 0.8 km of the APE centerline (see Table 2.3). Baluha et al. (2019a) recommended all these resources not eligible for the NRHP. These resources require no additional management.

### 2.3 Archaeological Survey

Brockington conducted archaeological survey of the I-526 Lowcountry Corridor West Addendum APE from July 30 to August 20, 2018. Archaeological survey of the project corridor followed the *South Carolina Standards and Guidelines for Archaeological Investigations* (Council of South Carolina Professional Archaeologists [COSCAPA] et al. 2013). The existing right-of-way (ROW) averages 122 m wide along I-526 and 37 to 61 m along side streets. For the most part, the archaeological survey universe extends 30 m to either side of the existing ROW, excepting the area near the North Rhett and Virginia Avenue interchanges. The initial transects were spaced 15 m to either side of the existing ROW, and every 30 m thereafter. Investigators excavated shovel tests at 30-m intervals along each transect. We did not excavate shovel tests in areas that were investigated during previous cultural resources surveys, in wetlands, or outside the archaeological survey universe.

Each shovel test measured approximately 30 centimeters (cm) in diameter and was excavated into sterile subsoil. The fill from these tests was sifted through 1/4-inch mesh hardware cloth. All identifiable or suspected cultural materials were collected. Excavators recorded provenience information including transect, shovel test, and surface collection numbers on resealable, archivally stable, plastic artifact collection bags. Information relating to each shovel test also was recorded in field notebooks. This information included the content (e.g., presence or absence of artifacts) and context (e.g., soil color, texture, stratification) of each test. Shovel tests were not excavated in wetlands and generally were not excavated in disturbed/developed areas. No archaeological resources were identified.

### 2.4 Architectural Survey

Brockington conducted architectural survey from August 20 to 24, 2018. Additional photo documentation of previously recorded resources was conducted in January 2019. The survey attempted to identify, record, and evaluate all historic architectural resources (buildings, structures, objects, designed landscapes, and/or sites with aboveground components) in the APE. Field survey methods complied with the SCDAH's (2015 and 2018) *Survey Manual: South Carolina Statewide Survey of Historic Properties* and the *National Register Bulletin 24, Guidelines for Local Surveys: A Basis for Preservation Planning* (Parker 1985). In accordance with the scope of work and standard SCDAH survey practice, the project Architectural Historian drove every street and road in the architectural survey universe and conducted a pedestrian inspection of all potential historic architectural resources.

The principal criterion used by the SCDAH to define historic architectural resources is a 50-year minimum age; however, that rule does not always allow for the recordation of all historically significant resources. This could include resources related to the civil rights movement, the Cold War, or the development of tourism in South Carolina. In addition, certain other classes of architectural resources may be recorded (SCDAH 2015:9):

- Architectural resources representative of a particular style, form of craftsmanship, method of construction, or building type;
- Properties associated with significant events or broad patterns in local, state, or national history;
- Properties that convey evidence of the community's historical patterns of development;
- Historic cemeteries and burial grounds;
- Historic landscapes such as parks, gardens, and agricultural fields;
- Properties that convey evidence of significant "recent past" history (i.e., civil rights movement, Cold War, etc.);
- Properties associated with the lives or activities of persons significant in local, state, or national history; or
- Sites where ruins, foundations, or remnants of historically significant structures are present.

For a resource to be eligible for documentation, the Architectural Historian must determine that it retains some degree of integrity. According to the SCDAH (2015:10), a resource that has integrity:

retains its historic appearance and character... [and] conveys a strong feeling of the period in history during which it achieved significance. Integrity is the composite of seven qualities: location, design, setting, materials, workmanship, feeling, and association. To have a reasonable degree of integrity, a property must possess at least several of these qualities.

Also, integrity is evaluated in the context of the local region. While in the field, the Architectural Historian evaluated the integrity of each identified historic architectural resource. Resources exhibiting poor integrity were not recorded.

Following SCDAH (2015, 2018) guidelines, the Architectural Historian recorded all the architectural resources in the APE on South Carolina Statewide Survey (SCSS) forms in digital format using the survey database (Microsoft Access 2016™). The Architectural Historian took at least one digital photograph of each resource, typically showing the main or side elevations. Appropriate USGS maps show the location of each architectural resource. The completed forms, including the various maps and photographs, were prepared for SCDAH for review. Following SCDAH (2015) guidelines, the architectural survey uses English units of measurement in descriptions of resources presented in this report and in the forms. Photography for this project included digital images produced by methods demonstrated to meet the 75-year permanence standard required by the National Park Service (NPS) and the SCDAH (NPS 2013; SCDAH 2015:31).

## **2.5 NRHP Assessment of Cultural Resources**

### **2.5.1 Overview**

All cultural resources encountered were assessed as to their significance based on the criteria of the NRHP. As per 36 CFR 60.4, there are four broad evaluative criteria for determining the significance of a particular resource and its eligibility for the NRHP. Any resource (building, structure, site, object, or district) may be eligible for the NRHP that:

- is associated with events that have made a significant contribution to the broad pattern of history;
- is associated with the lives of persons significant in the past;
- embodies the distinctive characteristics of a type, period, or method of construction, or represents the work of a master, possesses high artistic value, or represents a significant and distinguishable entity whose components may lack individual distinction; or
- has yielded, or is likely to yield, information important to history or prehistory.

A resource may be eligible under one or more of these criteria. Criteria A, B, and C are most frequently applied to historic buildings, structures, objects, non-archaeological sites (e.g., battlefields, natural features, designed landscapes, or cemeteries), or districts. The eligibility of archaeological sites is most frequently considered with respect to Criterion D. Also, a general guide of 50 years of age is employed to define “historic” in the NRHP evaluation process. That is, all resources greater than 50 years of age may be considered. However, more recent resources may be considered if they display “exceptional” significance (Sherfy and Luce 1998).



### 2.5.2 Individual Archaeological Sites and Architectural Resources

Following *National Register Bulletin: How to Apply the National Register Criteria for Evaluation* (Savage and Pope 1998), evaluation of any resource requires a twofold process. First, the resource must be associated with an important historical context. If this association is demonstrated, the integrity of the resource must be evaluated to ensure that it conveys the significance of its context. The applications of both steps are discussed in more detail below.

Determining the association of a resource with a historical context involves five steps (Savage and Pope 1998). First, the resource must be associated with a particular facet of local, regional (state), or national history. Secondly, one must determine the significance of the identified historical facet/context with respect to the resource under evaluation. A lack of Native American archaeological sites within a project area would preclude the use of contexts associated with the Pre-Contact use of a region.

The third step is to demonstrate the ability of a particular resource to illustrate the context. A resource should be a component of the locales and features created or used during the historical period in question. For example, early nineteenth-century farmhouses, the ruins of African American slave settlements from the 1820s, and/or field systems associated with particular Antebellum plantations in the region would illustrate various aspects of the agricultural development of the region prior to the Civil War. Conversely, contemporary churches or road networks may have been used during this time period but do not reflect the agricultural practices suggested by the other kinds of resources.

The fourth step involves determining the specific association of a resource with aspects of the significant historical context. Savage and Pope (1998) define how one should consider a resource under each of the four criteria of significance. Under Criterion A, a property must have existed at the time that a particular event or pattern of events occurred, and activities associated with the event(s) must have occurred at the site. In addition, this association must be of a significant nature, not just a casual occurrence (Savage and Pope 1998). Under Criterion B, the resource must be associated with historically important individuals. Again, this association must relate to the period or events that convey historical significance to the individual, not just that this person was present at this locale (Savage and Pope 1998). Under Criterion C, a resource must possess physical features or traits that reflect a style, type, period, or method of construction; display high artistic value; or represent the work of a master (an individual whose work can be distinguished from others and possesses recognizable greatness) (Savage and Pope 1998). Under Criterion D, a resource must possess sources of information that can address specific important research questions (Savage and Pope 1998). These questions must generate information that is important in reconstructing or interpreting the past (Butler 1987; Townsend et al. 1993). For archaeological sites, recoverable data must be able to address specific research questions.

After a resource is associated with a specific significant historical context, one must determine which physical features of the resource reflect its significance. One should consider the types of resources that may be associated with the context, how these resources represent the theme, and which aspects of integrity apply to the resource in question (Savage and Pope 1998). As in the Antebellum agriculture example given above, a variety of resources may reflect this context (farmhouses, ruins of slave settlements, field systems, etc.). One must demonstrate how these resources reflect the context. The farmhouses represent the residences of the principal landowners who were responsible for implementing the agricultural practices that drove the economy of the South Carolina area during the Antebellum period. The slave settlements housed the workers who conducted most of the daily activities necessary to plant, harvest, process, and market crops.

Once the above steps are completed and the association with a historically significant context is demonstrated, one must consider the aspects of integrity applicable to a resource. Integrity is defined in seven

aspects of a resource; one or more may be applicable depending on the nature of the resource under evaluation. These aspects are location, design, setting, materials, workmanship, feeling, and association (36 CFR 60.4; Savage and Pope 1998). If a resource does not possess integrity with respect to these aspects, it cannot adequately reflect or represent its associated historically significant context. Therefore, it cannot be eligible for the NRHP. To be considered eligible under Criteria A and B, a resource must retain its essential physical characteristics that were present during the event(s) with which it is associated. Under Criterion C, a resource must retain enough of its physical characteristics to reflect the style, type, etc., or work of the artisan that it represents. Under Criterion D, a resource must be able to generate data that can address specific research questions that are important in reconstructing or interpreting the past.

### 2.5.3 Assessing Post-World War II Neighborhoods

The APE encompasses portions of two post-World War II neighborhoods. The SCDAAH (2018) summarizes background information on the development trends for these neighborhoods and the characteristics and styles often associated with individual buildings and whole neighborhoods. The SCDAAH (2018) suggests that post- War residences and neighborhoods should be evaluated under NRHP Criteria A, B, or C (see Section 2.5.3). Because of their abundance, individual buildings associated with post-World War II neighborhoods must retain a high degree of integrity. Furthermore, neighborhoods/subdivisions comprising post-War houses should retain integrity as a group or district. Table 2.4 lists the evaluative criteria for post-World War II neighborhoods.

**Table 2.4 Evaluative criteria for post-World War II neighborhoods (SCDAH 2018).**

<b>Neighborhoods</b>	
1	Repetition of house type or style (many builders re-used similar plans throughout the neighborhood)
2	Community buildings (churches, schools, recreation centers, shopping areas) if part of the original plan/design
3	Majority of residences retain historic materials and design
4	Setting (lot size, building setback, streetscapes, parks, and landscape design)
<b>Individual Residences</b>	
1	Garage or carports originally attached to the building and not enclosed
2	Original windows and front door
3	Original siding/wall materials
4	Original metal porch posts or carport posts
5	Original chimney
6	No large scale additions, especially to the residence's front or side

## 3.0 Results and Recommendations

### 3.1 Introduction

The current investigation includes archaeological and architectural survey. Figure 3.1 shows the location of the APE, shovel tested areas, and all cultural resources in the APE. The results of the archaeological and architectural surveyed are presented below, followed by management recommendations.

### 3.2 Archaeological Survey Results

Brockington conducted archaeological survey of the current archaeological survey universe from August 18 to 20, 2018. These investigations were conducted by Technicians Scott Kitchens and Jimmy Lefebvre under the direction of Principal Investigator David Baluha. Previous investigations covered approximately 16.0 percent of the archaeological survey universe. Approximately 39.1 percent of the archaeological survey universe extends across heavily disturbed lands that were not surveyed. Another 32.8 percent of the archaeological survey universe extends across wetlands. During the current investigation, we conducted archaeological survey across five areas, covering approximately 13.4 percent of the current archaeological survey universe. Most of the excavated shovel tests displayed disturbed soils, which Miller (1971) defines as Udorthents, particularly south of I-526 or near the CSX Railroad spur. No archaeological resources were identified. Table 3.1 summarizes investigations in the archaeological survey universe. Figure 3.2 displays shovel test profiles from the southern portion of the archaeological survey universe.

**Table 3.1 Summary of archaeological investigations in the archaeological survey universe.**

Project/Survey Parcel	APE	Coverage*	Conditions	
	Hectares	Percentage	Vegetation	Soils
	<i>Previous</i>	<i>Investigations</i>		
Trinkley and Tippet 1980	9.15	7.0%	Developed	Udorthents
Marcil 1997	2.94	2.3%		
Reid 2002	3.33	2.6%		
Sipes et al. 2007	5.41	4.2%		
	<i>Current</i>	<i>Investigations</i>		
A	4.44	3.4%	subclimax maritime forest	Udorthents
B	7.53	5.8%		
C	2.11	1.6%		
D	0.26	0.2%		
E	1.45	1.1%		
Disturbed	50.79	39.1%	Developed/disturbed	
Wetlands	42.59	32.8%	Marsh/swamp	
<b>Total</b>	<b>130.00</b>	<b>100.0%</b>		
*APE coverage in archaeological survey universe only.				



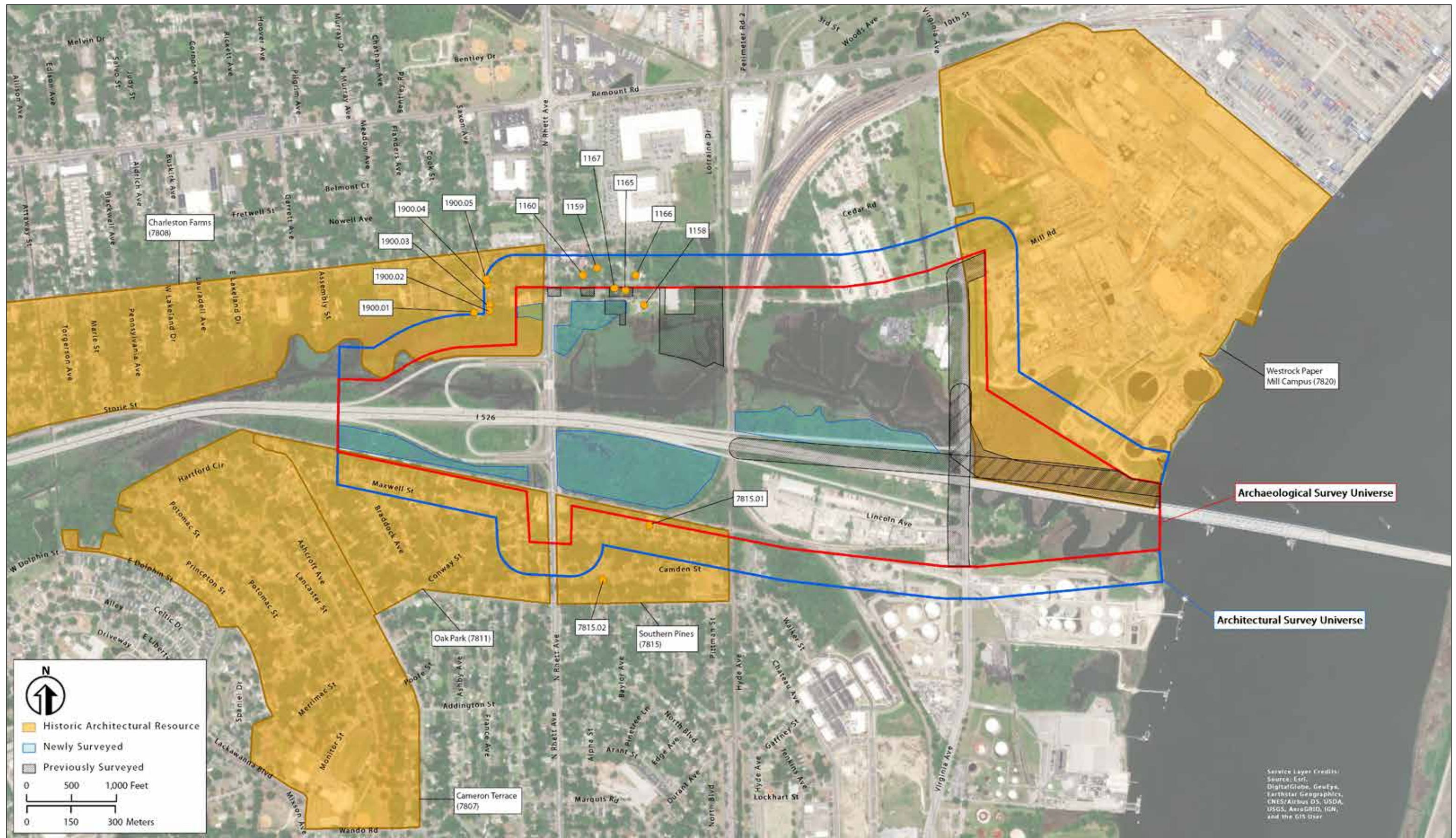


Figure 3.1 Location of the APE, shovel tested areas, and all cultural resources in the APE on aerial imagery.





Figure 3.2 Typical shovel test profiles from the current archaeological survey universe.

### 3.3 Architectural Survey Results

#### 3.3.1 Introduction

All or portions of 16 historic architectural resources (Resources 1158-1160, 1165-1167, 1900.01-1900.05, 7808, 7811, 7815, 7815.01, and 7820) are in the architectural survey universe. These include five individual historic architectural resources (Resources 1900.01-1900.05) identified by Fick (1995); six individual historic architectural resources (Resource 1158-1160 and 1165-1167) identified by Sipes et al. (2007); two post-World War II neighborhoods (Resource 7808 and 7811) identified by Baluha et al. (2019a); and one post-World War II neighborhood (Resource 7815) and associated building (Resource 7815.01) and historic area (Resource 7820) identified during the current investigation. Descriptions and NRHP assessments for these resources follow. Table 3.2 lists the architectural resources in the architectural survey universe. Figure

3.3 shows the locations of these resources on USGS (1958) aerial imagery. Figure 3.4 shows the locations of these resources on the USGS (1959) *North Charleston, SC* quadrangle.

**Table 3.2 Architectural resources in the architectural survey universe.**

Number	Description	Address	Date	NRHP
Fick (1995)				
1900.01	Single family residence (Minimal Traditional)	5435 Annette St.	1950	Not eligible
1900.02		5436 Annette St.	1950	Not eligible
1900.03		5442 Annette St.	1951	Not eligible
1900.04		5456 Annette St.	1950	Not eligible
1900.05		5460 Annette St.	1950	Not eligible
Sipes et al. (2007)				
1158	North Charleston Primitive Baptist Church	1151 Wright St.	c. 1956	Not Eligible
1159	Single family residence	5474 Thompson St.	1952	Not Eligible
1160	Single family residence	1184 Leary	1945	Not Eligible
1165	Single family residence	1159 Leary Rd	1952	Not Eligible
1166	Single family residence	5468 Turner St	1952	Not Eligible
1167	Single family residence	1165 Leary Rd	1950	Not Eligible
Baluha et al. (2018)				
7808	Charleston Farms neighborhood	North Charleston, north of I-526, west of North Rhett Ave., east of Dutton Ave., south of Sumner Ave.	c. 1950	Not eligible
7811	Oak Park West neighborhood	North Charleston, south of I-526	c. 1952	Not eligible
current investigation				
7815	Southern Pines neighborhood	North Charleston, south of I-526, east of North Rhett Ave.	c. 1950	Not eligible
7815.01	Single family residence (Ranch)	1150 Sherwood St.	1962	Not eligible
7815.02*	Single family residence (Minimal Traditional)	1177 Camden St.	1950	Not eligible
7820	WestRock Paper Mill Campus	5600 Virginia Ave.	c. 1937	Not eligible
*Located outside architectural survey universe				

### 3.3.2 Previously Recorded Architectural Resources in the Architectural Survey Universe

#### Introduction

Previous investigations have identified 13 architectural resources in the architectural survey universe. These include five individual historic architectural resources (Resources 1900.01-1900.05) recorded by Fick (1995); six individual historic architectural resources (Resources 1158-1160, and 1165-1167) identified by Sipes et al. (2007); and two post-World War II neighborhoods (Resources 7808 and 7811) identified by Baluha et al. (2019a). Descriptions and NRHP assessments for these resources are provided below.

#### Resources 1158-1160 and 1165-1167

During cultural resources survey of Tracts A, B, and F at the proposed Remount Business Park, Sipes et al. (2007) documented one archaeological site (38CH2138) and 11 historic architectural resources (Resources 1158-1168). Of these, six (Resources 1158-1160 and 1165-1167) are in the architectural survey universe. These six architectural resources are described below.

**1151 Wright Street (North Charleston Primitive Baptist Church – Resource 1158).** The North Charleston Primitive Baptist Church was constructed circa 1956. A front-gable, composite-shingle roof covers the one-story masonry building, and concrete blocks cover the exterior walls. Double-panel unglazed doors lead to the interior of the church. Figure 3.5 presents views of this resource.

We assessed the NRHP eligibility of Resource 1158 with respect to Criteria A-D (see Section 2.5.2). Resource 1158 is typical of mid-twentieth-century masonry churches in the area. During background research, we identified no events or people that would qualify these resources for inclusion under Criteria A (*events*) or B (*people*). Resource 1158 does not embody the distinctive characteristics of its type, period, or method of construction and thus does not qualify under Criterion C (*architecture*). There is no known potential for the resource to qualify under Criterion D (*information potential*). Therefore, we recommend Resource 1158 not eligible for the NRHP. This resource requires no additional management.

**5474 Thompson Street (Minimal Traditional House - Resource 1159).** Resource 1159, constructed in 1952, is a Minimal Traditional-style house. A cross-gable, composite-shingle roof and brick veneer walls enclose the one-story frame building. A shed roof supported by square wooden posts on brick piers covers the porch. A porte-cochere connects to the north elevation. Figure 3.6 presents views of this resource.

We assessed the NRHP eligibility of Resource 1159 with respect to Criteria A-D (see Section 2.5.2). Resource 1159 is typical of the mid-twentieth-century, Minimal Traditional-style, wood-framed houses in the area. During background research, we identified no events or people that would qualify these resources for inclusion under Criteria A (*events*) or B (*people*). Resource 1159 does not embody the distinctive characteristics of its type, period, or method of construction and thus does not qualify under Criterion C (*architecture*). There is no known potential for the resource to qualify under Criterion D (*information potential*). Therefore, we recommend Resource 1159 not eligible for the NRHP. This resource requires no additional management.

**1184 Leary Street (Resource 1160).** Resource 1160, a one-story frame house, was built in 1945. A front-gable, composite-shingle roof covers the resource. The asbestos-shingle building sits on a concrete-block foundation. Double-hung windows and the panel glazed door admit light into the interior. Cast iron columns support a pedimented gable porch. Figure 3.7 presents views of this resource.

We assessed the NRHP eligibility of Resource 1160 with respect to Criteria A-D (see Section 2.5.2). Resource 1160 is typical of mid-twentieth-century, vernacular, wood-framed houses in the area. During



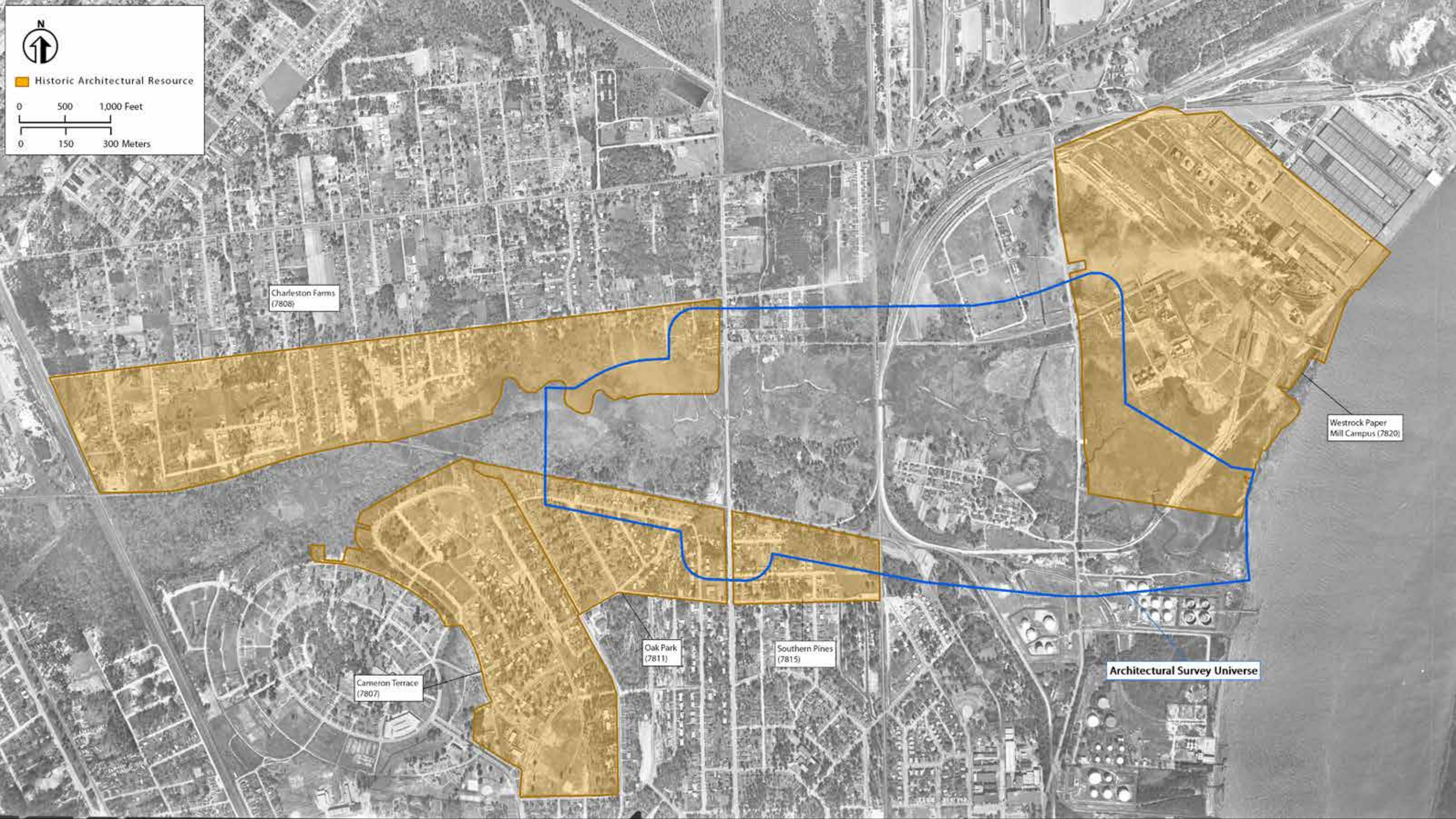


Figure 3.3 USGS (1958) aerial showing the locations of newly identified Resources 7815 and 7820 and previously identified Resources 7808 and 7811 in the architectural survey universe.



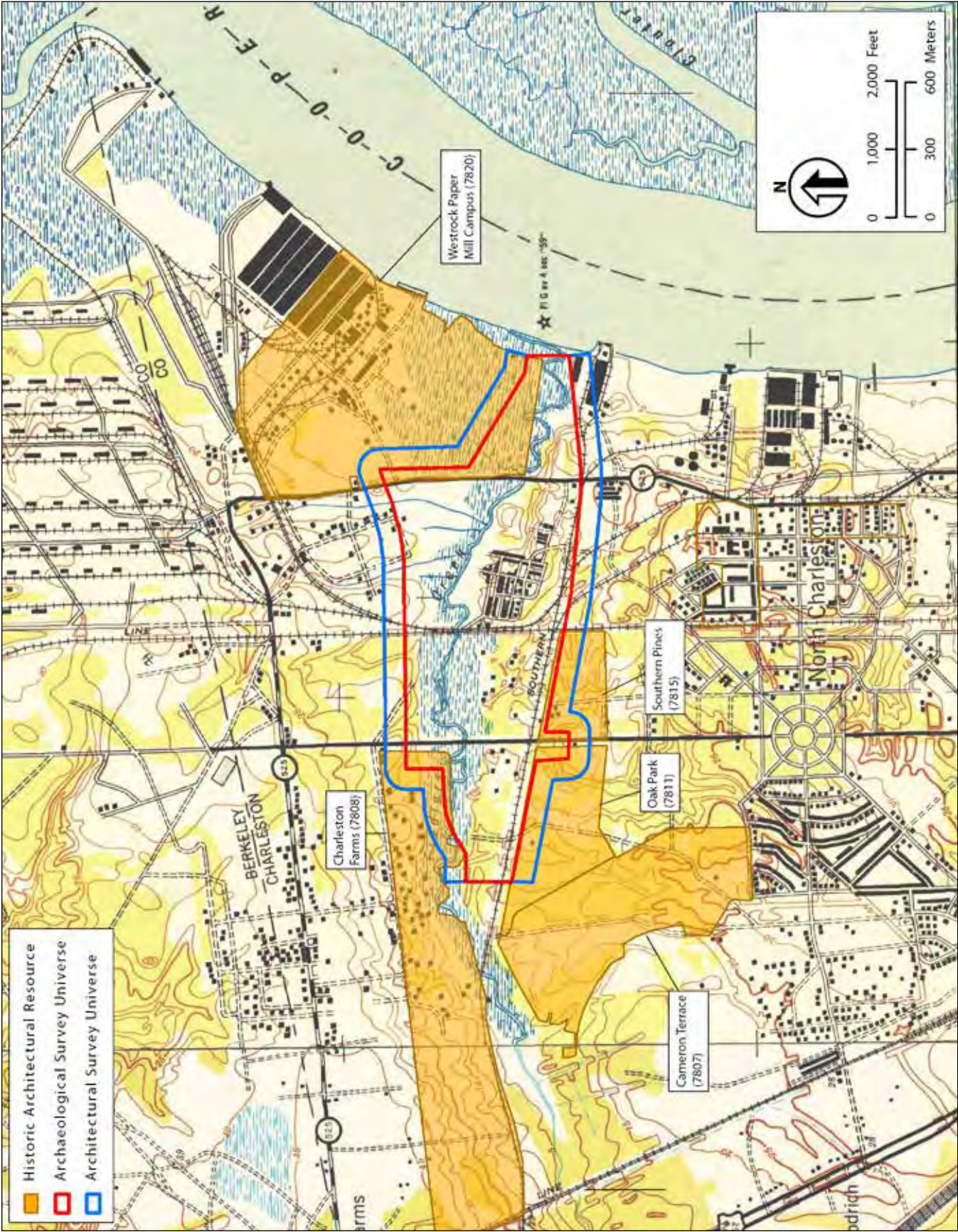


Figure 3.4 The locations of Resources 7808, 7811, 7815, and 7820 in the architectural survey universe on the USGS (1959) North Charleston, SC quadrangle.





Figure 3.5 Views of Resource 1158: facing south in 2007 (top) and southwest in 2019 (bottom).





Figure 3.6 Views of Resource 1159: facing northeast in 2007 (top) and east in 2019 (bottom).





Figure 3.7 Views of Resource 1160: facing northwest in 2007 (top) and 2019 (bottom).



background research, we identified no events or people that would qualify these resources for inclusion under Criteria A (*events*) or B (*people*). Resource 1160 does not embody the distinctive characteristics of its type, period, or method of construction and thus does not qualify under Criterion C (*architecture*). There is no known potential for the resource to qualify under Criterion D (*information potential*). Therefore, we recommend Resource 1160 not eligible for the NRHP. This resource requires no additional management.

**1159 Leary Road (Vernacular House, Resource 1165).** Resource 1165, constructed in 1952, is a wood-framed, synthetic-siding house. A cross-gable, composite-shingle roof covers the building, and the engaged porch sits in front of the entry bay. Double-hung windows illuminate the inside of the house, and the building sits on a brick foundation. Figure 3.8 presents views of this resource.

We assessed the NRHP eligibility of Resource 1165 with respect to Criteria A-D (see Section 2.5.2). Resource 1165 is typical of mid-twentieth vernacular, wood-framed houses in the area. During background research, we identified no events or people that would qualify these resources for inclusion under Criteria A (*events*) or B (*people*). Resource 1165 does not embody the distinctive characteristics of its type, period, or method of construction and thus does not qualify under Criterion C (*architecture*). There is no known potential for the resource to qualify under Criterion D (*information potential*). Therefore, we recommend Resource 1165 not eligible for the NRHP. This resource requires no additional management.

**5468 Turner Street (Vernacular House, Resource 1166).** Resource 1166, a one-story, wood-framed house, was constructed in 1952. A side-gable, composite-shingle roof with a brick chimney on the ridge covers the asbestos-shingle building. Four-over-four windows and a panel glazed door admit light into the interior of the dwelling. The house sits on a brick foundation. Owners constructed a large wing to the rear of the building. Figure 3.9 presents views of this resource.

We assessed the NRHP eligibility of Resource 1166 with respect to Criteria A-D (see Section 2.5.2). Resource 1166 is typical of mid-twentieth vernacular, wood-framed houses in the area. During background research, we identified no events or people that would qualify these resources for inclusion under Criteria A (*events*) or B (*people*). Resource 1166 does not embody the distinctive characteristics of its type, period, or method of construction and thus does not qualify under Criterion C (*architecture*). There is no known potential for the resource to qualify under Criterion D (*information potential*). Therefore, we recommend Resource 1166 not eligible for the NRHP. This resource requires no additional management.

**1165 Leary Road (Vernacular House, Resource 1167).** Resource 1167 is a one-story, wood-framed dwelling erected in 1950. A cross-gable roof sits atop the synthetic-siding house with double-hung windows. An engaged porch covers the entry bay, and the building settles on a brick foundation. Figure 3.10 presents views of this resource.

We assessed the NRHP eligibility of Resource 1167 with respect to Criteria A-D (see Section 2.5.2). Resource 1167 is typical of mid-twentieth-century, vernacular, wood-framed houses in the area. During background research, we identified no events or people that would qualify these resources for inclusion under Criteria A (*events*) or B (*people*). Resource 1167 does not embody the distinctive characteristics of its type, period, or method of construction and thus does not qualify under Criterion C (*architecture*). There is no known potential for the resource to qualify under Criterion D (*information potential*). Therefore, we recommend Resource 1167 not eligible for the NRHP. This resource requires no additional management.



Figure 3.8 Views of Resource 1165: facing south in 2007 (top) and 2019 (bottom).





Figure 3.9 Views of Resource 1166: facing northeast in 2007 (top) and north in 2019 (bottom).





Figure 3.10 Views of Resource 1167: facing southwest in 2007 (top) and 2019 (bottom).



### **Charleston Farms Neighborhood (Resource 7808)**

**Summary.** Charleston Farms (Resource 7808) is an approximately 72.7-hectare (180-acre) commercial and residential neighborhood located north of I-526 in North Charleston (see Figure 3.1). The neighborhood includes approximately 468 lots and 458 buildings, six mobile home parks (MHPs), four apartment complexes, multiple commercial buildings, and at least one church. The boundary for Charleston Farms extends southeast from the intersection of Dutton and Sumner Avenues; northeast from the intersection of the CSX Railroad and one of its spurs; northwest from North Rhett Avenue and the I-526 onramp; and southwest from the intersection of North Rhett and Sumner Avenues. The CSX Railroad spur and Filbin Creek define part of the southern boundary. Approximately 8.0 hectares (19.9 acres) of the southern portion of Charleston Farms is in the current architectural survey universe.

Charleston Farms is one of three post-World War II neighborhoods identified by Baluha et al. (2019a) between the CSX Railroad and North Rhett Avenue, including Cameron Terrace and Oak Park West south of I-526. In 1913, Henry Buist and Robert Montague of the Filbin Company initiated Charleston Farms, an ambitious, planned 3,500-acre development north of Filbin Creek (Fick 1995). The idea was to sell larger subdivided tracts of lands as small working farmsteads just north of the newly planned development of North Charleston. The idea did not catch on, and in 1916 the entire tract of land was transferred to the Charleston Farms Corporation, owned by Buist and R.G. Rhett. During World War I, 1,500 of the tract's easternmost acres were taken for the Army Port Terminals, which was later conveyed to the City of Charleston. An additional 900 acres of the northernmost portion of Charleston Farms was sold in 1925 and eventually developed as Yeamans Hall Club. It was not until West Virginia Pulp and Paper Company (Resource 7820) opened nearby in 1937 that residential development began in Charleston Farms. Also, the build-up to World War II, with the proximity of the Army Ordnance Depot and the Charleston Air Force Base, provided further demand for residential development in Charleston Farms. Development plats show that most of the portions of Charleston Farms within the architectural survey universe were developed around 1955, but the neighborhood witnessed infill throughout the twentieth century.

When Fick (1995) visited the Charleston Farms area, few of the buildings were survey-eligible at that time. However, Fick (1995) noted three types of residential resources: Bungalow, Minimal Traditional, and Ranch. Baluha et al. (2019a) noted that most of the architectural resources in the architectural survey universe portion of Charleston Farms are Ranch and Minimal Traditional houses, with no evidence of Bungalows. Baluha et al. (2019a) recorded examples of Charleston Farms' Minimal Traditional (Resource 7808.01) and Ranch (Resource 7808.02) houses but neither of these are in the current architectural survey universe, which covers only a small portion (11.0%) of the southeastern portion of the neighborhood. This includes 23 individual lots and 14 buildings. The 14 buildings include Minimal Traditional houses and modern commercial buildings.

**NRHP Assessment of Charleston Farms (Resource 7808).** Baluha et al. (2019a) assessed the NRHP eligibility of Resource 7808, which is copied verbatim here. The architectural survey universe covers approximately 11 percent of the Charleston Farms neighborhood. We identified approximately 28 buildings, most of which consist of Minimal Traditional houses dating from 1945 to 1955. Charleston Farms is an example of the common post-World War II neighborhood in North Charleston but is not amongst the best examples (Baluha et al. 2019a). Although it retains its original configuration, numerous apartment complexes, commercial buildings, and MHPs dating from the 1970s or later occupy lots in the neighborhood. This indicates that Charleston Farms has witnessed a high-level material change to its resources, as well as modern infill. Therefore, we recommend Charleston Farms and all associated architectural resources in the architectural survey universe not eligible for the NRHP. These cultural resources require no additional management.

***Previously Identified Individual Resources in Charleston Farms.*** Previous investigations documented the Charleston Farms neighborhood, including Fick (1995) and Baluha et al. (2019a). In the *City of North Charleston Historical and Architectural Survey*, Fick (1995) provided a detailed history of Charleston Farms and surveyed 98 properties in the neighborhood. Of these 98 properties, only five houses (Resources 1900.01-1900.05) are in the architectural survey universe. During the current investigation, we revisited these five resources to determine their current condition. These five architectural resources are described below.

*5435 Annette Street (Minimal Traditional house, Resource 1900.01).* During the current investigation, we revisited Resource 1900.01, a Minimal Traditional house first recorded by Fick (1995), located at 5435 Annette Street in North Charleston on CC Parcel 471030010 (see Figure 3.1). Resource 1900.01, built in 1950, is a one-story, wood-frame, side-gable, Minimal Traditional dwelling set on a concrete-block foundation. Asbestos-shingle siding covers the exterior walls and the roof is covered in composition shingle. A side-gable addition or enclosed carport is on the house's southern elevation. The front elevation includes a replacement wooden entry door and non-historic entrance awning, iron railings, and shutters. Resources 1900.01 and 1900.02 share the same original floor plan. Figure 3.11 presents a view of Resource 1900.01.

We assessed the NRHP eligibility of Resource 1900.01 with respect to Criteria A-D (see Section 2.5.2). Resource 1900.01 is typical of mid-twentieth-century Minimal Traditional houses in the Charleston Farms neighborhood and across the region. During background research, we identified no events or people that would qualify these resources for inclusion under Criteria A (*events*) or B (*people*). Resource 1900.01 does not embody the distinctive characteristics of its type, period, or method of construction and thus does not qualify under Criterion C (*architecture*). There is no known potential for the resource to qualify under Criterion D (information potential). Therefore, we recommend Resource 1900.01 not eligible for the NRHP. This resource requires no additional management.



Figure 3.11 View of Resource 1900.01, facing west.

5436 Annette Street (*Minimal Traditional house, Resource 1900.02*). During the current investigation, we revisited Resource 1900.02, a Minimal Traditional house first recorded by Fick (1995), located at 5436 Annette Street in North Charleston on CC Parcel 471030014 (see Figure 3.1). Resource 1900.02, built in 1950, is a one-story, wood-frame, side-gable, Minimal Traditional dwelling set on a stuccoed masonry foundation. The house features some replacement windows, a composition-shingled roof, and weatherboard siding. The front elevation includes a metal awning over the entry door and concrete stoop with iron railings at the entry bay. A rear shed addition flanks the building's northeastern end. Resources 1900.01 and 1900.02 share the same original floor plan. Figure 3.12 presents a view of Resource 1900.02.

We assessed the NRHP eligibility of Resource 1900.02 with respect to Criteria A-D (see Section 2.5.2). Resource 1900.02 is typical of mid-twentieth-century Minimal Traditional cottages in the Charleston Farms neighborhood and across the region. During background research, we identified no events or people that would qualify these resources for inclusion under Criteria A (*events*) or B (*people*). Resource 1900.02 does not embody the distinctive characteristics of its type, period, or method of construction and thus does not qualify under Criterion C (*architecture*). There is no known potential for the resource to qualify under Criterion D (*information potential*). Therefore, we recommend Resource 1900.02 not eligible for the NRHP. This resource requires no additional management.

5442 Annette Street (*Minimal Traditional house, Resource 1900.03*). During the current investigation, we revisited Resource 1900.03, a Minimal Traditional house first recorded by Fick (1995), located at 5442 Annette Street in North Charleston on CC Parcel 471030015 (see Figure 3.1). Resource 1900.03, built in 1951, is a one-story, wood-frame, front-gable, Minimal Traditional dwelling set on a concrete-block foundation with asbestos-shingle siding and composition-shingle roof. The front gable porch is over one bay but less than full façade, and includes metal porch supports. A side-gable addition flanks the cottage's southern end. The dwelling features six-over-six windows. Figure 3.13 presents a view of Resource 1900.03.

We assessed the NRHP eligibility of Resource 1900.03 with respect to Criteria A-D (see Section 2.5.2). Resource 1900.03 is typical of mid-twentieth-century Minimal Traditional cottages in the Charleston Farms neighborhood and across the region. During background research, we identified no events or people that would qualify these resources for inclusion under Criteria A (*events*) or B (*people*). Resource 1900.03 does not embody the distinctive characteristics of its type, period, or method of construction and thus does not qualify under Criterion C (*architecture*). There is no known potential for the resource to qualify under Criterion D (*information potential*). Therefore, we recommend Resource 1900.03 not eligible for the NRHP. This resource requires no additional management.





Figure 3.12 View of Resource 1900.02, facing east.



Figure 3.13 View of Resource 1900.03, facing east.

5456 Annette Street (*Minimal Traditional house, Resource 1900.04*). During the current investigation, we revisited Resource 1900.04, a Minimal Traditional house first recorded by Fick (1995), located at 5456 Annette Street in North Charleston on CC Parcel 471030018 (see Figure 3.1). Resource 1900.04, built in 1950, is a one-story, wood-frame, side-gable, Minimal Traditional house set on a concrete-block foundation with asbestos-shingle siding and composition-shingle roofing material. A front gable porch over one bay, but less than full façade, has wood porch supports. The front elevation includes three-over-one-light, double-hung sash, wood windows. Resources 1900.04 and 1900.05 share the same original floor plan. Figure 3.14 presents a view of Resource 1900.04.

We assessed the NRHP eligibility of Resource 1900.04 with respect to Criteria A-D (see Section 2.5.2). Resource 1900.04 is typical of mid-twentieth-century Minimal Traditional houses in the Charleston Farms neighborhood and across the region. During background research, we identified no events or people that would qualify these resources for inclusion under Criteria A (*events*) or B (*people*). Resource 1900.04 does not embody the distinctive characteristics of its type, period, or method of construction and thus does not qualify under Criterion C (*architecture*). There is no known potential for the resource to qualify under Criterion D (*information potential*). Therefore, we recommend Resource 1900.04 not eligible for the NRHP. This resource requires no additional management.

5460 Annette Street (*Minimal Traditional house, Resource 1900.05*). During the current investigation, we revisited Resource 1900.05, a Minimal Traditional dwelling first recorded by Fick (1995), located at 5460 Annette Street in North Charleston on CC Parcel 471030019 (see Figure 3.1). Resource 1900.05, built in 1950, is a one-story, wood-frame, side-gable, Minimal Traditional cottage. The front porch, over one bay but less than full façade, has wood porch supports. The house is clad in asbestos-shingle siding and roofing material is composition shingle. The foundation is stuccoed masonry. The porch has been screened in and includes a wood balustrade, wood railing, and screened door. Windows on the front elevation are three-over-one-light, wood, double-hung sash. Non-historic shutters have been added to the front elevation. Resources 1900.04 and 1900.05 share the same floor plan. Figure 3.15 presents a view of Resource 1900.05.

We assessed the NRHP eligibility of Resource 1900.05 with respect to Criteria A-D (see Section 2.5.2). Resource 1900.05 is typical of mid-twentieth-century Minimal Traditional houses in the Charleston Farms neighborhood and across the region. During background research, we identified no events or people that would qualify these resources for inclusion under Criteria A (*events*) or B (*people*). Resource 1900.05 does not embody the distinctive characteristics of its type, period, or method of construction and thus does not qualify under Criterion C (*architecture*). There is no known potential for the resource to qualify under Criterion D (*information potential*). Therefore, we recommend Resource 1900.05 not eligible for the NRHP. This resource requires no additional management.





Figure 3.14 View of Resource 1900.04, facing east.



Figure 3.15 View of Resource 1900.05, facing northeast.



### **Oak Park West Neighborhood (Resource 7811)**

**Summary.** Oak Park West is an approximately 23.6-hectare (58.3-acre) neighborhood located in North Charleston (see Figure 3.1). Based on CC GIS data, Oak Park West includes 152 lots and 214 individual structures. These include varieties of residences and outbuildings, one commercial building, and seven mobile homes, most of which are not survey-eligible. The boundary for Oak Park West extends southwest from the intersection of North Rhett Avenue and CSX Railroad spur; southeast from a cul-de-sac at the terminus of Parkside Drive; northeast from the intersection of Iroquois Street and Parkside Drive; and northwest from the intersection of Braddock and North Rhett Avenues. The northern boundary of Oak Park West is defined by the CSX Railroad spur. Oak Park West borders Cameron Terrace to the west. Approximately 7.5 hectares (18.4 acres) of Oak Park West is in the current architectural survey universe.

The Cameron Terrace and Oak Park West neighborhoods border each other and share a common history. Both neighborhoods are situated in the northwest quadrant of Olde North Charleston between what used to be Liberty Homes to the west and North Rhett Avenue to the east. Olde North Charleston denotes the area of North Charleston that was first designated for development by the North Charleston Company, which purchased the 1,516-acre tract from the Burton Lumber Company in 1911. Fick (1995:41) notes that the investors that made up the North Charleston Company were established leaders in Charleston, such as Burton Lumber Company executive Robert L. Montague, former Charleston mayor R. Goodwyn Rhett, and the city's chief engineer James O'Hear. W.B. Marquis of the landscape architecture firm P.J. Berckman's Company designed the unique layout that features eight main streets radiating out from the central landscape feature of Park Circle. Like most planned developments of its size at the time, Olde North Charleston witnessed numerous alterations to the original layout, but today still retains some of its key design features (Park Circle and the radiating avenues). Olde North Charleston was designed in part to provide housing for the growing numbers of military and civilian employees working at the Navy Yard, just two miles south. The Army Ordnance Depot and the Charleston Air Force Base are two other nearby military installations that contributed to population growth and development in North Charleston. Two important industrial operations, General Asbestos and Rubber Company (Garco) and West Virginia Pulp and Paper Company, played key roles in the demand for residential development in the area. Oak Park is identified as a subdivision of Olde North Charleston at least by 1948, based on Sanders' (1948) development plat. Based on historic aerial photographs (displayed in Figure 3.3), the neighborhood had mostly filled out by 1957, slightly before that of Cameron Terrace.

As noted by Baluha et al. (2019a), Oak Park West is a circa 1950 neighborhood consisting of a mix of architectural styles, including 50 percent Minimal Traditional, 30 percent Ranch, and 20 percent modern construction. We observed no unifying neighborhood characteristics and most individual homes have some alterations. Oak Park West has clustered concentrations of modern construction. Modern home alterations include windows, doors, infilled garages and porches, front additions, vinyl siding, and modern infill construction.

The current architectural survey universe includes 7.5 hectares (18.4 acres) in the northernmost portion of the Oak Park neighborhood. We identified approximately 44 buildings in the current architectural survey universe, including one commercial building, 33 Minimal Traditional houses, and 10 Ranch houses. Baluha et al. (2019a) documented these house types as Resources 7811.01 (Minimal Traditional) and 7811.02 (Ranch), neither of which is in the current architectural survey universe.

**NRHP Assessment of Oak Park West (Resource 7811).** Baluha et al. (2019a) assessed the NRHP eligibility of Resource 7811 (the Oak Park West neighborhood), which is copied verbatim here. The architectural survey universe covers approximately 31.8 percent of the Oak Park West neighborhood. Oak Park West is an example of the common post-World War II neighborhood in North Charleston but is not amongst the

best examples (Baluha et al. 2019a). Although it retains its original configuration, many of the residences display significant changes and the presence of numerous outbuildings dating from the 1970s or later shows that Oak Park West has witnessed high-level material change and modern infill. Therefore, we recommend Oak Park West and all associated architectural resources in the architectural survey universe not eligible for the NRHP. These cultural resources require no additional management.

### **3.3.3 Newly Recorded Architectural Resources in the Architectural Survey Universe**

#### ***Introduction***

During the current investigation, we identified one new post-World War II neighborhood (Resource 7815), two individual historic architectural resources associated with that neighborhood (Resources 7815.01 and 7815.02), and one historic area (Resource 7820). All of these except Resource 7815.02 are in the architectural survey universe. Descriptions and NRHP assessments for these resources are provided below.

#### ***Southern Pines (7815)***

Resource 7815, the Southern Pines neighborhood, is located west of the Cooper River, south of I-526 in North Charleston (see Figures 1.2, 3.1, 3.3, and 3.4). Resource 7815 covers 31 acres and is bounded by North Rhett Avenue to the west, Braddock Avenue to the south, and active railroads to the north and east. I-526 is visible from within the neighborhood. Southern Pines is located 0.8 mile southwest of the West Virginia Pulp and Paper Mill (7820) and 0.1 mile east of Oak Park West (7811).

Southern Pines is in the northeast quadrant of Park Circle, according to the North Charleston On-line Mapping Resource Neighborhood Map overlay. Park Circle denotes the eastern portion of Old North Charleston that was first designated for development by the North Charleston Company, which purchased the 1,516-acre tract from the Burton Lumber Company in 1911. Fick (1995:41) notes that the investors that made up the North Charleston Company were established leaders in Charleston, such as Burton Lumber Company executive Robert L. Montague, former Charleston mayor R. Goodwyn Rhett, and the city's chief engineer James O'Hear. W.B. Marquis of the landscape architecture firm P.J. Berckman's Company designed the unique layout that features eight main streets radiating out from the central landscape feature of Park Circle. Like most planned developments of its size at the time, Olde North Charleston witnessed numerous alterations to the original layout, but today still retains some of its key design features (Park Circle and the radiating avenues). Olde North Charleston was designed in part to provide housing for the growing numbers of military and civilian employees working at the Navy Yard, just two miles south. The Army Ordnance Depot and the Charleston Air Force Base are two other nearby military installations that contributed to population growth and development in North Charleston. Two important industrial operations, General Asbestos and Rubber Company (Garco) and West Virginia Pulp and Paper Company, played key roles in the demand for residential development in the area. Marquis' (1914) plat of the North Charleston subdivision shows that Southern Pines occupies lands once set aside as Block B and designated "factory sites." However, Sanders' (1953, 1959) development plats show Block B laid out as early as 1952 and referred to as Southern Pines by 1953. USGS (1958) aerial imagery and the USGS (1959) topographic map show the neighborhood developed over approximately 20 years, with the eastern half of the neighborhood the last to develop.

The architectural survey universe covers approximately 54.8 percent of Southern Pines. Southern Pines is comprised of approximately 60 percent Ranch and 30 percent Minimal Traditional houses and 10 percent commercial and institutional construction. Ranch houses are concentrated along Sherwood Street, Pittman Street, and Braddock Avenue. The majority of the Minimal Traditional houses are clustered on the western end of Camden Street. Many houses have non-original vinyl siding. Numerous garages, carports, and porches have been enclosed. There are signs of large-scale interior renovations. Figures 3.16 and 3.17

show examples of Ranch (7815.01) and Minimal Traditional (7815.02) houses in Southern Pines, indicating neighborhood-typical alterations such as enclosed garages, replacement windows, or vinyl siding. The commercial buildings are concentrated along North Rhett Avenue and are largely converted domestic buildings (see Figure 3.18 top). Pittman Street Baptist Church, constructed circa 1980, is located at the corner of Braddock Avenue and Pittman Street at 5105 Pittman Street (see Figure 3.18 bottom). There are no unifying features in the neighborhood such as streetscaping, landscaping, or architectural style; although there is a uniform setback which is set out in Sanders' (1959) plat. There is also evidence of modern infill construction. Figure 3.19 provides streetscape images of Southern Pines in August 2018.

We assessed Southern Pines (7815) with respect to NRHP Criteria A-D (see Section 2.5.2). Resource 7815 does not maintain integrity of materials, design, workmanship, or setting. It does not embody the distinct or unifying characteristics of a post-World War II planned neighborhood. Because of the lack of integrity and lack of distinctive or representative characteristics, Southern Pines is recommended not eligible for the NRHP. Resource 7815 and its associated individual architectural resources (7815.01 and 7815.02) require no additional management.

### ***West Virginia Pulp and Paper Mill (7820)***

Resource 7820 is the former West Virginia Pulp and Paper Mill, now owned and operated by WestRock. The mill began operation in July 1937 on a 500-acre site along the Cooper River. Today, the entire operation covers four CC parcels (50200000-05, -16, -34, and -35) across 424.7 acres north of I-526 and east of Virginia Avenue at 5600 Virginia Avenue in North Charleston (see Figures 3.1 and 3.3). Historically, the plant manufactured bleached paperboard and conducted research and development in chemistry and engineering (West Virginia Pulp and Paper Company 2000). West Virginia Pulp and Paper (which changed its name to WestVaco) added two additional paper-making machines in the mid-twentieth century. In 1996, in partnership with the SCANA Corporation, they built and operated a power plant at the mill and planned a new research and development center. In 2008, WestVaco (which merged with the Mead Corporation to become MeadWestvaco) sold the paper mill and associated assets to KapStone Paper and Packaging (Stock 2008). After the merger of MeadWestvaco and RockTenn in 2015, the new company WestRock acquired KapStone and the mill in 2018 (McDermott 2018).

The USGS (1958) aerial view of the West Virginia Pulp and Paper Mill, displayed in Figure 3.3, shows a series of rail lines, roadways, storage tanks, and seven rows of buildings to the northeast. The USGS (1959) topographic map shown in Figure 3.4 indicates the mill's infrastructure. Figure 3.20 presents views of Resource 7820. Modern aerial imagery indicates that the mill has expanded (see Figure 3.1). There are new storage tanks, new manufacturing buildings, large lots for container storage, and even a solar array. Of the seven rows of buildings present in 1958, only smaller sections of three remain. The roadways and rail lines remain largely intact.

We assessed the West Virginia Pulp and Paper Mill (Resource 7820) with respect to NRHP Criteria A-D (see Section 2.5.2). Very little historic material remains, and there is a large amount of modern construction. The resource no longer retains integrity of design, material, or feeling. Therefore, Resource 7820 is not eligible for the NRHP and requires no additional management.





Figure 3.16 Front elevation of Ranch at 1150 Sherwood Street (7815.01), showing neighborhood-typical alterations: enclosed garage, replacement windows, and vinyl siding.



Figure 3.17 Front elevation of Minimal Traditional at 1177 Camden Street (7815.02), showing neighborhood-typical alterations: replacement windows and siding and altered front porch.





Figure 3.18 North view on Rhett Avenue showing converted commercial buildings (top) and the southeast oblique of Pittman Street Baptist Church (bottom).





Figure 3.19 Streetscapes of Southern Pines: looking north on Pittman Street from Pittman Street and Braddock Avenue (top); looking west on Sherwood Street (bottom).





Figure 3.20 Views of Resource 7820 looking east from Virginia Avenue in August 2018 (top); McDermott's (2018) view of the mill looking northwest.

### **3.4 Summary and Management Recommendations**

A total of 12 individual historic architectural resources (Resources 1900.01-1900.05, 1158-1160, 1165-1167, and 7815.01), portions of three post-World War II neighborhoods (Resources 7808, 7811, and 7815), and one historic area (Resource 7820) are in the APE. These 16 cultural resources are recommended not eligible for the NRHP and require no additional management. However, if design plans change additional survey may be necessary.





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## **Appendix A**

### South Carolina Statewide Survey of Historic Properties Survey Forms

# Statewide Survey of Historic Properties

State Historic Preservation Office  
South Carolina Department of Archives and History  
8301 Parklane Road  
Columbia, SC 29223-4905 (803) 896-6100

Site No. 1900.01 Status U Revisit Yes

Quadrangle Name: North Charleston

Tax Map No.

## SURVEY FORM

### Identification

Historic Name:

Common Name:

Address/Location: 5435 Annette Street

City: North Charleston Vicinity of County: Charleston

Ownership: Private Category: Building Other:

Historical Use: Domestic

Current Use: Domestic

SHPO National Register  
Determination of Eligibility:

### Property Description

Other:

Construction Date: Construction:

Historic Core Shape: Exterior Walls:

Other: Foundation:

Commercial Form: Roof Shape:

Other: Roof Material:

Stories: Porch Shape:

Other: Porch Width:

Description/Significant Features:

Alterations (include date(s), if known):

A side-gable addition or enclosed carport is on the house's southern elevation. The front elevation includes replacement wooden entry door, and non-historic entrance awning, and applied shutters. Some windows are replacement windows.

Architect(s)/Builder(s):

## **Historical Information**

Historical Information:

Source(s) of Information:

City of North Charleston Historical and Architectural Survey, Fick (1995).

## **Digital Photo ID(s)**

File Name:

190001001

View:

Facing West

Other:

## **Program Management**

In Post-War Charleston Farms neighborhood in North Charleston. The boundary for Charleston Farms extends southeast from the intersection of Dutton and Sumner Avenues; northeast from the intersection of the CSX Railroad and one of its spurs; northwest from North Rhett Avenue and the I-526 on-ramp; and southwest from the intersection of North Rhett and Sumner Avenues.

Recorded by:  
DB/LEK

Organization:  
Brockington and Associates, Inc.

Date Recorded:  
02/20/2019



# Statewide Survey of Historic Properties

State Historic Preservation Office  
South Carolina Department of Archives and History  
8301 Parklane Road  
Columbia, SC 29223-4905 (803) 896-6100

Site No. 1900.02 Status U Revisit Yes

Quadrangle Name: North Charleston

Tax Map No. 471030014

## SURVEY FORM

### Identification

Historic Name:

Common Name:

Address/Location: 5436 Annette Street

City: North Charleston Vicinity of County: Charleston

Ownership: Private Category: Building Other:

Historical Use: Domestic

Current Use: Domestic

SHPO National Register  
Determination of Eligibility:

### Property Description

Other:

Construction Date: Construction:

Historic Core Shape: Exterior Walls: Weatherboard

Other: Foundation: Stuccoed masonry

Commercial Form: Roof Shape:

Other: Roof Material:

Stories: Porch Shape:

Other: Porch Width:

Description/Significant Features:

Resource 1900.02, built in 1950, is a one-story, wood-frame, side-gable Minimal Traditional dwelling set on a stuccoed masonry foundation. The house features some replacement windows, a composition-shingled roof, and weatherboard siding. The front elevation includes a metal awning over entry door and concrete stoop with iron railings at the entry bay. A rear shed addition flanks the building's northeastern end.

Alterations (include date(s), if known):

replacement windows

Architect(s)/Builder(s):

## **Historical Information**

Historical Information:

Source(s) of Information:

City of North Charleston Historical and Architectural Survey, Fick (1995).

## **Digital Photo ID(s)**

File Name:

190002001

View:

Facing East

Other:

## **Program Management**

in Post War Charleston Farms neighborhood in North Charleston. The boundary for Charleston Farms extends southeast from the intersection of Dutton and Sumner Avenues; northeast from the intersection of the CSX Railroad and one of its spurs; northwest from North Rhett Avenue and the I-526 on-ramp; and southwest from the intersection of North Rhett and Sumner Avenues.

Recorded by:  
DB/LEK

Organization:  
Brockington and Associates, Inc.

Date Recorded:  
02/20/2019

# Statewide Survey of Historic Properties

State Historic Preservation Office  
South Carolina Department of Archives and History  
8301 Parklane Road  
Columbia, SC 29223-4905 (803) 896-6100

Site No. 1900.03 Status U Revisit Yes

Quadrangle Name: North Charleston

Tax Map No. 471030015

## SURVEY FORM

### Identification

Historic Name:

Common Name:

Address/Location: 5442 Annette Street

City: North Charleston Vicinity of County: Charleston

Ownership: Private Category: Building Other:

Historical Use: Domestic

Current Use: Domestic

SHPO National Register  
Determination of Eligibility:

### Property Description

Other:

Construction Date: Construction:

Historic Core Shape: Exterior Walls:

Other: Foundation:

Commercial Form: Roof Shape: Gable, end-to-front

Other: Roof Material:

Stories: Porch Shape: Gable

Other: Porch Width: Over 1 bay but less than full façade

Description/Significant Features:

Resource 1900.03, built in 1951, is a one-story, wood-frame, front-gable Minimal Traditional dwelling set on a concrete-block foundation with asbestos shingle siding and composition shingle roof. The front gable porch is over 1 bay but less than full façade and includes metal porch supports. A side-gable addition flanks the cottage's southern end. The dwelling features six-over-six windows.



Alterations (include date(s), if known):

Architect(s)/Builder(s):

## **Historical Information**

Historical Information:

in Post WWII Charleston Farms neighborhood in North Charleston

Source(s) of Information:

City of North Charleston Historical and Architectural Survey, Fick (1995).

## **Digital Photo ID(s)**

File Name:

190003001

View:

Facing East

Other:

## **Program Management**

Recorded by:

DB/LEK

Organization:

Brockington and Associates, Inc.

Date Recorded:

02/20/2019

# Statewide Survey of Historic Properties

State Historic Preservation Office  
South Carolina Department of Archives and History  
8301 Parklane Road  
Columbia, SC 29223-4905 (803) 896-6100

Site No. 1900.04 Status U Revisit Yes

Quadrangle Name: North Charleston

Tax Map No. 471030018

## SURVEY FORM

### Identification

Historic Name:

Common Name:

Address/Location: 5456 Annette Street

City: North Charleston Vicinity of County: Charleston

Ownership: Private Category: Building Other:

Historical Use: Domestic

Current Use: Domestic

SHPO National Register  
Determination of Eligibility:

### Property Description

Other:

Construction Date: Construction:

Historic Core Shape: Exterior Walls:

Other: Foundation:

Commercial Form: Roof Shape:

Other: Roof Material:

Stories: Porch Shape: Gable

Other: Porch Width: Over 1 bay but less than full façade

Description/Significant Features:

Resource 1900.04, built in 1950, is a one-story, wood-frame, side-gable Minimal Traditional house set on a concrete-block foundation with asbestos shingle siding and composition shingle roofing material. A front-gable, over 1 bay but less than full façade, porch has wood porch supports. The front elevation includes 3-over-1-light, double hung sash, wood windows.

Alterations (include date(s), if known):

Architect(s)/Builder(s):

## **Historical Information**

Historical Information:

in Post WWII Charleston Farms neighborhood in North Charleston

Source(s) of Information:

City of North Charleston Historical and Architectural Survey, Fick (1995).

## **Digital Photo ID(s)**

File Name:

190004001

View:

Facing East

Other:

## **Program Management**

Recorded by:

DB/LEK

Organization:

Brockington and Associates, Inc.

Date Recorded:

02/20/2019

# Statewide Survey of Historic Properties

State Historic Preservation Office  
South Carolina Department of Archives and History  
8301 Parklane Road  
Columbia, SC 29223-4905 (803) 896-6100

Site No. 1900.05 Status U Revisit Yes

Quadrangle Name: North Charleston

Tax Map No. 471030019

## SURVEY FORM

### Identification

Historic Name:

Common Name:

Address/Location: 5460 Annette Street

City: North Charleston Vicinity of County: Charleston

Ownership: Private Category: Building Other:

Historical Use: Domestic

Current Use: Domestic

SHPO National Register  
Determination of Eligibility:

### Property Description

Other:

Construction Date: Construction:

Historic Core Shape: Exterior Walls:

Other: Foundation: Stuccoed masonry

Commercial Form: Roof Shape:

Other: Roof Material:

Stories: Porch Shape: Gable

Other: Porch Width: Over 1 bay but less than full façade

Description/Significant Features:

Resource 1900.05, built in 1950, is a one-story, wood-frame, side-gable Minimal Traditional cottage with front, over 1 bay but less than full façade, porch with wood porch supports. The house is clad in asbestos shingle siding and roofing material is composition shingle. The foundation is stuccoed masonry. The porch has been screened in and includes a wood balustrade, wood railing, and screened door. Windows on the front elevation are 3-over-1-light wood double hung sash.



Alterations (include date(s), if known):

The porch has been screened in and includes a wood balustrade, wood railing, and screened door. Non-historic shutters have been added to the front elevation.

Architect(s)/Builder(s):

### **Historical Information**

Historical Information:

in Post WWII Charleston Farms neighborhood in North Charleston. The boundary for Charleston Farms extends southeast from the intersection of Dutton and Sumner Avenues; northeast from the intersection of the CSX Railroad and one of its spurs; northwest from North Rhett Avenue and the I-526 onramp; and southwest from the intersection of North Rhett and Sumner Avenues.

Source(s) of Information:

City of North Charleston Historical and Architectural Survey, Fick (1995).

### **Digital Photo ID(s)**

File Name:

190005001

View:

Facing Northeast

Other:

### **Program Management**

Recorded by:

DB/LEK

Organization:

Brockington and Associates, Inc.

Date Recorded:

02/20/2019

**Statewide Survey of Historic Properties**  
**State Historic Preservation Office**  
**South Carolina Department of Archives and History**  
**8301 Parklane Road**  
**Columbia, SC 29223-4905    (803) 896-6100**

U    /    7808

Status    Site No.

Revisit: ☐

Quadrangle Name:    North Charleston

Tax Map No.:    Multiple

**Survey Form**

**Identification**

Historic Name:    Charleston Farms

Common Name:    Charleston Farms South

Address/Location:    North Charleston

City:    North Charleston    Vicinity of ☐    County:    Charleston

Ownership:    Private    Category:    District

Historical Use:    Domestic    Historical Use (if Other):

Current Use:    Domestic    Current Use (if Other):

SHPO National Register Determination of Eligibility:

**Property Description**

Construction Date:    c. 1950    Construction (if Other):

Construction:    Historic Core Shape (if Other):

Historic Core Shape:    Exterior Walls (if Other):

Exterior Walls:    Foundation (if Other):

Foundation:    Commercial Form (if Other):

Commercial Form:    Roof Shape (if Other):

Roof Shape:    Roof Materials (if Other):

Roof Materials:    Stories (if Other):

Stories:    Porch Width (if Other):

Porch Width:    Porch Shape (if Other):

Porch Shape:

Description/Significant Features:

Alterations (include date(s), if known

Architect(s)/Builder(s):

**Historical Information**

Historical Information:

Source of Information:

**Digital Photo ID(s):**

Digital Photo ID 01: 07808001  
View 01                  Facing Northeast

Digital Photo ID 02: 07808002  
View 02                  Facing East

Digital Photo ID 03:  
View 03

Digital Photo ID 04:  
View 04

Digital Photo ID 05:  
View 05

Digital Photo ID 06:  
View 06

Digital Photo ID 07:  
View 07

Digital Photo ID 08:  
View 08

Digital Photo ID 09:  
View 09

Digital Photo ID 10:  
View 10

**Program Management**

Recorded by:     DB  
Date Recorded:   11/15/2018

Organization:   Brockington

**Statewide Survey of Historic Properties**  
**State Historic Preservation Office**  
**South Carolina Department of Archives and History**  
**8301 Parklane Road**  
**Columbia, SC 29223-4905    (803) 896-6100**

U    /    7811

Status    Site No.

Quadrangle Name:    Ladson

Tax Map No.:    Multiple

Revisit: ☐

**Survey Form**

**Identification**

Historic Name:    Oak Park

Common Name:    Oak Park West

Address/Location:    North Charleston

City:    North Charleston    Vicinity of ☐    County:    Charleston

Ownership:    Private    Category:    District

Historical Use:    Domestic    Historical Use (if Other):

Current Use:    Domestic    Current Use (if Other):

SHPO National Register Determination of Eligibility:

**Property Description**

Construction Date:    c. 1950

Construction:    Construction (if Other):

Historic Core Shape:    Historic Core Shape (if Other):

Exterior Walls:    Exterior Walls (if Other):

Foundation:    Foundation (if Other):

Commercial Form:    Commercial Form (if Other):

Roof Shape:    Roof Shape (if Other):

Roof Materials:    Roof Materials (if Other)

Stories:    Stories (if Other):

Porch Width:    Porch Width (if Other):

Porch Shape:    Porch Shape (if Other)

Description/Significant Features:

Alterations (include date(s), if known

Architect(s)/Builder(s):



**Historical Information**

Historical Information:

Source of Information:

**Digital Photo ID(s):**

Digital Photo ID 01: 07811003

View 01                  Facing Northeast

Digital Photo ID 02: 07811004

View 02                  Facing Southeast

Digital Photo ID 03: 07811005

View 03                  Facing Northeast

Digital Photo ID 04:

View 04

Digital Photo ID 05:

View 05

Digital Photo ID 06:

View 06

Digital Photo ID 07:

View 07

Digital Photo ID 08:

View 08

Digital Photo ID 09:

View 09

Digital Photo ID 10:

View 10

**Program Management**

Recorded by:     DB

Date Recorded:   11/15/2018

Organization:   Brockington

**Statewide Survey of Historic Properties**  
**State Historic Preservation Office**  
**South Carolina Department of Archives and History**  
**8301 Parklane Road**  
**Columbia, SC 29223-4905 (803) 896-6100**

U / 7815  
Status Site No.  
Quadrangle Name: Charleston  
Tax Map No.: multiple

Revisit: ☐

## Survey Form

### Identification

Historic Name: Southern Pines  
Common Name: Southern Pines  
Address/Location: North Rhett Ave to Braddock Ave to Pittman Street to Sherwood Street  
City: North Charleston Vicinity of ☐ County: Charleston

Ownership: Private Category: District  
Historical Use: Domestic Historical Use (if Other):  
Current Use: Domestic Current Use (if Other):

SHPO National Register Determination of Eligibility:

### Property Description

Construction Date: c. 1950  
Construction: Frame Construction (if Other):  
Historic Core Shape: rectangular Historic Core Shape (if Other):  
Exterior Walls: Exterior Walls (if Other):  
Foundation: Foundation (if Other):  
Commercial Form: Commercial Form (if Other):  
Roof Shape: Roof Shape (if Other):  
Roof Materials: Roof Materials (if Other):  
Stories: 1 story Stories (if Other):  
Porch Width: Porch Width (if Other):  
Porch Shape: Porch Shape (if Other):

Description/Significant Features: This c. 1950 neighborhood is comprised of approximately 60 percent ranch houses, 30 percent minimal traditional and 10 percent commercial and institutional construction. The commercial buildings are concentrated along North Rhett Avenue and are largely converted domestic buildings. Pittman Street Baptist Church, constructed c. 1980, is located at the corner of Braddock Avenue and Pittman Street at 5105 Pittman Street.

Alterations (include date(s), if known) Many houses have non-original vinyl siding. Numerous garages, carports and porches have been infilled. There are signs of large-scale interior renovations. Some houses have been converted into commercial buildings, particularly along Rhett Avenue. There are several modern, infilled constructions.

Architect(s)/Builder(s):

**Historical Information**

Historical Information: 1958 Plat (Book H, page 147) of Southern Pines.

Source of Information:

**Digital Photo ID(s):**

Digital Photo ID 01: 07815001  
View 01 Facing North

Digital Photo ID 02: 07815002  
View 02 Facing West

Digital Photo ID 03:  
View 03

Digital Photo ID 04:  
View 04

Digital Photo ID 05:  
View 05

Digital Photo ID 06:  
View 06

Digital Photo ID 07:  
View 07

Digital Photo ID 08:  
View 08

Digital Photo ID 09:  
View 09

Digital Photo ID 10:  
View 10

**Program Management**

Recorded by: Rachel Bragg  
Date Recorded: 08/2018

Organization: Brockington and Associates

**Statewide Survey of Historic Properties**  
**State Historic Preservation Office**  
**South Carolina Department of Archives and History**  
**8301 Parklane Road**  
**Columbia, SC 29223-4905 (803) 896-6100**

U / 7815.01  
Status Site No.  
Quadrangle Name: Charleston  
Tax Map No.: 4710800100

Revisit: ☐

## Survey Form

### Identification

Historic Name: Southern Pines  
Common Name: Southern Pines  
Address/Location: 1150 Sherwood St

City: North Charleston Vicinity of ☐ County: Charleston

Ownership: Private Category: District  
Historical Use: Domestic Historical Use (if Other):  
Current Use: Domestic Current Use (if Other):

SHPO National Register Determination of Eligibility:

### Property Description

Construction Date: c. 1955  
Construction: Frame Construction (if Other):  
Historic Core Shape: rectangular Historic Core Shape (if Other):  
Exterior Walls: brick Exterior Walls (if Other):  
Foundation: slab construction Foundation (if Other):  
Commercial Form: Commercial Form (if Other):  
Roof Shape: Gable, lateral Roof Shape (if Other):  
Roof Materials: Composition shingle Roof Materials (if Other):  
Stories: 1 story Stories (if Other):  
Porch Width: Over 1 bay but less than full Porch Width (if Other):  
Porch Shape: Gable Porch Shape (if Other):

Description/Significant Features: c.1955 ranch with a lateral gabled roof and a front gabled porch supported by square synthetic columns. Roof is clad in composition shingles, the house in brick. The replacement windows are one-over-one, double hung vinyl, surrounded by decorative shutters

Alterations (include date(s), if known Non-original siding, windows, or doors. Front porch has been altered.

Architect(s)/Builder(s):



**Historical Information**

Historical Information: 1958 Plat (Book H, page 147) of Southern Pines.

Source of Information:

**Digital Photo ID(s):**

Digital Photo ID 01: 7815003  
View 01 Facing North

Digital Photo ID 02:  
View 02

Digital Photo ID 03:  
View 03

Digital Photo ID 04:  
View 04

Digital Photo ID 05:  
View 05

Digital Photo ID 06:  
View 06

Digital Photo ID 07:  
View 07

Digital Photo ID 08:  
View 08

Digital Photo ID 09:  
View 09

Digital Photo ID 10:  
View 10

**Program Management**

Recorded by: Rachel Bragg  
Date Recorded: 8/2018

Organization: Brockington

**Statewide Survey of Historic Properties**  
**State Historic Preservation Office**  
**South Carolina Department of Archives and History**  
**8301 Parklane Road**  
**Columbia, SC 29223-4905 (803) 896-6100**

U / 7815.02

Revisit: ☐

Status Site No.

Quadrangle Name: Charleston

Tax Map No.: 4710800026

## Survey Form

### Identification

Historic Name: Southern Pines

Common Name: Southern Pines

Address/Location: 1177 Camden St

City: North Charleston

Vicinity of ☐

County: Charleston

Ownership: Private

Category: District

Historical Use: Domestic

Historical Use (if Other):

Current Use: Domestic

Current Use (if Other):

SHPO National Register Determination of Eligibility:

### Property Description

Construction Date: c. 1955

Construction: Frame

Construction (if Other)

Historic Core Shape: rectangular

Historic Core Shape (if Other):

Exterior Walls: synthetic siding

Exterior Walls (if Other):

Foundation: concrete block

Foundation (if Other):

Commercial Form:

Commercial Form (if Other):

Roof Shape: Gable, lateral

Roof Shape (if Other) Front projecting gable

Roof Materials: Composition shingle

Roof Materials (if Other)

Stories: 1 story

Stories (if Other):

Porch Width: Entrance bay only

Porch Width (if Other):

Porch Shape: Gable

Porch Shape (if Other)

Description/Significant Features: c.1955 minimal traditional house with a lateral gabled roof and a front projecting gable. Roof is clad in composition shingles, the house in synthetic siding. The replacement windows are one-over-one, double hung vinyl, surrounded by decorative shutters. There is a central chimney in the roof's apex.

Alterations (include date(s), if known) Non-original siding, windows, or doors. Front porch has been altered.

Architect(s)/Builder(s):

**Historical Information**

Historical Information: 1958 Plat (Book H, page 147) of Southern Pines.

Source of Information:

**Digital Photo ID(s):**

Digital Photo ID 01: 7815004  
View 01 Facing North

Digital Photo ID 02:  
View 02

Digital Photo ID 03:  
View 03

Digital Photo ID 04:  
View 04

Digital Photo ID 05:  
View 05

Digital Photo ID 06:  
View 06

Digital Photo ID 07:  
View 07

Digital Photo ID 08:  
View 08

Digital Photo ID 09:  
View 09

Digital Photo ID 10:  
View 10

**Program Management**

Recorded by: R. Bragg  
Date Recorded: 8/2018

Organization: Brockington

**Statewide Survey of Historic Properties**  
**State Historic Preservation Office**  
**South Carolina Department of Archives and History**  
**8301 Parklane Road**  
**Columbia, SC 29223-4905 (803) 896-6100**

U / 7820  
Status Site No.  
Quadrangle Name: Charleston  
Tax Map No.: 5020000034

Revisit: ☐

## Survey Form

### Identification

Historic Name: West Virginia Pulp and Paper Plant  
Common Name: West Rock  
Address/Location: 5600 Virginia Avenue

City: Mount Pleasant Vicinity of ☐ County: Charleston

Ownership: Private Category: District  
Historical Use: Commercial Historical Use (if Other):  
Current Use: Commercial Current Use (if Other):

SHPO National Register Determination of Eligibility:

### Property Description

Construction Date: 1937  
Construction: Steel Construction (if Other):  
Historic Core Shape: Historic Core Shape (if Other):  
Exterior Walls: Exterior Walls (if Other):  
Foundation: Foundation (if Other):  
Commercial Form: Commercial Form (if Other):  
Roof Shape: Roof Shape (if Other):  
Roof Materials: Roof Materials (if Other):  
Stories: other Stories (if Other):  
Porch Width: Porch Width (if Other):  
Porch Shape: Porch Shape (if Other):

Description/Significant Features: West Virginia Pulp and Paper Plant (Plant) in 1957. The image shows a series of The plant was historically (as of 1957 aerial) rail lines, roadways, storage tanks and seven (7) rows of buildings to the north east. The plant has expanded. There are new storage tanks, new manufacturing buildings, and large lots for container storage. Of the seven rows of buildings present in 1957, only smaller sections of three (3) remain. The roadways and rail lines remain largely intact.

Alterations (include date(s), if known) Very little historic material remains, and there is a large amount of modern construction. The resource no longer retains integrity of design, material, or feeling.

Architect(s)/Builder(s):



**Historical Information**

Historical Information: West Virginia Pulp and Paper, Resource 7818, began operation in July 1937 on a five hundred-acre site along the Cooper River. Today it is north of I-526 and east of Virginia Avenue at 5600 Virginia Avenue in North Charleston. Historically, the plant manufactured bleached paperboard and conducted research and development in chemistry and engineering. West Virginia Pulp and Paper (which changed its name to Westvaco) added two additional paper-making machines in the mid-20th century. In 1996, in partnership with Scana Corp., they built and operated a power plant at the mill and planned a new research and development center. In 2008, Westvaco (which merged with Mead Corp to become MeadWestvaco) sold the paper mill and associated assets to KapStone Paper and Packaging. In 2018, the plant was again sold, this time to West Rock Co.

Source of Information: South Carolina Historical Society, Post and Courier

**Digital Photo ID(s):**

Digital Photo ID 01: 07820001  
View 01 Facing East

Digital Photo ID 02:  
View 02

Digital Photo ID 03:  
View 03

Digital Photo ID 04:  
View 04

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Digital Photo ID 09:  
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Digital Photo ID 10:  
View 10

**Program Management**

Recorded by: Rachel Bragg  
Date Recorded: 08/2018

Organization: Rachel Bragg

June 18, 2019

Joseph E. Wilkinson  
Review Coordinator for Transportation Projects  
State Historic Preservation Office  
South Carolina Department of Archives & History  
8301 Parklane Road  
Columbia, South Carolina 29223-4905

Re: ***Brockington and Associates' 1.) Cultural Resource Survey of the I-526 Corridor Improvements Project & 2.) Cultural Resource Survey of the I-526 Lowcountry Corridor West Project—Addendum Report, Charleston County, SCDOT PIN P027507***

Dear Mr. Wilkinson:

The SCDOT proposes to improve I-526 from SC Route (SC-) 461 (Paul Cantrell Boulevard) to the SC-61 Spur (Glenn McConnell Parkway). Improvements along I-26 extend from West Montague Avenue west to Remount Road. The project may include adding a travel lane in each direction along I-526; interchange improvements at Leeds Avenue, SC-642 (Dorchester Road), West Montague Avenue, International Boulevard, and Paul Cantrell Boulevard; and the system-to-system connections at Glenn McConnell Parkway, I-26, and Rivers Avenue. Interchange improvements along I-26 may include West Montague Avenue. Improvements are also to be evaluated along Paul Cantrell Boulevard from S- 10-1373 (Tobias Gadson Boulevard) to Charlie Hall Boulevard. This segment of Paul Cantrell Boulevard includes the intersection of S-10-1863 (Magwood Drive), which will be evaluated for a grade separation to accommodate future traffic volumes.

The two cultural resources reports referenced above cover the full Area of Potential Effect (APE) for the proposed project. This correspondence addresses the combined results of those two reports and therefore the entirety of the project APE. The purpose of this correspondence is only to establish National Register of Historic Places (NRHP) eligibility for cultural resources documented as part of the subject surveys. Additional Section 106 coordination to determine project effects upon cultural resources will be initiated when a preferred alignment for the project is developed.

Archaeological investigations for the project revisited one (1) previously identified archaeological site (38CH17) and identified one new site (38CH2523). Neither of these sites is recommended eligible for the NRHP. Underwater archaeological survey was also conducted within the project APE, and two anomalies (006-1 and 010-1) were identified. Anomaly 006-1 is recommended eligible for the NRHP. Anomaly 010-1 is recommended as not eligible for the NRHP.

The historic architectural survey identified several survey-eligible neighborhoods, individual resources, and landscape features within the APE (refer to attached reports for specifics). Only one (1) aboveground resource identified in the studies (site 7806, Bethune Elementary) is recommended eligible for the NRHP. Other aboveground resources documented in the reports are recommended (or previously recommended) as NRHP-eligible but do not fall within the project APE as currently defined.



**Please provide your concurrence with or comment on the eligibility findings of the two subject reports.**

In accordance the memorandum of agreement approved by the Federal Highway Administration (FHWA), November 29, 2011, SCDOT is providing this information as agency official designee, as defined under 36 CFR 800.2, to ensure compliance with Section 106 of the National Historic Preservation Act.

It is requested that you review the enclosed material and, if appropriate, indicate your concurrence with SCDOT findings. Please respond within 30 days if you have any objections or if you have need of additional information.

Sincerely,



David P. Kelly  
NEPA Coordinator, RPG 4

DPK:dk

Enclosures: Cultural resources reports, aboveground survey forms, photographs

I (do not) concur in the above determinations.

Signed: \_\_\_\_\_ Date: \_\_\_\_\_

ec: Shane Belcher, FHWA  
LeeAnne Wendt, Muscogee (Creek) Nation  
Brett Barnes, Eastern Shawnee

cc: Wenonah G. Haire, Catawba Nation THPO  
Keith Derting, SCIAA

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Brockington and Associates'

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& 2.) Cultural Resource Survey of the I-526 Lowcountry Corridor West Project—Addendum Report,  
Charleston County, SCDOT PIN P027507

