

Inspection Xpress

Property Inspection Report



1234 Palm Way, Anywhere, FL 33333
Inspection prepared for: John and Mary Smith
Date of Inspection: 10/20/2015 Time: 3:30 PM
Age of Home: 2006 Size: 2,687 SF
Weather: Hot!
Inspection performed by: Chet Peterman HI-8110

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Report Summary

The summary below consists of potentially significant findings. These findings can be a safety hazard, a deficiency requiring a major expenses to correct or items I would like to draw extra attention to. The summary is not a complete listing of all the findings in the report, and reflects the opinion of the inspector. Please review all of the pages of the report as the summary alone does not explain all the issues. All repairs must be done by a licensed & bonded trade or profession. I recommend obtaining a copy of all receipts, warranties and permits for the work done.

Interior Areas		
Page 4 Item: 16	Window Condition	• One or more windows did not lock/latch properly, recommend repairs for enhanced security/safety to occupants.
Bedrooms		
Page 6 Item: 12	Window Condition	• There are damaged windows blinds throughout the home.
Bathroom		
Page 6 Item: 2	Cabinets	• Cabinet drawer / door face is loose, consult with seller on repair/ replacement options.
Page 8 Item: 14	Shower Walls	• Suggest all tile edges and tub/shower walls be caulked and sealed to prevent moisture penetration. All missing/damaged grouting should be replaced. Failure to keep walls sealed can cause deterioration and extensive moisture damage to the interior walls and surrounding sub-flooring. This damage is not always visible or accessible to the inspector at the time of inspection.
Page 9 Item: 17	Sinks	• Slow drain at sink. Recommend clearing.
Page 9 Item: 20	Walls	• There are areas outside of the master shower where there is moisture damage as we discussed. These areas need further evaluation and repair.
Kitchen		
Page 10 Item: 1	Cabinets	• Cabinet drawer / door face is loose / chipped. • There appears to be water damage under sink.
Page 11 Item: 6	Microwave	• There are chips in the microwave.
Page 12 Item: 9	Sinks	• Faucet leaks at base.
Garage		
Page 22 Item: 6	Electrical	• The media control panel was open for unknown reasons. Consult owner.
Page 22 Item: 10	Fire Door	• Auto closure needs adjusting
Roof		
Page 25 Item: 1	Roof Condition	• Some minor shingles / tiles damaged.
Attic		
Page 30 Item: 8	Insulation Condition	• Rodent and droppings are present.
Grounds		
Page 33 Item: 3	Vegetation Observations	• Sod areas in the front yard are thin.
Page 34 Item: 11	Exterior Faucet Condition	• Hose bib at west side of house leaks.

We appreciate the opportunity to conduct this inspection for you! Please carefully read your entire Inspection Report. Call us after you have reviewed your report, so we can go over any questions you may have. Remember, when the inspection is completed and the report is delivered, we are still available to you for any questions you may have, throughout the entire closing process. Properties being inspected do not "Pass" or "Fail." - The following report is based on an inspection of the visible portion of the structure; inspection may be limited by vegetation and possessions. Depending upon the age of the property, some items like GFI outlets may not be installed; **this report will focus on safety and function, not current code.** This report identifies specific non-code, non-cosmetic concerns that the inspector feels may need further investigation or repair. For your safety and liability purposes, we recommend that licensed contractors evaluate and repair any critical concerns and defects. **Note that this report is a snapshot in time. We recommend that you or your representative carry out a final walk-through inspection immediately before closing to check the condition of the property, using this report as a guide.**

Inspection Details

1. Attendance

In Attendance: Buyer Agent present • Selling Agent present

2. Home Type

Home Type: Single Family Home • Ranch Style

3. Occupancy

Occupancy: Occupied - Furnished: Heavy volume of personal and household items observed. • The utilities were on at the time of inspection. • Access to some items such as: electrical outlets/receptacles, windows, wall/floor surfaces, and cabinet interiors may be restricted by furniture or personal belongings. Any such items are excluded from this inspection report.

Interior Areas

The Interior section covers areas of the house that are not considered part of the Bathrooms, Bedrooms, Kitchen or areas covered elsewhere in the report. Interior areas usually consist of hallways, foyer, and other open areas. Within these areas the inspector is performing a visual inspection and will report visible damage, wear and tear, and moisture problems if seen. Personal items in the structure may prevent the inspector from viewing all areas on the interior.

The inspector does not usually test for mold or other hazardous materials. A qualified expert should be consulted if you would like further testing.

1. Bar

Good	Fair	Poor	N/A	None
			X	

2. Cabinets

Good	Fair	Poor	N/A	None
			X	

3. Ceiling Fans

Good	Fair	Poor	N/A	None
X				

4. Closets

Good	Fair	Poor	N/A	None
X				

Observations:
 • The closet is in serviceable condition.

5. Door Bell

Good	Fair	Poor	N/A	None
X				

Observations:
 • Operated normally when tested.

6. Doors

Good	Fair	Poor	N/A	None
X				

Observations:
 • Double door entryway.

7. Electrical

Good	Fair	Poor	N/A	None
X				

Observations:
 • Some outlets not accessible due to furniture and or stored personal items.

8. Smoke Detectors

Good	Fair	Poor	N/A	None
			X	

Observations:
 • Testing of smoke detectors is not included in this inspection. Pushing the "Test" button only verifies that there is power at the detector--either a battery or hard wired to the house power--and not the operational workings of the detector. The operational check is done by filling the sensor with smoke and is beyond the scope of this inspection. Battery operated smoke alarms should be checked routinely and the batteries changed frequently.



9. Stairs & Handrail

Good	Fair	Poor	N/A	None
				X

10. Window-Wall AC or Heat

Good	Fair	Poor	N/A	None
				X

11. Ceiling Condition

Good	Fair	Poor	N/A	None
X				

Materials: There are drywall ceilings noted.

12. Patio Doors

Good	Fair	Poor	N/A	None
X				

Observations:
 • The sliding patio door was functional during the inspection.

13. Screen Doors

Good	Fair	Poor	N/A	None
			X	

14. Wall Condition

Good	Fair	Poor	N/A	None
X				

Materials: Drywall walls noted.
 Observations:
 • Some areas not accessible due to stored personal items.

15. Fireplace

Good	Fair	Poor	N/A	None
				X

16. Window Condition

Good	Fair	Poor	N/A	None
	X			

Materials: Aluminum framed single hung window noted. • Non-insulated glass noted.
 Observations:
 • One or more windows did not lock/latch properly, recommend repairs for enhanced security/safety to occupants.



Bedrooms

The main area of inspection in the bedrooms is the structural system. This means that all walls, ceilings and floors will be inspected. Doors and windows will also be investigated for damage and normal operation. Personal items in the bedroom may prevent all areas to be inspected as the inspector will not move personal items.

1. Locations

2. Cabinets

Good	Fair	Poor	N/A	None
			X	

3. Ceiling Fans

Good	Fair	Poor	N/A	None
X				

Observations:

- Operated normally when tested, at time of inspection.

4. Closets

Good	Fair	Poor	N/A	None
X				

Observations:

- The closet is in serviceable condition.

5. Doors

Good	Fair	Poor	N/A	None
X				

6. Electrical

Good	Fair	Poor	N/A	None
X				

Observations:

- Some outlets not accessible due to furniture and or stored personal items.

7. Fireplace

Good	Fair	Poor	N/A	None
				X

8. Floor Condition

Good	Fair	Poor	N/A	None
	X			

Flooring Types: Carpet is noted. Staining noted.

9. Smoke Detectors

Good	Fair	Poor	N/A	None
			X	

10. Wall Condition

Good	Fair	Poor	N/A	None
X				

Materials: Drywall walls noted.

Observations:

- Some areas not accessible due to stored personal items.

11. Window-Wall AC or Heat

Good	Fair	Poor	N/A	None
				X

12. Window Condition

Good	Fair	Poor	N/A	None
X				

Materials: Aluminum framed single hung window noted.

Observations:

- There are damaged windows blinds throughout the home.

13. Ceiling Condition

Good	Fair	Poor	N/A	None
X				

Materials: There are drywall ceilings noted.

14. Patio Doors

Good	Fair	Poor	N/A	None
X				

Observations:

- The sliding patio door was functional during the inspection.

15. Screen Doors

Good	Fair	Poor	N/A	None
			X	

Bathroom

Bathrooms can consist of many features from jacuzzi tubs and showers to toilets and bidets. Because of all the plumbing involved it is an important area of the house to look over. Moisture in the air and leaks can cause mildew, wallpaper and paint to peel, and other problems. The home inspector will identify as many issues as possible but some problems may be undetectable due to problems within the walls or under the flooring..

1. Locations

2. Cabinets

Good	Fair	Poor	N/A	None
	X			

Observations:

- Cabinet drawer / door face is loose, consult with seller on repair/ replacement options.



3. Ceiling Condition

Good	Fair	Poor	N/A	None
X				

Materials: There are drywall ceilings noted.

4. Counters

Good	Fair	Poor	N/A	None
X				

5. Doors

Good	Fair	Poor	N/A	None
X				

Observations:

- No major system safety or function concerns noted at time of inspection.

6. Electrical

Good	Fair	Poor	N/A	None
X				

7. GFCI

Good	Fair	Poor	N/A	None
X				

Observations:

- GFCI tested and functioned properly.

8. Exhaust Fan

Good	Fair	Poor	N/A	None
X				

Observations:

- The bath fan was operated and no issues were found.

9. Floor Condition

Good	Fair	Poor	N/A	None
X				

Materials: Ceramic tile is noted.

10. Heating

Good	Fair	Poor	N/A	None
X				

Observations:

- Central heating and cooling noted in this room. At the time of the inspection, all appeared to be functioning and in serviceable condition.

11. Mirrors

Good	Fair	Poor	N/A	None
X				

12. Plumbing

Good	Fair	Poor	N/A	None
X				





13. Showers

Good	Fair	Poor	N/A	None
X				

14. Shower Walls

Good	Fair	Poor	N/A	None
	X			

Observations:

• Suggest all tile edges and tub/shower walls be caulked and sealed to prevent moisture penetration. All missing/damaged grouting should be replaced. Failure to keep walls sealed can cause deterioration and extensive moisture damage to the interior walls and surrounding sub-flooring. This damage is not always visible or accessible to the inspector at the time of inspection.



15. Bath Tubs

Good	Fair	Poor	N/A	None
X				

16. Enclosure

Good	Fair	Poor	N/A	None
X				

Observations:

• The shower enclosure was functional at the time of the inspection.

17. Sinks

Good	Fair	Poor	N/A	None
	X			

Observations:

- Slow drain at sink. Recommend clearing.



18. Toilets

Good	Fair	Poor	N/A	None
X				

Observations:

- Observed as functional and in good visual condition.

19. Window Condition

Good	Fair	Poor	N/A	None
X				

20. Walls

Good	Fair	Poor	N/A	None
		X		

Observations:

- There are areas outside of the master shower where there is moisture damage as we discussed. These areas need further evaluation and repair.





Kitchen

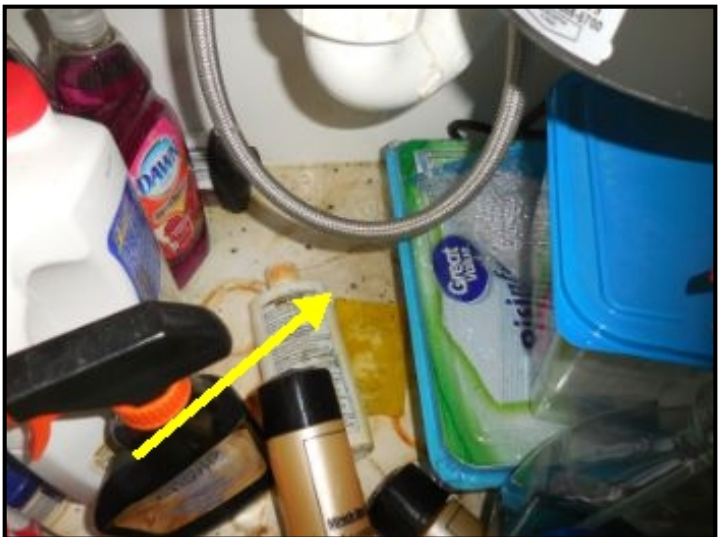
The kitchen is used for food preparation and often for entertainment. Kitchens typically include a stove, dishwasher, sink and other appliances.

1. Cabinets

Good	Fair	Poor	N/A	None
		X		

Observations:

- Cabinet drawer / door face is loose / chipped.
- There appears to be water damage under sink.



2. Counters

Good	Fair	Poor	N/A	None
X				

3. Dishwasher

Good	Fair	Poor	N/A	None
X				

- #### Observations:
- Operated.

4. Doors

Good	Fair	Poor	N/A	None
X				

5. Garbage Disposal

Good	Fair	Poor	N/A	None
X				

Observations:

- Operated - appeared functional at time of inspection.



6. Microwave

Good	Fair	Poor	N/A	None
	X			

Observations:

- Built-in microwave ovens are tested using normal operating controls. Unit was tested and appeared to be serviceable at time of inspection. Leak and/or efficiency testing is beyond the scope of this inspection.
- **There are chips in the microwave.**



7. Cook top condition

Good	Fair	Poor	N/A	None
X				

Observations:

- Electric cook top noted.



8. Oven & Range

Good	Fair	Poor	N/A	None
X				

Observations:

- Oven(s): Electric



9. Sinks

Good	Fair	Poor	N/A	None
		X		

Observations:

- Faucet leaks at base.



10. Drinking Fountain

Good	Fair	Poor	N/A	None
				X

11. Spray Wand

Good	Fair	Poor	N/A	None
X				

12. Hot Water Dispenser

Good	Fair	Poor	N/A	None
				X

13. Soap Dispenser

Good	Fair	Poor	N/A	None
				X

14. Trash Compactor

Good	Fair	Poor	N/A	None
				X

15. Vent Condition

Good	Fair	Poor	N/A	None
X				

Materials: Recirculating

16. Window Condition

Good	Fair	Poor	N/A	None
X				

17. Floor Condition

Good	Fair	Poor	N/A	None
X				

Materials: Ceramic tile is noted.

18. Plumbing

Good	Fair	Poor	N/A	None
X				



Icemaker is on.

19. Ceiling Condition

Good	Fair	Poor	N/A	None
X				

Materials: There are drywall ceilings noted.

20. Patio Doors

Good	Fair	Poor	N/A	None
				X

21. Screen Doors

Good	Fair	Poor	N/A	None
				X

22. Electrical

Good	Fair	Poor	N/A	None
X				

23. GFCI

Good	Fair	Poor	N/A	None
X				

Observations:
 • GFCI tested and functioned properly.

24. Wall Condition

Good	Fair	Poor	N/A	None
X				

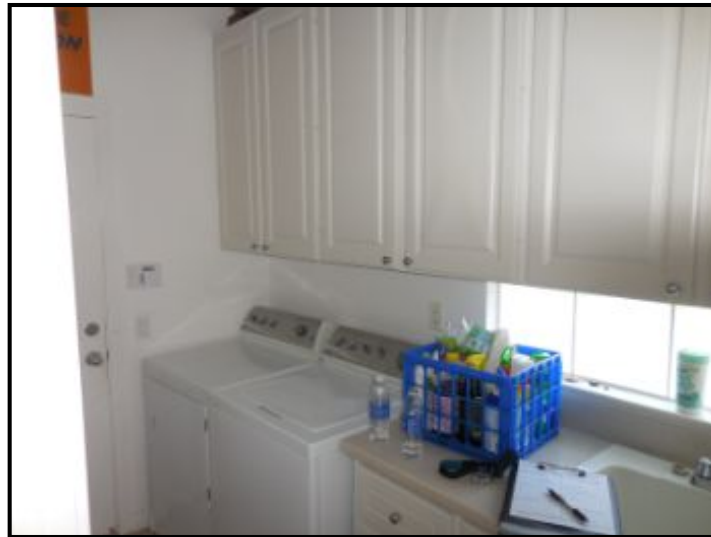
Materials: Drywall walls noted.
 Observations:
 • Some areas not accessible due to stored personal items.

Laundry

1. Locations

2. Cabinets

Good	Fair	Poor	N/A	None
X				



3. Counters

Good	Fair	Poor	N/A	None
X				

4. Dryer Vent

Good	Fair	Poor	N/A	None
X				

5. Electrical

Good	Fair	Poor	N/A	None
X				

6. GFCI

Good	Fair	Poor	N/A	None
X				

Observations:
 • GFCI tested and functioned properly

7. Exhaust Fan

Good	Fair	Poor	N/A	None
				X

8. Gas Valves

Good	Fair	Poor	N/A	None
				X

9. Wash Basin

Good	Fair	Poor	N/A	None
X				



10. Floor Condition

Good	Fair	Poor	N/A	None
X				

Materials: Ceramic tile is noted.

11. Plumbing

Good	Fair	Poor	N/A	None
X				

Observations:
 • Some not accessible.

12. Wall Condition

Good	Fair	Poor	N/A	None
X				

Materials: Drywall walls noted.
 Observations:
 • Some areas not accessible due to stored personal items.

13. Ceiling Condition

Good	Fair	Poor	N/A	None
X				

Materials: There are drywall ceilings noted.

14. Doors

Good	Fair	Poor	N/A	None
X				

15. Window Condition

Good	Fair	Poor	N/A	None
			X	

Heat/AC

The heating, ventilation, and air conditioning and cooling system (often referred to as HVAC) is the climate control system for the structure. The goal of these systems is to keep the occupants at a comfortable level while maintaining indoor air quality, ventilation while keeping maintenance costs at a minimum. The HVAC system is usually powered by electricity and natural gas, but can also be powered by other sources such as butane, oil, propane, solar panels, or wood.

The inspector will usually test the heating and air conditioner using the thermostat or other controls. For a more thorough investigation of the system please contact a licensed HVAC service person.

1. Heater Condition

Good	Fair	Poor	N/A	None
X				

Materials: The furnace is located in the laundry room
 Materials: The home has a split system.

2. Heater Base

Good	Fair	Poor	N/A	None
			X	

3. Enclosure

Good	Fair	Poor	N/A	None
			X	

4. Venting

Good	Fair	Poor	N/A	None
			X	

5. Gas Valves

Good	Fair	Poor	N/A	None
				X

6. Refrigerant Lines

Good	Fair	Poor	N/A	None
X				

7. AC Compress Condition

Good	Fair	Poor	N/A	None
X				

Compressor Type: Electric
 Location: The compressor is located on the exterior west.
 Observations:

- Appeared functional at the time of inspection.
- Installed in 2006 / 9 years old. The typical temperature differential split between supply and return air in an air conditioner of this type is 15 - 20 degrees F. This system responded and achieved an acceptable differential temperature of 14 - 17 degrees F. We recommend that an A/C contractor perform a system service.
- Annual HVAC service contract is recommended.



8. Air Supply

Good	Fair	Poor	N/A	None
X				

Observations:

- The return air supply system appears to be functional.



9. Registers

Good	Fair	Poor	N/A	None
X				

10. Filters

Good	Fair	Poor	N/A	None
X				

Location: Located inside a filter grill in the hall ceiling.

Observations:

- **MAINTENANCE:** The air filter(s) should be inspected at least monthly and cleaned or replaced as required. There are two types of filters commonly used: (1) Washable filters, (constructed of aluminum mesh, foam, or reinforced fibers) these may be cleaned by soaking in mild detergent and rinsing with water. Or (2) Fiberglass disposable filters that must be **REPLACED** before they become clogged. Remember that dirty filters are the most common cause of inadequate heating or cooling performance.

11. Thermostats

Good	Fair	Poor	N/A	None
X				

Observations:

- Functional at the time of inspection.
- Thermostats are not checked for calibration or timed functions.



Water Heater

1. Base

Good	Fair	Poor	N/A	None
X				

2. Heater Enclosure

Good	Fair	Poor	N/A	None
			X	

3. Combustion

Good	Fair	Poor	N/A	None
			X	

4. Venting

Good	Fair	Poor	N/A	None
			X	

5. Water Heater Condition

Good	Fair	Poor	N/A	None
X				

Heater Type: Electric

Location: The heater is located in the garage.

Observations:

- Tank appears to be in satisfactory condition -- no concerns.



6. TPRV

Good	Fair	Poor	N/A	None
X				

Observations:

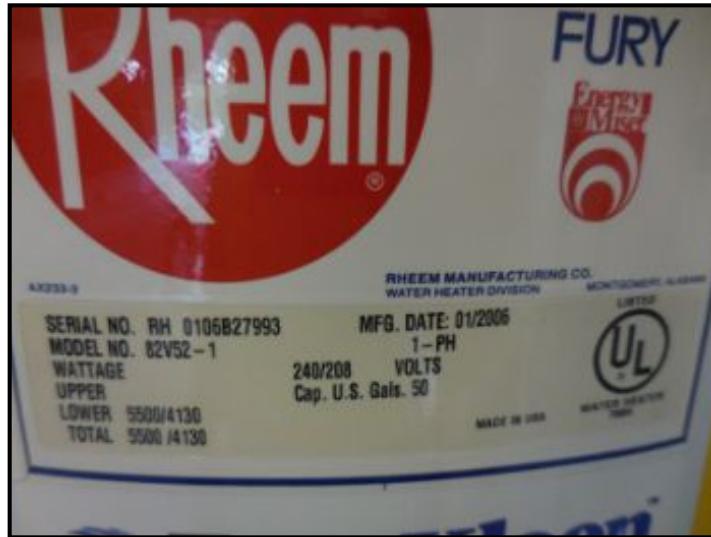
- Appears to be in satisfactory condition -- no concerns.

7. Number Of Gallons

Good	Fair	Poor	N/A	None
X				

Observations:

- 50 gallons



8. Gas Valve

Good	Fair	Poor	N/A	None
				X

9. Plumbing

Good	Fair	Poor	N/A	None
X				

Materials: Copper

Observations:

- No deficiencies observed at the visible portions of the supply piping.



10. Overflow Condition

Good	Fair	Poor	N/A	None
			X	

11. Strapping

Good	Fair	Poor	N/A	None
			X	

Garage

1. Roof Condition

Good	Fair	Poor	N/A	None
X				

Materials: Roofing is the same as main structure.

Materials: Concrete tiles noted.

Observations:

- No major system safety or function concerns noted at time of inspection.

2. Walls

Good	Fair	Poor	N/A	None
X				

3. Anchor Bolts

Good	Fair	Poor	N/A	None
			X	

Observations:

- The anchor bolts were not visible.

4. Floor Condition

Good	Fair	Poor	N/A	None
X				

Materials: Bare concrete floors noted.

5. Rafters & Ceiling

Good	Fair	Poor	N/A	None
X				

6. Electrical

Good	Fair	Poor	N/A	None
	X			

Observations:

- The media control panel was open for unknown reasons. Consult owner.



Central vacuum was working.



7. GFCI

Good	Fair	Poor	N/A	None
X				

Observations:

- GFCI tested and functioned properly

8. 240 Volt

Good	Fair	Poor	N/A	None
				X

9. Exterior Door

Good	Fair	Poor	N/A	None
X				

10. Fire Door

Good	Fair	Poor	N/A	None
	X			

Observations:

- Auto closure needs adjusting

11. Garage Door Condition

Good	Fair	Poor	N/A	None
X				

Observations:

- No deficiencies observed.

12. Garage Door Parts

Good	Fair	Poor	N/A	None
X				

Observations:

- The garage door appeared functional during the inspection.

13. Garage Opener Status

Good	Fair	Poor	N/A	None
X				

Observations:

- Chain drive opener noted.

14. Garage Door's Reverse Status

Good	Fair	Poor	N/A	None
X				

Observations:

- Eye beam system present and operating.



15. Ventilation

Good	Fair	Poor	N/A	None
X				

Observations:

- Under eave soffit inlet vents noted.

16. Vent Screens

Good	Fair	Poor	N/A	None
X				

Observations:

- Vent screens noted as functional.

17. Cabinets

Good	Fair	Poor	N/A	None
				X

18. Counters

Good	Fair	Poor	N/A	None
				X

19. Wash Basin

Good	Fair	Poor	N/A	None
				X

Electrical

1. Electrical Panel

Good	Fair	Poor	N/A	None
X				

Location: Panel box located in garage.

Observations:

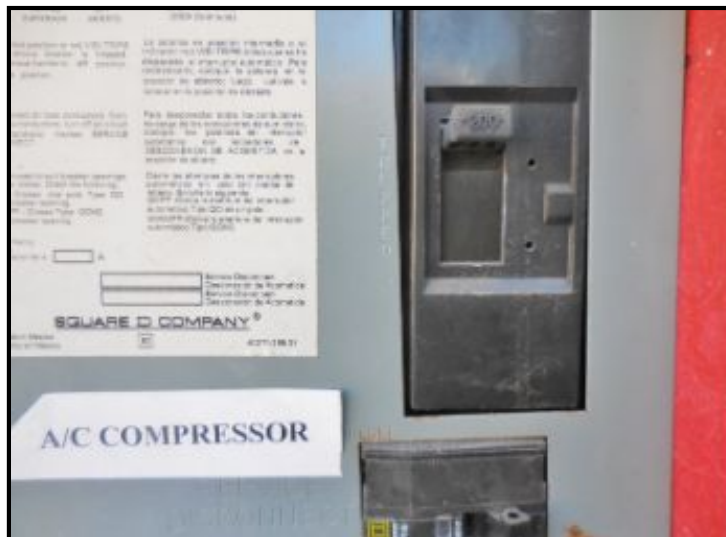
- No major system safety or function concerns noted at time of inspection at main panel box.



2. Main Amp Breaker

Good	Fair	Poor	N/A	None
X				

Observations:
 • 200 amp



3. Breakers in off position

Good	Fair	Poor	N/A	None
X				

Observations:
 • 0

4. Cable Feeds

Good	Fair	Poor	N/A	None
X				

Observations:
 • There is an underground service lateral noted.



5. Breakers

Good	Fair	Poor	N/A	None
X				

Materials: Copper armor sheathed cable noted.
 Observations:
 • All of the circuit breakers appeared serviceable.

6. Fuses

Good	Fair	Poor	N/A	None
				X

Roof

1. Roof Condition

Good	Fair	Poor	N/A	None
X				

Materials: Inspected from ladder.
 Materials: Concrete tiles noted.
 Observations:
 • Some minor shingles / tiles damaged.





2. Flashing

Good	Fair	Poor	N/A	None
X				

3. Chimney

Good	Fair	Poor	N/A	None
				X

4. Sky Lights

Good	Fair	Poor	N/A	None
				X

5. Spark Arrestor

Good	Fair	Poor	N/A	None
				X

6. Vent Caps

Good	Fair	Poor	N/A	None
X				

7. Gutter

Good	Fair	Poor	N/A	None
X				

Attic

1. Access

Good	Fair	Poor	N/A	None
X				

- Observations:
- Access at hallway ceiling.
 - Garage ceiling.

2. Structure

Good	Fair	Poor	N/A	None
X				





3. Ventilation

Good	Fair	Poor	N/A	None
X				

Observations:
 • Under eave soffit inlet vents noted.

4. Vent Screens

Good	Fair	Poor	N/A	None
X				

Observations:
 • Vent screens noted as functional.

5. Duct Work

Good	Fair	Poor	N/A	None
X				

Observations:
 • See HVAC page.



6. Electrical

Good	Fair	Poor	N/A	None
X				

Observations:

- Most areas not accessible due to insulation.



7. Attic Plumbing

Good	Fair	Poor	N/A	None
X				

Observations:
• PVC plumbing vents



8. Insulation Condition

Good	Fair	Poor	N/A	None
	X			

Materials: Fiberglass batts with kraft paper facing noted.
Depth: Insulation averages about 6-8 inches in depth
Observations:
• **Rodent and droppings are present.**





9. Chimney

Good	Fair	Poor	N/A	None
				X

10. Exhaust Vent

Good	Fair	Poor	N/A	None
X				

Observations:
• Functional.



Exterior Areas

1. Doors

Good	Fair	Poor	N/A	None
X				

Observations:
• Appeared in functional and in satisfactory condition, at time of inspection.



2. Window Condition

Good	Fair	Poor	N/A	None
X				

Observations:

- Components appeared in satisfactory condition at time of inspection.

3. Siding Condition

Good	Fair	Poor	N/A	None
			X	

Materials: Stucco noted.

4. Eaves & Facia

Good	Fair	Poor	N/A	None
X				

5. Exterior Paint

Good	Fair	Poor	N/A	None
X				

6. Stucco

Good	Fair	Poor	N/A	None
X				

Grounds

1. Driveway and Walkway Condition

Good	Fair	Poor	N/A	None
X				

Materials: Block / Brick sidewalk noted.

2. Grading

Good	Fair	Poor	N/A	None
X				

3. Vegetation Observations

Good	Fair	Poor	N/A	None
	X			

Observations:

- Sod areas in the front yard are thin.



4. Gate Condition

Good	Fair	Poor	N/A	None
				X

5. Patio and Porch Deck

Good	Fair	Poor	N/A	None
				X

6. Stairs & Handrail

Good	Fair	Poor	N/A	None
				X

7. Grounds Electrical

Good	Fair	Poor	N/A	None
X				

Observations:

- No major system safety or function concerns noted at time of inspection.



8. GFCI

Good	Fair	Poor	N/A	None
X				

Observations:

- GFCI: Ground Fault Circuit interrupter .

9. Main Gas Valve Condition

Good	Fair	Poor	N/A	None
				X

10. Plumbing

Good	Fair	Poor	N/A	None
X				

Materials: Copper piping noted. • PVC piping noted.

11. Exterior Faucet Condition

Good	Fair	Poor	N/A	None
	X			

Location: West side of house.

Observations:

- Hose bib at west side of house leaks.



12. Balcony

Good	Fair	Poor	N/A	None
				X

13. Patio Enclosure

Good	Fair	Poor	N/A	None
X				

Observations:

- Appears in satisfactory and functional condition with normal wear for its age. Appears to be sound structure.

14. Patio and Porch Condition

Good	Fair	Poor	N/A	None
X				

Materials: The patio/porch roof is the same as main structure.

Observations:

- No major system safety or function concerns noted at time of inspection.

15. Fence Condition

Good	Fair	Poor	N/A	None
				X

16. Sprinklers

Good	Fair	Poor	N/A	None
			X	

Observations:

- The inspector could not locate the zone valve box. Consult with the seller for its location.