

Schedule "A"

**CARLETON CONDOMINIUM CORPORATION NO. 272**

**BY-LAW NO.10**

BE IT ENACTED as By-Law No. 10 (being a By-Law respecting common element modifications) of CARLETON CONDOMINIUM CORPORATION NO. 272 (hereinafter referred to as the "Corporation") as follows:

**ARTICLE I  
DEFINITIONS**

All words used herein which are defined in the *Condominium Act, 1998*, as amended, or any successor thereto (the "Act"), shall have ascribed to them the meanings as set out in the Act.

**ARTICLE II  
AMENDMENTS TO BY-LAW NO. 4**

By-law No. 4 of the Corporation (as amended by By-law No. 8) is hereby further amended by adding thereto the following articles:

Articles III (17), (18) and (19):

- "(17) Installation of an additional window in unit No. 24, in the location indicated on the sketch attached hereto as Schedule "X";
- (18) Installation of an additional window in unit No. 48, in the location indicated on the sketch attached hereto as Schedule "Y";
- (19) Installation of two additional windows in unit No. 47, in the location indicated on the sketch attached hereto as Schedule "Z".

**NOTE: No other windows may be added, whether or not in similar locations for other units, without a separate amendment to this by-law or separate approval in accordance with Section 98 of the Act."**

Article IV (12):

"(12) The modification shall be owned by the unit owner."

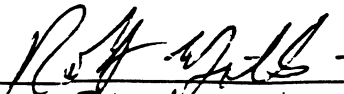
**ARTICLE III  
MISCELLANEOUS**

- (1) **Invalidity:** The invalidity of any part of this By-Law shall not impair or affect in any manner the validity and enforceability or effect of the balance thereof.
- (2) **Waiver:** No restriction, condition, obligation or provision contained in this By-Law shall be deemed to have been abrogated or waived by reason of any failure to enforce the same irrespective of the number of violations or breaches thereof which may occur.
- (3) **Headings:** The headings in the body of this By-Law form no part thereof but shall be deemed to be inserted for convenience of reference only.
- (4) **Alterations:** This By-Law or any part thereof may be varied, altered or repealed by a By-Law passed in accordance with the provisions of the Act, and the Declaration.

The foregoing By-Law is hereby passed by the Directors and confirmed by the owners pursuant to the Condominium Act of Ontario.

DATED this 22<sup>nd</sup> day of June, 2004.

CARLETON CONDOMINIUM CORPORATION NO. 272

  
Name: Robert Mills  
Title: President  
I have authority to bind the Corporation.

N:\REC\C\CCC272\By-laws\bylaw 10 amend bylaw 4 2004 may 14.doc

© All rights reserved.

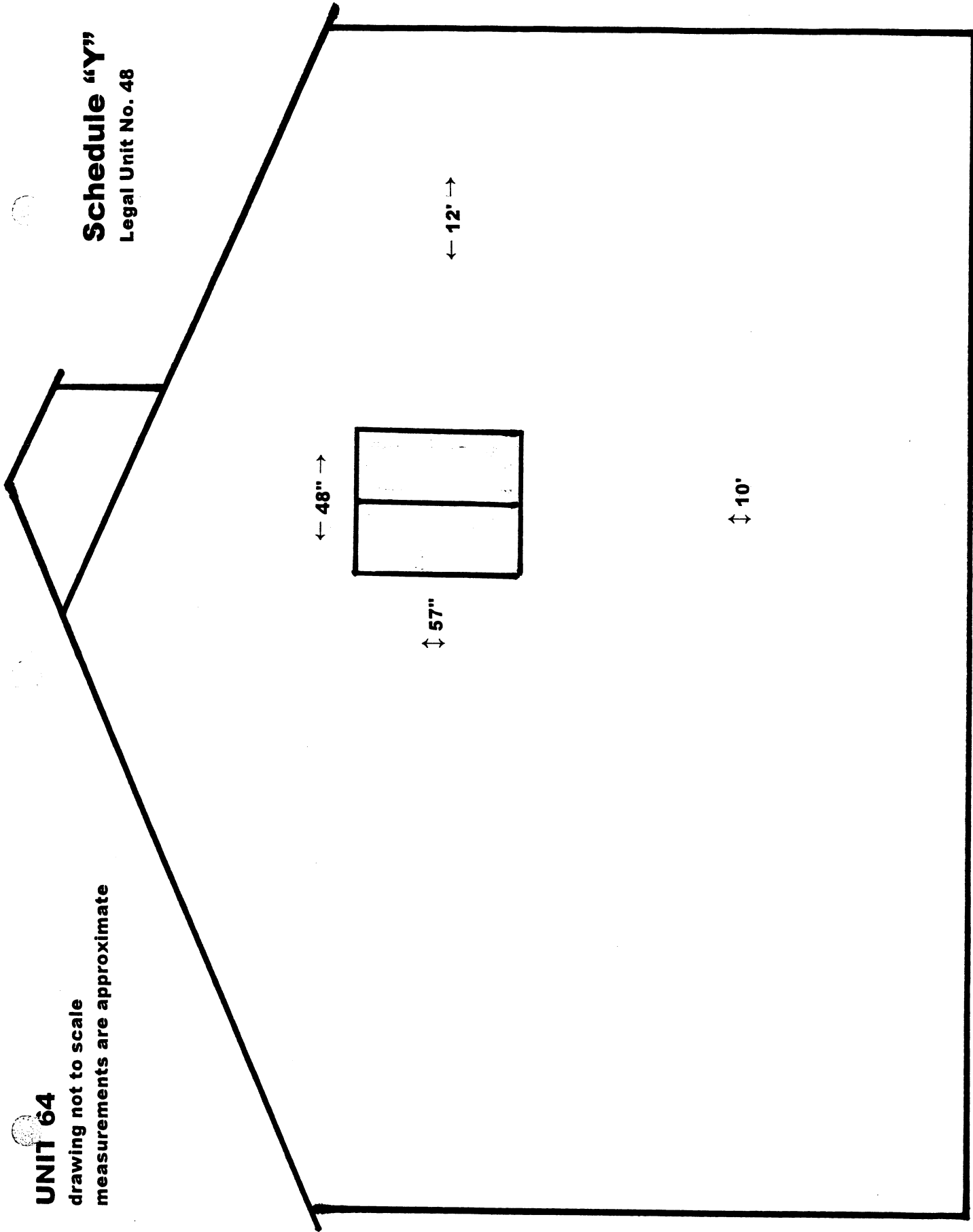
This document was prepared by Nelligan O'Brien Payne LLP for CCC #272 based on a thorough review of all relevant documentation and the specific circumstances of this condominium. This document may not be appropriate for another condominium.

Please note: The form from which this document was prepared is regularly revised and updated.

**UNIT 64**

drawing not to scale  
measurements are approximate

**Schedule "Y"**  
Legal Unit No. 48



**UNIT 93**

drawing not to scale  
measurements are approximate

**Schedule "Z"**

Legal Unit No. 47

