



Home Inspection Report

John Doe

Property Address:
123 Main Street
Fredericksburg VA 22401



ABI Home Inspections

**Shannon Lewis
PO Box 244
Lively, VA 22507
(804) 724-4468**

**Virginia Licensed Home Inspector #3380000749 (NRS)
License expires 9/30/2018
ASHI Certified Inspector #259232**

Summary



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Fredericksburg VA 22401

The following items or discoveries indicate that these systems or components **do not function as intended** or **adversely affects the habitability of the dwelling**; or **warrants further investigation by a specialist**, or **requires subsequent observation**. This summary shall not contain recommendations for routine upkeep of a system or component to keep it in proper functioning condition or recommendations to upgrade or enhance the function or efficiency of the home. This Summary is not the entire report. The complete report may include additional information of concern to the customer. It is recommended that the customer read the complete report.

2. Exterior

2.1 Exterior doors

Repair or Replace

Rear door did not easily close to allow for proper function of the deadbolt. Weatherstripping at hinge side of door may be obstructing the door from closing properly, but further evaluation by a qualified carpenter is recommended.



2.1 Item 1

3. Roofing

3.0 Roofing materials

Repair or Replace

(1) Two ridge shingles were torn. Shingles should be replaced or the tears should be sealed. Repair by a qualified roofer is recommended.



3.0 Item 1



3.0 Item 2

(2) Roofs made of asphalt shingles last for about twenty years.

4. Plumbing

4.4 Fuel storage and fuel distribution systems

Inspected

The fuel distribution system is composed of Corrugated Stainless Steel Tubing (CSST). For homes built before May 1, 2008, the Commonwealth of Virginia requires home inspectors to provide clients with the following statement:

Manufacturers believe that this product is safer if properly bonded and grounded as required by the manufacturer's installation instructions. Proper bonding and grounding of the product should be determined by a contractor licensed to perform the work in the Commonwealth of Virginia.



4.4 Item 1 CSST

7. Interiors

7.3 Doors and windows (representative number)

Repair or Replace

(1) Two front casement windows would not open. This may be due to overpainting. Repair by a qualified carpenter is recommended.

(2) Master bedroom door did not close properly due to the door jamb being out of square. A settlement crack was observed along the wall at the corner of the door. It appears that the home experienced some settlement in this area but no evidence of any structural defects were found. Further evaluation by a qualified carpenter is recommended.



7.3 Item 1

Home inspectors are not required to report on the following: Life expectancy of any component or system; The causes of the need for a repair; The methods, materials, and costs of corrections; The suitability of the property for any specialized use; Compliance or non-compliance with codes, ordinances, statutes, regulatory requirements or restrictions; The market value of the property or its marketability; The advisability or inadvisability of purchase of the property; Any component or system that was not observed; The presence or absence of pests such as wood damaging organisms, rodents, or insects; or Cosmetic items, underground items, or items not permanently installed. Home inspectors are not required to: Offer warranties or guarantees of any kind; Calculate the strength, adequacy, or efficiency of any system or component; Enter any area or perform any procedure that may damage the property or its components or be dangerous to the home inspector or other persons; Operate any system or component that is shut down or otherwise inoperable; Operate any system or component that does not respond to normal operating controls; Disturb insulation, move personal items, panels, furniture, equipment,

plant life, soil, snow, ice, or debris that obstructs access or visibility; Determine the presence or absence of any suspected adverse environmental condition or hazardous substance, including but not limited to mold, toxins, carcinogens, noise, contaminants in the building or in soil, water, and air; Determine the effectiveness of any system installed to control or remove suspected hazardous substances; Predict future condition, including but not limited to failure of components; Since this report is provided for the specific benefit of the customer(s), secondary readers of this information should hire a licensed inspector to perform an inspection to meet their specific needs and to obtain current information concerning this property.

Prepared Using HomeGauge <http://www.HomeGauge.com> : Licensed To Shannon Lewis

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Date: 3/2/2018		Start time: 01:30 PM
Report ID: Sample_3-2-18		End time: 03:30 PM
Property: 123 Main Street Fredericksburg VA 22401	Customer: John Doe	Real Estate Agent: John Agent ABC Realty

Inspection Item Key and Definitions

Inspected (IN) = The system or component was examined per the ASHI Standard of Practice, using normal operating controls and by opening readily openable access panels, where applicable. The system or component was visually observed and if no other comments were made then it appeared to be functioning as intended at the time of inspection.

Not Inspected (NI) = The system or component was not inspected and is excluded from this report. Inspector should state a reason for not inspecting.

Not Present (NP) - The system or component is not present in the home.

Repair or Replace (RR) - The system or component was not functioning as intended at time of inspection and needs further evaluation by the appropriate, qualified contractor. Systems or components that can be repaired to satisfactory condition may not need replacement.

In attendance:

Client, Agent

Occupancy:

Occupied, furnished, stored personal items,
Views obscured by stored personal items,
Access to some items such as electrical
receptacles, windows, walls, floors, closets
and cabinet interiors was restricted by
furniture or personal belongings. Any such
items are excluded from the inspection.

Utilities:

Electric - ON, Water - ON, Natural gas - ON

Approximate age of building:

15 years (2003)

Temperature:

Low 50s

Weather:

Clear, windy

1. Structural Components

The inspector shall inspect: structural components including the foundation and framing. **The inspector shall describe:** the methods used to inspect under-floor crawlspaces and attics; the foundation; the floor structure; the wall structure; the ceiling structure; the roof structure. **The inspector is NOT required to:** provide engineering or architectural services or analysis; offer an opinion about the adequacy of structural systems and components; enter under-floor crawlspace areas that have less than 24 inches of vertical clearance between components and the ground or that have an access opening smaller than 16 inches by 24 inches; traverse attic load-bearing components that are concealed by insulation or other materials.



Attic view



Ceiling structure



Attic view



Attic view



Crawlspace view, floor structure view

Description

Method used to inspect crawlspace: Entered	Method used to inspect attic: Knee wall attic spaces were entered Attic areas above second floor ceiling were not accessible	Foundation: Masonry block
Floor structure: Engineered, I-joists	Wall structure: Wood frame	Ceiling structure: Engineered, I-joists
Roof structure: Rafters Knee walls		

		IN	NI	NP	RR
1.0	Structural components including the foundation and framing	•			
IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace		IN	NI	NP	RR

2. Exterior

The inspector shall inspect: wall coverings, flashings, and trim; exterior doors; attached and adjacent decks, balconies, stoops, steps, porches, and their associated railings; eaves, soffits, and fascias where accessible from the ground level; vegetation, grading, surface drainage, and retaining walls that are likely to adversely affect the building; adjacent and entryway walkways, patios, and driveways. *The inspector shall describe:* wall coverings. *The inspector is NOT required to inspect:* screening, shutters, awnings, and similar seasonal accessories; fences, boundary walls, and similar structures; geological and soil conditions; recreational facilities; outbuildings other than garages and carports; seawalls, break-walls, and docks; erosion control and earth stabilization measures.



Description

Wall coverings (siding):
Cement-Fiber
Masonry

		IN	NI	NP	RR
2.0	Wall coverings, flashing, and trim	•			
2.1	Exterior doors				•
2.2	Attached and adjacent decks, balconies, stoops, steps, porches, and their associated railings	•			
2.3	Eaves, soffits, and fascias where accessible from the ground level	•			
2.4	Vegetation, grading, surface drainage, and retaining walls that may affect the building	•			
2.5	Adjacent and entryway walkways, patios, and driveways	•			
IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace		IN	NI	NP	RR

Comments:

2.1 Rear door did not easily close to allow for proper function of the deadbolt. Weatherstripping at hinge side of door may be obstructing the door from closing properly, but further evaluation by a qualified carpenter is recommended.



2.1 Item 1

3. Roofing

The inspector shall inspect: roofing materials, roof drainage systems, flashing, skylights, chimneys, and roof penetrations. *The inspector shall describe:* roofing materials and the methods used to inspect the roofing. *The inspector is NOT required to:* walk on the roofing, inspect antennas, other installed accessories, or interiors of vent systems, flues, and chimneys that are not readily accessible.





Description

Roofing Materials:
Architectural
Asphalt/fiberglass

Methods used to inspect roofing:
Mounted and walked roof

Estimated Age of Roof:
Ten to fifteen years

		IN	NI	NP	RR
3.0	Roofing materials				•
3.1	Roof drainage systems	•			
3.2	Flashing	•			
3.3	Skylights			•	
3.4	Chimneys			•	
3.5	Roof penetrations	•			

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace

INNI NP RR

Comments:

3.0 (1) Two ridge shingles were torn. Shingles should be replaced or the tears should be sealed. Repair by a qualified roofer is recommended.



3.0 Item 1



3.0 Item 2

3.0 (2) Roofs made of asphalt shingles last for about twenty years.

4. Plumbing

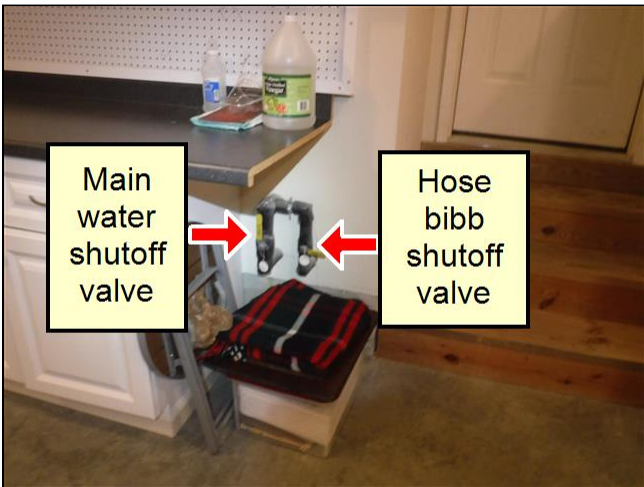
The inspector shall inspect: interior water supply and distribution systems, including fixtures and faucets; interior drain, waste, and vent systems including fixtures; water heating equipment and hot water supply systems; vent systems, flues, and chimneys; fuel storage and fuel distribution systems; sewage ejectors, sump pumps, and related piping. **The inspector shall describe:** interior water supply, drain, waste, and vent piping materials; water heating equipment including energy source(s); location of main water and fuel shut-off valves. **The inspector is NOT required to inspect:** clothes washing machine connections; interiors of vent systems, flues, and chimneys that are not readily accessible; wells, well pumps, and water storage related equipment; water conditioning systems; solar, geothermal, and other renewable energy water heating systems; manual and automatic fire extinguishing and sprinkler systems and landscape irrigation systems; septic and other sewage disposal systems. The inspector is not required to determine: whether water supply and sewage disposal are public or private; water quality; the adequacy of combustion air components. The inspector is not required to measure water supply flow and pressure, and well water quantity. The inspector is not required to fill shower pans and fixtures to test for leaks.



Natural gas meter



Tankless water heater



Description

Water source:

Public

Water heater location:

Garage

WH manufacturer:

RINNAI

Manufacture date : 2014

Water supply piping materials:

Copper

Water heater capacity:

Tankless

Main water shut-off valve:

Garage

DWV piping materials:

PVC

Water heater energy source:

Natural gas

Main fuel shut-off valve:

At meter

Fuel supply piping materials:

Corrugated Stainless Steel Tubing (CSST), pre-5/1/2008

Black iron

		IN	NI	NP	RR
4.0	Water supply and distribution systems, fixtures and faucets	•			
4.1	Drain, waste and vent systems, fixtures	•			
4.2	Water heating equipment and hot water supply systems	•			
4.3	Vent systems, flues, and chimneys	•			
4.4	Fuel storage and fuel distribution systems	•			
4.5	Sewage ejectors, sump pumps, and related piping			•	

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace

INNI NP RR

Comments:

4.2 The life expectancy of a tankless water heater is 20+ years.

4.4 The fuel distribution system is composed of Corrugated Stainless Steel Tubing (CSST). For homes built before May 1, 2008, the Commonwealth of Virginia requires home inspectors to provide clients with the following statement: *Manufacturers believe that this product is safer if properly bonded and grounded as required by the manufacturer's installation instructions. Proper bonding and grounding of the product should be determined by a contractor licensed to perform the work in the Commonwealth of Virginia.*



4.4 Item 1 CSST

5. Electrical

The inspector shall inspect: service drop; service entrance conductors, cables, and raceways; service equipment and main disconnects; service grounding; interior components of service panels and subpanels; conductors; overcurrent protection devices; a representative number of installed lighting fixtures, switches, and receptacles; ground fault circuit interrupters and arc fault circuit interrupters. **The inspector shall describe:** amperage rating of the service; location of the main disconnect(s) and subpanels; presences or absence of smoke alarms and carbon monoxide alarms; the predominant branch circuit wiring method. **The inspector is NOT required to inspect:** remote control devices; or test smoke and carbon monoxide alarms, security systems, and other signaling and warning devices; low voltage wiring systems and components; ancillary wiring systems and components not a part of the primary electrical power distribution system; solar, geothermal, wind, and other renewable energy systems. The inspector is not required to measure amperage, voltage, and impedance. The inspector is not required to determine the age and type of smoke alarms and carbon monoxide alarms.

Smoke alarms that are properly installed and maintained play a vital role in reducing fire deaths and injuries. Smoke alarms should be installed in every bedroom, outside each sleeping area and on every level of your home. Test smoke alarms every month. Replace all smoke alarms in your home every ten years.

Carbon monoxide (CO) alarms should be installed in a central location outside each sleeping area and on every level of the home and in other locations where required by applicable laws, codes or standards. For the best protection, interconnect all CO alarms throughout the home, so that when one sounds, they all sound. Test CO alarms at least once a month. Replace them according to manufacturer's instructions.



Service panel and main disconnect

Description

Amperage rating of the service: 200 amp	Location of main disconnect(s): Garage	Service panel manufacturer: Cutler-Hammer
Location of subpanels: Not applicable	Predominant branch circuit wiring method: Copper, Non-metallic sheathed cable (Type NM), "Romex"	Smoke alarms: Present
Carbon Monoxide alarms: Present		

		IN	NI	NP	RR
5.0	Service drop, service entrance conductors, cables, and raceways	•			
5.1	Service equipment and main disconnects	•			
5.2	Service grounding	•			
5.3	Service panels, subpanels and their interior components	•			
5.4	Conductors (wiring)	•			
5.5	Overcurrent protection devices (breakers or fuses)	•			
5.6	A representative number of installed lighting fixtures, switches, and receptacles	•			

		IN	NI	NP	RR
5.7	Ground fault circuit interrupters (GFCI)	•			
5.8	Arc fault circuit interrupters (AFCI)			•	

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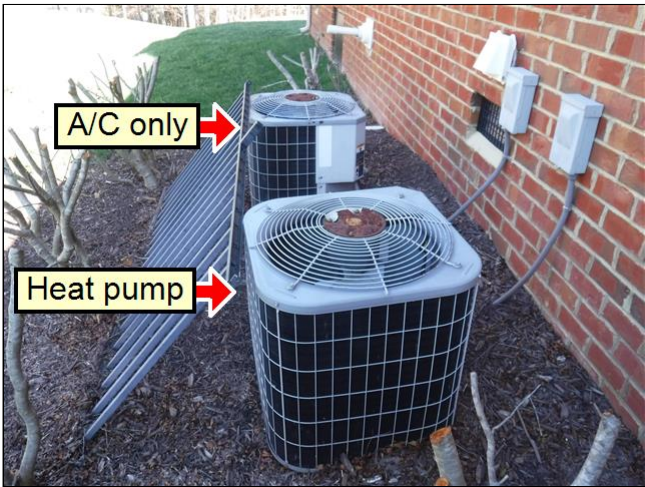
INNI NP RR

6. Heating and Air Conditioning

Heating: The inspector shall open readily openable access panels. *The inspector shall inspect:* installed heating equipment; vent systems, flues, and chimneys; distribution systems. *The inspector shall describe:* energy source(s); heating systems. *The inspector is NOT required to inspect:* interiors of vent systems, flues, and chimneys that are not readily accessible; heat exchangers; humidifiers and dehumidifiers; electric air cleaning and sanitizing devices; heating systems using ground-source, water-source, solar, and renewable energy technologies; heat-recovery and similar whole-house mechanical ventilation systems. The inspector is not required to determine heat supply adequacy and distribution balance or the adequacy of combustion air components.

Air Conditioning: The inspector shall open readily openable access panels. *The inspector shall inspect:* central and permanently installed cooling equipment; distribution systems. *The inspector shall describe:* energy source(s); cooling systems. *The inspector is NOT required to inspect:* electric air cleaning and sanitizing devices; cooling systems using ground-source, water-source, solar, and renewable energy technologies; cooling units that are not permanently installed or that are installed in windows. The inspector is not required to determine cooling supply adequacy and distribution balance.

Systems with disposable air filters require that filters be replaced regularly to prolong the life of the equipment. Inexpensive, fiberglass filters are sufficient protection and should be changed monthly. Other types of filters should be changed or maintained per manufacturer's instructions.



Heat pump air handler



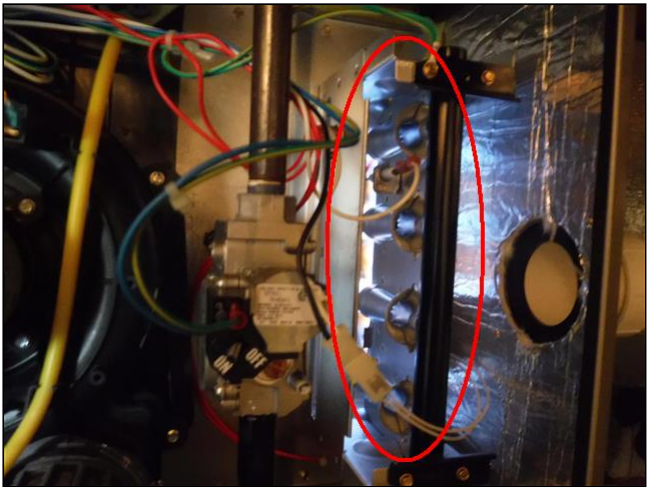
Air handler filter location (serves all of second floor)



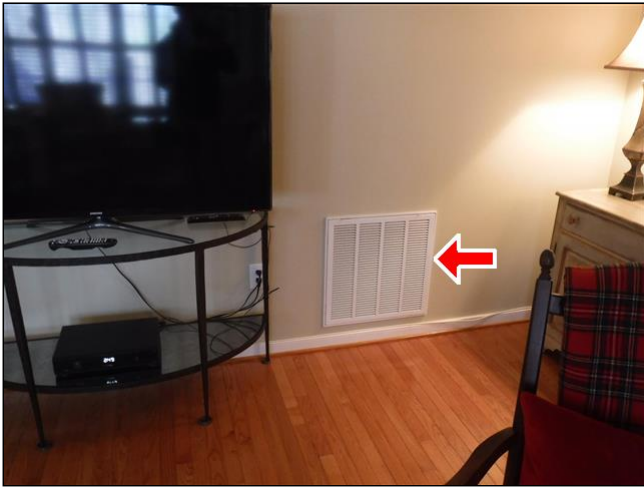
View of air handler filter



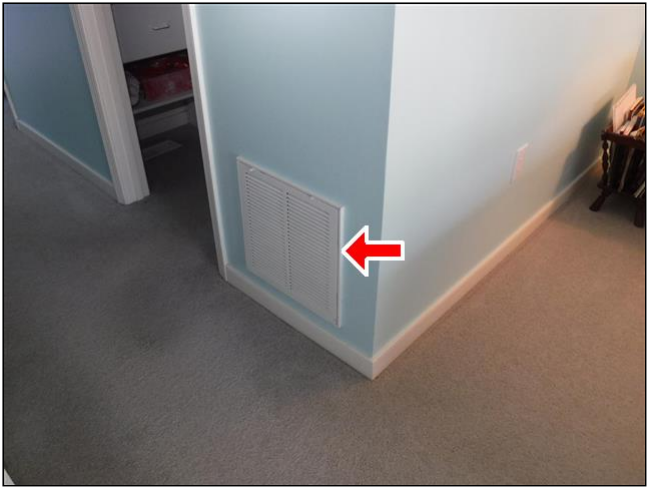
Natural gas furnace, crawlspace, serves first floor



Furnace burners in operation



Filter location



Filter location

Description

Heating system: Heat pump (also provides cooling) Furnace Extra Info : Furnace is rated at 80,000BTU input/75,000 output, or 90%+ efficiency		Heating energy source: Electric Natural gas	Heating system brand/manufacturer: BRYANT CARRIER Manufacture date : Carrier heat pump, 2003; Bryant furnace, 2013.
Cooling system: Central air/heat pump (also provides heating) Central air 3-ton 1.5-ton Extra Info : 1.5-ton heat pump system serves second floor; 3-ton central air, first floor.		Cooling energy source: Electric	Cooling system brand/manufacturer: CARRIER
Filter type: Disposable Pleated		Filter size: 14x14 16x16 20x20	

		IN	NI	NP	RR
6.0	Installed heating equipment	•			
6.1	Vent systems, flues, and chimneys	•			
6.2	Central and permanently installed cooling equipment	•			
6.3	Distribution systems	•			

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace

Comments:

- 6.0 (1) Heating equipment should be serviced prior to settlement and then annually by a qualified HVAC contractor.
- 6.0 (2) The life expectancy of a furnace is 15-20 years.
- 6.0 (3) The life expectancy of a heat pump is 16 years.
- 6.2 (1) Air conditioning equipment should be serviced prior to settlement and then annually by a qualified HVAC contractor.
- 6.2 (2) The life expectancy of a central air conditioning unit is 10-15 years.

7. Interiors

The inspector shall inspect: walls, ceilings, and floors; steps, stairways, and railings; countertops and a representative number of installed cabinets; a representative number of doors and windows; garage vehicle doors and garage vehicle door operators; installed ovens, ranges, surface cooking appliances, microwave ovens, dishwashing machines, and food waste grinders by using normal operating controls to activate the primary function. *The inspector is NOT required to inspect:* paint, wallpaper, and other finish treatments; floor coverings; window treatments; coatings on and the hermetic seals between panes of window glass; central vacuum systems; recreational facilities; installed and free-standing kitchen and laundry appliances not previously listed; appliance thermostats including their calibration, adequacy of heating elements, self-cleaning oven cycles, indicator lights, door seals, timers, clocks, timed features, and other specialized features of the appliance; operate, or confirm the operation of every control and feature of an inspected appliance.







		IN	NI	NP	RR
7.0	Walls, ceilings, and floors	•			
7.1	Steps, stairways, and railings	•			
7.2	Countertops and a representative number of installed cabinets	•			
7.3	Doors and windows (representative number)				•
7.4	Garage vehicle doors and garage vehicle door operators	•			
7.5	Installed oven, range, surface cooking appliance	•			
7.6	Microwave oven	•			
7.7	Dishwashing machine	•			
7.8	Food waste grinder	•			
7.9	Refrigerator	•			

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INNI NP RR

Comments:

7.3 (1) Two front casement windows would not open. This may be due to overpainting. Repair by a qualified carpenter is recommended.

7.3 (2) Master bedroom door did not close properly due to the door jamb being out of square. A settlement crack was observed along the wall at the corner of the door. It appears that the home experienced some settlement in this area but no evidence of any structural defects were found. Further evaluation by a qualified carpenter is recommended.



7.3 Item 1

8. Insulation and Ventilation

The inspector shall inspect: insulation and vapor retarders in unfinished spaces; ventilation of attics and foundation areas; kitchen, bathroom, laundry, and similar exhaust systems; clothes dryer exhaust systems. **The inspector shall describe:** insulation and vapor retarders in unfinished spaces; the absence of insulation in unfinished spaces at conditioned surfaces. The inspector is not required to disturb insulation.

The inspector shall inspect: insulation and vapor retarders in unfinished spaces; ventilation of attics and foundation areas; kitchen, bathroom, laundry, and similar exhaust systems; clothes dryer exhaust systems. **The inspector shall describe:** insulation and vapor retarders in unfinished spaces; the absence of insulation in unfinished spaces at conditioned surfaces. The inspector is not required to disturb insulation.

If the home is on a crawlspace with foundation vents, vents should be opened during warm months and closed in cold months. Opening of the vents improves air flow in the crawlspace and reduces humidity. Closing of the vents helps retain heat to protect water pipes from freezing.

Description

Attic ventilation:	Insulation in attic:	Crawlspace ventilation:
Soffit vents	Batt	Foundation vents
Passive	Fiberglass	Vapor barrier present
Insulation in crawlspace:		
Batt		
Fiberglass		

		IN	NI	NP	RR
8.0	Insulation and vapor retarders in unfinished spaces	•			
8.1	Ventilation of attic and foundation areas	•			
8.2	Kitchen, bathroom, and similar exhaust systems	•			
8.3	Clothes dryer exhaust system	•			
IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace		IN	NI	NP	RR

9. Fireplaces and Fuel-Burning Appliances

The inspector shall inspect: fuel-burning fireplaces, stoves, and fireplace inserts; fuel-burning accessories installed in fireplaces; chimneys and vent systems. *The inspector shall describe:* fuel-burning fireplaces, stoves, and fireplace inserts; fuel-burning accessories installed in fireplaces. *The inspector is NOT required to inspect:* interiors of vent systems, flues, and chimneys that are not readily accessible; fire screens and doors; seals and gaskets; automatic fuel feed devices; mantels and fireplace surrounds; combustion air components and to determine their adequacy; heat distribution assists (gravity fed and fan assisted); fuel-burning fireplaces and appliances located outside the inspected structures. The inspector is not required to determine draft characteristics or to move fireplace inserts, stoves or firebox contents.



Description

Description:		Accessory description:			
Gas logs		Blower			
		IN	NI	NP	RR
9.0	Fuel-burning fireplaces, stoves, and fireplace inserts	•			
9.1	Fuel-burning accessories installed in fireplaces	•			
9.2	Chimneys and vent systems	•			
IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace		IN	NI	NP	RR

Comments:

9.0 Pilot flame was already lit at time of inspection. Gas log appliance was functional.



INVOICE

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PO Box 244
Lively, VA 22507
(804) 724-4468

Virginia Licensed Home Inspector #3380000749
(NRS)
License expires 9/30/2018
ASHI Certified Inspector #259232
Inspected By: Shannon Lewis

Inspection Date: 3/2/2018
Report ID: Sample_3-2-18

Customer Info:	Inspection Property:
John Doe Customer's Real Estate Professional: John Agent ABC Realty	123 Main Street Fredericksburg VA 22401

Inspection Fee:

Service	Price	Amount	Sub-Total
Home Inspection: 2,500 sq.ft. - 2,999 sq.ft.	1.00	1	1.00

Tax \$0.00

Total Price \$1.00

Payment Method: Check

Payment Status: Paid At Time Of Inspection

Note: